

 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	Variance Recommendation: 303 N 3 rd Ave		
	Significance:	Contributing		
	Petitioner:	Matthew & Bernadette Sweeney		
	Project Type:	Residential		
PUBLIC HEARING			MEETING 4/19/23	X
Agenda Item Category:				
	Preliminary Review		Grant	
	Certificate of Appropriateness (COA)		Other Commission Business	
	Landmark/District Designation	X	Commission Business	
Attached Documents:			Additional Requested Documents:	
Variance Application, Plat of Survey, Building Designs, Architectural survey				
Project Description:				
<p>Matthew & Bernadette Sweeney, the applicants, are requesting to add a garage and addition to the property.</p> <p>Construction of the proposed additions will require a variation to two requirements:</p> <ol style="list-style-type: none"> 1. Reduce the rear yard setback from 30ft. to 7.3ft 2. Allow 34.44% of building coverage (9.44% over the maximum allowed 25%) for an additional 472sf <p>The formal Zoning Variation application has been forwarded for the Commission to make a recommendation to the Zoning Board of Appeals.</p> <p>Per the Zoning Ordinance, the Commission’s recommendation is to address the potential impact of the variation on the historic resources of the City, particularly with regard to designated landmarks and historic districts directly affected. Drainage and safety comments are outside of the scope of review for the Historic Commission.</p> <p>Preliminary floor plans and elevations have been provided. The Historic Commission has already worked with the applicant on the design.</p>				
Staff Comments:				
<p>Note: Applicants intend to present two options for the connection to the garage. One is a breezeway with doors and the other is more of an enclosed structure.</p> <p>The Commission’s recommendation should provide specific examples of how the project does or does not affect the surrounding structures in terms of architectural design.</p>				
Recommendation / Suggested Action:				
<ul style="list-style-type: none"> • Provide comments and a recommendation to the Zoning Board of Appeals regarding the variation. 				

Zoning Board of Appeals
CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



FOR OFFICE USE
Received _____
File # _____
Fee Paid \$ _____
Receipt _____

APPLICATION FOR A VARIATION

PLEASE PRINT AND PROVIDE ALL INFORMATION AS REQUESTED.

APPLICANT & OWNER:

Name of Applicant* MATTHEW & BERNADETTE SWEENEY
Phone 630-930-7880 Email Address sweeney matt074@gmail.co
Address/City/State/Zip 303 N. 3RD AVE, ST CHARLES 60174
Applicant's interest in the property OWNER
Name and Phone of Owner(s) of Record* 630-930-7880

Applicant is (check one) Attorney Agent Owner Other: _____
Owner acquired the property on (date): 6/15/22

ADDRESS, USE & ZONING OF PROPERTY:

Address of Property (attach legal description) 303 N 3RD AVE / ORIGINAL TOWN OF ST CHARLES
Present Use (commercial, industrial, residential, etc.) RESIDENTIAL LOT 8 BLOCK 3
Zoning District RT-4
To your knowledge, have any previous applications for variations been filed in connection with this property? NO
If YES, provide relevant information _____

ACTION BY APPLICANT ON PROPERTY:

Permit applied for and denied? (yes or no) _____
An Appeal was made with respect to this property? (yes or no) _____
Appeal Application File Number _____
Appeal approved? (yes or no) _____
Appeal Application accompanies this request for variation? (yes or no) _____

**In the event that the applicant or owner is a trustee of a land trust or beneficiary of a land trust, a statement identifying each beneficiary by name and address of such land trust and defining his/her interest therein must be attached hereto. Such statement shall be verified by the trustee of such trust.*

F. Reimbursement for Miscellaneous Expenses

The applicant shall reimburse the City for miscellaneous costs incurred relative to any application or petition including, but not limited to:

- a. Publication of legal notices.
- b. Court reporter and transcript fees.
- c. Mailing (postage) costs.
- d. Recording fees.

17.04.310 VARIATIONS

A. Purpose

The Variation process provides a method to grant relief from conformance with the strict letter of the provisions of this Title, where conformance would cause a particular hardship or practical difficulty to a specific property and where the relief granted is consistent with the purposes and intent of this Title.

B. Hearing and Decision

The Board of Zoning Appeals shall hold a public hearing in accordance with Section 17.04.150 (Public Hearing), at which evidence in support of the Variation must be presented by, or on behalf of, the applicant, and any evidence presented by interested parties shall be heard. Notification of the public hearing shall be provided in accordance with Section 17.04.160. The public hearing shall be held not more than 90 days after filing of an application, and a decision shall be made not more than 30 days after the conclusion of testimony at the public hearing or the Board's next regular meeting after the conclusion of testimony, whichever is later.

C. Approval Criteria

The Board of Zoning Appeals may approve a Variation only when it makes written findings with respect to each requested Variation, based upon the evidence presented at the public hearing, that strict compliance with the regulations and standards of this Title would create practical difficulties or particular hardships for the subject property, and the requested Variation is consistent with the stated purposes and intent of this Title.

In making its determination of whether practical difficulties or particular hardships exist, the Board of Zoning Appeals must take into consideration the extent to which evidence has been submitted substantiating the following:

1. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a practical difficulty or particular hardship to the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
2. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
3. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
4. The alleged practical difficulty or particular hardship has not been created by any person presently having an interest in the property;
5. The Variation, if granted, will not alter the essential character of the neighborhood.
6. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
7. The proposed Variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

D. Authorized Variations

The Board of Zoning Appeals may grant Variations from the regulations of this Title only in the following instances and in no others:

1. To permit a yard, setback or landscape buffer of a lesser dimension than required by the applicable regulations.
2. To allow a fence in excess of the height limitations required by the applicable regulations.
3. To permit the use of a lot for a use prohibited solely because of insufficient area or width, but the area or width of the lot shall in no event be varied to an extent that reduces the requirement to less than ninety percent (90%) of the required lot area or width.
4. To increase the permitted maximum building or lot coverage, but the maximum building or lot coverage shall in no event be varied to an extent that increases the maximum by more than twenty percent (20%).

E. Conditions

The Board of Zoning Appeals may require such conditions and restrictions concerning use, construction, character, location, landscaping, screening and other matters in granting a Variation, upon a finding that such conditions and restrictions are necessary to prevent or minimize adverse effects upon other property and improvements, that would reasonably be expected to occur if the Variation were granted without such conditions and restrictions. All such conditions and restrictions shall be expressly set forth in the written record of the Board's approval of the Variation. Failure to comply with such conditions and restrictions as may have been imposed shall constitute grounds for revocation of the Variation.

F. Limitations

1. A Variation shall automatically lapse twelve (12) months after the date it is granted, unless the construction (pursuant to a building permit) authorized by the Variation commences within that twelve (12) month period. However, the Board of Zoning Appeals may extend this period, upon written request from the applicant showing good cause.
2. A Variation is granted to a specific property and authorizes the conduct of the Variation only on the property identified in the application and is not transferable to other properties.
3. The approval of a Variation authorizes the relief from strict conformance with specific provisions of this Title, but does not authorize the establishment or extension of any use, development, construction, reconstruction, alteration or moving of any building or structure prior to obtaining all other required approvals, including building permits and occupancy permits.

G. Variation Less than Requested

When consistent with the notice of Public Hearing, the Board of Zoning Appeals may grant a Variation less than, or different from, that requested when the record supports the applicant's right to some relief, but not to the entire relief requested.

REASON FOR REQUEST:

- A. Variation requested (state specific measurements): BUILDING SETBACKS
& LOT COVERAGE
- B. Reason for request: CONSTRUCTION OF DETACHED GARAGE - BREEZEWAY
& ADDITION
- C. Purpose for which property will be used: PRIMARY RESIDENCE

CRITERIA FOR VARIATION:

The Board of Zoning Appeals may approve a Variation only when it makes written findings with respect to each requested Variation, based upon the evidence presented at the public hearing, that strict compliance with the regulations and standards of the Zoning Ordinance would create practical difficulties or particular hardships for the subject property, and the requested Variation is consistent with the stated purposes and intent of the Zoning Ordinance.

In making its determination of whether practical difficulties or particular hardships exist, the Board of Zoning Appeals must take into consideration the extent to which evidence has been submitted substantiating the criteria have been met.

Provide a response under each item to substantiate that the requested variation meets the criteria:

1. Do the particular physical surroundings, shape or topographical condition of the specific property involved result in a practical difficulty or particular hardship to the property owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out? (Explain)
THE EXISTING HOUSE & DETACHED GARAGE ARE NON-CONFORMING WITH CURRENT ZONING CODE. THE ORIGINAL PLACEMENT AND ORIENTATION OF THE HOUSE & THE LOT PRECLUDE ANY IMPROVEMENT OR ADDITION TO THE STRUCTURES. THE VARIATION OF SETBACK AND LOT COVERAGE ALLOWS FOR A HISTORICALLY APPROPRIATE DETACHED GARAGE & BREEZEWAY
2. Are the conditions upon which the petition for a Variation is based applicable, generally, to other property within the same zoning classification? (Explain)

NO

3. Is the purpose of the Variation based exclusively upon a desire to make more money out of the property? (Explain)

NO, THIS WILL BE OUR PRIMARY RESIDENCE

4. Has the alleged practical difficulty or particular hardship been created by any person presently having an interest in the property? (Explain)

No

5. Will the Variation, if granted, alter the essential character of the neighborhood? (Explain)

NO, AS PROPOSED, THE DETACHED GARAGE - BREEZEWAY & ADDITION HAVE BEEN GRANTED A C.O.A. FROM THE HISTORICAL COMMISSION. THE VARIATION ALLOWS CONSTRUCTION OF A HISTORICALLY APPROPRIATE DETACHED GARAGE.

6. Will granting of the Variation be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located? (Explain)

No

7. Will the proposed Variation impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood? (Explain)

No

ATTACHMENTS REQUIRED:

- A. **PLAT OF SURVEY:** One (1) copy of a plat of survey (to scale) of the property showing dimensions of all lot lines, existing and proposed structures and distances from lot lines, easements and adjoining streets or uses.
- B. **MAILING LIST:** A written certified list (form attached) containing the registered owners, their mailing and tax parcel numbers as recorded in the Office of the Recorder of Deeds in the county in which the property is located and as appears from the authentic tax records of such county, of all property within 250 feet in each direction of the location for which the variation is requested, provided all the number of feet occupied by all public roads, streets, alleys and other public ways shall be excluded in computing the 250 feet requirement. Registered owner information may be obtained at the St Charles Township Assessor's office, 1725 Dean St., St. Charles, (630) 584-2040. The Kane County Recorder of Deeds is located in the Kane County Government Center, 719 Batavia Ave., Geneva, and (630) 232-5935. The DuPage County Recorder of Deeds is located in the DuPage County Government Center, 421 N. County Farm Rd., Wheaton, and (630) 682-7200.
- C. **FILING FEE:** Filing fee in the amount of **\$300.00** must be rendered at the time the application is submitted. If payment is made by check, it should be made payable to the City of St. Charles.
- D. **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning

Ordinance. By signing this Agreement, the applicant agrees to reimburse the City all costs incurred during review of the application, including but not limited to: the cost of the newspaper notice publication; certified mailing to surrounding property owners; Court Reporter at the public hearing(s); and City staff time spent on review and administration of the application.

The total cost of an application typically amounts to approximately \$1,000. However, the cost of each application varies depending on the following:

- Location of the property, due to the number of surrounding property owners and resulting number of certified letters that will be sent.
- Length of the newspaper notice publication which is based on the legal description of the property.
- Length and number of public hearings, which effect the cost of the Court Reporter. Note that if not all Board members are in attendance at the meeting, the applicant may request a continuation of the public hearing in the interest of having more Board members in attendance at a later meeting. If the public hearing is continued, at the request of the applicant or otherwise, the applicant is responsible for the cost of the Court Reporter at the additional public hearing(s).
- Amount of City staff time spent on review and administration of the application.

- E. REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. For properties less than 5 acres, a deposit in the amount of **\$1,000** is needed. For larger properties, see the table in the Reimbursement of Fees Agreement. These funds will be used to reimburse the City for all costs incurred during review of the application, per the Reimbursement of Fees Agreement. The applicant may need to provide additional funds to cover costs.
- F. LETTER OF AUTHORIZATION: Letter of authorization from the property owner as to the request for the zoning variation must be included, if the applicant is not the property owner.
- G. DISCLOSURE: Disclosure of beneficiaries of a land trust must be included, if the applicant or owner is a land trust.

I (we) certify that all of the above statements and the statements contained in any documents submitted herewith are true to the best of my (our) knowledge and belief.

Matthew Sweeney
Signature of Applicant or agent

MATTHEW SWEENEY
Print name of applicant/agent

4/12/23
Date

Matthew Sweeney
Signature of owner

MATTHEW SWEENEY
Print name of owner

4/12/23
Date

Bernadette Sweeney

§ BERNADETTE SWEENEY

ADDITION & REMODEL 303 N THIRD AVENUE, ST CHARLES

GENERAL NOTES

- SITE DIMENSIONS, EXISTING GRADE ELEVATIONS, ETC. ARE FROM A SURVEY MADE BY H. WAGNER AND SONS INC.
- BUILDING ELEVATIONS ON THE DRAWINGS ARE REFERRED TO THE FINISHED FIRST FLOOR ELEVATION 100.00'.
- ALL WORK SHALL CONFORM TO IRC 2008 EDITION, ALL LOCAL CODES AND ORDINANCES AND ALL APPLICABLE STATE AND FEDERAL CODES AND ORDINANCES.
- ALL PERMIT FEES SHALL BE BY THE BUILDER.
- ALL CONTRACTORS AND TRADES CONTRACTORS SHALL INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DATA PERTAINING TO THE NEW STRUCTURES, AND THEIR RELATIONSHIP TO THE WORK.
- ALL UTILITIES LOCATIONS SHALL BE VERIFIED BY THE TRADE, OR TRADES, DOING THE WORK WITH THEM OR AROUND THEM.
- ALL DIMENSIONS, DETAILS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD. DO NOT SCALE THE DRAWINGS.
- ANY DISCREPANCIES, CONFLICTS, OR AMBIGUITIES BETWEEN THE VARIOUS DRAWINGS, OR BETWEEN THE VARIOUS DRAWINGS AND ACTUAL CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, OR OWNER. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE SUCH INSTALLATIONS. ANY DISCREPANCY OR CONFLICT BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- ABBREVIATIONS USED THROUGHOUT THE DRAWINGS ARE THOSE IN COMMON USE. THE ARCHITECT SHALL DEFINE THE MEANING OF ANY ABBREVIATION.
- THE BUILDER SHALL PROVIDE ALL NECESSARY SHORING AND BRACING REQUIRED TO COMPLETE ALL WORK INDICATED ON THE DRAWINGS.
- STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING OR ELECTRICAL WORK AND TO COORDINATE SUCH INSTALLATIONS. ANY DISCREPANCY OR CONFLICT BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
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STRUCTURAL DESIGN CRITERIA

- ASSUMES SOIL BEARING CAPACITY 3,000 PSF
 SPECIFIED CONCRETE STRENGTH 4,000 PSI AFTER 28 DAYS
 SPECIFIED LUMBER
 2x4, 2x6, 2x8 SPRUCE-PINE-FIR (SDF) GRADE OR BETTER
 LAMINATED, WITH AN EXTREME FIBER STRESS 190' OF 19 PSI MIN.
 2x12 GRADE OR BETTER.
 DOMESTIC MADE WITH AN EXTREME FIBER STRESS 190' OF 19 PSI MIN.
 MANUFACTURED BEAMS SHALL BE INTERNATIONAL BEAMS 2 LVL UNLESS NOTED OTHERWISE.
 MANUFACTURED FLOOR JOISTS SHALL BE TRUSSJOIST HYPERDECKER T-26
- FLOOR LOADS 40 PSF LL, 10 PSF ALL AREAS
 CEILING LOAD 10 PSF LL, 10 PSF ALL AREAS
 ROOF LOAD 20 PSF LL, 10 PSF ALL SLOPES OVER 12:12
 CATHEDRAL ROOF LOAD 30 PSF LL, 10 PSF ALL SLOPES
 EXTERIOR DECK LOAD 40 PSF LL, 10 PSF ALL SLOPES
 NOTE: ALL EXTERIOR DECK FRAMING MATERIAL SHALL BE SIF
 FRAMES OR BETTER TREATED TO PREVENT ROT

PLUMBING NOTES

- ALL WORK SHALL CONFORM TO THE ILLINOIS STATE PLUMBING CODE, LATEST EDITION (2014)
- OFF OR VILLAGE WATER SERVICE SHALL HAVE A SHUT OFF AND 8-BOON INSTALLED PER GOVERNING REGULATION OUTSIDE OF THE BUILDING.
- DRAIN FROM THE NEELBY VALVE SERVING HOT WATER HEATER TO BE PIPED TO WITHIN 6' OF THE WORK AREA.
- PROVIDE A 1/2" PIPING WITH GROUND TYPE VALVE AROUND WATER HEATER. BY PASS TO BE SAME SIZE AS WATER LINE BUT IN NO CASE LESS THAN 1".
- ALL WASTE LINES BELOW CONCRETE FLOORS TO BE 2" DIAMETER.
- ALL VENT PIPES ABOVE GRADE SHALL BE 2" DIAMETER UNLESS NOTED.
- ALL HOSE BIBBS SHALL BE 1/2" PROOF TYPE.
- ALL FIXTURES SHALL HAVE LOCAL VALVES FOR BOTH HOT AND COLD WATER SUPPLY LINES.
- ALL PORTABLE WATER SERVICE AND DISTRIBUTION PIPING SHALL BE TYPE M COPPER.
- ALL SINKER BATH LINES SHALL HAVE AN AUTOMATIC SAFETY WATER SHUTTING DEVICE AND SHALL COMPLY WITH ANSIS Z39.10-1988 AND BE DESIGNED WITH A MAXIMUM INLET ROTATION TOP OF COPPER WITH AN ANGLE 101118. THE SAFETY WATER SHUTTING DEVICE SHALL BE ADJUSTED TO A MAXIMUM SETTING OF 110' PAINTHURST IN THE 12" O.D. INSTALLATION PER 2014 ILLINOIS PLUMBING CODE.
- THE DRAINAGE AND VENT SYSTEM SHALL BE TESTED WITH WATER BY CLOSING THE LOWER END OF THE VERTICAL PIPES AND FILLING THE ENTIRE SYSTEM ABOVE THE HIGHEST OPENING WITH A 10' HEAD OF WATER. THE WATER SHALL BE KEPT IN THE SYSTEM FOR AT LEAST 15 MINUTES BEFORE INSPECTION STARTS AND HOLD TIGHT WITHOUT ANY LEAKS PER 2014 ILLINOIS PLUMBING CODE.

HVAC NOTES

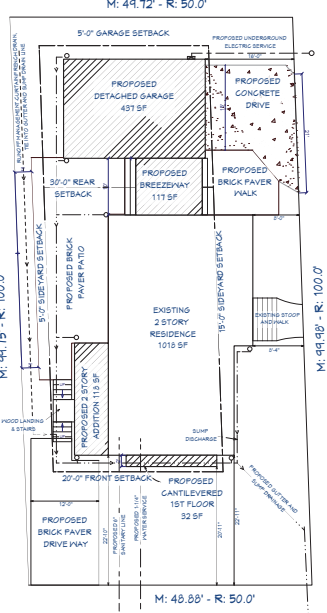
- SEAL WITH DUCT TAPE ALL JOINTS IN SUPPLY AND RETURN AIR SYSTEM.
 - ALL DUCTWORK IN ATTIC SHALL HAVE R10 INSULATION JACKETS INSTALLED.
 - SHEET METAL DUCTS SHALL BE 26 GA. METAL.
- ## ELECTRICAL NOTES
- ALL ELECTRICAL WORK SHALL CONFORM TO NEC 2008 EDITION
 - ELECTRIC SERVICE 200A (3W/1N), PANE 3, 3, 480 V, 112.7 MVA
 - SIZE OF GROUND WIRE FOR ELECTRIC SERVICE SHALL BE 400 KCMIL
 - PANEL SHALL BE 42 CIRCUITS TIE OR APPROVED EQUAL
 - EVENT FLOOR SHALL HAVE A 110V INTERCONNECTED SHOCK DETECTOR AND THERE SHALL BE A 110V INTERCONNECTED SHOCK DETECTOR IN ALL RESIDENCES.
 - ELECTRIC OUTLETS SHALL BE MOUNTED BY ABOVE FINISHED FLOOR.
 - ELECTRIC OUTLETS SHALL BE MOUNTED BY ABOVE FINISHED FLOOR.
 - PROVIDE GROUND FAULT INTERRUPTER (GFI) OUTLETS AND CIRCUITS IN ALL EXTERIOR AND WET LOCATIONS.
 - WIRE BIBLES WHERE LOCATED BE REQUIRED FOR WIRE BIBLES SHALL BE 5/8" MINIMUM.
 - ALL WIRE SHALL BE COPPER WITH THIRTYTHREE INSULATION.
 - ALL FAULT PROTECTION DEVICES SHALL BE PROVIDED FOR ALL CIRCUITS SUPPLYING 120V, 15 AMP & 20 AMP OUTLETS PER 2008 NEC, SECTION 410.2(A) A MINIMUM OF 75% OF ALL SWITCHES AND PERMANENTLY INSTALLED FIXTURES SHALL HAVE HIGH EFFICIENCY BULBS INSTALLED IN THEM.

ENGINEERING NOTES:

- PROPOSED DOWNSPOUTS SHALL DISCHARGE ONTO THE GROUND, AND DAY LIGHT, MINIMUM OF 10' FROM ANY PUBLIC RIGHT OF WAY, MINIMUM 9' FROM ANY PROPERTY LINE, OR HALF THE DISTANCE OF THE SIDE YARD SETBACK, WHICHEVER IS GREATER. DISCHARGE SHALL NOT BE LOCATED IN A FRONT YARD SETBACK.
- EXISTING WATER SERVICE TO BE DISCONNECTED AT THE MAIN BY REMOVING COPORATION STOP AND INSTALLATION OF STAINLESS STEEL BAND CLAMP

- APPLICABLE CODES, (W/ ST CHARLES AMENDMENTS)**
- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - 2014 ILLINOIS STATE PLUMBING CODE
 - 2014 NFPA NATIONAL ELECTRIC CODE (NEC)
 - 2015 ILLINOIS ENERGY CONSERVATION CODE (IECC)

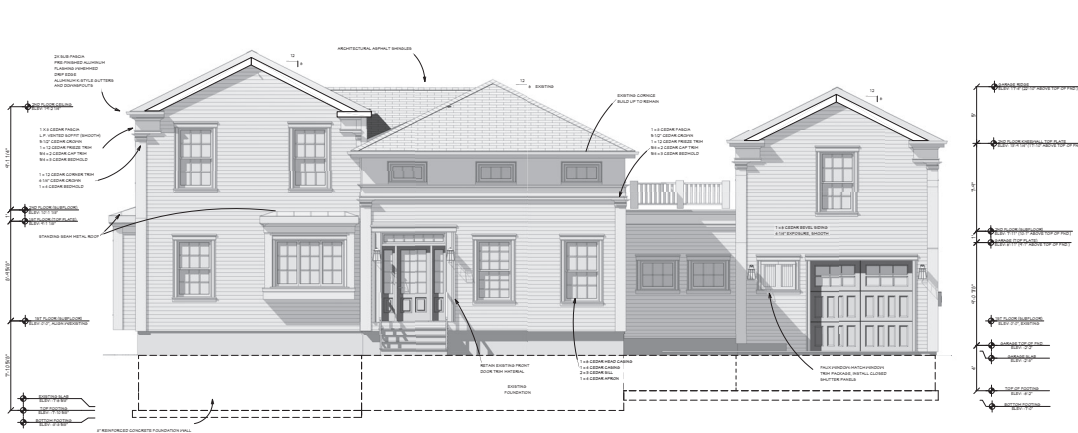
BUILDING COVERAGE
 TOTAL PROPOSED: 1722 SF
 LOT AREA: 4922.5 SF
 ALLOWABLE BUILDING COVERAGE: 4922.5x.25=1230 SF (DET. GAR.)
 =1730 SF



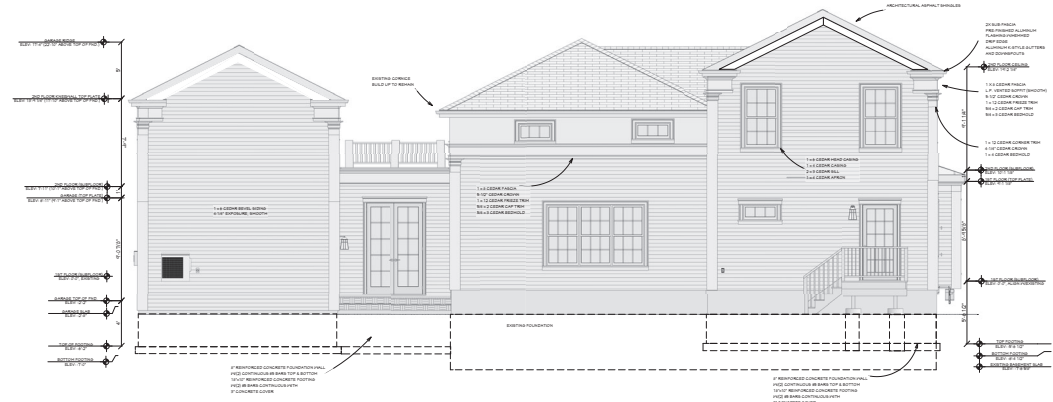
CHESTNUT STREET
SITE PLAN
 SCALE: 1/8" = 1'-0"

<p>NO. DESCRIPTION</p> <p>BY DATE</p> <p>1. 02/17/23</p> <p>2. 02/17/23</p>	<p style="text-align: center;">SITE PLAN</p> <p style="text-align: center;">SHEET TITLE:</p> <p style="text-align: center;">REMODEL & ADDITION SWEENEY RESIDENCE 303 N THIRD AVE, ST CHARLES, IL</p> <p style="text-align: center;">DRAWINGS PROVIDED BY: MATT SWEENEY 411847 BETH RD CAMPTON HILLS, IL</p>
<p>DATE: 3/13/23</p> <p>SCALE: 1/4" = 1'-0"</p> <p>SHEET: 1</p>	

Option 1



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

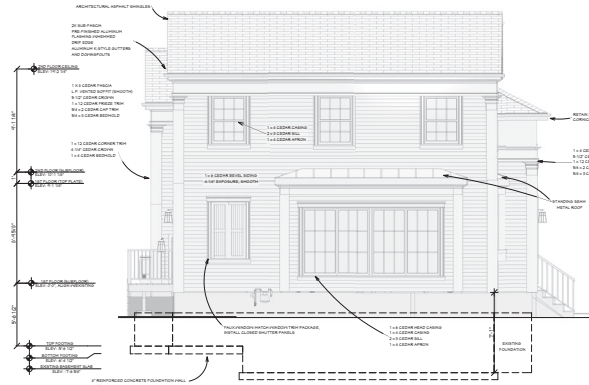
WINDOWS & DOORS: PROVIDE MARVIN ELEVATION ALUMINUM CLAD WINDOWS, INSULATED GLASS PLYLOW E COATING & ARGON GAS. UNITS TO HAVE MINIMUM U-FACTOR VALUE OF 0.21 OR LOWER. HUNTING TO BE TOP ILLUMINATED DIVIDED LIGHT.

NO.	DESCRIPTION	REV.	DATE
1	ISSUED FOR PERMIT	0	02/21/23
2	ISSUED FOR PERMIT	1	03/15/23
3	ISSUED FOR PERMIT	2	03/15/23
4	ISSUED FOR PERMIT	3	03/15/23

PROJECT DESCRIPTION:	REMODEL & ADDITION SWEENEY RESIDENCE 302 N THIRD AVE, ST CHARLES, IL
DRAWINGS PROVIDED BY:	MATT SWEENEY 411847 BETH RD CAMPTON HILLS, IL
DATE:	3/15/23
SCALE:	1/4" = 1'-0"
SHEET:	2

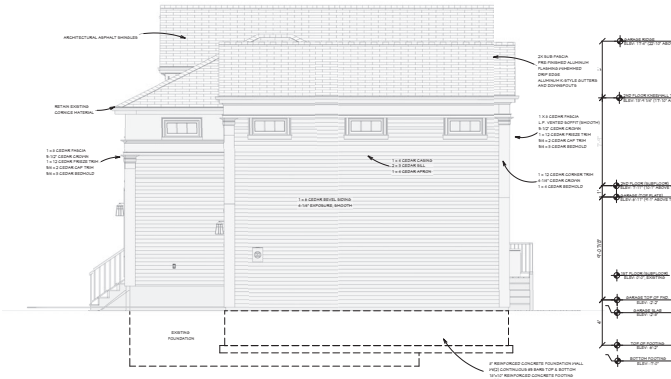
SHEET TITLE:	ELEVATIONS VARIANCE OPTION
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Option 1



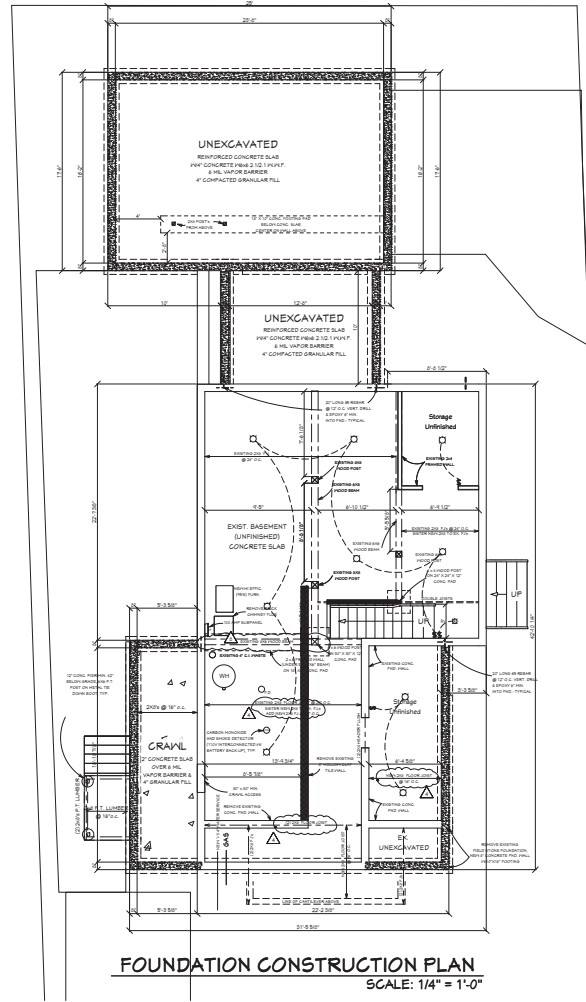
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

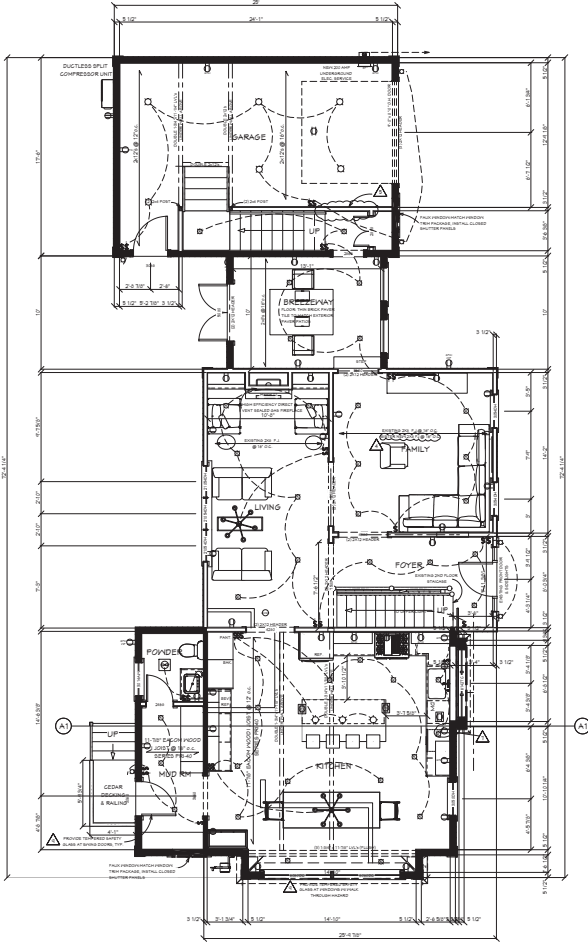


FOUNDATION CONSTRUCTION PLAN

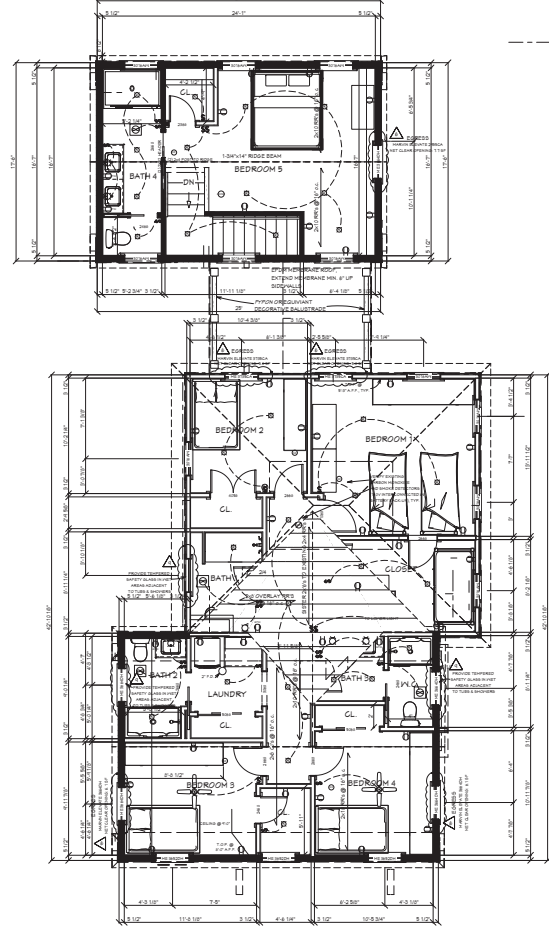
SCALE: 1/4" = 1'-0"

NO. DESCRIPTION	BY: [Signature]	DATE: 02/15/23
	PERMIT: [Signature]	REVISIONS: 03/03/23
	POSTED COMM: [Signature]	VARIANCE OPTION: 04/17/23
SHEET TITLE: ELEVATIONS & FND. CONSTRUCTION PLAN VARIANCE OPTION		
PROJECT DESCRIPTION: REMODEL & ADDITION SWEENEY RESIDENCE 303 N THIRD AVE, ST CHARLES, IL		
DRAWINGS PROVIDED BY: MATT SWEENEY 411847 BETH RD CAMPTON HILLS, IL		
DATE: 3/13/23		
SCALE: 1/4" = 1'-0"		
SHEET: 3		

Option 1



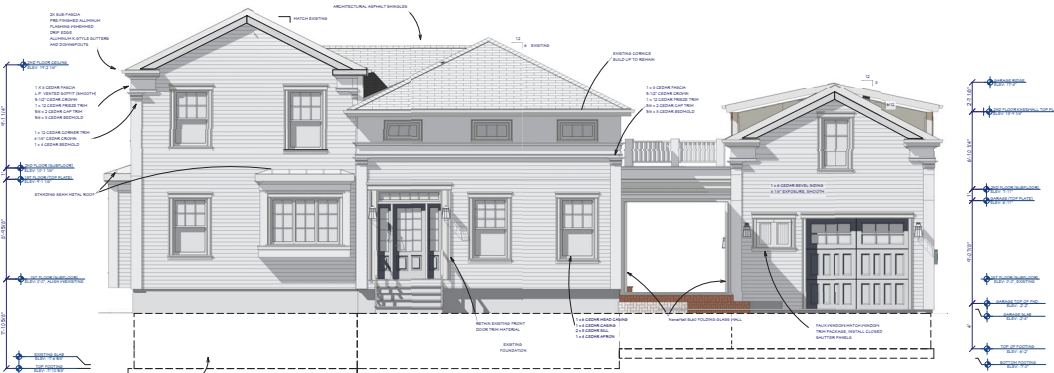
FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

V3 11/20/24 11/20/24 11/20/24 11/20/24	NUM	1
	11/20/24	1
	11/20/24	1
	11/20/24	1
EL VIT A ONIAS, S & FA D&O L V F, DV(C) O R, LO P U F - C L O D H A R V R Y C S O		11/20/24 11/20/24 11/20/24 11/20/24 11/20/24
F H 3 & N H A T A J N N D C S O L G H H O H U F L H Q N H O D H / / / D V ; E N A P H A R V D ; U F ; H ; T C		11/20/24 11/20/24 11/20/24 11/20/24 11/20/24
3 U W A G H H O H I D E L O S B A N D O ; F N D E S R U O A C ; L ; T C		11/20/24 11/20/24 11/20/24 11/20/24 11/20/24
NUMHW / 1 E / 1 / LDU HW E12' E B-4 L : H HW		11/20/24 11/20/24 11/20/24 11/20/24 11/20/24
4		

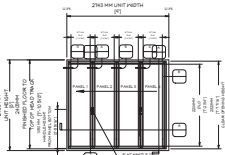
Option 2



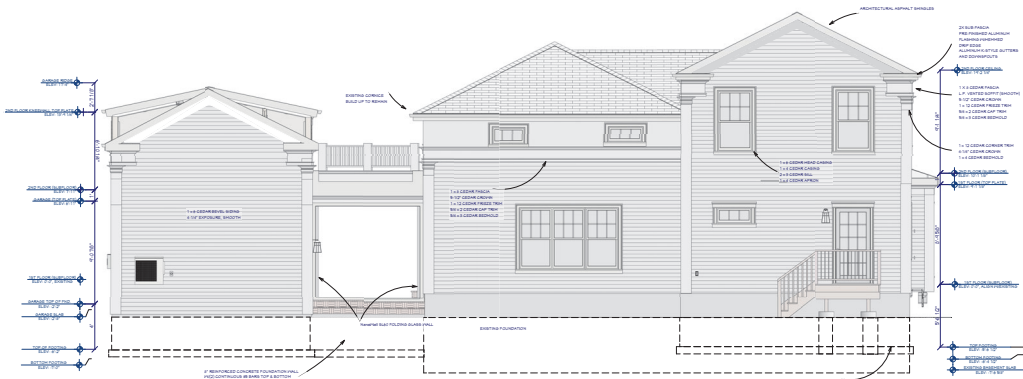
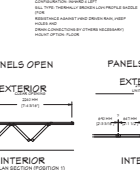
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NanaWall SL60
FOLDING GLASS WALL



ELEVATION POSITION 1

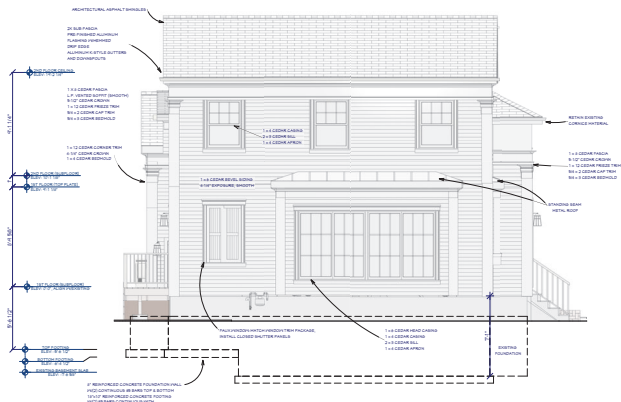


REAR ELEVATION

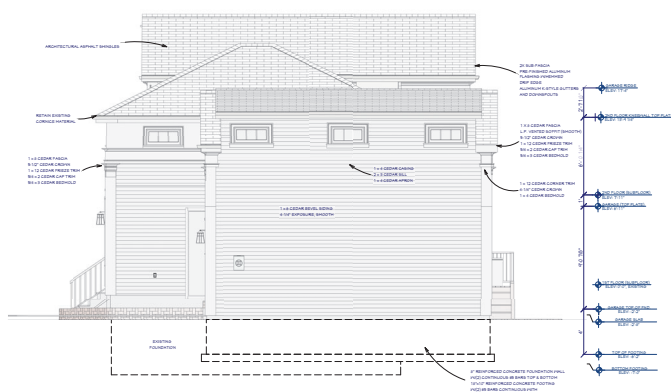
SCALE: 1/4" = 1'-0"

NO. 5	DATE
NO. 4	DATE
NO. 3	DATE
NO. 2	DATE
NO. 1	DATE
SITE PLAN	
NO. 5 P. 15	
WR. BIC. CONCORVA, A. R.S. L.D.S.I.V.S.E.D.D.P. R.A. NJ SSASORS/NIP/SACS 1-1471 HIRD/ETS/N. KCHER/SNPH	
DORE P. N/MBL/T/PROG/CO E. WU SSASO PM. OR/SSP. HSD CE. W. LAHRE/NPH	
DE 5:	
REV 1	
NCEIS:	
MS 4 MS-4	
NHSS :	
2	

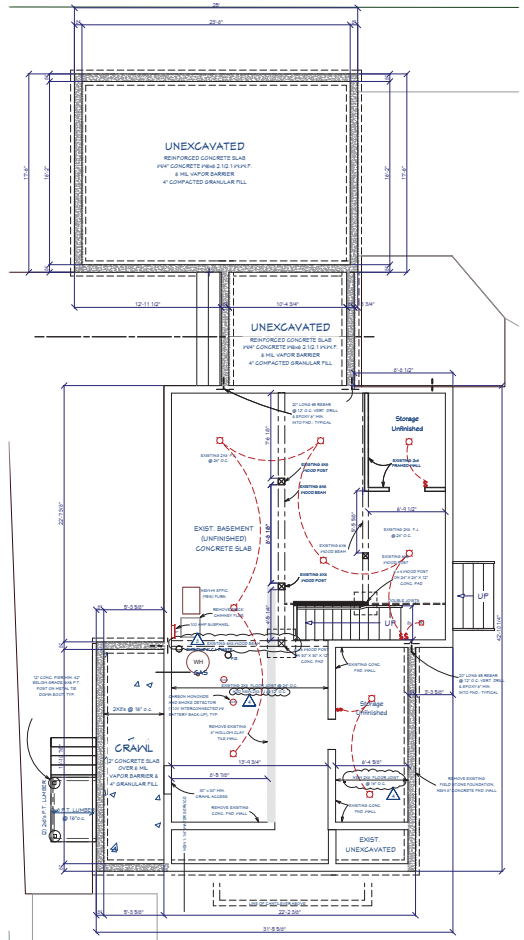
Option 2



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



FOUNDATION CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE: **ELEVATION & ADDITION FOUNDATION CONSTRUCTION PLAN**

PROJECT DISCIPLINE: **REMODEL & ADDITION SWEENEY RESIDENCE 303 N THIRD AVE, ST CHARLES, IL**

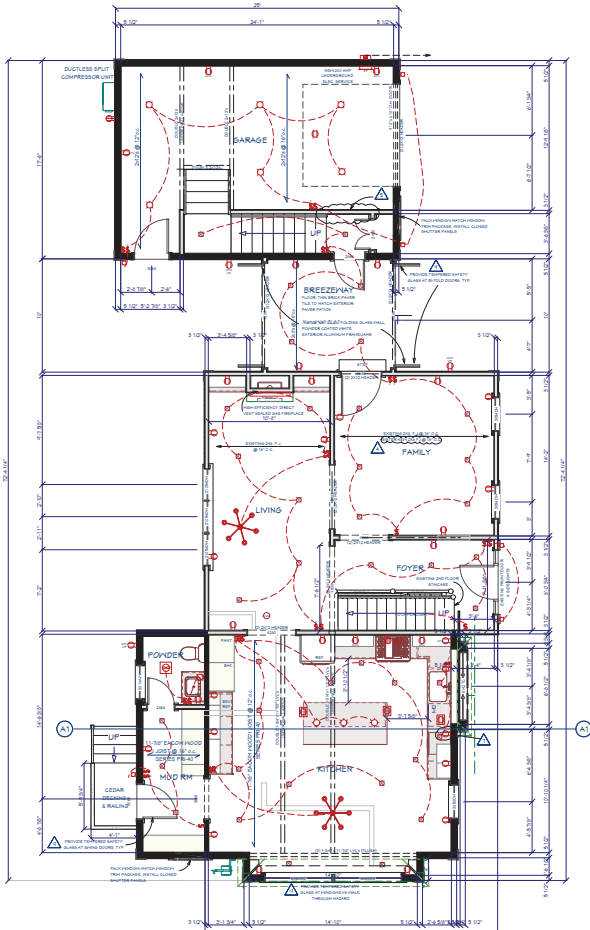
DRAWINGS PROVIDED BY: **MATT SWEENEY 411867 BETH RD CAMPTON HILLS, IL**

DATE: **3/13/23**

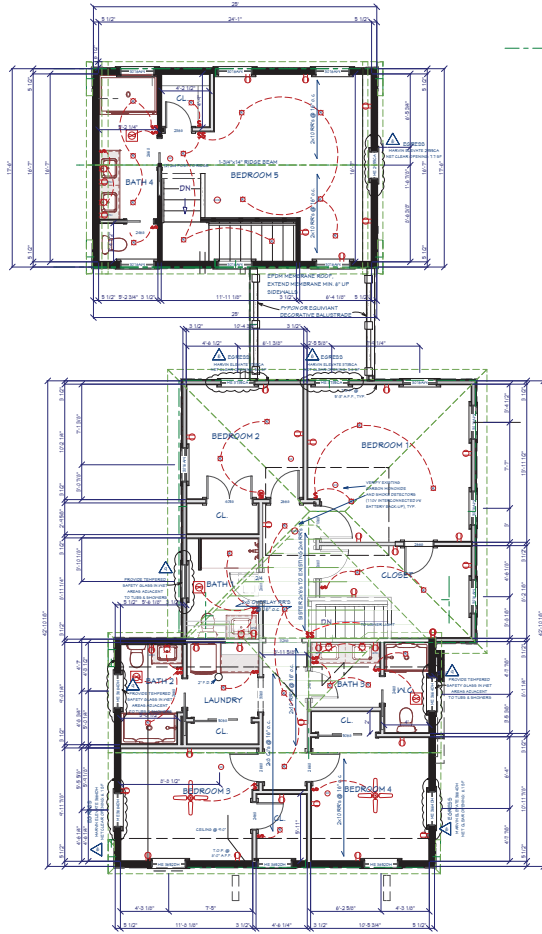
SCALE: **1/4" = 1'-0"**

SHEET: **3**

Option 2



FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

DATE	NO.	DESCRIPTION
	3	REV.
REF: 2014.11.08.001 U: 3 FN: 847 P: NNS/SFO LG: O: JAU: LSN: LOD: / - / ADM: SUNRY: ALV: DHP: USC: L: RB:		
NPV: W / IE/ II / LDP: W E124' E#-4 LH: VW		
4		

ROOF CONSTRUCTION
 ARCHITECTURAL ASPHALT SHINGLES
 SYNTHETIC UNDERLAYMENT
 ICE & WATER SHIELD FROM
 FASCIAGUTTER TO 24" BEYOND
 EXTERIOR WALL LINE
 1/2" POLYWOOD SHEATHING
 2X10 RAFTERS @ 16" O.C.
 2X8 CEILING JOISTS @ 16" O.C.
 AIR BATTLE
 HIGH DENSITY R-49 INSULATION MVVAPOR
 RETARDER ON WARM SIDE OF INSULATION
 1/2" DRYWALL TAPED & SANDED

2ND FLOOR CEILING
 1/2" SUB-FASCIA
 PRE-FINISHED ALUMINUM
 FLASHING FINISHED
 DRIP EDGE
 ALUMINUM K-STYLE GUTTERS
 AND DOWNSPOUTS

1X CEDAR FASCIA TRIM
 L.P. VENTED SOFFIT (SMOOTH)
 5" CEDAR BEDMOLD
 5/8" CEDAR FREEZE TRIM
 5/4" CEDAR HEAD TRIM

2ND FLOOR (SUBFLOOR)
 ELEV. 10'-1 1/2"
1ST FLOOR (TOP PLATE)
 ELEV. 9'-1 1/2"

WALL CONSTRUCTION
 5" BEVELED CEDAR SIDING
 TYVEK WEATHER RESISTIVE BARRIER
 1/2" OSB SHEATHING
 2X8 STUDS @ 16" O.C.
 HIGH DENSITY R-20 INSULATION MVVAPOR
 RETARDER ON WARM SIDE OF INSULATION
 1/2" DRYWALL TAPED & SANDED

NOTE:
 PLANS REPRESENT IECC 2019
 (TABLE 402.1.2, ZONE 5)
 COMPLIANCE BY PRESCRIPTION

1ST FLOOR (SUBFLOOR)
 ELEV. 0'-0", ALIGN P/EXISTING

WALL CONSTRUCTION
 DRAINAGE MAT
 ASPHALT DAMPROOFING
 3" REINFORCED CONCRETE FOUNDATION WALL
 6-1/2" POLY-ENCAPSULATED THERMAL
 FIBERGLASS INSULATION OR EQUAL
 (2) #5 BARS TOP & BOTTOM

TOP FOOTING
 ELEV. -3'-6 1/2" BELOW 1ST FLOOR
BOTTOM FOOTING
 ELEV. -5'-4" 1/2"
 EXISTING BASEMENT SLAB
 ELEV. -7'-5 5/8" BELOW 1ST FLOOR

FLOOR CONSTRUCTION
 3/4" HARDWOOD FLOORING
 3/4" T&G OSB DECKING
 2X12 FLOOR JOISTS @ 16" O.C.
 PVBRIDGING @ MID-SPAN
 1/2" DRYWALL TAPED & SANDED

HIGH DENSITY R-21 INSULATION MVVAPOR
 RETARDER ON WARM SIDE OF INSULATION
 2X PRESSURE TREATED SILL PLATE W/SILL SEALER
 1/2" DIA. ANCHOR BOLT @ 48" O.C. & 12"
 FROM ALL CORNERS AND PLATE ENDS

FLOOR CONSTRUCTION
 REINFORCED CONCRETE SLAB:
 4" CONCRETE W/ #6 2.1/2.1 PL/1/4"
 6 MIL VAPOR BARRIER
 4" COMPACTED GRANULAR FILL

15"x10" CONCRETE FOOTING
 4" DIAMETER PERIMETER DRAIN TILE (PROVIDE
 FABRIC SOCK OVER DRAINTILE) W/ 1/2" WASHED
 GRAVEL BASE AND 12" WASHED GRAVEL COVER

2ND FLOOR KNEE WALL TOP PLATE
 ELEV. 15'-3"

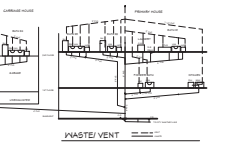
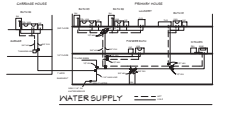
2ND FLOOR EXISTING
 ELEV. 9'-8 1/2"
1ST FLOOR CEILING EXISTING
 ELEV. 9'-10"

1ST FLOOR (SUBFLOOR)
 ELEV. 0'-0", EXISTING

PLUMBING FIXTURE UNIT COUNT

QUANTITY	FIXTURE	UNITS	TOTAL
2	BATHUB	2	0
1	BED	1	0
1	CLOTHES WASHER	2	2
1	DISHWASHER	1	1
2	FLOOR DRAIN	0	0
1	KITCHEN SINK	2	2
0	LAUNDRY	3	0
0	LAUNDRY TUB	2	2
0	SHOWER PAN	1	0
0	SHOWER PAN (1.5 GAL)	1	1.5
TOTAL FIXTURE UNITS			10

SUPPLY NEW 1/2" CP WATER SERVICE LINE & 1" METER
 EXISTING WATER SERVICE LINE 3/4" PB



BUILDING SECTION

SCALE: 1/2" = 1'-0"

NO. DISCREPANCY

BY DATE

SECTION PLAN

SHEET TITLE

PROJECT DESCRIPTION:
REMODEL & ADDITION
SWEENEY RESIDENCE
 302 N. THIRD AVE., ST. CHARLES, IL

DRAWING PROVIDED BY:
MATT SWEENEY
 614 W. 47th BEVEL RD
 CAMPTON HILLS, IL

DATE:
 3/13/23

SCALE:
 1/4" = 1'-0"

SHEET:
1



EXISTING FRONT ELEVATION



EXISTING LEFT & REAR ELEVATIONS



NanaWall 5L60
FOLDING GLASS WALL



EXISTING FRONT ENTRY



EXISTING ENTRY AND CORNICE DETAIL

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
SSUPPORTING MATERIAL

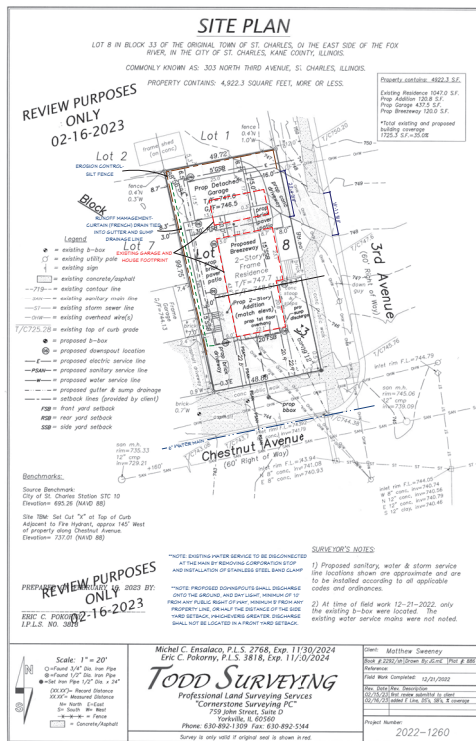
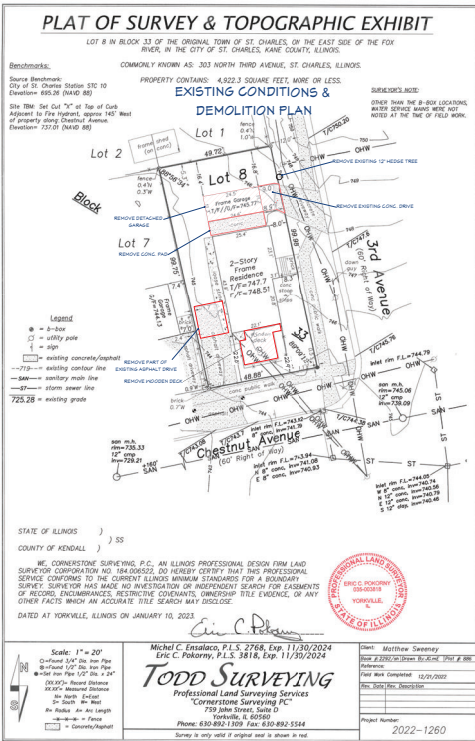
PROJECT DESCRIPTION:
REMODEL & ADDITION
SWEENEY RESIDENCE
303 N THIRD AVE, ST CHARLES, IL

DRAWINGS PROVIDED BY:
MATT SWEENEY
4118/847 BETH RD
CAMPTON HILLS, IL

DATE:
3/13/23

SCALE:
1/4" = 1'-0"

SHEET:
6



BY: LACSD	DATE: 02/20/2023
BY: M&B/BLM	DATE: 02/20/2023
BY: HRAVED	DATE: 02/20/2023
BY: 3824 3-4	DATE: 02/20/2023
BY: H:SSCD	DATE: 02/20/2023
BY: 7	DATE: 02/20/2023



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY ST. CHARLES CENTRAL DISTRICT ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

ARCHITECTURAL INTEGRITY

	1	2	3
<input type="checkbox"/> Unaltered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Minor Alteration	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Major Alteration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Additions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sensitive to original	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Insensitive to original	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1: first floor; 2: upper floors; 3: roof/cornice

BUILDING CONDITION

- Excellent: Well-maintained
- Good: Minor maintenance needed
- Fair: Major repairs needed
- Poor: Deteriorated

ARCHITECTURAL DESCRIPTION

Style: Greek Revival

Date of Construction: 1870-1880

Source: A Field Guide to American Houses

Features:

Low pitched hip roof. Frieze-band windows. Classical details at end. Side and transom lights at front door. Some details have been removed or altered.

ARCHITECTURAL SIGNIFICANCE

- Significant
- Contributing
- Non-Contributing



Address:

303 North 3rd Avenue

Representation in Existing Surveys:

- Federal
- State
- County
- Local

Block No. 24

Building No. 5

SURVEY DATE:

MAY 1994

ROLL NO. 4

NEGATIVE NO. 26



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
ST. CHARLES CENTRAL DISTRICT
ST. CHARLES, ILLINOIS

DIXON ASSOCIATES / ARCHITECTS

CONTINUATION SHEET NO: 1



Address:

303 North 3rd Avenue

Remarks:

South Elevation.

Block No. 24

Building No. 5

ROLL NO. 4

NEGATIVE NO. 25

Address:

Remarks:

Block No.

Building No.

ROLL NO.

NEGATIVE NO.