	PLAN COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Project Title/Address:	The Quad St. Charles – Starbucks		
	City Staff:	Russell Colby, Planning Division Manager		
	PUBLIC HEARING		MEETING 5/3/16	X
APPLICATION:		PUD Preliminary Plan		
ATTACHMENTS AND SUPPORTING DOCUMENTS:				
Staff Report		PUD Preliminary Plan Application		
PUD Preliminary Plan				
SUMMARY:				
<p>The subject property is Lot 4 of The Quad St. Charles, Unit 2, located at the northeast corner of Main St./Rt. 64 and the 38th Ave. entrance into the Charlestowne Mall site. The property is one of five outlot parcels created last year along the mall's Main St. frontage.</p> <p>SC Outparcel One, LLC (Krausz Companies) is proposing to develop the lot with a two-unit building. Starbucks will occupy the southern unit. Approval of a PUD Preliminary Plan is required to ensure compliance with the PUD ordinance and applicable provisions of the Zoning Ordinance.</p> <p>The proposal includes the following:</p> <ul style="list-style-type: none"> • 4,472 square foot building with a drive-through facility • 31 space parking lot • Access provided via the mall ring road on the north side of the lot 				
SUGGESTED ACTION:				
<p>Review the PUD Preliminary Plan.</p> <p>Staff has found the application materials to be complete. The plan is in conformance with the approved PUD ordinance and the Zoning Ordinance, with the exception of certain requirements as detailed in the Staff Report. A recommendation for approval should be conditional upon conformance with these requirements and resolution of outstanding engineering comments.</p>				
INFO / PROCEDURE – SPECIAL USE APPLICATIONS:				
<ul style="list-style-type: none"> • Recommendation is based on conformance with the approved PUD ordinance and compliance with all other code requirements (including Zoning & Subdivision Codes). Staff has provided an analysis in the Staff Report. • A public hearing is not required for this type of application. • No findings of fact are applicable to this application. 				

Community & Economic Development
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



Staff Report

TO: Chairman Todd Wallace
And the Members of the Plan Commission

FROM: Russell Colby
Planning Division Manager

RE: The Quad St. Charles, Unit 2, Lot 4 – Preliminary Plan for Starbucks

DATE: April 29, 2016

I. APPLICATION INFORMATION:

Project Name: The Quad St. Charles – Starbucks

Applicant: SC Outparcel One, LLC (Krausz Companies)

Purpose: PUD Preliminary Plan approval for development of an outlot with a two-unit building and drive-through

General Information:

Site Information	
Location	Northeast corner of Main St./Rt. 64 & 38 th Ave. mall entrance
Acres	0.80 acres

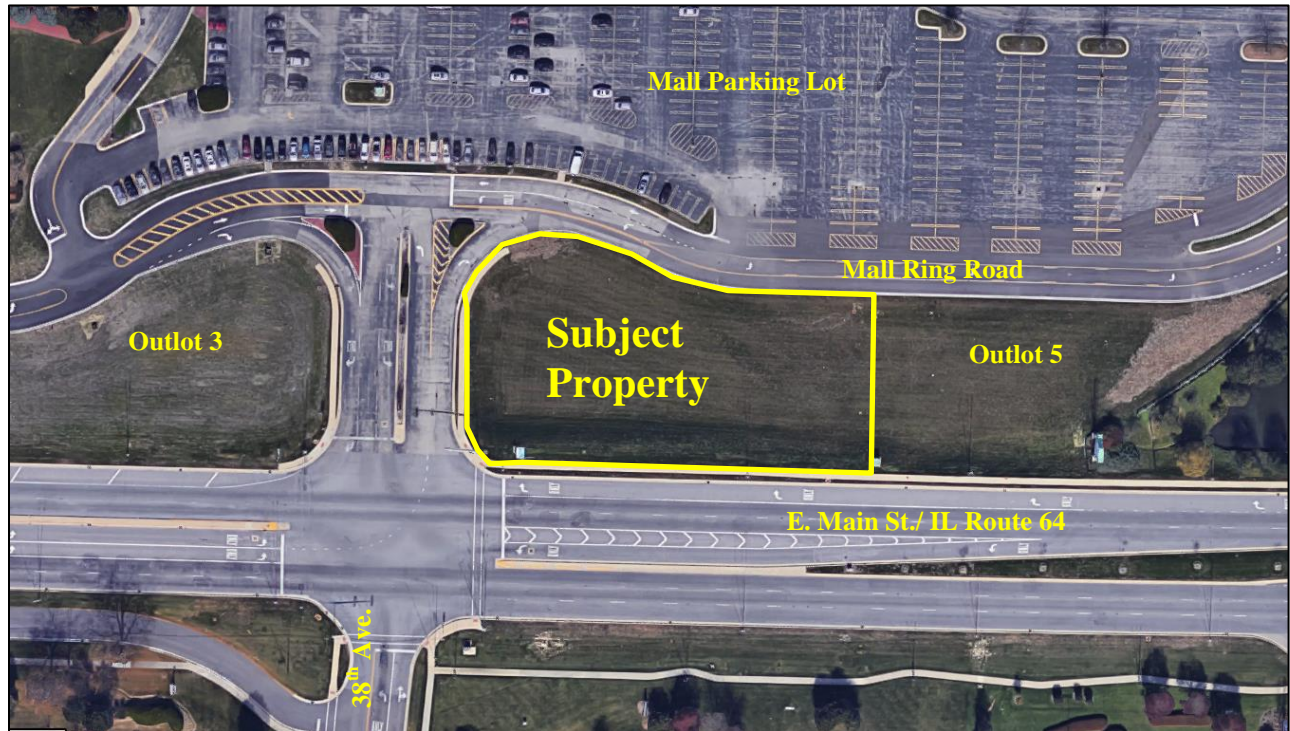
Applications	PUD Preliminary Plan
Applicable Zoning Code Sections/ Ordinances	Title 17, Zoning Ordinance Ordinance 2013-Z-19 – The Quad/Charlestowne Mall PUD Ordinance

Existing Conditions	
Land Use	Enclosed shopping mall, vacant out lot building pads
Zoning	BR – Regional Business (PUD)

Zoning Summary		Current Land Uses
North	BR – Regional Business (PUD)	Mall buildings
East	BR – Regional Business (PUD)	Mall outlot sites
South	BC-Community Business & BR Regional Business	Retail/Restaurant/Office
West	BR – Regional Business (PUD)	Mall outlot sites

Comprehensive Plan Designation
Corridor/Regional Commercial

Aerial Photograph



II. PROJECT OVERVIEW:

A. BACKGROUND

The Quad St. Charles project is the redevelopment of the Charlestowne Mall property. The City has been reviewing components of the project over the past three years:

- In November 2013, the City approved a new PUD to create zoning and development standards for the redevelopment of the mall property (PUD Ordinance 2013-Z-19, attached). The following documents were approved:
 - A Concept Site Plan meant to demonstrate the design intent of the project.
 - A PUD Standards exhibit listing the zoning and subdivision requirements that will apply to future development proposals at the site.
- In 2014, the City approved PUD Preliminary Site and Engineering Plans for the overall mall property. This plan designated outlot building parcels along Main Street for future development (Ord. 2014-Z-9). A Minor Change to the site and engineering plans was subsequently approved to increase the depth of the outlots by shifting the ring road further north (Ord. 2014-Z-18).
- In 2015, the City approved a Final Plat of Subdivision (The Quad St. Charles Unit 2) to formally create five outlot parcels along the Main Street frontage of the site. Site development work was completed to relocate the ring road, extend utilities, and to grade the outlots for development.

B. REVIEW PROCESS

PUD Preliminary Plans must be approved for the development of the outlot parcels. The approval process requires review by Plan Commission and approved by City Council.

The following plans are to be reviewed for conformance with the approved PUD development standards and other applicable code requirements:

- Site Engineering
- Landscaping
- Building Architecture
- Freestanding and building signage

No public hearing is required for review of a PUD Preliminary Plan.

C. PROPOSAL

A 4,472 square foot building, two unit building is proposed. The southern unit is to be occupied by Starbucks. A drive-through lane wraps around the building and connects with the parking lot east of the building. The parking lot will extended onto the adjacent Lot 5 to the east and be shared between this building and a future building on Lot 5.

III. ANALYSIS OF PLANS

A. PROPOSED USE

The Quad PUD references the BR Regional Business Zoning District for permitted and special uses.

Starbuck’s was previously classified by the City as a “Coffee or Tea Room”, defined as: “A limited menu restaurant which is located in conjunction with and on the same premises as a retail use.” A Coffee or Tea Room is a permitted principal use in the BR district.

The Quad PUD allows for three Drive-Through Facilities as Permitted Uses. Therefore, no new Special Use review or approval is necessary; however as a part of the PUD Preliminary Plan review, the City will review the proposed drive-through facility design.

B. ZONING STANDARDS

The Quad PUD states that the entire mall property is to be considered a single zoning lot, regardless of subdivision. Therefore, the outlots are not required to meet all zoning bulk standards as standalone lots. However, each outlot building and parking lot must meet all applicable zoning requirements.

Category	Zoning Ordinance or PUD standard	Proposed
Minimum setbacks from Rt. 64 property line	20 ft. for buildings and parking 15 ft. for drive-through circulation aisles	20 ft. from Rt. 64 for buildings and parking; 15 ft. for drive-through aisle

Maximum Building Height for outlots	50 ft. from the average finished ground level measured 10 ft. out from exterior walls.	Total building height is 20 ft. from lowest point on the building (Note the building is at a lower grade level than Rt. 64)
Maximum Gross Floor Area	1,200,000 square feet of Gross Floor Area (GFA) 925,000 square feet of Gross Leasable Area (GLA)	Approved for existing mall: 802,000 sf GLA Proposed building is 4,472 sf
Number of parking stalls required	4 spaces per 1,000 square feet of GLA, calculated over all buildings on the site (excluding internal hallways, corridors and courts in the mall building). Parking located outside of the ring road for outlot buildings shall be provided at 4 spaces per 1,000 square feet of GLA. Where outlot buildings share a parking lot, a parking reduction for shared parking may be requested in accordance with the procedures in the Zoning Ordinance. Required parking outside ring road for two-tenant building: 18	Meets requirement for parking outside of the ring road; 31 spaces proposed

C. DRIVE-THROUGH FACILITY

A Drive-Through Facility is proposed for the Starbucks store. The City previously classified Starbucks as a “Coffee or Tea Room”, which requires 5 stacking spaces. The site plan shows 6 stacking spaces, although it appears the stacking lane will accommodate 10 spaces.

Due to the layout of the drive-through, if the stacking were to extend into the parking lot, the access drive from the ring road would be obstructed. Therefore, staff has requested data to support the adequacy of the drive-through stacking. (For comparison, a previously approved Starbucks drive-through on Randall Road was approved with 8 stacking spaces, which was supported by data from similar locations in the area).

D. LANDSCAPING

A landscape plan has been submitted. The table below compares the submitted plan to the requirements of the PUD and Ch. 17.26 Landscaping and Screening.

Note the PUD was written to grant flexibility to certain landscaping requirements, recognizing the site is being redeveloped and has a number of existing constraints. Specifically, flexibility was granted for building foundation landscaping, internal parking lot landscaping, and public street frontage trees.

Category	Zoning Ordinance or PUD Standard	Proposed
Overall Landscape Area	20% over entire PUD	Existing mall property landscaped area exceeds 20% (excluding the outlots)

Building Foundation Landscaping	<p>Building foundation areas to be landscaped, but flexibility is granted to provide a comparable alternative design, including a “streetscape” design along walkways (trees in grates and/or planter islands etc.) or providing landscaping on the opposite side of a drive-through lane.</p> <p>Planting requirements: 2 tree per 50 ft. of wall = 11 trees required 20 shrubs per 50 ft. of wall = 106 shrubs required</p>	<p>4 trees 107 shrubs</p>
Public Street Frontage landscaping	<p>Per Ordinance requirements along Main St. frontage; flexibility to provide lower plantings in lieu of some trees.</p> <p>Planting requirements (Lot 4 only): 75% of frontage landscaped = 169 ft. 1 tree per 50 ft. of frontage = 5 trees</p>	<p>169 ft. landscaped 5 trees provided; (Note: Landscaping along the Lot 5 portion of the parking lot will be required at the time Lot 5 is developed.)</p>
Parking lot screening	<p>Per Ordinance requirements: 30” screening of 50% of the parking lot frontage.</p>	<p>Screening provided; Note most of the parking lot will be below grade of Rt. 64</p>
Internal Parking Lot landscaping	<p>No percentage requirement. All rows shall end with landscape islands, except where truck circulation is impeded. All islands shall be planted with shade trees and/or low shrubs/groundcover.</p>	<p>Meets requirement with shrubs and grasses. Applicant does not wish to install trees in islands due to visibility concerns.</p>

Staff Comments:

- Additional trees should be added on the north and west side opposite the drive-through aisle. There is also adequate space for additional planting beds.
- There are five ornamental trees along Main St. Some of these should be replaced with shade trees.

E. BUILDING ARCHITECTURE

Building elevations have been submitted for the proposed building.

The table below compares the submitted plans to the design requirements of Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts.

Category	Zoning Ordinance or PUD Standard	Proposed
Architectural Features (17.06.030.A.2)	50% of façade is comprised of architectural features	East facade meets requirement <i>South and west facades do not meet</i>
Architectural Features (17.06.030.A.3)	Street-facing facades must have 2 of 4 architectural features: change in wall plane of 2 ft.; change in wall texture/masonry patterns; transparent windows; columns/pilasters projecting 6 in.	Meets requirement
Entrance Articulation	Public entrances must be articulated from building	<i>Does not meet</i>

Roof Design	Roof mounted mechanical equipment must be screened	Parapet will screen equipment
Building Materials	A list of approved & prohibited materials is provided	Building materials are on approved list

Staff Comments:

- Additional architectural features must be added on the south and west facades.
 - o The applicant has provided a list of the features and square footages counted towards meeting this requirement. However, the signage area exceeds the sign size limitations. Also, it is unclear how the area of the tower was calculated.
 - o Staff suggests widening the block band and masonry base around the building.
- Awnings or canopies must be added over the building entrances to provide required articulation.

F. SIGNS

Renderings of wall signage have not been submitted for the building; however the architectural elevations illustrate the intended locations and sizes of the wall signs.

Category	Zoning Ordinance or PUD Standard	Proposed
Outlot building monument sign	1 monument sign per building Area: 50 sf. Height: 8 ft.	Meets requirement
Outlot building wall signs	1 per side 1.5 s.f. per linear feet of wall	1 per side on the north and south elevations; 1 per business on the east and west elevations. Signage exceeds square footage limitation (max. 116 sf permitted on south and north sides; max. 88 sf permitted on east and west sides)
Outlot building awning or canopy signs	1 per street frontage (4) 1 s.f. per linear feet of awning/canopy	Canopy shown over drive through; no lettering shown.

Staff Comments:

- The wall signs exceed the size limitations and will need to be reduced in size.

G. LIGHTING

The submitted photometric plan complies with the requirements of Section 17.22.040 Site Lighting.

H. ENGINEERING REVIEW

The applicant has been provided with a detailed engineering review memo. The comments are technical in nature and are unlikely to have an impact on site design.

IV. SUGGESTED ACTION

Review the PUD Preliminary Plan.

Staff has found the application materials to be complete. The plan is in conformance with the approved PUD ordinance and the Zoning Ordinance, with the exception of the following:

1. Building foundation landscaping- deficient in trees.
2. Architectural features on the south and west elevations.
3. Entrance articulation is needed.
4. Wall signs exceed size limitations.

A recommendation for approval should be conditional upon conformance with these requirements, as well as resolution of outstanding engineering comments.

V. ATTACHMENTS

- Application, received 4/8/2016
- PUD Preliminary Plans, revised plans received 4/28/2016
- Ord. 2013-Z-19 (PUD Ordinance with Development Standards)
- Ord. 2014-Z-18 (Approved Preliminary Site Plan)

STARBUCKS

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	<u>The Quad St. Charles</u>
Project Number:	<u>2013</u> -PR- <u>013</u>
Application Number:	<u>2016</u> -AP- <u>008</u>

RECEIVED
St. Charles, IL
Received Date
APR 08 2016
CDD
Planning Division

To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: <u>3800 E. MAIN STREET</u>	
	Parcel Number (s): <u>09-25-200-041 (THE QUAD ST. CHARLES)</u> <u>UNIT 2, LOT 4</u>	
	Proposed PUD Name: <u>OUTLOT P4 (STARBUCKS)</u>	
2. Applicant Information:	Name <u>SC OUT PARCEL ONE, LLC</u> <u>CONTACT: CHUCK MAY</u>	Phone <u>847-858-3228</u>
	Address <u>c/o KRAUSZ COS.</u> <u>44 MONTGOMERY STREET, STE 3300</u> <u>SAN FRANCISCO, CA 94104</u>	Fax <u>—</u>
		Email <u>chuck@chmay.com</u>
3. Record Owner Information:	Name <u>KRAUSZ COMPANIES</u>	Phone <u>415-732-5600</u>
	Address <u>SEE ABOVE</u>	Fax <u>—</u>
		Email <u>chuck@chmay.com</u>

Please check the type of application:

- ☐ New proposed PUD- Planned Unit Development (Special Use Application filed concurrently)
- ☒ Existing PUD-Planned Unit Development
- ☐ PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- ☒ Proposed lot has already been platted and a new subdivision is not required.
- ☐ New subdivision of property required:
- ☐ Final Plat of Subdivision Application filed concurrently
- ☐ Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

☒ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

☐ **REIMBURSEMENT OF FEES AGREEMENT:**

On file An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☐ **PROOF OF OWNERSHIP and DISCLOSURE:**

On file

a) a current title policy report; or

b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

☒ **PLAT OF SURVEY:**

BOUNDARY & TOP SURVEY: PDF SENT TO CITY ON 4/7/16
A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☐ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

N/A

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☐ **ENDANGERED SPECIES REPORT:**

N/A

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermain, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ SKETCH PLAN FOR LATER PHASES OF PUD:

N/A For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

☒ **ARCHITECTURAL PLANS:** (Building ELEVATION w/ MATERIALS)

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

☐ **TREE PRESERVATION PLAN:**

N/A Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

☒ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

☒ **STORMWATER MANAGEMENT:** Permit application / Tab 1 and summary assessing used vs. available volume

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

☐ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

N/A If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

☐ **PUBLIC BENEFITS, DEPARTURES FROM CODE:**

N/A A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

☐ **SCHEDULE:** Construction schedule indicating:

- N/A
- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
 - b. Approximate dates for beginning and completion of each phase.
 - c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

☐ **PARK AND SCHOOL LAND/CASH WORKSHEETS**

N/A For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

☐ **INCLUSIONARY HOUSING SUMMARY & WORKSHEET:**

- N/A
- For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:
- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
 - Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
 - A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
 - Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner

Date

Applicant or Authorized Agent

Date

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

Commonwealth of Pennsylvania)
) SS.
County of Chester)

I, Daniel Krausz, being first duly sworn on oath depose and say that I am the President of IEQ Management Inc., a Delaware corporation, which is the Manager of SC Out Parcels One LLC, a Delaware limited liability company (the "LLC"), and that the following individuals represent all persons owning, directly or indirectly, an ownership interest of seven percent (7%) or more of the LLC:

F. Ron Krausz

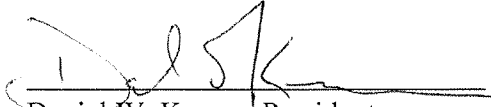
David E. Pyle

Elana Krausz Pyle

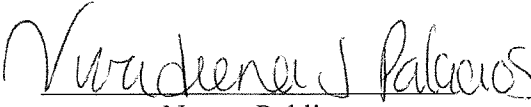
Jay E. Krigsman

By: IEQ Management Inc., Manager

By:


Daniel W. Krausz, President

Subscribed and sworn to before me on this 28th day of April, 2016.


Notary Public

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
VIRIDIANA JAUREGUI PALACIOS, Notary Public
East Marlboro Twp., Chester County
My Commission Expires July 24, 2018

SITE IMPROVEMENT PLANS

FOR

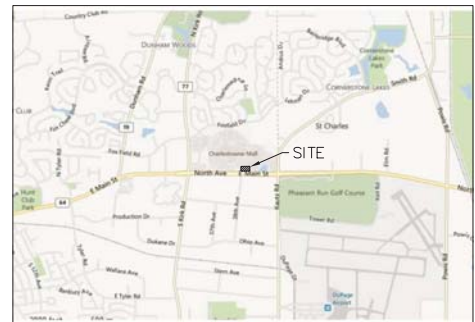
THE QUAD ST. CHARLES - STARBUCKS

ST. CHARLES, ILLINOIS

SC OUT PARCEL ONE, LLC

F021d
STARBUCKS
4/28/16

PROPOSED	DESCRIPTION	EXISTING
	STORM SEWER	
	WATER MAIN WITH SIZE	
	SANITARY SEWER	
	RIGHT-OF-WAY	
	CONTOUR	
	SPOT GRADE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	GATE VALVE W/VALVE	
	STREET LIGHT	
	STREET LIGHT W/WAST	
	OVERFLOW DIRECTION	
	CURB & GUTTER	
	SALT FENCE	
	ROAD SIGN	
	UNDERGROUND ELECTRIC	
	UNDERGROUND GAS	
	UTILITY POLE	
	DEPRESSED CURB FOR RAMP/DRAINWAY	
	TOP OF FOUNDATION	
	GARAGE FLOOR, AT REAR OF GARAGE	
	TOP OF CURB, DEPRESSED	
	TOP OF RETAINING WALL	
	RM FOR STRUCTURES	
	RISER FOR SANITARY SERVICE	
	HIGH/NORMAL WATER LEVEL	
	TRANSFORMER	
	FENCE LINE	
	GUARD RAIL	
	FORCE MAIN	
	UNDERGROUND TELEPHONE	
	OVERHEAD ELECTRIC	
	GAS LINE	



LOCATION MAP
NOT TO SCALE

BASIS OF BEARINGS:

ELEVATIONS ARE BASED ON THE CITY OF ST. CHARLES VERTICAL CONTROL NETWORK (WAD08S).

REFERENCE BENCHMARKS:

STATION STC 18 - TOP CENTER OF A 2 1/2" ALUMINUM DISK STAMPED STC 18 2008, FROM THE INTERSECTION OF ROUTE 64 AND 38TH AVE. 200' TO STATION ON THE LEFT.

ELEVATION = 782.35-

STATION STC 17 - TOP CENTER OF A 2 1/2" ALUMINUM DISK STAMPED STC 08 2008, STATION IS LOCATED IN THE NORTHWESTERLY CORNER OF THE INTERSECTION OF JUNIATA ROAD AND FOX CHASE BLVD.

ELEVATION = 782.85-

SITE BENCHMARKS:

BM 1 - CUT SQUARE ON THE EAST SIDE OF CONCRETE BASE OF TRAFFIC SIGNAL LIGHT AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF ILLINOIS ROUTE 64 AND SOUTHWEST CHARLESTOWNE MALL ENTRANCE.

ELEVATION = 782.27-

BM 2 - CUT SQUARE ON THE EAST SIDE OF CONCRETE BASE OF TRAFFIC SIGNAL LIGHT AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF ILLINOIS ROUTE 64 AND SOUTHWEST CHARLESTOWNE MALL ENTRANCE.

ELEVATION = 792.33-

BM 3 - SOUTH ARROW BOLT ON FIRE HYDRANT AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF FOXFIELD DRIVE AND FOX CHASE DRIVE.

ELEVATION = 776.09-

BM 4 - CUT SQUARE ON THE NORTH SIDE OF CONCRETE BASE OF TRAFFIC SIGNAL LIGHT AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF SOUTH ROAD AND NORTHEAST CHARLESTOWNE MALL ENTRANCE.

ELEVATION = 769.66-

NOTE:

BENCHMARKS & EXISTING CONDITIONS SHOWN ON THESE PLANS WERE OBTAINED FROM A BOUNDARY & TOPOGRAPHIC SURVEY, LAST REVISED 4/5/16, PREPARED BY JACOB & HEFNER ASSOCIATES, INC.

DRAWING INDEX

SHEET	TITLE
C1.0	COVER SHEET
C2.0	GENERAL NOTES
C3.0	EXISTING CONDITIONS & DEMOLITION PLAN
C4.0	DIMENSIONAL CONTROL & PAVING PLAN
C5.0	GRADING PLAN
C5.1	DETAIL GRADING PLAN
C6.0	UTILITY PLAN
C7.0	EROSION CONTROL PLAN
C8.0	STORMWATER POLLUTION PREVENTION PLAN
C8.1	SWPPP DETAILS
C9.0-C11.0	DETAILS
C12.0	SPECIFICATIONS
E1	ELECTRICAL SITE PLAN
E2	PHOTOMETRIC SITE PLAN
E3	SCHEDULES & DETAILS
L1	LANDSCAPE PLAN

No.	Description	Date
2	REVISED PER CITY OF ST. CHARLES	4/28/16
1	ISSUED FOR REVIEW	4/8/16
REVISIONS		

ENGINEER
MARK ZAPRZALKA
MZAPRZALKA@JACOBANDHEFNER.COM
ILLINOIS REGISTRATION NO. 062-055446
EXPIRES 11/30/2017
ENGINEER ONLY EXEMPT SHEETS - C1.0-C12.0
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND IMPROVED YOUR CONSTRUCTION.



JACOB & HEFNER
ASSOCIATES

1910 S. Highland Avenue, Suite 100, Lombard, IL 60148

PHONE: (630) 652-4600, FAX: (630) 652-4601

www.jacobandhefner.com

WARNING



CALL BEFORE
YOU DIG

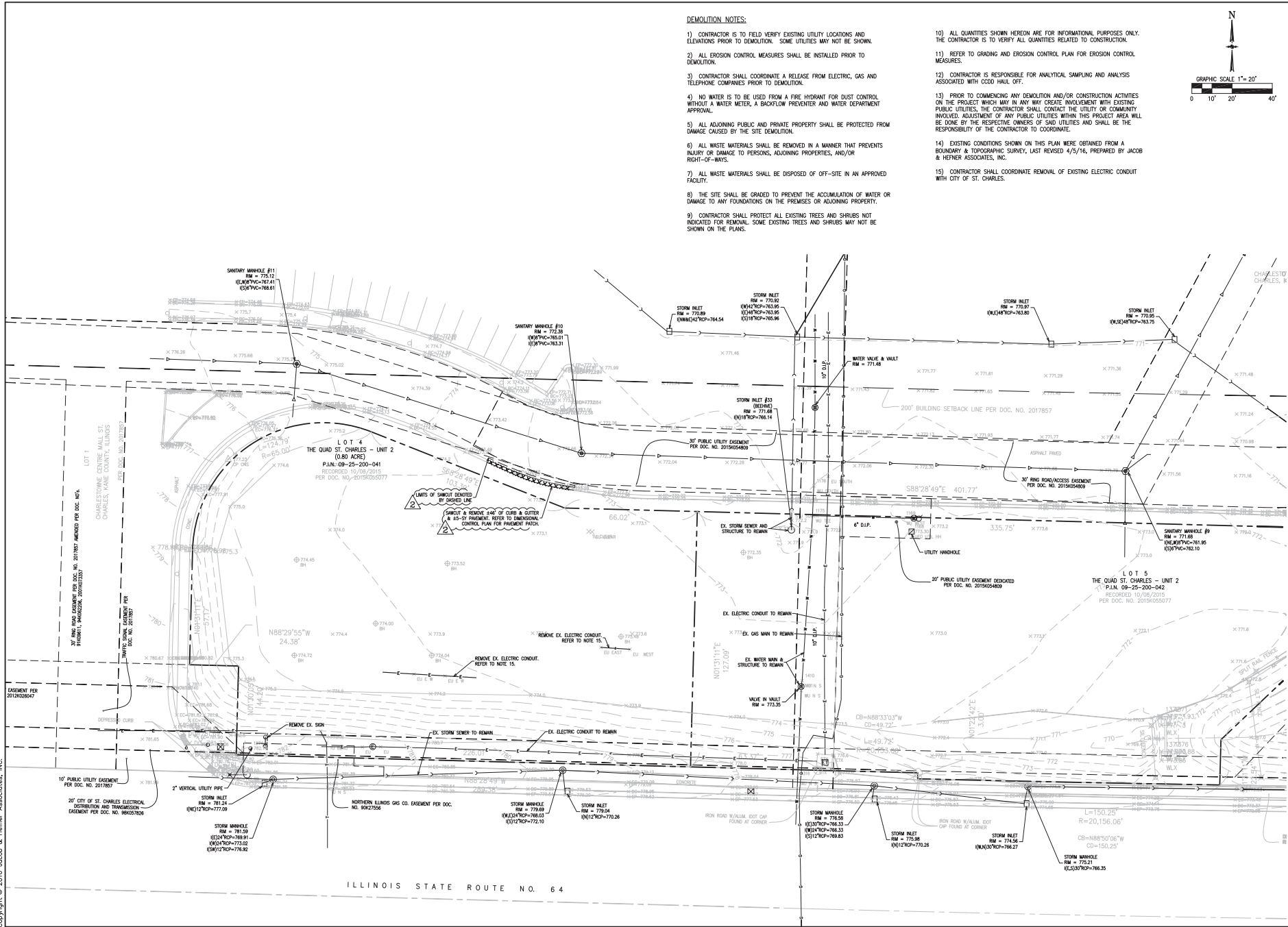
(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)



Know what's below.
Call before you dig.

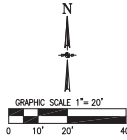
Municipality: ST. CHARLES
County: KANE
Township: 40N
Range: 8E
Section: 25

FOR REVIEW PURPOSES ONLY



DEMOLITION NOTES:

- CONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.
- CONTRACTOR SHALL COORDINATE A RELEASE FROM ELECTRIC, GAS AND TELEPHONE COMPANIES PRIOR TO DEMOLITION.
- NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER AND WATER DEPARTMENT APPROVAL.
- ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
- ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT-OF-WAYS.
- ALL WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN AN APPROVED FACILITY.
- THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OR ADJOINING PROPERTY.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS NOT INDICATED FOR REMOVAL. SOME EXISTING TREES AND SHRUBS MAY NOT BE SHOWN ON THE PLANS.
- ALL QUANTITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS TO VERIFY ALL QUANTITIES RELATED TO CONSTRUCTION.
- REFER TO GRADING AND EROSION CONTROL PLAN FOR EROSION CONTROL MEASURES.
- CONTRACTOR IS RESPONSIBLE FOR ANALYTICAL SAMPLING AND ANALYSIS ASSOCIATED WITH CDDO HAIL OFF.
- PRIOR TO COMMENCING ANY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES ON THE PROJECT WHICH MAY IN ANY WAY CREATE INVOLVEMENT WITH EXISTING PUBLIC UTILITIES, THE CONTRACTOR SHALL CONTACT THE UTILITY OR COMMUNITY INVOLVED. ADJUSTMENT OF ANY PUBLIC UTILITIES WITHIN THIS PROJECT AREA WILL BE DONE BY THE RESPECTIVE OWNERS OF SAID UTILITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE.
- EXISTING CONDITIONS SHOWN ON THIS PLAN WERE OBTAINED FROM A BOUNDARY & TOPOGRAPHIC SURVEY, LAST REVISED 4/5/16, PREPARED BY JACOB & HEFNER ASSOCIATES, INC.
- CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING ELECTRIC CONDUIT WITH CITY OF ST. CHARLES.



EXISTING CONDITIONS &
DEMOLITION PLAN

THE QUAD ST. CHARLES - STARBUCKS
SC OUT PARCEL ONE, LLC
ST. CHARLES, ILLINOIS

JACOB & HEFNER
ASSOCIATES

1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com



F021d

1"=20'

C3.0

NOTES:

- 1) ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- 2) INSTALL REVERSE PITCH 86.12 CURB AND GUTTER AT EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- 3) NORMAL PITCH CURB AND GUTTER DETERMINED BY HATCHING: _____
- 4) CURB AND GUTTER DENOTED BY: _____
- 5) DEPRESSION CURB AND GUTTER DENOTED BY: _____
- 6) ALL RADII ARE 4-FT UNLESS NOTED OTHERWISE.
- 7) ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC CONFORMING TO IDOT STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- 8) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 9) ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.
- 10) STAIR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.
- 11) ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS, ETC., SHOWN ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.
- 12) FIBER EXPANSION JOINTS OF 3/4" FULL DEPTH BIT FIBER MATERIAL SHALL BE INSTALLED AS REFERENCE IN THE PAVEMENT LEGEND (THIS SHEET) AND WHERE CONCRETE ABUTS ALL CURB, BUILDING, POLES OR OTHER STRUCTURES.
- 13) CONSTRUCTION JOINTS SHALL BE PLACED WHERE REQUIRED IN ACCORDANCE WITH AASHTO 330R-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PAVING LOTS.

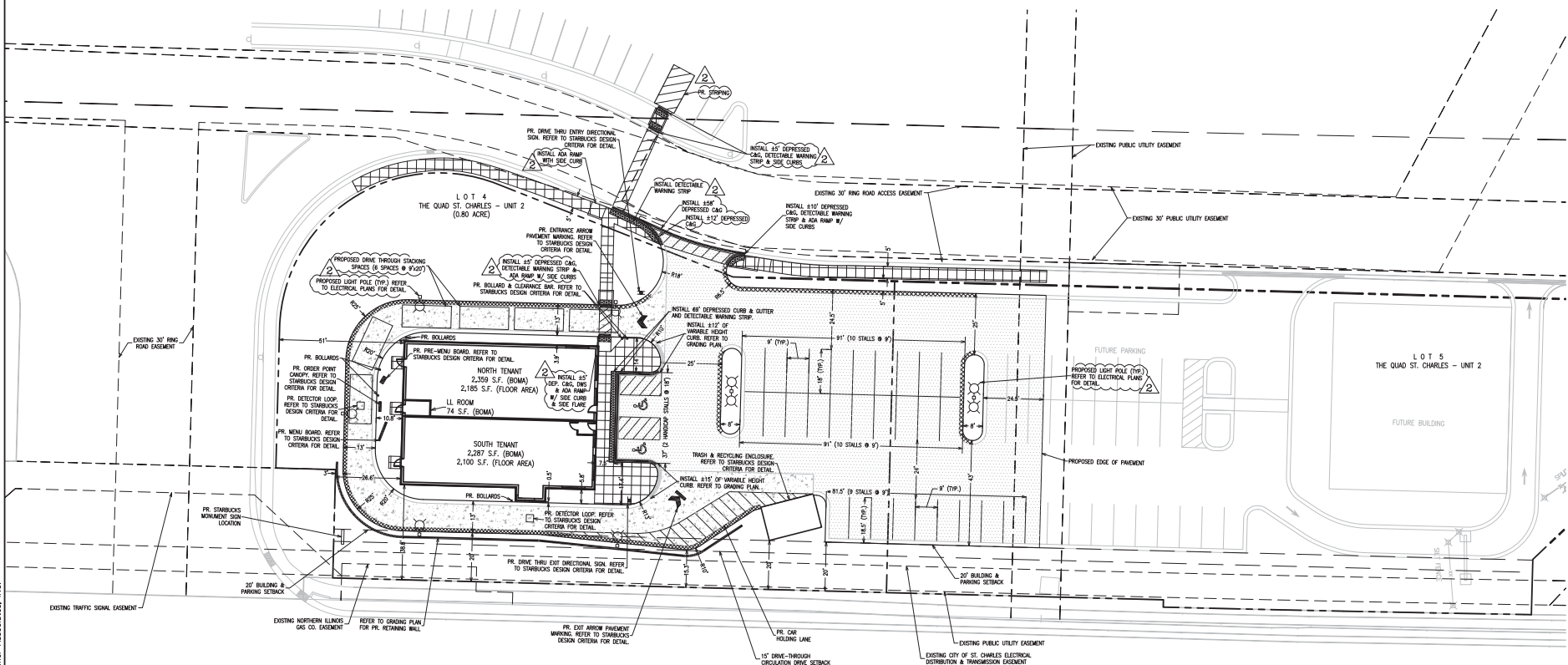
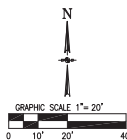
PAVEMENT LEGEND

- ASPHALT PAVEMENT**
 2" HMA SURFACE COURSE, 1" MAX D₁₀ N30
 2.25" HMA BASE COURSE, 1.19 D₁₀ N30
 10" CA-B BASE COURSE

CONCRETE PAVEMENT
 6" C/P PAVEMENT, 4000 PSI, A/E
 4" CA-B BASE COURSE
 CONTRACTION JOINTS @ 50' C-C
 EXPANSION JOINTS @ 50' C-C

SIDEWALK PAVEMENT
 5" C/P PAVEMENT, 4000 PSI, UNREINFORCED
 4" CA-B BASE COURSE
 BROOM FINISH
 CONTRACTION JOINTS @ 50' C-C
 EXPANSION JOINTS @ 50' C-C

**PAVEMENT PATCH FOR CURB & GUTTER
 REPLACEMENT ALONG RING ROAD:**
 2" HMA SURFACE COURSE, 1" MAX D₁₀ N30
 3" HMA UNDER COURSE, 1.19 D₁₀ N30
 10" CA-B BASE COURSE



ILLINOIS STATE ROUTE NO. 64

DIMENSIONAL CONTROL & PAVING PLAN


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THE QUAD ST. CHARLES - STARBUCKS
SC OUT PARCEL ONE, LLC
ST. CHARLES, ILLINOIS

F021d
1''=20'
C4.0


ADA GRADING NOTES

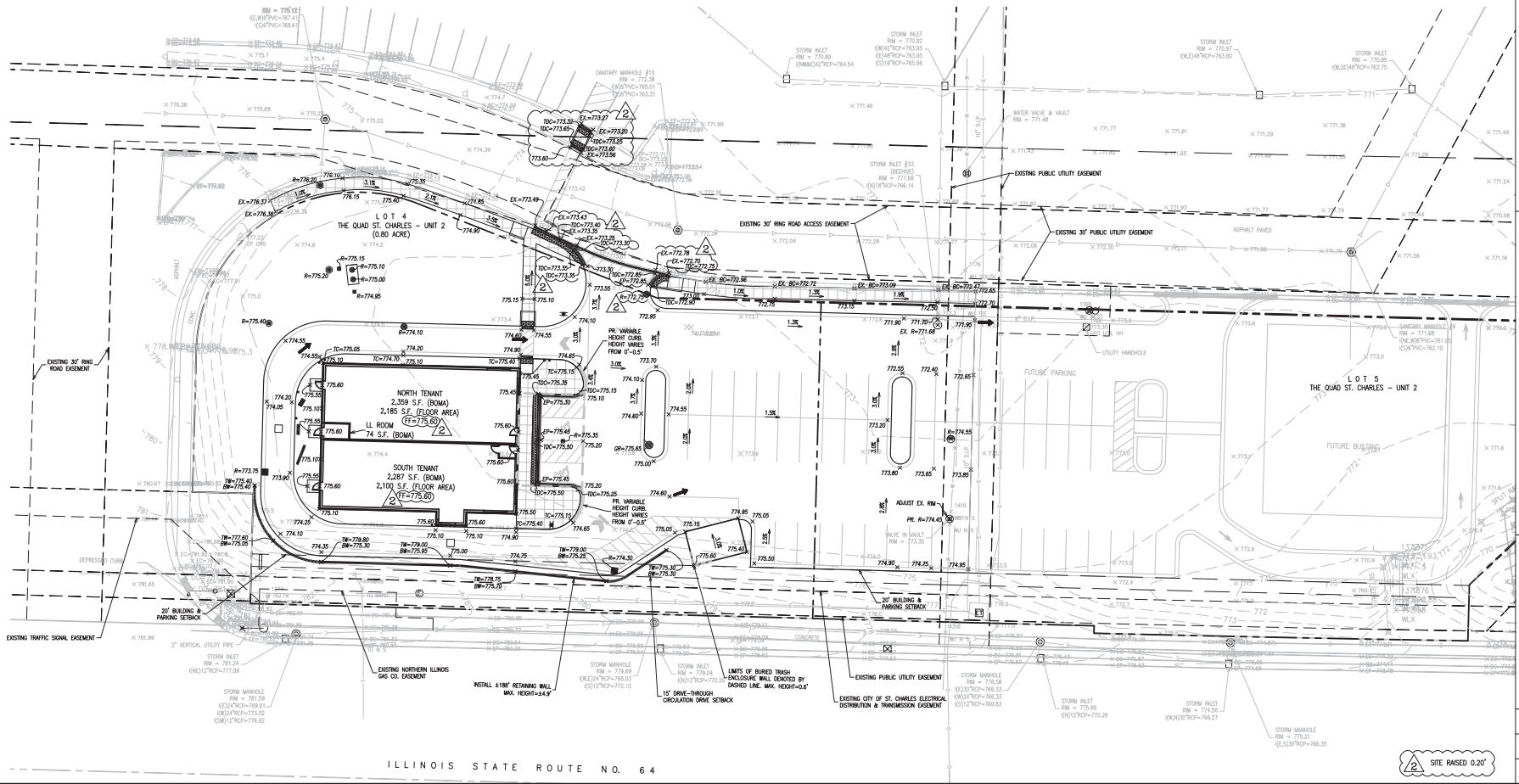
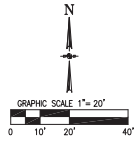
- 1) ALL SIDEWALKS INTERSECTING WITH CURBS SHALL BE CONSTRUCTED WITH HANDICAP ACCESSIBLE CURB RAMPS UNLESS OTHERWISE NOTED. SEE DETAIL FOR HANDICAP CURB RAMP CONSTRUCTION.
- 2) ALL HANDICAP ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING SURFACES. SEE DETAIL FOR DETECTABLE WARNING SURFACE CONSTRUCTION.
- 3) CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%. HANDICAP ACCESSIBLE ROUTE DENOTED BY: 
- 4) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 5) THE PAVEMENT SLOPE WITHIN HANDICAP ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
- 6) REFER TO SHEET C5.1 FOR DETAIL GRADING IN HANDICAP ACCESSIBLE ROUTE.

GRADING LEGEND

- XXX.XX = PROPOSED SPOT GRADE
X =
TW=XXX.XX = PROPOSED GRADE AT TOP OF WALL
BW=XXX.XX = PROPOSED GRADE AT BOTTOM OF WALL
TC=XXX.XX = PROPOSED GRADE AT TOP OF DEPRESSION CURB
TC=XXX.XX = PROPOSED GRADE AT TOP OF B&I2 CURB
EP=XXX.XX = PROPOSED GRADE AT EDGE OF PAVEMENT
EX=XXX.XX = EXISTING SPOT GRADE

GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 4) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 5) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 6) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 7) THE SLOPE THROUGHOUT ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 1.5% IN ALL DIRECTIONS.
- 8) DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 4%. IF THE DRIVEWAY LAYOUT OR LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
- 9) PROPOSED RETAINING WALLS SHALL BE DESIGNED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STRUCTURAL DESIGN.
- 10) RETAINING WALL TYPE AND COLOR SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- 11) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.
- 12) OVERLAND FLOOD ROUTE DENOTED BY: 



GRADING PLAN
THE QUAD ST. CHARLES - STARBUCKS
SC OUT PARCEL ONE, LLC
ST. CHARLES, ILLINOIS

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F021d
1"=20'
C5.0


ADA GRADING NOTES

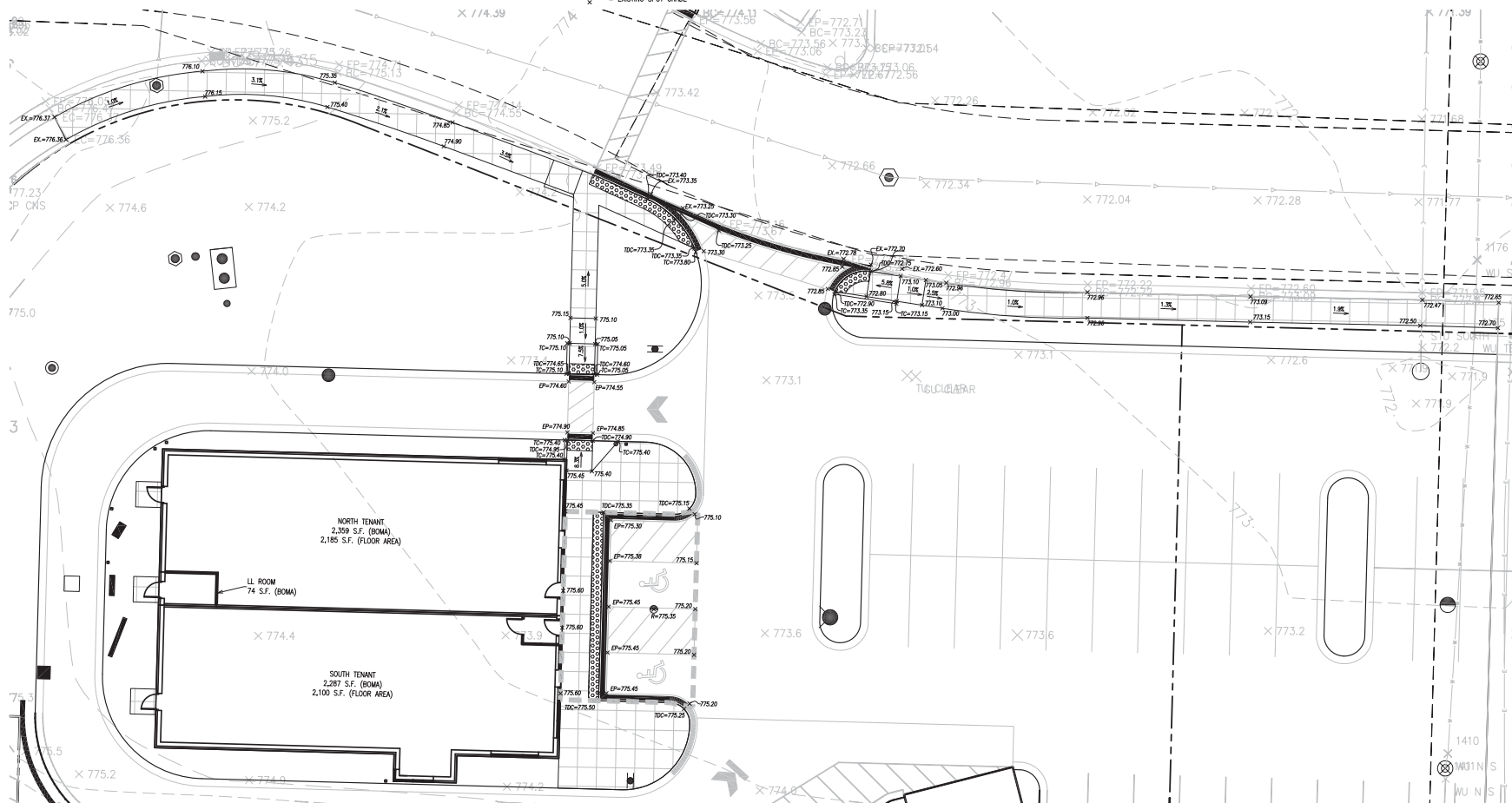
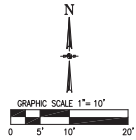
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- 3) CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%. HANDICAP ACCESSIBLE ROUTE IDENTIFIED BY: _____
- 4) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 5) THE PAVEMENT SLOPE WITHIN HANDICAP ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
- 6) REFER SHEET C5.0 FOR OVERALL GRADING PLAN.

GRADING LEGEND

$\text{XXX.XX} = \text{PROPOSED SPOT GRADE}$
 $\text{TW-XXX.XX} = \text{PROPOSED GRADE AT TOP OF WALL}$
 $\text{BW-XXX.XX} = \text{PROPOSED GRADE AT BOTTOM OF WALL}$
 $\text{TD-XXX.XX} = \text{PROPOSED GRADE AT TOP OF DEPRESSION CURB}$
 $\text{TC-XXX.XX} = \text{PROPOSED GRADE AT TOP OF B6.12 CURB}$
 $\text{EP-XXX.XX} = \text{PROPOSED GRADE AT EDGE OF PAVEMENT}$
 $\text{EX-XXX.XX} = \text{EXISTING SPOT GRADE}$

GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
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- 8) DRIVEWAY SLOPE SHALL BE BETWEEN 2% AND 4%. IF THE DRIVEWAY LAYOUT OR LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
- 9) PROPOSED RETAINING WALLS SHALL BE DESIGNED BY AN LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STRUCTURAL DESIGN.
- 10) RETAINING WALL TYPE AND COLOR SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- 11) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.
- 12) OVERLAND FLOOD ROUTE DENOTED BY: 



UTILITY NOTES

- EXISTING UTILITIES HAVE BEEN SHOWN SCHEMATICALLY FOR THE CONTRACTOR'S GUIDANCE ONLY. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF ALL UTILITIES THAT MAY BE AFFECTED PRIOR TO CONSTRUCTION.
- CONTRACTOR TO TERMINATE PROPOSED UTILITIES 5-FT OUTSIDE OF BUILDING FACE UNLESS NOTED OTHERWISE. PLUG AND STAKE LOCATION AND ELEVATION.
- ALL UTILITY LENGTHS ARE TO CENTER OF STRUCTURES IN LINEAR FEET.
- ALL EXISTING UTILITY RIMS, GRADES, RINGS, PEDESTALS, ETC., SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED GRADES.
- PROPOSED RIM GRADES FOR INLETS ARE FROM EDGE OF PAVEMENT.
- SELECTED GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AS INDICATED ON THE PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS. TBF DENOTED BY: [Symbol]

STORM SEWER NOTES

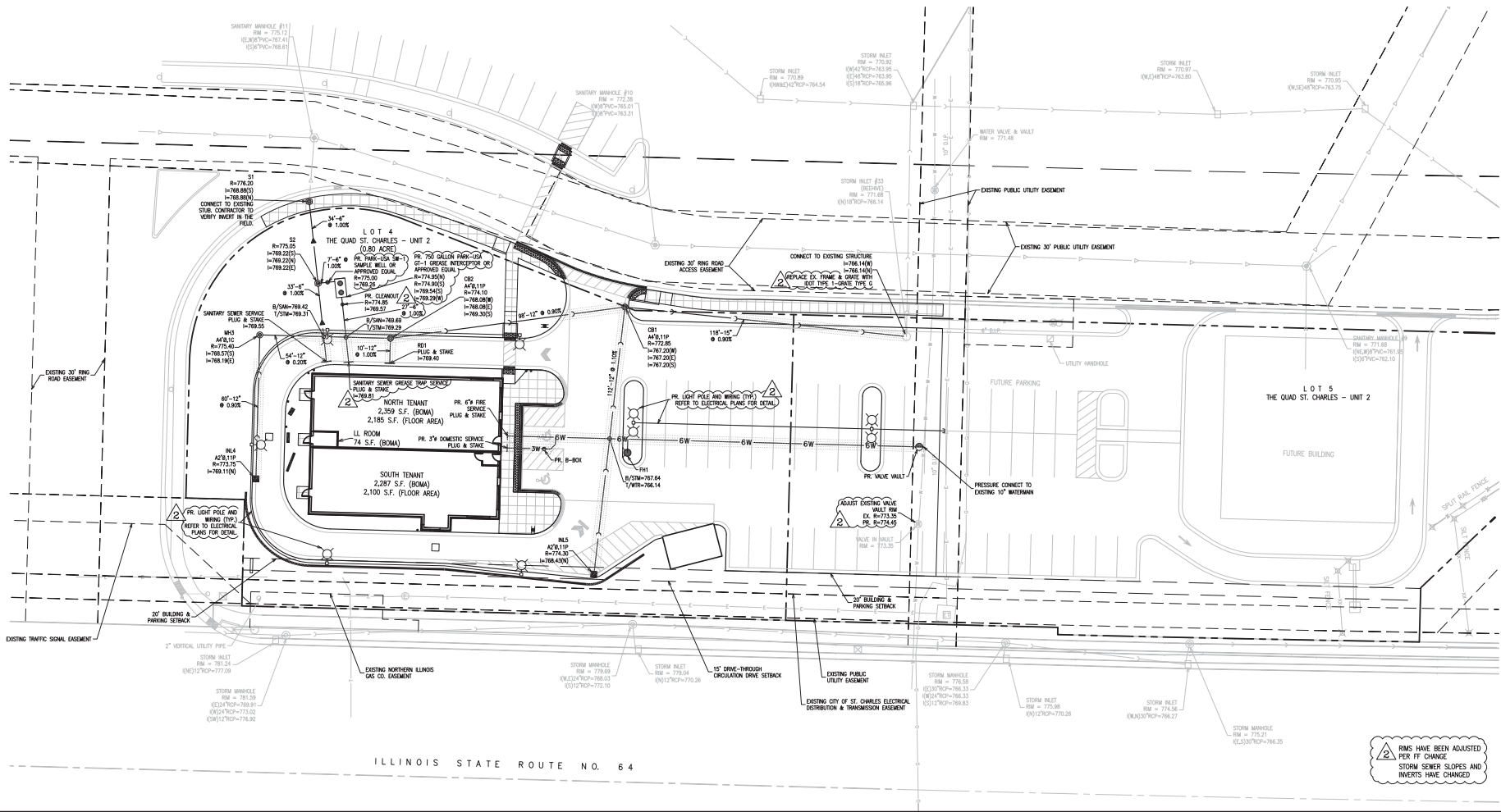
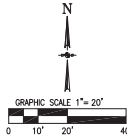
- STORM STRUCTURE SYMBOL LEGEND:
 IN=INLET
 CB=CATCH BASIN
 MH=MANHOLE
- 2 FRAME AND GRATE/ID SYMBOL LEGEND:
 1C: IDOT TYPE 1 (CLOSED), NEENAH R1713, EJM 105021
 1P: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE D GRATE), EJM 105021 (TYPE M3 GRATE)
 1PP: IDOT TYPE 1 (OPEN), NEENAH R2504 (TYPE G GRATE), EJM 105021 (TYPE M1 GRATE)
 1IP: IDOT TYPE 11, NEENAH R3281-A, EJM 7210
- EXAMPLE:
 MH=36
 AT&B 1P
 MANHOLE #36, TYPE A, 4-FT DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)
- ALL 12-INCH AND 15-INCH STORM SEWER SHALL BE RCP CLASS V. ALL OTHER RCP SHALL BE CLASS IV, UNLESS NOTED OTHERWISE ON PLANS.
 - ALL UNDERDRAINS SHALL BE PER IDOT STANDARDS OR AS SPECIFIED IN THE DETAIL.
 - ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE.

WATER MAIN NOTES

- WATERMAIN STRUCTURE SYMBOL LEGEND:
 V=VALVE/VAULT
 VB=VALVE BOX
 FH=FIRED HYDRANT ASSEMBLY
 PC=PRESSURE CONNECTION
- ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON THE PLANS.
 - ALL FIRED HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON THE PLANS.
 - BRASS WEDGES FOR LOCATING WATER MAINS SHALL BE INSTALLED PER SECTION 41-2.05C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, AS AMENDED.
 - MAINTAIN A MINIMUM OF 5.5-FT OF COVER AS MEASURED FROM THE PROPOSED GRADE OVER THE WATER MAIN. MAINTAIN HORIZONTAL SEPARATION WITH OTHER UTILITIES PER ICPA REQUIREMENTS.
 - ALL PROPOSED WATER MAIN INSTALLED WITHIN FILL MATERIAL SHALL BE RESTRAINED USING U.S. PIPE FIELD-LOK CASSETS OR APPROVED EQUIVALENT TO A POINT 50-FT PAST ON EACH SIDE THE AREA WHERE THE WATER MAIN IS INSTALLED WITHIN FILL.

SANITARY SEWER NOTES

- SANITARY STRUCTURE SYMBOL LEGEND:
 S=SANITARY MANHOLE
- ALL SANITARY MANHOLES SHALL HAVE THE FOLLOWING FRAME & GRATE:
 1C: IDOT TYPE 1 (CLOSED), NEENAH R1713, EJM 105021
- ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON THE PLANS.



<p>JACOB & HEFNER ASSOCIATES 1910 S. Highland Avenue, Suite 108, Lombard, IL 60148 PHONE: (630) 652-6468, FAX: (630) 652-6461 www.jacobandhefner.com</p>		<p>UTILITY PLAN</p>	
		<p>THE QUAD ST. CHARLES - STARBUCKS SC OUT PARCEL ONE, LLC ST. CHARLES, ILLINOIS</p>	
2	REVISION PER CITY OF ST. CHARLES	4/28/16	Date
1	ISSUED FOR REVIEW	4/8/16	Description
No			
<p>F021d</p>		<p>1"=20'</p>	
<p>C6.0</p>			

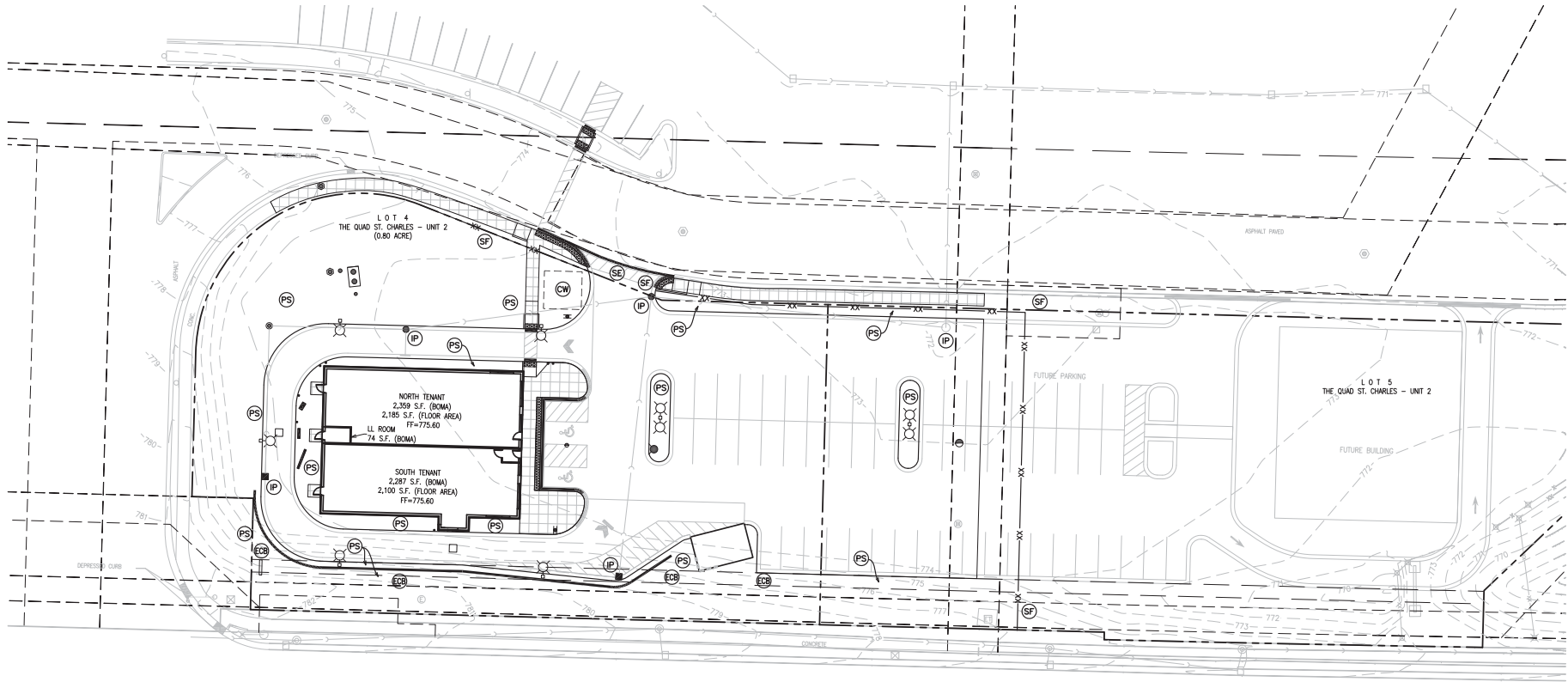
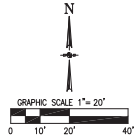
EROSION CONTROL NOTES

- 1) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 2) EARTHWORK CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 3) EARTHWORK CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
- 4) EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CLEAN PUBLIC ROADWAYS, FREE OF DIRT AND DEBRIS AT ALL TIMES.
- 5) OTHER EROSION CONTROL MEASURES SHALL BE IMPLEMENTED SHOULD AN INSPECTION OF THE SITE INDICATE A DEFICIENCY.
- 6) AREAS REACHING SUBSTANTIAL COMPLETION OF GRADING AND TOPSOIL PLACEMENT OPERATIONS SHALL BE PERMANENTLY SEEDED OR OTHERWISE LANDSCAPED WITHIN 14 DAYS FROM THE SUSPENSION OR COMPLETION OF GRADING AND TOPSOIL OPERATIONS.
- 7) SECONDARY CONTAINMENT SHALL BE REQUIRED FOR ANY BULK FUEL STORAGE THAT REMAINS ON-SITE FOR A PERIOD LONGER THAN 7 CALENDAR DAYS.
- 8) CONTAINMENT MEASURES SHALL BE REQUIRED FOR GENERATORS, PUMPS, MIXERS AND OTHER NON-ELECTRICAL POWERED EQUIPMENT THAT ARE TO BE STATIONED FOR LONGER THAN 24 HOURS.
- 9) EROSION CONTROL BLANKET SHALL BE PROVIDED IN ALL GREEN AREAS WITH SIDE SLOPES OF 4:1 OR STEEPER.
- 10) ALL GREEN AREAS SHALL BE DRESSED WITH A MINIMUM OF 12" OF TOPSOIL AND PERMANENT SEEDING.

EROSION CONTROL LEGEND

- (SF) SILT FENCE
- (IP) INLET PROTECTION
- (SE) STABILIZED CONSTRUCTION ENTRANCE
- (ECB) EROSION CONTROL BLANKET
- (CW) CONCRETE WASHOUT
- (PS) PERMANENT SEEDING

REFER TO SWPP PLAN SHEETS AND DETAILS FOR ADDITIONAL INFORMATION.



ILLINOIS STATE ROUTE NO. 64



EROSION CONTROL PLAN
THE QUAD ST. CHARLES - STARBUCKS
SC OUT PARCEL ONE, LLC
ST. CHARLES, ILLINOIS

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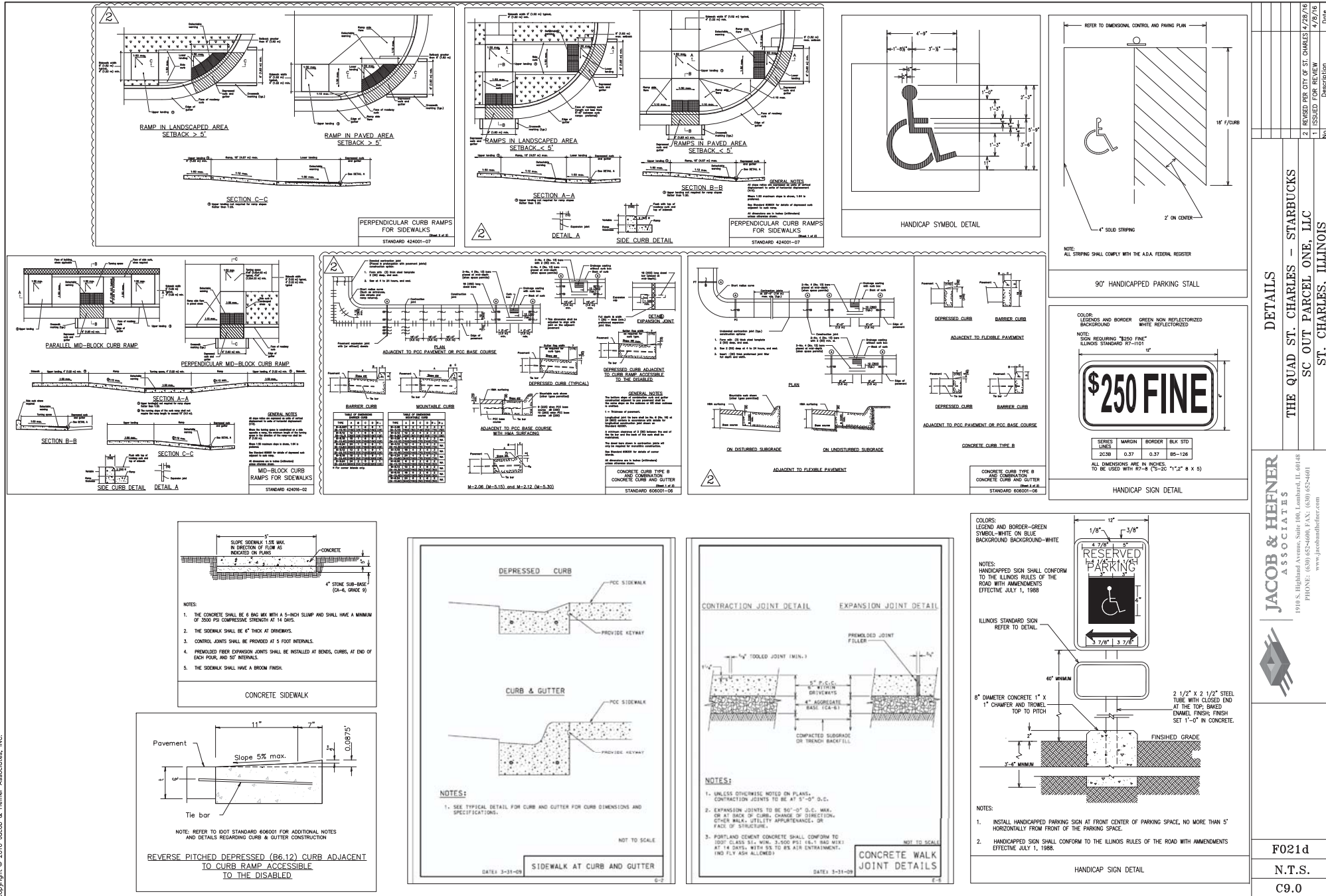


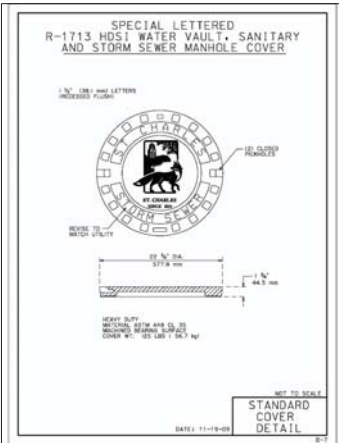
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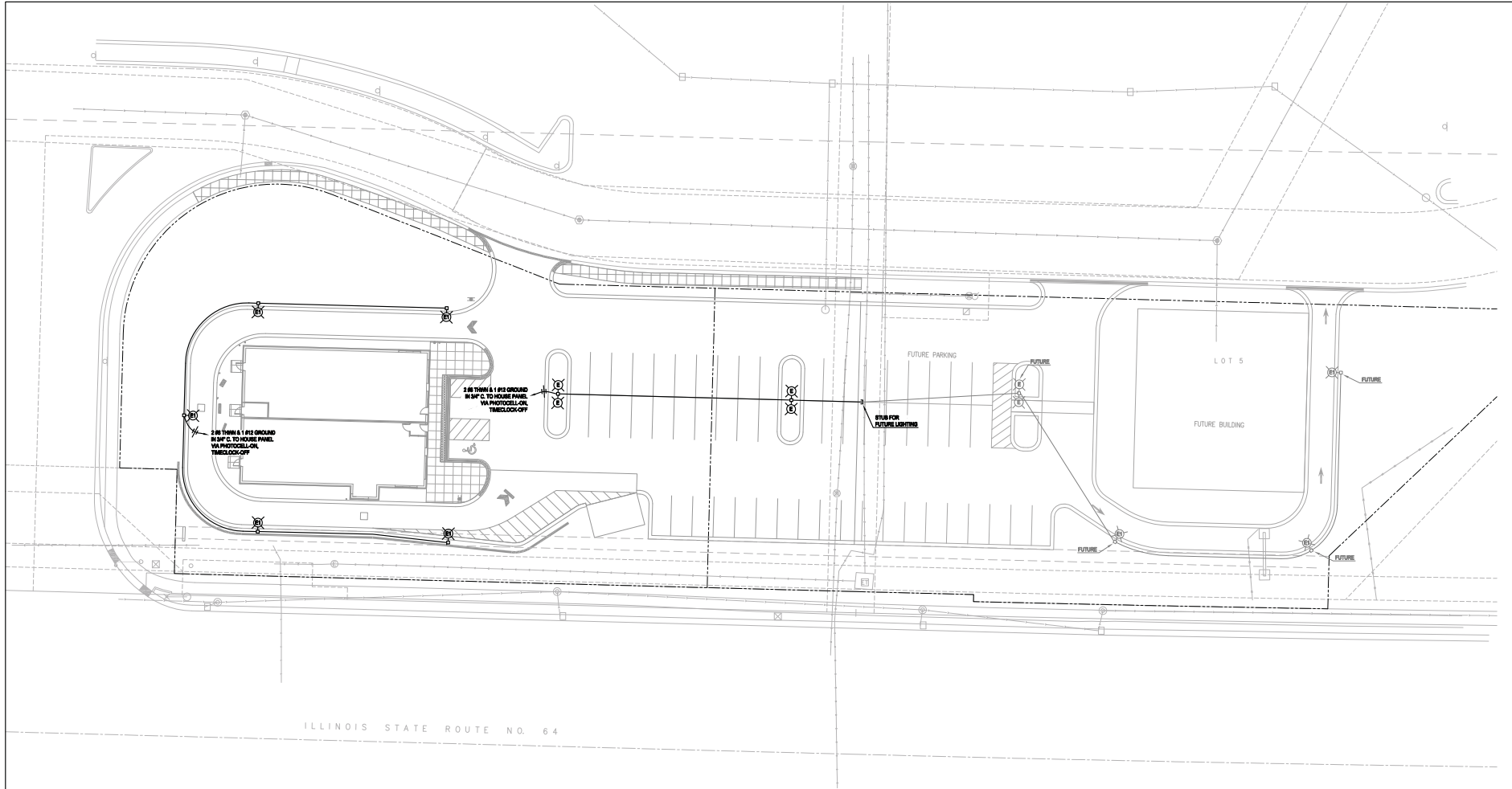
1"=20'

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No.	Description	Date
2	REVISION PER CITY OF ST. CHARLES	4/28/16
1	ISSUED FOR REVIEW	4/9/16







ILLINOIS STATE ROUTE NO. 64

ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"



Date: 04/28/16
Lic. Exp.: 11/30/17

Corporation Registration #184.003371
KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS
5430 SOUTH WESTWIDE DRIVE
N.W. STE. 200, W. SUITE
(862) 764-3333 FAX (862) 764-5014

ELECTRICAL SITE PLAN

THE QUAD ST. CHARLES - STARBUCKS

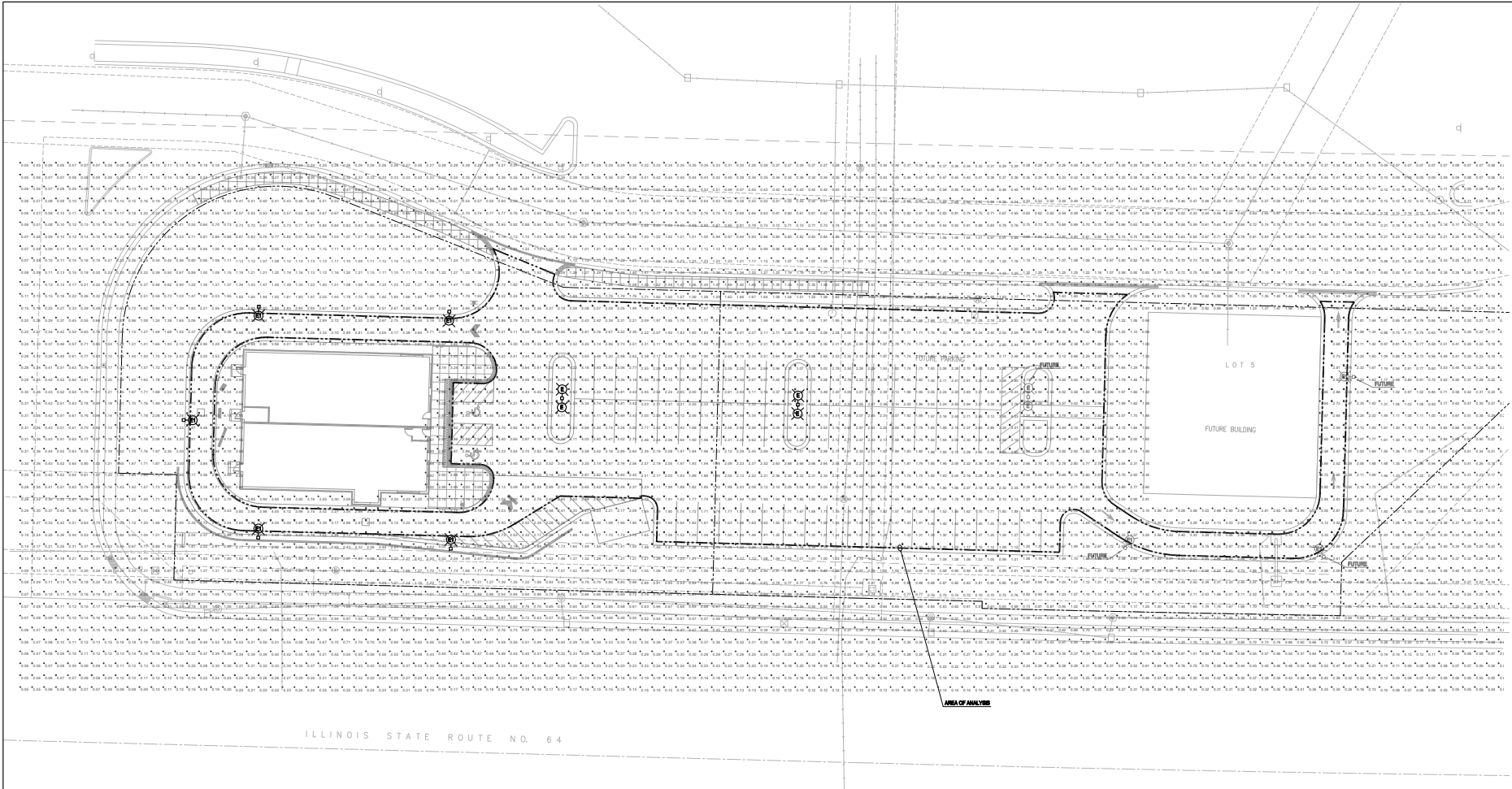
KRAUSZ COMPANIES
ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
1910 S. Highland Avenue, Suite 200, Lombard, IL 60148
PHONE: (630) 652-4601 FAX: (630) 652-4601
www.jacobandhefner.com



AS NOTED
16049
E1

No.	Description	Date
1	PERMIT & BO	04/28/16



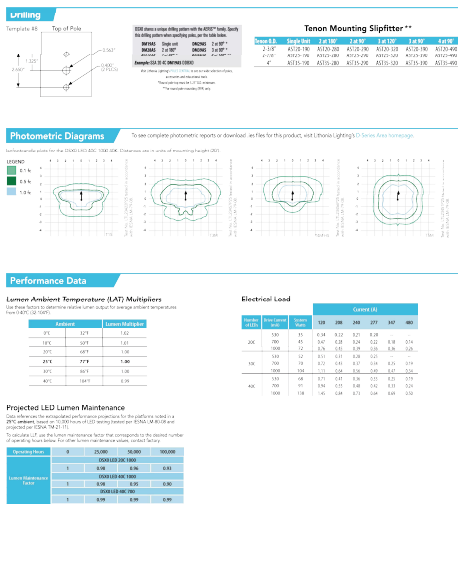
PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"

- LIGHTING ANALYSIS NOTES:**
(PAVED AREAS ONLY)
1. AVERAGE FOOTCANDLES: 2.88
 2. MINIMUM FOOTCANDLES: 0.89
 3. MAXIMUM FOOTCANDLES: 6.99
 4. AVERAGE/MINIMUM RATIO: 2.71
 5. MAXIMUM/MINIMUM RATIO: 6.61

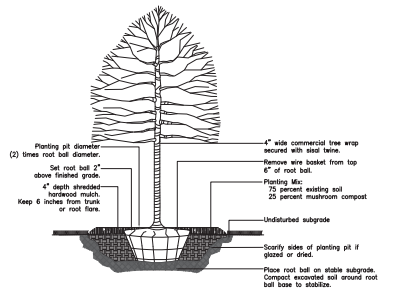
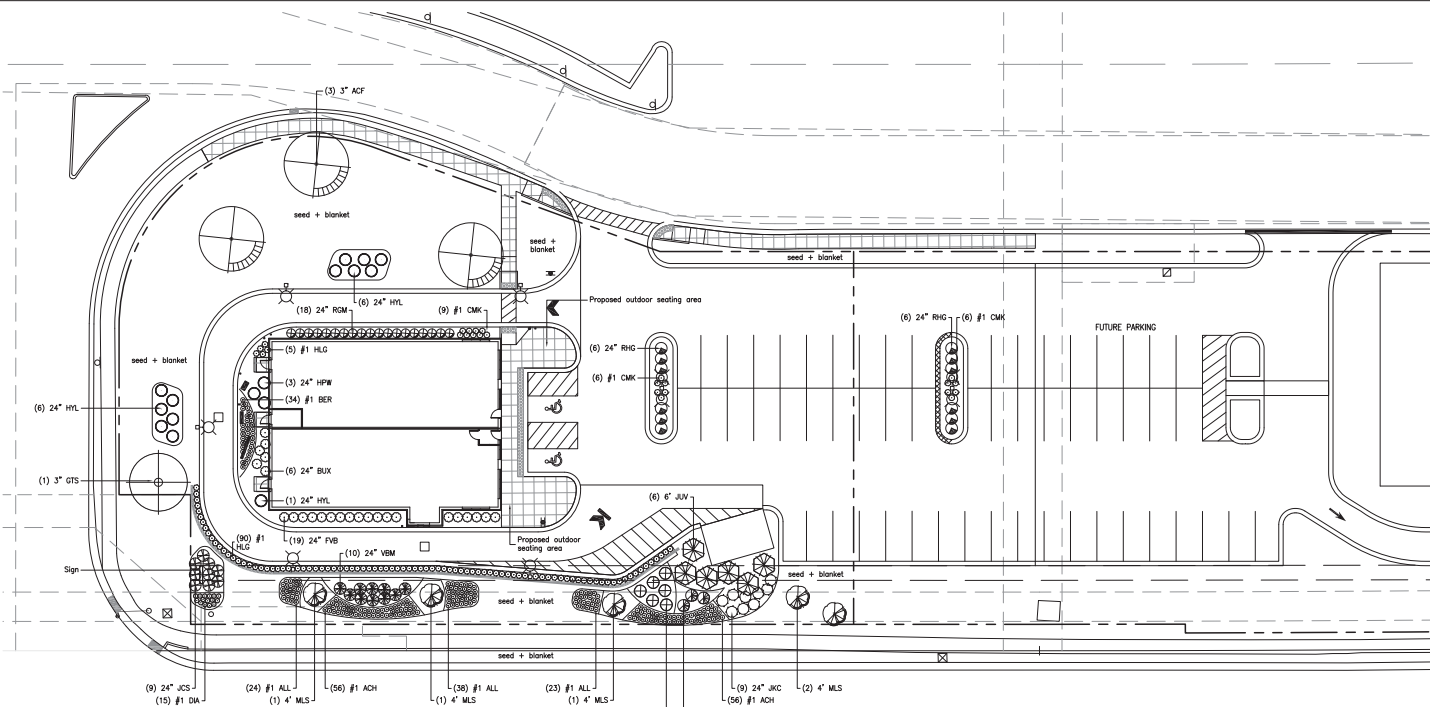


KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS
3430 SOUTH WESTWIND DRIVE
NILES, ILLINOIS 60064
(847) 794-3333 FAX: (847) 794-3014

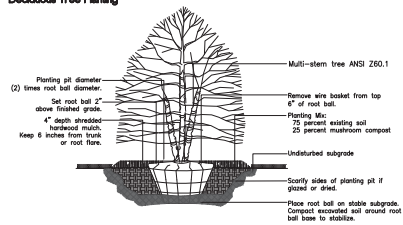
		AS NOTED			
		16049			
		E2			
JACOB & HEFNER ASSOCIATES					
1910 S. Highland Avenue, Suite 300, Lombard, IL 60148 PHONE: (630) 652-4600 / FAX: (630) 652-4601 www.jacobandhefner.com					
PHOTOMETRIC SITE PLAN					
THE QUAD ST. CHARLES - STARBUCKS					
KRAUSZ COMPANIES					
ST. CHARLES, ILLINOIS					
		1		PERMIT & BO	04/28/16
		No.		Description	Date

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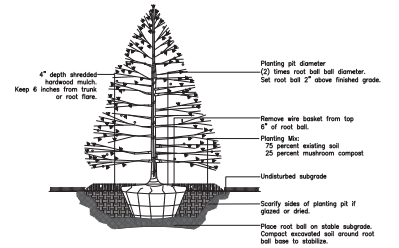

Date: 04/28/16
Lic. Exp.: 11/30/17
Corporation Registration #194.0005374
KORNACKI & ASSOCIATES, INC.
CORPORATE ENGINEERING & CONSTRUCTION
5400 SOUTH WESTBRIDGE DRIVE
MEMPHIS, TN 38117
(901) 794-3323 FAX (901) 794-5014



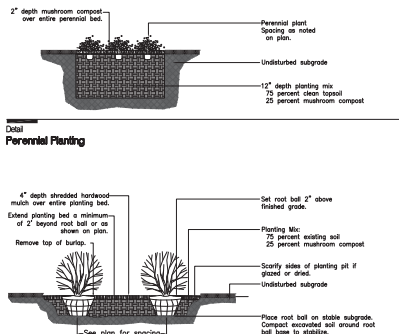
Detail
Deciduous Tree Planting



Detail
Deciduous Ornamental Tree Planting



Detail
Evergreen Tree Planting



Detail
Shrub Planting

Plant List

Shade Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACF	3	3"		Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	BB
GTS	1	3"		Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	BB
Ornamental Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
MLS	5	4"		Malus sargentii	Sargent Crabapple	BB/Clump
Evergreen Trees	Key	Qty.	Size	Botanical Name	Common Name	Remarks
JUV	6	6"		Juniperus virginiana	Eastern Redcedar	BB
Shrubs	Key	Qty.	Size	Botanical Name	Common Name	Remarks
BUX	6	24"		Buxus x microphylla 'Glencoe'	Chicago Island Green Boxwood	BB
PFB	19	24"		Forsythia viridissima 'Bonvernia'	Brown Dwarf Forsythia	BB
HPW	3	24"		Hydrangea paniculata 'Pinky Winky'	Pinky Winky Hydrangea	BB
HTL	13	24"		Hydrangea paniculata 'Limelight'	Limelight Hydrangea	BB
JCS	9	24"		Juniperus chinensis var. sargentii	Sargent Juniper	BB
JKC	9	24"		Juniperus chinensis 'Kolory's Compacta'	Kolory's Compact Juniper	BB
ROM	18	24"		Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	BB
RHG	12	24"		Rhus glabra 'Gro-Low'	Gro-Low Fragrant Sumac	BB
ROS	6	6"		Rosa 'Townsend'	Pink Flowering Rose	BB
SAK	3	24"		Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	BB
VIM	10	24"		Viburnum dentatum 'Christina'	Blue Muffin Arrowwood Viburnum	BB
Perennials and Ornamental Grasses	Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACH	112	1"		Achillea 'Moonshine'	Moonshine Yarrow	Container
ALL	85	1"		Allium 'Summer Beauty'	Summer Beauty Allium	Container
BER	54	1"		Bergenia carvilleana 'Winter Glow'	Winter Glow Bergenia	Container
CMK	21	1"		Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	Container
DA	13	1"		Diarrhiza virginianensis 'Firewitch'	Firewitch Cheddar Pinks	Container
HLG	95	1"		Heimerocallis 'Little Grappette'	Little Grappette Daylily	Container

Landscape Plan

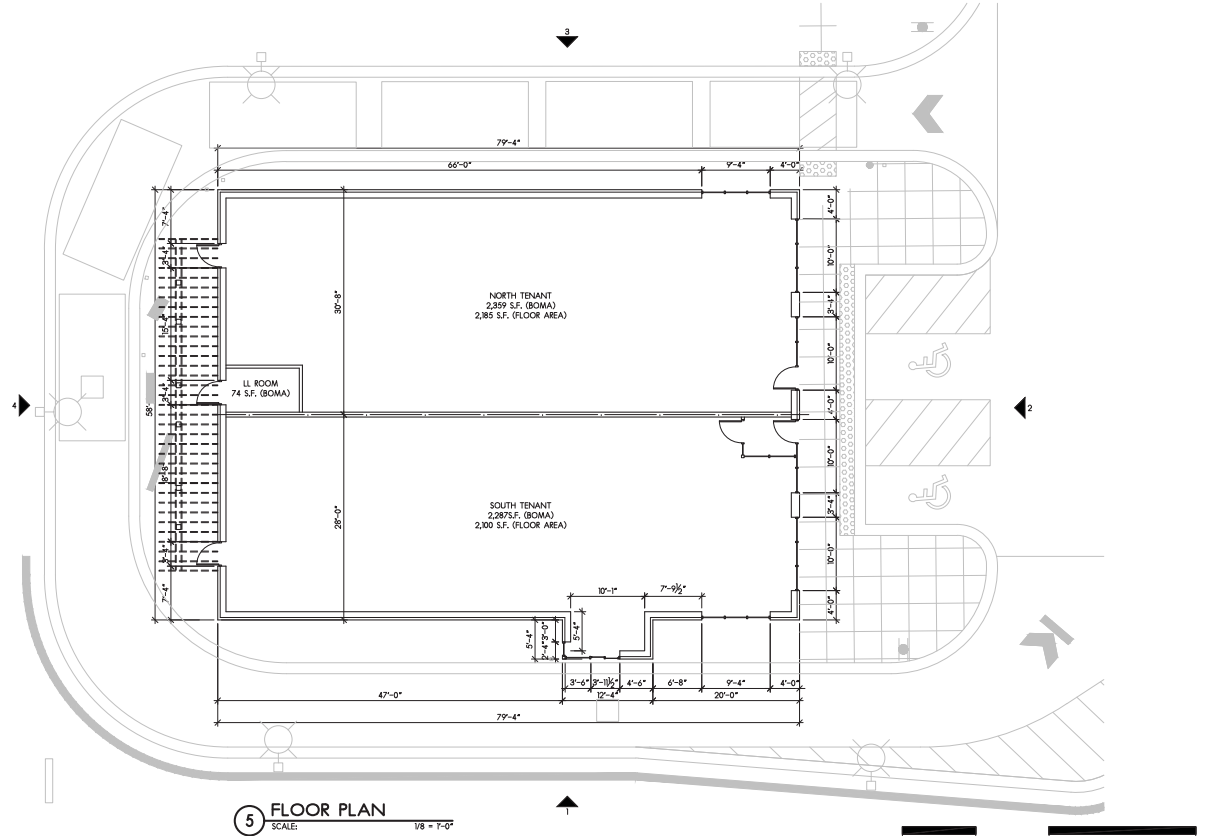
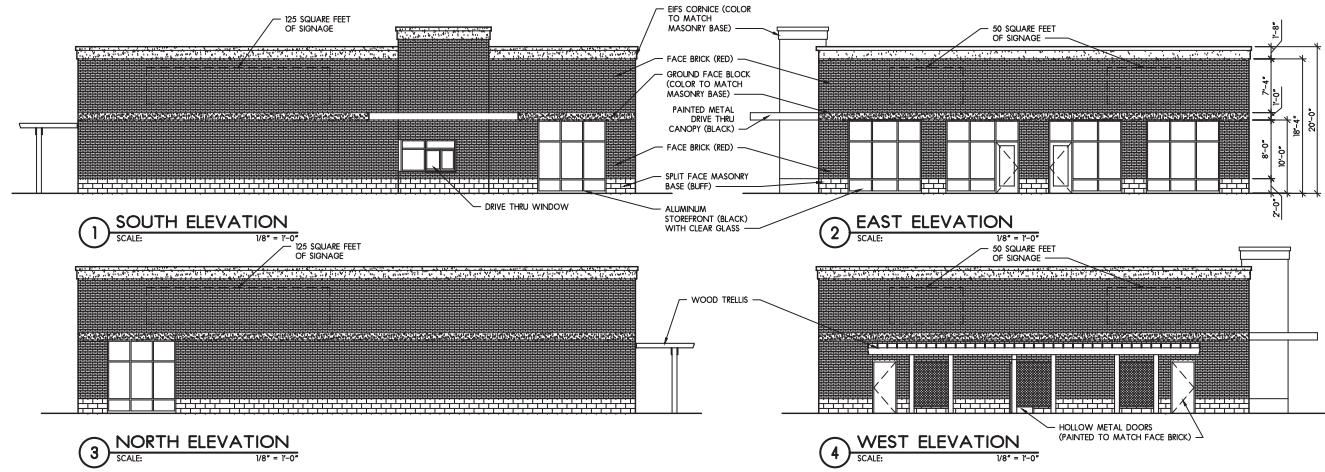
2	Per City Review	04/28/16
1	For Review	04/07/16
Mark	Description	Date
ISSUANCE		

Number
4476P2A

Scale
1" = 20'

File
4476B

Sheet
L10



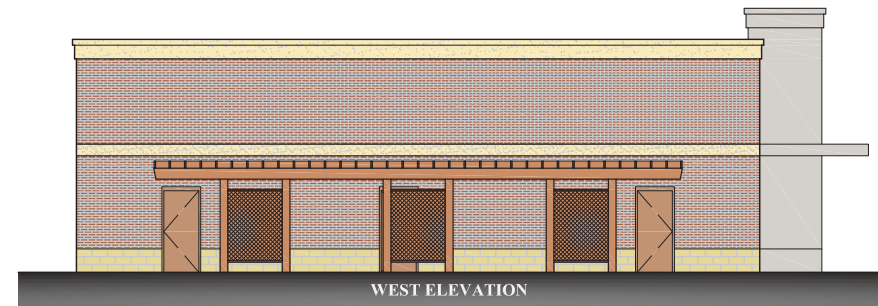
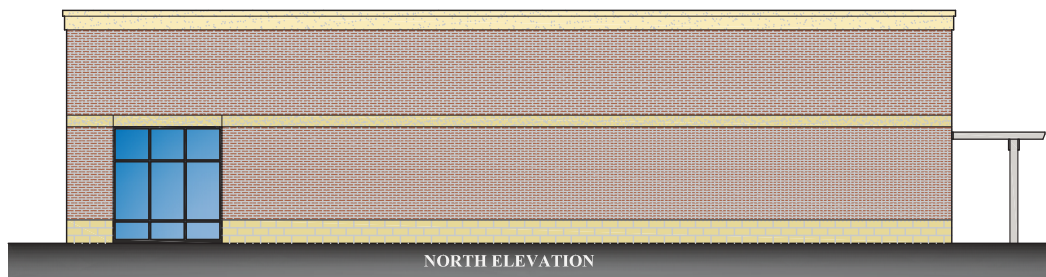
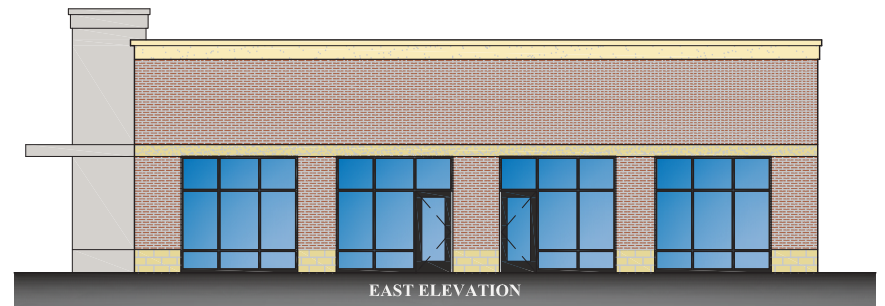
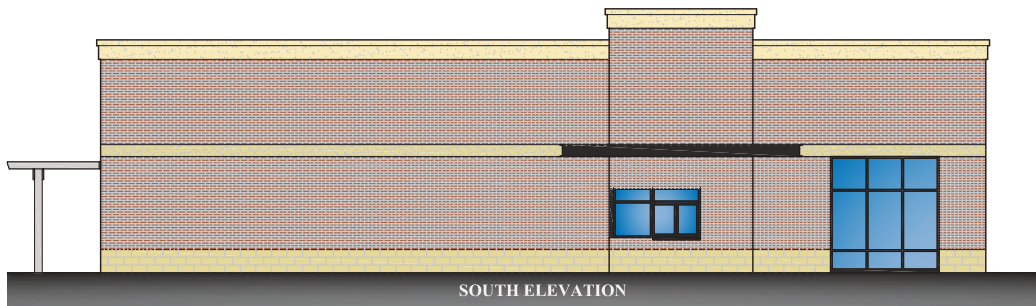
DATE: 04-05-2016
PROJECT NUMBER
25196
SHEET NUMBER
A1.1

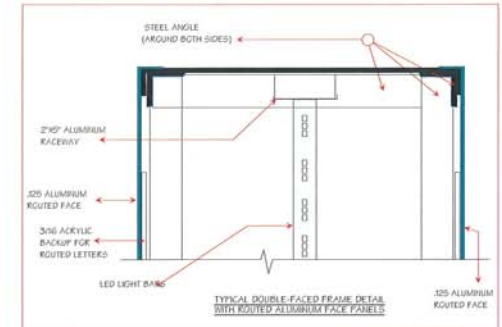
ISSUED FOR: DATE
DRAWN
APPROVED

RETAIL PAD SITE FOR THE
THE QUAD
ST. CHARLES IL 60174

PROGRESS PRINT
Not For Construction
Date: 04-05-2016
Larson & Darby Group
Architects Engineers Interiors

Larson & Darby Group
Architects Engineers Interiors
Burlington, VT 05401
St. Charles Office: 2019 Dan St. St. Charles, IL 60174-4802 Tel: (630) 444-2310 Fax: (630) 444-2360





SIGN TO
BE UL
LISTED

DOUBLE-FACED ILLUMINATED SIGN

FABRICATE AND INSTALL SIGN OF ALUMINUM AND STEEL ANGLE.

FACES TO BE WHITE ACRYLIC WITH COPY APPLIED FIRST SURFACE.

ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.

INTERNAL ILLUMINATION TO BE WHITE LEDS.

SCALE - 3/8" = 1'

RECEIVED
St. Charles, IL

APR 08 2016

CDD
Planning Division

INSTALLATION INSTRUCTIONS

SET 6" X 12" STEEL PIPE IN CONCRETE

FOOTING TO DEPTH OF 4'.

SIGN TO BE PERPENDICULAR TO STREET.

CONNECT TO ELECTRICAL SERVICE

TO BE PROVIDED BY OTHERS PRIOR TO INSTALL.

NOT ACTUAL LOCATION



1100 Route 34 Aurora, Illinois 60504 630 898 5900 office 630 898 6091 fax	Prepared For: THE QUAD	Address: RT 64	Draw: 214205	Sheet: 10	Design Date: 5/27/14	Rev 3:	Salesman:
	Location Name:	City/State: ST CHARLES, IL	Rev 1:			Rev 4:	Colors:
			Rev 2:			Rev 5:	Notes:

NOTE: THIS DRAWING IS THE PROPERTY OF AURORA SIGN CO. IT IS NOT TO BE REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN CONSENT FROM AURORA SIGN CO. CHARGES OF UP TO \$2000.00 WILL BE ASSESSED FOR ANY MIS-USE OF THESE DRAWINGS.

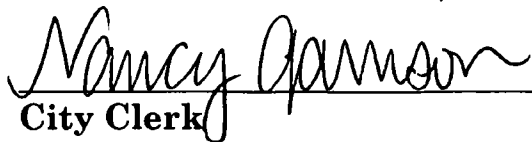
City of St. Charles, Illinois

Ordinance No. 2013-Z-19

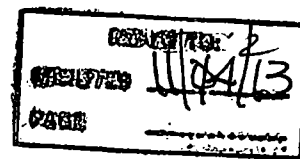
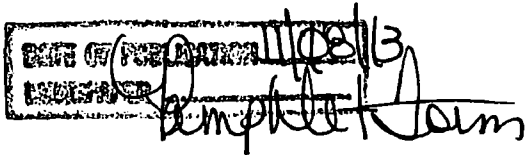
**An Ordinance Amending a Special Use for Planned Unit
Development (Charlestowne Mall PUD – 3800 E. Main
St.)**

**Adopted by the
City Council
of the
City of St. Charles
November 4, 2013**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, November 8, 2013**


City Clerk





**City of St. Charles, IL
Ordinance No. 2013-Z-19**

**An Ordinance Amending a Special Use for Planned Unit Development
(Charlestowne Mall PUD – 3800 E. Main St.)**

WHEREAS, on or about September 19, 2013, SC 3800 Main, LLC. ("the Applicant"), with authorizations from Charlestowne Mall Investments, LLC., Von Maur, Inc., and the City of St. Charles, filed a petition for a Special Use for Planned Unit Development for the purpose of amending an existing Special Use for Planned Unit Development to establish new Planned Unit Development standards for the real estate described in Exhibit "A"; said Exhibit being attached hereto and made a part hereof, (the "Subject Realty"); and,

WHEREAS, on or about September 19, 1988, the City passed and approved Ordinance No.1988-Z-10, being an "Ordinance Granting a Special Use as a Planned Unit Development for Charles Towne Mall" which ordinance approved a planned unit development, which was subsequently amended by Ordinance Nos. 1989-Z-8, 1991-Z-2, 1994-Z-8, and 1995-Z-16; and

WHEREAS, from and after the date of passage and approval of this Ordinance, Ordinance No.1988-Z-10 and all subsequent amendments shall be null, void and of no further force or effect with respect to the Subject Realty; and,

WHEREAS, the required Notice of Public Hearing on said petition for Special Use for Planned Unit Development was published on or about September 21, 2013, in a newspaper having general circulation within the CITY, to-wit, the Kane County Chronicle newspaper, all as required by the statutes of the State of Illinois and the ordinances of the CITY; and,

WHEREAS, pursuant to said notice, the Plan Commission conducted a public hearing on or about October 8, 2013 and October 22, 2013 on said petition in accordance with the statutes of the State of Illinois and the ordinances of the CITY; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petition and all interested parties were afforded an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said petition on or about October 22, 2013; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petition on or about October 28, 2013; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered the same:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant's petition and the evidence presented at the Public Hearing, the City Council hereby finds that the Planned Unit Development is in the public interest and adopts the Findings of Fact for Special Use for Planned Unit Development, set forth on Exhibit "B", which is attached hereto and incorporated herein.

2. That Special Use for Planned Unit Development heretofore granted with respect to the Subject Realty by Ordinance No. 1988-Z-10, being an "Ordinance Granting a Special Use as a Planned Unit Development for Charles Towne Mall" which ordinance approved a planned unit development, which was subsequently amended by Ordinance Nos. 1989-Z-8, 1991-Z-2, 1994-Z-8, and 1995-Z-16, shall be null, void and of no further force or effect with respect to the Subject Realty; except that all previously approved PUD Preliminary Plans and Final Plats of Subdivision approved pursuant to Ordinance No. 1988-Z-10 and its subsequent amendments shall remain valid under the Special Use for Planned Unit Development approved under Section 1 of this Ordinance.

3. That passage of this Ordinance shall constitute approval of the Concept Plan entitled "Conceptual Site Plan" (The New Charlestowne Mall); Jacob & Hefner Associates, Inc., dated 10/9/2013, attached hereto and incorporated herein as Exhibit "C", such that this document is hereby approved to depict the design intent for future PUD Preliminary Plan applications to be submitted for review and approval in accordance with the procedures outlined in the St. Charles Municipal Code.

4. Application and approval of new PUD Preliminary Plan(s), pursuant to the procedures in Title 17 of the St. Charles Municipal Code, Section 17.04.410(F), "PUD Preliminary Plan process for lots within an existing PUD", shall be required prior to any demolition or reconstruction of any portion of the mall building, modifications to the configuration of the parking lot, or construction of any additional buildings on the subject property. Subsequent to the approval of a new PUD Preliminary Plan(s), future changes to the PUD Preliminary Plan(s) plans may be reviewed and approved in accordance the procedures contained in Title 17 of the St. Charles Municipal Code, Section 17.04.430, "Changes in Planned Unit Developments."

5. A Construction, Operation, and Reciprocal Easement Agreement ("COREA") has been entered into by the owners of the subject property. The City shall have no responsibility with respect to the COREA and may approve PUD Preliminary Plans or issue permits without regard to the COREA. The owners shall be jointly responsible for amending the COREA in any manner necessary to modify the site, or otherwise securing the joint authorization of the owners, prior to constructing any improvements to the site. The owners shall provide to the City notice and copies of any amendments to the COREA.

6. The Subject Realty shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

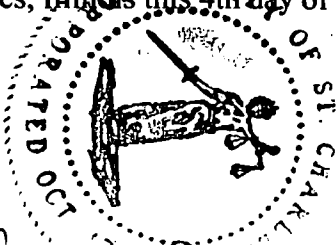
- a. Zoning: The property shall be subject to the requirements of the BR Regional Business Zoning District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the "PUD Standards" attached hereto and incorporated herein as Exhibit "D".
- b. Subdivision: The subject property shall be considered a single PUD zoning lot for the purpose of Zoning Ordinance compliance. The subject property may be subdivided to create separate parcels for the anchor stores or any other freestanding building constructed on the site. Such subdivision shall require the submission of a Final Plat of Subdivision application, pursuant to the procedures and requirements of Title 16 of the St. Charles Municipal Code, for review by the City. At the time of application, the applicant shall demonstrate that all necessary easements (including, but not limited to, access, parking and utilities) have been provided to adequately serve the proposed lot.

7. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 4th day of November 2013.

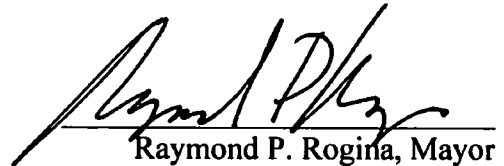
PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 4th day of November 2013.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 4th day of November 2013.



Attest:


City Clerk


Raymond P. Rogina, Mayor

COUNCIL VOTE:

Ayes: 10
Nays: 0
Absent:
Abstain:

APPROVED AS TO FORM:

City Attorney

DATE: _____

Exhibit "A"

Legal Description (Subject Property)

The subject property is located at 3700, 3740, 3800, 3810, 3840, & 3850 E. Main Street (Illinois Route 64), St. Charles, Illinois, 60174, and is legally described as follows:

THAT PART OF LOT 1, CHARLESTOWNE CENTRE MALL ST. CHARLES, KANE COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 2017857 AND THAT PART OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 1; THENCE EASTERLY ALONG A NORTHERLY LINE OF SAID LOT 1461.93 FEET TO A NORTHEASTERLY CORNER OF SAID LOT; THENCE SOUTHERLY ALONG AN EASTERLY LINE OF SAID LOT 505.23 FEET TO AN ANGLE IN SAID EASTERLY LINE; THENCE EASTERLY ALONG A NORTHERLY LINE OF SAID LOT 1015.80 FEET TO A NORTHEASTERLY CORNER OF SAID LOT; THENCE SOUTHERLY ALONG AN EASTERLY LINE OF SAID LOT 357.09 FEET TO A POINT THAT IS 110.0 FEET NORTHERLY OF THE NORTH LINE OF LOT 1, ILLINOIS ROUTE 64 - SMITH ROAD SUBDIVISION, ST CHARLES, KANE COUNTY, ILLINOIS (MEASURED ALONG SAID EASTERLY LINE EXTENDED); THENCE EASTERLY AT RIGHT ANGLES TO THE EAST LINE OF SAID NORTHEAST QUARTER 78.35 FEET TO THE WESTERLY LINE OF SMITH ROAD AS ESTABLISHED BY DOCUMENT 90K59922; THENCE SOUTHERLY ALONG SAID WESTERLY LINE, BEING A CURVE TO THE LEFT HAVING A RADIUS OF 995.0 FEET, 110.91 FEET TO THE NORTHEAST CORNER OF LOT 1 IN SAID ILLINOIS ROUTE 64-SMITH ROAD SUBDIVISION; THENCE WESTERLY ALONG A NORTH LINE OF SAID SUBDIVISION 197.34 FEET TO A NORTHWEST CORNER THEREOF; THENCE SOUTHERLY ALONG A WEST LINE OF SAID SUBDIVISION 293.27 FEET TO AN ANGLE IN SAID WEST LINE; THENCE WESTERLY ALONG A NORTH LINE OF SAID SUBDIVISION 148.48 FEET TO A NORTHWEST CORNER THEREOF; THENCE SOUTHERLY ALONG A WEST LINE OF SAID SUBDIVISION 242.05 FEET TO THE SOUTHWEST CORNER OF LOT 2 IN SAID SUBDIVISION; THENCE WESTERLY ALONG THE NORTH LINE OF ILLINOIS STATE ROUTE NO. 64 AND THE SOUTH LINE OF LOT 1 IN SAID CHARLESTOWNE CENTER MALL 2463.67 FEET TO THE SOUTHWEST CORNER OF LOT 1 IN SAID CHARLESTOWNE CENTRE MALL; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID CHARLESTOWNE CENTRE MALL 1816.74 FEET TO THE POINT OF BEGINNING (INCLUDING LOT 1 OF CHARWIL'S FIRST RESUBDIVISION OF PART OF LOT 1 CHARLESTOWNE CENTRE MALL, IN THE CITY OF ST. CHARLES, KANE COUNTY ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 93K15081); (ALSO INCLUDING LOT 1 CHARWIL'S THIRD RESUBDIVISION OF CHARLESTOWNE MALL, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 2001K007611); (EXCEPT LOT 1 OF CHARWIL'S SECOND RESUBDIVISION OF CHARLESTOWNE CENTRE MALL, ST. CHARLES, KANE COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 94K067871); AND (EXCEPT THAT PART OF LOT 1, CHARLESTOWNE CENTRE MALL, BEING PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 201857, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 2 IN ILLINOIS ROUTE 64-SMITH ROAD SUBDIVISION, BEING A SUBDIVISION OF THAT PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 11, 1991, AS DOCUMENT 91K55800, THENCE NORTHWESTERLY 698.41 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 20162.06

FEET (CHORD BEARS NORTH 89 DEGREES 22 MINUTES 06 SECONDS WEST, 698.38 FEET), SAID CURVE BEING THE NORTH RIGHT OF WAY LINE OF ILLINOIS ROUTE 64 (NORTH AVENUE) PER DOCUMENT NO. 92K04278, THENCE NORTH 88 DEGREES 22 MINUTES 33 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE OF ILLINOIS ROUTE 64, FOR A DISTANCE OF 301.20 FEET; THENCE NORTH 01 DEGREES 37 MINUTES 27 SECONDS EAST, 9.00 FEET; THENCE SOUTH 88 DEGREES 22 MINUTES 33 SECONDS EAST, 301.20 FEET; THENCE SOUTHEASTERLY 49.72 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 20153.06 FT (CHORD BEARS SOUTH 88 DEGREES 26 MINUTES 48 SECONDS EAST, 49.72 FEET); THENCE SOUTH 01 DEGREES 28 MINUTES 58 SECONDS WEST, 3.00 FEET; THENCE SOUTHEASTERLY 294.32 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 20156.06 FEET, (CHORD BEARS SOUTH 88 DEGREES 56 MINUTES 08 SECONDS EAST, 294.31 FEET. THENCE NORTH 00 DEGREES 38 MINUTES 46 SECONDS EAST, 6.50 FEET; THENCE SOUTHEASTERLY 354.05 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 20149.56 FEET, (CHORD BEARS SOUTH 89 DEGREES 51 MINUTES 26 SECONDS EAST, 354.04 FEET TO THE POINT ON THE WEST LINE OF SAID LOT 2; THENCE SOUTH 00 DEGREES 06 MINUTES 12 SECONDS EAST ALONG SAID LINE, 12.50 FEET TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.

AND (EXCEPT THAT PART OF LOT 1, CHARLESTOWNE CENTRE MALL, BEING PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 201857, DESCRIBED AS FOLLOWS:: COMMENCING AT THE SOUTHWEST CORNER OF LOT 2 IN ILLINOIS ROUTE 64-SMITH ROAD SUBDIVISION, BEING A SUBDIVISION OF THAT PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 11, 1991, AS DOCUMENT 91K55800, THENCE WESTERLY ON THE SOUTH LINE OF SAID LOT 1, AND ON A 20162.06 FOOT RADIUS CURVE CONCAVE TO THE NORTH, 698.41 FEET, THE CHORD OD SAID CURVE BEARS AN ASSUMED BEARING NORTH 89 DEGREES 22 MINUTES 06 SECONDS WEST, 698.38 FEET TO A POINT OF TANGENCY OF SAID CURVE ON SAID SOUTH LINE; THENCE NORTH 88 DEGREES 22 MINUTES 33 SECONDS WEST ON SAID SOUTH LINE, 301.20 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 88 DEGREES 22 MINUTES 33 SECONDS WEST ON SAID SOUTH LINE, A DISTANCE OF 157.62 FEET; THENCE NORTH 01 DEGREES 36 MINUTES 21 SECONDS EAST, 53.15 FEET; THENCE SOUTH 88 DEGREES 23 MINUTES 39 SECONDS EAST, 169.44 FEET; THENCE SOUTH 01 DEGREES 36 MINUTES 21 SECONDS WEST, 44.21 FEET; THENCE NORTH 88 DEGREES 22 MINUTES 33 SECONDS WEST, 11. 82 FEET; THENCE SOUTH 01 DEGREES 37 MINUTES 27 SECONDS WEST, 9.00 TO THE POINT OF BEGINNING IN KANE COUNTY, ILLINOIS.

Exhibit "B"

Findings of Fact

SPECIAL USE FOR PLANNED UNIT DEVELOPMENT

From the St. Charles Zoning Ordinance, Section 17.04.410.D.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

1. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.

The mall property is obsolete in design. The property lacks character/uniqueness, has no visual presence from Main Street, and does not have clearly designated front entrances. The PUD Amendment will establish standards to enable a more modern, distinctive development to establish a new sense of place for a facility that is already integral to the community.

2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.

The mall property was designed primarily for customers arriving by automobile and has very limited facilities to accommodate pedestrians. The PUD amendment will provide an opportunity for the property to be redeveloped with improved building entrances and pedestrian infrastructure. A continuous pathway system will be established on the site to facilitate pedestrian movement into the site and between buildings. New landscaping and new outlet buildings around the mall will help reduce the scale of the parking lot.

3. To encourage a harmonious mix of land uses and a variety of housing types and prices.

Not applicable.

4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.

Not applicable.

5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.

The PUD amendment will facilitate the redevelopment of an underutilized commercial site.

The redevelopment will utilize existing utilities and site improvements to the extent possible.

6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.

The PUD amendment will facilitate the redevelopment of a property that is obsolete in terms of building and site design.

7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.

The City engaged in a Comprehensive Plan rewriting process from June 2011 to September 2013, with a focus on both the mall property itself and the larger East Gateway commercial area that the mall anchors. The community had an opportunity to provide input and ideas for revitalizing the mall, and those ideas were incorporated into the plan document that was adopted by the City.

The developer used the Comprehensive Plan as reference for developing the concept site plan submitted in support of this application. The developer also has taken steps to engage the community, including hosting a neighborhood meeting at the mall.

2. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:
 - A. Conforming to the requirements would inhibit creative design that serves community goals, or
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.

New outdoor public spaces will be created at the reconstructed entrances to the mall.

2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.

Not applicable.

3. The PUD will provide superior landscaping, buffering or screening.

The PUD amendment will facilitate an update to the site's landscaping, which is sparse within the site but is heavy and overgrown along the site's Main St. frontage. The Comprehensive Plan has called for a reduction of landscaping along the Main St. frontage. The existing landscaping and buffering along the north property line will be maintained.

4. The buildings within the PUD offer high quality architectural design.

The PUD amendment will facilitate an improved, modernized architectural design for the building, including better screening of existing loading docks, incorporating complementary architecture in the reconstructed portions of the building, and establishing new, prominent front entrances with pedestrian-oriented streetscaping.

5. The PUD provides for energy efficient building and site design.

Not applicable.

6. The PUD provides for the use of innovative stormwater management techniques.
The proposed site improvements will include naturalizing the existing stormwater detention basins and introducing bioswales and rain gardens into some parking lot islands.

7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.

Not applicable.

8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.

Not applicable.

9. The PUD preserves historic buildings, sites or neighborhoods.

Not applicable.

3. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

From the Charles Zoning Ordinance, Section 17.04.430.C.2:

No Special Use or amendment to Special Use shall be recommended by the Plan Commission unless it finds that the proposed Special Use or amendment to Special Use will conform with each of these standards. The Plan Commission shall submit its written findings together with its recommendations to the City Council after the conclusion of the Public Hearing, and also may recommend such conditions as it may deem necessary to ensure conformance with these standards.

On the basis of the evidence presented at the public hearing, the Plan Commission shall record its reasons for recommending approval or denial of the petition (findings of fact) in accordance with the following standards:

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The PUD will remain primarily an enclosed retail shopping mall that will continue to serve the public with a shopping location.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The proposed redevelopment will utilize existing infrastructure, which was installed based upon a development of similar land use and intensity. A Traffic Memorandum prepared by HLR demonstrates that the proposed redevelopment will generate a comparable volume of traffic compared to the mall as approved by the City in 1995. Additionally, much of the infrastructure around the site has been enhanced in recent years, including Route 64, which has been widened to increase capacity.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed redevelopment of the mall site will not constitute a change in land use or an increase in intensity of land use; therefore the amended Special Use will not have a new a negative effect on nearby property. Existing buffering of the site from residential properties to the north will be maintained.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The mall site serves as an anchor for the East Gateway business district and the mall's existing condition has been a detriment to the viability of businesses in the area. The proposed redevelopment to modernize the mall site will encourage new investment in underutilized and undeveloped sites around the mall.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed redevelopment of the mall site will not constitute a change in land use or an increase in intensity of land use; therefore the amended Special Use will not have a new a negative effect on the general welfare.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed redevelopment will comply with all code requirements, except for PUD deviations identified in the PUD Development Standards document.

4. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The mall site serves as an anchor for the East Gateway business district and the mall's existing condition has been a detriment to the viability of businesses in the area. The proposed redevelopment to modernize the mall site will encourage new investment in underutilized and undeveloped sites around the mall.

Redevelopment and modernization of the mall is strategically important for the City as the East Gateway business district contributes significantly to the City's tax base and economic well-being.

The concept plan being presented in support of the PUD amendment proposes substantial changes to the mall property that will be beneficial to the physical development of the East Gateway business district.

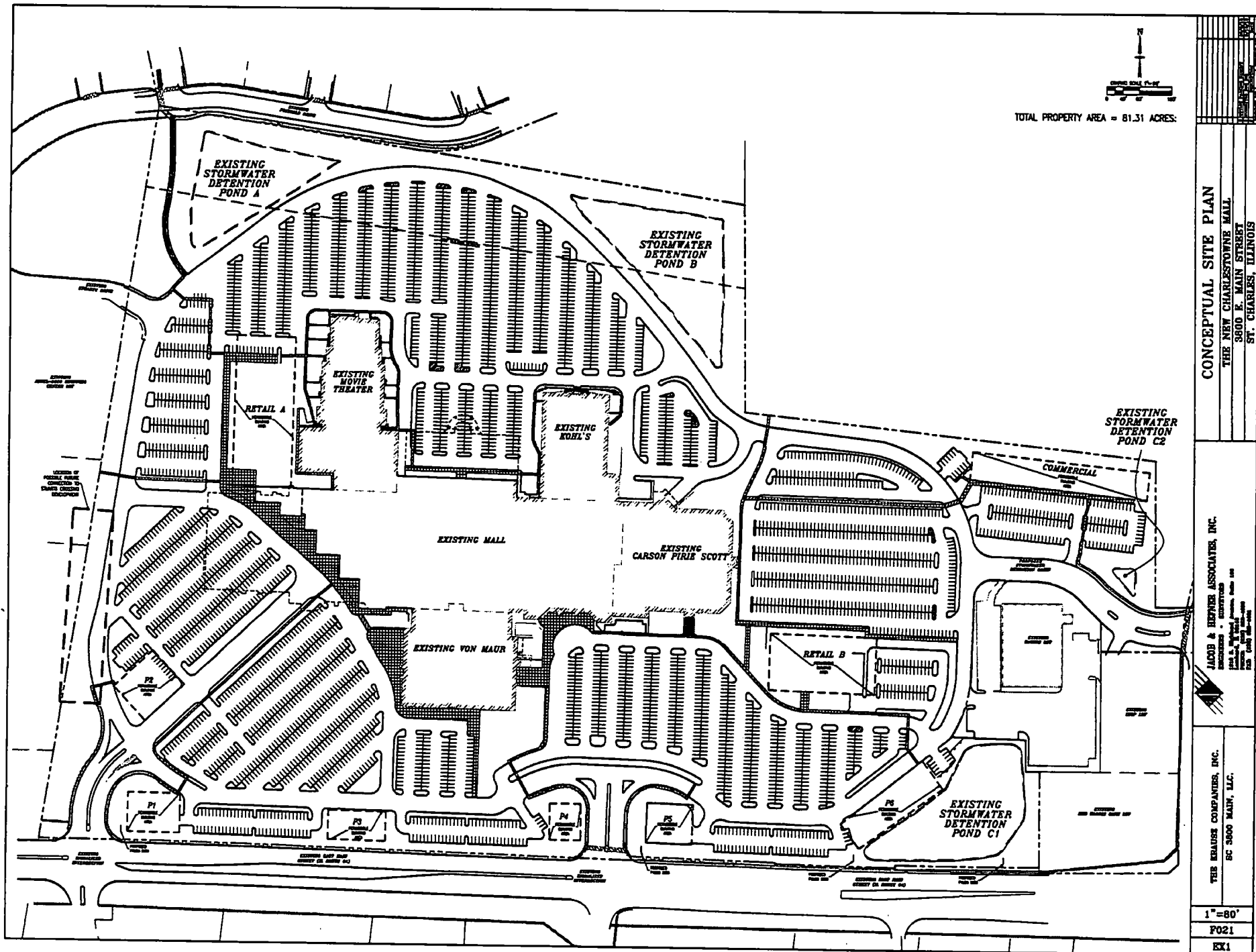
5. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The PUD amendment will facilitate site improvements that further the goals of the Comprehensive Plan.

The City recently adopted a new Comprehensive Plan that addresses the Charlestowne Mall site in detail. The site is discussed in the East Gateway Subarea Plan located in Chapter 8 of the document. The East Gateway area was subject to considerable discussion during the comprehensive planning process, including a visioning workshop designed specifically to gather input on how the mall site could be redeveloped. Feedback from that workshop was used to draft the Charlestowne Mall Framework Plan (p. 105) and Repositioning Alternatives (p. 106). The plans presented in support of the PUD amendment request incorporate some of those recommendations including: the introduction of outlot buildings around the mall property, the demolition and reconfiguration of vacant portions of the mall building, and façade improvements to the mall building.

Additionally, the East Gateway Improvement Plan (p. 103) identifies other potential improvements that have been incorporated into the concept site plans for the mall property, including: a landscaping reduction along Main St.; better pedestrian connections to commercial sites; and cross access between commercial sites.

Exhibit "C"
Concept Site Plan



CONCEPTUAL SITE PLAN

THE NEW CHARLESTOWNE MALL
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

JACOB A. KERNER ASSOCIATES, INC.
ARCHITECTS • ENGINEERS

1000 N. W. 10th Avenue, Suite 100
Fort Lauderdale, Florida 33304
TEL: (305) 581-1000

THE REHAUSE COMPANY, INC.
3000 MAIN, LLC.

3000 MAIN, LLC.

Exhibit “D”**PUD Standards**

Permitted and Special Uses	
	Per Table 17.14-1 of the Zoning Ordinance (BR Regional Business District), except that 3 Drive-Through Facilities shall be Permitted Uses.
Minimum Setbacks from Perimeter Property Lines	
• Front/Rt.64 & Smith Rd.	Parking: 20 ft. for parking stalls; 15 ft. for circulation drives associated with drive-through uses. Buildings: 20 ft.
• Rear/abutting Charlemagne Subdivision	Parking: Existing location per approved PUD Preliminary Plans. Buildings: 200 ft. to Charlemagne Subdivision property line
• Sides/other property lines	Buildings: 15 ft. Parking: 0 ft.
Maximum Building Size	
Maximum Building Height	<p>Mall Building: Roofline max. elevation: 829 ft. above sea level (existing mall skylight ridge) Parapets max. elevation: 846 ft. above sea level (existing mall skylight peak) Feature elements max. elevation: 854 ft. above sea level</p> <p>All other buildings: Building height shall not exceed 50 ft. from the average finished ground level measured 10 ft. out from exterior walls.</p>
Maximum Floor Area	1,200,000 square feet of Gross Floor Area (GFA) 925,000 square feet of Gross Leasable Area (GLA)
Minimum Parking Requirement	
Number of parking stalls required	<p>4 spaces per 1,000 square feet of GLA, calculated over all buildings on the site (excluding internal hallways, corridors and courts in the mall building).</p> <p>Parking located outside of the ring road for outlot buildings shall be provided at 4 spaces per 1,000 square feet of GLA. Where outlot buildings share a parking lot, a parking reduction for shared parking may be requested in accordance with the procedures in the Zoning Ordinance.</p>
Signs	
Freestanding/ Identification Signs	<p>3 Shopping Center signs (To display shopping center name, anchor store business names, Retail A & B business names) Area: 225 sf Height: 30 ft.</p> <p>1 cinema readerboard sign, Area: 150 sf. Height: 15 ft.</p>

	<p>Outlot buildings (P1 to P6): 1 monument sign per building Area: 50 sf. Height: 8 ft.</p> <p>Existing off-site sign for 3880 E. Main St./ Lot 1 of Charwil's Second Resubdivision/ Saver's store, may remain per approved PUD Preliminary Plans.</p>
Wall Signs	<p>Anchor stores: 1 per side.</p> <p>Retail A & B: 1 per business per side.</p> <p>Outlots: 1 per side.</p> <p>Anchor buildings located at the rear of the mall building (Cinema and Kohl's): Wall sign permitted on south mall elevation; cinema sign may be a marquee extending above the parapet/roofline.</p> <p>For other stores/restaurants in the mall building with exterior frontage/storefronts, 1 per business.</p>
Directional Signs	<p>2 at each access point into the site.</p> <p>At each intersections of an entrance drive and the ring road, 1 per leg of the intersection.</p> <p>Signs may contain mall name/logo and business name/logo of Anchors, Retail A or B, or Outlots.</p>
Landscaping Standards	
<ul style="list-style-type: none"> Overall % of landscaped area 	Per Ordinance requirements: 20% landscape area over entire site.
<ul style="list-style-type: none"> Bufferyards 	Existing setback and landscaping along Charlemagne Subdivision to be maintained in conformance with the approved PUD Preliminary Plan.
<ul style="list-style-type: none"> Building foundation 	Building foundation areas to be landscaped, but flexibility is granted to provide a comparable alternative design, including a "streetscape" design along walkways (trees in grates and/or planter islands etc.) or providing landscaping on the opposite side of a drive-through lane.
<ul style="list-style-type: none"> Public Street frontage 	Per Ordinance requirements along Main St. frontage; flexibility to provide lower plantings in lieu of some trees.
<ul style="list-style-type: none"> Parking Lot Screening 	Per Ordinance requirements: 30" screening of 50% of the parking lot frontage.
<ul style="list-style-type: none"> Interior Parking Lot 	<p>No percentage requirement.</p> <p>All rows shall end with landscape islands, except where truck circulation is impeded. All islands shall be planted with shade trees and/or low shrubs/ groundcover.</p>

Building Design and Material Requirements	
Building Design & material requirements	<p>Per Ordinance requirements contained in Section 17.06.030, and:</p> <ul style="list-style-type: none"> • EIFS may exceed 10% per façade, but shall not be used on the lower 10 ft. of any building. EIFS will generally be used for accent features and not as a primary façade material. • Screening of existing loading docks shall be improved to the extent possible, but full screening shall not be required. • Exterior Design elements of the reconstructed and new portions of the project, though varied, shall be complementary with the existing anchor buildings.
Access Locations	
	Existing access points shown on the Concept Site Plan, plus future cross access to west (Stuart's Crossing) and east (Oliver Hoffmann) shall be permitted.
Subdivision Standards	
Number & Configuration of Lots	PUD shall be considered a single zoning lot, regardless of subdivision. Subdivision shall be permitted for any anchor stores, Retail A or B, and any outlot buildings, provided easements as determined essential by the City are provided.
Minimum Lot Width	None
Minimum Lot Area	None

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on November 4, 2013, the Corporate Authorities of such municipality passed and approved Ordinance No. 2013-Z-19, entitled


"An Ordinance Amending a Special Use for Planned Unit Development (Charlestowne Mall PUD – 3800 E. Main St.),"

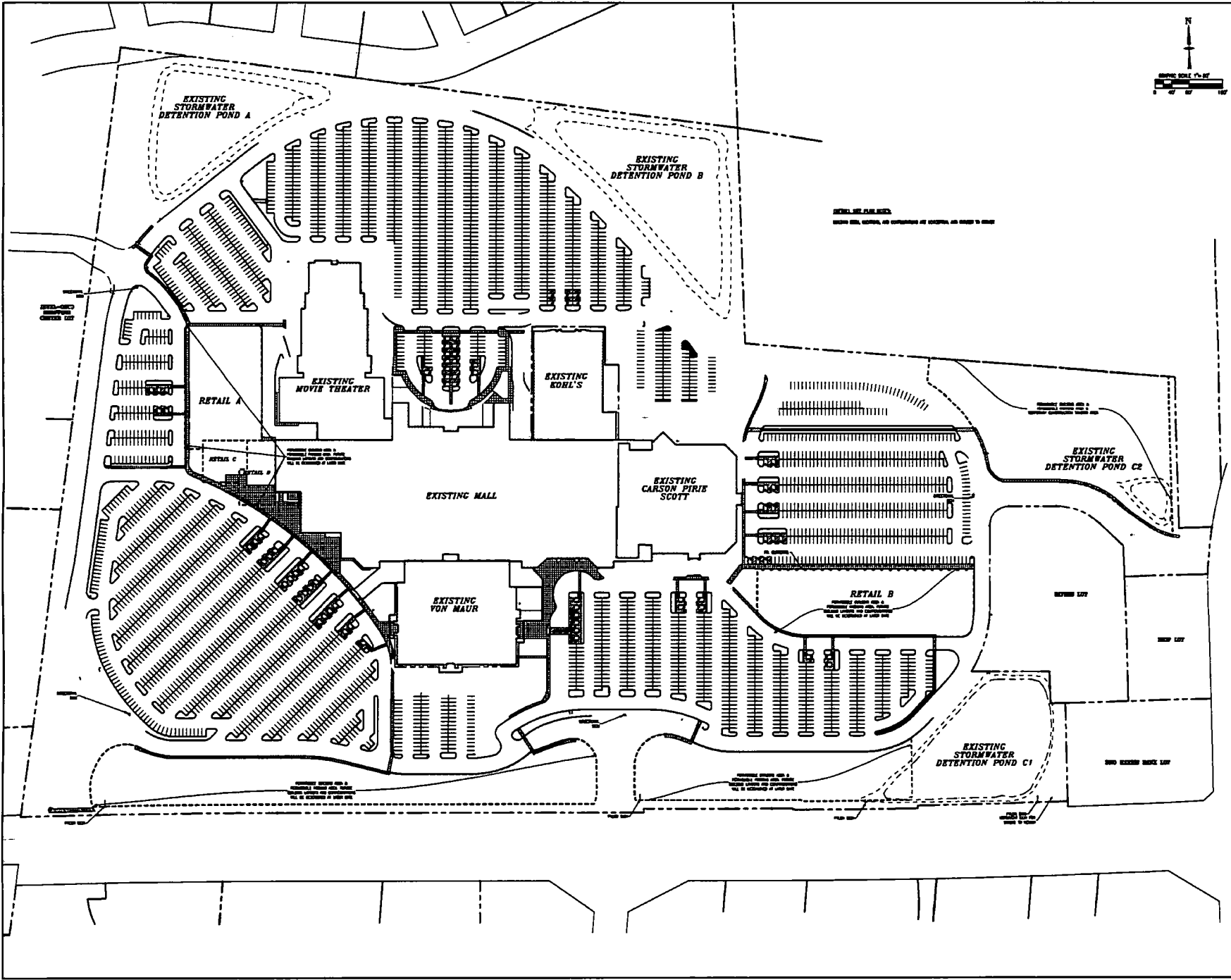
which provided by its terms that it should be published in pamphlet form.


The pamphlet form of Ordinance No. 2013-Z-19, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on November 8, 2013, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 4th day of November 2013.




Municipal Clerk



	<p>PRELIMINARY SITE PLAN THE QUAD ST. CHARLES 3900 E. MAIN STREET ST. CHARLES, ILLINOIS</p>
<p>JACOB & HEFFNER ASSOCIATES 1000 N. LAKE STREET SUITE 200 ST. CHARLES, ILLINOIS 60154</p>	<p>SC 3900 MAIN LLC</p> <p>1"=80' PD21 EX. 1</p>