

**AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. STEVE WEBER– CHAIR
MONDAY, JANUARY 9, 2023 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. CALL TO ORDER

2. ROLL CALL

3. OMNIBUS VOTE

Items with an asterisk (*) are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

4. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Plan Commission recommendation to approve a PUD Preliminary Plan for the First Street Plaza expansion.
- b. St. Charles Housing Trust Fund Update
- c. Recommendation regarding the St. Charles Housing Trust Fund Allocation to the Kane County Affordable Housing Fund for Anthony Place II.
- d. Recommendation regarding 2023 Inclusionary Housing Fee

5. PUBLIC COMMENT

6. ADDITIONAL ITEMS FROM MAYOR, COUNCIL OR STAFF


7. EXECUTIVE SESSION

- Personnel – 5 ILCS 120/2(c)(1)
- Pending, Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

8. ADJOURNMENT

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item Number: 4a
	Title:	Plan Commission recommendation to approve a PUD Preliminary Plan for the First Street Plaza expansion.	
	Presenter:	Russell Colby, Director of Community Development Peter Suhr, Director of Public Works	
Meeting: Planning & Development Committee		Date: January 9, 2023	
Proposed Cost: \$		Budgeted Amount: \$	Not Budgeted: <input type="checkbox"/>
Executive Summary (if not budgeted please explain):			
<p>The P&D Committee last received an update regarding the First Street Plaza project in November 2022. Following the update, staff proceeded with the PUD plan approval process, with review and recommendations by Historic Preservation Commission (12/7/22) and Plan Commission (12/20/22). The PUD plan is now being presented to the P&D Committee for a recommendation, prior to City Council consideration.</p> <p><u>Historic Commission Review</u></p> <p>Historic Commission reviews PUD plans for sites in the Historic District and provides recommendations regarding the impact of a project on historic resources, specifically districts or landmarks affected. The Commission unanimously recommended approval of the plan, and offered four recommendations to Plan Commission. Discussions and responses are provided in the staff report:</p> <ol style="list-style-type: none"> 1. Ensure consistency with existing downtown street lighting design/styles. 2. Ensure consistency with the existing downtown wayfinding/directory signs. 3. Provide accommodations for bicycle parking. 4. Provide accommodations for delivery vehicles. <p><u>Plan Commission Review</u></p> <p>Plan Commission unanimously recommended approval of the plan, and did not provide any specific approval conditions. The Commissioners complimented the design overall and discussed the following topics:</p> <ol style="list-style-type: none"> 1. Locations and facilities within the plaza available to host performances of different types and sizes. 2. Accommodations for bicycle parking near the plazas. 3. Confirming durability of materials, including the bench seating (and protection from skateboarders) 4. Adding accent lighting enhancements for the pergola. 5. Providing a drop-off point at the Walnut & First Street intersection. <i>Staff is reviewing modifications to increase the size of a pull-off area at this corner.</i> 6. Future planning for outdoor dining to be adjacent to the restaurants. <p>Ken Hendricks, of Alter Brewing, spoke during public comment regarding an interest to coordinate planning for the future outdoor dining areas with the plan.</p> <p><u>Update for First Street area businesses</u></p> <p>In December 2022, the Economic Development staff reached out to First Street businesses between Main St. and Illinois St. to give a status update and inform them of the upcoming public meetings for the plaza extension project. Subsequently, the City staff invited all the 1st street businesses to meet with staff on January 3 to discussion the project and ask any questions. A majority of the discussion pertain outdoor dining and means to mitigate construction. If the plaza moves forward, City staff intends to hold additional meetings with the business owners to keep them informed on the project.</p>			
Attachments (please list): Plan Commission Resolution, Staff Report, Application, Project Donor List, Plans			
Recommendation/Suggested Action (briefly explain): Recommendation to approve a PUD Preliminary Plan for the First Street Plaza expansion. Subject to a positive Committee recommendation, the PUD plan approval ordinance will proceed to City Council on Jan 17. The ordinance would only approve the PUD plan, and would not authorize funding or construction of the project. Once the PUD plan is approved, staff would solicit bids to better understand the project cost.			

City of St. Charles, Illinois
Plan Commission Resolution No. 18-2022

A Resolution Recommending Approval of a PUD Preliminary Plan for First Street Plaza Expansion (City of St. Charles)

Passed by Plan Commission on December 20, 2022

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review PUD Preliminary Plans; and

WHEREAS, the Plan Commission has reviewed the PUD Preliminary Plan for First Street Plaza Expansion (City of St. Charles); and

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a PUD Preliminary Plan for First Street Plaza Expansion (City of St. Charles), contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Funke, Ewoldt, Rosenberg, Studebaker, Moad

Nays:

Recused: Vargulich

Absent: Hibel, Wiese, Gruber

Motion carried: 5-0

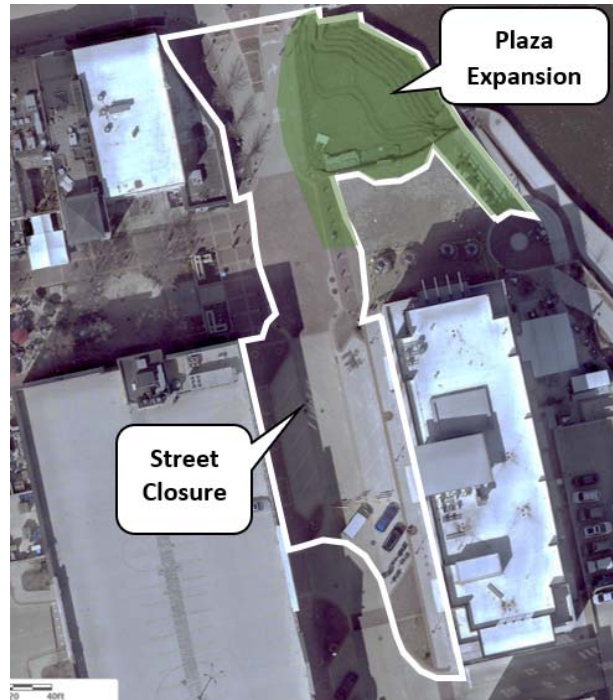
PASSED, this 20th day of December 2022.

Chairman
St. Charles Plan Commission



Applicant:	City of St. Charles
Property Owner:	City of St. Charles
Location:	1 W. Main St. SE corner of W. Main & S. 1 st Streets
Purpose:	Expansion of public plaza & streetscape improvements
Application:	PUD Preliminary Plan
Public Hearing:	Not required
Zoning:	CBD-1 Central Business District / PUD (First Street Redevelopment PUD)
Current Land Use:	Vacant
Comprehensive Plan:	Mixed Use

1st Street Plaza Expansion



Summary of Proposal: The City of St. Charles has submitted a PUD Preliminary Plan application for the First Street Plaza expansion project, located within the First Street Redevelopment PUD. Plans also include improvements to S. 1st St. to create a pedestrian way with permanent closure of the street to vehicular traffic, from Main St. to Walnut St.

The design has been developed by a team led by Serena Sturm architects, in collaboration with the St. Charles Initiative, an independent advisory committee of community leaders formed to solicit contributions and donations for public-private projects in the City.

An initial Phase 1 of site improvement was completed to replace a section of river wall and fill in the old Manor building foundation area. S. 1st St. through the project site has remained closed to traffic since Spring 2021 as the street has continued to be utilized for outdoor dining and other activities.

Info / Procedure on Application: **PUD Preliminary Plan:**

- Approval of plans for development of property within a PUD to ensure compliance with the PUD ordinance and applicable provisions of the Zoning Ordinance. Includes site, landscape, and engineering plans.
- Recommendation is based on compliance with the approved PUD standards and other city code requirements (including Zoning and Subdivision codes).

Suggested Action: The Plan Commission may vote on the item should the Commission feel that they have enough information to make a recommendation.

Staff recommends that any recommendation include a condition requiring resolution of all staff comments prior to City Council action.

Staff Contact: Russell Colby, Community Development Director

I. PROPERTY INFORMATION

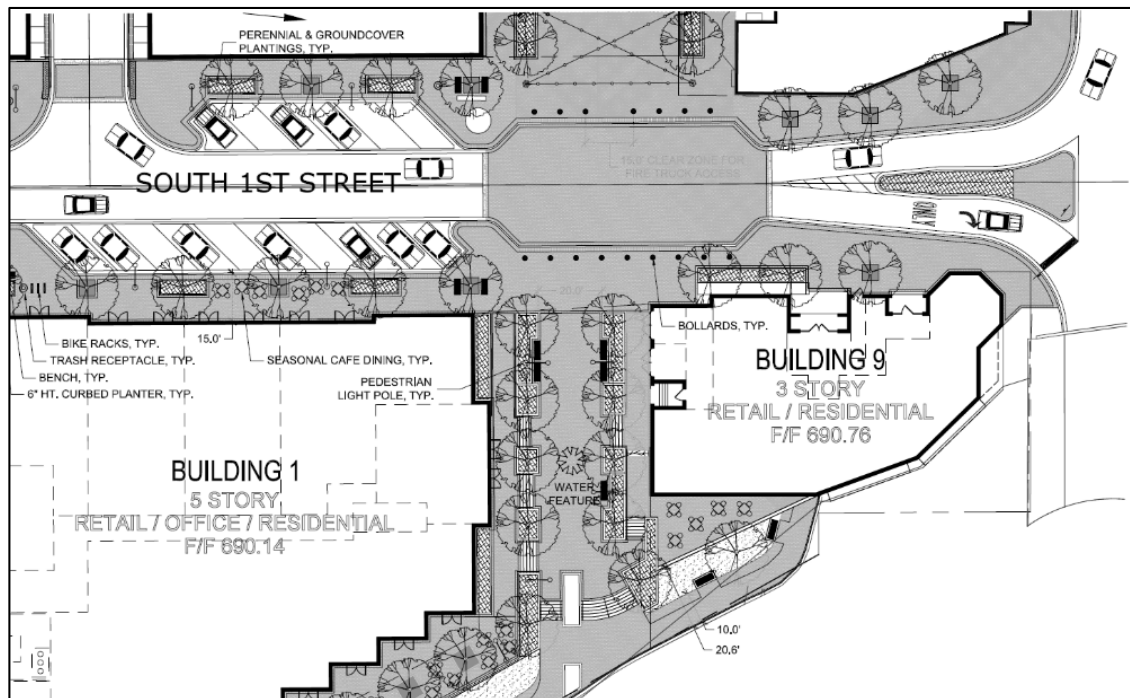
A. History / Context

The subject property is located at the southeast corner of W. Main and S. 1st Streets. The property is part of the First Street Redevelopment PUD, initially approved by the City in 2006 under Ordinance No. 2006-Z-29. The PUD and project plans were amended several times over the past 16 years as the project was constructed over a number of phases.

Development on the west side of First Street, including the western public plaza, was constructed in 2008-2010. Development on the east side of First Street, including the riverwalk and eastern plaza area, was constructed in 2015-2019.

The subject property was originally planned as the location of First Street Building #9, known as 1 W. Main St. The building footprint would have included the grass area (former Manor building location) plus the north half of what is currently the eastern plaza. When the City constructed the eastern plaza in 2019, plans for the Building #9 site were undetermined, so the plaza was constructed with a simple design and unfinished temporary edge, to allow for changes and design of the space in the future.

2006 Site Plan showing Plazas and Building #9:



Concept for Expanded Plaza

The City acquired ownership of the former Manor property in 2020 with the intention of utilizing the site as an expanded public plaza.

The City had separately formed a public-private fundraising group, known as the St. Charles Initiative, formed as a new approach to help fund capital projects and improvements in the community through donations and endowments. The St. Charles Initiative chose to focus on the First Street plaza as their first major fund-raising project. The Initiative sought design assistance from architect Marty Serena, who is now assisting the City with completing plans for the project.

A community survey was conducted to solicit input on the concept designs for the plaza, and results were presented to City Council in 2021. The survey showed strong support for the design concept of the expanded plaza and street closure. Additional information regarding the survey results is posted on the project page:

<https://www.stcharlesil.gov/projects/1st-street-plaza-expansion>

Outdoor Dining and Street Closure

Starting during the pandemic in Spring/Summer 2020, the City Council authorized temporarily expanding outdoor dining within the First Street public plaza spaces. The portion of First Street through the plaza area (Walnut to Main St.) was closed to vehicle traffic to allow for additional seating and pedestrian pathways during the outdoor dining season. The expanded outdoor dining program was very successful, and continued during 2021 and 2022.

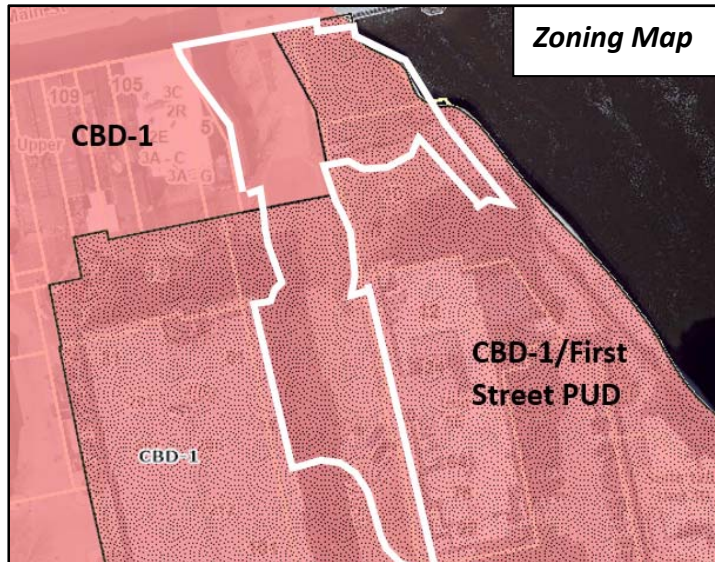
First Street has remained closed to vehicle traffic since Spring 2021 and the City Council has expressed support for formally closing the street in favor of enhancing the public plazas and providing a pedestrian focused environment. Businesses on First Street have generally been in support of the street closure and see benefit to the activity generated by the expanded pedestrian use. The area has also attracted new businesses during the street closure, which suggests that the limitation on vehicle access is not negatively impacting the area as a business location.

With respect to future outdoor dining on the plaza, City Council has expressed interest in creating a more cohesive layout in order to open up what had been the main public plaza spaces. The plaza expansion project will allow for outdoor dining to be relocated out of the central plaza areas, shifting some seating to locations along First Street.

B. Zoning

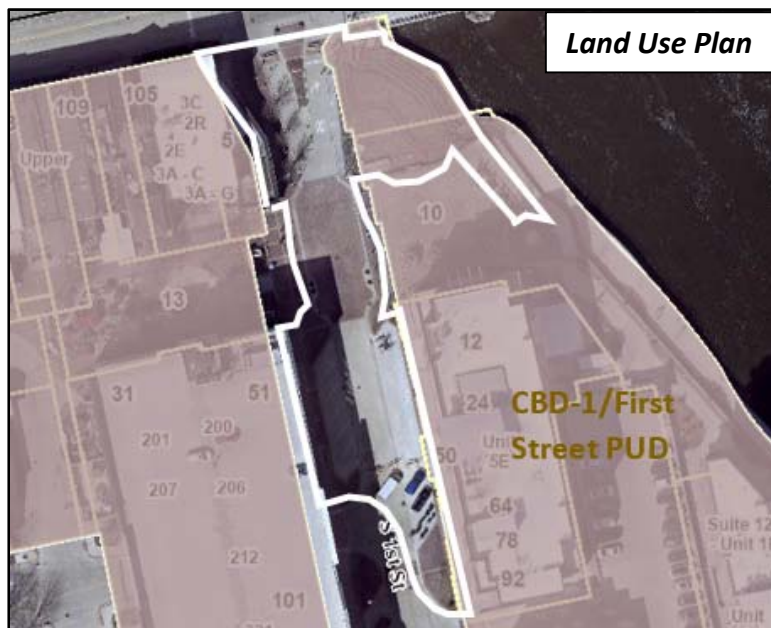
The subject property is zoned CBD-1 Central Business District and PUD. The same underlying zoning designation exists surrounding the property.

	Zoning	Land Use
Subject Property	CBD-1 / First Street PUD	Vacant
North	CBD-1 / Hotel Baker PUD	Hotel Baker
East	CBD-1	Mixed Use (east of river)
South	CBD-1 / First Street PUD	Public Plaza
West	CBD-1	Mixed Use



C. Comprehensive Plan

The plaza parcel is designated Mixed Use in the Land Use Plan adopted as part of the 2013 Comprehensive Plan. The downtown core has the same designation.



The Mixed Use land use category is described as follows:

The Land Use Plan designates Downtown St. Charles as Mixed Use, characterized by land uses and development patterns that provide a vibrant, safe, attractive, and “walkable” pedestrian environment...

Mixed Use areas should have strong pedestrian orientation and seek to create a more interesting and engaging pedestrian experience, accommodating pedestrian generating uses on the ground floor, and other uses above. Retail, entertainment and dining uses are ideally suited for the ground floor with residential and/or office uses located on the upper floors. The primary objective is to provide an appropriate and compact mix of uses

to foster an active and interesting district. Parking in the mixed use areas should be provided on-street, or in subtly located parking garages or parking lots.

Built form is a critical consideration within Mixed Use areas. Within mixed use areas, buildings should be located at, or near, the front property lines fronting the street to create a “street wall” – a continuous row of buildings and storefronts that encourages walkability and helps to establish a safe and attractive pedestrian environment.

The subject property is also located within the Downtown Subarea:

Downtown Subarea Goals:

- Full utilization of the Fox River as a recreational and environmental asset
- Preservation and enhancement of the Downtown’s historic architectural character
- Accessibility for all modes of transportation, including vehicles and pedestrians
- Enhanced cultural activities that serve as both local and regional attractions

Downtown Subarea Objectives:

- Encourage development practices that minimize environmental impacts on the Fox River and consider its presence and benefits.
- Provide continuous open space and bike/pedestrian access along the Fox River corridor as envisioned in the 2002 River Corridor Master Plan.
- Provide a high level of physical and visual access to the Fox River from all portions of Downtown.
- Recognize Downtown’s important architectural resources, and establish programs to preserve and enhance them.
- Require new development to meet high standards of site and building design that are compatible with the historic character.
- Enhance the public realm through streetscaping and gateways.
- Move people using all modes of transportation safely and efficiently throughout Downtown.
- Mitigate the impacts of truck traffic on Main Street.
- Maintain and strengthen a comprehensive pedestrian network.
- Better manage parking capacity and access throughout Downtown, especially as new development comes on-line.
- Strategically coordinate civic and cultural events to attract residents and visitors to various portions of Downtown and different times of the year.
- Enhance mobility between Downtown and surrounding neighborhoods, communities, and other assets, such as other commercial centers, major bikeways and trails for all modes of travel.

II. PLANNING ANALYSIS

A. Proposed Use

Proposed use of the subject property that is not part of the street right-of-way is as a Public Plaza. Public Plaza is a permitted use in the CBD-1 District and in the First Street Redevelopment PUD.

B. Proposed Plans

The expanded plaza features the following:

- Access points from 1st St. and Main St.

- Paver surface surrounded by greenspace on three sides.
- 12' steel trellis topped with solar panels surrounding the plaza on three sides.
- Brick knee-wall benches positioned around the plaza.
- Variety of trees and plantings within landscape beds.

Improvements to the First Street ROW:

- Removal of existing street improvements and sidewalk pavers within the project area.
- Paver surface with concrete ribbon of variable width to create a pedestrian way.
- Overhead string lights from Walnut St. to the plazas.
- Knee-wall benches and landscape areas incorporated along the pedestrian way.
- Variety of trees and plantings within landscape beds.
- Three kiosks – north end at Main St., south end near Walnut St. and at the East Plaza entrance.
 - 11'4" stone pier topped with LED lantern and outrigger with globe-shaped lights.
 - The north and south end kiosks incorporate metal sign panels on three sides and a video panel on one side.

III. HISTORIC PRESERVATION COMMISSION REVIEW

The subject property is located within the Central Historic District. The Historic Preservation Commission is required to review and make recommendations on PUD Preliminary Plans for historic district properties that are within a PUD, specifically regarding the impact of the plan on the Historic District. The Commission reviewed the PUD Preliminary Plan on 12/7/22 and voted unanimously to recommend approval. Commissioners provided four comments. Comment responses/clarifications are provided.

1. Consistency with existing downtown street lighting design/styles.
Response: The existing pedestrian lighting poles that match the downtown style, including those along First Street, the riverwalk and around the plazas, will mostly remain. An additional string lighting system is proposed over First Street. These string lights are to be mounted on plain support poles.
2. Consistency with the existing downtown wayfinding/directory signs.
Response: The project design includes a new type of kiosk designed as both project entry monuments and electronic informational displays. The kiosks are designed to match the materials of the plaza improvements.
3. Accommodations for bicycle parking.
Response: Bicycle parking is not incorporated into the plaza design, but opportunities exist for this to be added at entry points within or adjacent to the plaza.
4. Accommodations for delivery vehicles.
Response: Currently, most deliveries for the businesses occur nearby within streets or parking lots. This is a common inconvenience in the downtown environment, and during the time period of the street closure, this has not caused a significant inconvenience or other traffic circulation issues. Allowing business access onto the closed street would require a system for controlling and regulating access.

IV. DEPARTMENTAL REVIEWS**A. Engineering Review**

Technical review comments have been provided to the project team. One recommendation that could impact the site plan is that a larger turning area be provided at the intersection of Walnut and S. 1st Street due to the anticipated volume of traffic and expected use as a drop-off/loading zone. A small pull-off area is recommended.

B. Fire Dept. Review

The pedestrian way will be accessible by emergency vehicles. A mountable curb will be required at the north entrance off Main St. to allow for fire apparatus access.

V. OPTIONS FOR PLAN COMMISSION ACTION

Review the PUD Preliminary Plan and make a recommendation to Planning & Development Committee. There are no Findings of Fact for PUD Preliminary Plan applications. The Plan Commission's recommendation may include suggested comments or conditions.

VI. ATTACHMENTS

- Application for PUD Preliminary Plan; received 5/10/21
- Plans

CITY OF ST. CHARLES
 TWO EAST MAIN STREET
 ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	First Street Redevelopment- East Plaza Expansion
Project Number:	2021 -PR- 015
Cityview Project Number:	PLPUD202000022

Received Date
RECEIVED
MAY 10 2021
 City of St. Charles
 Community Development

To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 1 W. Main St. SE corner of W. Main St. and S. 1st St.	
	Parcel Number (s): 09-27-378-006	
	Proposed PUD Name: First Street Redevelopment PUD - East Plaza Expansion	
2. Applicant Information:	Name City of St. Charles	Phone 630-377-4405
	Address 2 E. Main St. St. Charles, IL 60174	Fax
		Email psuhr@stcharlesil.gov
3. Record Owner Information:	Name City of St. Charles	Phone 630-377-4443
	Address 2 E. Main St. St. Charles, IL 60174	Fax
		Email cd@stcharlesil.gov

Please check the type of application:

- New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development**
 - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
 - Final Plat of Subdivision Application filed concurrently
 - Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

❑ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

❑ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

❑ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

❑ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including (detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

□ **ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

□ **TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

□ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

□ **STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

□ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

❑ **PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

❑ **SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

❑ **PARK AND SCHOOL LAND/CASH WORKSHEETS**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.


❑ **INCLUSIONARY HOUSING SUMMARY**

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


Record Owner

05/10/2021
Date


Applicant or Authorized Agent

05/10/2021
Date

St Charles Initiative Contributors

as of January 6, 2023

Abinion, Emir C.
Anonymous
Anonymous
Anonymous
Bank of America Charitable Gift Fund
Carney, Michael T.
Cook, Robert
Corcoran Commercial Real Estate
Corcoran, Ryan and Sara
Delta Dental of Illinois
DiCiaula, Jim
Discount Tire and Service Inc.
Duerr, Joy
Exchange Club of the Tri-Cities
Farley, William G.
Flood, William K. Sr. and William K Jr.
Fox Valley Volkswagen Buick GMC
Frontier Development LLC
Gibson, Stephen
GingerRootHairSalon
Gonzalez-Mendez, J.C and Deborah
GSI Family Office
Haneberg, Glenn
Hoscheit, Donald and Geraldine
Hoscheit, John
Hoscheit, John and Teri
Hunt, David L.
Joe and Rowena Salas Foundation
Judy Marzuki Endowment Fund for Nature & the Environment
Kathleen Brens Living Trust
Keller, James Dennis
Kelly Orthodontics

Koenen, Larry J.
Lemke, Arthur and Andrew
Maples, John
Marshall, Michael Thomas
Marth, Ed
Mason, Faith & Hoscheit DDS
Mason, John and Mrs.
McGuire, Heather M
McNally Realty Group, LLC
Mercedes-Benz of St. Charles
Miscellaneous Contribution
Morgan, Craig S. and Darlene
Murray Commercial
Northern Illinois Endodontics, Ltd.
Pacelli, Gregory
Pasavre Inc.
Pietryla, David A.
Rabchuk, John
Rogina, Raymond P. and Cullen, Diane L.
Russe, Tom
Semersky Enterprises, Inc. / Audi Exchange St. Charles
Serena, Marty
Sterling Bank
Storino, Ramello and Durkin
The Clarke Group, Inc.
UBS Donor-Advised Fund
Vanko, Martha E.
Vitek, Lora A.
Waddell, Joshua Keith
Wickman Properties
Yanni Management, Inc.

“A unique gathering place that celebrates the natural beauty and heritage of St. Charles”



First Street Plaza emphasizes cultural continuity, urban regeneration, environmental responsibility and community engagement.

FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT

SERENA STURM^{EE}
ARCHITECTS



FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT



FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT

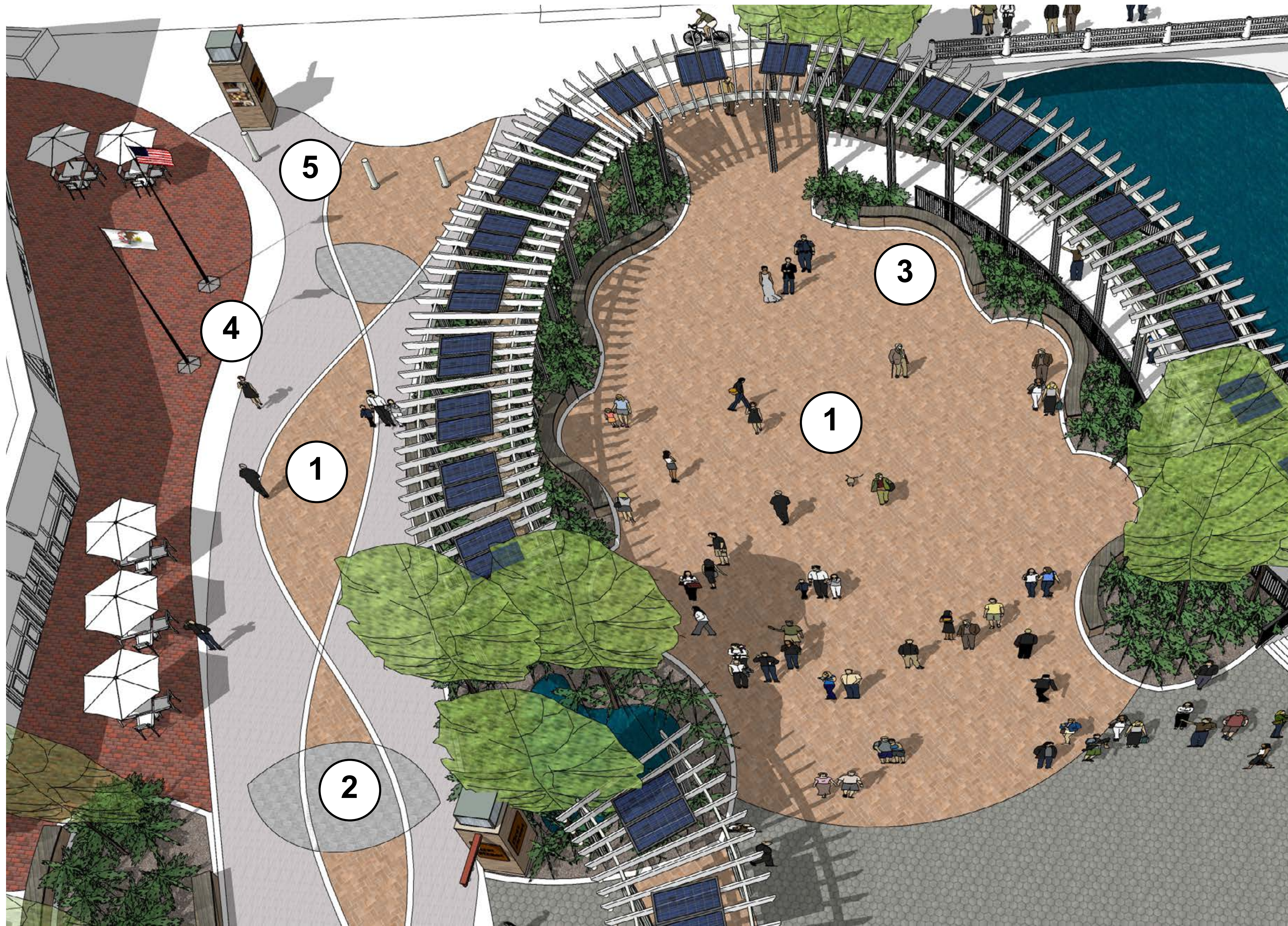


FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT



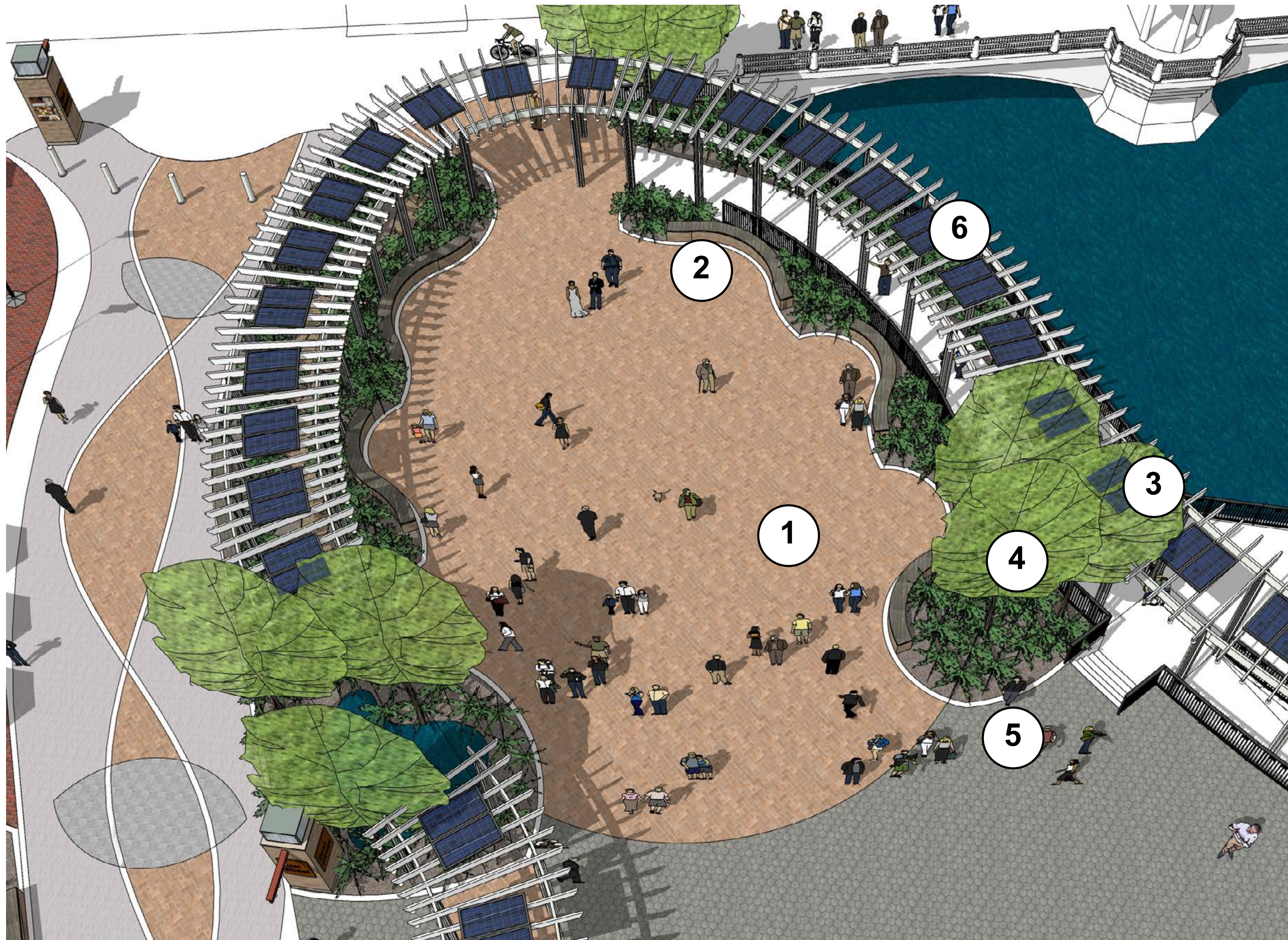
1 Mid-Range Brick Areas

2 Leaf Brick Areas

3 Stone Bench Areas

4 Flag Poles

5 Information Displays



1 Mid-Range Brick Areas

2 Stone Bench Areas

3 Shade Trees

4 Ornamental Trees

5 Planters

6 Arbor



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ST. CHARLES, IL

DECEMBER 7, 2022
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FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT



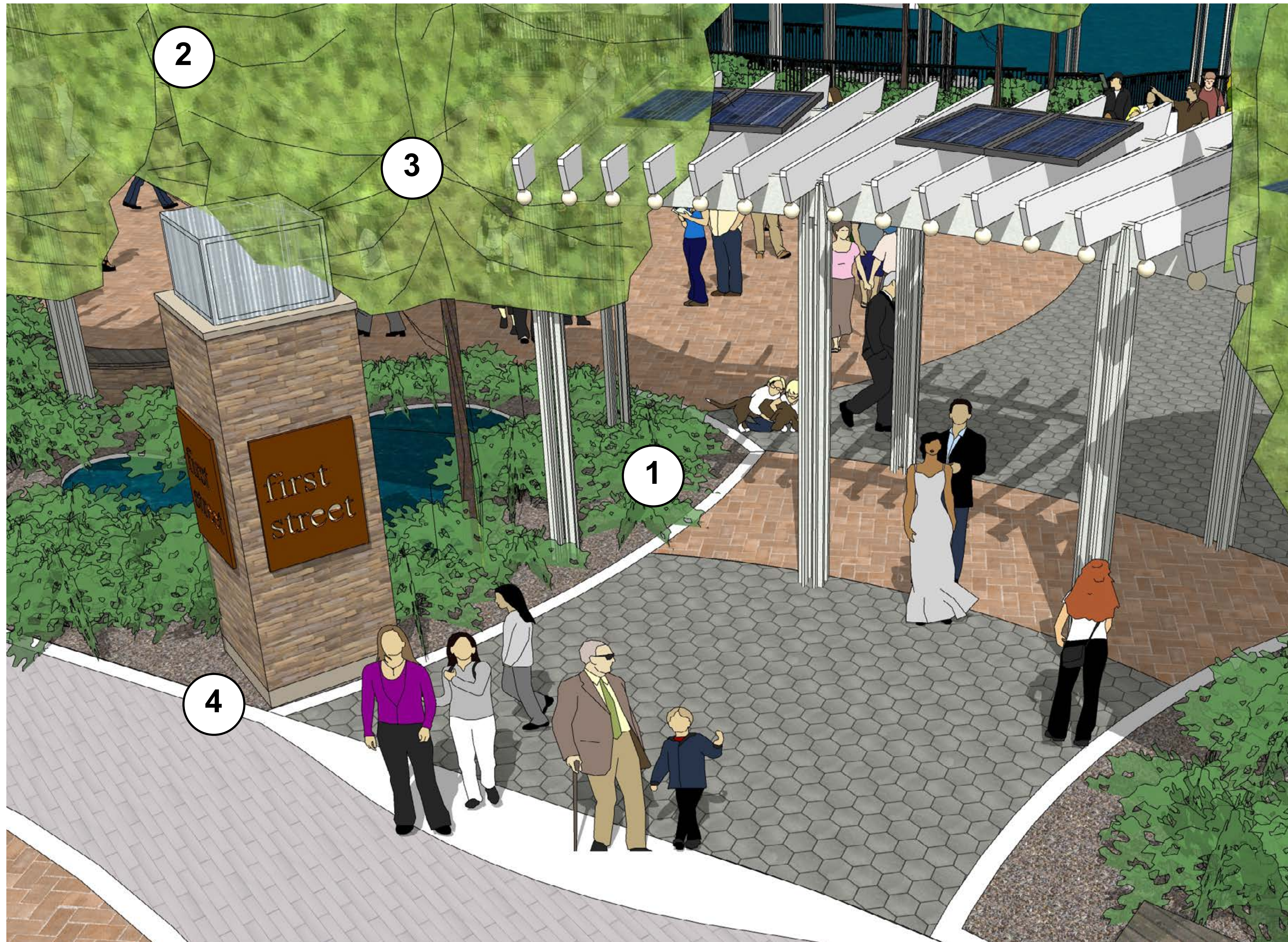


FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT



1 Planter Areas

2 Shade Trees

3 Ornamental Trees

4 Information Displays



FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT





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DECEMBER 7, 2022
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DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT



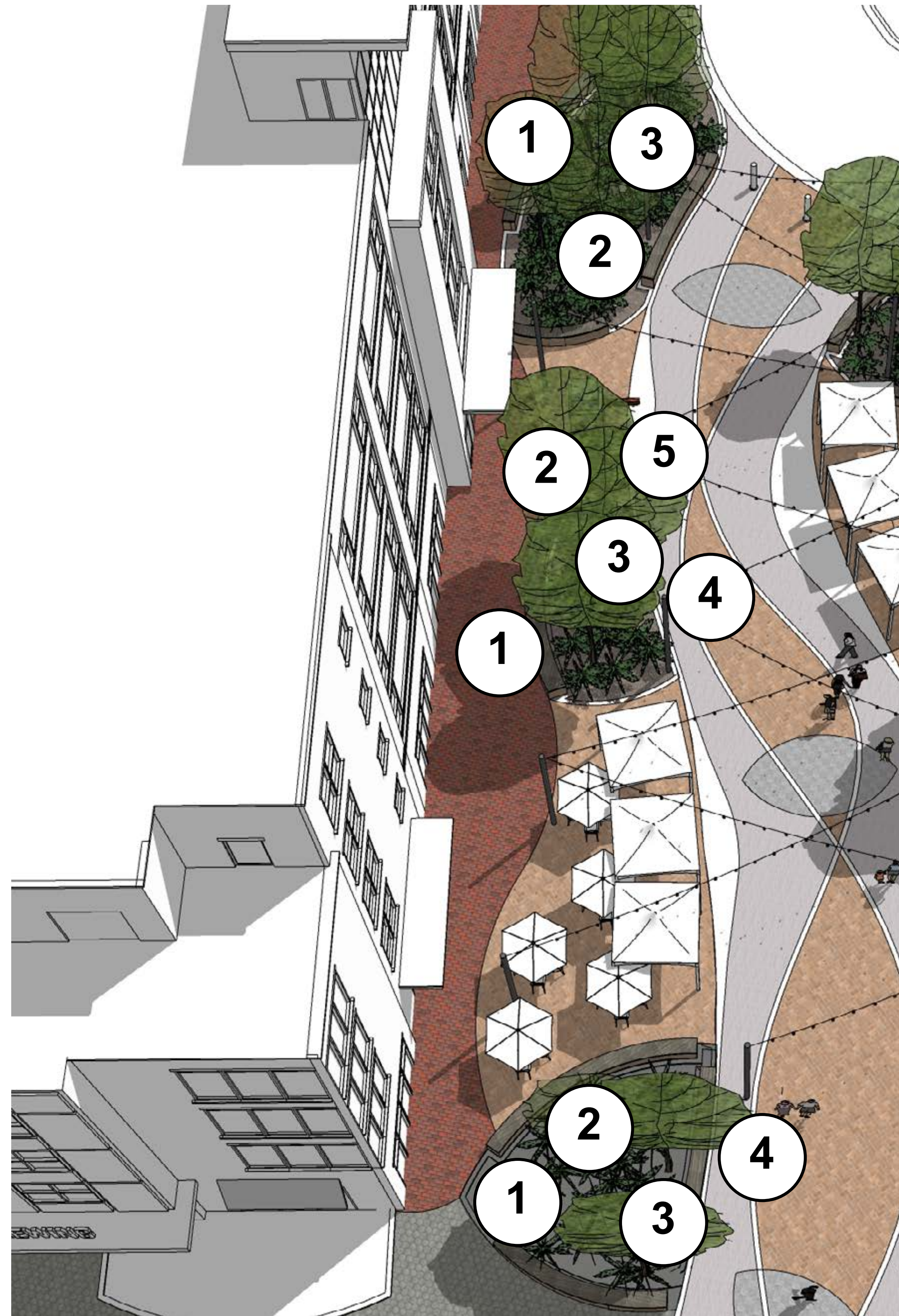


FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT



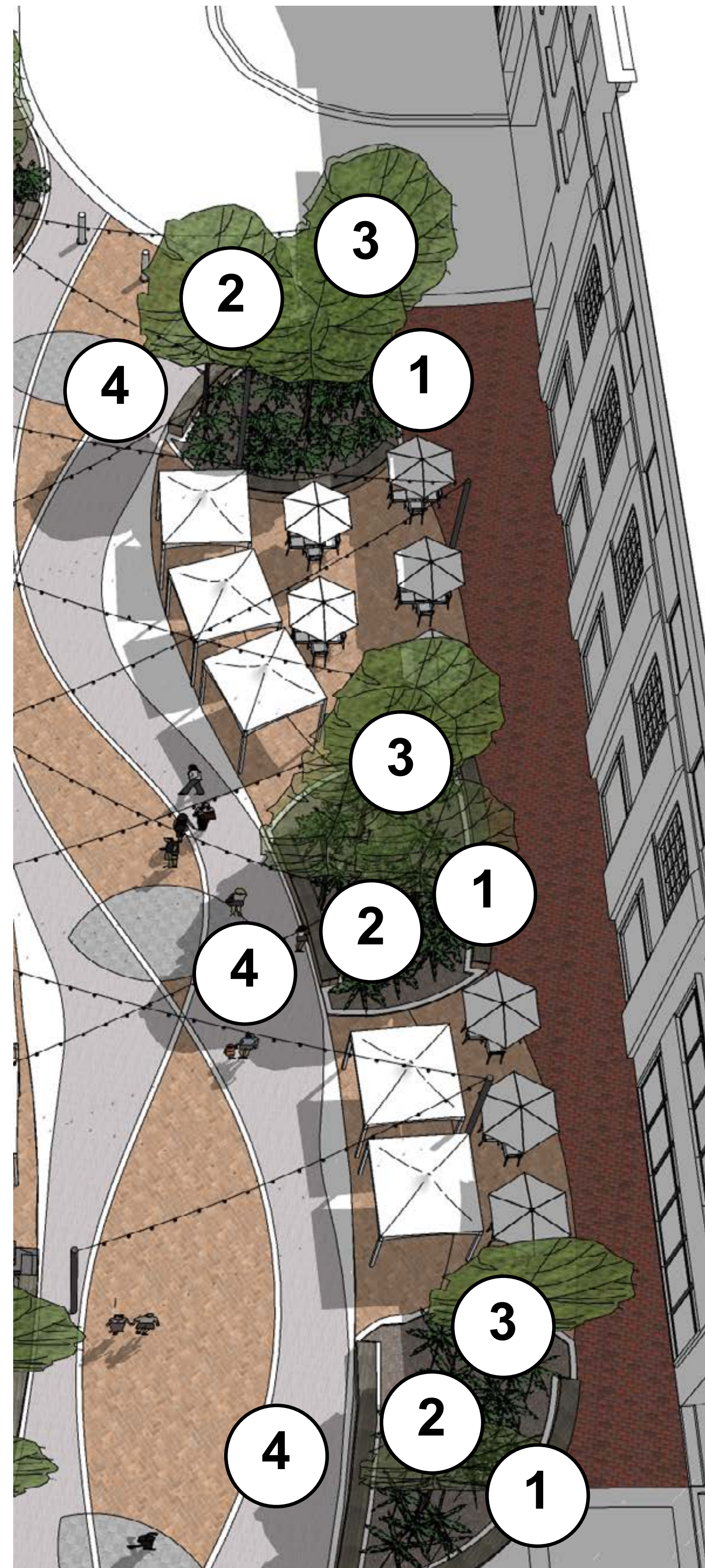
1 Planter Areas

2 Shade Trees

3 Ornamental Trees

4 Stone Bench Areas

5 Information Displays



1 Planter Areas

2 Shade Trees

3 Ornamental Trees

4 Stone Bench Areas

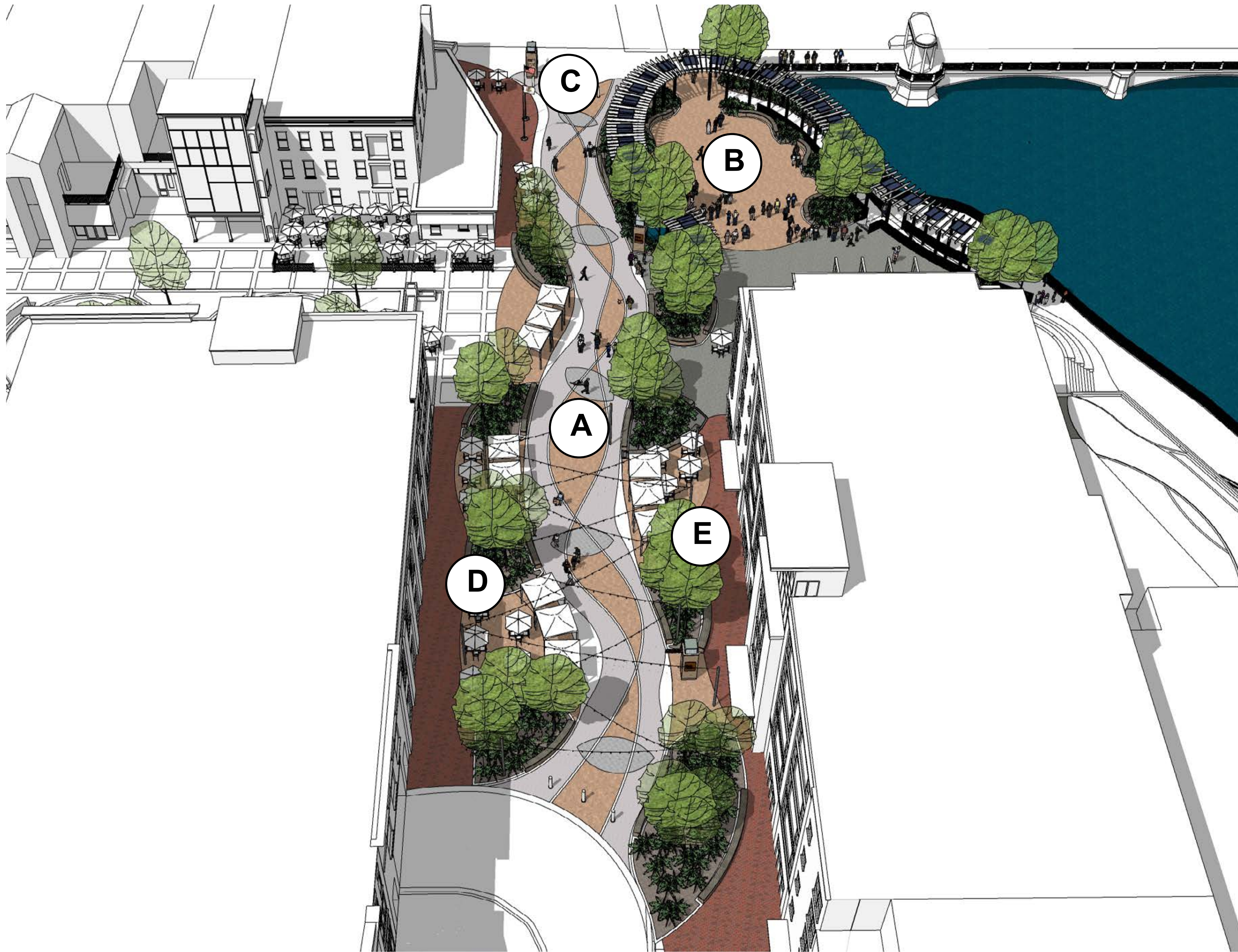


FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT



A First Street Walkabout



B Community Gathering



C North Entryway

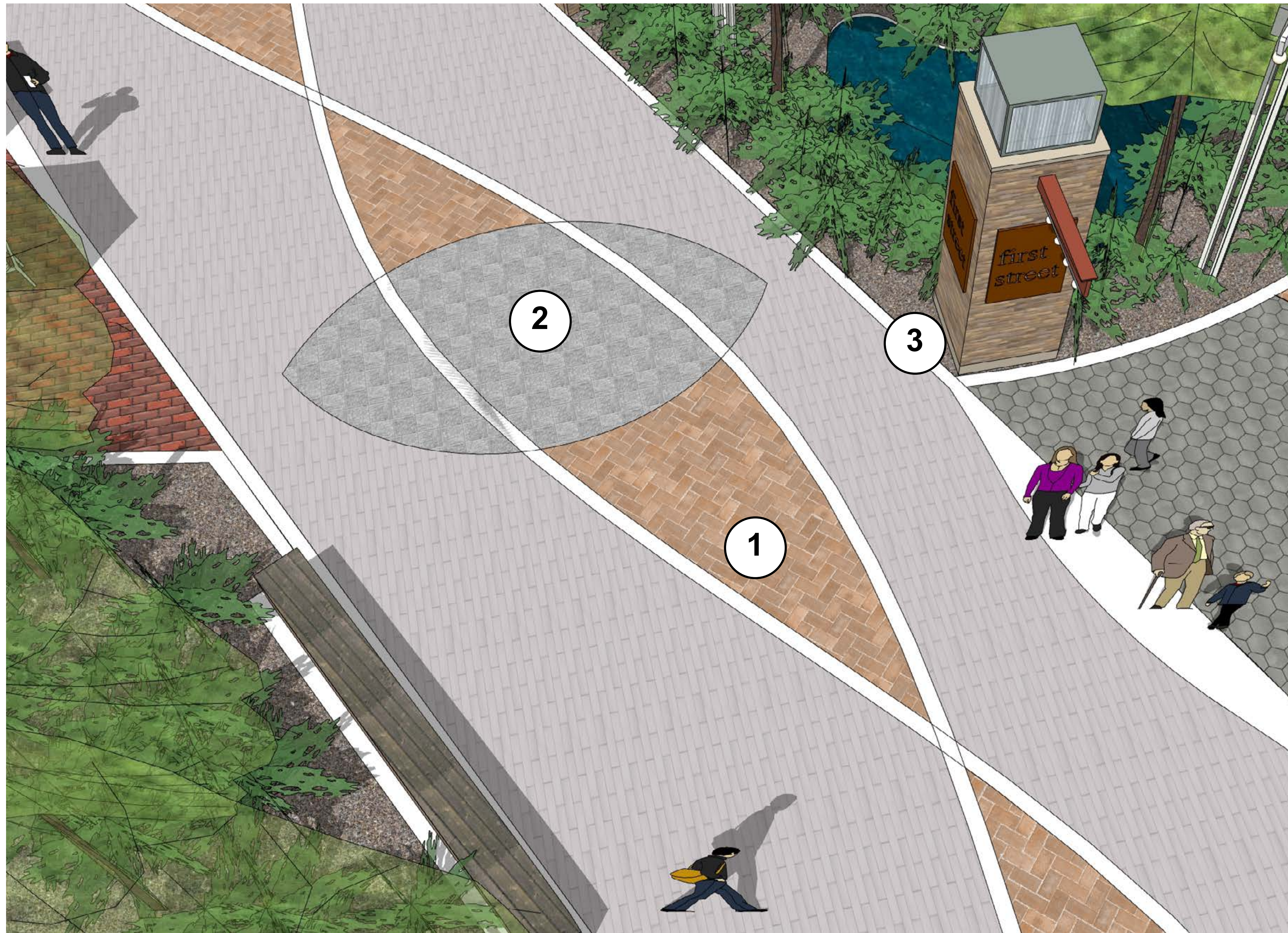


D Walkabout West



E Walkabout East





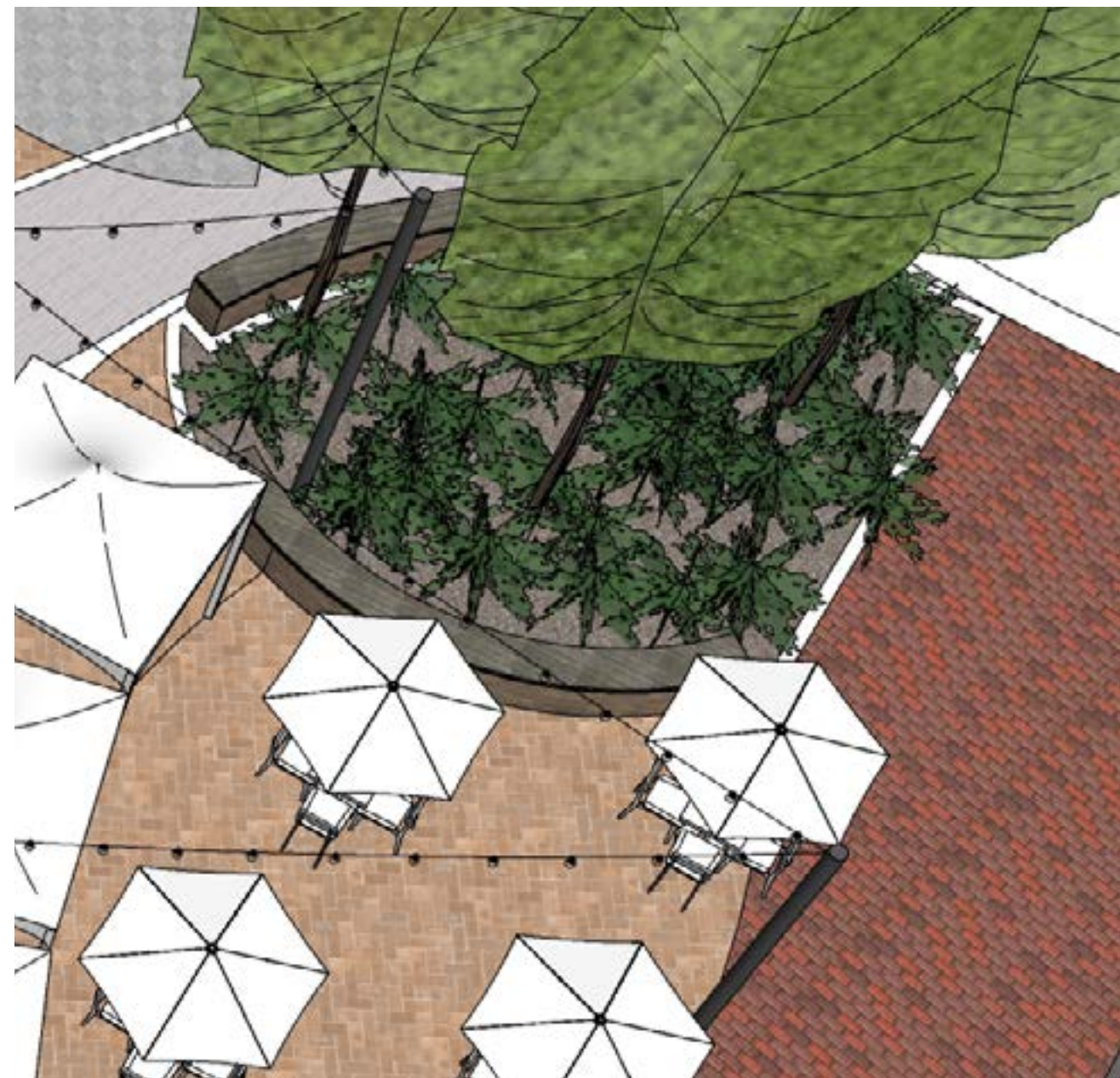
1 Mid-Range Brick Areas

2 Leaf Brick Areas

3 Information Displays



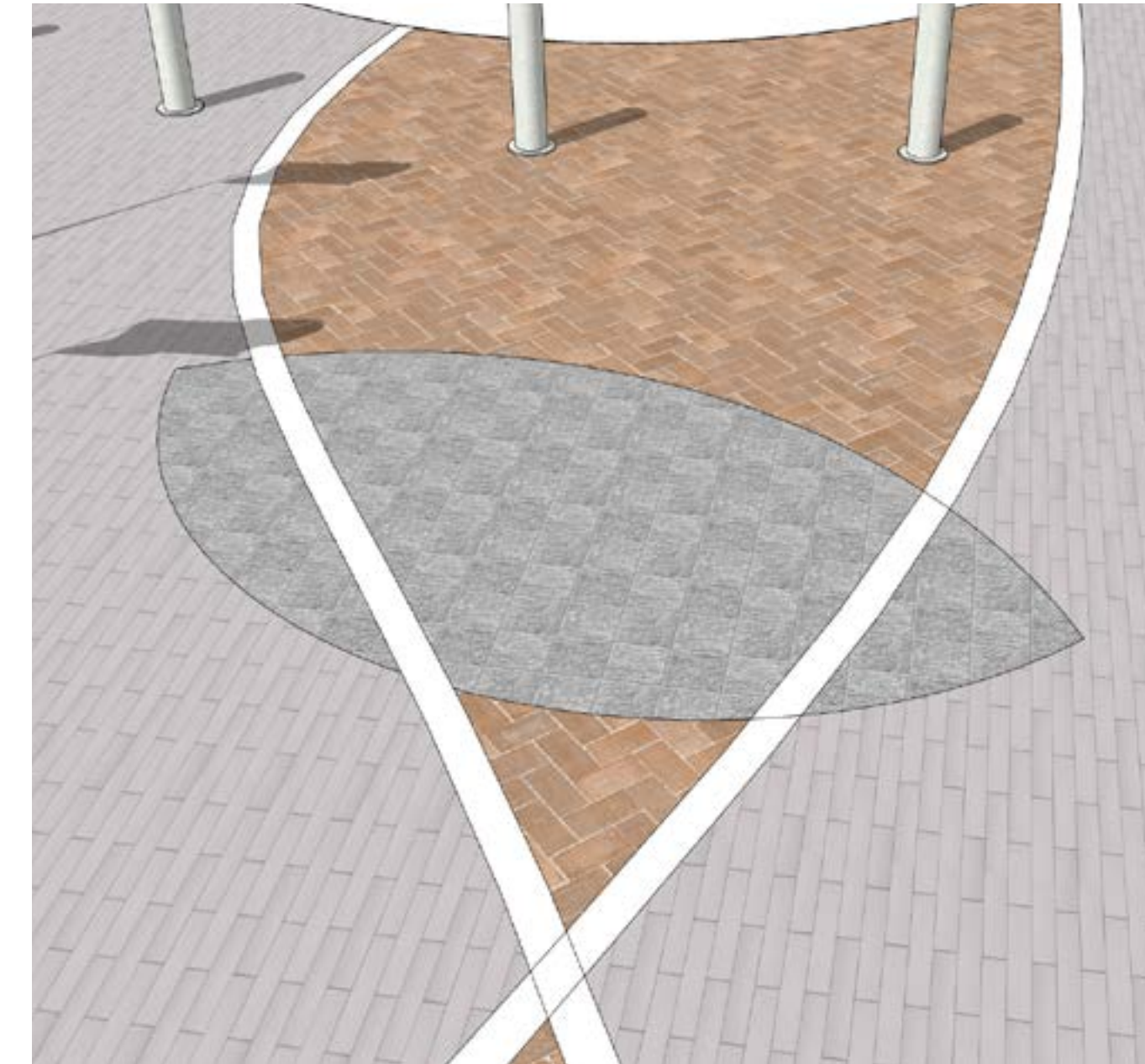
Arbor/Trellis/PV



Planter Areas



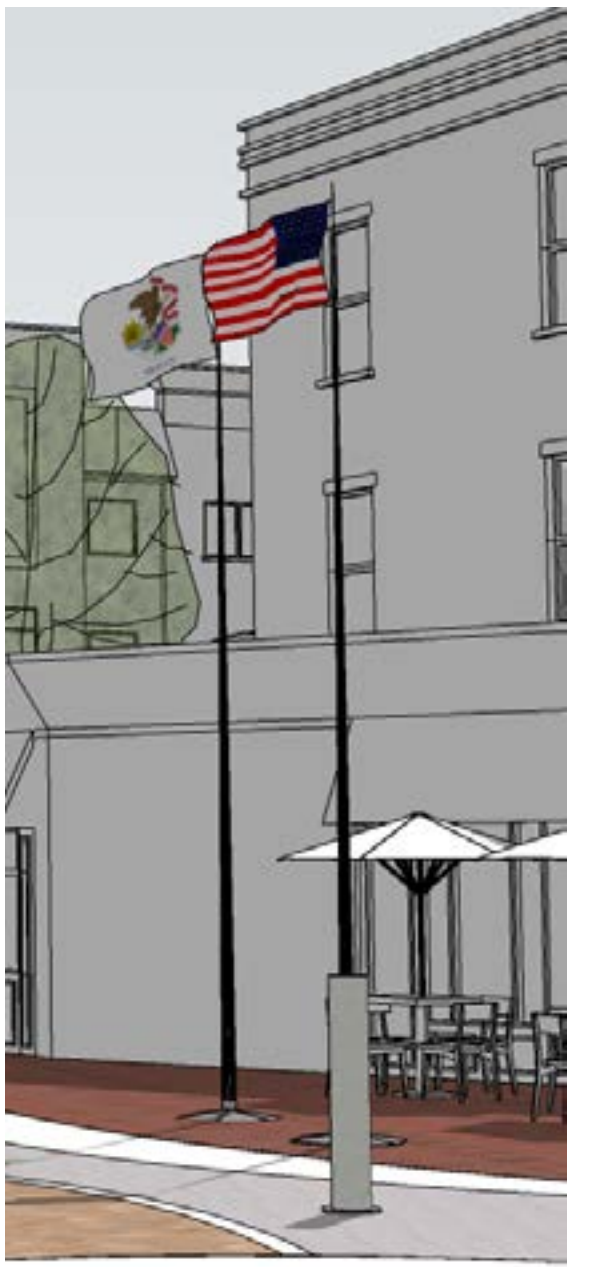
Information Display/
Stone Bench



Leaf Pavers

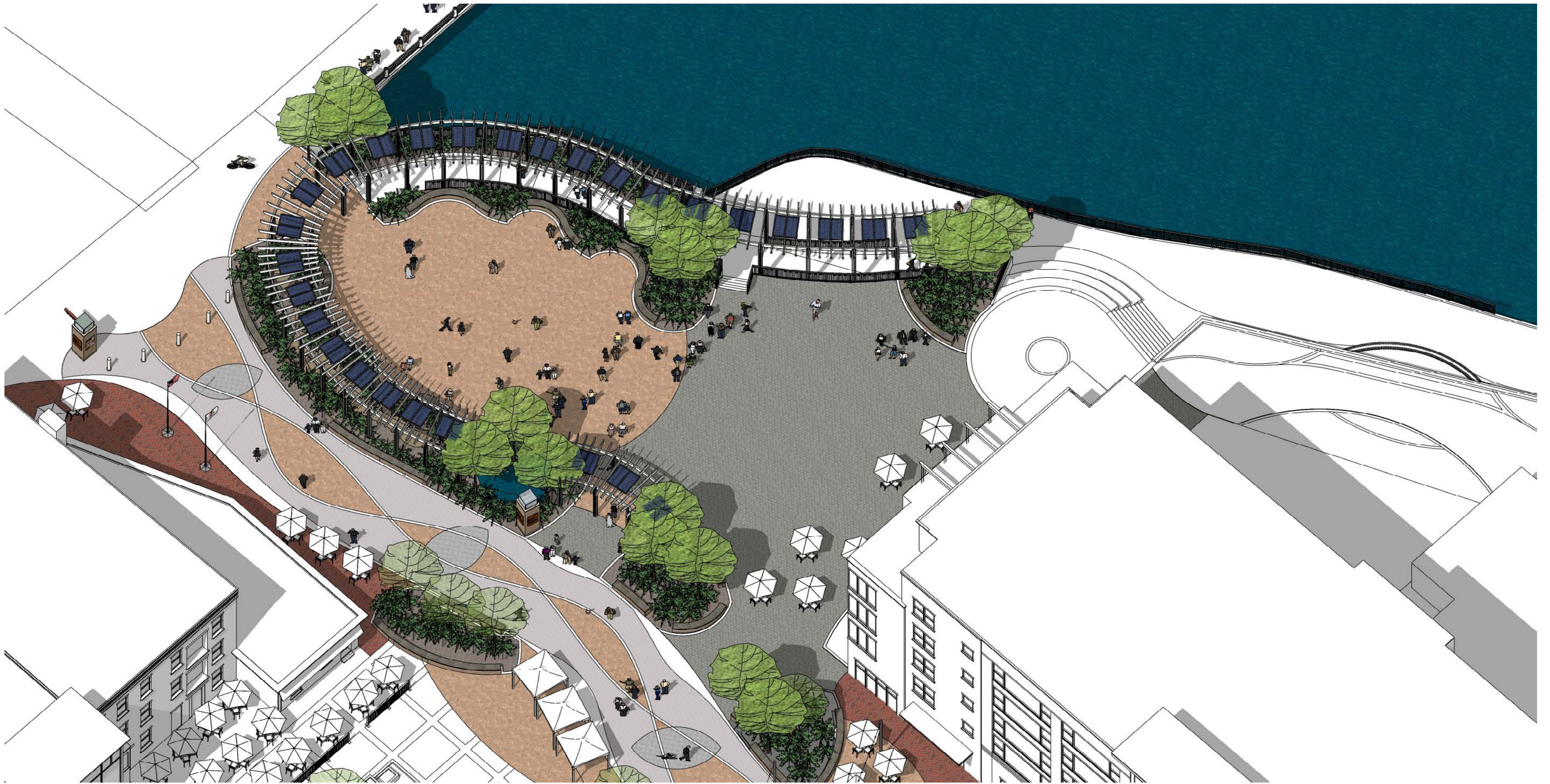


Benches



Flagpoles





FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT





FIRST STREET PLAZA

ST. CHARLES, IL

DECEMBER 7, 2022
2020.15.00

FIRST STREET PLAZA IMPROVEMENTS - COMPLETE PROJECT



FIRST STREET PLAZA IMPROVEMENTS PHASE 2

Main Street & First Street St. Charles, Illinois 60174

Owner City of St. Charles
2 East Main Street
St. Charles, IL 60174

Civil Engineer WBK Engineering, LLC
116 West Main Street, Suite 201
St. Charles, Illinois 60174
Tel: (630) 433-7755

Structural Engineer Carsello Engineering Inc.
2656 Wild Timothy Road
Naperville, IL 60564
Tel: (630) 854-9567

Architect of Record Serena Sturm Architects, Ltd.
1011 Geneva Road
St. Charles, IL 60174
Tel: (331) 235-5048

Landscape Architect Blue Stem Design, Inc.
503 South 16th Street
St. Charles, IL 60174
Tel: (630) 618-8316

**Mechanical, Electrical
& Plumbing Engineer** AES Consulting and Commissioning Inc.
760 Telser Road
Lake Zurich, IL 60047
Tel: (847) 719-1708



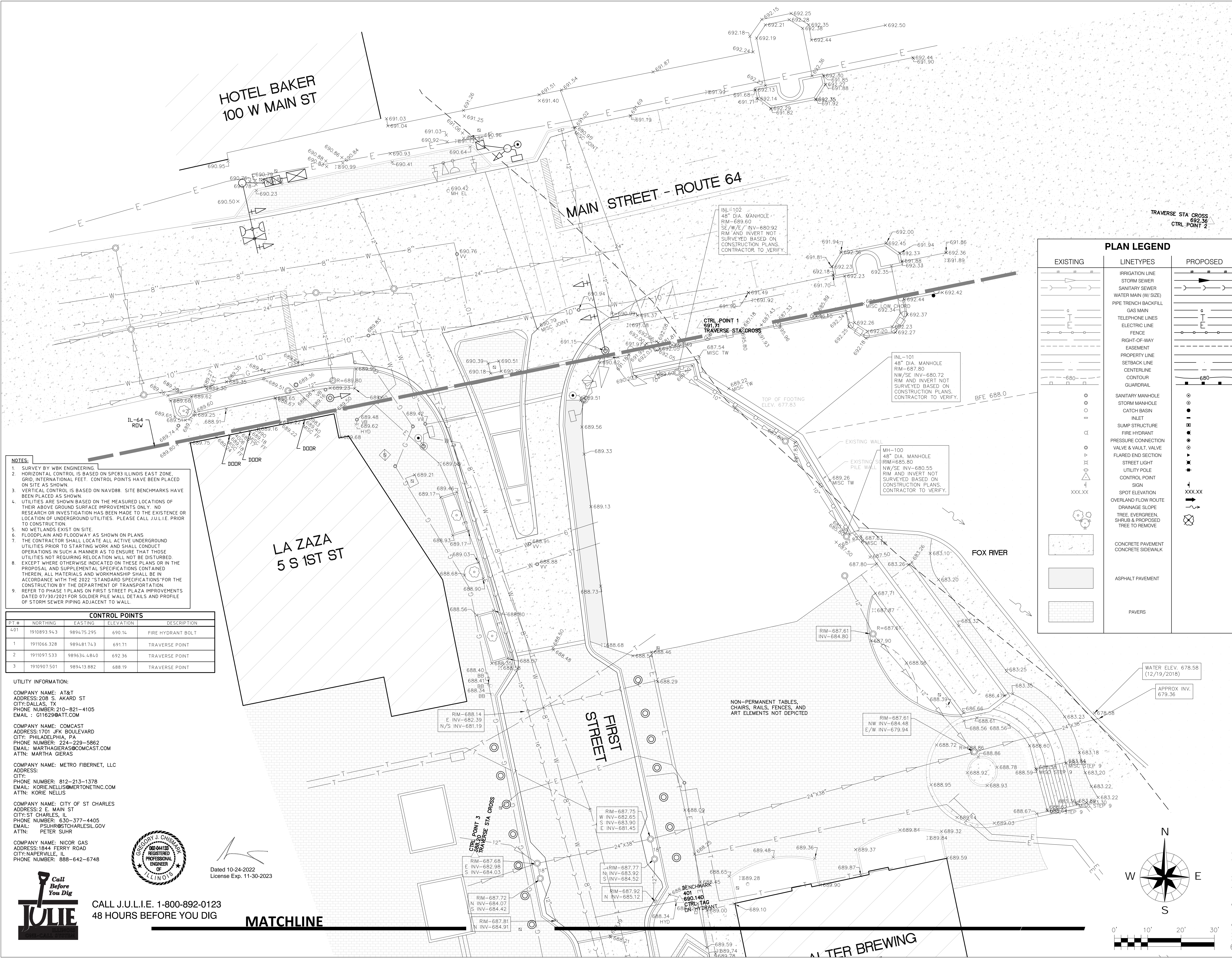
REVISIONS		
NO.	DATE	DESCRIPTION

First Street Plaza Improvements
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

DRAWN BY: DAD	CHECKED BY: DAD PROJ. MGR: MJS
-------------------------	--

SHEET TITLE COVER SHEET	
PROJ. NO.: 2021.09.00	SHEET NO. G1.0
DATE: 10/24/22	

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NOTES:

1. SURVEY BY WBK ENGINEERING
2. HORIZONTAL CONTROL IS BASED ON SPEC83 ILLINOIS EAST ZONE GRID. INTERNATIONAL FEET. CONTROL POINTS HAVE BEEN PLACED ON SITE AS SHOWN.
3. VERTICAL CONTROL IS BASED ON NAVD88. SITE BENCHMARKS HAVE BEEN PLACED AS SHOWN.
4. UTILITIES ARE SHOWN BASED ON THE MEASURED LOCATIONS OF THEIR ABOVE GROUND SURFACE IMPROVEMENTS ONLY. NO RESEARCH OR INVESTIGATION HAS BEEN MADE TO THE EXISTENCE OR LOCATION OF UNDERGROUND UTILITIES. PLEASE CALL J.U.L.I.E. PRIOR TO CONSTRUCTION.
5. NO WETLANDS EXIST ON SITE.
6. FLOODPLAIN AND FLOODWAY AS SHOWN ON PLANS
7. THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT OPERATIONS IN SUCH A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED. EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS OR IN THE PROPOSAL AND SUPPLEMENTAL SPECIFICATIONS CONTAINED THEREIN, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE 2022 "STANDARD SPECIFICATIONS" FOR THE CONSTRUCTION BY THE DEPARTMENT OF TRANSPORTATION REFER TO PHASE 1 PLANS ON FIRST STREET PLAZA IMPROVEMENTS DATED 07/30/2021 FOR SOLDIER PILE WALL DETAILS AND PROFILE OF STORM SEWER PIPING ADJACENT TO WALL.

CONTROL POINTS				
PT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
401	1910893.943	989475.295	690.14	FIRE HYDRANT BOLT
1	1911066.328	989481.743	691.71	TRAVERSE POINT
2	1911097.533	989634.484	692.36	TRAVERSE POINT
3	1910907.501	989413.882	688.19	TRAVERSE POINT

UTILITY INFORMATION:

COMPANY NAME: AT&T
 ADDRESS: 208 S. AKARD ST
 CITY: DALLAS, TX
 PHONE NUMBER: 210-821-4105
 EMAIL: G11629@ATT.COM

COMPANY NAME: COMCAST
 ADDRESS: 1701 JFK BOULEVARD
 CITY: PHILADELPHIA, PA
 PHONE NUMBER: 224-229-5862
 EMAIL: MARTHA.GIERAS@COMCAST.COM
 ATTN: MARTHA GIERAS

COMPANY NAME: METRO FIBERNET, LLC
 ADDRESS:
 CITY:
 PHONE NUMBER: 812-213-1378
 EMAIL: KORIE.NELLIS@MERTONETINC.COM
 ATTN: KORIE NELLIS

COMPANY NAME: CITY OF ST CHARLES
 ADDRESS: 2 E. MAIN ST
 CITY: ST CHARLES, IL
 PHONE NUMBER: 630-377-4405
 EMAIL: PSUHR@STCHARLESIL.GOV
 ATTN: PETER SUHR

COMPANY NAME: NICOR GAS
 ADDRESS: 1844 FERRY ROAD
 CITY: NAPERVILLE, IL
 PHONE NUMBER: 888-642-6748



Dated 10-24-2022
 License Exp. 11-30-2023

Call Before You Dig
JULIE
 CALL J.U.L.I.E. 1-800-892-0123
 48 HOURS BEFORE YOU DIG

MATCHLINE

PLAN LEGEND		
EXISTING	LINETYPES	PROPOSED
	IRRIGATION LINE	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN (W/ SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	GUARDRAIL	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	SUMP STRUCTURE	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	VALVE & VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	TREE, EVERGREEN, SHRUB & PROPOSED TREE TO REMOVE	
	CONCRETE PAVEMENT	
	CONCRETE SIDEWALK	
	ASPHALT PAVEMENT	
	PAVERS	

REVISIONS		
NO.	DATE	DESCRIPTION

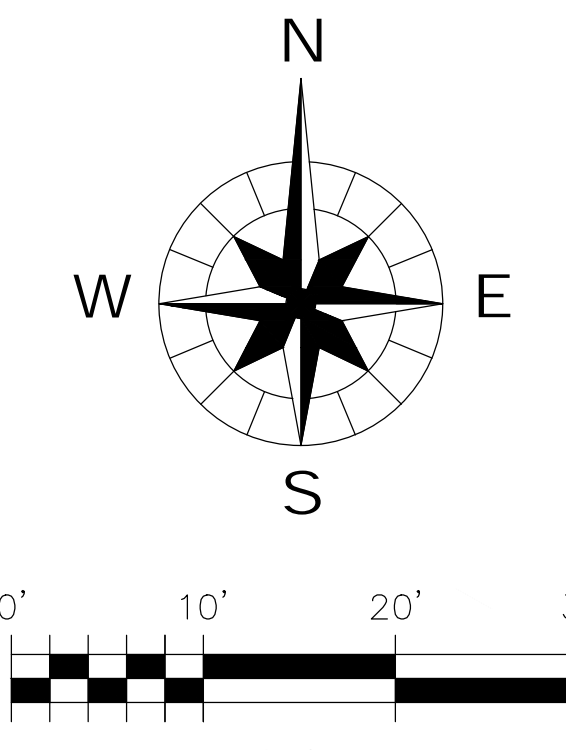
First Street Plaza Improvements - For Review

City of St. Charles
 2 East Main Street
 St. Charles, Illinois 60174

DRAWN BY:	CHECKED BY:
BWW	JWC
	PROJ. MGR: GJC

SHEET TITLE
EXISTING CONDITIONS NORTH

PROJ. NO.: 2021.02.00	SHEET NO.: C2.1
DATE: 10/24/2022	





PLAN LEGEND

EXISTING	LINETYPES	PROPOSED
	IRRIGATION LINE	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN (W SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	GUARDRAIL	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	SUMP STRUCTURE	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	VALVE & VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	TREE EVERGREEN, SHRUB & PROPOSED TREE TO REMOVE	
	CONCRETE PAVEMENT	
	CONCRETE SIDEWALK	
	ASPHALT PAVEMENT	
	PAVERS	

CONTROL POINTS

PT. #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1910893.943	9894.75.295	690.14	FIRE HYDRANT BOLT
2	1911066.328	9894.81.743	691.71	TRAVERSE POINT
3	1911097.533	989634.484.0	692.36	TRAVERSE POINT
3	1910907.501	9894.13.882	688.19	TRAVERSE POINT

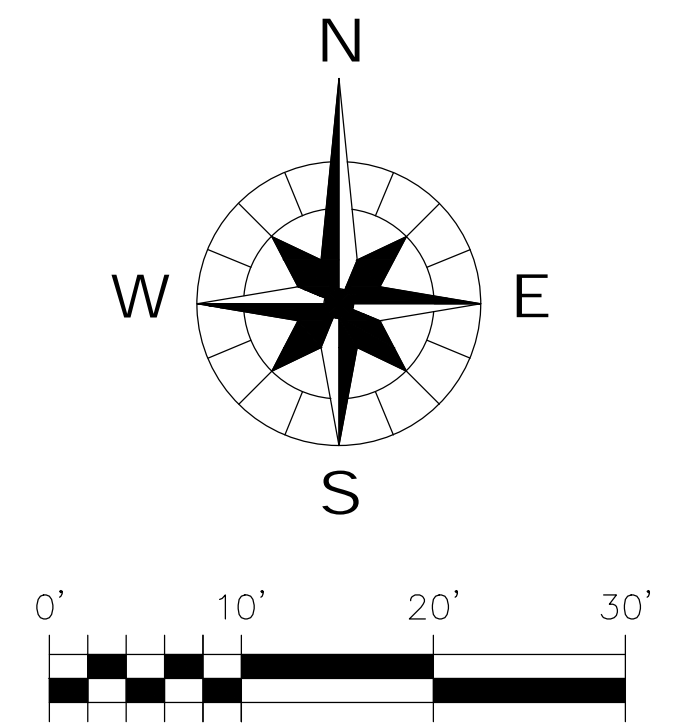
MATCHLINE



Dated 10-24-2022
License Exp. 11-30-2023



CALL J.U.L.I.E. 1-800-892-0123
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SERENA STURM
ARCHITECTS

1011 Geneva Road - St. Charles, IL 60174
T. 331.235.5048
WWW.SERENASTURM.COM

CONSULTANTS

WBK engineering LLC

WBK ENVIRONMENTAL CONSULTANTS, SUITE 201
ST. CHARLES, ILLINOIS 60174
(630) 443-7755

REVISIONS

NO.	DATE	DESCRIPTION

First Street Plaza Improvements - For Review

City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

DRAWN BY: BWW
PROJ. ENG.: JWC
PROJ. MGR.: GJC

SHEET TITLE: EXISTING CONDITIONS SOUTH

PROJ. NO.: 2021.02.00
DATE: 10/24/2022

SHEET NO.: C2.2

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HOTEL BAKER
100 W MAIN ST

MAIN STREET - ROUTE 64

LA ZAZA
5 S 1ST ST

ALTER BREWING
12 S 1ST ST

NOTES:
1. REMOVAL LIMITS DEPICTED ARE FOR CONSTRUCTION OF IMPROVEMENTS AND FOR REFERENCE ONLY. REMOVAL AND REPLACEMENT OF EXISTING PAVERS ADJACENT TO PROPOSED IMPROVEMENTS MAY BE NECESSARY DEPENDING ON CONSTRUCTION MEANS AND METHODS AND CONSIDERED INCIDENTAL TO ALL WORK DEPICTED HEREIN.

TRAVERSE STA CROSS
692.36
CTRL. POINT 2

CTRL POINT 1
691.71
TRAVERSE STA CROSS

INL-101
48" DIA. MANHOLE
RIM-687.80
NW/SE INV-680.72
RIM AND INVERT NOT SURVEYED BASED ON CONSTRUCTION PLANS. CONTRACTOR TO VERIFY.

MH-100
48" DIA. MANHOLE
RIM-685.80
NW/SE INV-680.55
RIM AND INVERT NOT SURVEYED BASED ON CONSTRUCTION PLANS. CONTRACTOR TO VERIFY.

WATER ELEV. 678.58
(12/19/2018)
APPROX INV.
679.36

IL-64
RIGHT-OF-WAY

FOR WORK IN ROW SEE SHEET C3.3

TOP OF FOOTING
ELEV. 677.83

BFE 688.0

REMOVE AND SALVAGE BRICK PAVERS UP TO BUILDING FACE, TYP

REMOVE PEDESTRIAN TRAFFIC SIGNAL AND FOUNDATION

REMOVE CONCRETE CURB FOR PLANTER AREA

REMOVE TREE, 7"

REMOVE TREE, 7"
SALVAGE TREE GRATE FOR CITY

REMOVE CONCRETE CURB FOR PLANTER AREA

REMOVE TREE, 7"

REMOVE ALL EXISTING SANITARY SERVICE PIPE, PLUG EXISTING SANITARY SERVICE TEE AT MANHOLE IN ACCORDANCE WITH CITY REQUIREMENTS

REMOVE AND SALVAGE ELECTRICAL BOLLARDS FOR CITY, 7 EA

REMOVE BRICK PAVERS SAWCUT CURVES AS SHOWN MARK BRICKS AS REQUIRED FOR REINSTALLATION

REMOVE STORM SEWER

REMOVE STORM MANHOLE

REMOVE PEDESTRIAN TRAFFIC SIGNAL AND FOUNDATION

REMOVE TRAFFIC SIGNS AND SIGN POST

REMOVE HMA PAVEMENT

REMOVE ALL EXISTING WATER SERVICE PIPE, VALVE AND VALVE BOX, PLUG EXISTING WATER SERVICE TEE AT WATER MAIN IN ACCORDANCE WITH CITY REQUIREMENTS.

REMOVE EXIST SOIL TO 68LS AND PLACE CA-1 TO SUBGRADE FOR PAVING AND LANDSCAPED AREAS. SEE GRADING PLANS.

REMOVE LIGHT POLE AND FOUNDATION

REMOVE STORM MANHOLE

REMOVE LIGHT POLE AND FOUNDATION

REMOVE STORM MANHOLE

REMOVE STORM SEWER

BRICK PAVEMENT REMOVAL REMOVE AND SALVAGE BRICKS. MARK BRICK LOCATION ALONG PERIMETER FOR REINSTALLATION AFTER CUTTING AS REQUIRED.

REMOVE AND SALVAGE ELECTRICAL BOLLARDS FOR CITY, 7 EA

REMOVE AND SALVAGE BRICK PAVERS ALONG ROADWAY

REMOVE STORM SEWER

REMOVE STORM MANHOLE

EXIST WALL TO REMAIN

REMOVE PAVERS

REMOVE SIDEWALK

REMOVE SWITCHBACK RAMP, WALLS, AND ALL FOOTINGS AND FOUNDATIONS

REMOVE SWITCHBACK RAMP, WALLS, AND ALL FOOTINGS AND FOUNDATIONS

REMOVE SWITCHBACK RAMP, WALLS, AND ALL FOOTINGS AND FOUNDATIONS

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REMOVE SWITCHBACK RAMP, WALLS, AND ALL FOOTINGS AND FOUNDATIONS



Dated 10-24-2022
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MATCHLINE

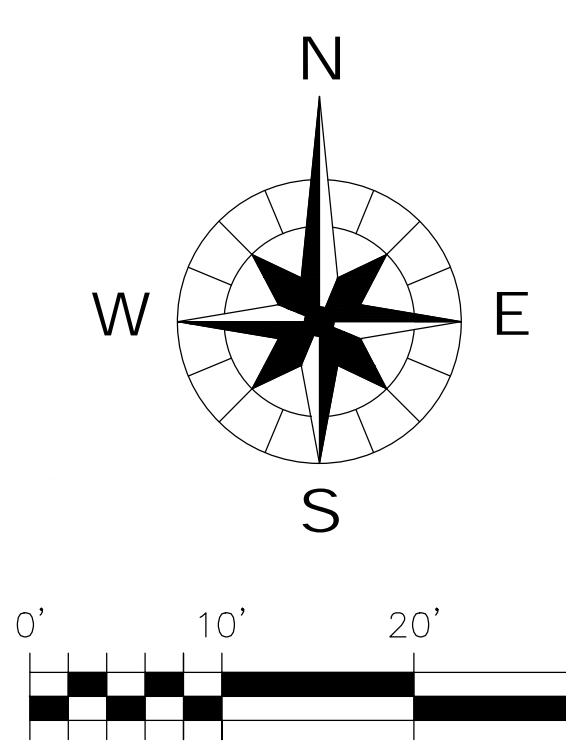


Table with 3 columns: NO., DATE, DESCRIPTION

First Street Plaza Improvements - For Review
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

Table with 2 columns: DRAWN BY, CHECKED BY; PROJ. NO., SHEET NO.; DATE, SHEET NO.



NOTES:
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REVISIONS

NO.	DATE	DESCRIPTION

First Street Plaza Improvements - For Review
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 2 East Main Street
 St. Charles, Illinois 60174

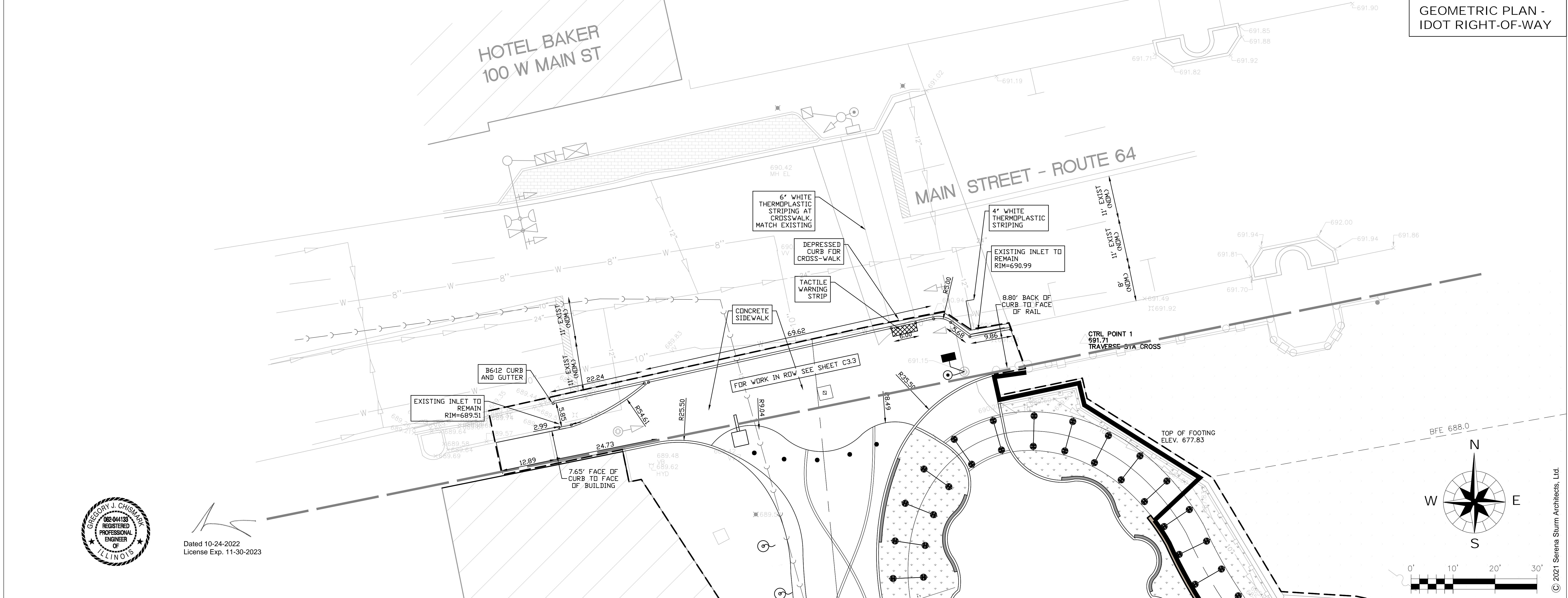
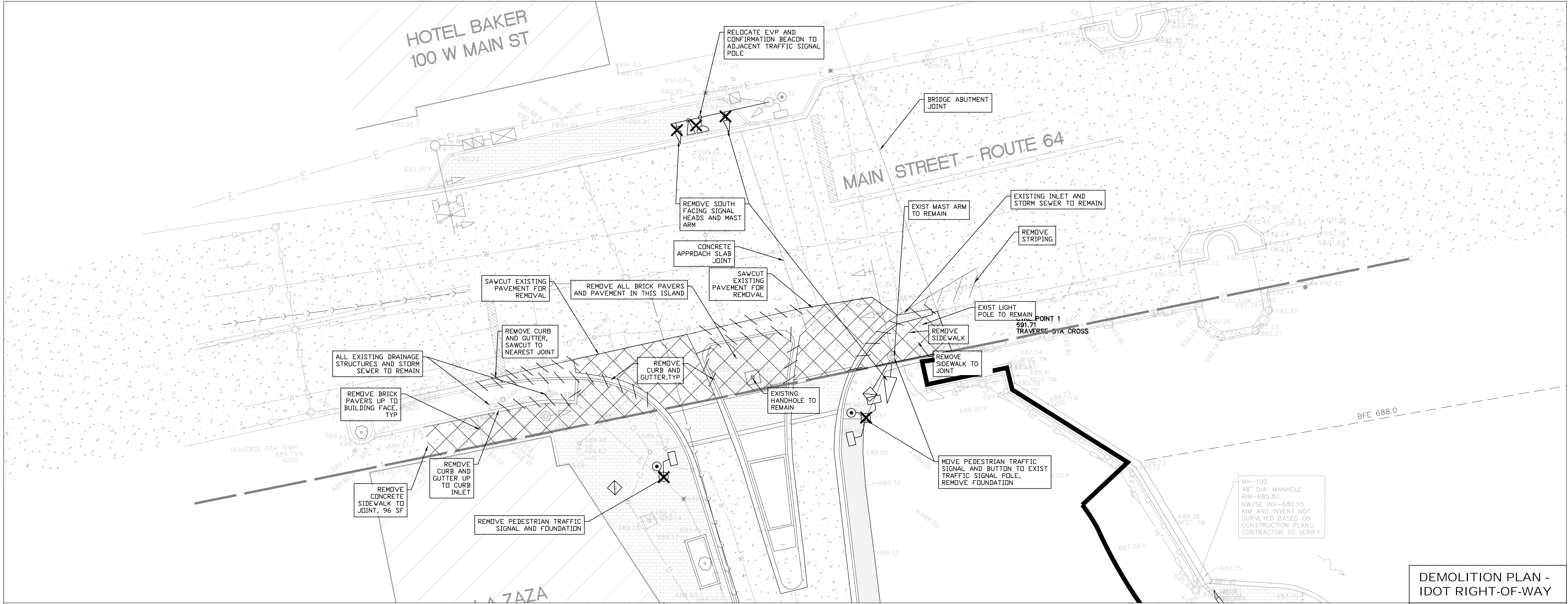
DRAWN BY:	CHECKED BY:
BWW	JWC
	PROJ. MGR:
	GJC

SHEET TITLE
DEMOLITION PLAN SOUTH

PROJ. NO.:	SHEET NO.:
2021.02.00	C3.2
DATE:	
10/24/2022	



[Signature]
 Dated 10-24-2022
 License Exp. 11-30-2023



DEMOLITION PLAN -
IDOT RIGHT-OF-WAY

GEOMETRIC PLAN -
IDOT RIGHT-OF-WAY

REVISIONS

NO.	DATE	DESCRIPTION

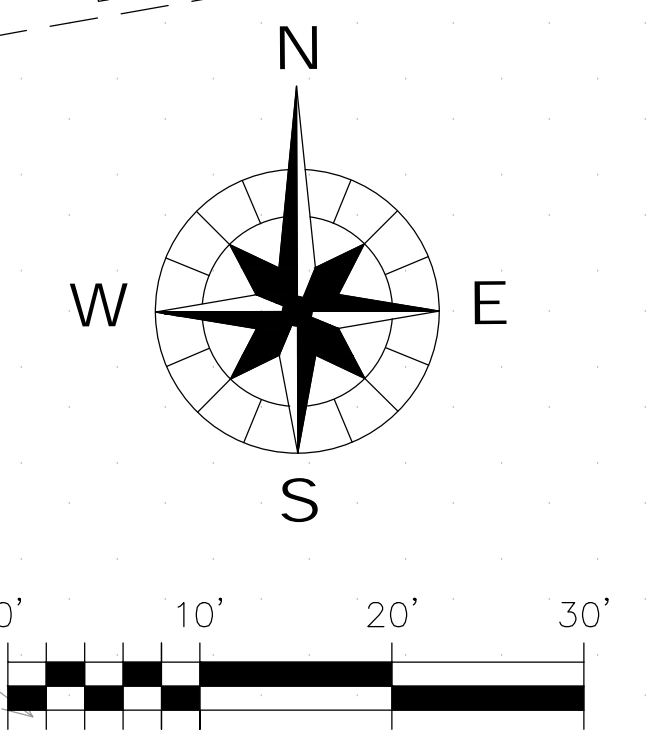
First Street Plaza Improvements - For Review

City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

DRAWN BY: BWW	CHECKED BY: JWC PROJ. MGR. GJC
SHEET TITLE DEMOLITION & GEOMETRIC PLAN - IDOT ROW	
PROJ. NO.: 2021.02.00	SHEET NO. C3.3
DATE: 10/24/2022	



Dated 10-24-2022
License Exp. 11-30-2023



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HOTEL BAKER
100 W MAIN ST

MAIN STREET -- ROUTE 64

LA ZAZA
5 S 1ST ST

ALTER BREWING
12 S 1ST ST

EXISTING	LINE TYPES	PROPOSED
	IRRIGATION LINE	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN (W/ SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
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	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	GUARDRAIL	
	SANITARY MANHOLE	
	STORM MANHOLE	
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	INLET	
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	PRESSURE CONNECTION	
	VALVE & VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	TREE, EVERGREEN, SHRUB & PROPOSED TREE TO REMOVE	
	CONCRETE	
	SALVAGED PAVERS FROM EXISTING PLAZA	
	PAVERS ON CONCRETE BASE	
	LANDSCAPE AREA	
	EXISTING PAVERS	

NOTES:
1. PAVER TYPES DEPICTED ARE FOR REFERENCE ONLY. FOR SPECIFIC PAVER COLOR LOCATION, AND MATERIAL SEE PARTIAL SITE PLANS SHEETS A1.1 & A1.2
2. FOR CONCRETE CURB AND CONCRETE SIDEWALK JOINT SPACING SEE PARTIAL SITE PLAN (NORTH) SHEET A1.1

SERENA STURM
ARCHITECTS

1011 Geneva Road, St. Charles, IL 60174
T 312.235.5048
WWW.SERENASTURM.COM

CONSULTANTS

WBK engineering LLC

WBK ENGINEERING CORP., SUITE 201
ST. CHARLES, ILLINOIS 60174
(630) 443-7755

NO.	DATE	DESCRIPTION

First Street Plaza Improvements - For Review

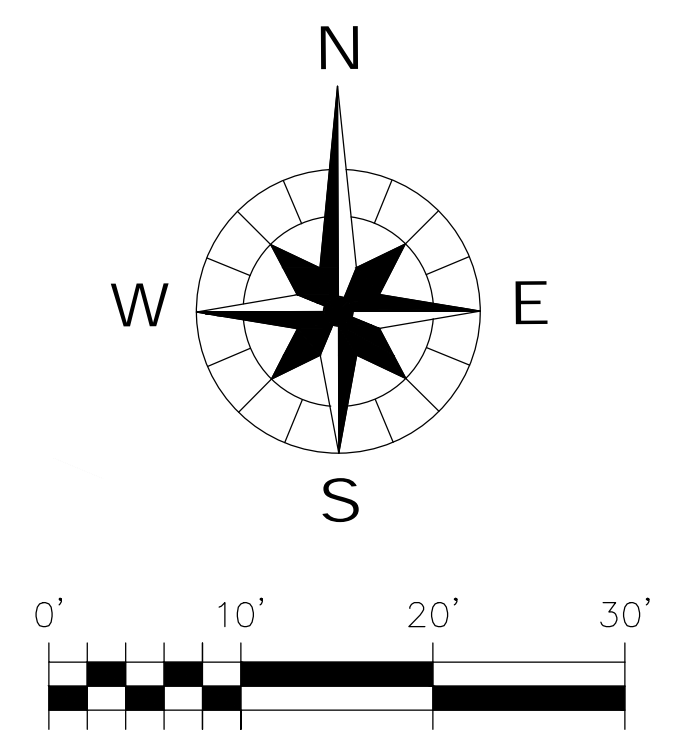
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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SHEET TITLE SITE PLAN NORTH	
PROJ. NO. 2021.02.00	SHEET NO. C4.1
DATE: 10/24/2022	

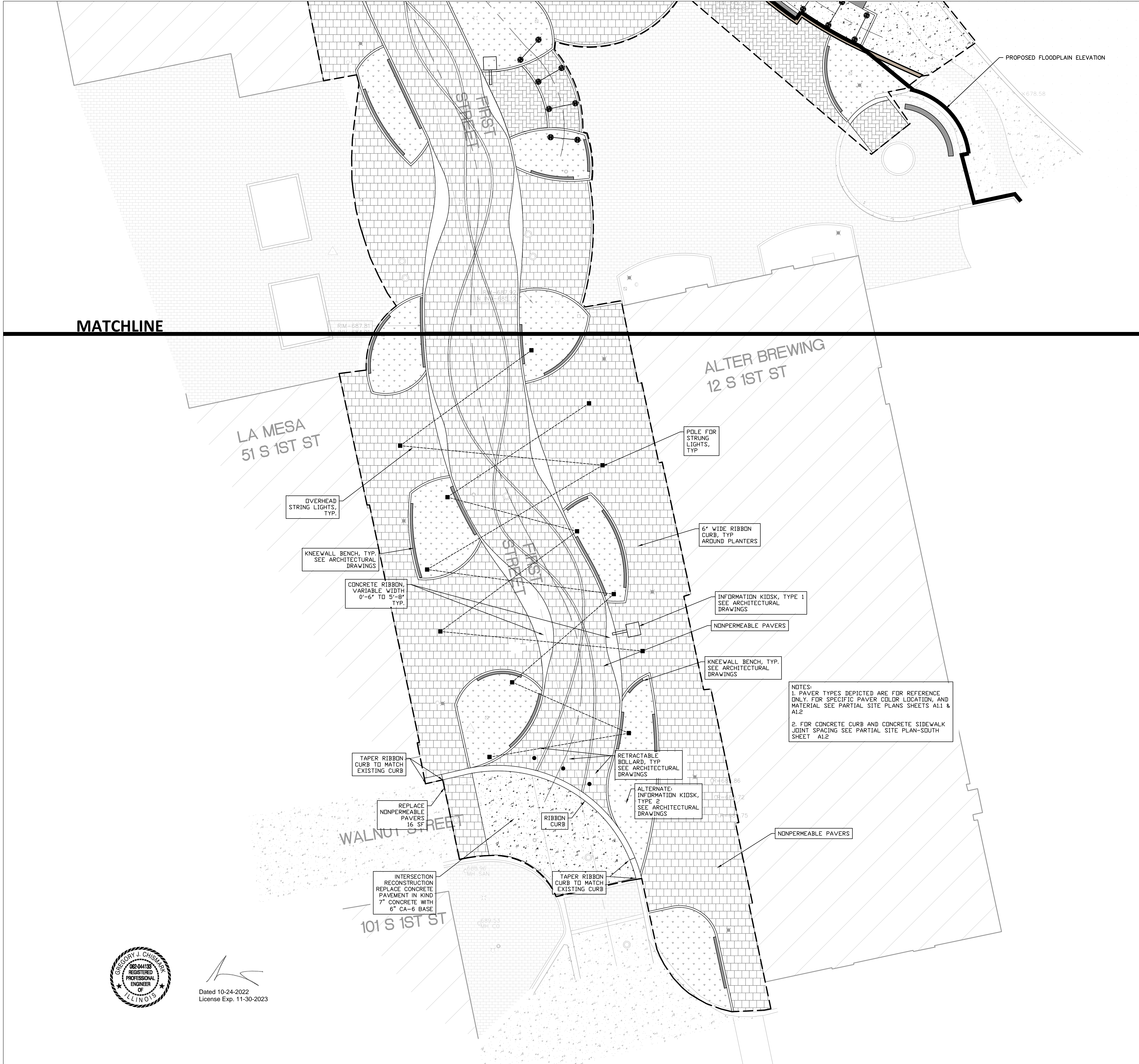


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MATCHLINE

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PLAN LEGEND

EXISTING	LINETYPES	PROPOSED
	IRRIGATION LINE	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN (W SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	GUARDRAIL	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	SUMP STRUCTURE	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	VALVE & VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	TREE, EVERGREEN, SHRUB & PROPOSED TREE TO REMOVE	
	CONCRETE	
	SALVAGED PAVERS FROM EXISTING PLAZA	
	PAVERS ON CONCRETE BASE	
	LANDSCAPE AREA	
	EXISTING PAVERS	

REVISIONS

NO.	DATE	DESCRIPTION

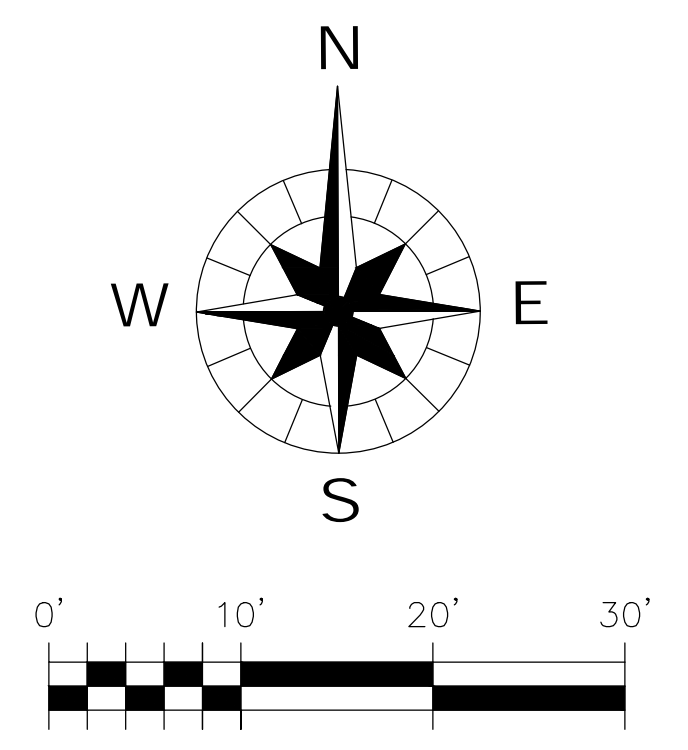
First Street Plaza Improvements - For Review

City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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SHEET TITLE SITE PLAN SOUTH	
PROJ. NO.: 2021.02.00	SHEET NO.: C4.2
DATE: 10/24/2022	



Dated 10-24-2022
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HOTEL BAKER
100 W MAIN ST

MAIN STREET -- ROUTE 64

LA ZAZA
5 S 1ST ST

ALTER BREWING
12 S 1ST ST

CTRL POINT 1
691.71
TRAVERSE STA CROSS

TOP OF FOOTING
ELEV. 677.83

BFE 688.0

FOX RIVER

PROPOSED FLOODPLAIN ELEVATION

NOTES:
1. PAVER TYPES DEPICTED ARE FOR REFERENCE ONLY. FOR SPECIFIC PAVER COLOR LOCATION, AND MATERIAL SEE PARTIAL SITE PLANS SHEET A11 & A12.
2. FOR CONCRETE CURB AND CONCRETE SIDEWALK JOINT SPACING SEE PARTIAL SITE PLAN-NORTH SHEET A11

Curve Table: Pergola Centerline			
Curve #	Radius	Length	Chord Direction
C1	28.379	32.535	N17° 23' 25.57"W
L1	N/A	21.224	N/A
C2	54.544	9.999	N34° 41' 25.20"W
C3	54.544	17.252	N20° 22' 38.96"W
C4	44.029	15.516	N01° 13' 14.46"W
C5	35.937	15.067	N20° 53' 08.24"E
C6	27.225	13.145	N46° 43' 43.74"E
C7	27.225	13.145	N74° 23' 37.17"E
C8	35.937	15.067	S79° 45' 47.33"E
C9	44.029	15.516	S57° 39' 24.62"E
C10	54.544	17.252	S38° 30' 00.13"E
C11	106.813	80.485	S45° 29' 38.97"E

Curve Table: First Street Centerline			
Curve #	Radius	Length	Chord Direction
L2	N/A	59.911	N/A
C12	63.624	21.764	S15° 24' 58.59"E
L3	N/A	47.634	N/A
C13	50.000	25.000	S10° 53' 31.52"E
C14	50.000	2.383	S04° 47' 49.09"W
L4	N/A	11.498	N/A
C15	125.000	76.260	S11° 18' 55.54"E
L5	N/A	17.064	N/A
C16	50.000	25.000	S14° 28' 08.38"E
C17	50.000	21.800	S12° 20' 44.40"W
L6	N/A	12.971	N/A

NOTE: ROADWAY ALIGNMENT CONTINUED ON SHEET C4.4



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NO.	DATE	DESCRIPTION

First Street Plaza Improvements - For Review
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

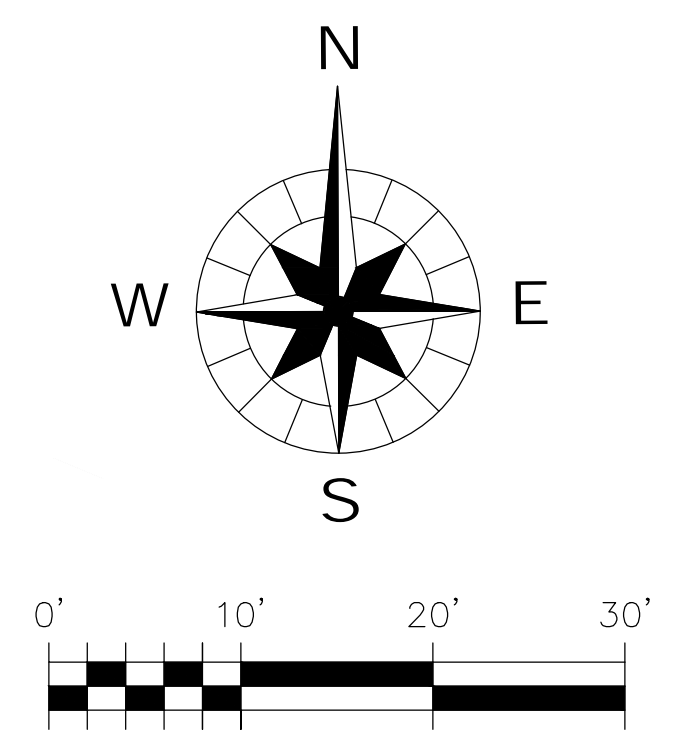
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SHEET TITLE
SITE PLAN NORTH DIMS

PROJ. NO. 2021.02.00	SHEET NO. C4.3
DATE: 10/24/2022	



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NOTES:
 1. PAVER TYPES, DEPICTED ARE FOR REFERENCE ONLY. FOR SPECIFIC PAVER COLOR, LOCATION, AND MATERIAL SEE PARTIAL SITE PLANS SHEET A1.1 & A1.2
 2. FOR CONCRETE CURB AND CONCRETE SIDEWALK JOINT SPACING SEE PARTIAL SITE PLAN-SOUTH SHEET A1.2

REVISIONS		
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First Street Plaza Improvements - For Review
 City of St. Charles
 2 East Main Street
 St. Charles, Illinois 60174

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SHEET TITLE SITE PLAN SOUTH DIMS	
PROJ. NO.: 2021.02.00	SHEET NO.: C4.4
DATE: 10/24/2022	



AS
 Dated 10-24-2022
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HOTEL BAKER
100 W MAIN ST

MAIN STREET - ROUTE 64

LA ZAZA
5 S 1ST ST

FIRST
STREET

ALTER BREWING
12 S 1ST ST

- NOTES:
1. ALL LANDSCAPED AREAS SHALL BE EXCAVATED TO 36 INCHES BELOW FINISHED GRADE AND FILLED WITH SPECIAL SOIL MIX AS DEPICTED ON LANDSCAPE PLANS AND AS SPECIFIED.
 2. ELECTRIC AND COMMUNICATION SYSTEMS NOT DEPICTED, REFER TO ELECTRIC PLANS AND DETAILS.
 3. CONTRACTOR TO VERIFY EXISTING UTILITY DEPTH AND LOCATION PRIOR TO ANY UTILITY CONSTRUCTION. CONTACT CITY IF ANY CONFLICTS ARE IDENTIFIED PRIOR TO ANY WORK.

REVISIONS		
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First Street Plaza Improvements - For Review

City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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	PROJ. MGR:
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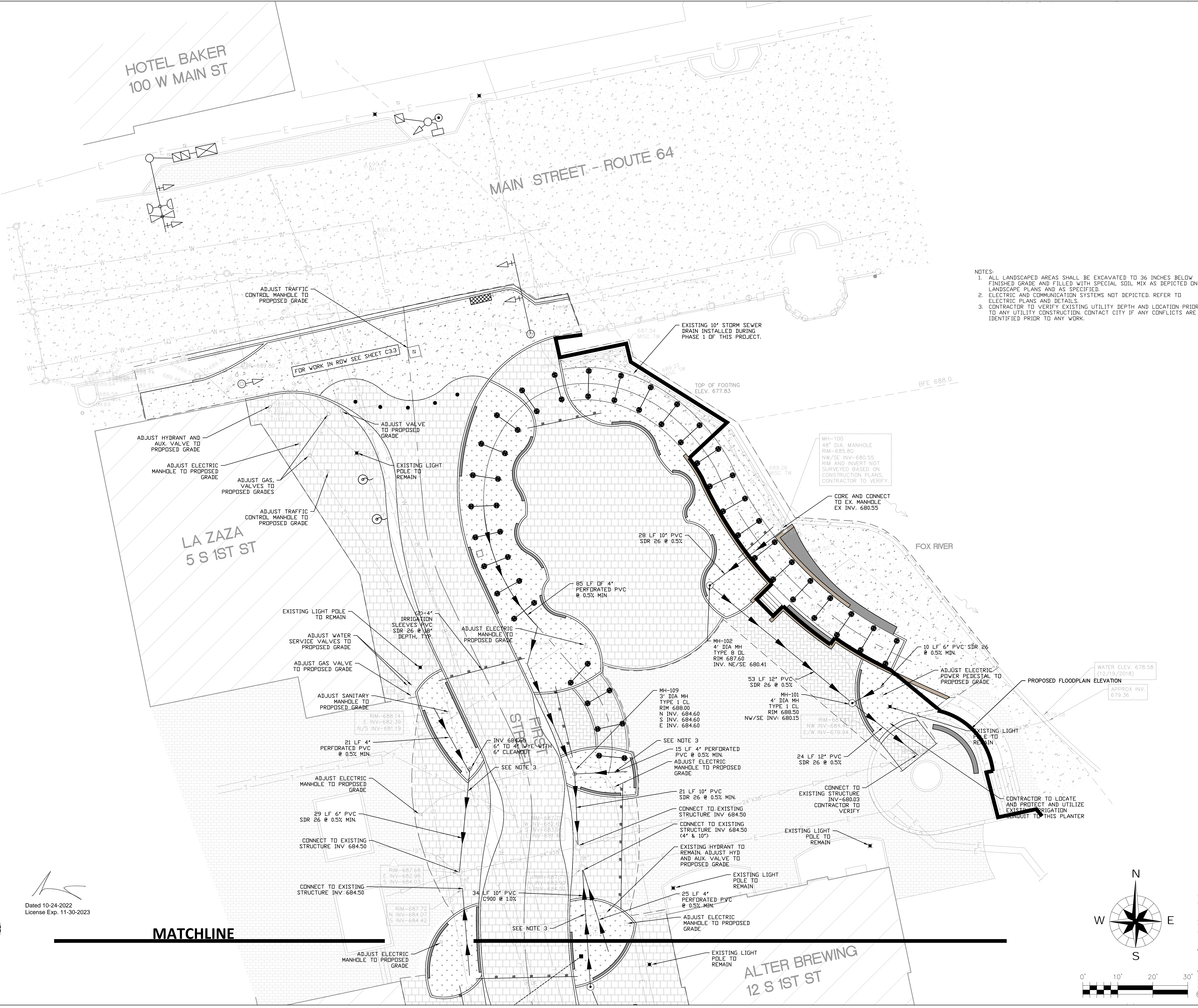
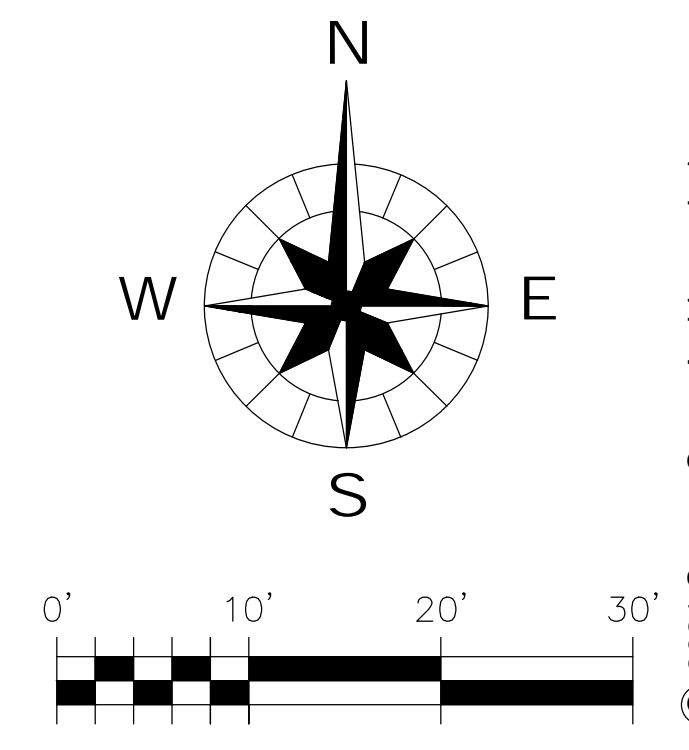
SHEET TITLE
UTILITY PLAN NORTH

PROJ. NO.:	SHEET NO.:
2021.02.00	C5.1
DATE:	
10/24/2022	



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- NOTES:
1. ALL LANDSCAPED AREAS SHALL BE EXCAVATED TO 36 INCHES BELOW FINISHED GRADE AND FILLED WITH SPECIAL SOIL MIX AS DEPICTED ON LANDSCAPE PLANS AND AS SPECIFIED.
 2. ELECTRIC AND COMMUNICATION SYSTEMS NOT DEPICTED. REFER TO ELECTRIC PLANS AND DETAILS.
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REVISIONS		
NO.	DATE	DESCRIPTION

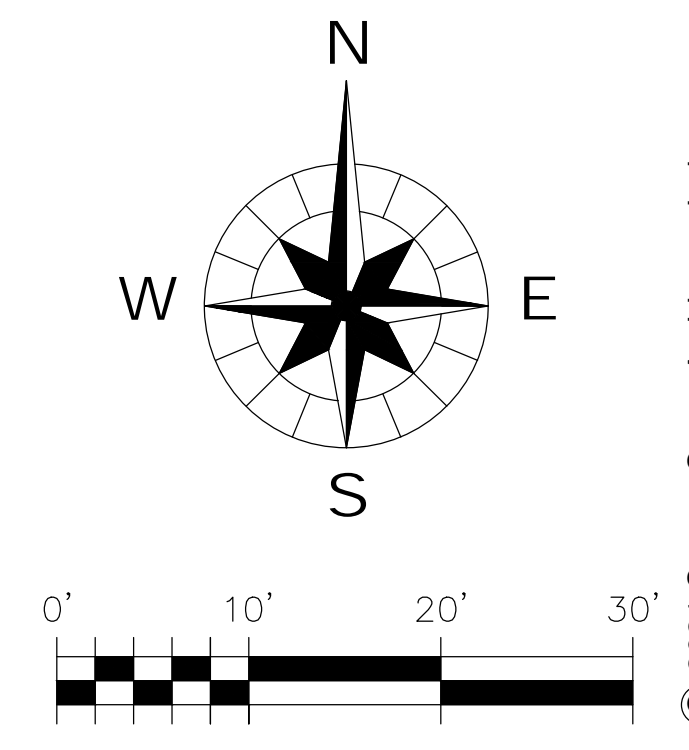
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 2 East Main Street
 St. Charles, Illinois 60174

DRAWN BY:	CHECKED BY:
BWW	JWC
	PROJ. MGR:
	GJC

SHEET TITLE	
UTILITY PLAN SOUTH	
PROJ. NO:	SHEET NO.
2021.02.00	C5.2
DATE:	
10/24/2022	



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GRADING ABBREVIATIONS:

- M/E - MATCH EXISTING
- T/C - TOP OF CURB
- T/W - TOP OF WALL
- HP - HIGH POINT
- LP - LOW POINT

HOTEL BAKER
100 W MAIN ST

MAIN STREET - ROUTE 64

LA ZAZA
5 S 1ST ST

ALTER BREWING
12 S 1ST ST

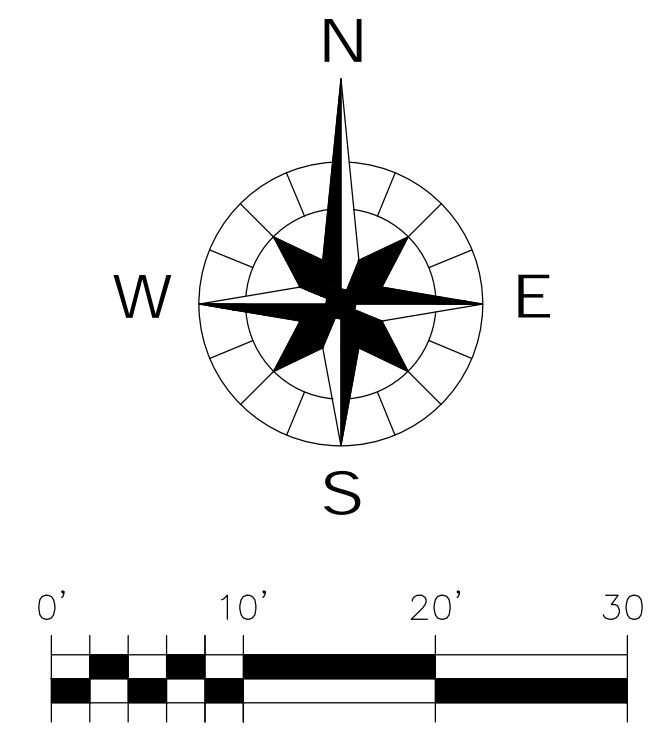
TRAVERSE STA CROSS
692.36
CTRL POINT 2

CTRL POINT 1
691.71
TRAVERSE STA CROSS



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MATCHLINE



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REVISIONS

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City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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SHEET TITLE
GRADING AND DRAINAGE PLAN NORTH

PROJ. NO.: 2021.02.00	SHEET NO.: C6.1
DATE: 10/24/2022	

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PLAN LEGEND

EXISTING	LINETYPES	PROPOSED
	IRRIGATION LINE	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN (W SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	GUARDRAIL	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	SUMP STRUCTURE	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	VALVE & VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	TREE, EVERGREEN, SHRUB & PROPOSED	
	TREE TO REMOVE	

GRADING ABBREVIATIONS:
M/E - MATCH EXISTING
T/C - TOP OF CURB
T/W - TOP OF WALL
HP - HIGH POINT
LP - LOW POINT

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(630) 443-7755

REVISIONS

NO.	DATE	DESCRIPTION

First Street Plaza Improvements - For Review

City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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	PROJ. MGR:
	GJC

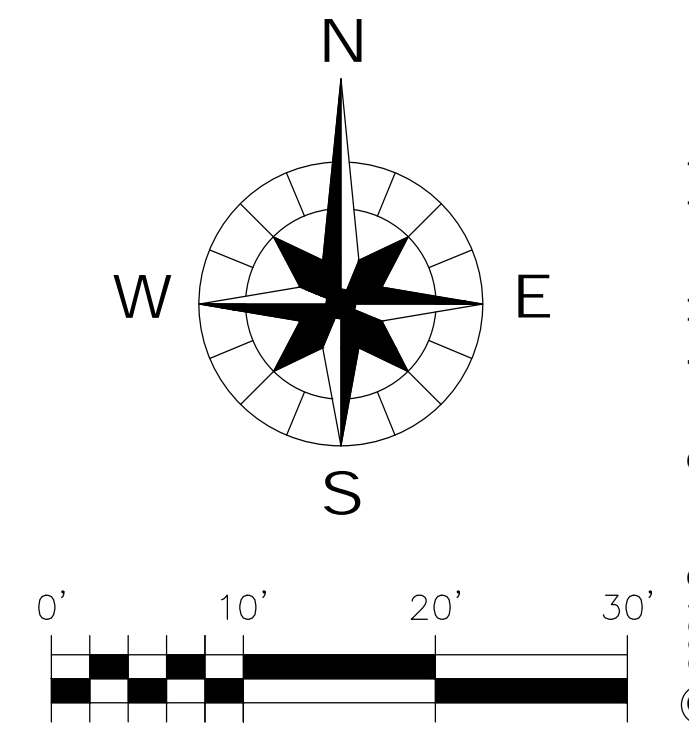
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GRADING AND DRAINAGE PLAN SOUTH

PROJ. NO.: 2021.02.00
DATE: 10/24/2022

SHEET NO.: **C6.2**



(Signature)
Dated 10-24-2022
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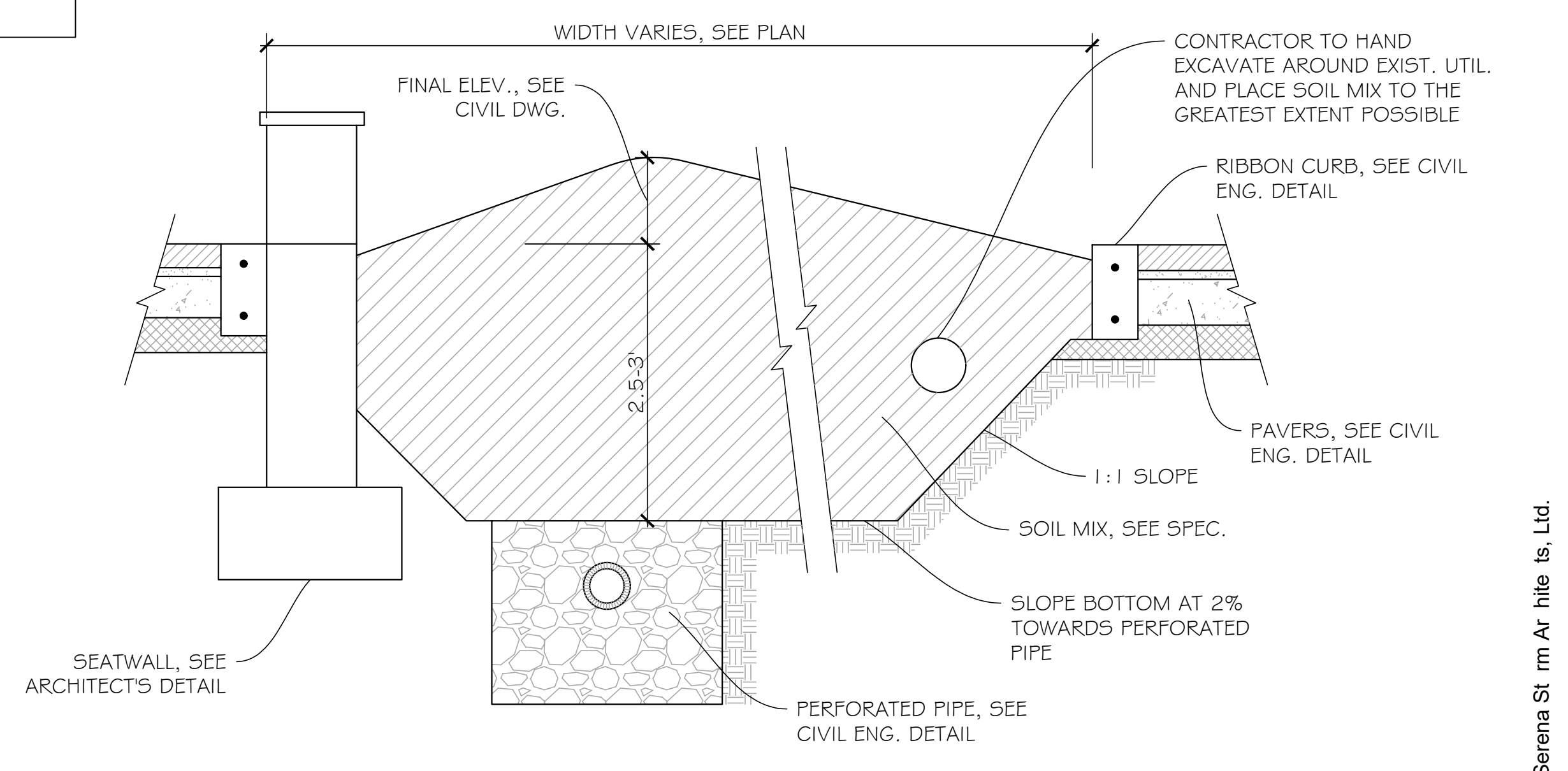
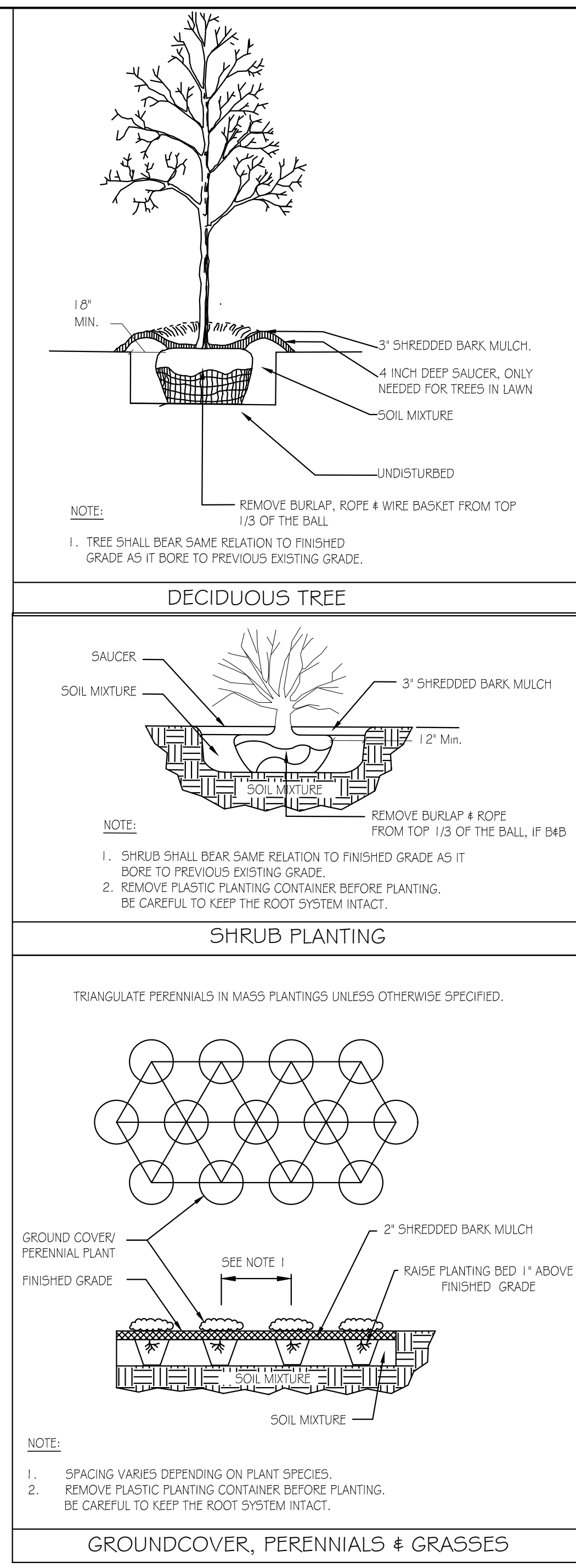
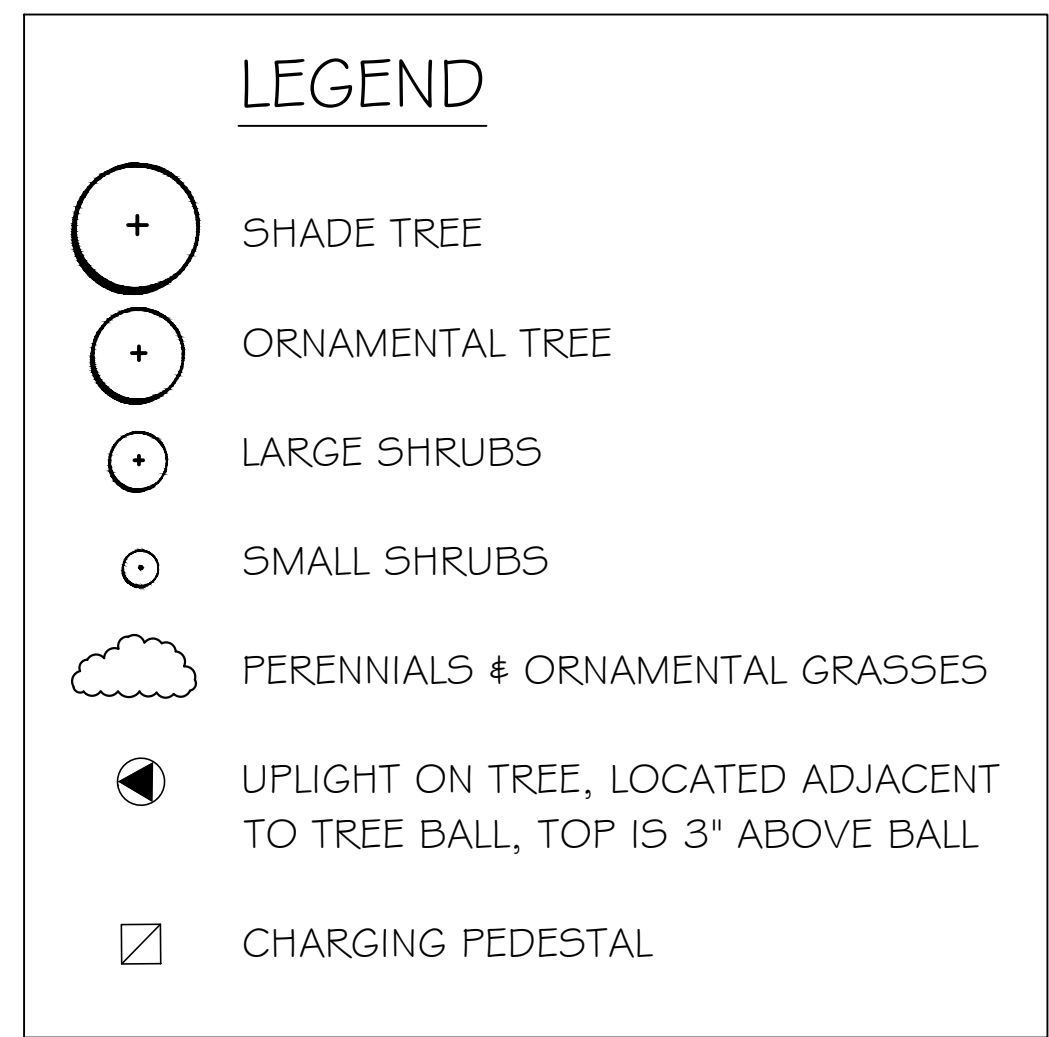


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PLANT LIST

SYM	BOTANIC NAME	COMMON NAME	INST. SIZE	MAT. SIZE	FLOWR COLOR	BLOOM TIME	NOTES
SHADE TREES							
ACRU	Acer rubrum 'Franksred'	Red Sunset Red Maple	3"	35x45"			red fall color
ACFR	Acer x freemanii 'Celzan'	Celebration Red Maple	3"	35x50"			red fall color
CLKE	Cladrastis kentuckea 'Perkins Pink'	Yellowwood	3"	30x30"	pink	M	yellow fall color
GIBI	Ginkgo biloba 'Autumn Gold'	Ginkgo	3"	40x40"			yellow fall color
LITU	Liriodendron tulipifera	Tulip Tree	3"	30x60"	yellow	M	yellow fall color
NYSY	Nyssa sylvatica 'Northern Splendor'	Black Tupelo	3"	25x40"			red fall color
QUBI	Quercus bicolor 'JFS-KW12'	American Dream Oak	3"	40x50"			yellow fall color
ORNAMENTAL TREES							
AMGR	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7"	15x20"	white	M	orange fall color
CACR	Carpinus caroliniana	American Hornbeam	2"	20x25"			orange fall color
COMA	Cornus mas 'Golden Glory'	Corneliancherry Dogwood	7"	15x20"	yellow	M	red fall color
CRVI	Crataegus virdis 'Winter King'	Winter King Hawthorn	2"	20x20"	white	M	red fall color
SYRE	Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	7"	15x25"	white	J	
LARGE SHRUBS							
ARAR	Aronia arbutifolia	Red Chokeberry	2.5'	6x6'	white	M	
FOMA	Fothergilla major	Mount Airy Fothergilla	2.5'	5x5'	white	AM	
HYQU	Hydrangea quercifolia 'Alice'	Oakleaf Hydrangea	2.5'	6x6'	white	JJAS	purple fall color
SYME	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	2.5'	6x6'	purple	M	
VIDE	Viburnum dentatum 'Christom'	Arrowwood Viburnum	2.5'	5x5'	white	M	purple fall color
SMALL SHRUBS							
CEAM	Ceanothus americanus	New Jersey Tea	1.5'	3x3'	white	JJ	
CHSP	Chaenomeles speciosa 'Orange Storm'	Flowering Quince	1.5'	4x3'	orange	A	
DISE	Diervilla sessilifolia 'Butterfly'	Butterfly Bush	1.5'	3x3'	yellow	AMJ	yellow fall color
HYAR	Hydrangea arborescens 'NCHA3'	Invincibelle Ruby Hydrangea	1.5'	3x3'	red	JJAS	
HYKA	Hypericum kalmianum 'SMHKBFB'	Hypericum Blues Festival	1.5'	3x3'	yellow	JAS	yellow fall color
POFR	Potentilla fruticosa 'Jackmanii'	Jackman's Potentilla	1.5'	3x3'	yellow	JJAS	
SPBU	Spiraea x bumalda 'Froebelii'	Froebel Spiraea	1.5'	3x3'	pink	JJ	yellow fall color
SPTO	Spiraea tomentosa	Steeplebush	1.5'	3x3'	pink	JA	maroon fall color
SYDO	Symphoricarpos sp. 'Sofie'	Coralberry	1.5'	3x3'	white	MJ	
ORNAMENTAL GRASSES							
BOCU	Bouteloua curtipendula	Side-oats Gramma	1gal	18x24"	red	JA	orange fall color
DECE	Deschampsia cespitosa	Tufted Hair Grass	1gal	18x36"	brown	MJ	yellow fall color
ERSP	Eragrostis spectabilis	Purple Lovegrass	1gal	18x18"	red	AS	yellow fall color
PAVI	Panicum virgatum 'Cheyenne Sky'	Switch Grass	1gal	24x36"	purple	JAS	burgandy fall
PEAL	Pennisetum alopecuroides 'Burgandy Bunny'	Burgandy Bunny Fountain Grass	1gal	12x12"	brown	ASO	red fall color
SCSC	Schizachyrium scoparium 'Prairie Blues'	Little Blue Stem	1gal	18x36"	pink	SO	orange fall color
SEAU	Sesleria autumnalis	Autumn Moor Grass	1gal	12x18"	silver	JA	yellow fall color
SPHE	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed	1gal	12x24"	gold	ASO	yellow fall color
PERENNIALS							
ALSU	Allium cernuum	Nodding Wild Onion	1gal	18x12"	purple	JJAS	
BALE	Baptisia leucophaea	Cream Wild False Indigo	1gal	24x24"	white	MJ	
CACA	Campanula carpatica 'Pearl Deep Blue'	Carpathian Harebell	1gal	12x8"	blue	MJJAS	
COVE	Coreopsis verticillata 'Zagreb'	Zagreb Coreopsis	1gal	18x12"	gold	JJASO	
ECPU	Echinacea 'CBG Cone 2'	Pixie Meadowbrite Coneflower	1gal	18x18"	pink	JJAS	
GESA	Geranium sanguineum 'Max Frei'	Max Frei Cranesbill	1gal	18x8"	pink	MJJAS	red fall color
HEHA	Hemerocallis 'Happy Returns'	Daylily	1gal	12x12"	yellow	JJA	
LIKO	Liatris spicata 'Kobold'	Kobold Gayfeather	1gal	12x18"	purple	JA	
MODI	Monarda didyma 'Pettie Delight'	Beebalm	1gal	18x12"	pink	JJA	
RUFU	Rudbeckia fulgida 'Viette's Little Suzy'	Dwarf Black Eyed Susan	1gal	18x12"	gold	JASO	
RUHU	Ruellia humilis	Wild Petunia	1gal	18x12"	purple	MJJAS	
SANE	Salvia nemorosa 'Caradonna'	Caradonna Salvia	1gal	18x18"	purple	JJAS	



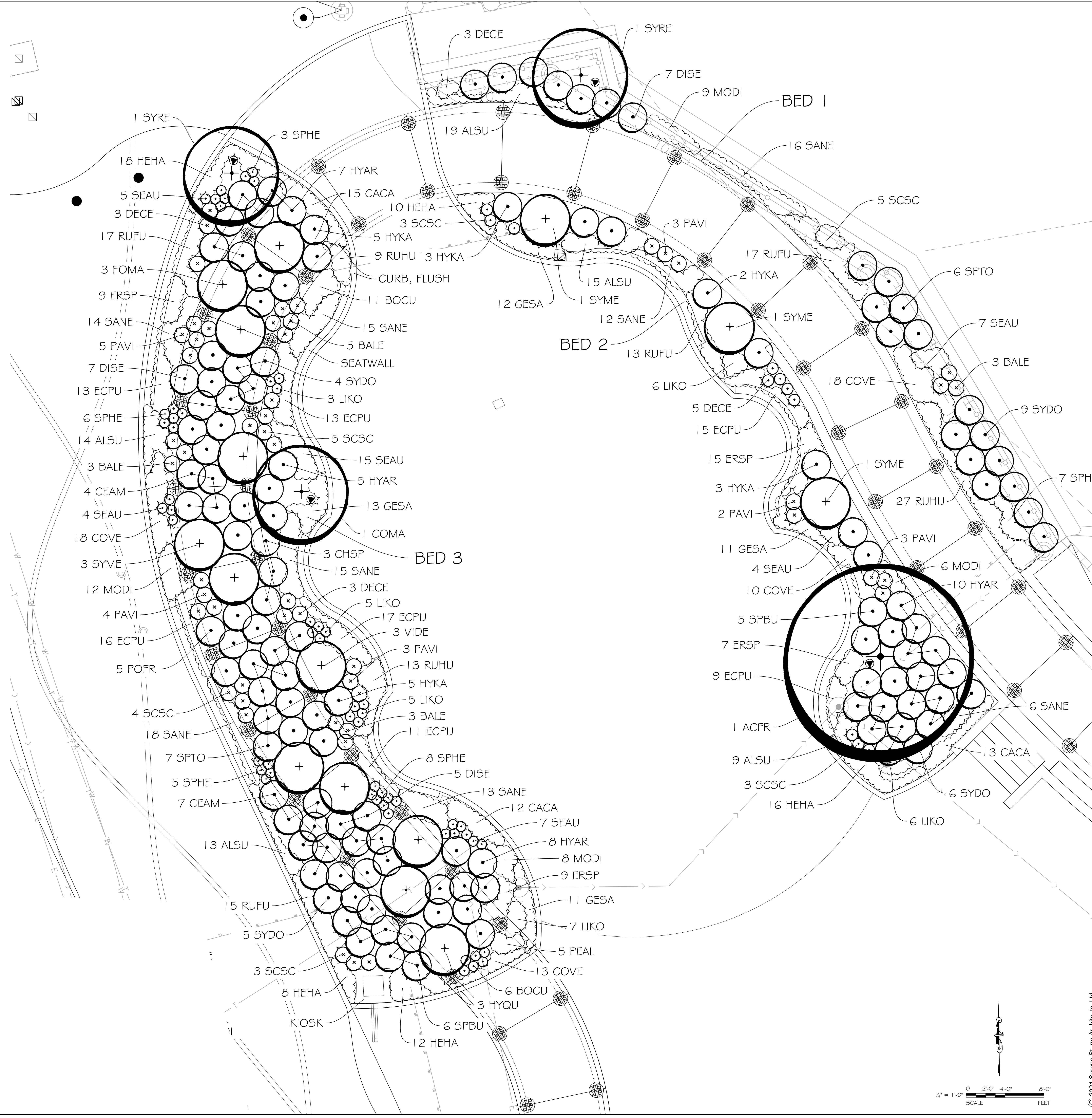
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SCALE: 3/4" = 1'-0"

REVISIONS

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SHEET TITLE	
PLANTING PLAN	
PRO. NO.	SHEET NO.
12084 S17	L1.0
DATE	
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City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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ENLARGEMENT PLAN	
PRO. NO. 12084 S17	SHEET NO. L2.1
DATE 10.21.2022	

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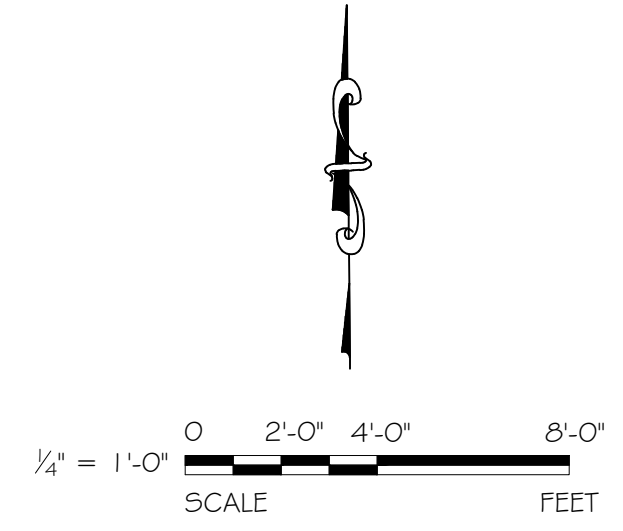
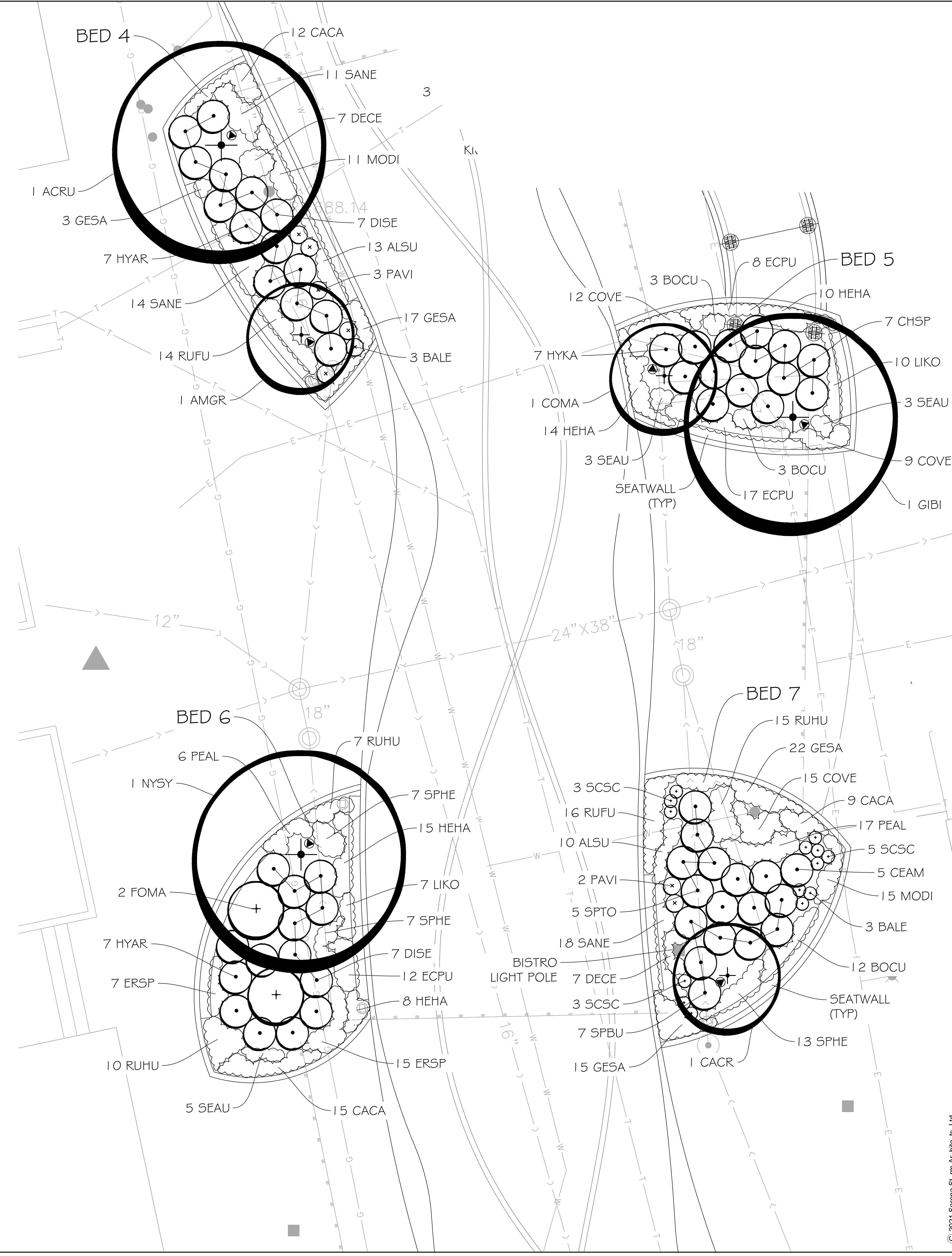
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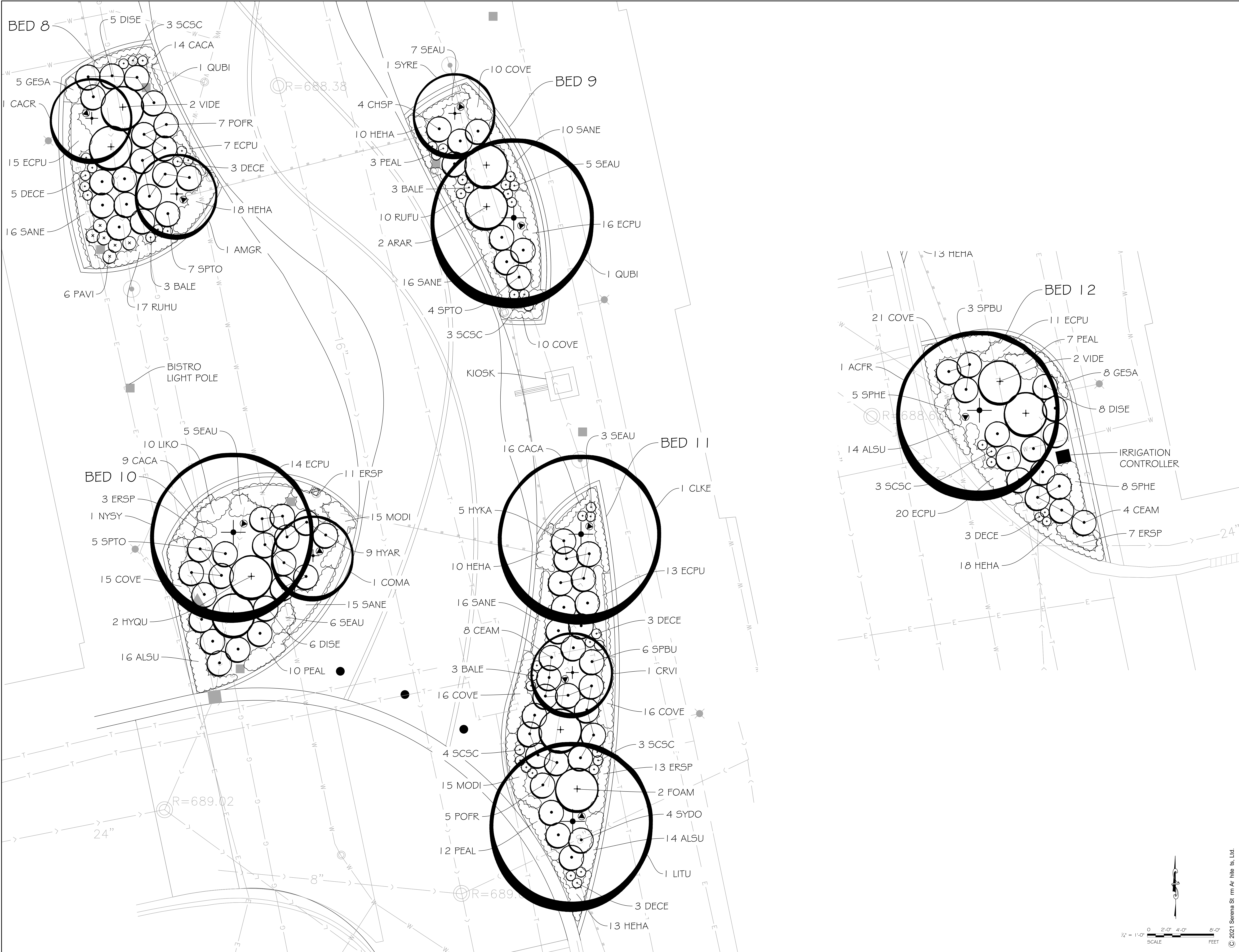
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SHEET TITLE
ENLARGEMENT PLAN

PRO. NO.	SHEET NO.
12084 S17	L2.2
DATE	10.21.2022

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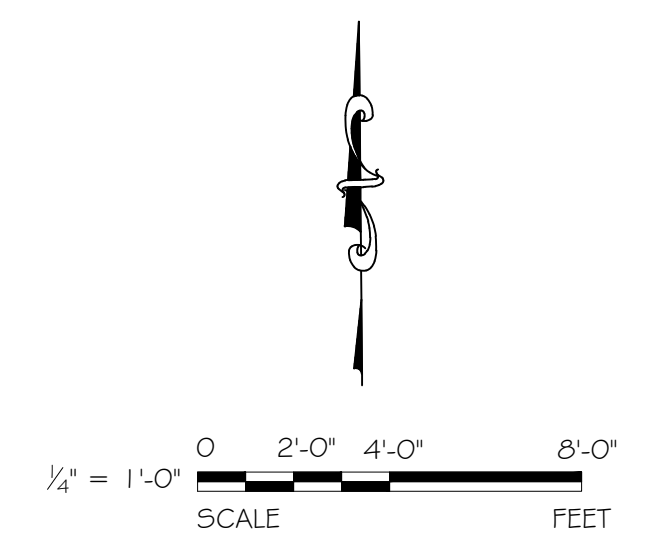


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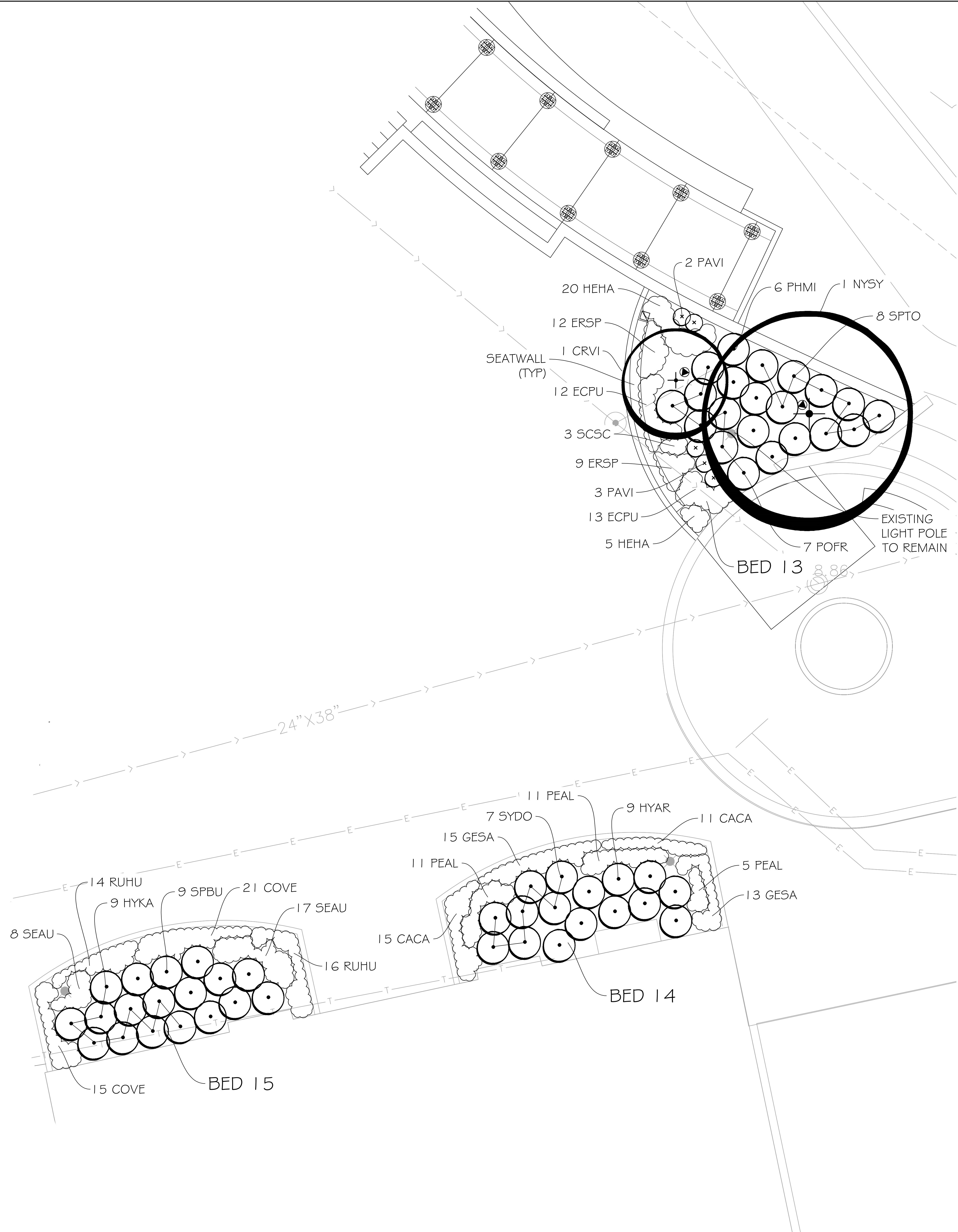
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SHEET TITLE	
ENLARGEMENT PLAN	
PRO. NO. 12084 S17	SHEET NO. L2.3
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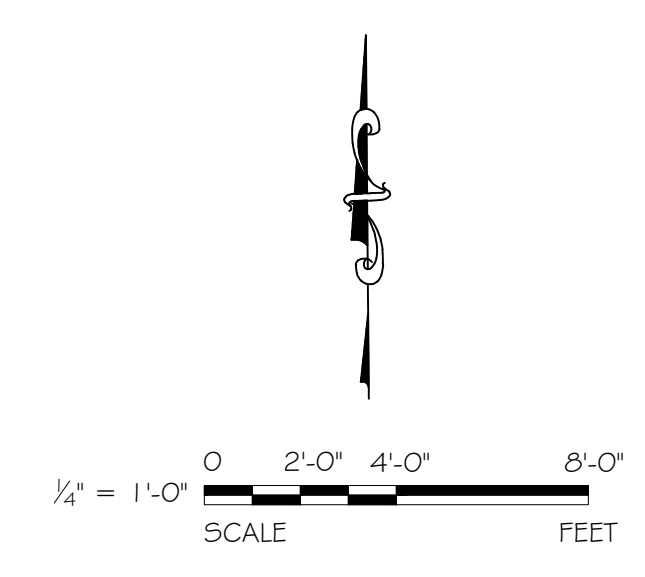
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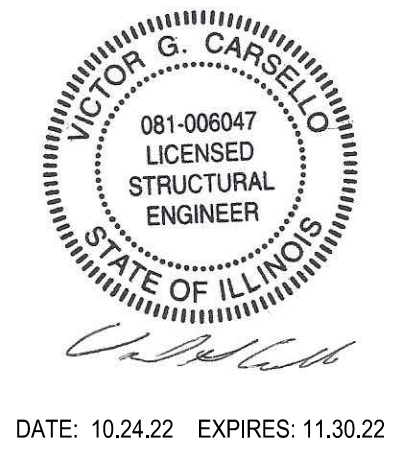
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SHEET TITLE
ENLARGEMENT PLAN

PRO. NO. 12084 S17	SHEET NO. L2.4
DATE 10.21.2022	



MAIN STREET ROUTE 64



SERENA STURM
ARCHITECTS

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T 312.235.5048
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CONSULTANTS

REVISIONS

NO.	DATE	DESCRIPTION

ZAZA
3 1ST ST

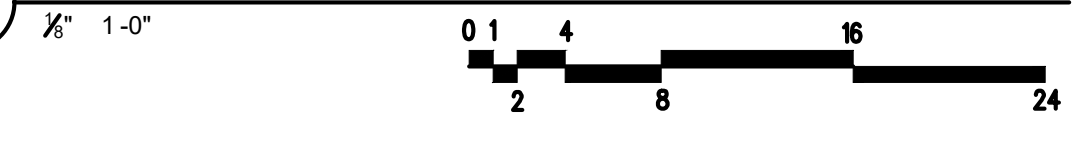
FIRST
STREET

ALTER BREWING
12 S 1ST ST

EXISTING
RIVERWALK

- PLAN NOTES**
1. T/FOOTING ELEV. = -4'-0" BELOW T/PIER.
 2. F1 INDICATES 2'-6"x2'-6"x1'-0" FOOTING CENTERED ON PIER. SEE SECTION 3/S2.1 FOR REINF. PX (XX,XX') INDICATES CONCRETE PIER MARK AND T/PIER ELEVATION. SEE SHEET S2.1 FOR PIER SCHEDULE AND DETAILS.
 2. F2 INDICATES 2'-6"x2'-6"x1'-0" FOOTING OFFSET F1/PIER CENTERLINE TO AVOID RETAINING WALL FTG. SEE SECTION 4/S2.1 FOR REINF.
 3. P1 (XX,XX') INDICATES 18"x CONCRETE PIER AND T/PIER ELEVATION. SEE SHEET S2.1 FOR PIER REINFORCING AND DETAILS.
 4. C1 INDICATES BUILT-UP STEEL TRELLIS COLUMN. SEE SHEET S3.1 FOR TYPICAL COLUMN AND BASE DETAILS.
 5. SEE SHEET S0.1 FOR GENERAL NOTES.
 6. SEE SHEET S2.1 FOR TYPICAL FOUNDATION DETAILS.
 7. SEE ARCHITECTURAL SITE PLANS FOR ADDITIONAL KIOSKS AND SEAT WALL LOCATIONS NOT SHOWN ON THIS PLAN.

1 TRELLIS FOUNDATION PLAN



First Street Plaza Improvements
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

DRAWN BY: CHECKED BY:

SHEET TITLE

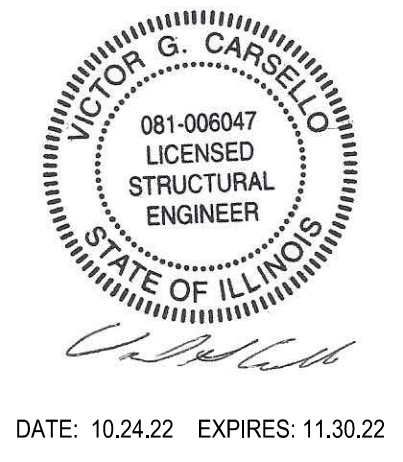
TRELLIS
FOUNDATION PLAN

PROJ. NO. SHEET NO.

2021.02.00 S1.1

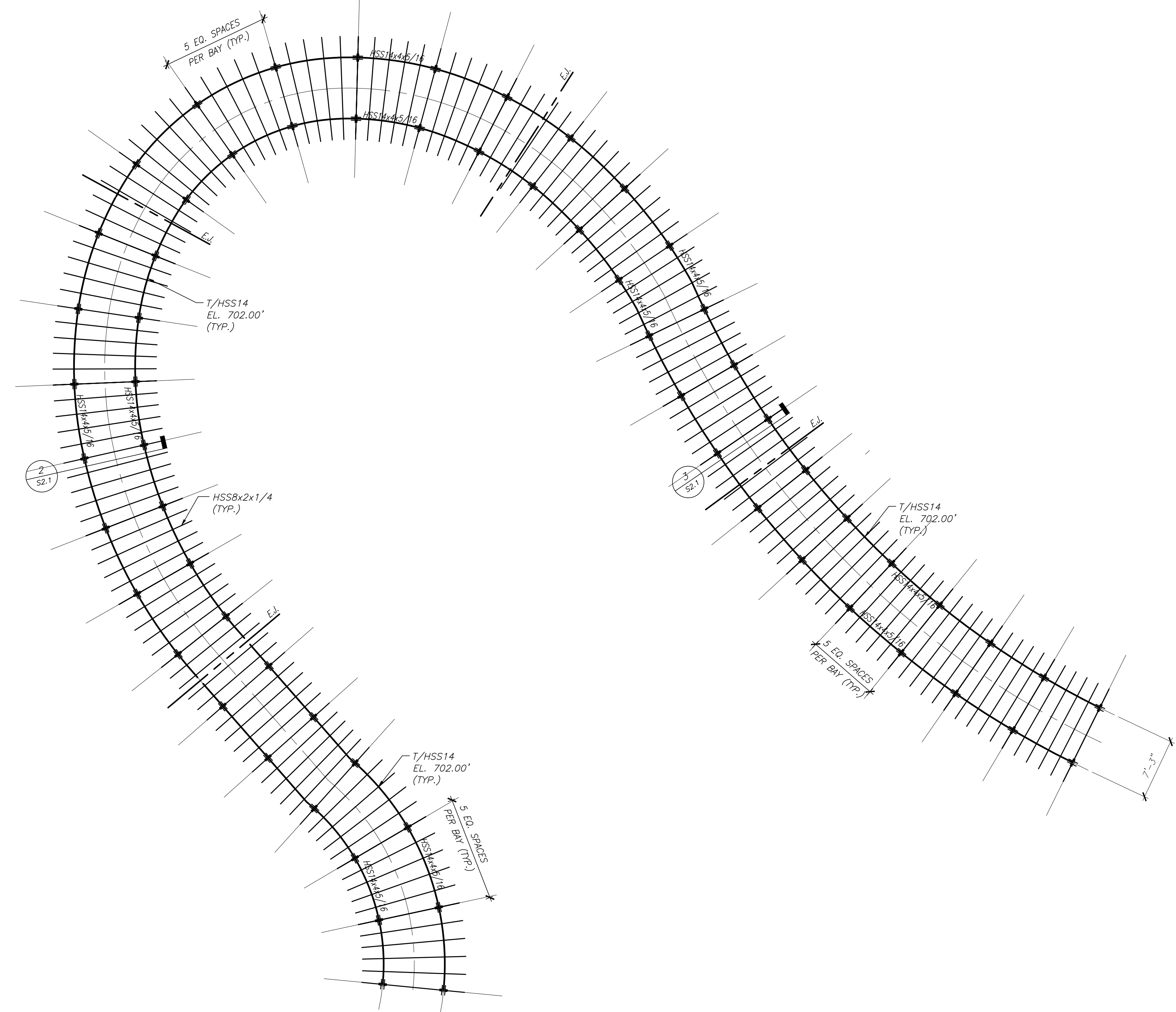
DATE: 10/24/22

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NO.	DATE	DESCRIPTION



- PLAN NOTES**
1. T/HSS14 EL. = 702.00' (U.N.O.)
 2. E.J. INDICATES HSS14 EXPANSION JOINT. SEE 2/S3.1.
 3. SEE SHEET S0.1 FOR GENERAL NOTES
 4. SEE SHEET S3.1 FOR TYP. FRAMING DETAILS.

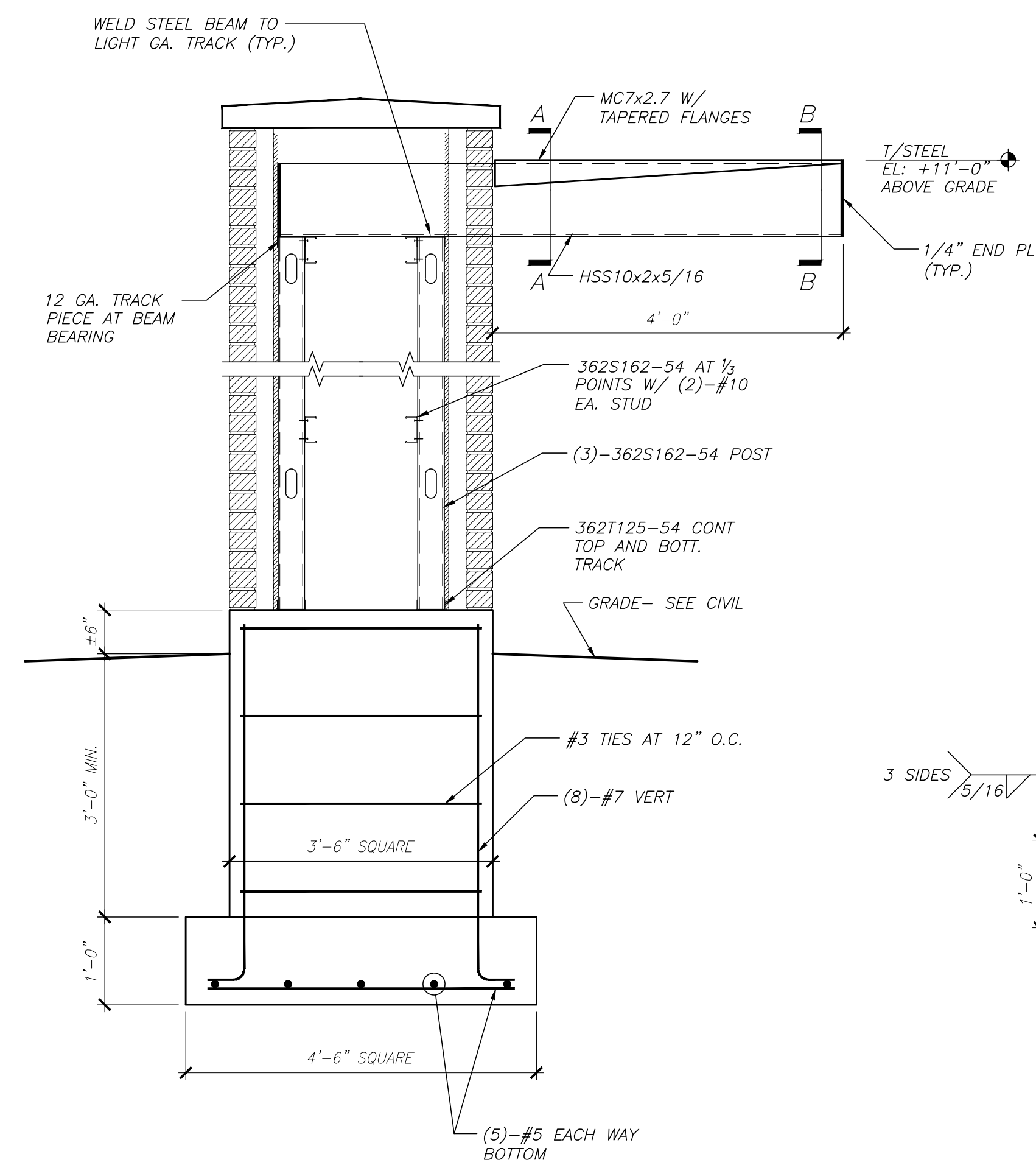
1 TRELIS FRAMING PLAN

1/8" = 1'-0"

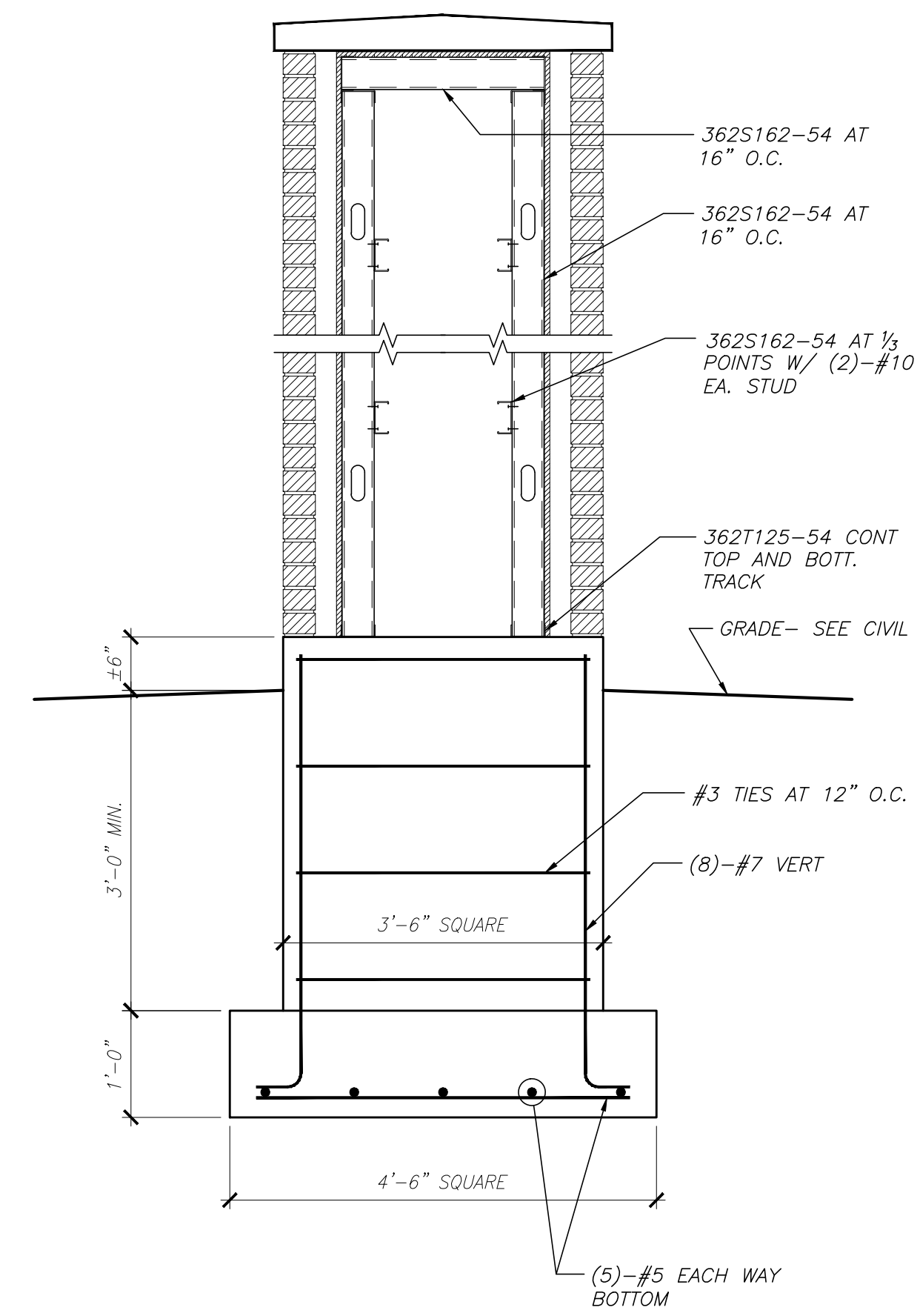
First Street Plaza Improvements
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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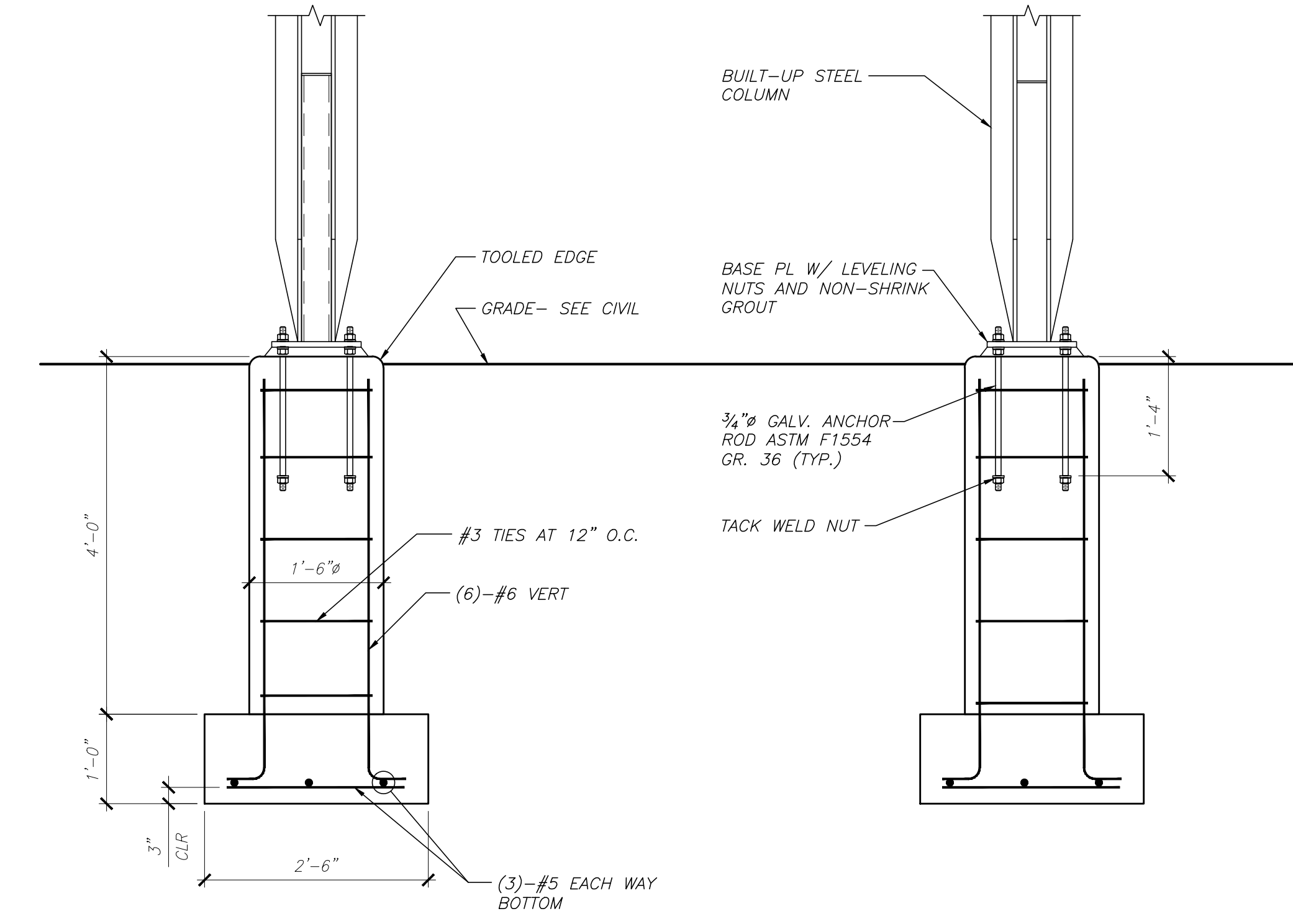
SHEET TITLE	
TRELIS FRAMING PLAN	
PROJ. NO.: 2021.02.00	SHEET NO. S1.2
DATE: 10/24/22	



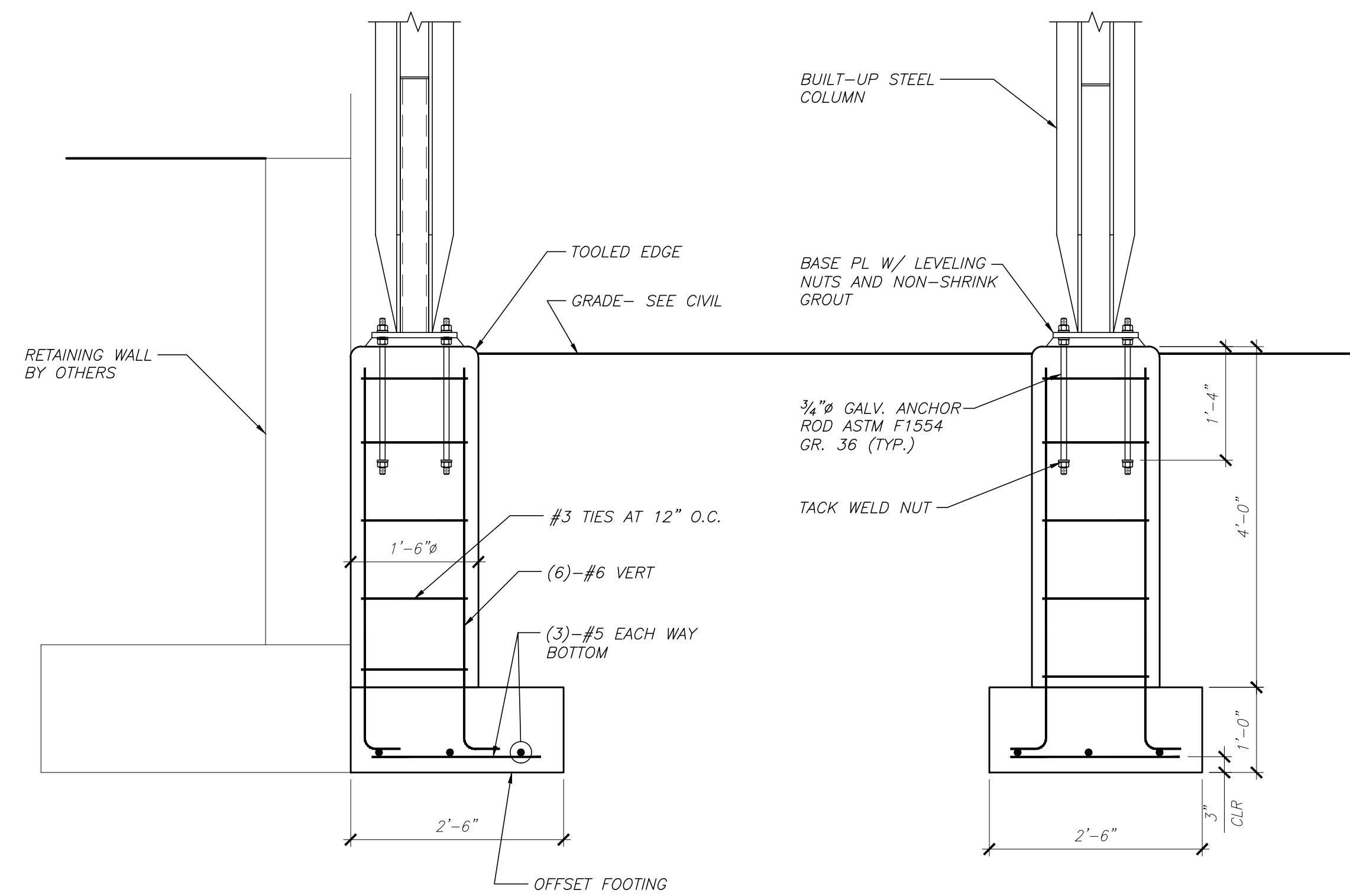
1 KIOSK SECTION - AT OUTRIGGER



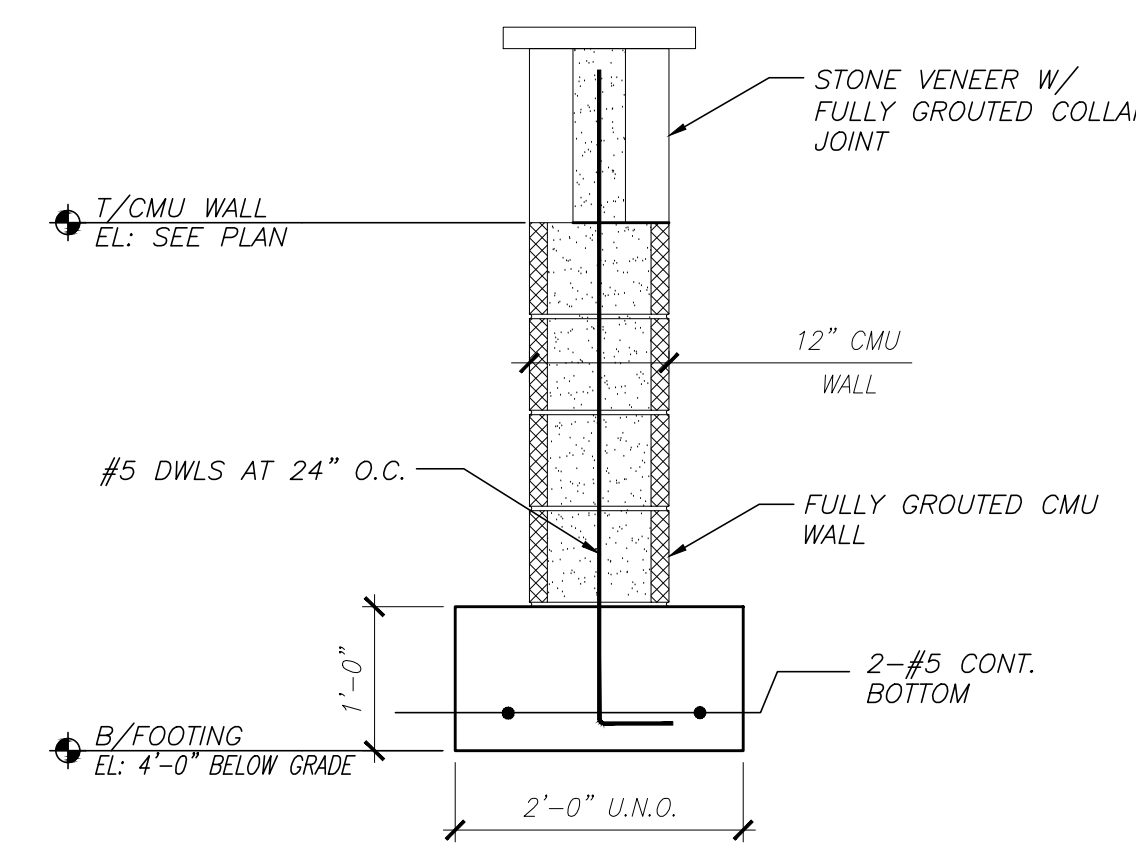
2 KIOSK SECTION - LIGHT GAUGE



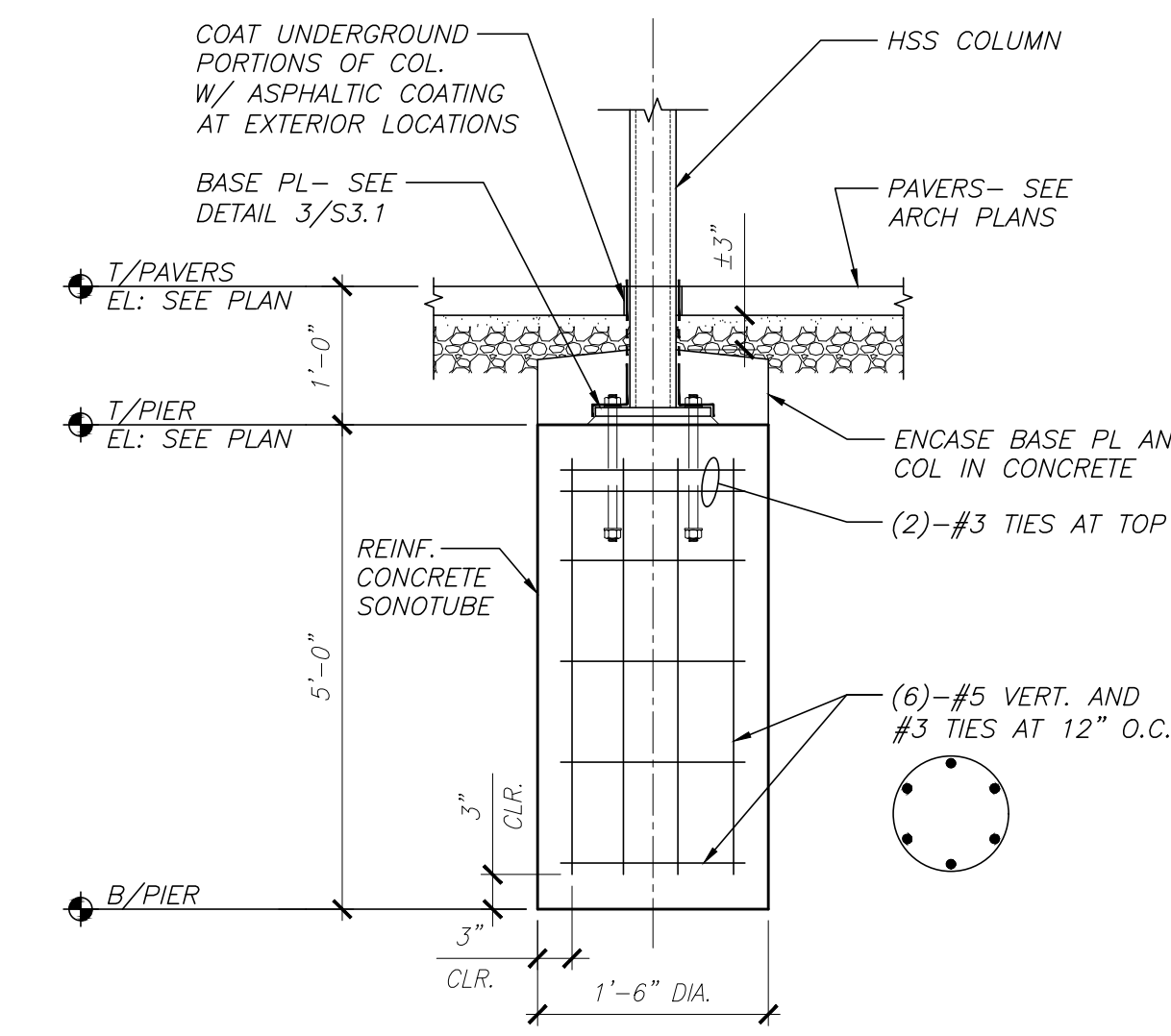
3 TYP. TRELIS FNDN SECTION



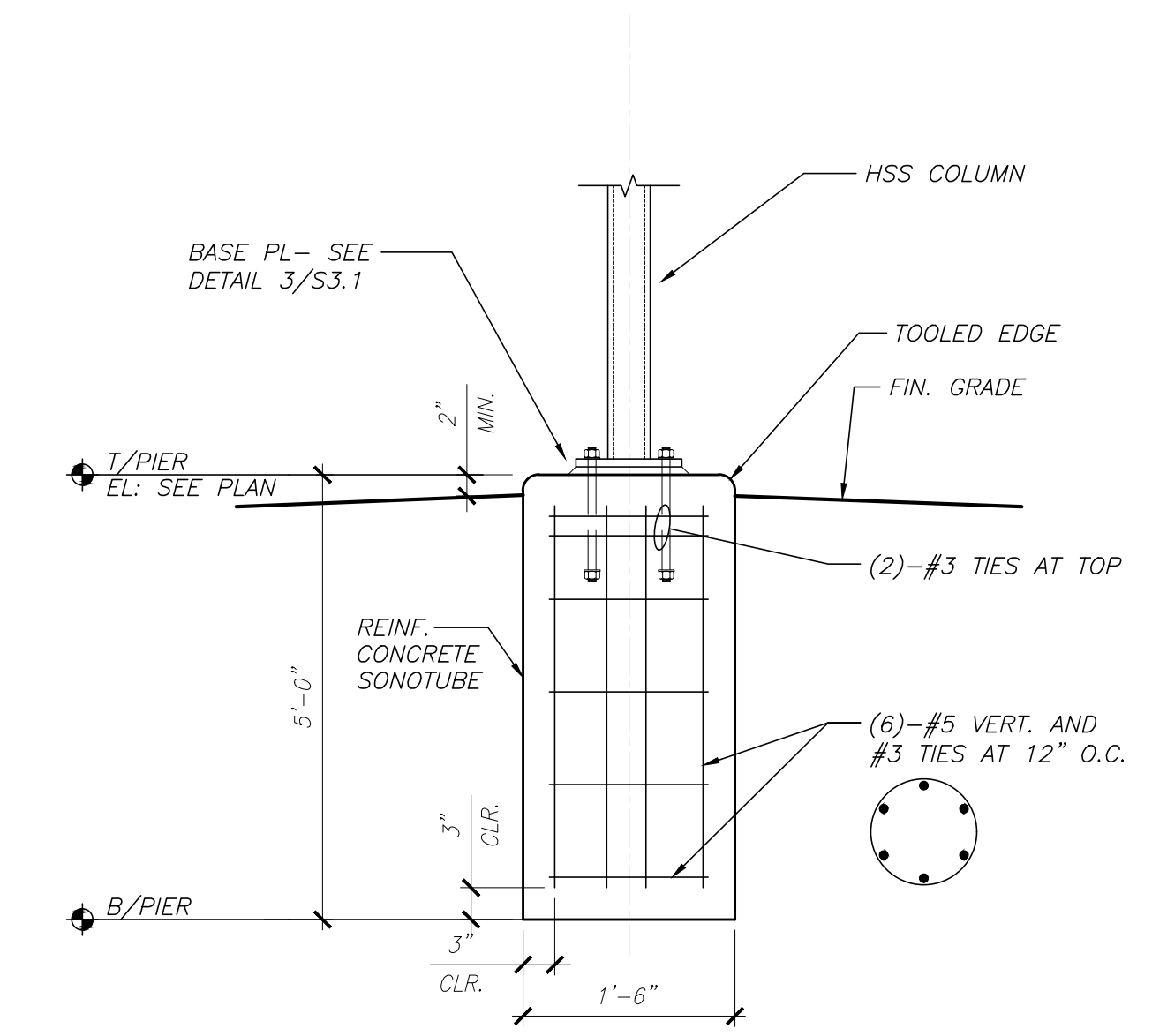
4 TYP. TRELIS FNDN SECTION



5 SEAT WALL DETAIL

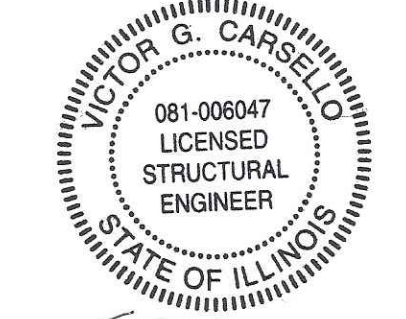


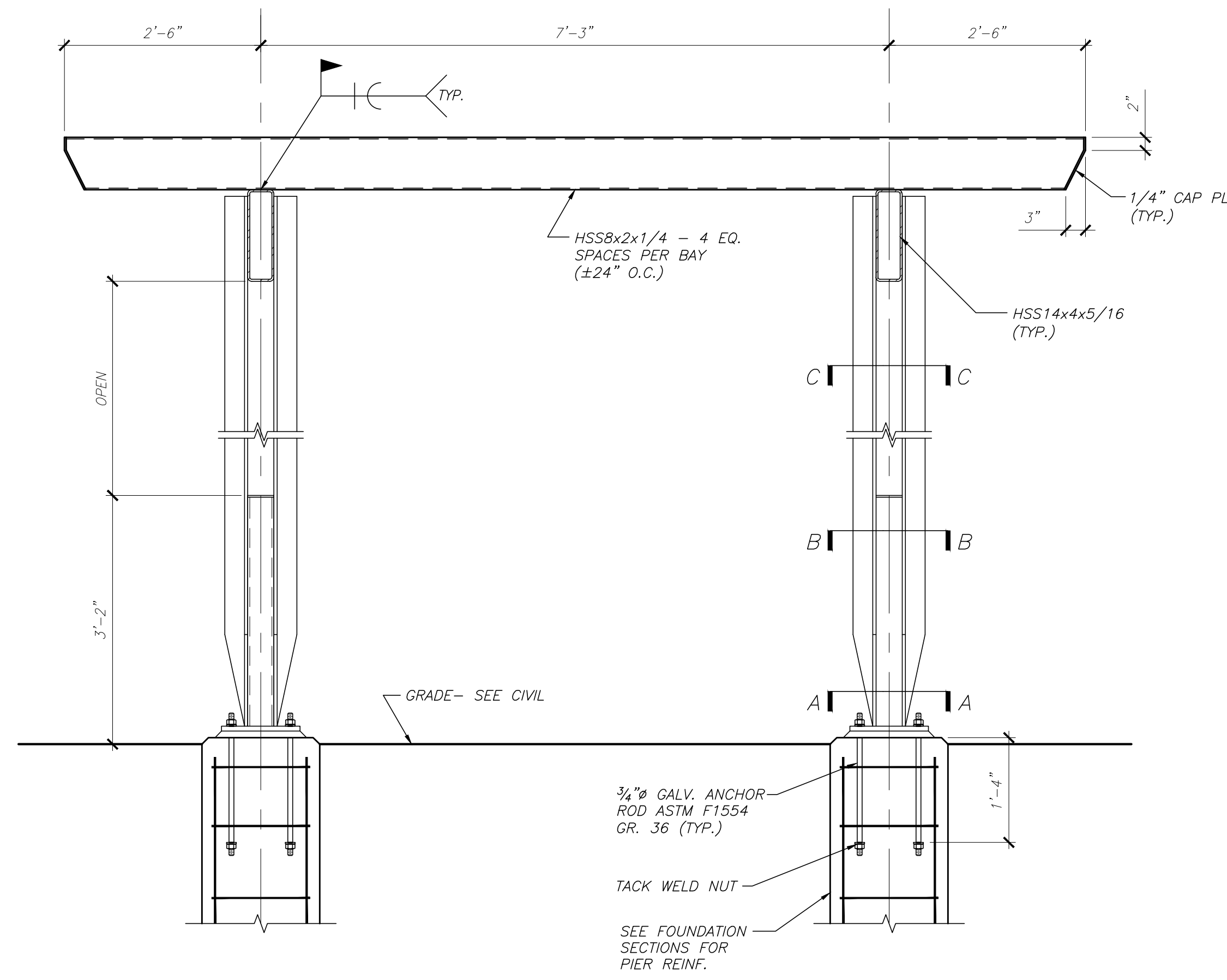
6 STRING LIGHT PIER SECTION - PAVERS



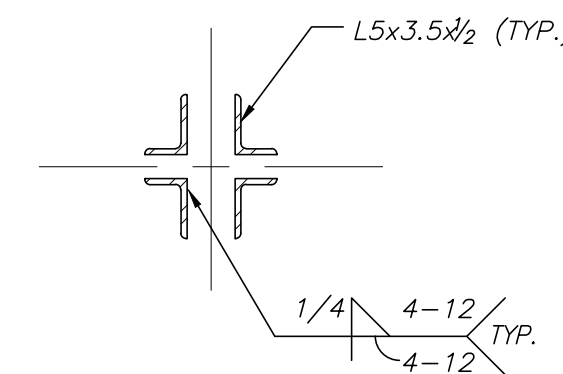
7 STRING LIGHT PIER SECTION - OTHER

NO.	DATE	DESCRIPTION

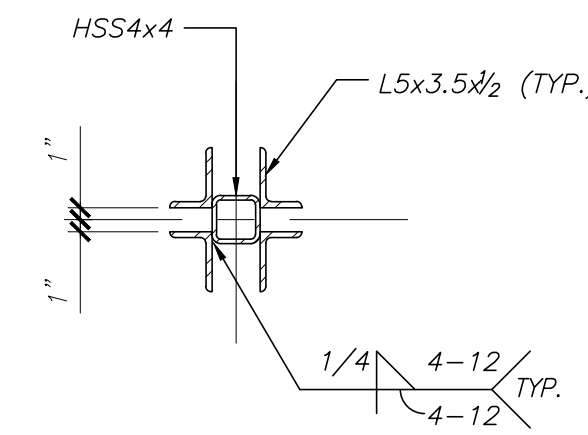




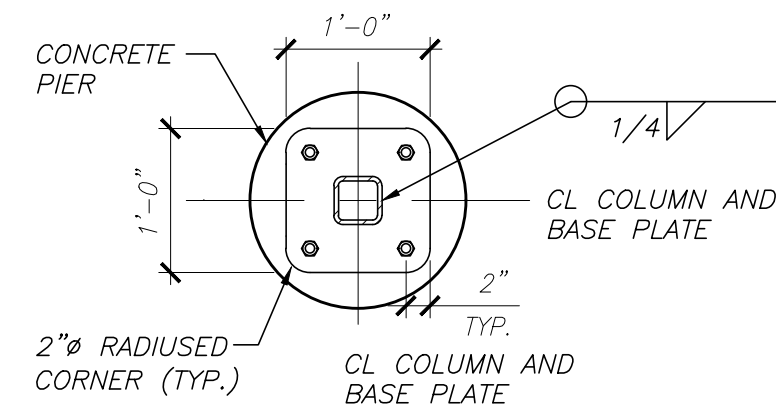
1
S3.1 TYP. TRELLIS SECTION



SECTION C-C

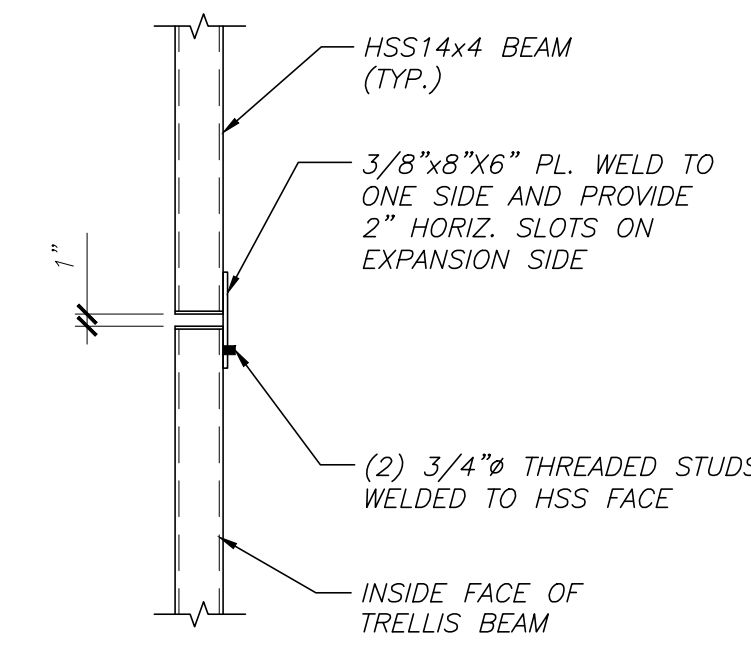


SECTION B-B

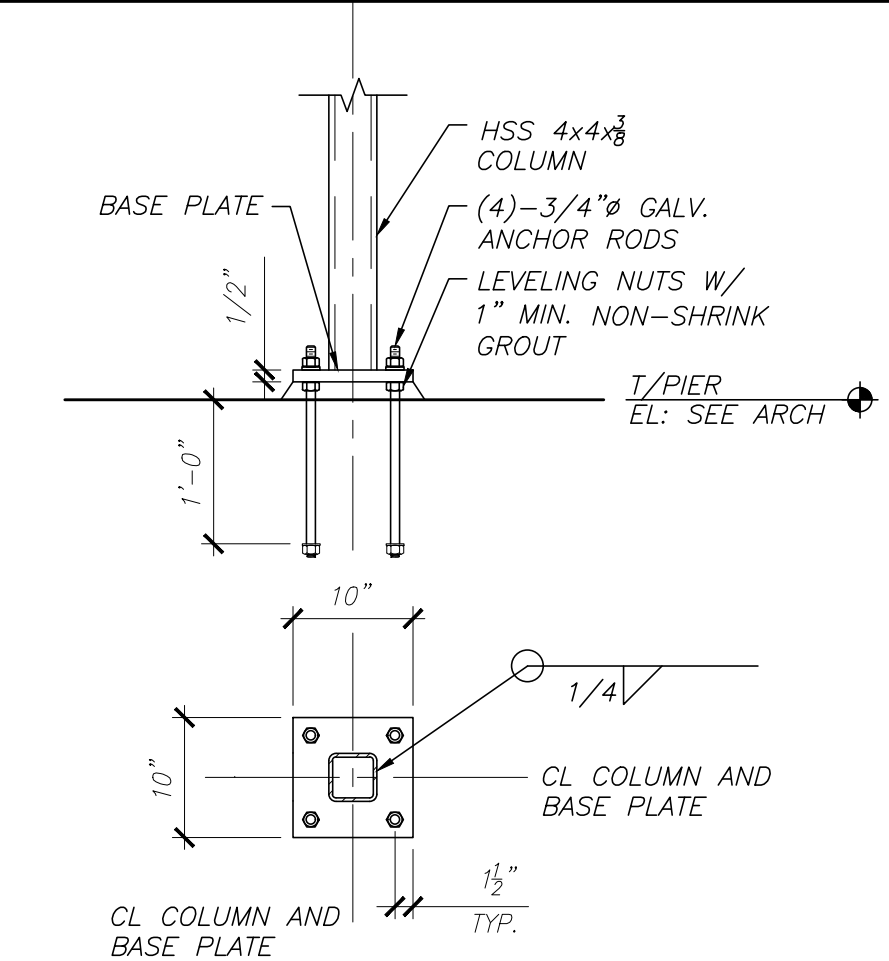


SECTION A-A

TRELLIS NOTES:
 1. ALL STEEL TO BE ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) CATEGORY 1, IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE (ANSI/AISC 303-16)
 2. SEE ARCH DRAWINGS FOR FINISHED COATING SPECIFICATIONS
 3. PROVIDE EXPANSION JOINT IN HSS14x4 BEAMS EVERY ±50' (AT MID-BAYS) PER PLAN. SEE 2/S3.1



2
S3.1 TRELLIS BEAM EXP. JOINT DETAIL



3
S3.1 STRING LIGHT BASE PLATE DETAIL

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REVISIONS		
NO.	DATE	DESCRIPTION

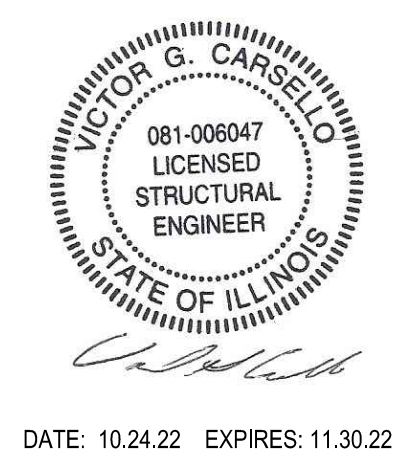
First Street Plaza Improvements
 City of St. Charles
 2 East Main Street
 St. Charles, Illinois 60174

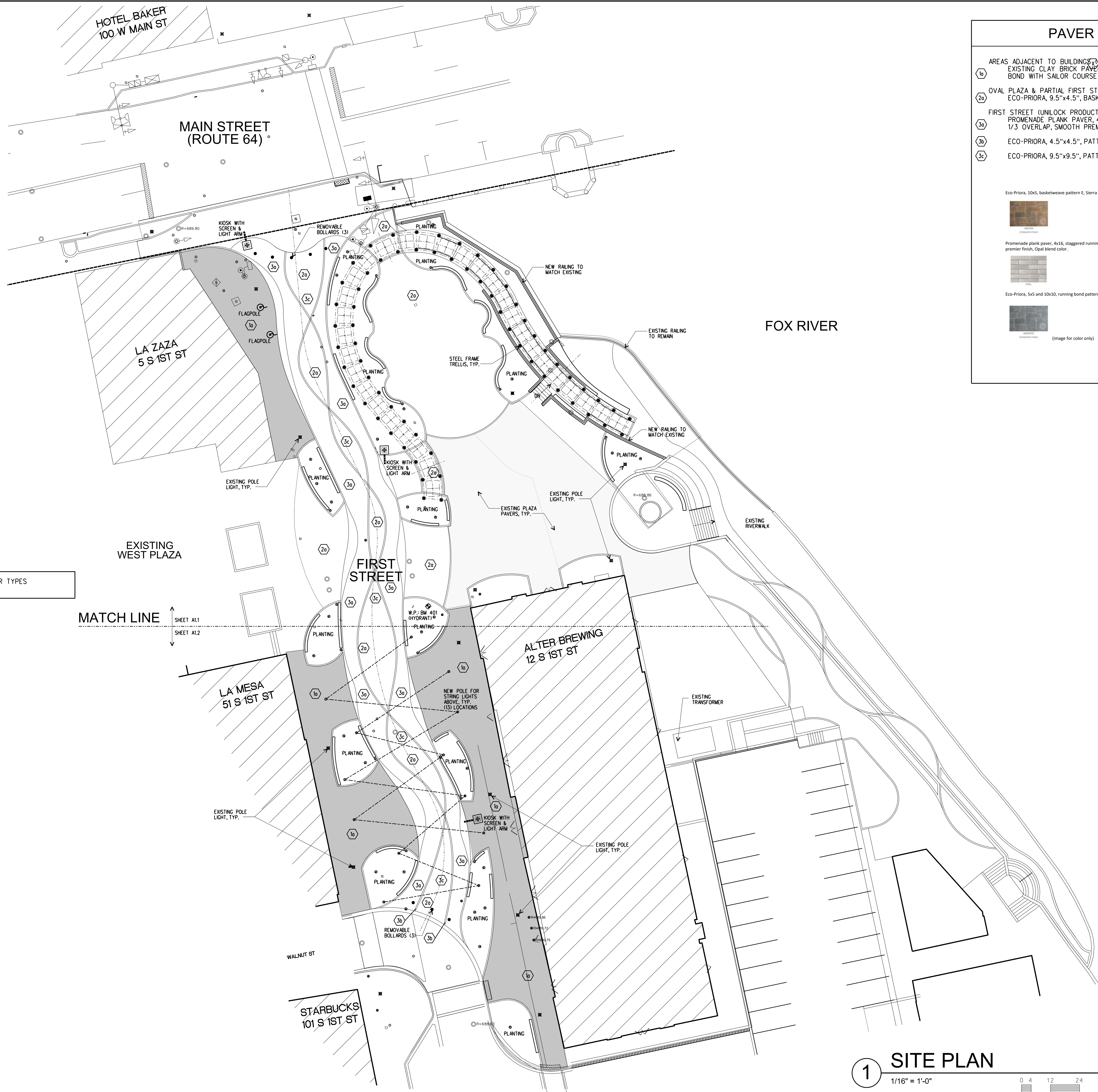
DRAWN BY: CHECKED BY:

SHEET TITLE

FRAMING DETAILS

PROJ. NO.:
2021.02.00
SHEET NO.:
S3.1
DATE:
10/24/22






NOTE: SEE SHEETS A1.1 AND A1.2 FOR PAVER TYPES DESIGNATIONS LEGEND AND PATTERNS.


PAVER LEGEND


AREAS ADJACENT TO BUILDINGS LA ZAZA'S, ALTER BREWING, LA MESA:
 (1a) EXISTING CLAY BRICK PAVERS, 4x8 (DARK VERSION), RUNNING BOND WITH SAILOR COURSE BORDER (DARK VERSION)

OVAL PLAZA & PARTIAL FIRST STREET (UNILOCK PRODUCTS):
 (2a) ECO-PRIORA, 9.5"x4.5", BASKETWEAVE PATTERN E, SIERRA COLOR

FIRST STREET (UNILOCK PRODUCTS):
 (3a) PROMENADE PLANK PAVER, 4"x16", STAGGERED RUNNING BOND WITH 1/3 OVERLAP, SMOOTH PREMIER FINISH, OPAL BLEND COLOR
 (3b) ECO-PRIORA, 4.5"x4.5", PATTERN B RUNNING BOND, GRANITE COLOR
 (3c) ECO-PRIORA, 9.5"x9.5", PATTERN B RUNNING BOND, GRANITE COLOR

Eco-Priora, 10x5, basketweave pattern E, Sierra color.


Promenade plank paver, 4x16, staggered running bond with 1/3 overlap pattern B, smooth premier finish, Opal blend color.


Eco-Priora, 5x5 and 10x10, running bond pattern B, Granite color.
 (image for color only)

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REVISIONS

NO.	DATE	DESCRIPTION

First Street Plaza Improvements
 City of St. Charles
 2 East Main Street
 St. Charles, Illinois 60174

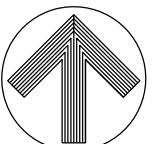
DRAWN BY: BRE/DAD	CHECKED BY: DAD
PROJ. ARCH: DAD	PROJ. MGR: MJS

SHEET TITLE
ARCHITECTURAL SITE PLAN

PROJ. NO.: 2021.09.00	SHEET NO. A1.0
DATE: 10/24/22	

1 SITE PLAN
 1/16" = 1'-0"

0 4 12 24 48



PAVER LEGEND

	EXISTING PAVERS TO REMAIN
	REINSTALL SALVAGED PAVERS
	REINSTALL SALVAGED CLAY BRICK PAVERS, 4"x8" (DARK VERSION), RUNNING BOND WITH SALOR COURSE BORDER
	UNBLOCK ECO-PRIORA, 9.5"x4.5", BASKETWEAVE PATTERN E, COLOR: SIERRA
	UNBLOCK PROMENADE PLANK, 4"x16", STAGGERED RUNNING BOND WITH 1/3 OVERLAP, SMOOTH PREMIER FINISH, COLOR: OPAL BLEND
	UNBLOCK ECO-PRIORA, 9.5"x4.5", PATTERN B RUNNING BOND, COLOR: GRANITE (ACCENT BAND, ONE COURSE WIDE)
	UNBLOCK ECO-PRIORA, 9.5"x9.5", PATTERN B RUNNING BOND, COLOR: GRANITE



LA ZAZA
5 S 1ST ST

FIRST STREET

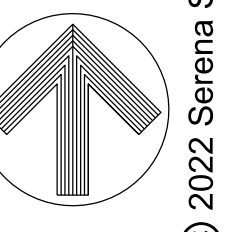
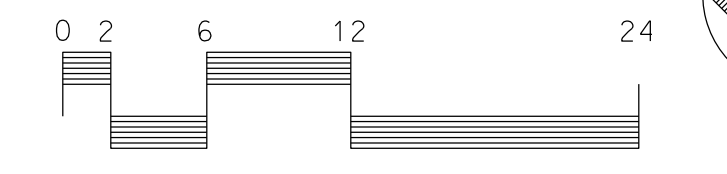
ALTER BREWING
12 S 1ST ST

MATCH LINE

SEE SHEET A1.2

1 PARTIAL SITE PLAN

1/8" = 1'-0"



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City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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PROJ. ARCH:	PROJ. MGR:
MJS	MJS

SHEET TITLE	
PARTIAL SITE PLAN - NORTH	
PROJ. NO.:	SHEET NO.:
2021.09.00	A1.1
DATE:	
10/24/22	

PAVER LEGEND

	EXISTING PAVERS TO REMAIN
	REINSTALL SALVAGED PAVERS
	REINSTALL SALVAGED CLAY BRICK PAVERS, 4"x8" (DARK VERSION), RUNNING BOND WITH SALOR COURSE BORDER
	UNLOCK, ECO-PRIORA, 9.5"x4.5", BASKETWEAVE PATTERN, COLOR: SIERRA
	UNLOCK, PROMENADE PLANK, 4"x16", STAGGERED RUNNING BOND WITH 1/3 OVERLAP, SMOOTH PREMIER FINISH, COLOR: OPAL BLEND
	UNLOCK, ECO-PRIORA, 4.5"x4.5", PATTERN B RUNNING BOND, COLOR: GRANITE (ACCENT BAND, ONE COURSE WIDE)
	UNLOCK, ECO-PRIORA, 9.5"x9.5", PATTERN B RUNNING BOND, COLOR: GRANITE

MATCH LINE SEE SHEET A1.1



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REVISIONS

NO.	DATE	DESCRIPTION

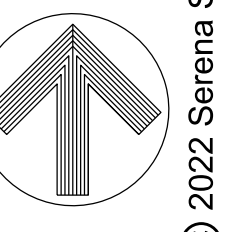
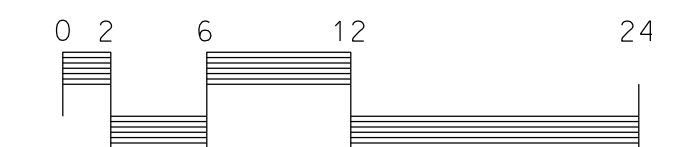
First Street Plaza Improvements
City of St. Charles
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PROJ. ARCH: DAD	PROJ. MGR: MJS

SHEET TITLE
PARTIAL SITE PLAN - SOUTH

PROJ. NO.: 2021.09.00	SHEET NO.: A1.2
DATE: 10/24/22	

1 PARTIAL SITE PLAN
1/8" = 1'-0"



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MAIN STREET
(ROUTE 64)

FOX RIVER

LA ZAZA
5 S 1ST ST

FOX RIVER

1ST ST

FIRST STREET

PV PANELS, RAIL-MOUNTED
ON TOP OF JOISTS
(2 PER TRELIS BAY)

STEEL TUBE JOISTS PER
STRUCTURAL DRAWINGS
(5 EQUAL SPACES PER BAY)

LIGHT FIXTURE MOUNTED
TO STEEL PLATE ON JOISTS

STEEL TUBE BEAMS PER
STRUCTURAL DRAWINGS

EXISTING
RIVERWALK

MATCH LINE

ALTER BREWING
12 S 1ST ST

GENERAL NOTES

A. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

CONSULTANTS

REVISIONS		
NO.	DATE	DESCRIPTION

First Street Plaza Improvements

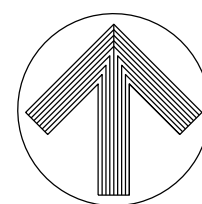
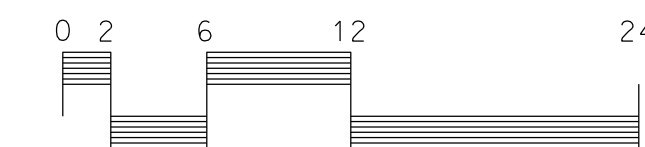
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

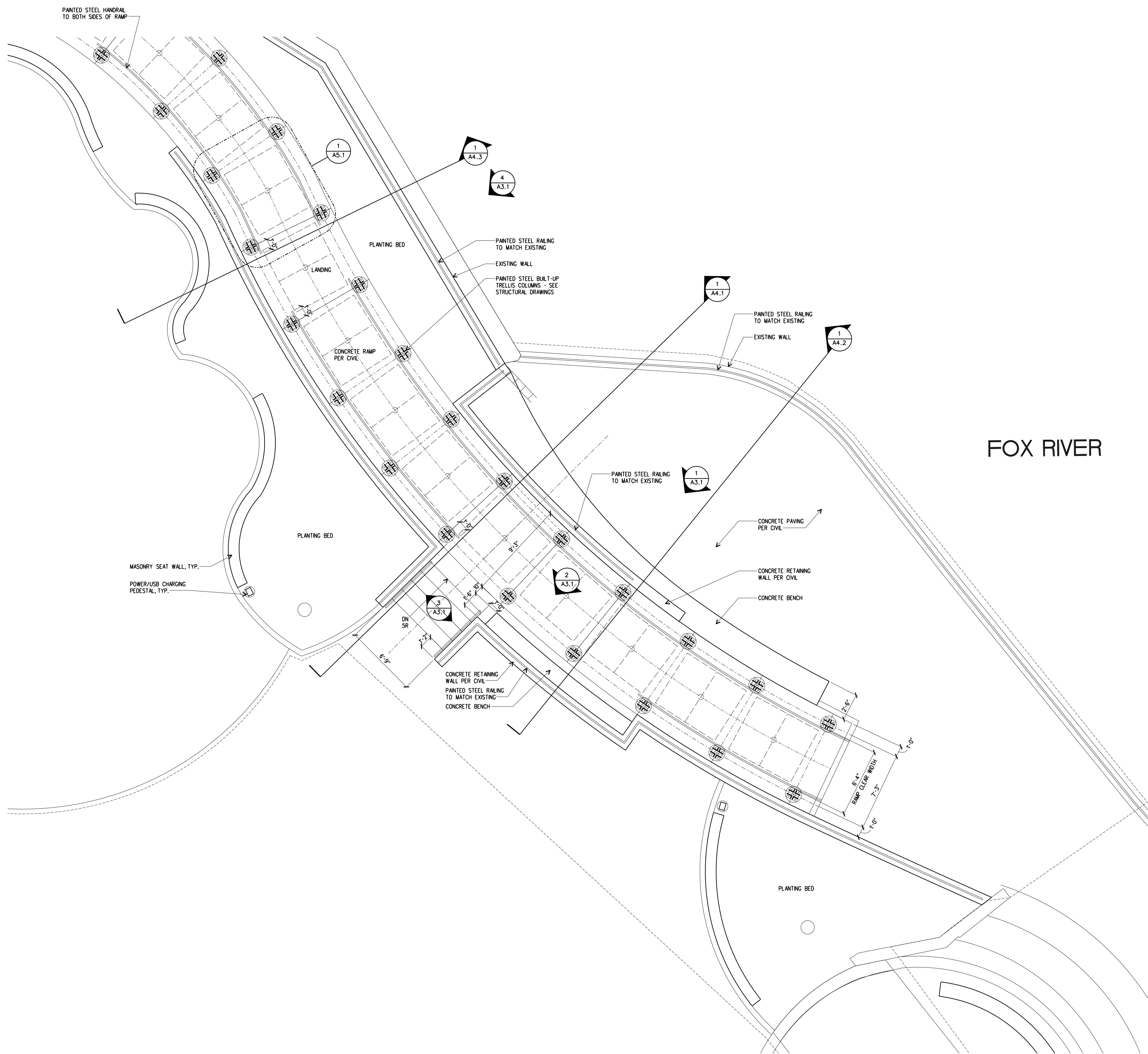
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PROJ. ARCH: DAD	PROJ. MGR: MJS

SHEET TITLE TRELIS JOISTS PLAN	
PROJ. NO.: 2021.09.00	SHEET NO. A1.3
DATE: 10/24/22	

1 PARTIAL SITE PLAN

1/8" = 1'-0"





1 ENLARGED PLAN - STAIR & BENCHES
 1/4" = 1'-0"
 0 1 3 6 12

FOX RIVER

CONSULTANTS

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 City of St. Charles
 2 East Main Street
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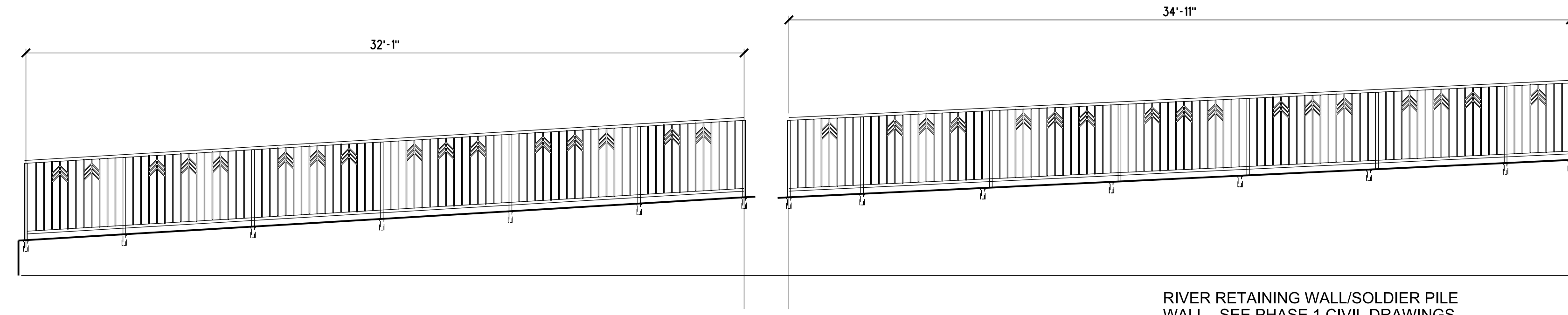
SHEET TITLE ENLARGED PLAN	
PROJ. NO.: 2021.09.00	SHEET NO. A1.4
DATE: 10/24/22	

NO.	DATE	DESCRIPTION

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PROJ. MGR:	MJS

SHEET TITLE	
ELEVATIONS - RAILINGS	
PROJ. NO.:	SHEET NO.
2021.09.00	A3.1
DATE:	
10/24/22	

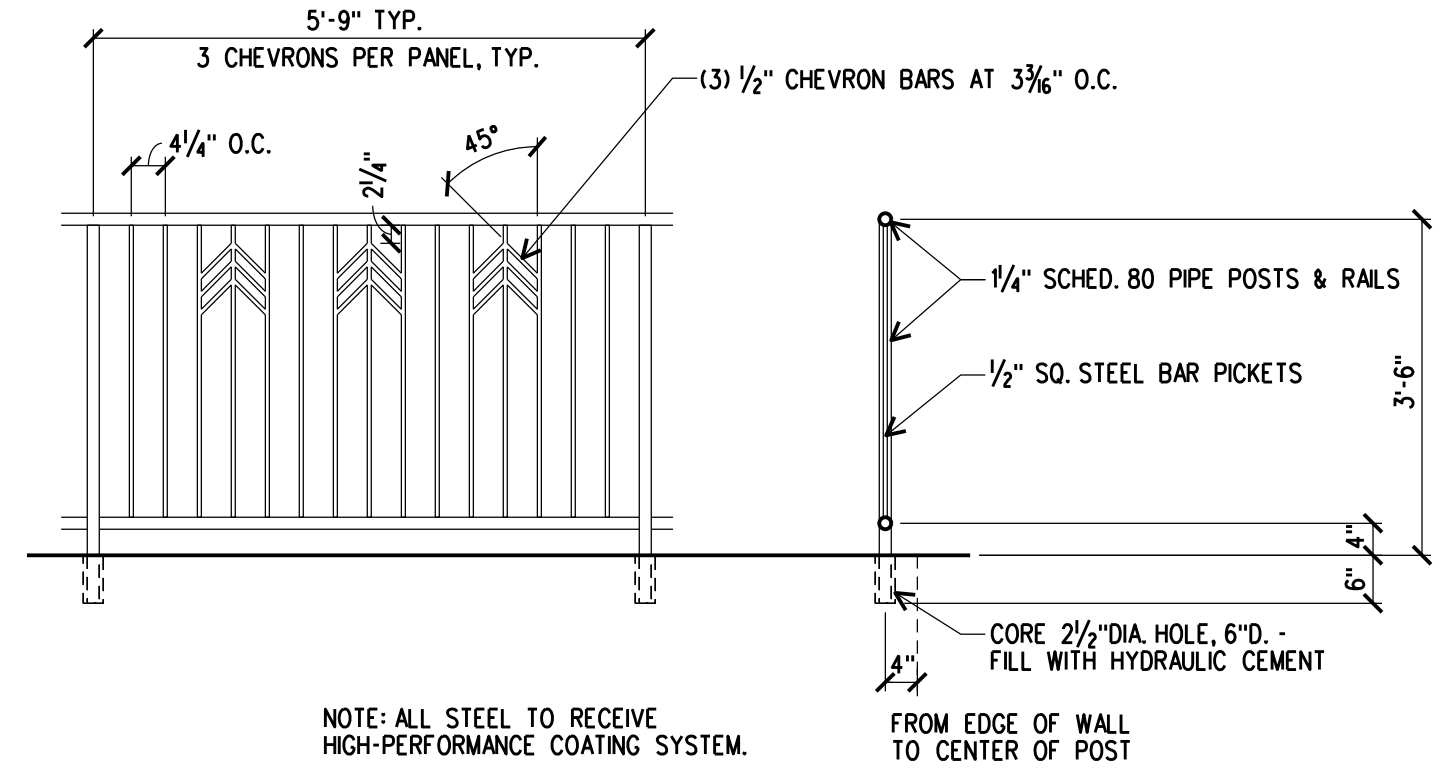
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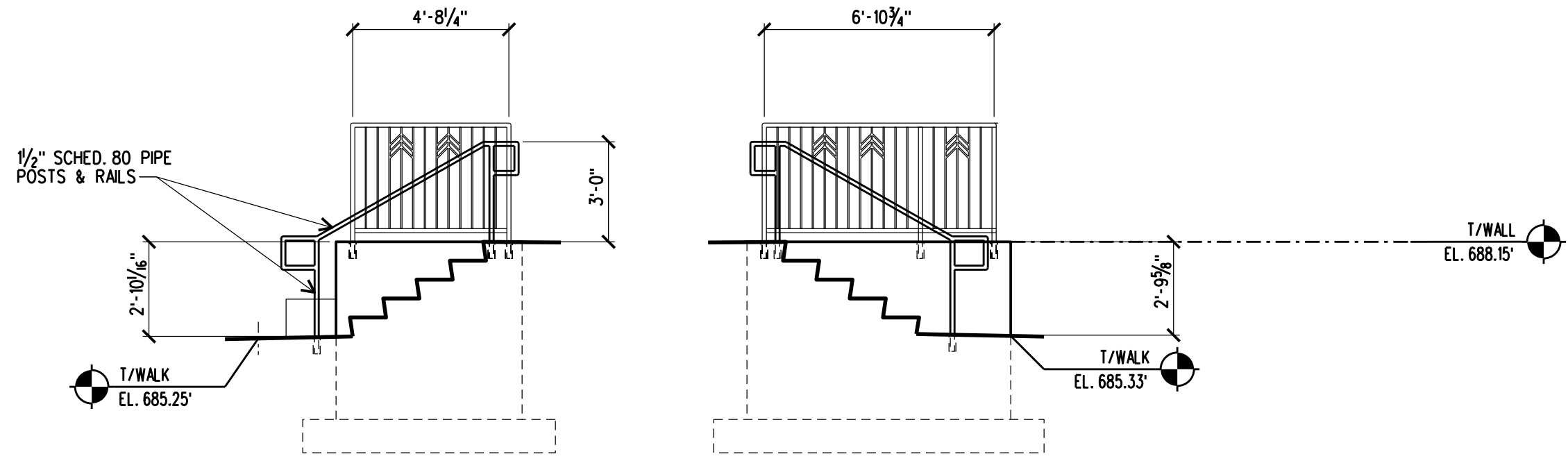
RIVER RETAINING WALL/SOLDIER PILE WALL - SEE PHASE 1 CIVIL DRAWINGS
NOTE: VERIFY ALL TOP OF WALL ELEVATIONS AND WALL LENGTHS WITH CIVIL DRAWINGS.

4 ELEVATION - RAILING AT RIVER RETAINING WALL/SOLDIER PILE WALL

1/4" = 1'-0" 0 1 3 6 12



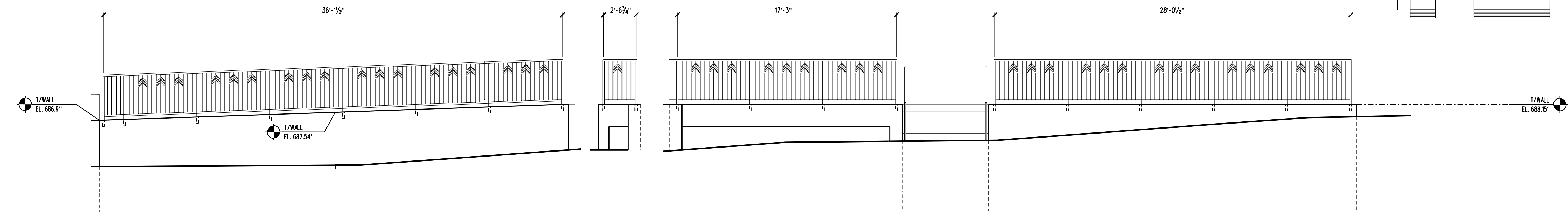
NOTE: ALL STEEL TO RECEIVE HIGH-PERFORMANCE COATING SYSTEM.
TYPICAL RAILING DETAILS
1/2" = 1'-0"



WALL C - SEE CIVIL STRUCTURAL DRAWINGS
WALL B - SEE CIVIL STRUCTURAL DRAWINGS
NOTE: VERIFY ALL TOP OF WALL ELEVATIONS AND WALL LENGTHS WITH CIVIL DRAWINGS.

3 ELEVATION - RAILINGS AT STAIR (WALLS B & C)

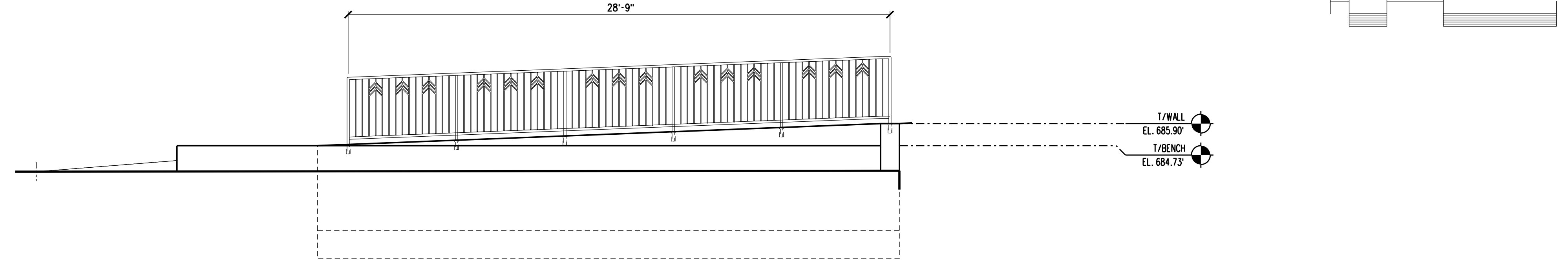
1/4" = 1'-0" 0 1 3 6 12



WALL C - SEE CIVIL STRUCTURAL DRAWINGS
WALL B - SEE CIVIL STRUCTURAL DRAWINGS
NOTE: VERIFY ALL TOP OF WALL ELEVATIONS AND WALL LENGTHS WITH CIVIL DRAWINGS.

2 ELEVATION - RAILINGS AT RETAINING WALLS (WALL B & C)

1/4" = 1'-0" 0 1 3 6 12



WALL A - SEE CIVIL STRUCTURAL DRAWINGS
NOTE: VERIFY ALL TOP OF WALL ELEVATIONS AND WALL LENGTHS WITH CIVIL DRAWINGS.

1 ELEVATION - RAILING AT RETAINING WALL/BENCH (WALL A)

1/4" = 1'-0" 0 1 3 6 12

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REVISIONS

NO.	DATE	DESCRIPTION

First Street Plaza Improvements

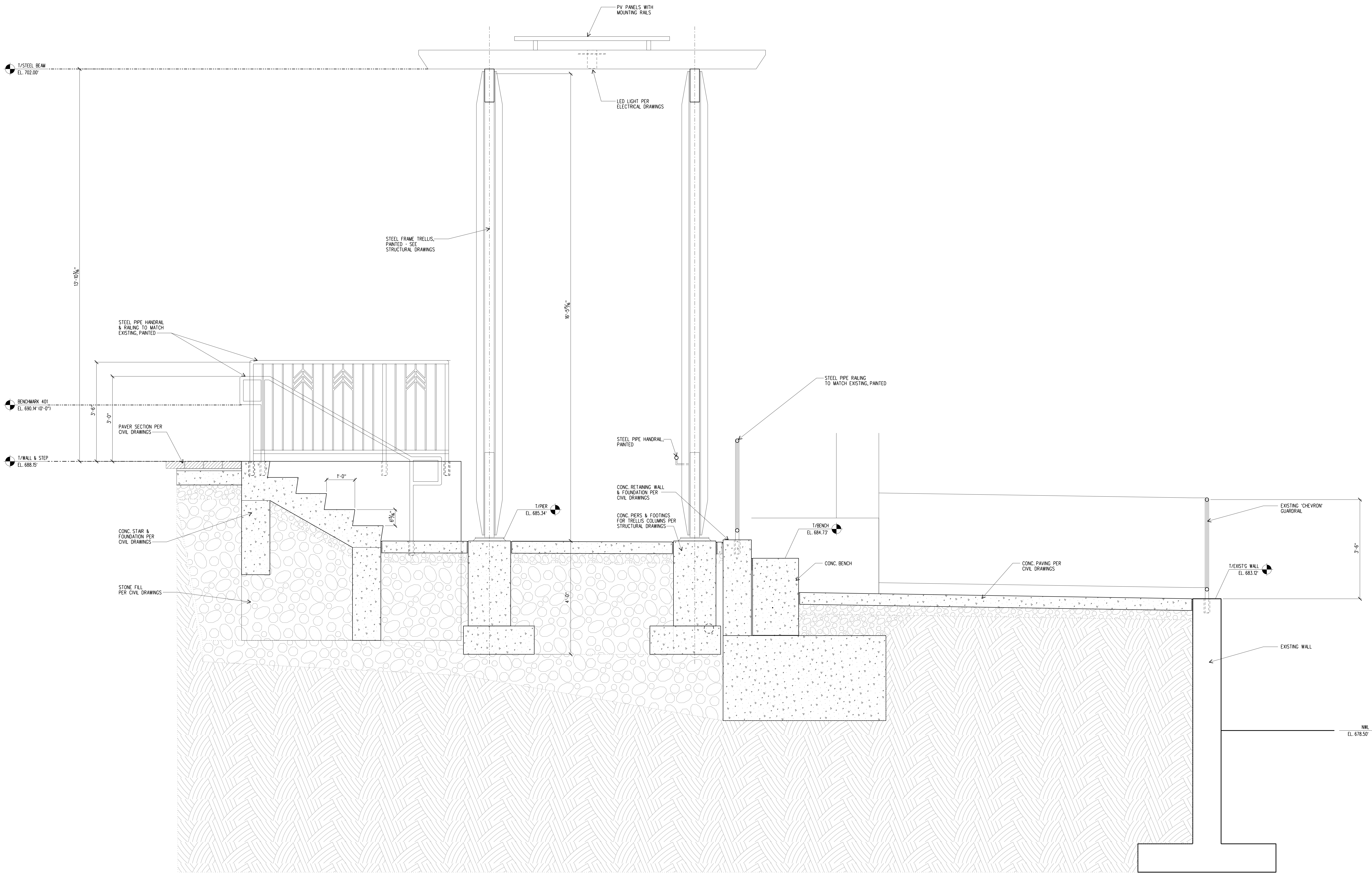
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

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	PROJ. MGR:
	MJS

SHEET TITLE
SECTION AT STAIR & BENCH

PROJ. NO.:	SHEET NO.:
2021.09.00	A4.1
DATE:	
10/24/22	

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1 SECTION
3/4" = 1'-0"
0 6" 1 2 4

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NO.	DATE	DESCRIPTION

First Street Plaza Improvements

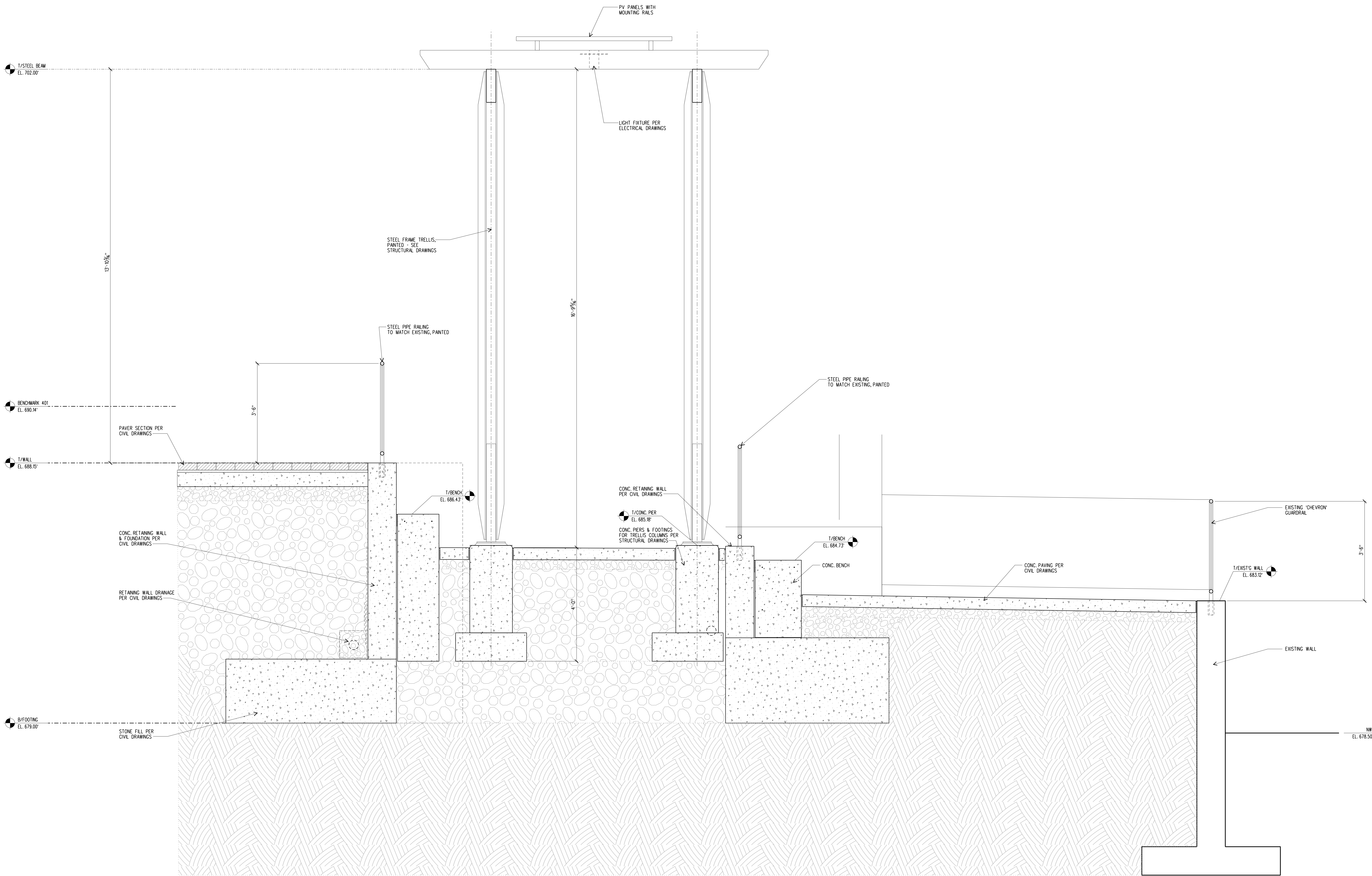
City of St. Charles
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DRAWN BY:	CHECKED BY:
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	PROJ. MGR:
	MJS

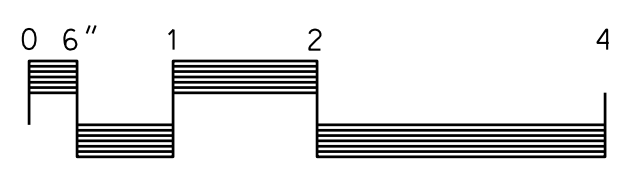
SHEET TITLE
**SECTION AT
RETAINING WALLS
& BENCHES**

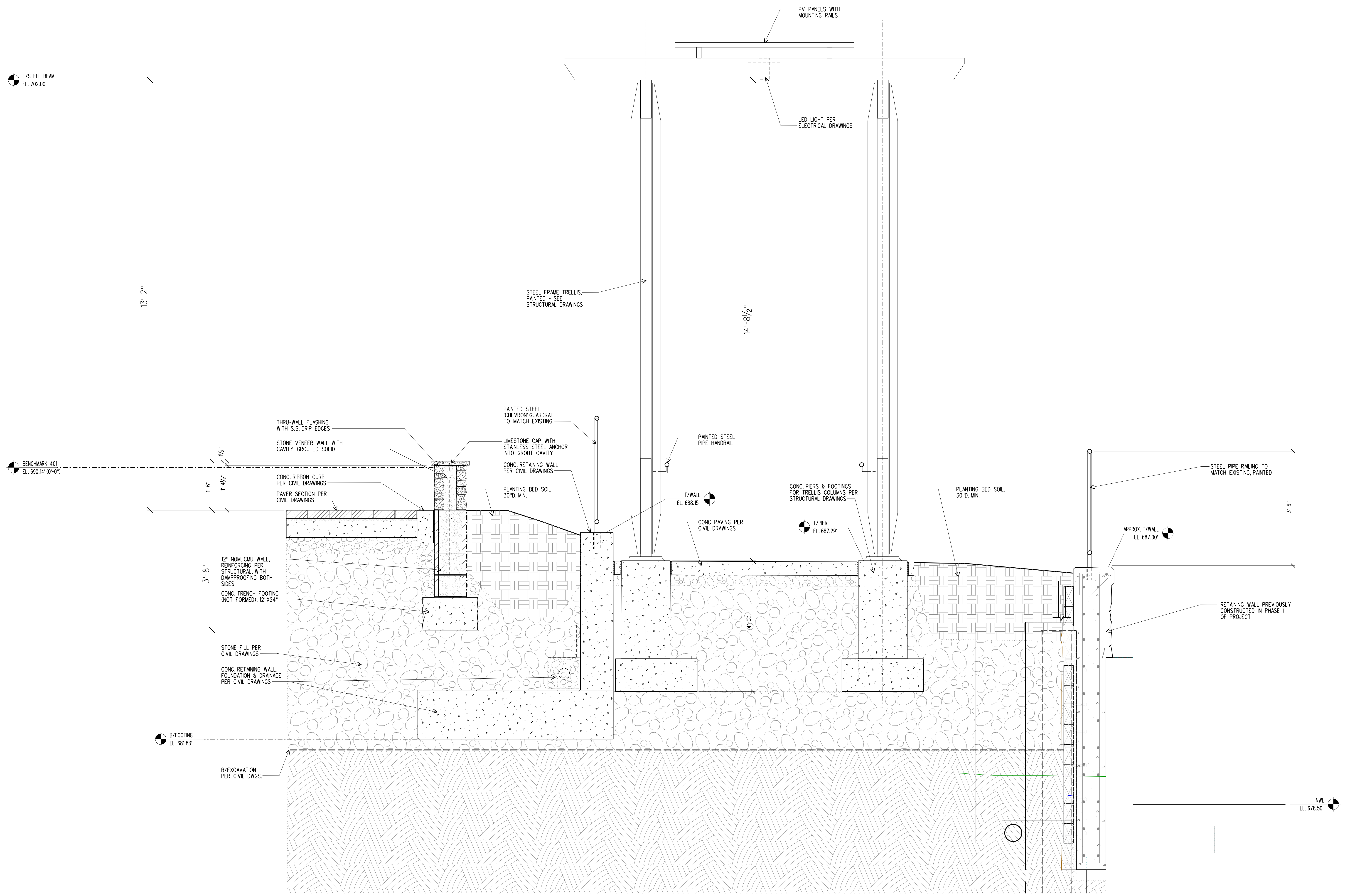
PROJ. NO.:	SHEET NO.:
2021.09.00	A4.2
DATE:	
10/24/22	

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1 SECTION
3/4" = 1'-0"





1 SECTION
 3/4" = 1'-0"
 0 6" 1 2 4

CONSULTANTS

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NO.	DATE	DESCRIPTION

First Street Plaza Improvements
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 2 East Main Street
 St. Charles, Illinois 60174

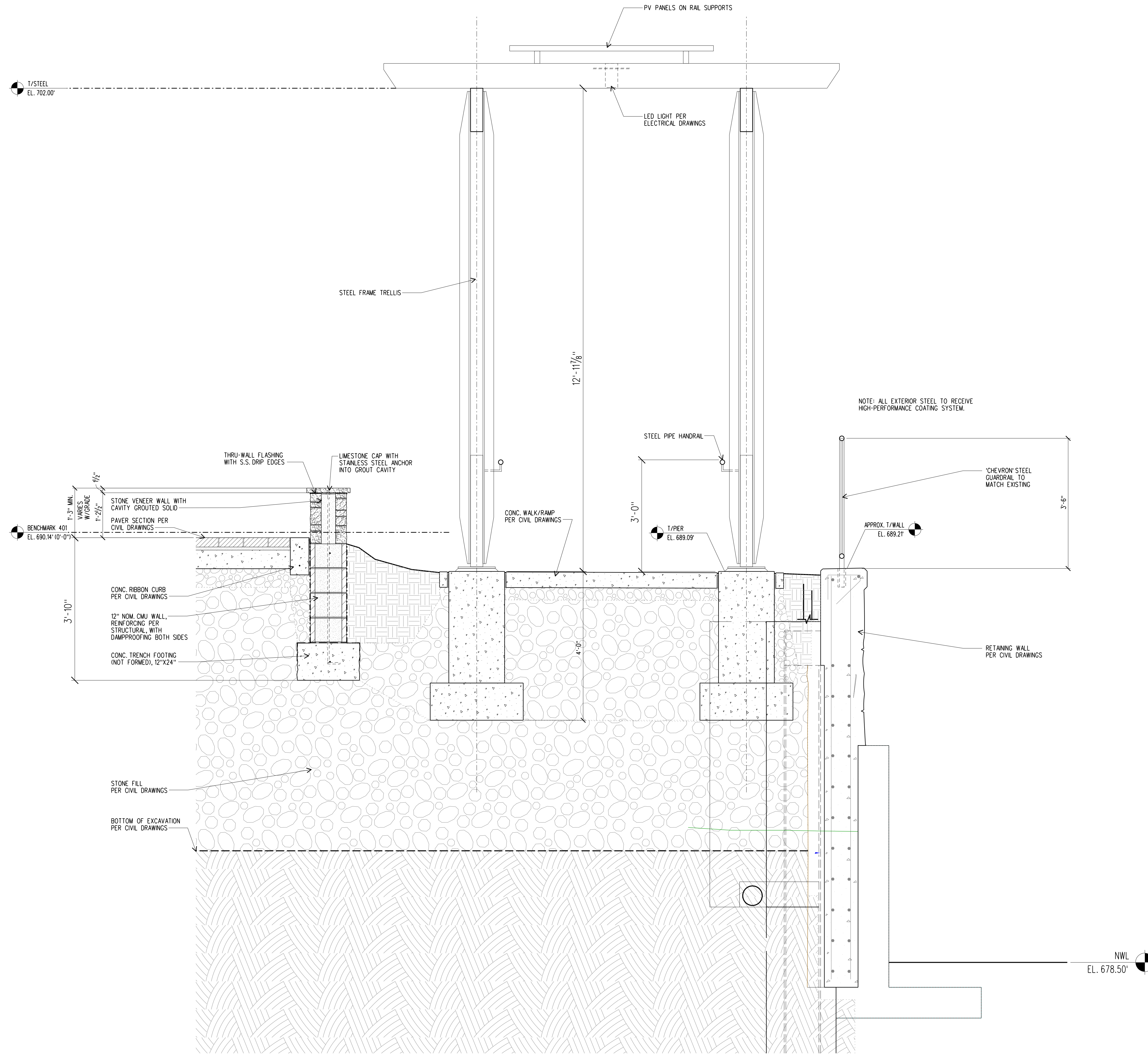
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CRD/DAD	DAD
PROJ. ARCH:	PROJ. MGR:
DAD	MJS

SHEET TITLE

SECTION AT RETAINING WALL & LANDING

PROJ. NO.:	SHEET NO.:
2021.09.00	A4.3
DATE:	
10/24/22	

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1 SECTION
 3/4" = 1'-0"
 0 6" 1 2 4

CONSULTANTS

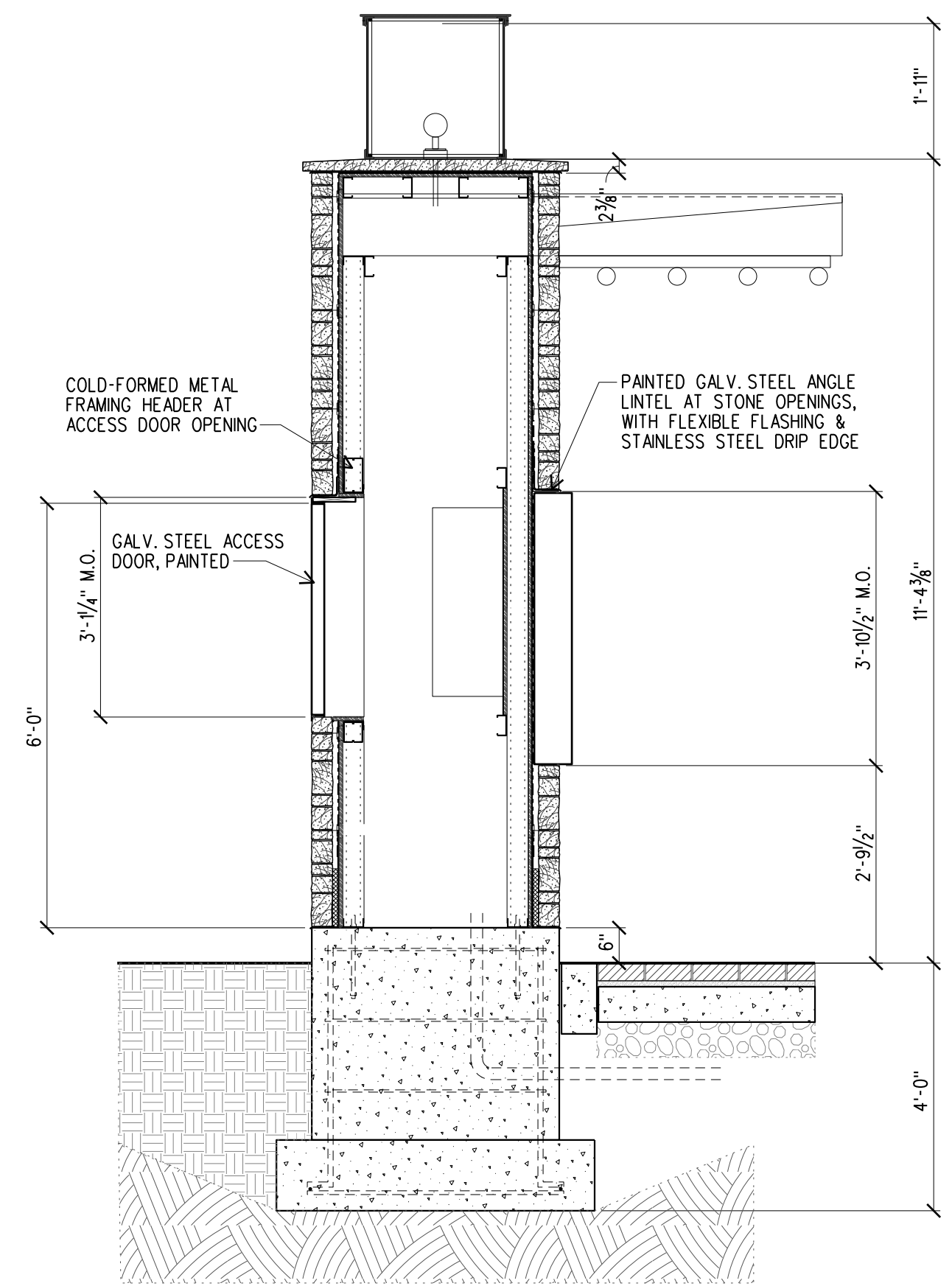
REVISIONS		
NO.	DATE	DESCRIPTION

First Street Plaza Improvements
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 St. Charles, Illinois 60174

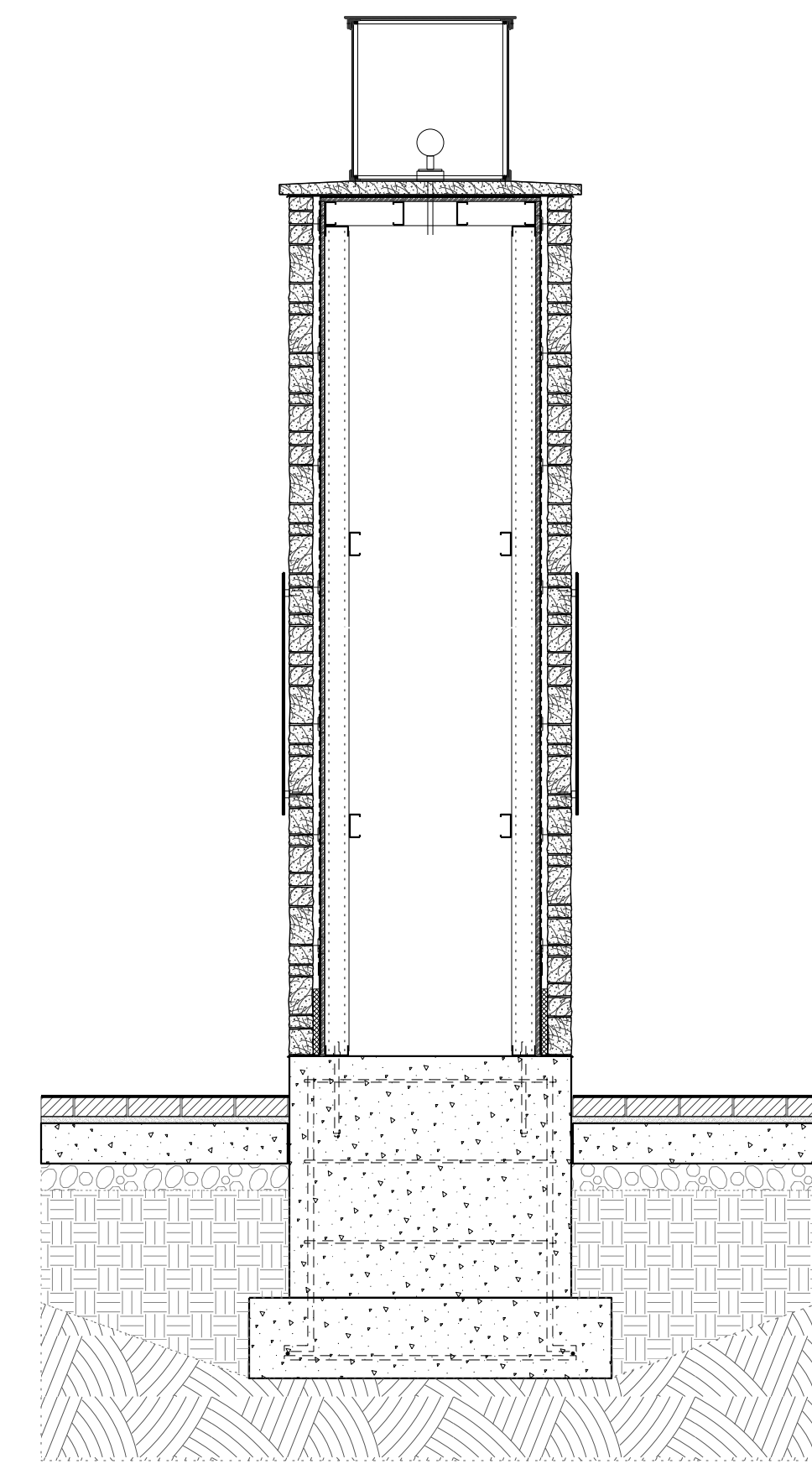
DRAWN BY:	CHECKED BY:
KR/DAD	DAD
	PROJ. MGR:
	MJS

SHEET TITLE	
SECTION AT RAMP LANDING	
PROJ. NO.:	SHEET NO.
2021.09.00	A4.4
DATE:	
10/24/22	

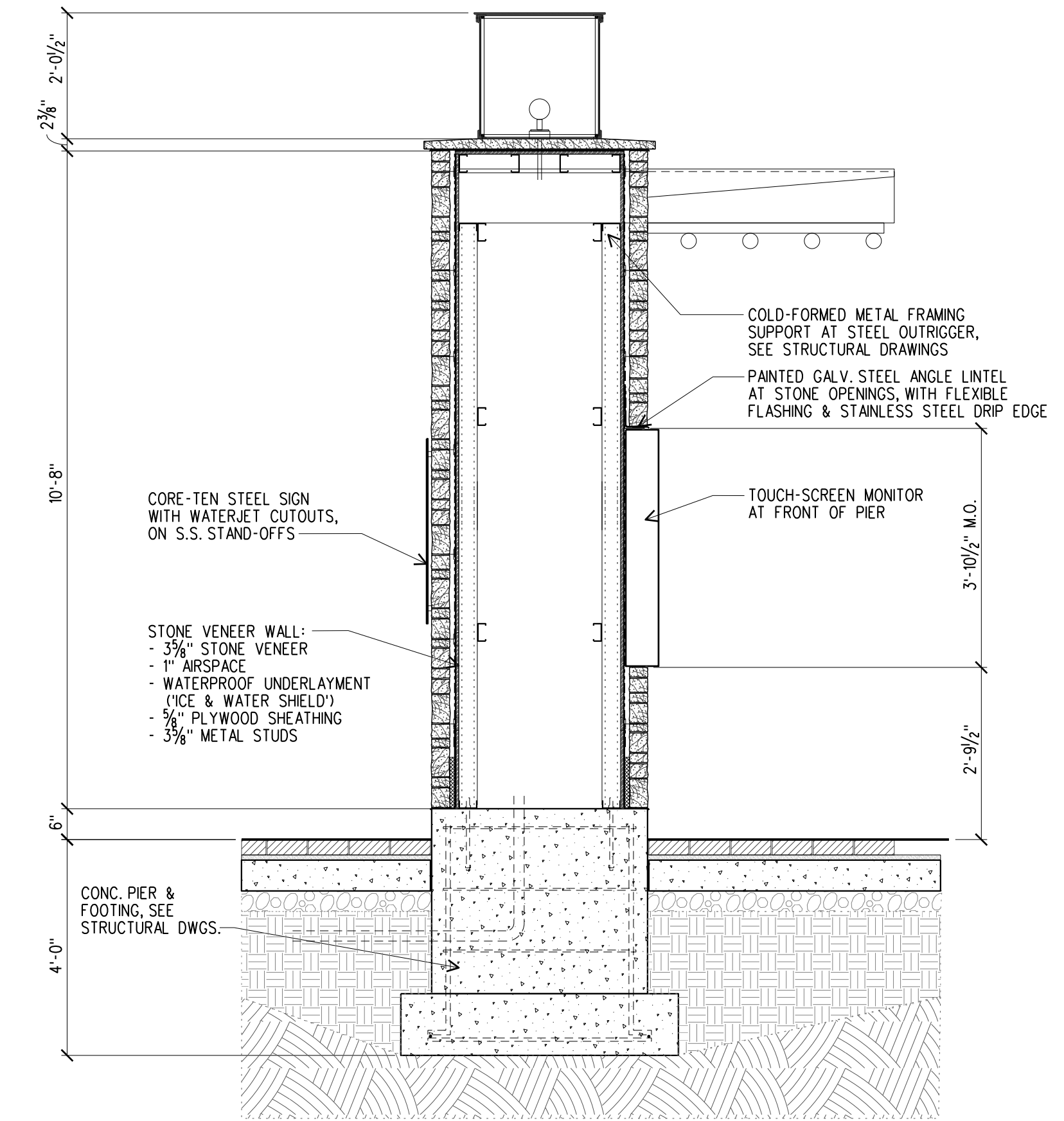
REVISIONS		
NO.	DATE	DESCRIPTION



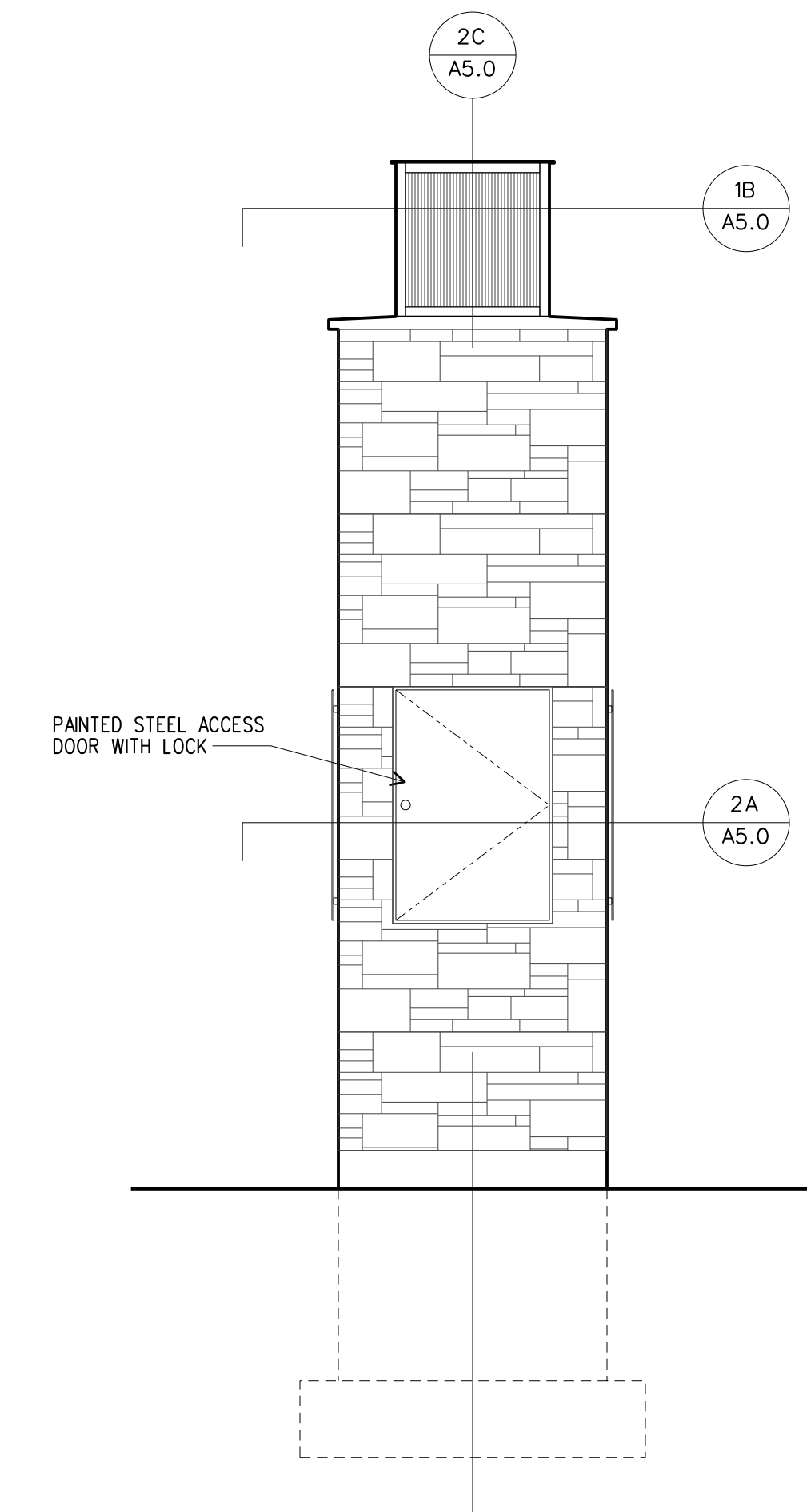
2C - WALL SECTION



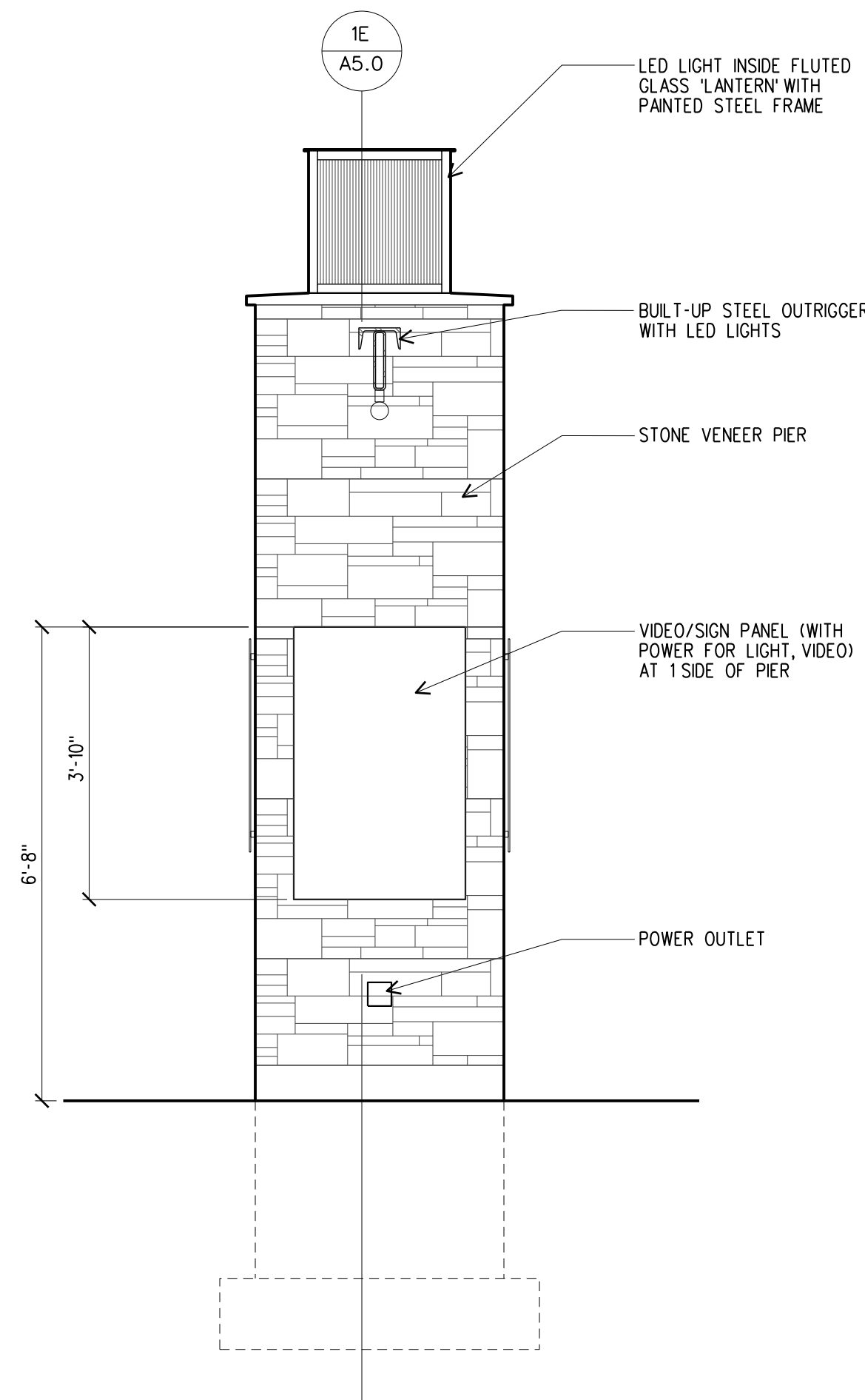
1F - WALL SECTION



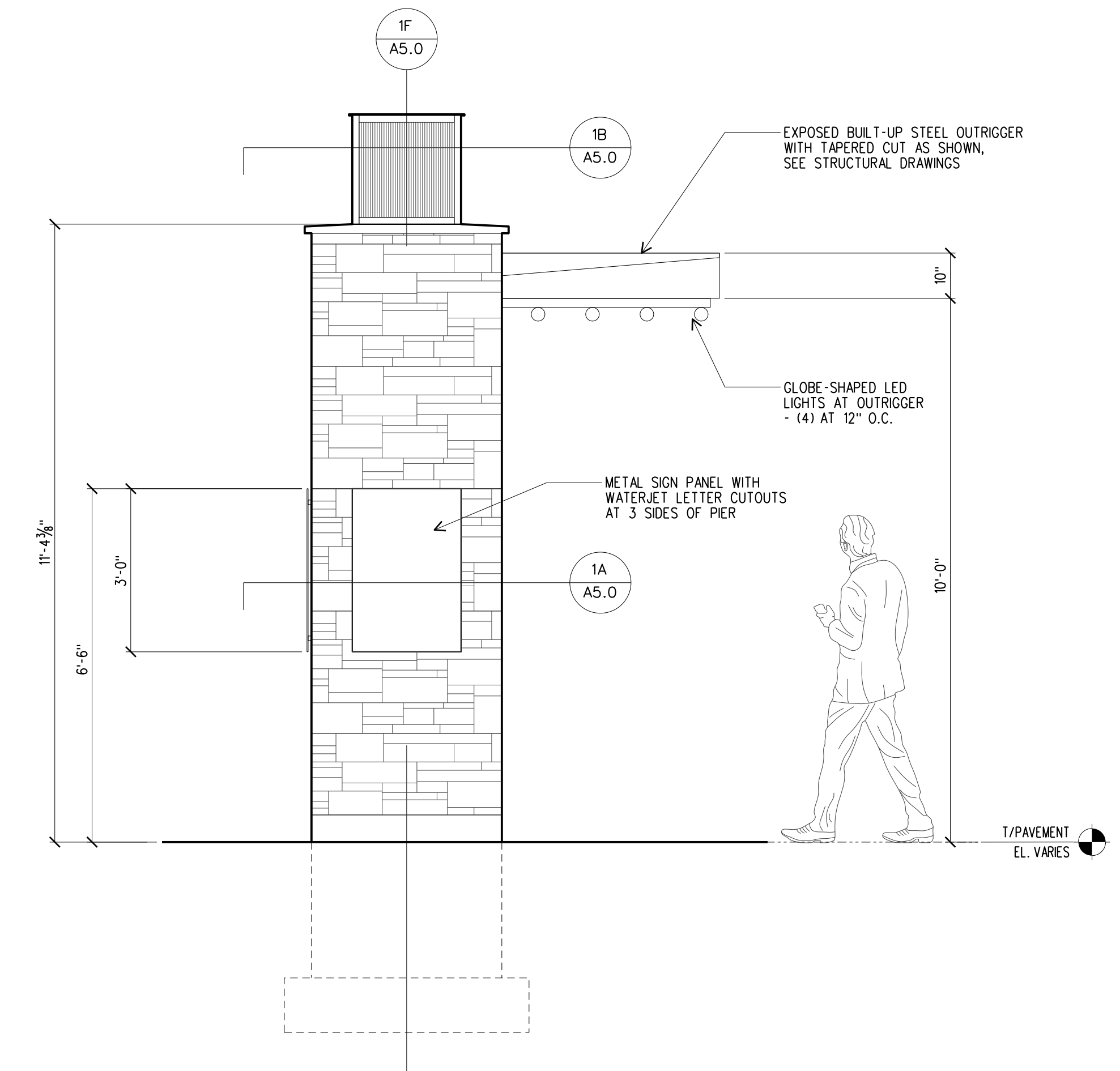
1E - WALL SECTION



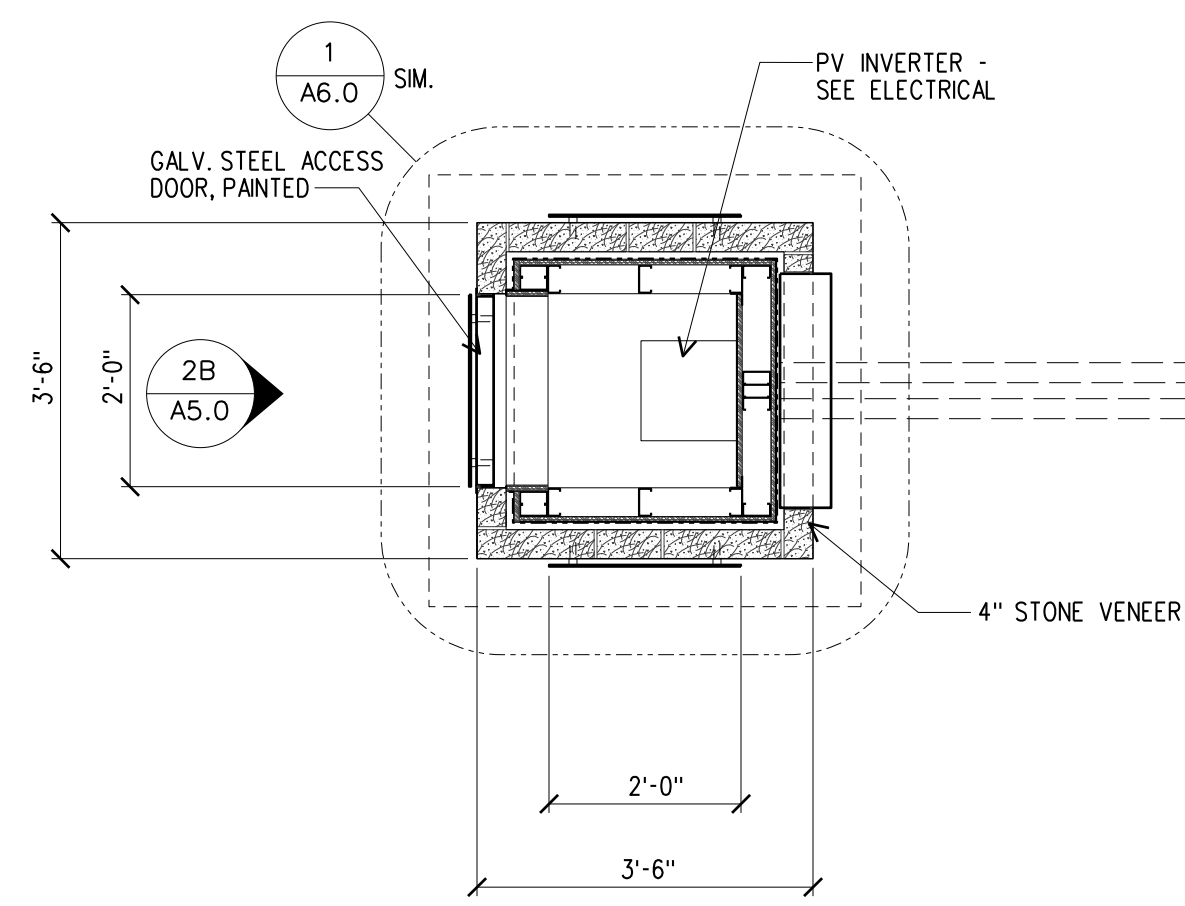
2B - ELEVATION



1D - ELEVATION

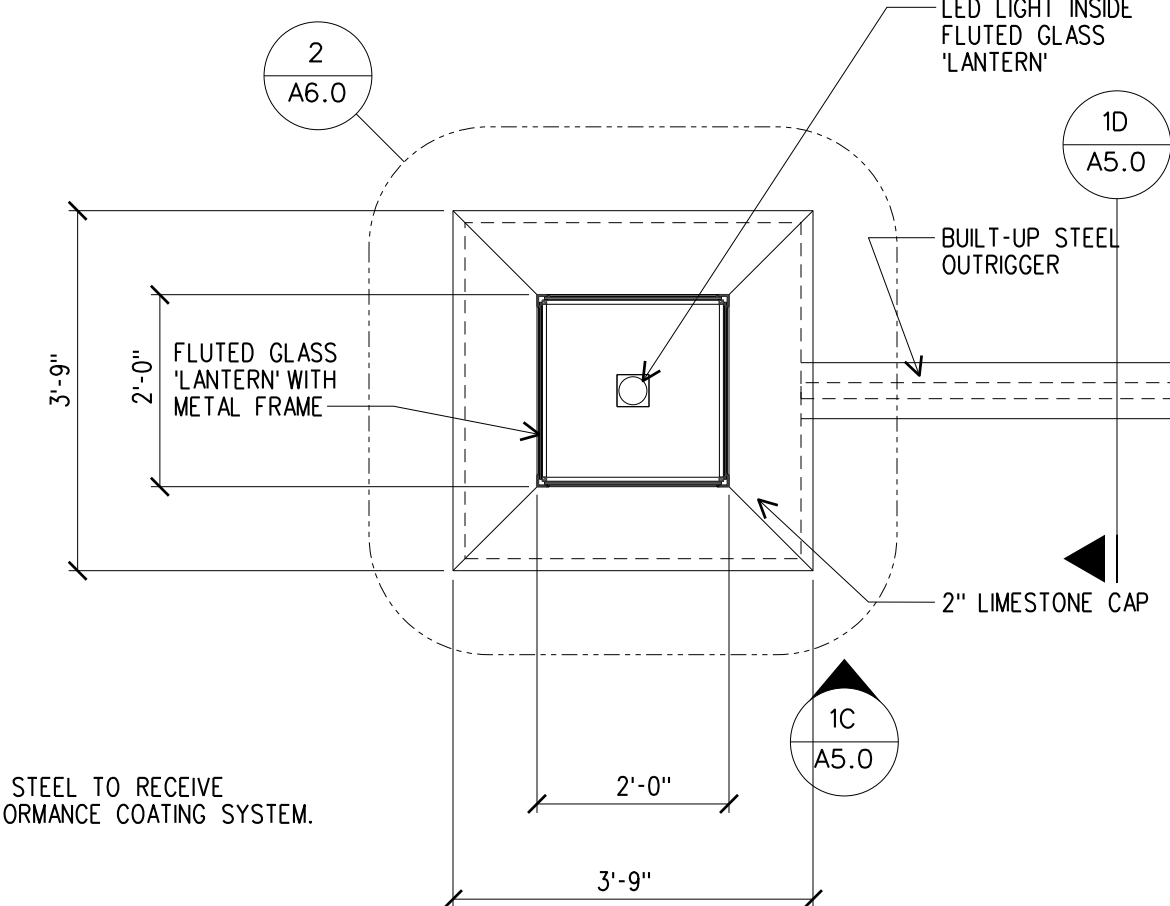


1C - ELEVATION

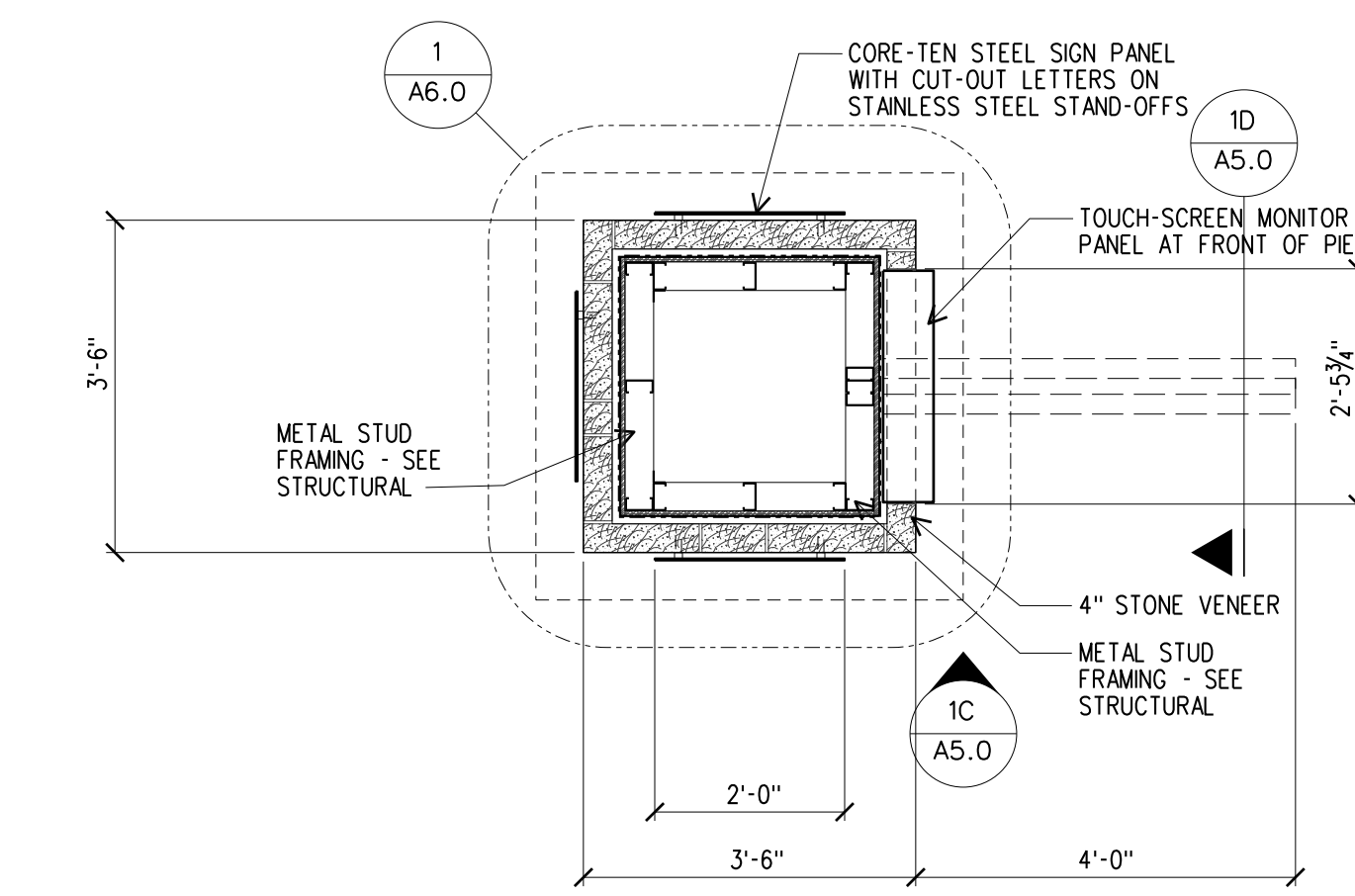


2A - PLAN

NOTE: ALL STEEL TO RECEIVE HIGH-PERFORMANCE COATING SYSTEM.

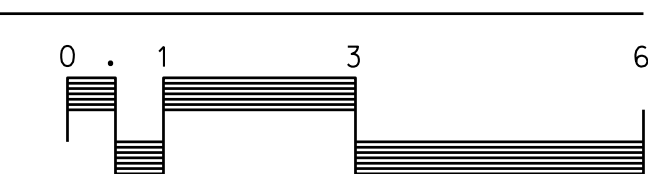


1B - PLAN SECTION

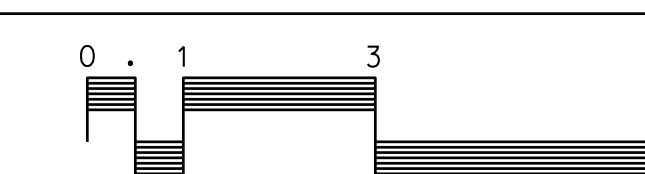


1A - PLAN SECTION

2 KIOSK TYPE 2
1/2" = 1'-0"



1 KIOSK TYPE 1
1/2" = 1'-0"

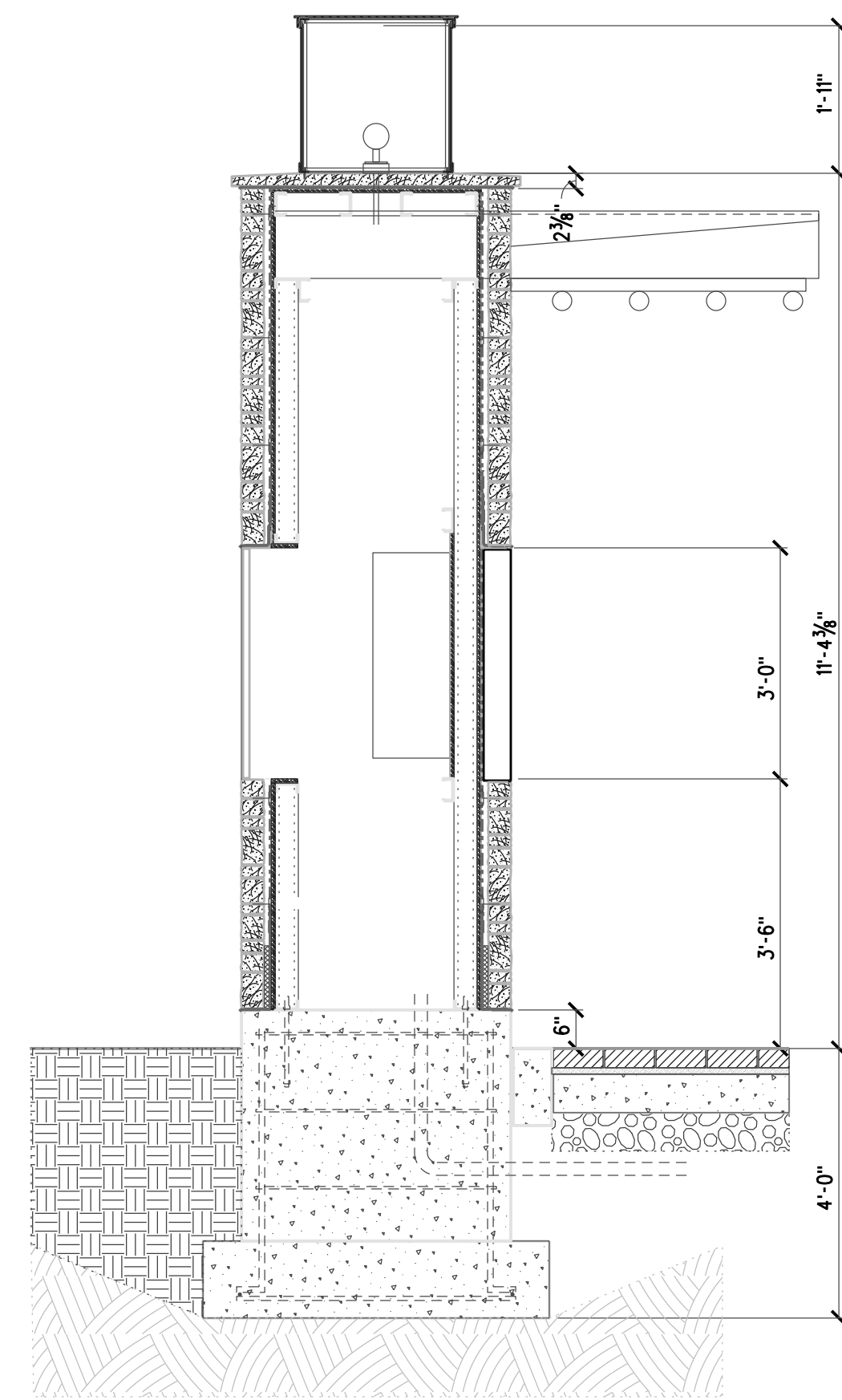


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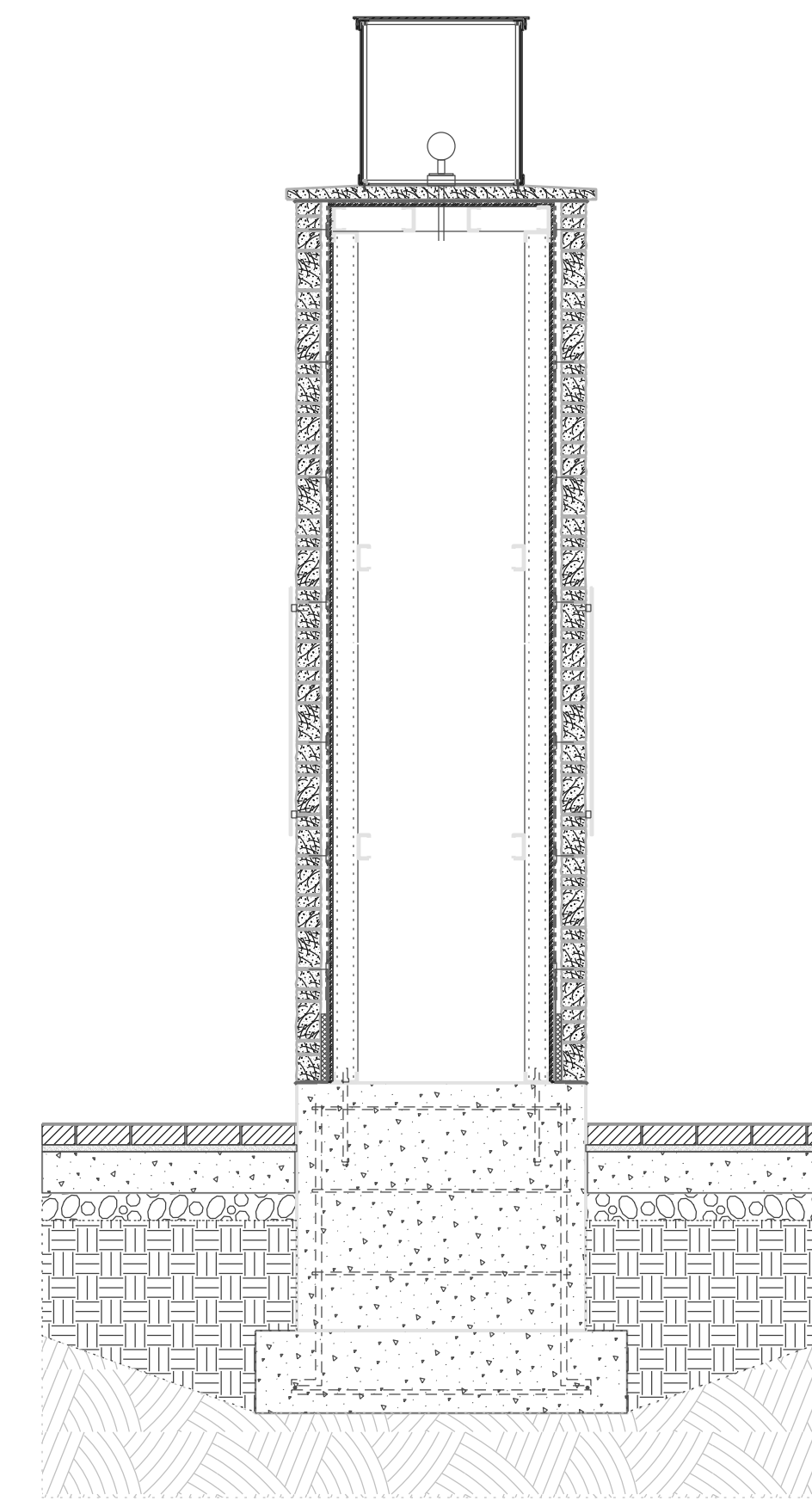
SHEET TITLE
**KIOSKS - PLANS
ELEVATIONS
& SECTIONS**

PROJ. NO.:	SHEET NO.
2021.09.00	A5.0
DATE:	10/24/22

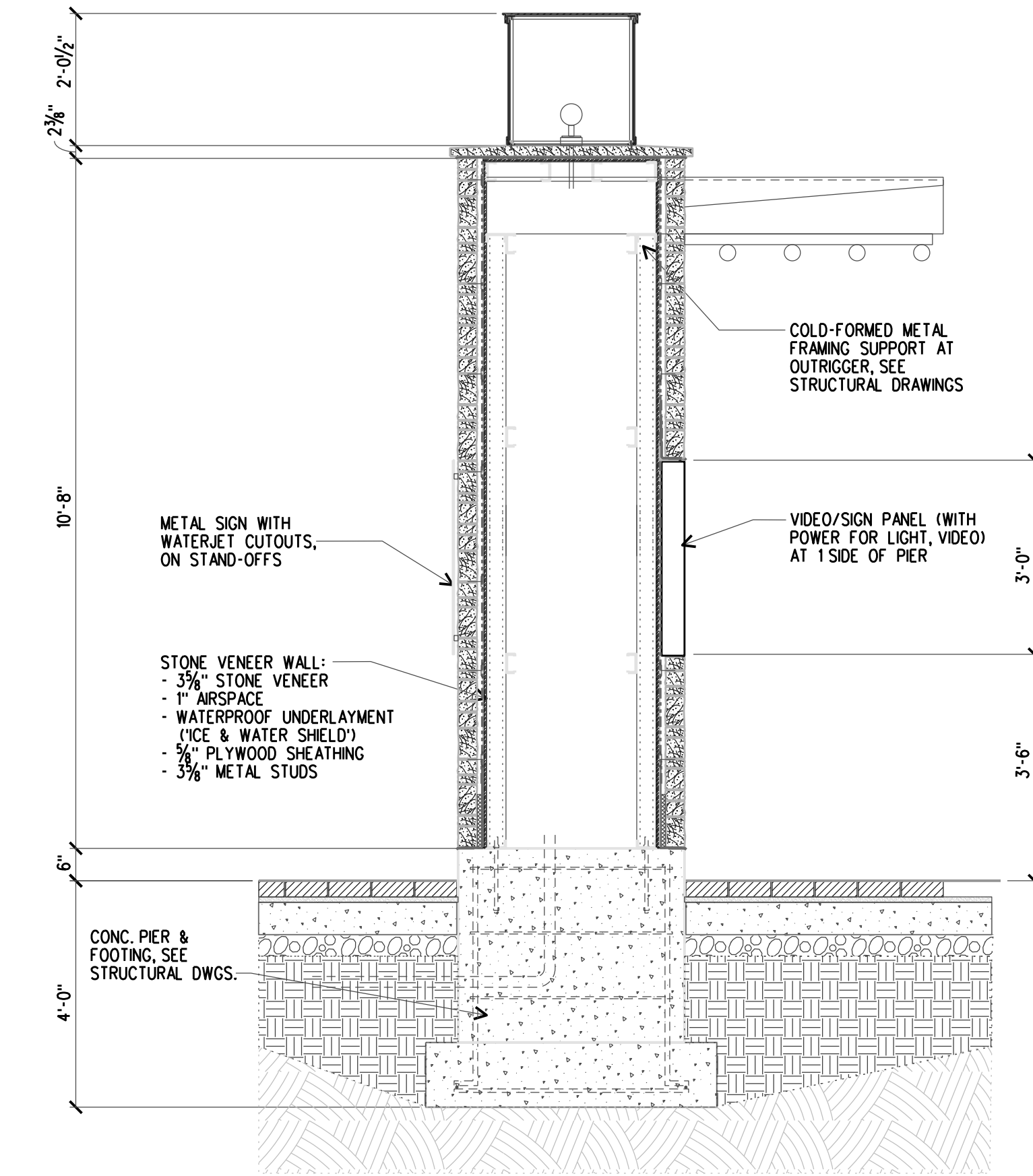
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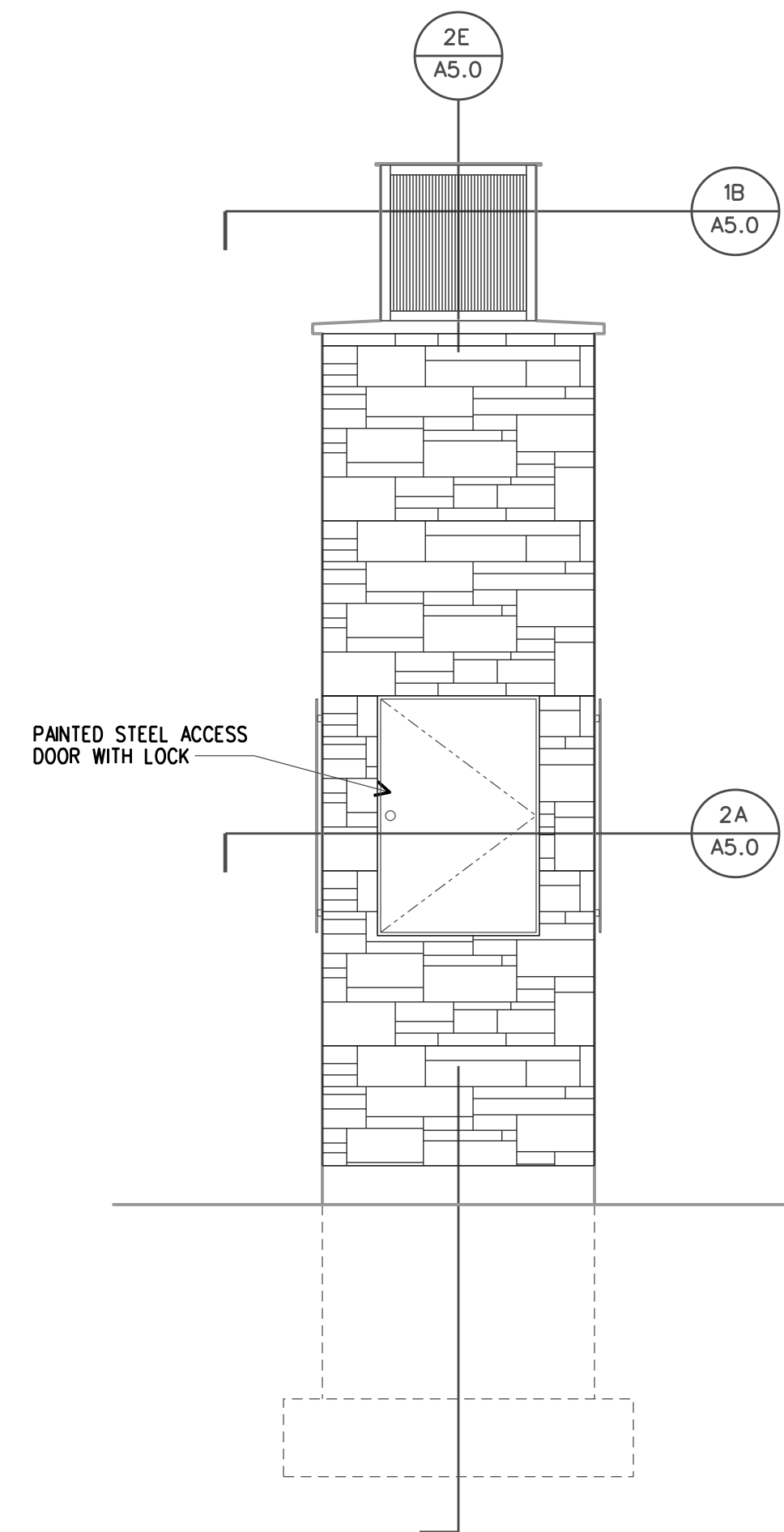
2E - WALL SECTION



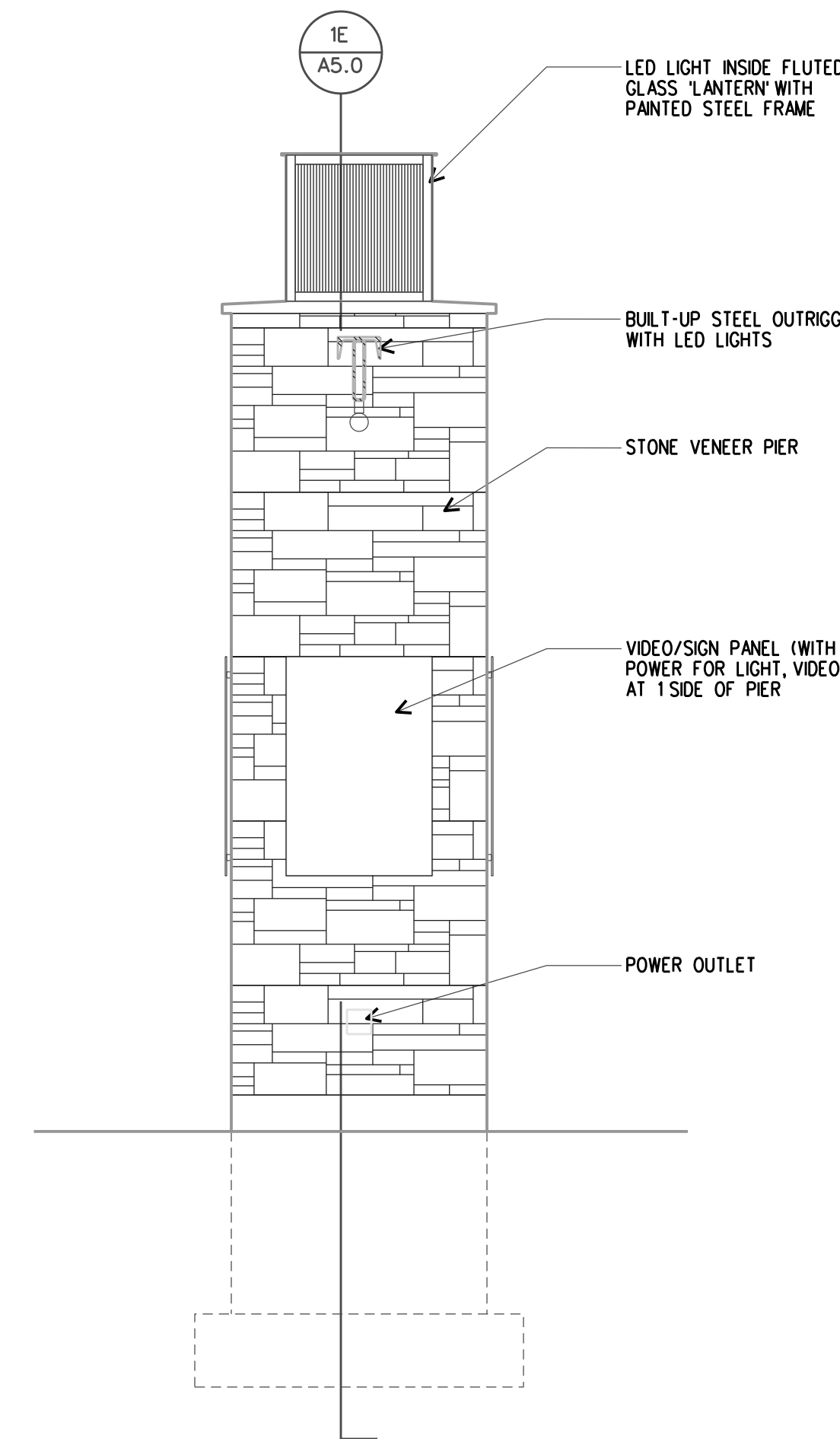
1F - WALL SECTION



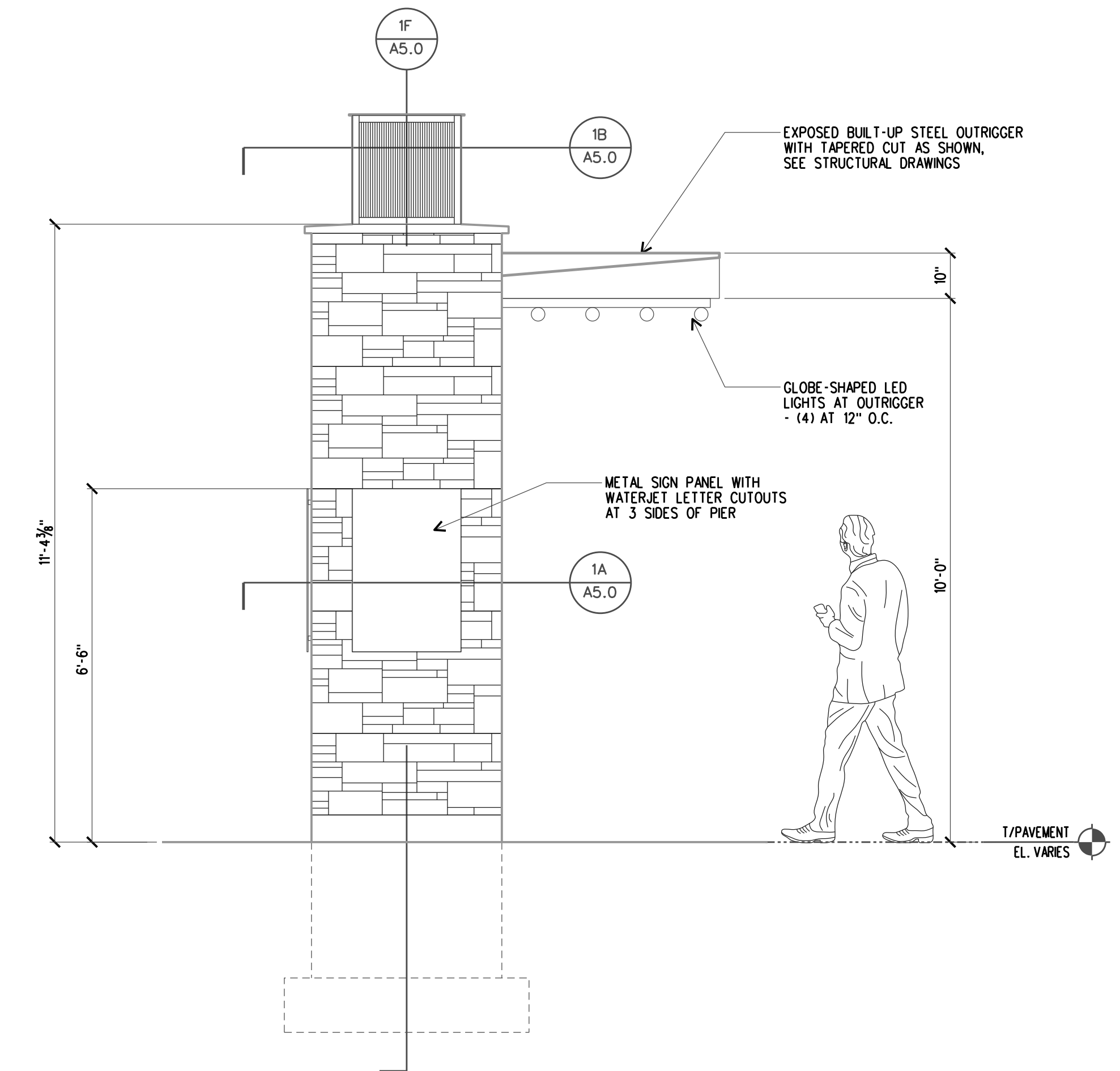
1E - WALL SECTION



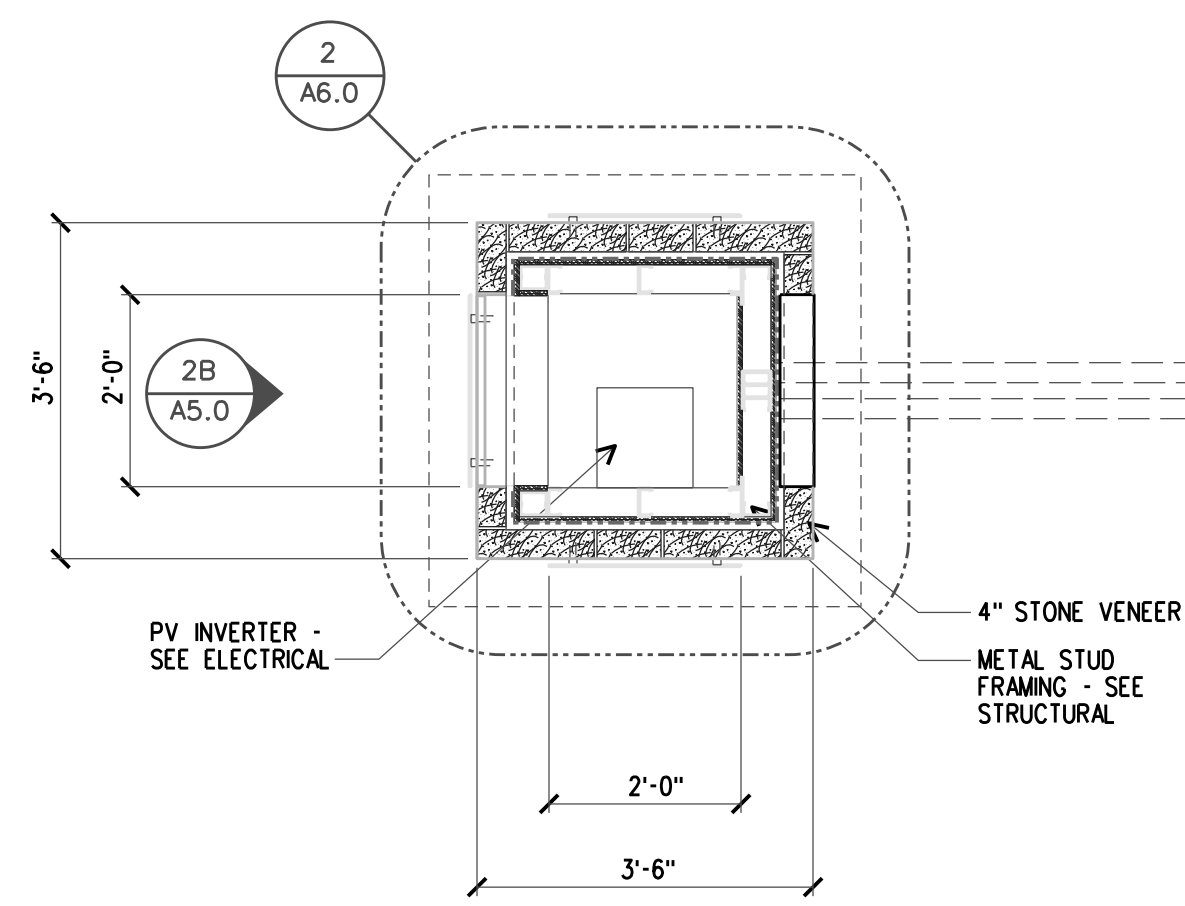
2B - ELEVATION



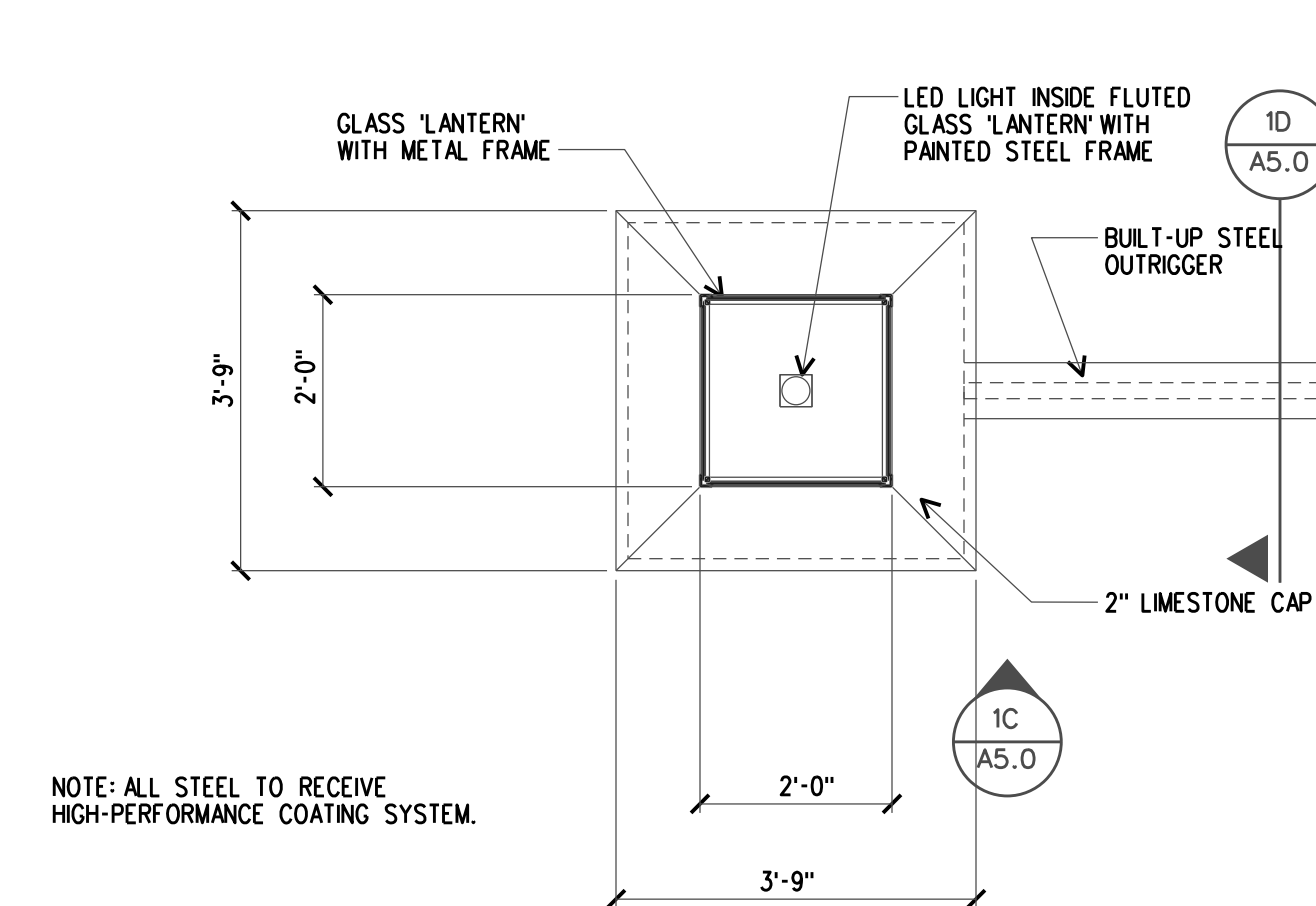
1D - ELEVATION



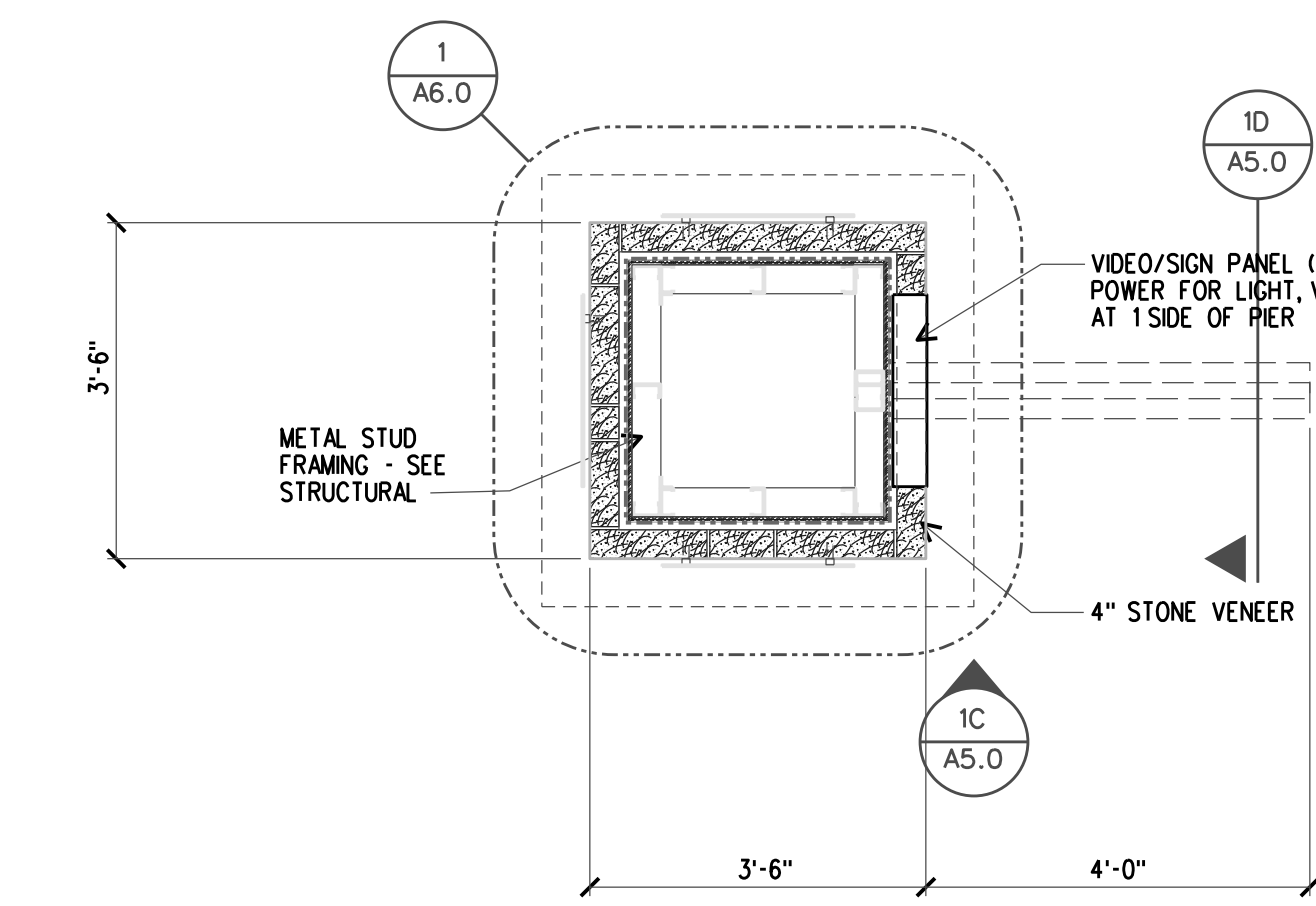
1C - ELEVATION



2A - PLAN

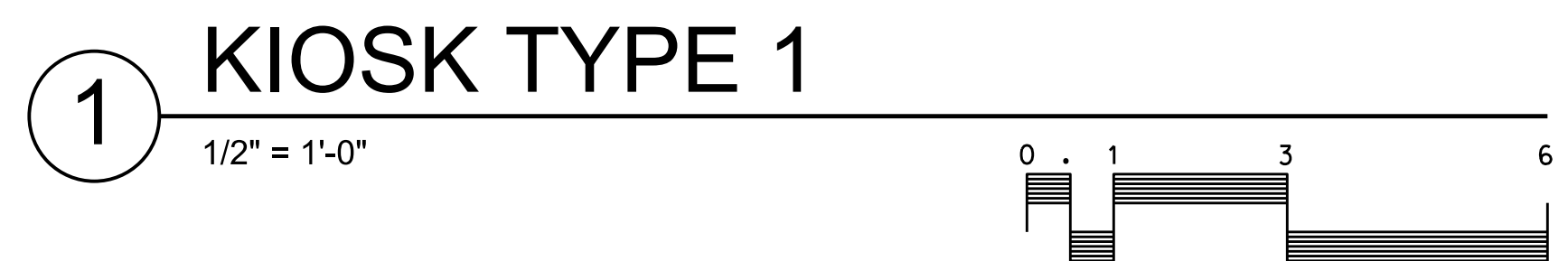
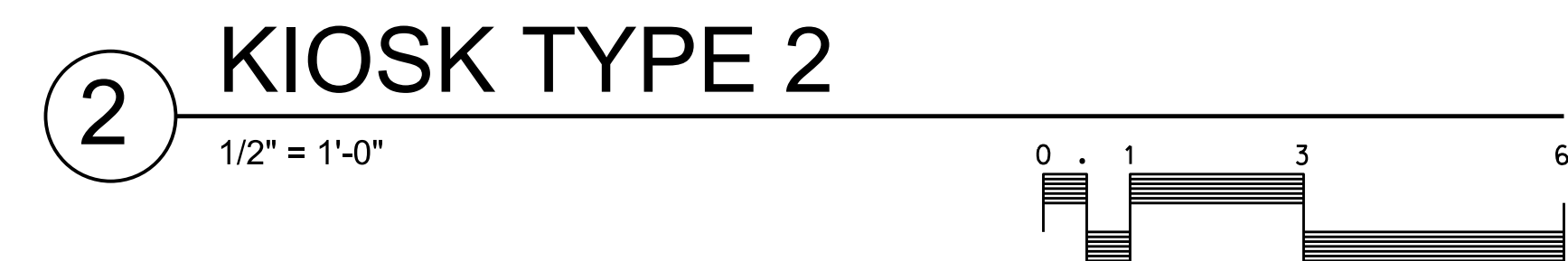
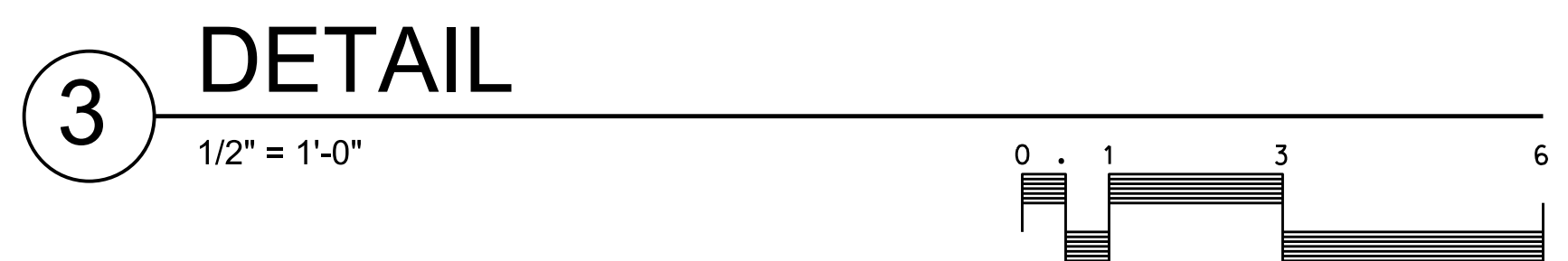


1B - PLAN SECTION



1A - PLAN SECTION

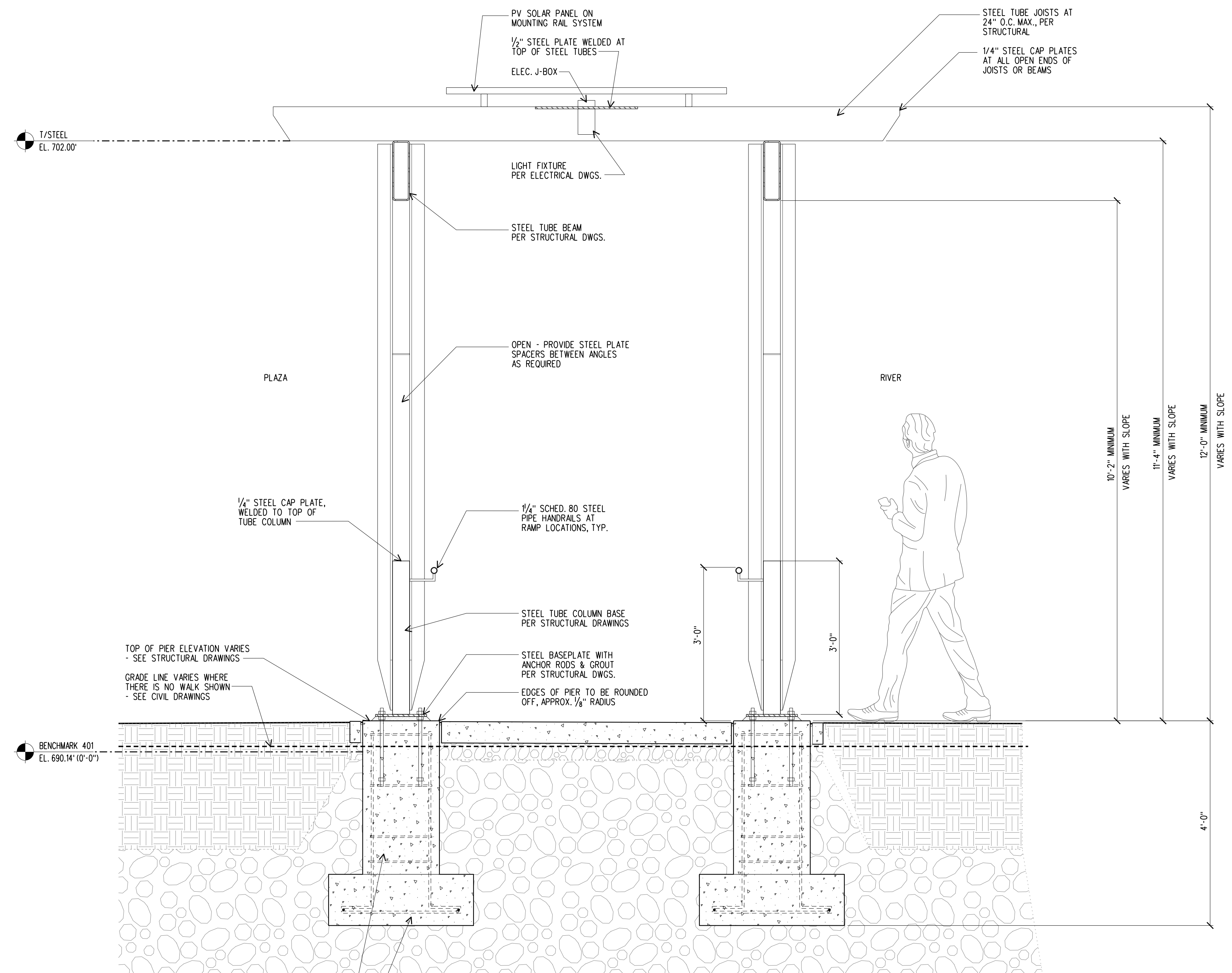
NOTE: ALL STEEL TO RECEIVE HIGH-PERFORMANCE COATING SYSTEM.



CONSULTANTS

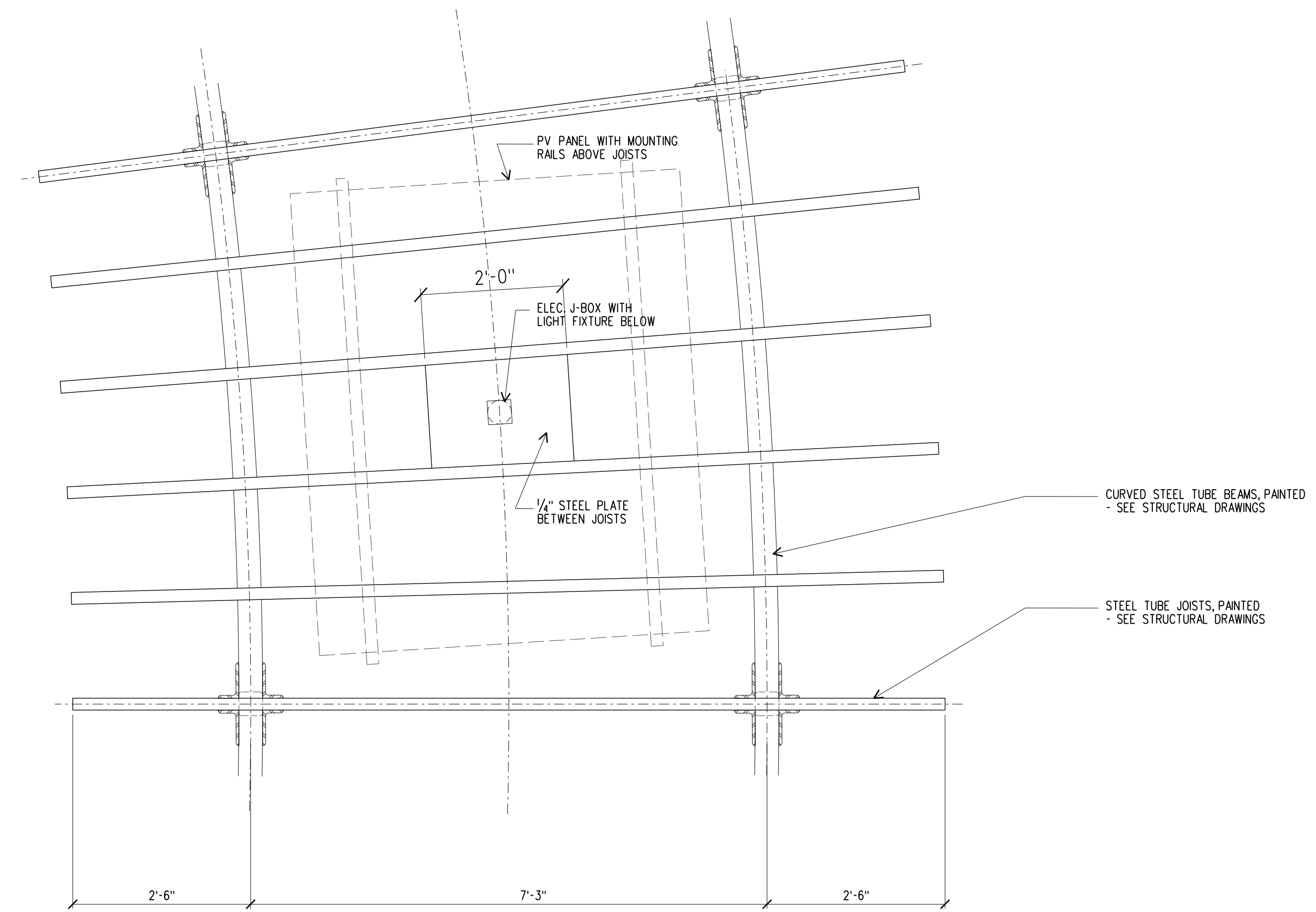
REVISIONS

NO.	DATE	DESCRIPTION

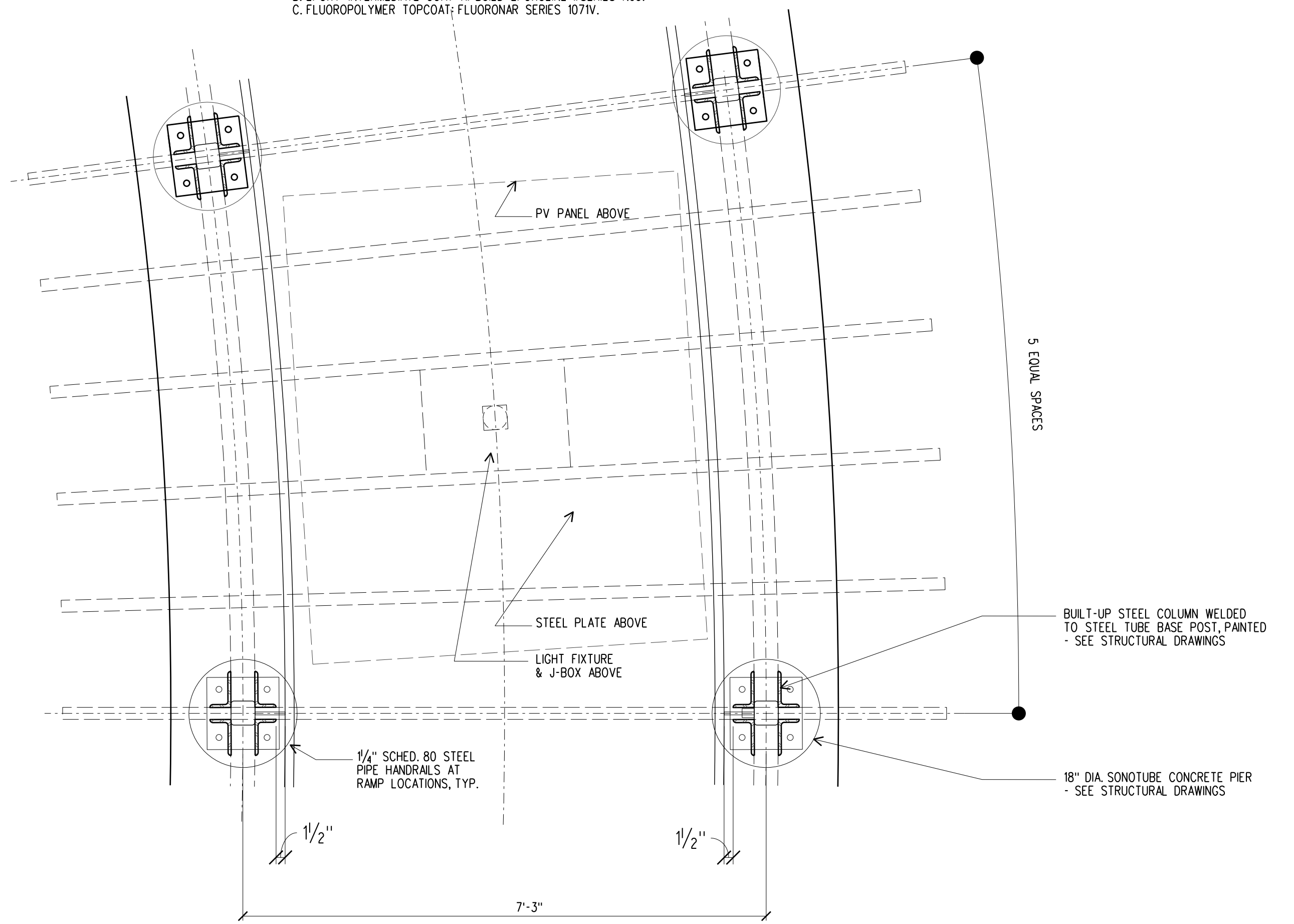


2 TYPICAL TRELLIS BAY SECTION
3/4" = 1'-0"

- NOTE:
1. ALL STEEL TO BE ARCHITECTURALLY EXPOSED STRUCTURAL STEEL, AESS CATEGORY 1
 2. ALL EXPOSED STEEL FINISHED WITH (3) COAT HIGH-PERFORMANCE COATING SYSTEM BY TENEAC OR EQUAL:
A. EPOXY ZINC-RICH PRIMER: TENEAC ZINC SERIES 90-97.
B. EPOXY INTERMEDIATE COAT: H-BUILD EPOXYLINE II SERIES N69.
C. FLUOROPOLYMER TOPCOAT: FLUORONAR SERIES 107TV.



3 TYPICAL TRELLIS BAY JOIST PLAN
3/4" = 1'-0"



1 TYPICAL TRELLIS BAY PLAN
3/4" = 1'-0"

First Street Plaza Improvements

City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

DRAWN BY:	CHECKED BY:
DAD	DAD
PROJ. ARCH:	PROJ. MGR:
MJS	MJS

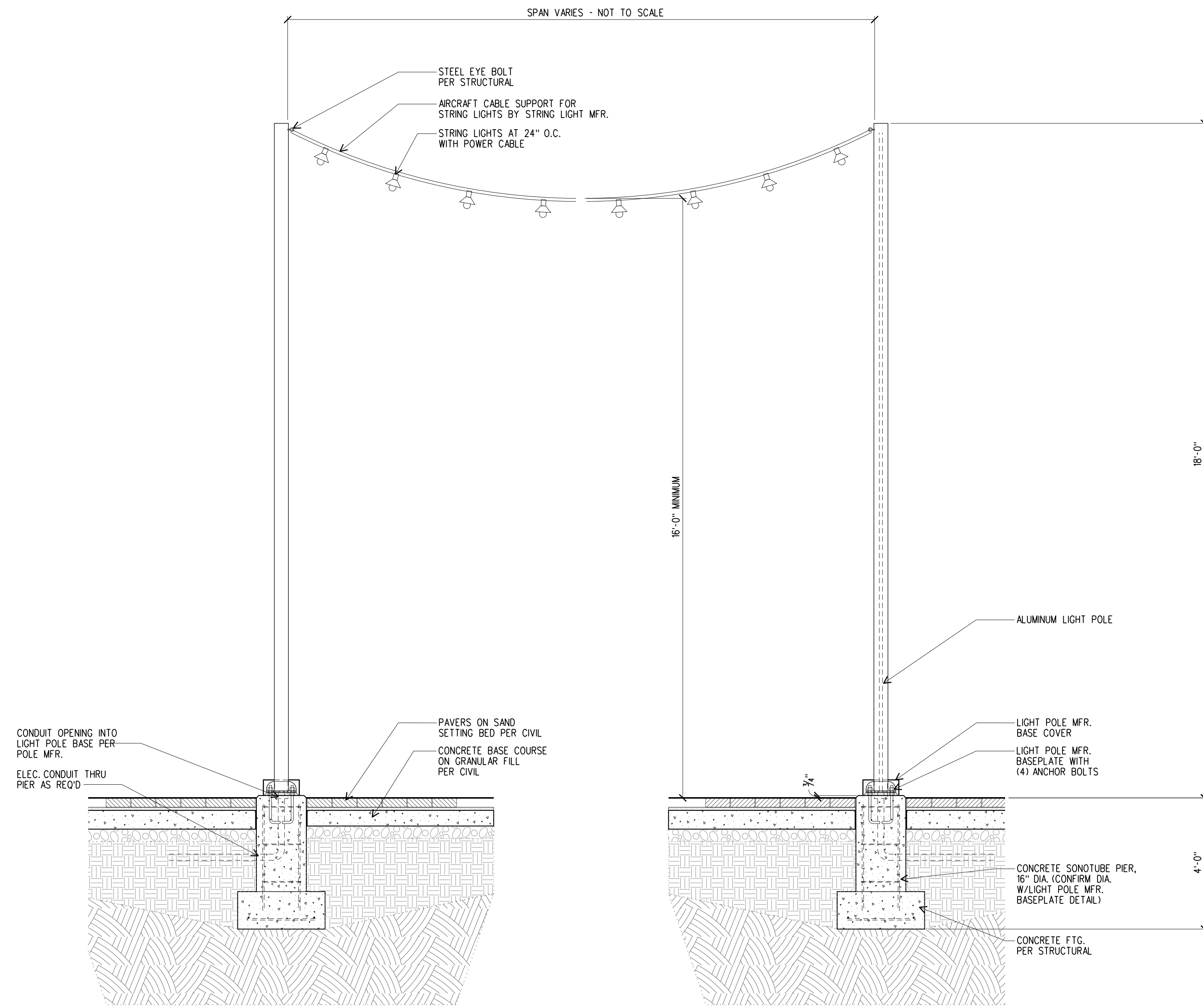
SHEET TITLE
**TRELLIS PLANS,
ELEVATIONS
& SECTIONS**

PROJ. NO.:	SHEET NO.:
2021.09.00	A5.1
DATE:	
10/24/22	

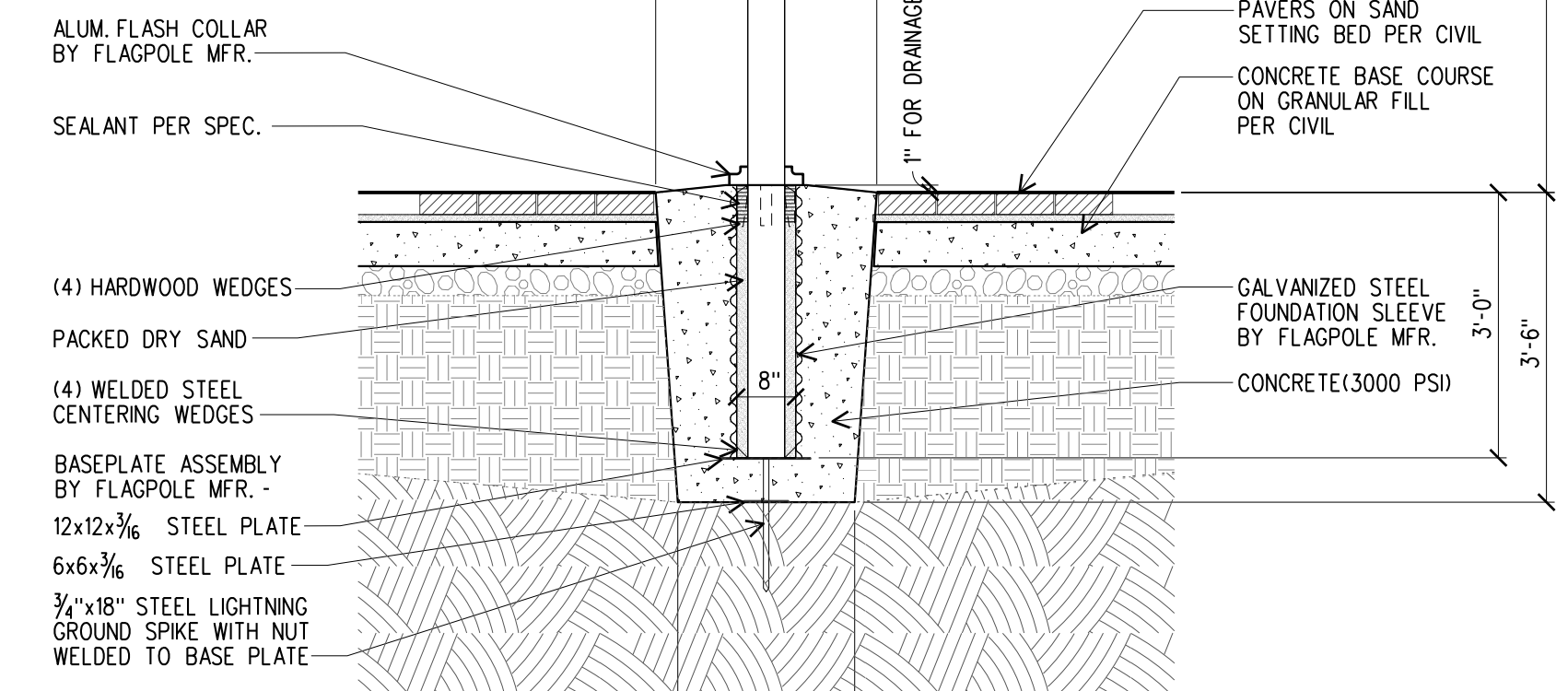
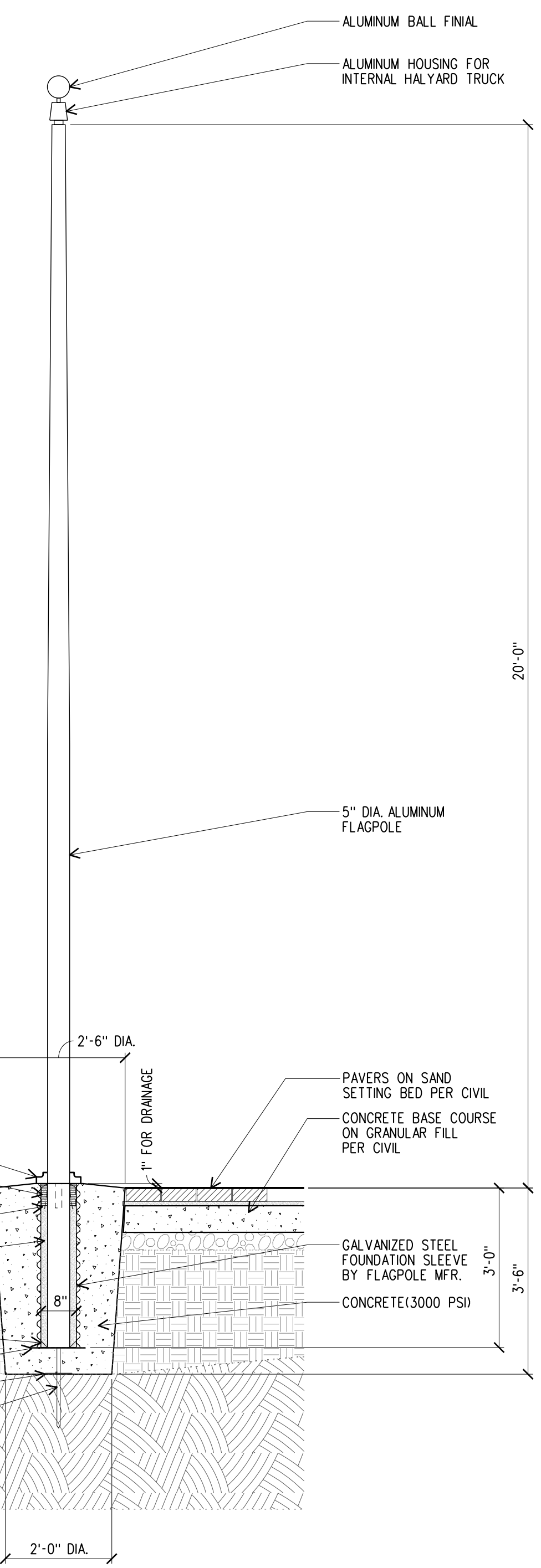
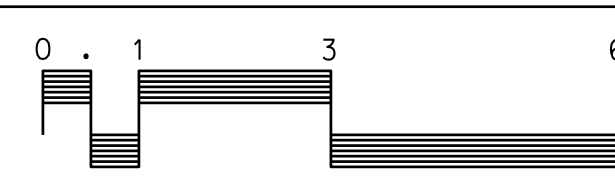
CONSULTANTS

REVISIONS

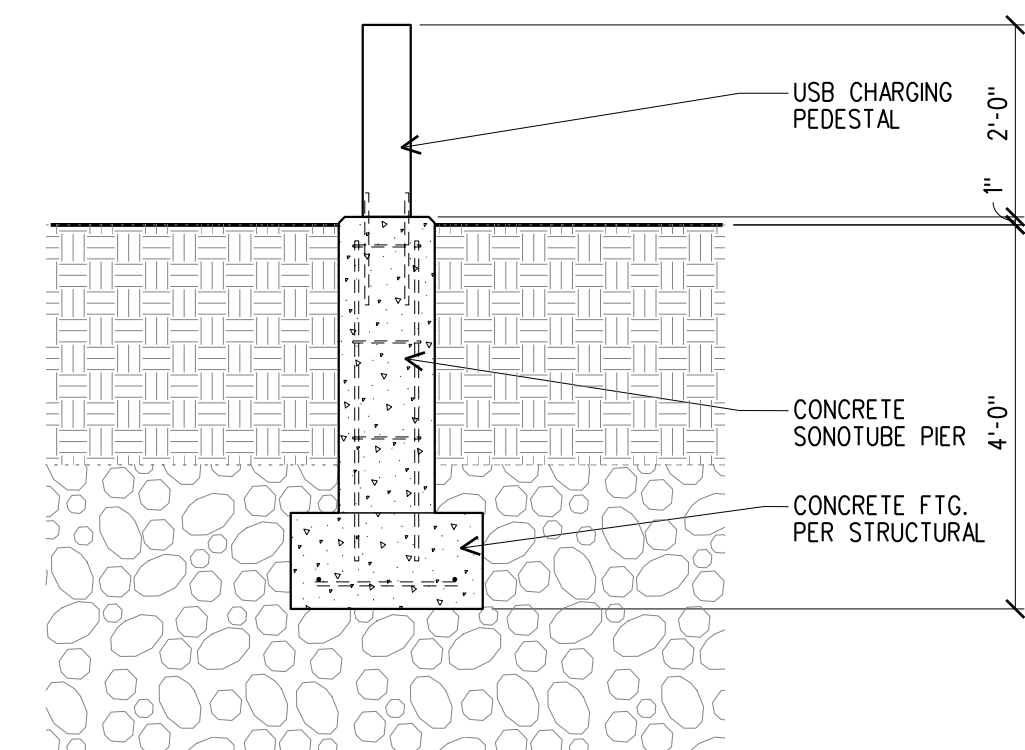
NO.	DATE	DESCRIPTION



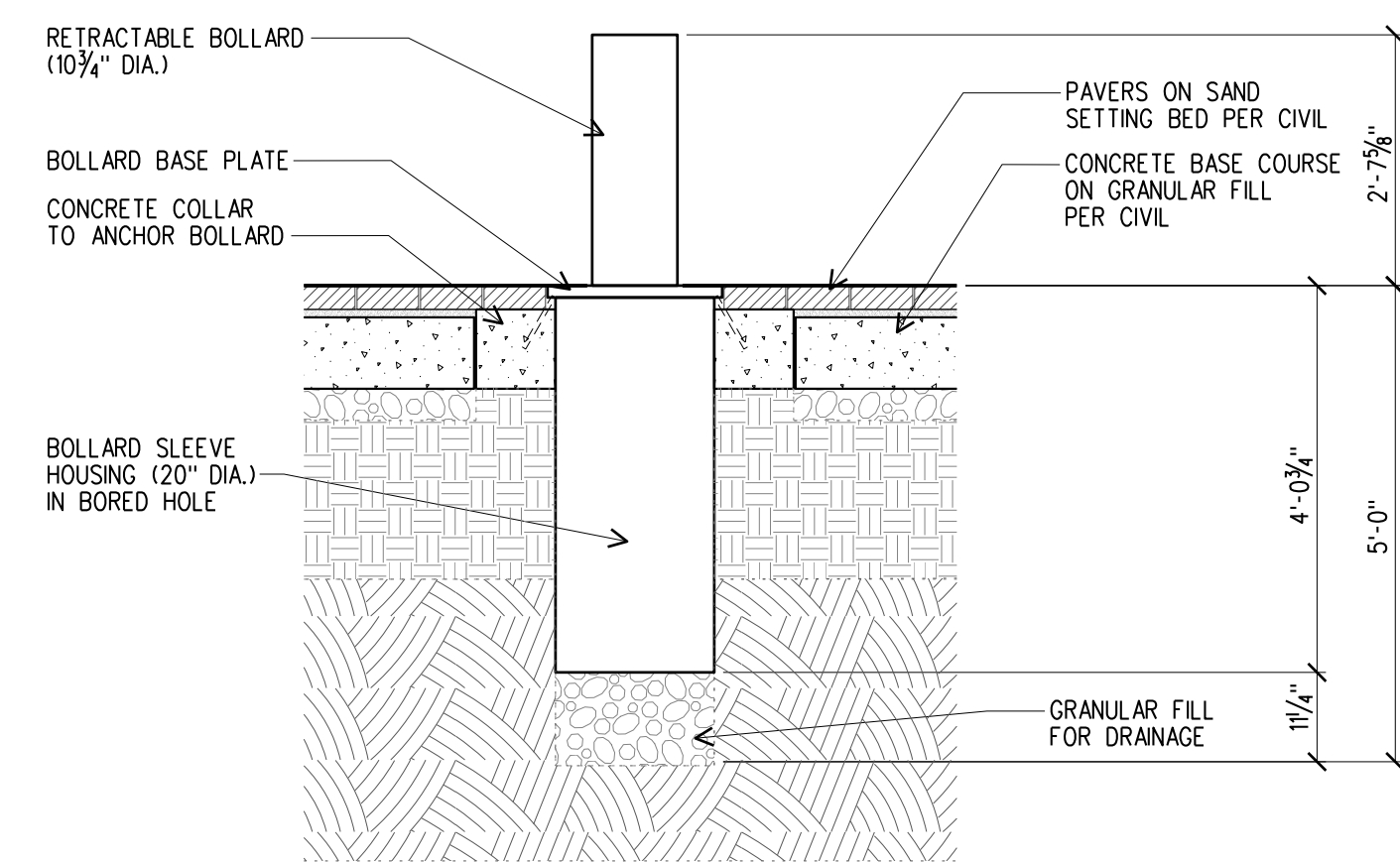
5 TYPICAL STRING LIGHT POLES
1/2" = 1'-0"



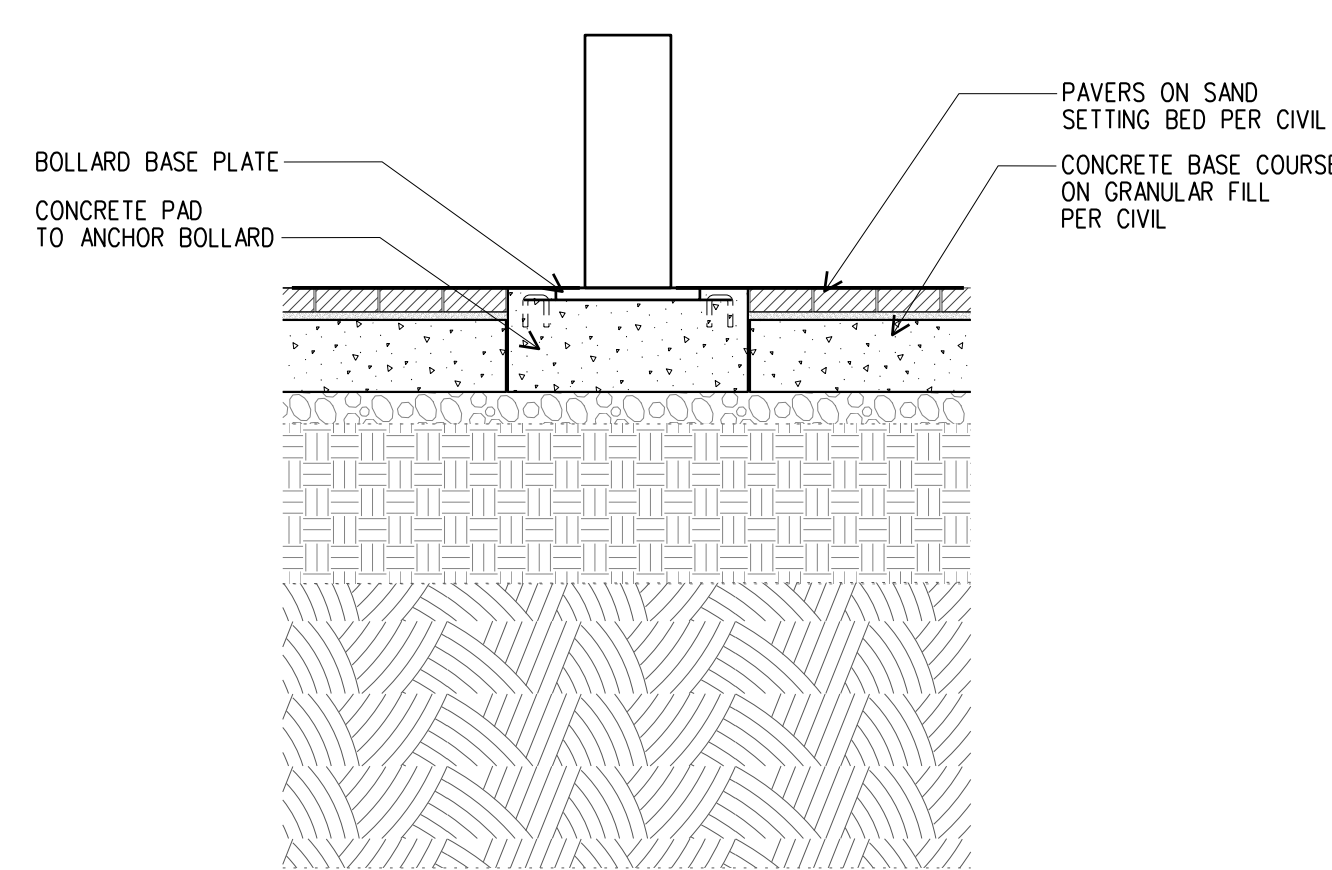
1 FLAGPOLE
1/2" = 1'-0"



2 USB CHARGING PEDESTAL/BOLLARD
1/2" = 1'-0"



3 RETRACTABLE BOLLARD
1/2" = 1'-0"



4 FIXED BOLLARD
1/2" = 1'-0"



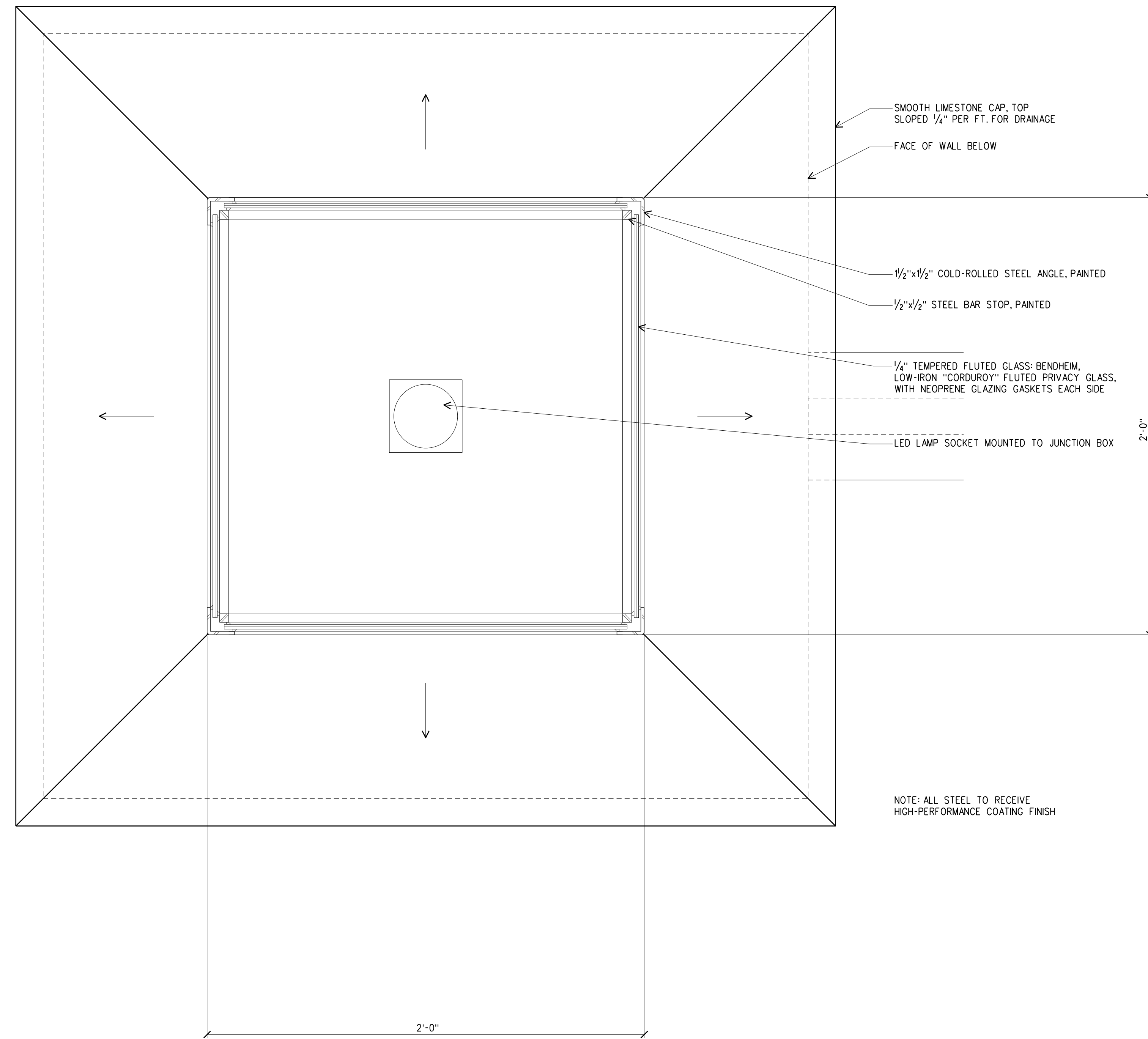
First Street Plaza Improvements

City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

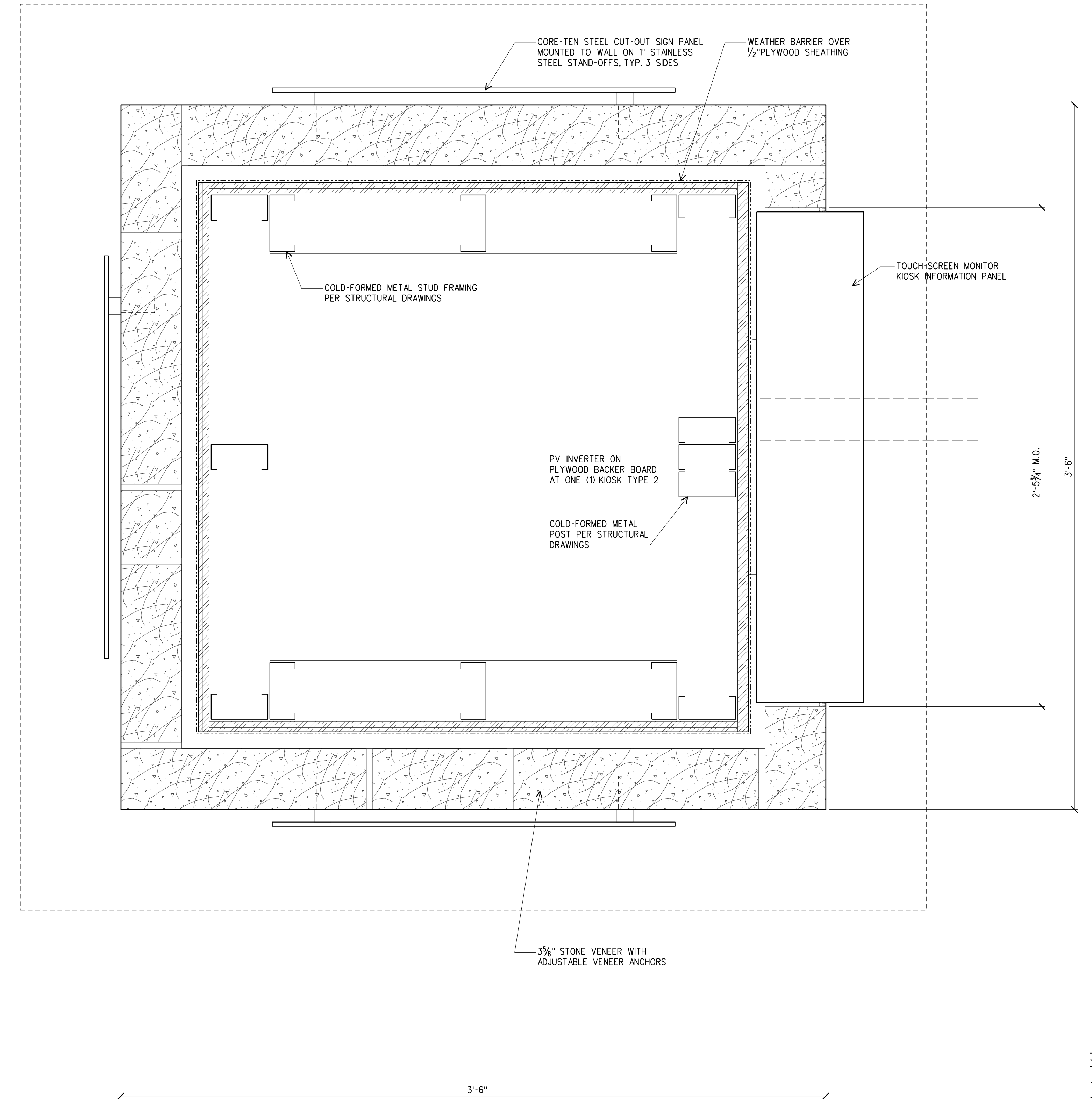
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	PROJ. MGR:
	MJS

SHEET TITLE
LIGHT POLES, BOLLARDS, FLAGPOLES SECTIONS

PROJ. NO.:	SHEET NO.:
2021.09.00	A5.2
DATE:	
10/24/22	



2 PLAN DETAIL
3" = 1'-0"
0 1" 3" 6" 1'-0"



1 PLAN DETAIL
3" = 1'-0"
0 1" 3" 6" 1'-0"

REVISIONS		
NO.	DATE	DESCRIPTION

First Street Plaza Improvements
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

DRAWN BY: DAD	CHECKED BY: DAD
PROJ. ARCH: DAD	PROJ. MGR: MJS

SHEET TITLE DETAILS	
PROJ. NO.: 2021.09.00	SHEET NO.: A6.0
DATE: 10/24/22	



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4b

Title: St. Charles Housing Trust Fund Update

Presenter: Ellen Johnson

Meeting: Planning & Development Committee

Date: January 9, 2023

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary (if not budgeted please explain):

Background & Use

The Inclusionary Housing Ordinance (IHO), Title 19 of the City Code, requires developers of new residential developments to build a proportionate share of affordable housing units on site, or to pay a fee in-lieu of providing affordable units. The Housing Trust Fund was formed upon adoption of the Inclusionary Housing Ordinance in 2008. Fee in-lieu payments made by developers are placed into the Housing Trust Fund.

Use of the Housing Trust Fund (HTF) is governed by Ch. 3.50 of the City Code. The HTF was created to address the affordable housing needs of moderate-income households in St. Charles. Funds are to be used to create and preserve affordable housing. The City offers three programs which are funded by the HTF:

1. Home Rehab & Accessibility Loan Program – 0% interest, deferred payment loan for income-eligible homeowners.
2. First-Time Homebuyer Loan Program – 0% interest, deferred payment loan for income-eligible prospective homebuyers.
3. Kane County Affordable Housing Fund – development financing to developers of affordable housing.

Projects funded by the Housing Trust Fund:

Project	Funds Used	Year Approved
Home Rehab Loans – 6 total	\$61,557 (\$28,378 paid back due to property sale)	2011-2020
Affordable Housing Fund- 1432 Dean St.	\$59,173 (\$36,921 paid back upon sale)	2018
Affordable Housing Fund- 704 Adams Ave.	\$49,378 (\$29,316 paid back upon sale)	2019
Affordable Housing Fund- 106 Moore Ave.	\$45,361 (\$23,000 anticipated to be paid back)	2020
Net Total Spent	\$97,854	

Current status of the HTF including earmarked funds for the City’s existing programs, and anticipated developer contributions:

Balance as of Jan. 2022	\$713,859	
Current Balance	\$1,972,925 (includes \$1.2 million from Springs at St. Charles, received Nov. 2022)	
Earmarked Funds	<i>Home Rehab Program</i>	\$31,500 (available to homeowners)
	<i>First-Time Homebuyer Program</i>	\$42,000 (available to homebuyers)
	<i>Kane County Affordable Housing Fund</i>	\$262,088 (available to developers)
Net Current Balance	\$1,637,337	
Anticipated Developer Contributions- 2023	<i>Munhall Glen- IHO fee for 35 remaining homes to be constructed</i>	\$54,422
	<i>Charlestowne Lakes- to be paid prior to building permit. Site development work underway.</i>	\$463,693

Kane County Affordable Housing Fund

The most significant use of the Housing Trust Fund has been the City’s participation in the Kane County Affordable Housing Fund. The Affordable Housing Fund (AHF) provides financing to non-profit and for-profit developers for the acquisition, rehab, and/or new construction of affordable homebuyer and rental units in Kane County. The AHF is a combination of funds provided by the US Department of Housing & Urban Development, including Community Development Block Grant (CDBG) and Home Investment Partnerships Program (HOME) funds. The AHF is administered by the Kane County Office of Community Reinvestment. Developers apply to Kane County for funding under the AHF on an annual basis. The Kane-Elgin HOME Commission reviews developer proposals and approves funding.

In 2018, the City decided to partner with Kane County by contributing a portion of the City’s Housing Trust Fund to the Kane County Affordable Housing Fund. This was done in an effort to make City funding available to developers seeking to create affordable housing in St. Charles. Through an Intergovernmental Agreement (Res. 2018-84), the City allocated \$416,000 to the AHF. Those funds have been offered as part of the AHF funding pool since 2018. Projects located in St. Charles which request use of the City’s Housing Trust Fund are first reviewed by the Kane-Elgin HOME Commission, followed by review and approval by the St. Charles Housing Commission. County staff administer the funding and oversee projects. The City pays the County a 2.5% administrative fee. The process flow-chart for City involvement with the Affordable Housing Fund is attached.

Since 2018, there projects have been three single-unit projects approved in St. Charles, funded in part by the City’s Housing Trust Fund. A total of \$262,088 remains from the initial \$416,000 allocation.

Considerations for Future Use of the Housing Trust Fund

There are several opportunities for continued and future use of the Housing Trust Fund, some of which are as follows:

- 1) **Anthony Place II senior affordable project** – Request for additional City funding under the Kane County Affordable Housing Fund. **To be discussed at this meeting as a separate agenda item.*
- 2) **Future participation in the Kane County Affordable Housing Fund** – Allocate additional funds from the Housing Trust Fund to be made available to developers for affordable housing developments. Funds may be allocated for any qualifying type of project or location within the City, or parameters could be placed on the funds to target certain locations, general parts of town (east vs. west side), or specific types of projects. Kane County expects to release its next Call for Projects in June 2023.
- 3) **Reimbursement of Fee Waivers** – The Inclusionary Housing Ordinance offers development cost offsets to developers as a means of incentivizing construction of affordable units. This includes waiver of all permit fees, connection fees, and impact fees. The City could investigate use of the Housing Trust Fund to off-set some of the costs of these incentives for affordable developments.

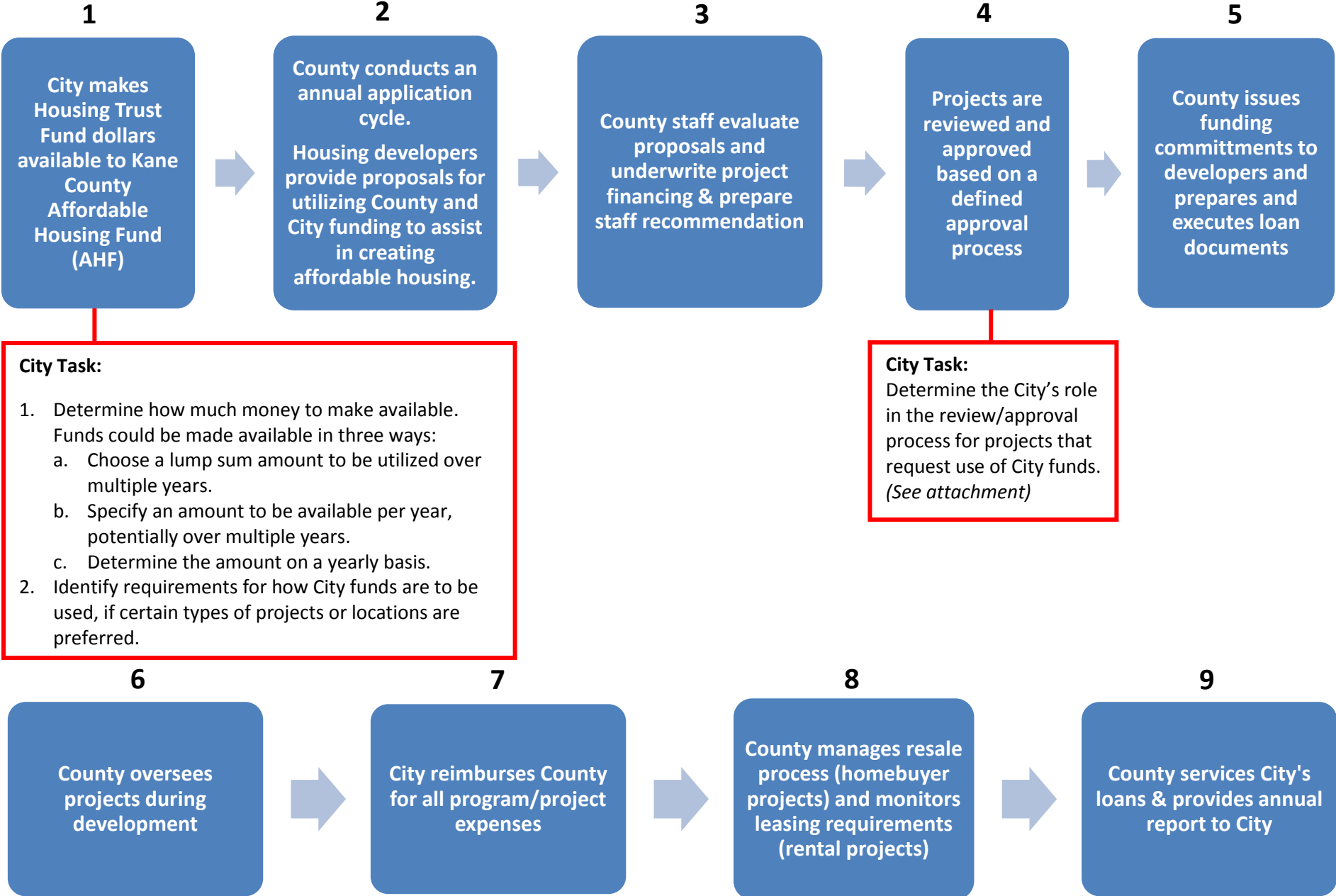
Attachments (please list):

Affordable Housing Fund County-City Process Flowchart; Intergovernmental Agreement with Kane County; Housing Trust Fund- City Code Chapter 3.50

Recommendation/Suggested Action (briefly explain):

Provide feedback on future use of the Housing Trust Fund.

Process for Potential City Involvement with Kane County Affordable Housing Fund



Refer to:	
Minutes:	6/18/18
Page:	

**City of St. Charles, Illinois
Resolution No. 2018-84**

A Resolution Authorizing the Mayor and City Clerk of the City of St. Charles to Execute an Intergovernmental Agreement by and between the City of St. Charles and Kane County regarding St. Charles Housing Trust Fund Administration and Management Services

**Presented & Passed by the
City Council on June 18, 2018**

WHEREAS, City, under Chapter 3.50 of the St. Charles Municipal Code, has established a Housing Trust Fund to provide sustainable financial resources to address the affordable housing needs of eligible households in St. Charles by preserving and producing affordable housing, providing housing-related financial support and services to eligible households and providing financial support for not-for-profit organizations that actively address the affordable housing needs of eligible households; and

WHEREAS, the City has previously established a Home Rehab and Accessibility Loan Program, the program description of which is attached hereto and incorporated herein as Exhibit "A", to assist income-eligible St. Charles homeowners to make necessary repairs and improvements to their homes; and

WHEREAS, the City desires to establish a First-Time Homebuyer Loan Program, the program description of which is attached hereto and incorporated herein as Exhibit "B", in order to provide opportunities for affordable home ownership to income-eligible families seeking to purchase a home in St. Charles; and

WHEREAS, the Kane County Board has established the Affordable Housing Fund, a combination of funds provided by the U.S. Department of Housing and Urban Development and other sources, to provide gap financing for the preservation and/or development of affordable housing in Kane County; and

WHEREAS, the City desires to contribute resources from the St. Charles Housing Trust Fund into the Affordable Housing Fund to be made available for projects located within the St. Charles corporate limits; and

WHEREAS, the City desires to partner with the Kane County Office of Community Reinvestment for services related to administration and management of the Home Rehab and Accessibility Loan Program, the First-Time Homebuyer Loan Program, and the City's contributions into the Affordable Housing Fund.

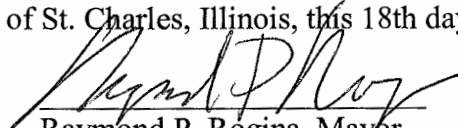
NOW THEREFORE, be it resolved by the City of St. Charles, Kane and DuPage Counties, Illinois, as follows:

1. That the Mayor and City Clerk be and the same are hereby authorized to execute an Intergovernmental Agreement between the City of St. Charles and Kane County, in substantially the form attached hereto and incorporated herein as Exhibit "C", by and behalf of the City of St. Charles.
2. That the City hereby grants authority to the St. Charles Housing Commission to review and approve financing for projects under the Kane County Affordable Housing Fund located within the St. Charles corporate limits.
3. That the City hereby allocates \$500,000 from the St. Charles Housing Trust Fund as follows: \$42,000 to the Home Rehab & Accessibility Loan Program, \$42,000 to the First-Time Homebuyer Loan Program, and \$416,000 to the Affordable Housing Fund.

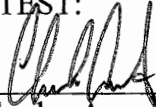
PRESENTED to the City Council of the City of St. Charles, Illinois this 18th day of June 2018.

PASSED by the City Council of the City of St. Charles, Illinois, this 18th day of June 2018.

APPROVED by the Mayor of the City of St. Charles, Illinois, this 18th day of June 2018.


Raymond P. Rogina, Mayor

ATTEST:



Charles Amenta, City Clerk

COUNCIL VOTE:

Ayes: 8
Nays: 0
Absent: 2
Abstain: 0



Exhibit "A"

Program Description – Home Rehab and Accessibility Loan Program

CITY OF ST. CHARLES FIRST-TIME HOMEBUYER LOAN PROGRAM

JUNE 2018

PROGRAM OVERVIEW

The City of St. Charles is committed to promoting the availability of attainable housing in the community. Purchasing a home in St. Charles is often out of reach for first-time homebuyers due to the market values of St. Charles' housing stock as well as the need for a downpayment. In an effort to make purchasing a home in St. Charles more affordable for local families, the City offers a downpayment assistance program for first-time homebuyers. Funding for this program will be provided by the St. Charles Housing Trust Fund.

Program Name	Program Description	Available Funds	Type of Loan
First-Time Homebuyer Loan Program (the "program")	Prospective homebuyers apply to the Kane County Office of Community Reinvestment for a loan through the City's Program. The program is supplemental to Kane County's First-Time Homebuyer Program. Applicants initially apply for the Kane County program. \$10,000 in assistance is available through the County's program. Loans through the City's program are considered if additional assistance is necessary to meet the County's underwriting criteria.	Maximum of \$10,000 per household	0% Interest deferred-payment loan with repayment at the time of sale or transfer of deed

ELIGIBILITY

The following criteria will determine applicant eligibility:

1. Income: The annual gross household income of the applicant's household may not exceed the income limits established below.
2. Status: The applicant(s) must satisfy HUD's definition of a first-time homebuyer, meaning the applicant(s) may not have owned a home for the past three years.
3. Residency: The applicant(s) must currently live or work in Kane County and must have lived or worked in Kane County for at least one year at the time of closing.
4. Location:
 - a. The property to be purchased must be within the City of St. Charles corporate limits.
 - b. The property to be purchased may not be located in the 100-year floodplain.
5. Unit Type: The property to be purchased may be a single-family detached unit, condominium unit, or townhome unit.
6. Purchase Price: The maximum purchase price for an existing home is \$206,000. The maximum purchase price for a new home is \$224,000. (Values effective 3/1/2017)
7. Ownership: The person(s) receiving the loan must plan to live within the dwelling unit, and not rent the unit to other persons.
8. Downpayment Contribution: The applicant(s) must contribute a downpayment of at least 1% of the purchase price of the home to be purchased.
9. Homebuyer Education: The applicant(s) must successfully complete a homebuyer education course from a HUD certified agency.

10. Mortgage Approval: The applicant(s) must have obtained approval for first mortgage financing that comply with the guidelines established by the Kane County's First Time Homebuyer Program.
11. Home Inspection: The property to be purchased must pass a general home inspection and a lead-based paint inspection conducted by a Kane County inspector.

INCOME LIMITS

Annual gross household income cannot exceed the most recent income limits for a household at 80% Area Median Income based on household size, as published by the Illinois Housing Development Authority (source: <http://www.ihda.org>):

Chicago Metro Area Income Limits by Household Size at 80% Area Median Income								
	1 Person	2 Person	3 Person	4 Person	5 Person	6 Person	7 Person	8 Person
2017 Income Limits (80% AMI)	\$44,250	\$50,600	\$56,900	\$63,200	\$68,300	\$73,350	\$78,400	\$83,450

Exhibit "B"

Program Description – First-Time Homebuyer Loan Program

CITY OF ST. CHARLES HOME REHAB AND ACCESSIBILITY LOAN PROGRAM
JUNE 2018

PROGRAM OVERVIEW

The City of St. Charles is committed to preserving and maintaining its affordable housing stock. In response to this commitment, the City offers a home rehab program to income-eligible homeowners. This program offers zero-interest, deferred payment loans to qualified households to maintain the quality of the affordable housing stock and help distressed homeowners in need. Funding for this program is provided by the St. Charles Housing Trust Fund.

Program Name	Program Description	Available Funds	Type of Loan
Home Rehabilitation and Accessibility Loan Program (the "program")	Homeowners apply to Community Contacts, Inc. for a loan through the City's program. The program is supplemental to Kane County's Home Rehabilitation Loan Program. Applicants initially apply for the Kane County program. \$20,000 in assistance is available through the County's program. Loans from the City's program are considered in the following circumstances: (i) the cost of the Eligible Improvement(s) exceeds the maximum amount paid by Kane County or (ii) the homeowner has project costs that are not eligible for reimbursement through Kane County's program, but are Eligible Improvements for the City's program.	Maximum of \$10,000 per household	0% Interest deferred-payment loan with repayment at the time of sale or transfer of deed

ELIGIBLE IMPROVEMENTS

- Improvements and modifications for physically disabled persons, including but not limited to: grab bars and railings; motorized chair lifts; doorway widening; walk-in showers; accessible toilets; shower seats; ramps; bed rails; and lowered countertops.
- Repairs/improvements to mechanical, heating, plumbing, structural, and electrical systems.
- Exterior painting.
- Improvements to building security.
- Termite damage repair.
- Drainage improvements.
- Yard clean-up.
- Repairs or replacement of roofing.
- Insulation.
- Exterior work that will improve overall neighborhood appearance.
- Windows in need of repair or replacement.

INELIGIBLE IMPROVEMENTS

- Additions/upgrades to existing structure or component parts, i.e. window upgrades (Bay Window), room additions, etc. (except to provide access to persons with disabilities).
- Purchase or repair of furnishings.
- Purchase of land/real property.
- Construction/repair of swimming pools or hot tubs.

- Appliances
- Improvements to common elements of association owned or managed property.

RESIDENTIAL REHABILITATION PRIORITIES

The following priority system will be used to classify rehabilitation work needed for each property. The following priority system is in descending order of priority. Category A represents the highest priority items, and Category D represents items of lowest priority.

Category A - Health & Safety items

Category A consists of code violations and repair of the major systems that threaten the health and safety of the resident (e.g., basic structural, mechanical, electrical, heating and/or plumbing systems).

Category B - Incipient Code Violations

These items include those elements of the structure which are not in violation of the code but appear to be in a condition that will deteriorate into a code violation if left uncorrected (e.g., hot water heater or boiler of 30 or 40 years of age which may have given some minor problem in the recent past). If sufficient dollars are available to address more than the Category A items, then Category B improvements shall be undertaken to the extent of financial feasibility.

Category C - Energy Conservation Items

These items are directly related to the conservation of energy by upgrading the dwelling's thermal protection such as new windows, new doors, and insulation which may be undertaken if sufficient dollars have been available to address Category A and B items.

Category D - General Property Improvements

These work items constitute improvements which can be made to the property, but are not vital to health and safety of the resident. Examples could include yard maintenance, exterior painting, air conditioning, improvements and modifications for physically disabled persons. These items can be considered property improvements after Categories A through C have been addressed and subject to staff approval.

ELIGIBILITY

The following criteria will determine applicant eligibility:

1. Income: The annual gross household income of the applicant household may not exceed the income limits established below.
2. Location: The subject property must be within the City of St. Charles corporate limits.
3. Home Value: The value of the applicant's home may not exceed \$294,515.
4. Type of Unit: The unit must be an owner-occupied residential property.
5. Ownership: The person receiving the loan must live within the dwelling unit, and not rent this unit to other persons.

INCOME LIMITS

The annual gross household income cannot exceed the most recent income limits for a household at 80% Area Median Income based on household size, as published by the Illinois Housing Development Authority (source: <http://www.ihda.org>). The Household Value Limitation is set at the most recent FHA Mortgage Limit for Kane County (source: <https://entp.hud.gov/idapp/html/hicostlook.cfm>).

Owner Occupied Affordability Chart For Chicago Metro Area 80% of Area Median Income								
	1 Person	2 Person	3 Person	4 Person	5 Person	6 Person	7 Person	8 Person
2017 Income Limits (80% AMI)	\$44,250	\$50,600	\$56,900	\$63,200	\$68,300	\$73,350	\$78,400	\$83,450
Household Value Limitation	\$ 294,515							

Exhibit "C"

Intergovernmental Agreement between the City of St. Charles and Kane County
regarding St. Charles Housing Trust Fund Administration and Management Services

Intergovernmental Agreement
St. Charles Housing Trust Fund Administration and Management Services

THIS AGREEMENT, made and entered into this 18 day of June, 2018, by and between the City of St. Charles, an Illinois municipal corporation (the "City"), and Kane County, a body corporate and politic (the "County"), which are collectively known as "the parties."

WITNESSETH:

WHEREAS, the City has established a Housing Trust Fund for the purpose of providing and preserving affordable housing within its jurisdiction for the benefit of current and future residents; and

WHEREAS, the City has also established a Housing Commission, which is charged with assisting the City in the operation and implementation of the Housing Trust Fund; and

WHEREAS, the County, through its Office of Community Reinvestment, has received annual allocations of federal funding to support various housing and community development initiatives since 1998 and has successfully developed and implemented those initiatives; and

WHEREAS, the Office of Community Reinvestment has the experience and qualifications to assist the City with the administration of programs approved by the City utilizing its Housing Trust Fund; and

WHEREAS, the City has determined it to be in its best interest to obtain program management services from the Office of Community Reinvestment for the effective implementation of programming under its Housing Trust Fund; and

WHEREAS, units of local government have had conferred upon them the following powers by Article VII, Section 10(a) of the 1970 Constitution of the State of Illinois:

"Units of local government and school districts may contract or otherwise associate among themselves, with the State, with other states and their units of local government and school districts, and with the United States to obtain or share services and to exercise, combine or transfer any power or function, in any manner not prohibited by law or by ordinance. Units of local government and school districts may contract and otherwise associate with individuals, associations, and corporations in any manner not prohibited by law or by ordinance. Participating units of government may use their credit, revenues, and other resources to pay costs and to service debt related to intergovernmental activities;" and

WHEREAS, the Intergovernmental Cooperation Act (5 ILCS 220/1 et seq.), enacted by the State of Illinois provides in part as follows:

"Section 3. Intergovernmental cooperation. Any power or powers, privileges, functions, or authority exercised or which may be exercised by a public agency of this State may be exercised, combined, transferred, and enjoyed jointly with any other public agency of this State and jointly with any public agency of any other state or of the United States to the extent that laws of such other state or of the United States do not prohibit joint exercise or enjoyment and except where specifically and expressly prohibited by law."

“Section 5. Intergovernmental contracts. Any one or more public agencies may contract with any one or more other public agencies to perform any governmental service, activity or undertaking or to combine, transfer, or exercise any powers, functions, privileges, or authority which any of the public agencies entering into the contract is authorized by law to perform, provided that such contract shall be approved by the governing bodies of each party to the contract and except where specifically and expressly prohibited by law. Such contract shall set forth fully the purposes, powers, rights, objectives and responsibilities of the contracting parties;” and

WHEREAS, the parties to this Agreement have had conferred upon them the exercise of powers authorized in Chapter 65 of the Illinois Compiled Statutes (known as the “Illinois Municipal Code”), and Chapter 55 of the Illinois Compiled Statutes (known as the “Illinois Counties Code”).

NOW, THEREFORE, upon the consideration of the mutual promises contained herein and upon the further consideration of the recitals hereinabove set forth, it is hereby agreed between the City and County as follows:

1. **INCORPORATION OF RECITALS**

The recitals set forth above are hereby incorporated into this Agreement in their entirety as though fully set forth herein.

2. **SCOPE OF SERVICES**

The County shall provide affordable housing services on behalf of, and within the corporate limits of, the City. In general, these services shall include the provision of housing rehabilitation assistance to eligible homeowners, first-time homebuyer assistance to eligible homebuyers, and financing for the development or redevelopment of units of affordable housing, all of which shall be funded by the City’s Housing Trust Fund. The specific duties and responsibilities to be performed by the County are outlined in Attachment A, “Scope of Services” (hereinafter referred to as the “Services”). Any other provisions of this Agreement or the attachments hereto notwithstanding, the City shall have and retain sole discretion and authority in selecting the projects and activities to be funded by the City’s Housing Trust Fund and the administration of any such projects and activities.

3. **WORK PRODUCTS**

All work products prepared by the County pursuant hereto including, but not limited to, reports, studies, plans, and recommendations shall be the property of the City and shall be delivered to the City, in both hard and electronic formats, upon request of the City. The County may retain copies of such work products for its records.

4. **PAYMENTS TO THE COUNTY**

A. The City shall make periodic payments to the County for the Services provided under this Agreement, according to the budget established in Attachment B, “Budget for Housing Trust Fund Activities.” Such payments shall be for the reimbursement of expenses associated with the housing activities and program management services

outlined in Attachment A.

- B. The total of all payments made by the City to the County shall not exceed \$500,000.00 unless modifications to this Agreement are authorized in writing by the City and County by way of written amendment to this Agreement.
- C. Additional services provided by the County which are not described herein require prior written approval of the City and County and shall be compensated according to terms agreed upon in such written approval.

5. **INVOICES**

- A. The County shall submit invoices not more often than monthly in a format approved by the City. The County shall provide the City with progress reports with the submission of invoices.
- B. The County shall maintain records documenting the expenses incurred for the completion of the Services. The County shall permit representatives of the City to inspect and audit all data and records of the County for work performed under this Agreement. The County shall retain and make these records available to the City at reasonable times during the term of this Agreement.

6. **COMMISSION REPRESENTATION**

The County shall designate a seat on the Kane-Elgin HOME Commission for the Chair of the City's Housing Commission, or their designee.

7. **TERM OF AGREEMENT**

The term of this Agreement shall commence and be effective from the date first written above until terminated pursuant to Article 8 herein in regards to the First-Time Homebuyer Assistance Program and the Affordable Housing Development Program.

The term of this Agreement shall commence and be effective from the date of termination of the Service Agreement between the City and Community Contacts, Inc. in regards to the Home Rehab and Accessibility Loan Program, until terminated pursuant to Article 8 herein.

8. **TERMINATION OF AGREEMENT**

Notwithstanding any other provision hereof, the City or the County may terminate this Agreement at any time upon ninety (90) days' written notice. In the event this Agreement is so terminated, the County shall be paid for services provided prior to termination.

9. **NOTICE OF CLAIM**

If the County wishes to make a claim for additional compensation as a result of action taken by the City, the County shall give written notice of his claim to the City within fifteen (15) days after occurrence of such action. No claim for additional compensation shall be valid unless so made.

Any changes in the County's fee shall be valid only to the extent that the City and County agree to such changes in writing. Regardless of the decision of the City relative to a claim submitted by the County, all work required under this Agreement, as determined by the City, shall proceed without interruption.

10. **BREACH OF CONTRACT**

If any party violates or breaches any term of this Agreement, such violation or breach shall be deemed to constitute a default, and the other parties have the right to seek such administrative, contractual or legal remedies as may be suitable to the violation or breach; and, in addition, if any party, by reason of any default, fails within fifteen (15) days after notice thereof by another party to comply with the conditions of the Agreement, the party having provided such notice may terminate this Agreement.

11. **NO PERSONAL LIABILITY**

No official, director, officer, agent or employee of the County or City shall be charged personally or held contractually liable under any term or provision of this Agreement or because of their execution, approval or attempted execution of this Agreement.

12. **HOLD HARMLESS**

The City shall hold harmless, defend, and indemnify the County from any and all claims, actions, suits, charges and judgments whatsoever that arise out of City's performance or nonperformance under this Agreement. The provisions of this paragraph shall survive any expiration, completion and/or termination of this Agreement.

13. **NONDISCRIMINATION**

In all hiring or employment made possible or resulting from this Agreement, there shall be no discrimination against any employee or applicant for employment because of sex, age, race, color, creed, national origin, marital status, or the presence of any sensory, mental or physical handicap, unless based upon a bona fide occupational qualification, and this requirement shall apply to, but not be limited to, the following: employment advertising, layoff or termination, rates of pay or other forms of compensation and selection for training, including apprenticeship.

No person shall be denied or subjected to discrimination in receipt of the benefit of any services or activities made possible by or resulting from this Agreement on the grounds of sex, race, color, creed, national origin, age except minimum age and retirement provisions, marital status, or the presence of any sensory, mental or physical handicap. Any violation of this provision shall be considered a violation of a material provision of this Agreement and shall be grounds for cancellation, termination or suspension, in whole or in part, of the Agreement by the City.

14. **ASSIGNMENT AND SUCCESSORS**

This Agreement and each and every portion thereof shall be binding upon the successors and the assigns of the parties hereto; provided, however, that no assignment should be made without the prior written consent of the City.

15. **DELEGATIONS AND SUBCONTRACTORS**

Any assignment, delegation or subcontracting shall be subject to all the terms, conditions and other provisions of this Agreement and the County shall remain liable to the City with respect to each and every item, condition and other provision hereof to the same extent that the County would have been obligated if it had done the work itself and no assignment, delegation or subcontract had been made.

16. **NO CO-PARTNERSHIP OR AGENCY**

This Agreement shall not be construed so as to create a partnership, joint venture, employment or other agency relationship between the parties hereto.

17. **SEVERABILITY**

The parties intend and agreed that, if any paragraph, sub-paragraph, phrase, clause or other provision of this Agreement, or any portion thereof, shall be held to be void or otherwise unenforceable, all other portions of this Agreement shall remain in full force and effect.

18. **HEADINGS**

The headings of the several paragraphs of this Agreement are inserted only as a matter of convenience and for reference and in no way are they intended to define, limit or describe the scope of intent of any provision of this Agreement, nor shall they be construed to affect in any manner the terms and provisions hereof or the interpretation or construction thereof.

19. **MODIFICATION OR AMENDMENT**

This Agreement and its attachments constitutes the entire Agreement of the parties on the subject matter hereof and may not be changed, modified, discharged or extended except by written amendment duly executed by the parties. Each party agrees that no representations or warranties shall be binding upon the other parties unless expressed in writing herein or in a duly executed amendment hereof, or change order as herein provided.

The previous paragraph notwithstanding, the budget amounts specified in Attachment B, less any amounts already encumbered by the County, may be unilaterally amended at the City's sole discretion and without requiring written acceptance by the County. In such cases, the City shall notify the County in writing of any such amendments, which shall become effective upon receipt by the County.

20. **APPLICABLE LAW**

This Agreement shall be deemed to have been made in, and shall be construed in accordance with the laws of the State of Illinois. Venue for the resolution of any disputes or the enforcement of any rights pursuant to this agreement shall be in the Circuit Court of Kane County, Illinois.

21. **COOPERATION WITH OTHERS**

The County shall cooperate with any other parties in the City's employ or any work associated with the Services.

22. **SEXUAL HARASSMENT**

As a condition of this contract, the County shall have written sexual harassment policies that include, at a minimum, the following information:

- A. The illegality of sexual harassment;
- B. the definition of sexual harassment under state law;
- C. a description of sexual harassment, utilizing examples;
- D. the vendor's internal complaint process including penalties;
- E. the legal recourse, investigative and complaint process available through the Illinois Department of Human Rights, and the Illinois Human Rights Commission;
- F. directions on how to contact the department and commission; and
- G. protection against retaliation as provided by Section 6-101 of the Human Rights Act.

A copy of the policies must be provided to the Department of Human Rights upon request per 775 ILCS 5/2-105.

23. **NOTICES**

All notices, reports and documents required under this Agreement shall be in writing and shall be emailed and/or mailed by First Class Mail, postage prepaid, addressed as follows:

- A. As to City:
 - Mark Koenen, City Administrator
 - City of St. Charles
 - 2 East Main Street
 - St. Charles IL 60174
 - Email: mkoenen@stcharlesil.gov

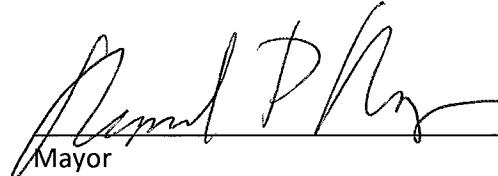
- B. As to County:
 - Josh Beck, Assistant Director for Community Development
 - Kane County Office of Community Reinvestment
 - 719 South Batavia Avenue
 - Geneva IL 60134
 - Email: beckjosh@co.kane.il.us

24. **COMPLIANCE WITH LAWS**

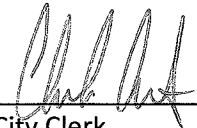
Notwithstanding any other provision of this Agreement, it is expressly agreed and understood that in connection with the performance of this Agreement that the County shall comply with all applicable Federal, State, Municipal, and other requirements of law, including, but not limited to, any applicable requirements regarding prevailing wages, minimum wage, workplace safety and legal status of employees. The County hereby certifies, represents and warrants to the City that its employees and/or agents who will be providing products and/or services with respect to this Agreement shall be legal residents of the United States. County shall also at its expense secure all permits and licenses, pay all charges and fees and give all notices necessary and incident to the due and lawful prosecution of this work, and/or the products and/or services provided by this Agreement. The City shall have the right to audit any records in the possession or control of the County to determine the County's compliance with the provisions of this paragraph. In the event that the City proceeds with such an audit, the County shall make available to the City the County's relevant records at no cost to the City.

IN WITNESS WHEREOF, the undersigned parties have caused this Agreement to be executed by their duly designated officials.

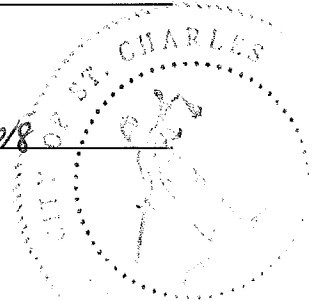
City of St. Charles, a municipal corporation

By: 
Mayor

Date: 5-18-18

Attest: 
City Clerk

Date: 6/18/2018



County of Kane, a body politic in the State of Illinois

By: _____
Scott Berger, Director
Kane County Office of Community Reinvestment

Date: _____

ATTACHMENT A
SCOPE OF SERVICES

The Kane County Office of Community Reinvestment shall provide the following services on behalf of, and within the corporate boundaries of, the City:

1. **HOME REHAB AND ACCESSIBILITY LOAN PROGRAM**

The County shall provide up to \$10,000 from the City's Housing Trust Fund in assistance to homeowners within the City's corporate limits that have applied and been determined eligible for the County's Owner-Occupied Housing Rehabilitation Loan Program, when the cost of eligible improvements exceeds the maximum amount of assistance offered by the County or the project costs are not eligible for reimbursement through the County's program. Homeowners must meet all eligibility criteria under the County's program, including the 80% Area Median Income limit and the maximum property value limits established and adjusted from time to time by the U.S. Department of Housing and Urban Development. Assistance from the City shall be in the form of a zero-interest, deferred-payment loan and shall be secured with a recorded mortgage instrument with repayment due at the time of sale or transfer of the deed. In the event of sale, where net proceeds are less than the amount necessary to satisfy the City's loan, and where such sales are determined to be arms-length transactions based on the current market value of the real estate, the County may accept a partial or zero payment as full payment on behalf of the City. Eligible improvements include, but are not limited to, repairs to mechanical systems, roof repair or replacement, window repair or replacement, insulation, accessibility improvements (such as grab bars and railings, motorized chair lifts, doorway widening, walk-in showers, accessible toilets, shower seats, ramps, bed rails, and lowered countertops), termite damage repair, exterior painting, building security, drainage improvements, yard clean-up, and exterior improvements that will improve neighborhood appearance. The County may subcontract with Community Contacts, Inc. for the provision of services necessary to assist homeowners under the Home Rehab and Accessibility Loan Program. The County shall be entitled to a program delivery fee of not more than 5% of eligible rehabilitation costs under the City's program. The City shall not be required to review and/or approve individual loans issued on the City's behalf under this program.

2. **FIRST-TIME HOMEBUYER ASSISTANCE PROGRAM**

The County shall provide up to \$10,000 from the City's Housing Trust Fund in assistance to first-time homebuyers purchasing a home within the City's corporate limits that have applied and been determined eligible for the County's First-Time Homebuyer Assistance Program, when the amount of assistance necessary to satisfy the County's underwriting criteria exceeds the maximum amount of assistance offered by the County. Homeowners must meet all eligibility criteria under the County's program, including the 80% Area Median Income limit and the maximum property value limits established and adjusted from time to time by the U.S. Department of Housing and Urban Development. Assistance from the City shall be in the form of a zero-interest, deferred-payment loan and shall be secured with a recorded mortgage instrument with repayment due at the time of sale or transfer of the deed. In the event of sale, where net proceeds are less than the amount necessary to satisfy the City's loan, and where such sales are determined to be arms-length transactions based on the current market value of the real estate, the County may accept a partial or zero payment as full payment on behalf of

the City. Homes purchased under the program may include single-family detached dwellings, townhome units, and condominiums. The County shall be entitled to a program delivery fee of not more than 5% of eligible homebuyer assistance costs under the City's program. The City shall not be required to review and/or approve individual loans issued on the City's behalf under this program.

3. **AFFORDABLE HOUSING DEVELOPMENT PROGRAM**

The County shall solicit housing development proposals on behalf of the City in conjunction with its Affordable Housing Fund, which provides gap financing for the development (or redevelopment) of high-quality units of affordable housing. Proposals seeking City funds shall conform to all requirements of the County's program. The County shall notify the City upon receipt of any proposal located within the City's corporate limits. The County shall prepare written evaluations of such proposals, including an analysis of developer qualifications, project readiness, and responsiveness to program criteria. The County shall underwrite proposals for financial soundness, project viability and loan terms, and shall forward recommendations to the City for its consideration. Upon City approval, the County shall issue commitments on behalf of the City and shall prepare all necessary loan documents. The County shall oversee projects during the development phase, including conducting site visits/inspections, ensure compliance with construction/rehabilitation standards and other program guidelines, and monitor construction costs and the development budget. The County shall be entitled to a loan closing fee of not more than 2.5% of the amount of assistance provided to each project and may charge borrowers reasonable and customary loan servicing fees during the term of their loans from the City.

For all of the above-described activities, the County shall manage the resale process, the collection of loan proceeds, and the release of mortgage instruments. In the case of rental projects, the County shall monitor leasing requirements, including ensuring tenant selection and qualification procedures are in place at lease up, and inspect and monitor units throughout the period of affordability. The County shall service all loans issued under the City's Housing Trust Fund Program and shall remit reimbursement to the City on a quarterly basis. The County shall provide an annual report to the City including the status of all loans issued, the amount(s) repaid and outstanding, and the results of monitoring and property inspections conducted.

ATTACHMENT B
BUDGET FOR HOUSING TRUST FUND ACTIVITIES

Home Rehab and Accessibility Loan Program	
Expense	Amount
1. Rehabilitation/Accessibility Improvements	\$40,000.00
2. Program Delivery Fees (5% of above expenses)	\$2,000.00
Total	\$42,000.00

First-Time Homebuyer Assistance Program	
Expense	Amount
1. Homebuyer Assistance	\$40,000.00
2. Program Delivery Fees (5% of above expenses)	\$2,000.00
Total	\$42,000.00

Affordable Housing Development Program	
Expense	Amount
1. Housing Development Financing (projects TBD)	\$405,854.00
2. Closing Fees (2.5% of above expenses)	\$10,146.00
Total	\$416,000.00

3.50 – Housing Trust Fund

- [3.50.010 – Definitions](#)
- [3.50.020 – Housing Trust Fund Established](#)
- [3.50.030 – Housing Commission Responsibilities](#)
- [3.50.040 – Eligibility Requirements](#)
- [3.50.050 – Review and Approval of Applications and Programs](#)
- [3.50.060 – Conditions](#)
- [3.50.070 – Sources of Funds](#)

3.50.010 – Definitions

- A. Rules of interpretation. The words and phrases used in this Chapter shall be interpreted to have the meanings ascribed to them herein. To the extent that words or phrases not defined herein are defined in the Zoning Ordinance (Title 17 of the St. Charles Municipal Code), such words or phrases shall be deemed to have the meanings set forth therein. Otherwise, words and phrases shall be interpreted in their commonly used sense as set forth in Webster’s Third International Dictionary (most recent edition), unless the context reasonably requires another construction.
- B. Definitions. The following words and phrases, when used in this Chapter, shall have the following meanings:
1. Affordable Housing: Housing that has a sales price or rental amount that is within the means of an “Eligible Household” as defined herein. In the case of dwelling units for sale, housing that is affordable means housing in which mortgage, amortization, taxes, insurance, and condominium or association fees, if any, constitute no more than 30% of the gross annual household income for a household of the size that may occupy the unit. In the case of dwelling units for rent, housing that is affordable means housing for which the rent and utilities constitute no more than 30% of the gross annual household income for a household of the size that may occupy the unit.
 2. Applicant: An applicant is any individual or entity, including but not limited to developers, not-for-profit organizations, housing owner/operators, and units of government that applies for a grant, loan, or other resources from the Housing Trust Fund.
 3. Eligible Activities: Eligible Activities shall include those activities that are eligible to receive funding or other resources from the Housing Trust Fund, as set forth in section 3.50.040 (B) of this Chapter.
(Ord. 2010-M-16 § 1.)
 4. Eligible Household: A household with in income at or below eighty percent (80%) of the Area Median Income (AMI) for for-sale units and at or below sixty percent (60%) of the AMI for rental units.

3.50.020 – Housing Trust Fund Established

- A. Creation; Management and Administration. There is hereby established a Housing Trust Fund, to be held as a separate fund within the City, for the sole purpose of providing and preserving Affordable Housing opportunities within the City of St. Charles. The City, by and through its Director of Finance, shall be responsible for the day-to-day investment and fiscal maintenance and management of the Housing Trust Fund. The day-to-day fiscal maintenance and management shall be undertaken pursuant to the approved investment policies and practices used by the City for other similarly held funds. Except for disbursements and other actions taken as part of the day-to-day fiscal maintenance and management of the Housing Trust Fund, the Director of Finance shall not disburse funds held by the Housing Trust Fund except upon the written direction of the City Council, by resolution duly adopted, or otherwise pursuant to the provisions of an approved program. The St. Charles Housing Commission, established by Section 2.25.010 of the St. Charles Municipal Code, shall assist the City Council with the organization, operation, and implementation of the Housing Trust Fund as set forth in Section 3.50.030 of this Chapter.
(Ord. 2010-M-16 § 1.)

- B. Purpose. The purpose of the Housing Trust Fund is to provide sustainable financial resources to address the Affordable Housing needs of Eligible Households in St. Charles by preserving and producing Affordable Housing, providing housing-related financial support and services to Eligible Households and providing financial support for not-for-profit organizations that actively address the Affordable Housing needs of Eligible Households.
- C. Distribution and Use of Housing Trust Fund. Distribution of funds from the Housing Trust Fund shall be in the form of grants or loans or such other funding mechanisms that support the purposes of the Housing Trust Fund. Any Housing Trust Fund money unused at the end of any year shall remain in the Housing Trust Fund for future Eligible Activities, pursuant to the requirements of this Chapter.
(2010-M-16: § 1)

3.50.030 – Housing Commission Responsibilities

The Housing Commission shall make recommendations to the City Council regarding the following:

- 1. the goals for the use of Housing Trust Fund resources;
- 2. the Housing Trust Fund’s annual budget including projected expenditures and revenues;
- 3. the procedures for reviewing applications and awarding Housing Trust Fund resources to Applicants;
- 4. the criteria to be used by the Housing Commission, the City Council, and City staff in reviewing applications and programs that utilize Housing Trust Fund resources;
- 5. the procedures to be used for disbursing Housing Trust Fund resources;
- 6. the review of applications and programs for Housing Trust Fund awards;
- 7. the procedures to be used to monitor Eligible Activities funded by the Housing Trust Fund to ensure that Housing Trust Fund resources are used in conformance with all applicable requirements; and
- 8. the evaluation of Housing Trust Fund activities.
(2010-M-16: § 1)

3.50.040 – Eligibility Requirements

- A. Purpose of Eligible Activity. Each Applicant shall be required to demonstrate that the requested Eligible Activity will advance and support the purpose of the Housing Trust Fund, as set forth in this Chapter.
- B. Eligible Activities. The use of Housing Trust Fund resources shall be limited to the following, which shall be considered Eligible Activities:
 - 1. Production of Affordable Housing including, without limitation, new construction, rehabilitation, and adaptive re-use.
 - 2. Acquisition and disposition, including, without limitation, vacant land, single-family homes, multi-unit buildings, and other existing structures that may be used in whole or part to provide Affordable Housing.
 - 3. Grants or loans to not-for-profit organizations that are actively engaged in addressing the housing needs of Eligible Households.
 - 4. Retention of a third-party organization to administer and track Housing Trust Fund programs and payment of a management fee as agreed upon between the City and the third-party organization.
 - 5. Payments to a third-party organization to reimburse costs incurred in connection with a Housing Trust Fund program. Such costs shall include construction/rehabilitation costs, administrative costs such as property title searches and recording fees, and similar costs that are incurred in connection with an eligible project. No costs shall be reimbursed except pursuant to a written agreement between the City and the third-party organization.
 - 6. Financial assistance to Eligible Households in renting dwelling units. Financial assistance to Eligible Households in purchasing dwelling units.
 - 7. Financial or in-kind assistance to preserve and/or maintain existing Affordable Housing.
 - 8. Weatherization of dwelling units occupied by Eligible Households.
 - 9. Emergency repairs to dwelling units occupied by Eligible Households.
(Ord. 2010-M-16 § 1.)

- C. Criteria for Award of Housing Trust Fund Resources. Among applications for funding for Eligible Activities that otherwise meet established program requirements and eligibility criteria, priority shall be given (a) to applications that provide for leveraging of funds for projects, i.e., that yield a larger amount of housing provided or a larger dollar value for the level of funding being sought (b) to applications that provide the longest term of permanent affordability, and (c) to applications that provide housing to serve the needs of households with the lowest incomes. All Housing Trust Fund resources shall be applied exclusively to Eligible Activities within the City of St. Charles.

The City may approve additional criteria and priorities in connection with a specific program, as set forth in the document establishing that program.

[\(2010-M-16: § 1\)](#)

3.50.050 – Review and Approval of Applications and Programs

The City Council shall be solely responsible for the approval of all programs and applications that utilize the expenditure of Housing Trust Funds. Applications for Housing Trust Fund awards shall be submitted to the Director of Community Development (or his or her designee). Applications/programs that comply with the applicable requirements shall be forwarded to the Housing Commission, and any applications/programs that do not comply shall be returned to the applicant with a written explanation of why the application will not be considered. The Commission shall review and make recommendations to the City Council as to which applications/programs are awarded Housing Trust Funds

The City Council may, at its discretion, approve a program that delegates the approval of applications and the dispersal of Housing Trust Fund moneys to the Housing Commission or Community Development Director (or His/Her Designee), provided that provisions for the disbursement of Housing Trust Fund moneys are specifically set forth within the scope of that program, and the program complies with the provisions of this Chapter.

[\(2010-M-16: § 1\)](#)

3.50.060 – Conditions

As a condition of any Housing Trust Fund award for any Eligible Activity, the Applicant shall execute and record such agreements, conditions, restrictive covenants, and other similar instruments, as may be required by the City to ensure that Housing Trust Fund resources will be used efficiently and for the intended purposes (“Conditions”). Among other requirements, the Conditions may bind the applicant and the property, if applicable, to the requirements of this Chapter and provide that all awards shall be used in strict compliance with the requirements of the City Code and the Conditions. The Conditions may also include a requirement that if the property or development is no longer being used for Affordable Housing pursuant to the requirements of the specific award, the Applicant or successor owner of the property or development shall be required to reimburse the Housing Trust Fund for up to 100 percent (100%) of the award, plus applicable interest.

3.50.070 – Sources of Funds

The City Administrator, for the benefit of the Housing Trust Fund, is authorized to accept funds, property, and other resources from all proper and lawful public and private sources including, without limitation, cash payments in lieu of constructing some or all of the on-site Affordable Units as required by Chapter 17.18.050 of the Inclusionary Housing chapter of the St. Charles Zoning Ordinance. The City Council, at its sole discretion, may make funds available to the Housing Trust Fund from the Corporate Fund, as it deems necessary and appropriate.

[\(2010-M-16: § 1; 2008-M-17: § 2\)](#)



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4c

Title: Recommendation regarding the St. Charles Housing Trust Fund Allocation to the Kane County Affordable Housing Fund for Anthony Place II.

Presenter: Ellen Johnson

Meeting: Planning & Development Committee

Date: January 9, 2023

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Background

GC Housing Development applied for Kane County Affordable Housing Fund financing to assist in funding Anthony Place II, a 60-unit affordable apartment building to be age-restricted to 55+. The project is located on the south side of Rt. 38/Lincoln Hwy between Randall and Bricher Roads in St. Charles. The City approved zoning entitlements for the project in 2021. (GC Housing previously constructed the Anthony Place I senior affordable project, located in the Prairie Centre development.)

Last summer, Kane County approved preliminary funding of the project in the amount of \$724,527 from the Kane County Affordable Housing Fund. It was anticipated this cost would be divided between County funds and City funds, but the exact amount was not finalized. The funding approval was contingent upon financing from Illinois Housing Development Authority, which had not yet been approved (See County letter dated 9/15/22).

In December, IHDA approved the preliminary application for Anthony Place II. GC Housing Development is now in the process of preparing the full tax credit application, due in February. With preliminary IHDA approval, Kane County can now issue the formal funding commitment.

Increased Funding Request to Kane County

However, GC Housing Development is now requesting additional funding from the Kane County Affordable Housing Fund. The funding request has increased from the initial request of \$724,527 to \$2,210,336. This constitutes 10% of the \$22.3 million total development cost. GC has provided a letter outlining reasons for the increased request, which is primarily due to construction costs and interest rate hikes (See GC letter dated 12/23/22).

Kane County staff have prepared a report detailing their review of GC’s application for Affordable Housing Fund financing (attached). The development pro forma and supporting documentation were reviewed and accepted by County staff as part of their review.

Kane County staff will be presenting a proposal to the Kane County Board in February requesting approval of \$1.1 million in County CDBG/HOME funds. To cover the full funding gap, the City would also need to contribute \$1.1 million, plus a 2.5% administrative delivery fee, to the project through the County Affordable Housing Fund.

Process for Review and Approval of City Funding

Based on the typical process, the St. Charles Housing Commission would approve the City’s end of the funding. However, the remaining \$262,088 from the City’s initial allocation into the Affordable Housing Fund is not enough to cover the \$1.1 million request.

City Council would need to approve an additional allocation of **\$865,412** from the City Housing Trust Fund for a total commitment of \$1.1 million in City funds (includes 2.5% delivery fee).

These funds would be utilized only if the project receives both County and IHDA financing approval. IHDA will notify the developer in June 2023 whether the project is approved.

If the City chooses to increase the City allocation to the County Affordable Housing Fund by \$865,412 to cover the funding gap for Anthony Place II, the City Housing Trust Fund will have a remaining balance of **\$771,925**.

(Staff anticipates developer contributions totaling \$518,115 to be paid to the City Housing Trust Fund in the coming year. Including those anticipated contributions, the HTF would have a remaining balance of **\$1.29 million**. These funds would be available for future affordable housing projects and/or programs.)

Housing Commission Recommendation

The Housing Commission discussed the funding request for Anthony Place II at their meeting on 1/5/23. They voted 5-0 to approve funding in the amount of \$1.1 million from the Housing Trust Fund, subject to City Council approval of an additional allocation of \$865,412 from the Housing Trust Fund to the Kane County Affordable Housing Fund.

Commissioners expressed support for the project and that the proposal is a productive use of the Housing Trust Fund given the number of affordable units that will be created. They noted this project would mark the first multi-family development funded by the Housing Trust fund.

Attachments *(please list):*

Kane County Preliminary Approval Letter, GC Housing Development Request Letter, Kane County Staff Report, IGA with Kane County, Approved PUD Plans

Recommendation/Suggested Action *(briefly explain):*

Provide a recommendation regarding the St. Charles Housing Trust Fund Allocation to the Kane County Affordable Housing Fund to provide \$1.1 in Housing Trust Funds for Anthony Place II.

Subject to a positive recommendation from the Committee, staff will prepare, for City Council consideration, an amendment to the City's Intergovernmental Agreement with Kane County.

COUNTY OF KANE

**OFFICE OF COMMUNITY REINVESTMENT
Community Development Division**

Scott Berger, Director

Josh Beck, Assistant Director for Community Development



workNet Batavia

143 First Street

Batavia IL 60510

Fax: 630-966-1172

www.countyofkane.org

September 15, 2022

Chealon Shears
GC Housing Development LLC
343 Wainwright Drive, Suite B
Northbrook IL 60062

Re: Notice of Preliminary Project Approval
Anthony Place Senior Apartments, Phase II, St. Charles IL

Dear Ms. Shears:

Congratulations! Your proposal for the development of Anthony Place Senior Apartments, Phase II, located in the City of St. Charles, was generally found to be very responsive to the selection criteria established for our Affordable Housing Fund. On behalf of the Kane-Elgin Consortium, I am pleased to notify you that your project has received our preliminary approval. This letter outlines the terms associated with this status as well as obligations that you must satisfy in order for your project to be considered for financing under our program.

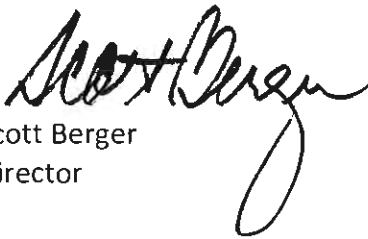
Please know, our preliminary approval was issued following a detailed review of your project. Your proposal was evaluated under several criteria, including development team qualifications, developer experience working with federal funding sources, developer capacity, project design, and overall value. Based on the information you provided, we found your proposal to be excellent in these areas. During our financial underwriting process, however, we noted that several key sources of financing have not yet been committed to your project and are not expected to reach that status in the near term. Based on our favorable review of your project, we are optimistic that you will secure those, and by issuing this notice of preliminary approval, we are placing your project in our pipeline for financing in the future.

Now that your project has received our preliminary approval, you can expect us to contact you periodically for progress reports and additional information and documentation. Your timely responses to our requests will be critical in order to maintain your status in our project pipeline. Once we determine your project to be both ready and suitable for financing, our Consortium may consider issuing a conditional commitment. In the meantime, please understand that this letter should not be construed as a commitment, nor should you begin any work on your project.

Notice of Preliminary Project Approval
Anthony Place Senior Apartments, Phase II, St. Charles
September 15, 2022
Page Two

Again, congratulations on receiving this preliminary project approval under our program! We very much look forward to working with you as your project progresses through the pre-development phase and toward reality. We are happy to provide this notice as evidence of our strong support and enthusiasm for your project. If you have any questions regarding this notice or our Affordable Housing Fund in general, please don't hesitate to contact my colleague, Josh Beck, Assistant Director for Community Development, at 630-444-2960 or beckjosh@co.kane.il.us. Thank you and very best wishes!

Sincerely,

A handwritten signature in black ink, appearing to read "Scott Berger". The signature is fluid and cursive, with a large loop at the end of the last name.

Scott Berger
Director



To: City of St. Charles
From: Jeffrey D. Crane, Manager – GC Housing Development LLC
Re: Anthony Place St. Charles II Senior Apartments – Request for Housing Trust Fund Funding
Date: December 23, 2022

GC Housing Development LLC (GCHD) and its not-for-profit partner Housing Opportunity Development Corporation (HODC), on behalf of the proposed project Anthony Place St. Charles II Senior Apartments, are submitting a request to the City of St. Charles to increase the St. Charles Housing Trust Fund allocation to the Kane County Affordable Housing Fund in order to assist in funding the project budget gap in conjunction with County funding sources through the Kane County Affordable Housing Fund Program. We are asking that this request be presented at the January 9, 2023 Planning & Development Committee, to then be presented for approval in a City Council meeting later in the month.

To date, GCHD and HODC have submitted an Illinois Housing Development Authority (IHDA) Preliminary Project Assessment Application (PPA) that was approved December 13, 2022, and now are in the process of preparing the IHDA Full Application for a February 16, 2023 submission. GCHD and HODC will be notified by IHDA in June 2023 if the Full Application has been approved.

The funding request is in the amount of approximately \$2,210,336 (includes about \$724,527 in preapproved Kane County AHF Program funding plus approximately \$1,485,809 gap funding). There are two reasons for this requested amount - primarily, to address increased construction costs, along with the increasing costs associated with the conventional financing involved affordable projects due to continuing Federal Reserve interest rate hikes.

Over the past several months, real estate developers and general contractors have been contending with significant construction cost increases. These increases have been approximately 8% across all construction trades according to the Crane Construction Company LLC, our general contractor who will build this project. Additionally, the Illinois Housing Council put together a task force of general contractors, architects, and developers earlier this year in which data findings were similar or a higher percentage increases in certain trades. As this relates to our proposed project, in which the current hard construction contract amount is \$17,214,295, the following continues to occur within the noted trades below. The attached pro forma, based on the development budget submitted in the October 20, 2022 IHDA PPA Application based IHDA's underwriting standards, reflects these increases. (Please note that but for the following, the total project budget would not be facing a funding gap or trying to fill one of this size):

- Carpentry / Lumber - Import and supply chain problems have been and continue to cause price increases on material that would be become available.
- Roofing - Elevated oil commodity prices have and continue to result in an increase from about \$441,822 (July 2022) at the time of the Kane County AHF application submission to about the current

estimated amount \$591,822 accounted for in the hard construction budget line item amount at time of the October 2022 IHDA PPA Application submission.

- Fire Protection - Elevated plastic piping material costs and fabrication in which oil is a primary fueling sources, along with supply chain issues, resulted in an increase from \$327,086 in July to about \$556,926.
- Plumbing – Similar to Fire Protection, elevated plastic piping material costs and fabrication in which oil is primary fueling source, along supply chain issues, have triggered price increases.
- Concrete and Concrete products - Product shortages for various reasons along with physical logistic backlogs have resulted in an amount that more than doubled from \$600,000 in July to about \$1,340,160.

GCHD, Crane Construction Company, and Hooker DeJong, the project Architect, are engaged in ongoing exercises to try to identify cost savings. Some of these efforts have been involving the following:

- Reviewing the construction contract line item by line item to see if there may be a downward price adjustment by the time of the construction start that may be accounted for now in the budget.
- For certain line items, determining if there is a less expensive alternative material or specification available that still would be meet any IHDA or City of St. Charles code and design requirements without compromising the quality of construction or building aesthetics.
- Related to IHDA new policies for storage materials and deposit on materials reimbursement, Crane Construction Company is looking into whether certain materials may be ordered at an earlier point to capture potential cost savings.

We understand the magnitude of this requested amount related to other potential projects the City and County are assessing for financial assistance. Given the success of Anthony Place at Prairie Centre and the growing need for senior affordable housing in the area, we are certain that a funding approval to fill the gap for this proposed second phase of Anthony Place will be an investment with innumerable returns to the City of St. Charles and Kane County for years to come.

Thank you for your consideration.

**KANE COUNTY AFFORDABLE HOUSING FUND
STAFF REPORT AND FUNDING RECOMMENDATION
January 3, 2023**

Applicant/Project Summary

Developer Name:	GC Housing Development LLC/Housing Opportunity Development Corporation			
Organizational Type:	Limited Partnership			
Project Name:	Anthony Place Senior Apartment Phase II			
Location:	St. Charles, Illinois			
Project Type:	New Construction Senior Housing			
Description:	Project is the construction of a 60 unit building on the west side of the City of St. Charles			
Unit Mix:	Unit Size	Affordable Units	Market Rate Units	Total Units
	1 Bedroom	48	0	48
	2 Bedroom	12	0	12
	Total	60	0	60
Income Targeting:	Income targeting information found in the market study: <ul style="list-style-type: none"> • 18 units at 30% AMI • 25 units at 60% AMI • 17 units at 80% AMI 			
Proposed Affordability Period:	Required: 20 years, based on development subsidy of over \$40,000/unit			
Budget Summary:	Funds from Other Sources:	\$20,174,333 (90%of TDC)		
	Affordable Housing Funds Requested:	<u>\$2,200,000</u> (10% of TDC)		
	Total Development Cost (TDC):	\$22,374,333		

Responsiveness to AHF Evaluation Criteria



EVALUATION CRITERIA	RATING	STAFF COMMENTS
Financial Underwriting		
Proposals must demonstrate that the project is not “economically feasible” without program assistance, and evidence of financial ability to implement project must be provided.		<p>Financing plan: The project sponsors have developed a strong financing plan that they will be implementing over the next 12-18 months. Proposed financing sources, including Low Income Housing Tax Credits and gap financing from the Illinois Housing Development Authority (IHDA) and Bank of America. Altogether, over 90% of the funding required for this project is from non-AHF sources.</p> <p>Available Cash Flow: In years 1-20, the pro-forma estimates total cash flow (cash remaining after project expenses and debt service payments) will be \$550,711. These are funds available to pay off AHF financing.</p>
Developer Qualifications		

Consideration will be given to the development team's qualifications to develop (or redevelop) high-quality affordable housing, especially in the Kane County market area. Further, specific detail related to the qualifications and experience of the individual(s) identified as project manager(s) will be evaluated.	●	The development team is well qualified to undertake and manage the project. Currently the applicant owns multiple Low-Income Housing Tax Credit developments in Illinois.
Experience		
Consideration will be given to the developer's track record of completing projects on time and within budget and their experience working with Federal funding (NSP, HOME, CDBG, etc.)	●	Project sponsor who acts developer, owner and operator of over 311 units within the state of Illinois. Project sponsor has completed multiple new construction projects.
Capacity		
Consideration will be given to the developer's capacity (including anticipated work load), the project's readiness to proceed, commitments secured from other sources, and the project's long-term feasibility.	●	The development team has extensive experience in delivering similar projects. Currently the developer has multiple projects across the state in different stages of development.
Project Design		
Consideration will be given to projects that address the Kane-Elgin Consortium's General Principles and Specific Housing Criteria.	●	The project is located in an urbanized residential area that is well-suited for residential housing. It is in close proximity to public transportation, recreation, and other amenities. Project meets the goals of the Consortiums General Principles and Housing Criteria.
Value		
Priority will be given to developers that provide a high-quality end product in relation to their development costs. The extent to which they leverage other public and private resources will be considered.	●	The project sponsor is seeking a modest amount from the AHF (10% of TDC), and the overall per-unit development cost is (\$397,000/unit) is comparable with recent local projects such as Hanover Landing (40-unit project): \$424,000/unit; and Wildwood Trace (50-unit project): \$378,000/unit building.

Staff Recommendation

Approve/Disapprove:	Approve
Amount:	\$2,200,000.00
Terms:	<p>Cash Flow Loan of \$2,200,000.00 with the following terms:</p> <ul style="list-style-type: none"> ● 0.0% Interest Rate ● 20 Year Term <p>Payments due in years 1-20. Principal payments totaling 40% of available cash flow will be due in years 1-20 if cash flow is available. At</p>

	the end of year 20 balance of the loan, totaling \$2,200,000.00 minus any cash flow payments will be due.
Conditions:	<p>The applicant must submit evidence that the following conditions have been satisfied in order to receive final commitment:</p> <ol style="list-style-type: none"> 1. Fulfillment of all other OCR requirements. 2. Close on the project financing before June 1, 2024 3. The project receives all financing commitments from other sources by July 1, 2023, or the date of announcement of IHDA's 2023 LIHTC awards, whichever is later. 4. Developer agrees to offer available units first to persons leaving permanent supportive housing units or participating in Rapid Re-Housing programs funded through the Continuum of Care for Kane County.

B. PROJECT SPONSOR INFORMATION

Project Sponsor Name:	GC Housing Development LLC		
Project Name:	Anthony Place St. Charles Phase II Senior Apartments		
Federal ID #:	47-5206249	DUNS # (if available):	045847294
Mailing Address including City, State and Zip:	343 Wainwright Drive, Suite B, Northbrook, IL 60062		
Contact Person:	Chealon Shears		
Telephone Number:	847.564.7417	Email Address:	cshears@gchdev.com
<input type="checkbox"/> Not-For-Profit Organization <input checked="" type="checkbox"/> For-Profit Organization			
Is your organization a Community Housing Development Organization (CHDO)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Are you seeking financing from Low Income Housing Tax Credits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Please indicate the nature of work involved in your proposed project:			
Check all that apply: <input checked="" type="checkbox"/> Acquisition of real estate <input type="checkbox"/> Rehabilitation of existing housing			
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Conversion to residential			
Total Cost of Project	\$22,443,985	Total # of Housing Units in the Project	
AHF Amount Requested	\$742,527	60	

C. DEVELOPMENT TEAM INFORMATION

Role	Name of Entity	Existing	To Be Formed
Co-Sponsor	Housing Opportunity Development Corporation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Owner	Anthony Place St. Charles II, LP	<input type="checkbox"/>	<input checked="" type="checkbox"/>
1. General Partner	GC Housing Development St. Charles II, LLC	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Limited Partner	TBD	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Limited Partner		<input type="checkbox"/>	<input type="checkbox"/>
4. Administrative General Partner	HODC St. Charles II GP, LLC	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.		<input type="checkbox"/>	<input type="checkbox"/>
Architect	Hooker DeJong/Johnson & Lee	<input checked="" type="checkbox"/>	<input type="checkbox"/>
General Contractor	Crane Construction Company LLC	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Attorney	Ward, Murray, Pace & Johnson, PC	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Property Management	PPMI Management, LLC	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other:		<input type="checkbox"/>	<input type="checkbox"/>
Other:		<input type="checkbox"/>	<input type="checkbox"/>

D. PROJECT NARRATIVE/PLANS

Provide an answer to every question. Typing "See Attached" is not an acceptable response. IF THE QUESTION IS NOT APPLICABLE TO YOUR PROPOSED PROJECT, PLEASE WRITE "N/A".

1. Provide a detailed abstract of proposed project or development.

Anthony Place St. Charles Phase II Senior Apartments will be a 60-unit, four-story new construction property for Seniors, age 55 and above, located near the intersection of Lincoln Highway and Bricher Road in St. Charles. The proposed project will be developed by GC Housing Development LLC (GCHD) and Housing Opportunity Development Corporation (HODC), an Illinois not-for-profit and designated CHDO. The proposed project site currently is vacant land between two key commercial corridors, Randall Road and Lincoln Highway. The development will be affordable

to Seniors earning no more than 30% to 80% of the Area Median Income. All units will be income-restricted with a 30-year affordability period. There will be 48 One - Bedroom units and 12 Two-bedroom units, as well as approximately 76 parking spaces. Development amenities will include, but are not limited to, a community room, outdoor recreational space, and onsite property management. The development team also intends to engage a social service organization, Association for Individual Development (AID), to provide direct services as well as referrals for residents. AID's services will include, but are not limited to, household planning, help accessing financial assistance, and computer training. The project will pursue Enterprise Green Communities certification with all electric (Moving to Zero). In 2020, GCHD completed Anthony Place at Prairie Centre, the first Phase, which is located 0.3 miles from this proposed development.

Anthony Place St. Charles Phase II Senior Apartments will meet all of the Affordable Housing Fund's requirements including income eligibility, accessibility, fair housing, labor standards, and environmental review.

Based on the requested Affordable Housing Fund amount of \$742,527 there will at least 3 fully assisted AHF units in the development. These units would be affordable to households at or below 60% of AMI.

limit 4,000 characters

2. Describe the project control structure from initial stages through construction and ongoing management, including partnerships or entities that are still to be formed.

Anthony Place St. Charles Phase II Senior Apartments is a partnership between GCHD (75%) and HODC (25%). GCHD is responsible for the day-to-day management of the project from pre-development through lease up and operations. As an experienced affordable housing developer, HODC will provide input on all aspects of the development process. The project ownership and general partner entities (a GCHD entity will be Managing General Partner and a HODC entity will be the Administrative Managing Partner) will be formed after the project receives a LIHTC allocation from IHDA. At closing, the to-be-formed Limited Partner will enter into the ownership structure to facilitate the tax credit equity. It is anticipated that the Limited Partner will exit the ownership structure after the 15-year LIHTC compliance period.

limit 4,000 characters

3. Will the project target a particular population(s)? Yes No

If yes, please describe all that are applicable (e.g. elderly, disabled, homeless, small/large families, etc.)

The target population is Elderly, or Seniors, age 55 and above. Approximately nine (9) units will be set-aside for the Statewide Referral Network to provide housing for those earning at or below thirty percent (30%) of the Area Median Income (AMI) with a head of household who has a disability or illness, including, but not limited to, a physical, developmental, or mental limitation, substance abuse disorder, HIV/AIDS, or is homeless or at risk of homelessness.

limit 4,000 characters

Describe supportive services to be provided, if any, including a detailed description of who will deliver these services. Attach copies of draft service agreements to be entered into with the service providers. Please include the name/contact information for the agencies that will provide services.

The development team intends to engage Association for Individual Development (AID) to provide direct services as well as service referrals for residents. Services will include, but are not limited to, household planning, help access financial assistance, and mental health and counseling referrals. The contact for AID is Lore Baker, President & CEO, 309 New Indian Trail Court, Aurora, IL 60606. Lore's email is lbaker@aidcares.org and her phone number is 630.966.4001. The draft letter of interest and draft service agreement are attached (Attachment S).

limit 4,000 characters

4. Provide details about the bedroom count and income limits associated with the units proposed.

# of Bedrooms	# of Units				
	30% limit	50% limit	60% limit	80% limit	Market Rate
1	14		21	13	
2	4		4	4	
TOTAL	18		25	17	

If there is an employee unit included in the project, please describe whether this unit will be income restricted and provide any further information about how this unit is included in the total unit count.

There is no employee unit included in the proposed development.

limit 4,000 characters

5. Will the project utilize Project-Based Housing Choice Vouchers? Yes No

If yes, please describe the number, dollar amount and duration of Project-Based Housing Choice Vouchers.

Not Applicable.

limit 4,000 characters

6. Is the property subject to this proposal currently occupied by:

Residential Renter Yes No

Residential Owner Yes No

Business Yes No

If yes to any of the above, please describe any plans and timelines for project transition. Please note that failure to provide notice under the Uniform Relocation Act to any current occupants concurrent with submission of this proposal to Kane County may jeopardize your ability to receive financing under the Affordable Housing Fund program.

The property parcel is vacant and has no residential or business occupants.

limit 4,000 characters

7. Provide a description of how the proposal addresses the Kane-Elgin Consortium’s Consolidated Plan Priority #1: Affordable Housing; General Principles and Specific Housing Criteria (See Appendix F to Affordable Housing Fund General Guidelines), with specific attention to the **location** and **design** of the project in accordance with county design requirements.

The proposed development meets most, if not all, of the principles and criteria of Priority 1: Affordable Housing from the Kane-Elgin Consortium's Consolidated Plan. Anthony Place St. Charles Phase II Senior Apartments is located in St. Charles, IL along the St. Charles/Geneva border in the West Gateway Subarea identified as ideal for mixed uses in The City of St. Charles's 2013 Comprehensive Plan. Given the site's location near two commercial corridors, Randall Road and Lincoln Highway, residents will be able to easily access a host of amenities. Within a quarter-mile of the site are the following: Jewel Osco, a full service grocery store; Pace Buses 801 and 802, which serve the Elgin Transportation Center and Metra Station, the Geneva Metra Center and provide service to Aurora, Geneva, Elgin,

and Batavia; Bricher Park; CVS Pharmacy; and a Citi Bank branch. Within a mile are also the following: two shopping centers with stores ranging from Lowe's and Home Goods to several clothing and sporting goods stores to a variety of restaurants; the post office; and at least one church. Given the range of amenities in close proximity to the development, Anthony Place residents will be able to meet many of their needs near home with access to transit if they need to go beyond the immediate neighborhood. Anthony Place St. Charles Phase II Senior Apartments is located 0.3 miles from another affordable senior development by GCHD, Anthony Place at Prairie Centre, as well as the family, market rate The Reserve at Prairie Center Apartments development. The addition of the proposed project continues to provide housing for a range of household incomes, redevelops a vacant parcel as infill development with existing water and sewer connections, and places residents within close proximity to retail, services and transit. The development will also provide new customers for area businesses. Lastly, according to the U.S. Census, there are approximately 5,500 jobs within one mile of the project site.

The development team, specifically the Sponsors and property manager, have extensive experience managing and maintaining properties that are long-term assets to their communities. GCHD's founders have developed over 700 units across the state of Illinois. HODC has developed over 400 units. Pioneer Property Management currently manages 5,000 units in eight states, including Anthony Place at Prairie Centre.

When completed, the proposed project will result in a new four-story senior development with parking and green space that will fit into the context of adjacent retail uses and residential uses south of Bircher Road and north of Lincoln Highway. The project will pursue Enterprise Green Communities certification with all electric (Moving to Zero).

limit 4,000 characters

8. Provide a description of current site control for the proposed project site.

GC Housing Development LLC has an executed purchase agreement with the current owner of the site, Shodeen Family Property Company, L.L.C. The agreement includes a contingency that accounts for IHDA's LIHTC application process. The purchase agreement is attached for reference (Attachment T).

limit 4,000 characters

E. PROJECT SPONSOR EXPERIENCE/QUALIFICATIONS

1. Describe the relevant experience/qualifications of the Project Sponsor.

GC Housing Development LLC (GCHD) is a fourth generation, Chicago metro-based developer of affordable housing. Utilizing federal housing tax credits to finance their affordable housing portfolio, GCHD currently focuses on developing high-quality, affordable, independent living Senior communities for those over the age of 55. GCHD's mission is a two-prong approach: 1) Develop high quality, affordable housing by providing our residents with spacious units with the most in-unit and common area amenities, at an affordable rent level and 2) Become stewards of the communities we develop in through long-term relationships with property management, long-term investments in maintaining and improving the physical health of our properties, and long-term focus on the overall well-being of our residents.

GCHD's co-founders have developed over 700 units of affordable housing units across the state of Illinois. GCHD, through a partnership with Crane Construction Company LLC, provides both development and construction services from start to finish for all our projects. By retaining control over the entire construction process, we are uniquely suited in the affordable housing community to help partners accomplish cost savings while being fully accountable for the physical soundness of the communities we construct.

With over five decades of combined experience, GCHD's founders have worked with all types of stakeholders in the affordable housing marketplace. We have seen the good, the bad, and everything in between. Whether GCHD is collaborating with a non-profit whose mission is to bring more affordable housing to a particular region, or

collaborating with a non-profit whose mission is to bring more affordable housing to a particular region, or partnering with a large financial institution seeking to reinvest in the communities they do business in, GCHD understands the importance of working with the right partners to bring long-term change to communities across the state of Illinois and beyond. *limit 4,000 characters*

2. List the name and title of the individual(s) who will manage the project.

Chealon Shears, Director of Real Estate Development, GC Housing Development *limit 4,000 characters*

3. Please disclose any investigation underway regarding any member of the development team.

Not Applicable

limit 4,000 characters

4. Complete a **DEVELOPMENT TEAM MEMBER NARRATIVE** for each member listed on the Development Team. The narrative should address the experience and qualifications of the team member/firm, and any principals or staff that will be assigned to the project.

4.1 ROLE: **Project Sponsor**

ENTITY NAME: GC Housing Development LLC

CONTACT PERSON: Chealon Shears

ADDRESS: 343 Wainwright Drive, Suite B,
Northbrook, IL 60062

PHONE: (847)858-0530 EMAIL: cshears@gchdev.com

GC Housing Development LLC (GCHD) is a fourth generation, Chicago metro-based developer of affordable housing. Utilizing federal housing tax credits to finance their affordable housing portfolio, GCHD currently focuses on developing high-quality, affordable, independent living residences for those over the age of 55. GCHD's mission is a two-prong approach: 1) Develop high quality, affordable housing by providing our residents with spacious units with the most in-unit and common area amenities, at an affordable rent level and 2) Become stewards of the communities we develop in through long-term relationships with property management, long-term investments in maintaining and improving the physical health of our properties, and long-term focus on the overall well-being of our residents.

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Chealon Shears joined GC Housing Development LLC, the sister company to Crane Construction Company LLC in April 2019. She has extensive experience in affordable, mixed-income, mixed-

use, and community facility real estate development in both the public and private sectors. She started her career as an urban planning consultant working on neighborhood improvement plans and housing studies. Her first foray into real estate development and financing started with underwriting commercial and industrial projects, and then transitioning into underwriting affordable and market rate residential projects. Throughout her career, she has also worked in the roles of a consultant and real estate developer. As a LEED Green Associate who is working towards becoming accredited as LEED AP in NC or EBOM, she is interested in incorporating green, sustainable design practices into housing as much as it is financially feasible to do so. (See Attachment U as it relates to Chealon Shears's role with GC Housing Development LLC and as a board member of the Co-Sponsor, as detailed in the next section.)

limit 4,000 Characters

4.2 ROLE: **Co-Sponsor**

CONTACT PERSON: Housing Opportunity Development Corporation

CONTACT PERSON: Richard Koenig

PHONE: (____)____-____

PHONE: (____)____-____

PHONE: (847)564-2900

Address: 5340 Lincoln Ave, Skokie, IL 60077

Email: rkoenig@hodc.org

HODC's mission is to develop, manage, and preserve the stock of housing that is affordable to low- and moderate-income households primarily throughout Chicago's northern suburbs. By providing affordable housing opportunities for our community, HODC helps in the following: increase aesthetic appeal through rehabs of buildings that otherwise would remain vacant; retain quality employees for local employers; create culturally rich communities; establish a resident base that is highly invested in the community's economic development; and increase revenue to the community by moving properties back onto the tax rolls.

HODC was established in 1983 by two housing organizations, the North Shore Interfaith Housing Council and the North Suburban Housing Center. In 1983, in response to the decline in federally assisted housing in the Chicago area, these organizations created a task force to perform a six-month study on how to increase the supply of affordable housing stock in the northern suburbs.

In response to recommendations of the task force, members of both organizations decided to create a community-based nonprofit affordable housing corporation to focus on increasing the housing stock available to limited-income households in the northern suburbs. The corporation was founded as the Interfaith Housing Development Corporation and has since changed its name to Housing Opportunity Development Corporation. HODC is an Illinois not-for-profit and CHDO.

Richard Koenig was hired in 1997 as HODC's first full-time executive director. He has completed over 30 affordable developments for HODC worth over \$100 million with over 500 affordable units. Richard is responsible for strategic visioning, project development and financing, budgeting and board development. He was previously HOME Program Supervisor at the Illinois Housing Development Authority. Richard has a PhD in Community Economic Development from Southern New Hampshire University and a Master of Urban Planning from the University of Illinois. He is an Adjunct Professor at SNHU and teaches masters students in community development. He is a member of Lambda Alpha and the American Planning Association, certified by the American Institute of Certified Planners, and has an Illinois real estate broker license. Richard previously served on the board of Housing Options for the Mentally Ill and as Chair of the Alliance to End Homelessness in Suburban Cook County.

4.3 ROLE: General Contractor

CONTACT PERSON: Crane Construction Company LLC

CONTACT PERSON: Andrew Block

PHONE: () -

PHONE: () -

PHONE: (847)291-3400

Address: 343 Wainwright Drive, Suite B, Northbrook, IL 60062

Email: ablock@craneconstruction.com

Crane Construction Company LLC is a rare breed in the construction industry. Crane was founded on the philosophy that our owners be intimately involved in every project. Quality and client satisfaction are the most important aspects of the company. Our people love what they do and have the longevity to prove it. A family-owned and operated business with roots in construction for more than 60 years, we've built a reputation for excellence, collaboration and integrity. We partner with a diverse range of clients in areas including retail, restaurants, hospitality, commercial and multi-family residential, and manage a full range of services throughout the construction process. Some of the most iconic brands in the world have come to us with their most sophisticated and complex needs, and we have helped turn their visions into realities.

Our unique approach stems from the belief that bigger is not always better. We take on a limited number of projects each year to ensure that our Principals are involved with every project, and each is handled meticulously from start to finish. This approach allows us to be more agile and innovative, and our lack of bureaucracy provides unmatched efficiency and client satisfaction.

Crane's greatest asset is our people. Our staff includes second and third-generation family members and many individuals who have been with the company for decades. We are experienced, passionate about what we do and work as a team to ensure the best and most efficient outcome for our clients.

As President, Andrew Block, along with Partner Ross Grande and Partner Warren Even, oversee all of Crane's business operations. Prior to that, Andrew was the head of Real Estate Development for Crane's affiliate company, GC Housing Development LLC. Andrew, Ross, and Warren become the fourth generation at Crane to carry on the tradition of developing and building high quality construction projects throughout the United States.

Before joining Crane, Andrew was the Executive Vice President of the Harry Walker Agency (HWA), a speakers' agency based out of New York. There, Andrew ran the Speaker Management and Contracts Department. HWA represents many of the world's foremost speakers, including President Clinton, Secretary Clinton, Vice President's Gore and Cheney, Former UN Secretary-General Kofi Annan, Michael Eisner, David Stern, Steve Forbes, Shaquille O'Neal, and many others. In his role at HWA, he had the opportunity to work closely with these distinguished speakers. His time running the Speaker Management Department took him to 26 countries and 27 US States.

4.4 ROLE: Property Manager

CONTACT PERSON: PPMI Management LLC

CONTACT PERSON: Renee Geyer

PHONE: () -

PHONE: () -

PHONE: (608)348-7755

Address: 229 Thomas Lane, Fox Lake, IL 60020

Email: renee@ppmirentals.com

Pioneer Property Management Inc. (PPMI) was established in the fall of 1985 to provide effective management and oversight for federally subsidized housing complexes financed through the U.S. Department of Agriculture. In 1990, it changed from a sole proprietorship and became incorporated as Pioneer Property Management, Inc. Today PPMI manages a mix of 5,000 units and 80 properties throughout 8 different states including both family and senior living. These states include Wisconsin, Illinois, Iowa, Missouri, Texas, Mississippi, Arkansas, and Indiana. Within those projects is a large concentration of Section 42 LIHTC housing. This is a highly competitive and quickly growing segment of the Affordable Housing industry that Pioneer has spent over 20 years performing within at a high level. Each year that is proven with the opportunities awarded in managing new LIHTC projects. PPMI is dedicated to continual growth within the industry and staying ahead of all trends headed its direction.

Renee Geyer has been with Pioneer since 2007 and oversees compliance monitoring for eight states (Illinois, Wisconsin, Mississippi, Indiana, Missouri, Arkansas, Iowa & Texas). She manages the compliance for over 80 LIHTC properties. Renee is a licensed Broker in both Illinois and Wisconsin and holds the following certifications: Housing Credit Certified Professional; Blended Occupancy Specialist; Certified Occupancy Specialist; Tax Credit Compliance Systems; and National Compliance Professional.

limit 4,000 Characters

4.5 ROLE: **Architect**

CONTACT PERSON: Hooker DeJong/Johnson +

CONTACT PERSON: Joshua Hahn/Phillip Johnson

Lee

PHONE: (____)____-____

PHONE: (____)____-____

EMAIL: _____

Hooker DeJong: 1720 W Division St, Chicago, IL 60622
email: joshua@hdjinc.com Phone: 847.708.8846

The HDJ team combines creativity, experience, resourcefulness, and collaboration to provide the best possible design solutions to achieve our client's project objectives. Our full range of services include site selection assistance, pre-project planning, schematic design, design development, construction documents, bid negotiation, and construction administration. HDJ has the capacity of talent-base to deliver complex projects in a timely manner. Our architecture team, supporting projects throughout the country, is skilled in working closely with clients to achieve project success. HDJ's affordable housing portfolio includes successful outcomes with acquisition rehab, adaptive reuse renovation, new construction, historic preservation, RAD, mixed-use, low-mid- and high-rise apartments, stacked flats, townhomes, and scattered sites. (See Attachment V containing resumes of the project architects from this firm.)

Johnson & Lee: 1 East 8th St, Chicago, IL 60605 email: pcj@jlarch.net

Phone: (312)663-0225

Johnson & Lee Architects is an award winning design-oriented architectural and planning firm, which provides a wide range of services on the design and construction of residential, commercial, educational, institutional, interior, health care, office and historic preservation projects. The firm's work is based upon budgetary guidelines, scheduling, technical skills, sustainability, energy efficiency, green technology and an awareness of the human factors that must be considered to produce architectural and planning excellence. Our commitment to excellence, along with a

complete familiarity with current problem-solving techniques, software and building construction methods, enables us to meet any challenge in the field of architectural design, planning and building technology.

Phillip Craig Johnson has 44 years of experience in a variety of architectural areas prior to and since co-founding the firm in 1983. In May 2005, Mr. Johnson was elevated by the American Institute of Architects to the College of Fellows. Mr. Johnson served on the Board of The American Institute of Architects Chicago as an advisor to the Board of The Illinois Chapter of the National Organization of Minority Architects (INOMA). As one of Johnson & Lee's design principals, Mr. Johnson earned the Chicago AIA Chapter Design Excellence Award and also the Driehaus Neighborhood Design Award. Johnson & Lee, Ltd. is the only owned African-American architectural firm to achieve such prestigious awards. He is a member of the Art Institute of Chicago Leadership Advisory Committee, ABLE - Alliance of Business Leaders and Entrepreneurs, Chicago Architecture Club, Newhouse Architecture Committee, Art Institute, Museum of Contemporary Art, Near South Planning Board, Archeworks Board, City Club of Chicago, National Trust for Historic Preservation, Masters of Fine Art Program, Advisory Board for Columbia College Art & Design Department and the Chicago Historical Society Architectural Alliance. He was also a task force member with the Metropolitan Planning Council for Chicago Housing Authority Rehabilitation and Reinvestment Study, as well as an AIA Charette participant for New Housing for North Kenwood Development. Also, Mr. Johnson received the Lifetime Achievement AIA Award 2020.

limit 4,000 Characters

4.6 ROLE: **Attorney**

CONTACT PERSON: Ward, Murray, Pact & Johnson

CONTACT PERSON: Robert T. LeSage III

PHONE: () -

PHONE: () -

PHONE: (815)284-8200

Address: 226 W. River St, P.O. Box 404, Dixon, IL 61021

Email: lesage@wmpj.com

Founded in 1862, Ward, Murray, Pace & Johnson, P.C. (WMPJ) is a full service, civil practice law firm. With 17 attorneys, the firm is one of the largest in northwest Illinois. The firm's goal is to utilize the highest ethical standards in providing excellent, cost-effective legal services to our clients. WMPJ provides a wide range of legal services for many types of clients. Clients include individuals, small business and partnerships, corporations, developers, school districts, cities, and many others. WMPJ helps its clients by providing a wide range of legal services in the following areas of law: personal injury, workers' compensation, employment, probate, real estate, estate planning, hospitals, schools, municipalities, state and federal civil litigation, bankruptcy/creditor rights, banking, insurance, corporations, tax and environmental.

Robert LeSage earned his law degree from the Chicago-Kent College of Law in 1996, where he graduated cum laude. He received his B.A. from Northwestern University in 1993.

Mr. LeSage was admitted to the Illinois Bar in 1996. He is a member of the Illinois State Bar Association, Whiteside County Bar Association, and Lee County Bar Association.

Mr. LeSage is currently Chairperson of the Dixon Public Schools Foundation and Northern Illinois Home Medical Supply. He also serves on the board of directors of the Lee County Industrial Development Association.

limit 4,000 Characters

4.7 ROLE: _____

CONTACT PERSON: _____

PHONE: (____)____ - _____

CONTACT PERSON: _____

PHONE: (____)____ - _____

PHONE: (____)____ - _____

limit 4,000 Characters

4.8 ROLE: _____

CONTACT PERSON: _____

PHONE: (____)____ - _____

CONTACT PERSON: _____

PHONE: (____)____ - _____

PHONE: (____)____ - _____

N/A

limit 4,000 Characters

5. Has the assembled development team worked together previously on similar projects? Yes No
 If yes, please describe the results of this relationship by citing examples of prior development. If no, describe why/how these parties have been selected.

Crane Construction has built all of GCHD's residential developments, including Anthony Place at Prairie Centre (St. Charles, IL), Anthony Place Yorkville (Yorkville, IL), and Anthony Place Ottawa (Ottawa, IL). These are all Senior developments. PPMI manages all of GCHD's developments. WMPJ has been the attorney on all of these deals as well.

The remaining members of the development team were selected based on their track record in their respective fields, specifically as it relates to affordable housing, and to put GCHD in the most competitive position to secure tax credits from IHDA.

limit 4,000 characters

F. SOURCES AND USES OF FUNDS

Please list all sources of funds including dollar amount and timing of availability. List the proposed use of each source of funds, and include copies of firm commitment letters with all terms and conditions for all mortgages, grants, bridge (interim) loans and investment tax credits (historical, low-income, if applicable). **Please do not use acronyms.**

Sources of Permanent Financing

List in order of position proposed.

1.	Financial Institution: Bank of America	Interest Rate: 5.70%	Date funds available: May 2026
	Financing Program: Permanent Loan	Amortization Period: 35	Status of financing: LOI
	Amount: \$3,688,000	Loan Term: 18	Status Documentation Attached <input checked="" type="checkbox"/>
	Contact: Chris Nash	Annual Debt Service: \$243,491	Affordability period or other financing restrictions:
	Phone: 312-995-2205	Debt service position: 1st	
2.	Financial Institution: Illinois Housing Development Authority	Interest Rate: 0%	Date funds available: March 2024
	Financing Program: Soft Funds – Exact Sources TBD	Amortization Period: N/A	Status of financing: Preliminary Application To Be Submitted Fall 2022,
	Amount: \$3,366,000	Loan Term: 30	

			Response Expected By Late December 2022
	Contact: Christine Moran	Annual Debt Service: \$0	Status Documentation Attached <input type="checkbox"/>
	Phone: 312.836.5273	Debt service position: 2 nd	Affordability period or other financing restrictions: 30 Years
3.	Financial Institution: Kane County	Interest Rate: 0%	Date funds available: March 2024
	Financing Program: Affordable Housing Fund	Amortization Period: N/A	Status of financing: Status Documentation Attached <input type="checkbox"/>
	Amount: \$742,527	Loan Term: 20	
	Contact: Josh Beck	Annual Debt Service: \$0	Affordability period or other financing restrictions: 20 Years
	Phone: 630.444.2960	Debt service position: 3rd	
4.	Financial Institution: Tax Credit Investor – Bank of America Affiliate	Interest Rate: 0%	Date funds available: March 2024
	Financing Program: LIHTC Equity	Amortization Period: N/A	Status of financing: LOI Status Documentation Attached <input checked="" type="checkbox"/>
	Amount: \$14,098,590	Loan Term: N/A	
	Contact: Kasia Blechschmidt	Annual Debt Service: N/A	Affordability period or other financing restrictions: 30 Years
	Phone: 312.904.0012	Debt service position: N/A	
5.	Financial Institution: Anthony Place St. Charles II LP (To Be Formed)	Interest Rate: 0%	Date funds available: March 2024
	Financing Program: Deferred Developer Fee	Amortization Period: N/A	Status of financing: N/A Status Documentation Attached <input type="checkbox"/>
	Amount: \$376,652	Loan Term: N/A	
	Contact: Chealon Shears	Annual Debt Service: N/A	Affordability period or other financing restrictions: N/A
	Phone: 847.564.7417	Debt service position: N/A	
6.	Financial Institution: ComEd	Interest Rate: 0%	Date funds available: May 2025
	Financing Program: Affordable Housing New Construction (Grant)	Amortization Period: N/A	Status of financing: Status Documentation Attached <input type="checkbox"/>
	Amount: \$172,116	Loan Term: N/A	
	Contact: Program Administrator	Annual Debt Service: N/A	Affordability period or other financing restrictions:
	Phone: 855.433.2700	Debt service position: N/A	
7.	Financial Institution: Anthony Place St. Charles II, LP	Interest Rate: 0%	Date funds available: March 2024
	Financing Program: General Partner Equity	Amortization Period: N/A	Status of financing: Application To Be Submitted Status Documentation Attached <input type="checkbox"/>
	Amount: \$100	Loan Term: N/A	
	Contact: Chealon Shears	Annual Debt Service: N/A	Affordability period or other financing restrictions:
	Phone: 847.858.0530	Debt service position: N/A	
8.	Financial Institution:	Interest Rate:	Date funds available:
	Financing Program:	Amortization Period:	Status of financing: Status Documentation Attached <input type="checkbox"/>
	Amount:	Loan Term:	
	Contact:	Annual Debt Service:	Affordability period or other financing restrictions:
	Phone:	Debt service position:	

Uses of Permanent Financing

Position	Acquisition Costs (A)	Construction/Rehab (B)	Developer Fee (C)	Development Costs (D)	Financing Costs (E)	Other Costs (F)	Totals
1	\$	\$3,250,000	\$	\$138,000	\$300,000	\$	\$3,688,000
2	\$	\$3,300,000	\$	\$36,000	\$	\$	\$3,366,000
3	\$300,000	\$350,000	\$	\$92,527	\$	\$	\$742,527
4	\$800,000	\$9,741,890	\$1,223,348	\$977,150	\$821,002	\$535,200	\$14,098,590
5	\$	\$	\$376,652	\$	\$	\$	\$376,652
6	\$	\$172,116	\$	\$	\$	\$	\$172,116
7				\$100	\$	\$	\$100

8	\$	\$	\$	\$	\$	\$	\$
TOTALS	\$1,100,000	\$16,844,006	\$1,600,000	\$1,243,777	\$1,121,002	\$535,200	\$22,443,985

Low Income Housing Tax Credits

Will this project be financed using Low Income Housing Tax Credits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Type of Credit: <input type="checkbox"/> 4% (or) <input checked="" type="checkbox"/> 9%		
Allocation Status: IHDA PPA to Be Submitted Fall 2022, Response Expected Late December 2022	Reservation Date: 2023	
Annual Tax Credit: \$1,500,000	Equity to be Raised: \$.94 \$14,098,590	Owner's Equity: \$100
Tax Credit Syndicator: Bank of America	Address: 110 North Wacker Drive, Chicago IL 60606	Phone:
Have you received a commitment from the tax credit syndicator? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (If Yes, please attach)		

Sources of Construction Financing

Source of Financing	Amount	Contact Name and Phone Number	Date available	Documentation Attached & Labeled
1. Construction Loan (Bank of America)	\$14,850,000	Chris Nash, 312.995.2205	March 2024 (installments)	<input checked="" type="checkbox"/>
2. LIHTC Equity (Bank of America)	\$2,114,789	Chris Nash, 312.995.2205	March 2024	<input checked="" type="checkbox"/>
3. IHDA Soft Funds	\$3,366,000	Christine Moran, 312.836.5273	March 2024 (installments)	<input type="checkbox"/>
4. Kane County Affordable Housing Fund	\$742,527	Josh Beck, 630.444.2960	March 2024	<input type="checkbox"/>
5. ComEd Affordable Housing New Construction	\$172,116	Program Administrator, 855.433.2700	May 2025	<input type="checkbox"/>
6. General Partner Equity	\$100	Chealon Shears – 847.564.7417	March 2024	<input type="checkbox"/>
7.	\$			<input type="checkbox"/>
8.	\$			<input type="checkbox"/>
9.	\$			<input type="checkbox"/>
10.	\$			<input type="checkbox"/>

G. RENTAL PROJECT INFORMATION

For each cost category, you must enter the total cost, and mark whether you are requesting to use Affordable Housing Funds for that item.

ACQUISITION COSTS	TOTAL COST	PROPOSED USE OF AHF
Land Acquisition Costs	\$1,050,000	<input checked="" type="checkbox"/>
Land Acquisition Closing Costs (title, recording, etc.)	\$50,000	<input checked="" type="checkbox"/>
Building Acquisition Costs	\$	<input type="checkbox"/>
Building Acquisition Closing Costs (title, recording, etc.)	\$	<input type="checkbox"/>
Other:	\$	<input type="checkbox"/>

	<i>Acquisition Total (A)</i>	\$1,100,000	
CONSTRUCTION/REHAB COSTS			
Site Work		\$	<input type="checkbox"/>
Demolition		\$	<input type="checkbox"/>
Rehabilitation/Construction		\$14,249,907	<input checked="" type="checkbox"/>
Equipment		\$	<input type="checkbox"/>
General Requirements		\$854,994	<input checked="" type="checkbox"/>
Contractor's Overhead		\$	<input type="checkbox"/>
Contractor's Profit		\$854,994	<input checked="" type="checkbox"/>
Bonding Fee		\$105,560	<input type="checkbox"/>
Builder's Risk Insurance		\$	<input type="checkbox"/>
Other:		0	<input type="checkbox"/>
	Subtotal	\$16,065,455	
Construction Contingency (5%)		\$712,495	
	Construction/Rehab Total (B)	\$16,777,950	
	Developer's Fee (9.5% of Acquisition and Construction/Rehab) (C)	\$1,600,000	<input type="checkbox"/>
DEVELOPMENT COSTS			
Real Estate Matters			
Partnership Formation		\$	<input type="checkbox"/>
Subdivision		\$	<input type="checkbox"/>
Other: Legal (Transaction and Sponsor)		\$75,000	<input type="checkbox"/>
Project Design			
Architectural (Design)		\$406,977	<input checked="" type="checkbox"/>
Architectural (Supervision)		\$136,556	<input checked="" type="checkbox"/>
Cost Estimate		\$10,000	<input type="checkbox"/>
Engineering		\$55,000	<input type="checkbox"/>
Value Engineering		\$	<input type="checkbox"/>
Site Investigation		\$	<input type="checkbox"/>
Other: Green Consulting, Materials Testing, Geotech, Soft Cost Contingency		\$138,184	<input type="checkbox"/>
Project Planning			
All Fees		\$	<input type="checkbox"/>
Permits		\$45,000	<input type="checkbox"/>
Appraisal (pre-purchase)		\$7,000	<input type="checkbox"/>
Appraisal (post-rehab)		\$	<input type="checkbox"/>
Environmental Study		\$5,000	<input type="checkbox"/>
Lead Based Paint Inspection		\$	<input type="checkbox"/>
Market Study		\$8,200	<input type="checkbox"/>
Survey		\$17,000	<input type="checkbox"/>
Utility Fees		\$50,000	<input type="checkbox"/>
Other: Accounting, FFE		\$150,000	<input type="checkbox"/>
Marketing/Leasing			
Marketing		\$30,000	<input type="checkbox"/>
Operating Reserve		\$201,315	<input type="checkbox"/>
Other: Insurance/Tax Escrow, Replacement Reserves, Non-Marketing Rent Up Costs		\$234,800	<input type="checkbox"/>
	Development Total (D)	\$	
FINANCING COSTS		TOTAL COST	
Tax Credits			
Tax Credit Fee		\$155,000	<input type="checkbox"/>
Tax Credit Counsel		\$	<input type="checkbox"/>
Cost Certification		\$	<input type="checkbox"/>
Other: Legal Syndication Fee		\$55,000	<input type="checkbox"/>
Other:		\$	<input type="checkbox"/>
Tax-Exempt Bond Financing			
Bond Counsel		\$	<input type="checkbox"/>
Underwriter's Fee		\$	<input type="checkbox"/>

Other:	\$	<input type="checkbox"/>
Other:	\$	<input type="checkbox"/>
Conventional Loans		
Construction Loan Origination Fees	\$111,375	<input type="checkbox"/>
Construction Loan Legal Fees	\$50,000	<input type="checkbox"/>
Permanent Loan Origination Fees	\$36,880	<input type="checkbox"/>
Permanent Loan Legal Fees	\$15,000	<input type="checkbox"/>
Loan Recordation Taxes/Fees	\$50,000	<input type="checkbox"/>
Other:	\$	<input type="checkbox"/>
Other:	\$	<input type="checkbox"/>
Other Loans		
Legal Fees	\$	<input type="checkbox"/>
Loan Recordation Taxes/Fees	\$	<input type="checkbox"/>
Other: Lender Inspection & Cost Review	\$60,000	<input type="checkbox"/>
Other: Third Party Reports	\$25,000	<input type="checkbox"/>
Construction Period Interest	\$737,747	<input type="checkbox"/>
Financing Total (E)	\$1,296,002	
OTHER COSTS		
Relocation	\$	
Other: Construction Period Taxes	\$100,000	<input type="checkbox"/>
Other Costs Total (F)	\$100,000	
TOTAL DEVELOPMENT COST (A+B+C+D+E+F) =	\$22,443,985	

Project Income/Expenses:

Provide the following information regarding rental project income and expenses for the first year of operation following construction/rehabilitation. We expect that these figures will be used as a baseline in your pro-forma.

Unit Mix and Project Income:

# of Bedrooms	# of Units	Average Square Feet	Gross Monthly Rent/Unit	Allowance for Tenant-Paid Utilities*	Net Monthly Rent/Unit
0			\$	\$	\$
1	48	764	\$514-1,455	\$35	\$479-1,420
2	12	1,042	\$617-1,746	\$42	\$575-1,704
3			\$	\$	\$
4			\$	\$	\$
TOTAL					

* See Appendix A of the "Guidelines for Rental Projects" for guidance regarding establishing a utility allowance schedule.

Annual Income:

Income Source	Amount
Rental Income (Gross)	\$727,433
Misc. Income	\$2,160
	\$729,593

Annual Expense:

Annual Administrative Expenses	
Expense Item	Amount
Management Fee	\$41,149
Legal/Accounting	\$20,000
Administrative	\$30,080
Advertising	\$1,200
Other: Manager Payroll	\$50,000

Other: IHDA and Kane County Monitoring Fees	\$1,600
Other:	\$
Total Administrative	\$144,029
Annual Operating Expenses	
Expense Item	Amount
Natural Gas (& other fuel)	0
Electricity	\$24,000
Water/Sewer	\$28,000
Trash Removal	\$13,200
Janitorial	\$6,000
Exterminating	\$3,400
Other: Operating and Maintenance Payroll	\$25,000
Other:	\$
Other:	\$
Total Operating	\$99,600
Annual Maintenance Expenses	
Expense Item	Amount
Building Maintenance	\$26,200
Ground Maintenance	\$6,000
Security	\$6,400
Decorating	\$3,400
Replacement Reserve	\$21,000
Other:	\$
Other:	\$
Other:	\$
Total Maintenance	\$63,000
Annual Taxes and Insurance	
Expense Item	Amount
Real Estate Taxes	\$72,000
Insurance	\$24,000
Other:	\$
Other:	\$
Total Taxes and Insurance	\$96,000
Annual Resident Services Expenses	
Expense Item	Amount
Cost of Supportive Services (for this project only)	\$
Other	\$
Other:	\$
Total Resident Services	\$
Total Annual Project Expenses	\$402,629

***PRO FORMA- Updated Oct. 2022- reflects budget gap
(application references figures from previous pro forma)**

Anthony Place at St Charles II

Sources and Uses

Summary

Total Units	60
9% Project - Total Units	60
4% Project - Total Units	0
Cost per Unit	\$397,669
Construction Cost Per Unit	\$302,966
Total Square Footage	
Acquisition Cost	\$1,100,000
Project Based Vouchers	0
LIHTC Pricing	\$0.940
IAHTC Pricing	\$0.000

Sources - Permanent	
LIHTC Equity	14,098,590
Perm Loan	3,407,000
IHDA Soft Funds	3,579,000
Kane County Affordable Housing Funds	742,527
Other	0
ComEd	172,116
Commercial - GP Equity	0
Residential - GP Equity	100
Deferred Developer Fee	375,000
Total	\$22,374,333

Construction Loan	16,050,000
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Uses	
Land Cost/Acquisition	1,100,000
Construction	18,177,954
Architect and Engineering	805,776
Financing	1,210,952
Legal Fees	140,000
Reserves	335,260
Other Project Costs	535,200
Developer Fee	1,500,000
Syndication Costs	55,000
Total	\$23,860,142

(Gap) Surplus (\$1,485,809)

Anthony Place at St Charles II

Project Budget

	Total Cost
LAND COST/ACQUISITION	
Land Cost or Value	1,050,000
Property Purchase Price	0
Acquisition Legal	0
Other Acquisition	50,000
Subtotal Land Cost / Acquisition Cost	1,100,000
NEW CONSTRUCTION	
Site Work	0
Grading	0
Buildings	15,369,907
General Requirements	922,194
Contractor Overhead	0
Contractor Profit	922,194
Construction Escalation	0
P&P Bond / Insurance	129,107
Winter Conditions	0
Lane Closures	0
Utility Connections	50,000
Subtotal New Construction Costs	17,393,402
Owner Hard Cost Contingency	768,496
ARCHITECTURAL FEES	
Design	438,965
Supervision	147,419
Landscape Architect	0
Subtotal Architectural Costs	586,383
SURVEY & ENGINEERING	
Civil engineer	67,518
Permit Expeditor	0
Survey	17,000
Green Consulting	59,875
Utility Consulting	0
Other	0
Other	0
Owner's Rep	0
Materials Testing	50,000
Geotech	25,000
Subtotal Survey & Engineering	219,393
CONSTRUCTION FINANCING & COSTS	
Construction Loan Interest	821,507
Origination Fee	120,375
Bond Cost of Issuance	0
Bond Issuance Admin Fee & Bond Legal Reserve	0
Bond Trustee Fee	0
Lender Inspections & Cost Review	60,000
Construction Period Insurance & Taxes	100,000
Security	0
Title & Recording	40,000
Subtotal Construction Interest & Fees	1,141,882
PERMANENT FINANCING	
Perm Loan Origination Fee	34,070
Loan 3rd Party Reports	25,000
Perm Title & Recording	10,000
Subtotal Permanent Financing Costs	69,070
LEGAL FEES	
Lender Legal Paid by Applicant	65,000
Bond Issuer Counsel	0
Other (transaction + sponsor)	75,000
Subtotal Attorney Costs	140,000
RESERVES	
Working Capital Reserve	0
RE Tax Escrow	49,500
Insurance Escrow	31,500
Replacement Reserves	45,000
Operating Reserves	209,260
Subtotal Reserve Costs	335,260
OTHER PROJECT COSTS	
Tax Credit Application	5,000
LHTC Reservation Fee & Carryover Fees	150,000
Donation Tax Credit Reservation Fee	0
Appraisal	7,000
Third Party Construction Certification	10,000
Phase I	5,000
Phase II	0
Tenant Improvements	0
Permit Fees	45,000
Impact Fees	0
Marketing	30,000
FF&E	125,000
Market Study	8,200
Accounting	25,000
Non-marketing Rent Up Costs	125,000
Financial Consultant	0
Soft Cost Contingency	16,056
Subtotal Other Costs	551,256
DEVELOPER COSTS	
Developer Fee	1,500,000
Subtotal Developer Costs	1,500,000
SYNDICATION COSTS	
Legal - Syndication	55,000
Consultant - Syndication	0
Subtotal Syndication Costs	55,000
TOTAL PROJECT COSTS	\$23,860,142

Anthony Place at St Charles II

Operating Expenses

				Total	Per Unit
Subtotals					
Administrative				\$82,880	
Administrative / Manager Payroll			50,000	833	
Employee Benefits, Payroll Taxes, Workers Comp			9,500	158	
Administrative Rent Free Unit				0	
Office or Model Apartment Rent				0	
Office Equipment			3,680	61	
Telephone / Cell			8,100	135	
Internet				0	
Cable / Satellite			3,800	63	
Postage & Delivery				0	
Staff Professional Development				0	
Staff Travel				0	
Advertising & Marketing			1,200	20	
LIHTC Monitoring (IHDA)	per LIHTC unit	\$25	1,500	25	
KC AHF Monitoring (Kane County)			100	2	
Misc.			5,000	83	
Professional Fees				\$15,000	
Legal	\$197		5,000	83	
Accounting / Audit			10,000	167	
Bookkeeping			-	0	
Other			-	0	
Operations & Maintenance				\$84,200	
Operating & Maintenance Payroll	\$1,108		25,000	417	
Operating & Maintenance Rent Free Unit			-	0	
Security			5,500	92	
Pest Control			2,400	40	
Trash / Recycling Removal			13,200	220	
Snow Removal			10,000	167	
Landscaping & Grounds Upkeep			6,000	100	
Janitorial Supplies			6,000	100	
Elevator			5,500	92	
HVAC Maintenance				0	
Plumbing & Electrical Maintenance				0	
Painting, Decorating & Flooring - Common Space			3,400	57	
Painting, Decorating & Flooring - Units			-	0	
Other			7,200	120	
Utilities				\$54,000	
Gas	PUPY	\$0	-	0	
Electricity	PUPY	\$400	24,000	400	
Water / Sewer	PUPY	\$500	30,000	500	
Other Utilities			-	0	
Taxes & Insurance				\$120,000	
Real Estate Taxes			90,000	1,500	
Property & Liability Insurance			30,000	500	
Other			-	0	
Management Fees				\$41,439	
Property Management Fee	% of EGI	6%	41,439	691	
Reserves				\$21,000	
Replacement Reserve	PUPY	\$350	21,000	350	
Operating Reserve			-	0	
Fiscal Agent Fee			-	0	
Other			-	0	
TOTAL OPERATING EXPENSES				\$418,519	\$6,975

Anthony Place at St Charles II

Residential Rent Assumptions and Unit Mix

TOTAL

30% AMI		Number of Units	Gross Rents	Utility Allowance	Net Rents	Monthly Total
	Studio	-	-	-	-	-
	1BR	18	514	35	479	8,620
	2BR	-	617	42	575	-
	3BR	-	-	-	-	-
	4BR	-	-	-	-	-
	Total	18				8,620

50% AMI		Number of Units	Gross Rents	Utility Allowance	Net Rents	Monthly Total
	Studio	-	-	-	943	-
	1BR	-	-	35	976	-
	2BR	-	-	42	1,171	-
	3BR	-	-	-	1,401	-
	4BR	-	-	-	-	-
	Total	-				-

60% AMI		Number of Units	Gross Rents	Utility Allowance	Net Rents	Monthly Total
	Studio	-	-	-	-	-
	1BR	17	1,056	35	1,021	17,352
	2BR	8	1,266	42	1,224	9,794
	3BR	-	-	-	-	-
	4BR	-	-	-	-	-
	Total	25				27,146

80% AMI		Number of Units	Gross Rents	Utility Allowance	Net Rents	Monthly Total
	Studio	-	-	-	-	-
	1BR	13	1,455	35	1,420	18,464
	2BR	4	1,746	42	1,704	6,817
	3BR	-	-	-	-	-
	4BR	-	-	-	-	-
	Total	17				25,281

Commercial		Square Feet	Tl/sf	TI	Rent/SF	Yearly	Total
	NA	0	\$0	\$0	\$0	-	-
		0	\$0	\$0	\$0	-	-
		0		\$0			-

TOTAL

Summary of Rental Income				Unit Mix and Residential Square Footage Table				
Total Units	60		Type	GSF	Count	% of total	Gross Total	
Rent Sources	Monthly	Yrly						
LHFC Rent	61,048	732,574	Studio	-	-	0%	-	
Other Income	180	2,160	1BR	764	48	80%	36,672	
Unrestricted Units	-	-	2BR	1,042	12	20%	12,504	
Commercial Rent	-	-	3BR	-	-	0%	-	
TOTAL RENTAL INCOME	61,228	734,734	4BR	-	-	0%	-	
			Total SF - Resi Units	60			49,176	
			Amenities/Mgmt Office/Hallways				-	
			Commercial Tenant				-	
			Total SF - Other				-	
			Total SF				83,236	
			Garage				-	
			TOTAL PROJECT SQUARE FOOTAGE				83,236	

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AMI and Unit Count Table									
	20% AMI	30% AMI	40% AMI	50% AMI	60% AMI	70% AMI	80% AMI	MR	Total
Studio	0	0	0	0	0	0	0	0	0
One Bedroom	0	18	0	0	17	0	13	0	48
Two Bedroom	0	0	0	0	8	0	4	0	12
Three Bedroom	0	0	0	0	0	0	0	0	0
Four Bedroom	0	0	0	0	0	0	0	0	0
Total	0	18	0	0	25	0	17	0	60
%	0.0%	30.0%	0.0%	0.0%	41.7%	0.0%	28.3%	0.0%	100.0%

Anthony Place at St Charles II

Residential Rent Assumptions and Unit Mix

	20%	30%	40%	50%	60%	70%	80%
Average AMI	0.0%	30.0%	0.0%	0.0%	41.7%	0.0%	28.3%
56.7%	0.0%	9.0%	0.0%	0.0%	25.0%	0.0%	22.7%

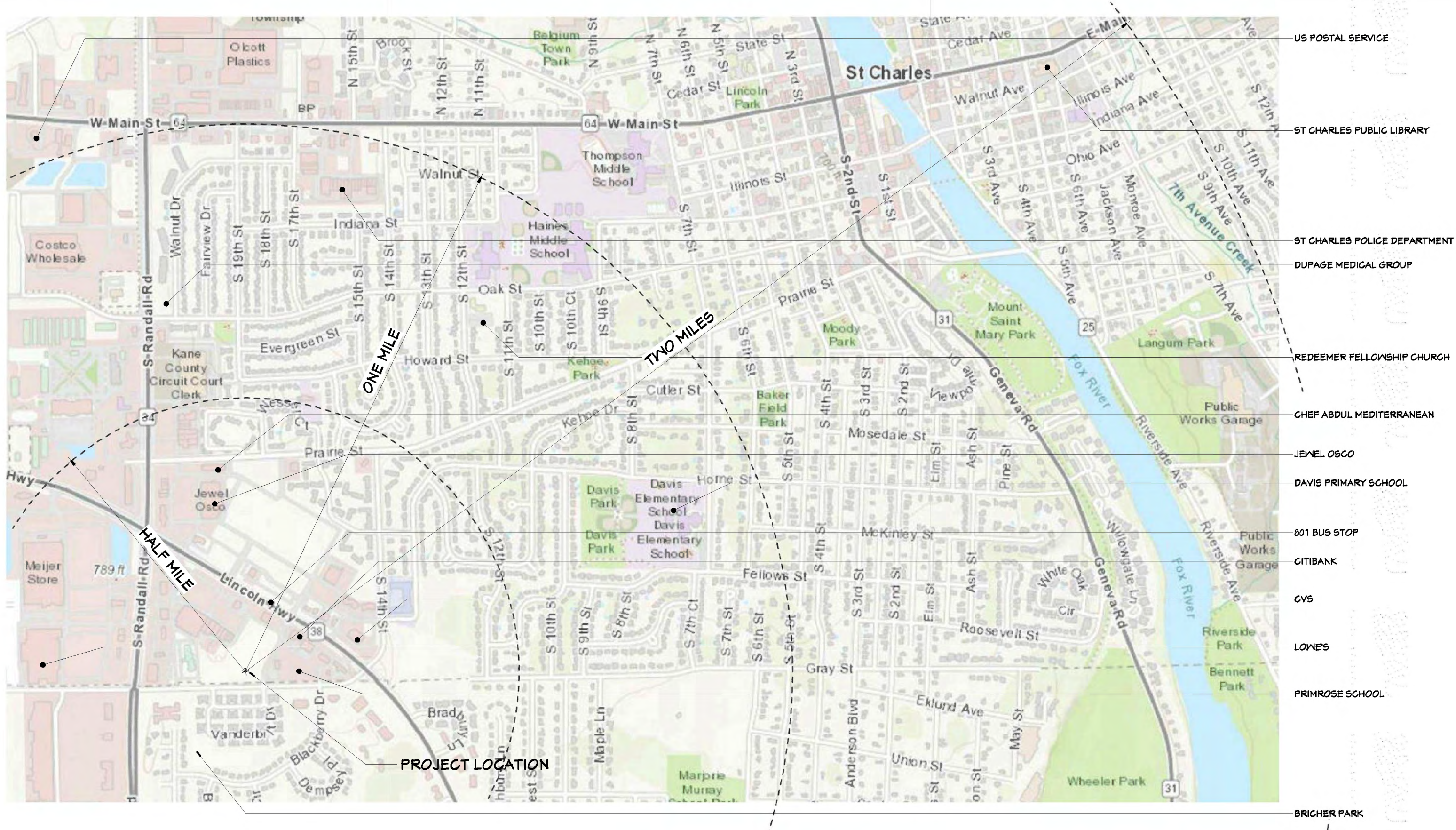
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Anthony Place at St Charles II

Operating Cash Flow - 9%

Assumptions: Rent Increase 2% Reserves Inc 3% Units 60
 Exp Increase 3% Resi Vacancy 6%
 R.E. Tax Incre 4%
 Mkt Rent Incre 2% Comm Vacanc 50% Comm Increa 2%

Year	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
INCOME																				
Residential	732,574	747,226	762,170	777,413	792,962	808,821	824,997	841,497	858,327	875,494	893,004	910,864	929,081	947,663	966,616	985,948	1,005,667	1,025,781	1,046,296	1,067,222
Commercial	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Gross Income	732,574	747,226	762,170	777,413	792,962	808,821	824,997	841,497	858,327	875,494	893,004	910,864	929,081	947,663	966,616	985,948	1,005,667	1,025,781	1,046,296	1,067,222
Miscellaneous Income	2,160	2,203	2,247	2,292	2,338	2,385	2,433	2,481	2,531	2,581	2,633	2,686	2,739	2,794	2,850	2,907	2,965	3,025	3,085	3,147
Vacancy - Residential	(44,084)	(44,966)	(45,865)	(46,782)	(47,718)	(48,672)	(49,646)	(50,639)	(51,651)	(52,685)	(53,738)	(54,813)	(55,909)	(57,027)	(58,168)	(59,331)	(60,518)	(61,728)	(62,963)	(64,222)
Vacancy - Commercial	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
EFFECTIVE GROSS INCOME	690,650	704,463	718,552	732,923	747,582	762,533	777,784	793,340	809,207	825,391	841,899	858,737	875,911	893,429	911,298	929,524	948,114	967,077	986,418	1,006,147
EXPENSES																				
Residential Operating Expenses except Real Estate Taxes	(328,519)	(338,375)	(348,526)	(358,982)	(369,751)	(380,844)	(392,269)	(404,037)	(416,158)	(428,643)	(441,502)	(454,747)	(468,390)	(482,441)	(496,914)	(511,822)	(527,177)	(542,992)	(559,282)	(576,060)
Real Estate Taxes	(90,000)	(93,600)	(97,344)	(101,238)	(105,287)	(109,499)	(113,879)	(118,434)	(123,171)	(128,098)	(133,222)	(138,551)	(144,093)	(149,857)	(155,851)	(162,085)	(168,568)	(175,311)	(182,323)	(189,616)
Commercial Operating Expenses	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Total Expenses	(418,519)	(431,975)	(445,870)	(460,219)	(475,038)	(490,342)	(506,148)	(522,471)	(539,329)	(556,741)	(574,724)	(593,298)	(612,482)	(632,298)	(652,765)	(673,907)	(695,745)	(718,303)	(741,605)	(765,676)
NET OPERATING INCOME	272,131	272,488	272,682	272,704	272,544	272,191	271,637	270,869	269,877	268,650	267,174	265,439	263,429	261,132	258,533	255,617	252,370	248,774	244,813	240,470
Debt Service	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)	(224,939)
NET CASH FLOW	47,192	47,550	47,744	47,765	47,605	47,253	46,698	45,930	44,939	43,711	42,236	40,500	38,490	36,193	33,594	30,679	27,431	23,835	19,875	15,532
Debt Coverage Ratio	1.21	1.21	1.21	1.21	1.21	1.21	1.21	1.20	1.20	1.19	1.19	1.18	1.17	1.16	1.15	1.14	1.12	1.11	1.09	1.07
Per unit expenses before Debt Service	6,975	7,200	7,431	7,670	7,917	8,172	8,436	8,708	8,989	9,279	9,579	9,888	10,208	10,538	10,879	11,232	11,596	11,972	12,360	12,761
Distribution of Cash Flow																				
Net Cash Flow	47,192	47,550	47,744	47,765	47,605	47,253	46,698	45,930	44,939	43,711	42,236	40,500	38,490	36,193	33,594	30,679	27,431	23,835	19,875	15,532
LP Asset Mgmt Fee	6,000	6,180	6,365	6,556	6,753	6,956	7,164	7,379	7,601	7,829	8,063	8,305	8,555	8,811	9,076	-	-	-	-	-
Partnership Mgmt Fee	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	-	-	-	-	-
Net	33,692	33,870	33,879	33,709	33,352	32,797	32,034	31,051	29,838	28,383	26,672	24,695	22,436	19,882	17,019	30,679	27,431	23,835	19,875	15,532

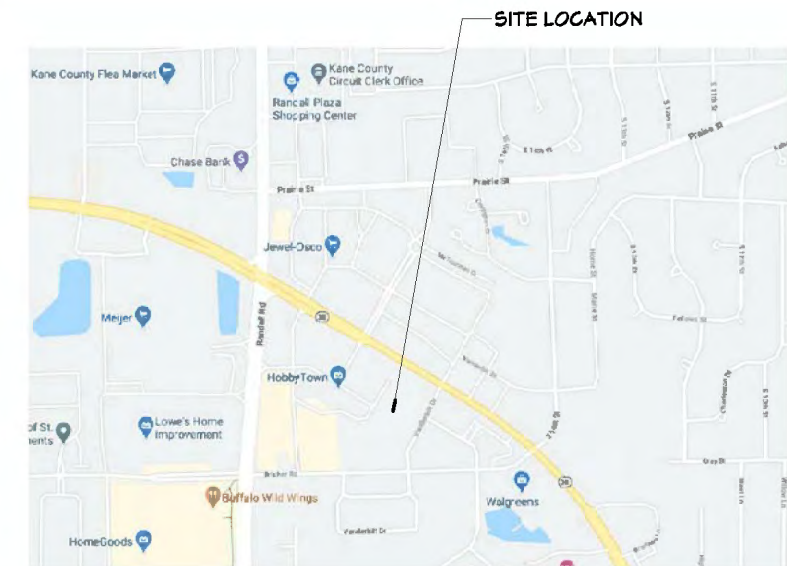


SITE LOCATION MAP | PR-0

ANTHONY PLACE - PHASE 2

ST CHARLES, IL

7/5/2022



VICINITY MAP

SITE INFORMATION

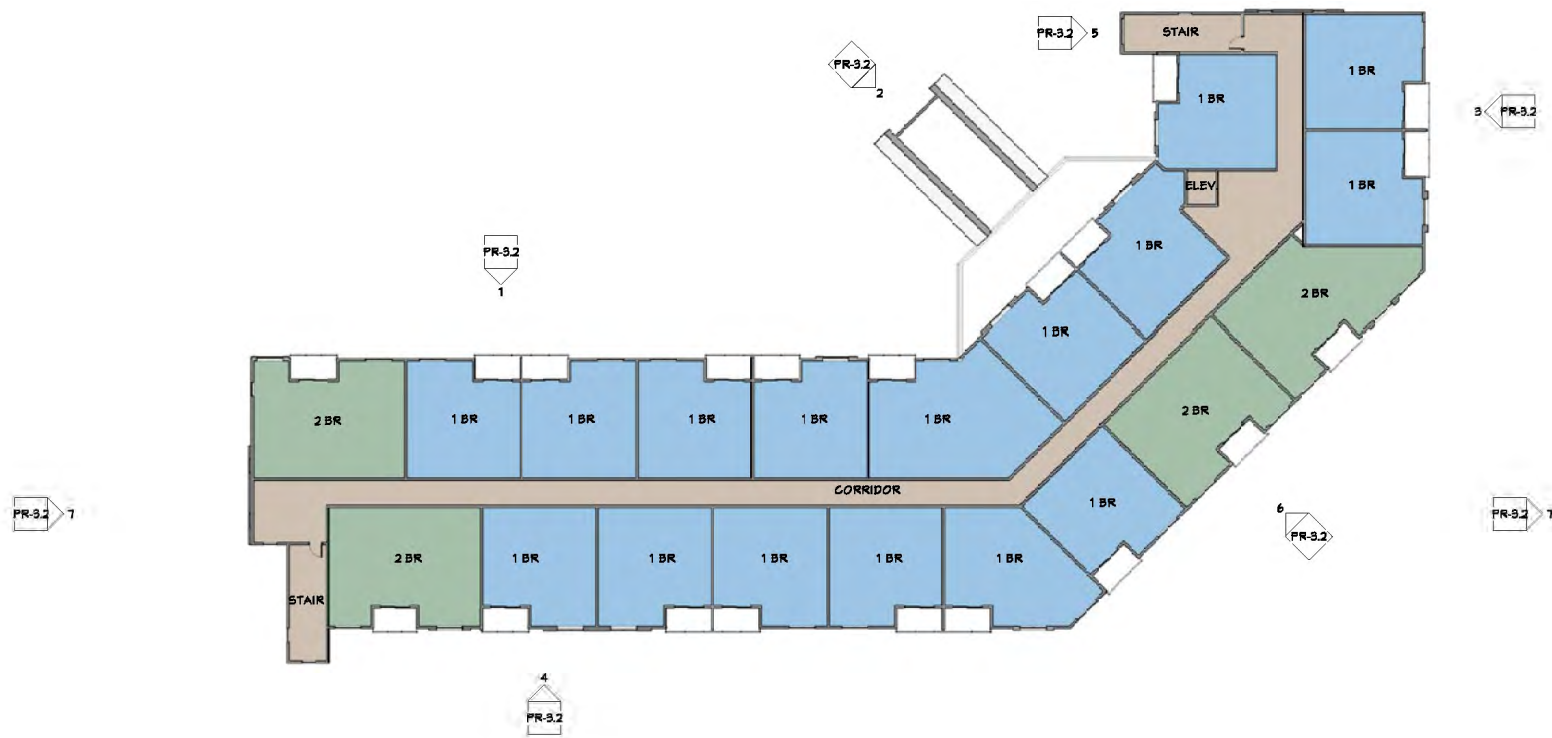
PARCEL NUMBER: 04-98-051-029	
SITE AREA: 44,940 SF / 4.51 ACRES (CURRENT)	
PROPOSED LOT A: 1.92 ACRES	
PROPOSED LOT B (PROPOSED PROJECT): 1.55 ACRES	
PROPOSED LOT C: 0.84 ACRES	
ZONING:	CURRENT: BR - REGIONAL BUSINESS
LOT COVERAGE:	66% (BUILDING AND PARKING)
FRONT SETBACK:	15'
REAR SETBACK:	15'
SIDE SETBACKS:	10'
BUILDING HEIGHT:	4 STORIES
PARKING:	REQUIRED: INDEPENDENT LIVING - 0.5 PER UNIT - 30 SPACES
(SPACE SIZE 9' x 10')	PROPOSED: 53 GARAGE SPACES
	22 SURFACE SPACES
	75 SPACES TOTAL

BUILDING MATRIX

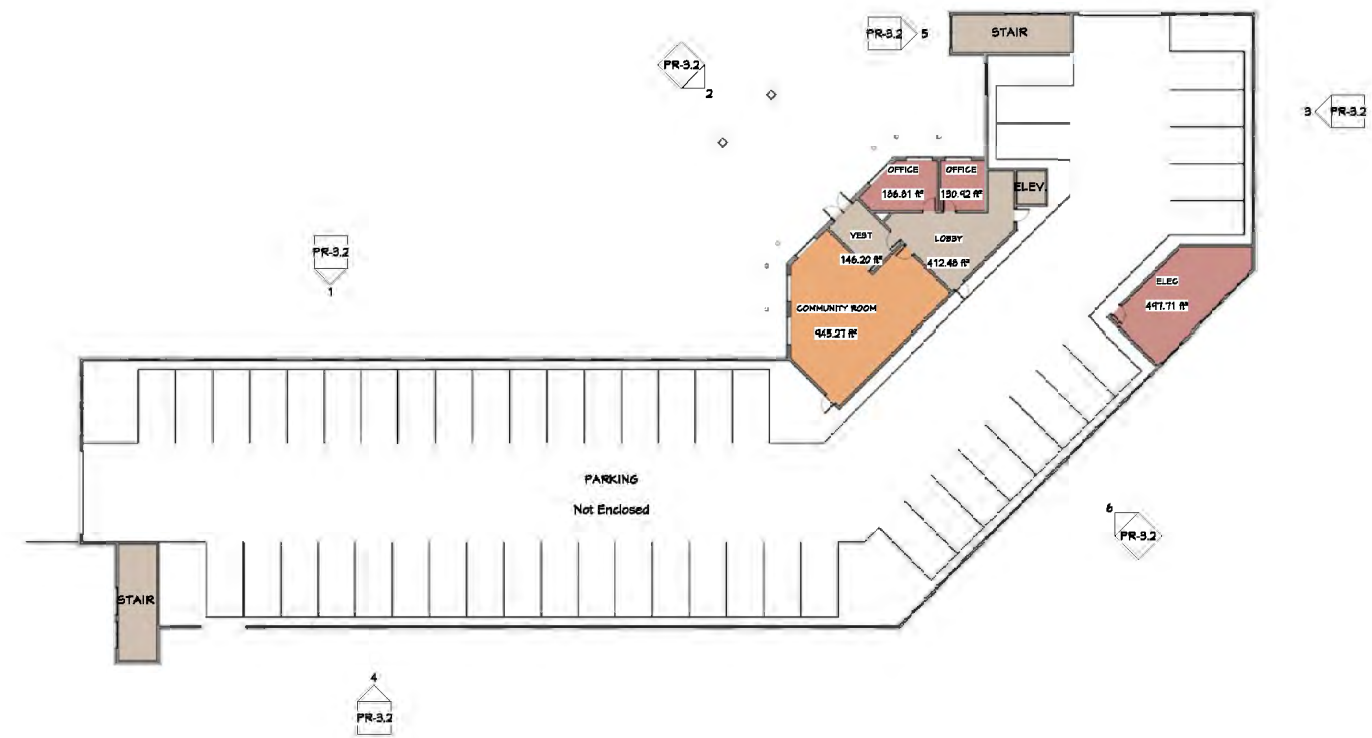
	GROSS AREA:	ONE BR	TWO BR	TWO BR
FIRST FLOOR:	22,336 SF	0	0	0
SECOND FLOOR:	20,300 SF	16	4	20
THIRD FLOOR:	20,300 SF	16	4	20
FOURTH FLOOR:	20,300 SF	16	4	20
TOTAL:	83,236 SF	48	12	60

ONE BEDROOM UNIT:
 NET AREA: 712 SF
 GROSS AREA: 764 SF
 BEDROOM SIZE: 12'-6" x 12'-6"

TWO BEDROOM UNIT:
 NET AREA: 927 SF
 GROSS AREA: 1,042 SF
 BEDROOM 1 SIZE: 10'-2" x 13'-2"
 BEDROOM 2 SIZE: 11'-6" x 13'-2"



1 SECOND FLOOR PLAN (THIRD & FOURTH SIM.)
 PR-2.1 3/8" = 1'-0"



3 FIRST FLOOR PLAN
 PR-2.1 3/8" = 1'-0"





7 TYP SIDE ELEVATION
PR-3.2 1/16" = 1'-0"



3 EAST ELEVATION
PR-3.2 1/16" = 1'-0"



6 SOUTHWEST ELEVATION
PR-3.2 1/16" = 1'-0"



4 SOUTH ELEVATION
PR-3.2 1/16" = 1'-0"



5 WEST ELEVATION
PR-3.2 1/16" = 1'-0"



2 NORTHWEST ELEVATION
PR-3.2 1/16" = 1'-0"



1 NORTH ELEVATION
PR-3.2 1/16" = 1'-0"

Refer to:	
Minutes:	6/18/18
Page:	

**City of St. Charles, Illinois
Resolution No. 2018-84**

A Resolution Authorizing the Mayor and City Clerk of the City of St. Charles to Execute an Intergovernmental Agreement by and between the City of St. Charles and Kane County regarding St. Charles Housing Trust Fund Administration and Management Services

**Presented & Passed by the
City Council on June 18, 2018**

WHEREAS, City, under Chapter 3.50 of the St. Charles Municipal Code, has established a Housing Trust Fund to provide sustainable financial resources to address the affordable housing needs of eligible households in St. Charles by preserving and producing affordable housing, providing housing-related financial support and services to eligible households and providing financial support for not-for-profit organizations that actively address the affordable housing needs of eligible households; and

WHEREAS, the City has previously established a Home Rehab and Accessibility Loan Program, the program description of which is attached hereto and incorporated herein as Exhibit "A", to assist income-eligible St. Charles homeowners to make necessary repairs and improvements to their homes; and

WHEREAS, the City desires to establish a First-Time Homebuyer Loan Program, the program description of which is attached hereto and incorporated herein as Exhibit "B", in order to provide opportunities for affordable home ownership to income-eligible families seeking to purchase a home in St. Charles; and

WHEREAS, the Kane County Board has established the Affordable Housing Fund, a combination of funds provided by the U.S. Department of Housing and Urban Development and other sources, to provide gap financing for the preservation and/or development of affordable housing in Kane County; and

WHEREAS, the City desires to contribute resources from the St. Charles Housing Trust Fund into the Affordable Housing Fund to be made available for projects located within the St. Charles corporate limits; and

WHEREAS, the City desires to partner with the Kane County Office of Community Reinvestment for services related to administration and management of the Home Rehab and Accessibility Loan Program, the First-Time Homebuyer Loan Program, and the City's contributions into the Affordable Housing Fund.

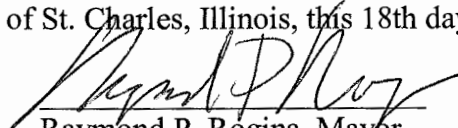
NOW THEREFORE, be it resolved by the City of St. Charles, Kane and DuPage Counties, Illinois, as follows:

1. That the Mayor and City Clerk be and the same are hereby authorized to execute an Intergovernmental Agreement between the City of St. Charles and Kane County, in substantially the form attached hereto and incorporated herein as Exhibit "C", by and behalf of the City of St. Charles.
2. That the City hereby grants authority to the St. Charles Housing Commission to review and approve financing for projects under the Kane County Affordable Housing Fund located within the St. Charles corporate limits.
3. That the City hereby allocates \$500,000 from the St. Charles Housing Trust Fund as follows: \$42,000 to the Home Rehab & Accessibility Loan Program, \$42,000 to the First-Time Homebuyer Loan Program, and \$416,000 to the Affordable Housing Fund.

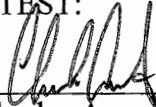
PRESENTED to the City Council of the City of St. Charles, Illinois this 18th day of June 2018.

PASSED by the City Council of the City of St. Charles, Illinois, this 18th day of June 2018.

APPROVED by the Mayor of the City of St. Charles, Illinois, this 18th day of June 2018.


Raymond P. Rogina, Mayor

ATTEST:



Charles Amenta, City Clerk

COUNCIL VOTE:

Ayes: 8
Nays: 0
Absent: 2
Abstain: 0



Exhibit "A"

Program Description – Home Rehab and Accessibility Loan Program

CITY OF ST. CHARLES FIRST-TIME HOMEBUYER LOAN PROGRAM

JUNE 2018

PROGRAM OVERVIEW

The City of St. Charles is committed to promoting the availability of attainable housing in the community. Purchasing a home in St. Charles is often out of reach for first-time homebuyers due to the market values of St. Charles' housing stock as well as the need for a downpayment. In an effort to make purchasing a home in St. Charles more affordable for local families, the City offers a downpayment assistance program for first-time homebuyers. Funding for this program will be provided by the St. Charles Housing Trust Fund.

Program Name	Program Description	Available Funds	Type of Loan
First-Time Homebuyer Loan Program (the "program")	Prospective homebuyers apply to the Kane County Office of Community Reinvestment for a loan through the City's Program. The program is supplemental to Kane County's First-Time Homebuyer Program. Applicants initially apply for the Kane County program. \$10,000 in assistance is available through the County's program. Loans through the City's program are considered if additional assistance is necessary to meet the County's underwriting criteria.	Maximum of \$10,000 per household	0% Interest deferred-payment loan with repayment at the time of sale or transfer of deed

ELIGIBILITY

The following criteria will determine applicant eligibility:

1. Income: The annual gross household income of the applicant's household may not exceed the income limits established below.
2. Status: The applicant(s) must satisfy HUD's definition of a first-time homebuyer, meaning the applicant(s) may not have owned a home for the past three years.
3. Residency: The applicant(s) must currently live or work in Kane County and must have lived or worked in Kane County for at least one year at the time of closing.
4. Location:
 - a. The property to be purchased must be within the City of St. Charles corporate limits.
 - b. The property to be purchased may not be located in the 100-year floodplain.
5. Unit Type: The property to be purchased may be a single-family detached unit, condominium unit, or townhome unit.
6. Purchase Price: The maximum purchase price for an existing home is \$206,000. The maximum purchase price for a new home is \$224,000. (Values effective 3/1/2017)
7. Ownership: The person(s) receiving the loan must plan to live within the dwelling unit, and not rent the unit to other persons.
8. Downpayment Contribution: The applicant(s) must contribute a downpayment of at least 1% of the purchase price of the home to be purchased.
9. Homebuyer Education: The applicant(s) must successfully complete a homebuyer education course from a HUD certified agency.

10. Mortgage Approval: The applicant(s) must have obtained approval for first mortgage financing that comply with the guidelines established by the Kane County's First Time Homebuyer Program.
11. Home Inspection: The property to be purchased must pass a general home inspection and a lead-based paint inspection conducted by a Kane County inspector.

INCOME LIMITS

Annual gross household income cannot exceed the most recent income limits for a household at 80% Area Median Income based on household size, as published by the Illinois Housing Development Authority (source: <http://www.ihda.org>):

Chicago Metro Area Income Limits by Household Size at 80% Area Median Income								
	1 Person	2 Person	3 Person	4 Person	5 Person	6 Person	7 Person	8 Person
2017 Income Limits (80% AMI)	\$44,250	\$50,600	\$56,900	\$63,200	\$68,300	\$73,350	\$78,400	\$83,450

Exhibit "B"

Program Description – First-Time Homebuyer Loan Program

CITY OF ST. CHARLES HOME REHAB AND ACCESSIBILITY LOAN PROGRAM
JUNE 2018

PROGRAM OVERVIEW

The City of St. Charles is committed to preserving and maintaining its affordable housing stock. In response to this commitment, the City offers a home rehab program to income-eligible homeowners. This program offers zero-interest, deferred payment loans to qualified households to maintain the quality of the affordable housing stock and help distressed homeowners in need. Funding for this program is provided by the St. Charles Housing Trust Fund.

Program Name	Program Description	Available Funds	Type of Loan
Home Rehabilitation and Accessibility Loan Program (the "program")	Homeowners apply to Community Contacts, Inc. for a loan through the City's program. The program is supplemental to Kane County's Home Rehabilitation Loan Program. Applicants initially apply for the Kane County program. \$20,000 in assistance is available through the County's program. Loans from the City's program are considered in the following circumstances: (i) the cost of the Eligible Improvement(s) exceeds the maximum amount paid by Kane County or (ii) the homeowner has project costs that are not eligible for reimbursement through Kane County's program, but are Eligible Improvements for the City's program.	Maximum of \$10,000 per household	0% Interest deferred-payment loan with repayment at the time of sale or transfer of deed

ELIGIBLE IMPROVEMENTS

- Improvements and modifications for physically disabled persons, including but not limited to: grab bars and railings; motorized chair lifts; doorway widening; walk-in showers; accessible toilets; shower seats; ramps; bed rails; and lowered countertops.
- Repairs/improvements to mechanical, heating, plumbing, structural, and electrical systems.
- Exterior painting.
- Improvements to building security.
- Termite damage repair.
- Drainage improvements.
- Yard clean-up.
- Repairs or replacement of roofing.
- Insulation.
- Exterior work that will improve overall neighborhood appearance.
- Windows in need of repair or replacement.

INELIGIBLE IMPROVEMENTS

- Additions/upgrades to existing structure or component parts, i.e. window upgrades (Bay Window), room additions, etc. (except to provide access to persons with disabilities).
- Purchase or repair of furnishings.
- Purchase of land/real property.
- Construction/repair of swimming pools or hot tubs.

- Appliances
- Improvements to common elements of association owned or managed property.

RESIDENTIAL REHABILITATION PRIORITIES

The following priority system will be used to classify rehabilitation work needed for each property. The following priority system is in descending order of priority. Category A represents the highest priority items, and Category D represents items of lowest priority.

Category A - Health & Safety items

Category A consists of code violations and repair of the major systems that threaten the health and safety of the resident (e.g., basic structural, mechanical, electrical, heating and/or plumbing systems).

Category B - Incipient Code Violations

These items include those elements of the structure which are not in violation of the code but appear to be in a condition that will deteriorate into a code violation if left uncorrected (e.g., hot water heater or boiler of 30 or 40 years of age which may have given some minor problem in the recent past). If sufficient dollars are available to address more than the Category A items, then Category B improvements shall be undertaken to the extent of financial feasibility.

Category C - Energy Conservation Items

These items are directly related to the conservation of energy by upgrading the dwelling's thermal protection such as new windows, new doors, and insulation which may be undertaken if sufficient dollars have been available to address Category A and B items.

Category D - General Property Improvements

These work items constitute improvements which can be made to the property, but are not vital to health and safety of the resident. Examples could include yard maintenance, exterior painting, air conditioning, improvements and modifications for physically disabled persons. These items can be considered property improvements after Categories A through C have been addressed and subject to staff approval.

ELIGIBILITY

The following criteria will determine applicant eligibility:

1. Income: The annual gross household income of the applicant household may not exceed the income limits established below.
2. Location: The subject property must be within the City of St. Charles corporate limits.
3. Home Value: The value of the applicant's home may not exceed \$294,515.
4. Type of Unit: The unit must be an owner-occupied residential property.
5. Ownership: The person receiving the loan must live within the dwelling unit, and not rent this unit to other persons.

INCOME LIMITS

The annual gross household income cannot exceed the most recent income limits for a household at 80% Area Median Income based on household size, as published by the Illinois Housing Development Authority (source: <http://www.ihda.org>). The Household Value Limitation is set at the most recent FHA Mortgage Limit for Kane County (source: <https://entp.hud.gov/idapp/html/hicostlook.cfm>).

Owner Occupied Affordability Chart For Chicago Metro Area 80% of Area Median Income								
	1 Person	2 Person	3 Person	4 Person	5 Person	6 Person	7 Person	8 Person
2017 Income Limits (80% AMI)	\$44,250	\$50,600	\$56,900	\$63,200	\$68,300	\$73,350	\$78,400	\$83,450
Household Value Limitation	\$ 294,515							

Exhibit "C"

Intergovernmental Agreement between the City of St. Charles and Kane County
regarding St. Charles Housing Trust Fund Administration and Management Services

Intergovernmental Agreement
St. Charles Housing Trust Fund Administration and Management Services

THIS AGREEMENT, made and entered into this 18 day of June, 2018, by and between the City of St. Charles, an Illinois municipal corporation (the "City"), and Kane County, a body corporate and politic (the "County"), which are collectively known as "the parties."

WITNESSETH:

WHEREAS, the City has established a Housing Trust Fund for the purpose of providing and preserving affordable housing within its jurisdiction for the benefit of current and future residents; and

WHEREAS, the City has also established a Housing Commission, which is charged with assisting the City in the operation and implementation of the Housing Trust Fund; and

WHEREAS, the County, through its Office of Community Reinvestment, has received annual allocations of federal funding to support various housing and community development initiatives since 1998 and has successfully developed and implemented those initiatives; and

WHEREAS, the Office of Community Reinvestment has the experience and qualifications to assist the City with the administration of programs approved by the City utilizing its Housing Trust Fund; and

WHEREAS, the City has determined it to be in its best interest to obtain program management services from the Office of Community Reinvestment for the effective implementation of programming under its Housing Trust Fund; and

WHEREAS, units of local government have had conferred upon them the following powers by Article VII, Section 10(a) of the 1970 Constitution of the State of Illinois:

"Units of local government and school districts may contract or otherwise associate among themselves, with the State, with other states and their units of local government and school districts, and with the United States to obtain or share services and to exercise, combine or transfer any power or function, in any manner not prohibited by law or by ordinance. Units of local government and school districts may contract and otherwise associate with individuals, associations, and corporations in any manner not prohibited by law or by ordinance. Participating units of government may use their credit, revenues, and other resources to pay costs and to service debt related to intergovernmental activities;" and

WHEREAS, the Intergovernmental Cooperation Act (5 ILCS 220/1 et seq.), enacted by the State of Illinois provides in part as follows:

"Section 3. Intergovernmental cooperation. Any power or powers, privileges, functions, or authority exercised or which may be exercised by a public agency of this State may be exercised, combined, transferred, and enjoyed jointly with any other public agency of this State and jointly with any public agency of any other state or of the United States to the extent that laws of such other state or of the United States do not prohibit joint exercise or enjoyment and except where specifically and expressly prohibited by law."

“Section 5. Intergovernmental contracts. Any one or more public agencies may contract with any one or more other public agencies to perform any governmental service, activity or undertaking or to combine, transfer, or exercise any powers, functions, privileges, or authority which any of the public agencies entering into the contract is authorized by law to perform, provided that such contract shall be approved by the governing bodies of each party to the contract and except where specifically and expressly prohibited by law. Such contract shall set forth fully the purposes, powers, rights, objectives and responsibilities of the contracting parties;” and

WHEREAS, the parties to this Agreement have had conferred upon them the exercise of powers authorized in Chapter 65 of the Illinois Compiled Statutes (known as the “Illinois Municipal Code”), and Chapter 55 of the Illinois Compiled Statutes (known as the “Illinois Counties Code”).

NOW, THEREFORE, upon the consideration of the mutual promises contained herein and upon the further consideration of the recitals hereinabove set forth, it is hereby agreed between the City and County as follows:

1. **INCORPORATION OF RECITALS**

The recitals set forth above are hereby incorporated into this Agreement in their entirety as though fully set forth herein.

2. **SCOPE OF SERVICES**

The County shall provide affordable housing services on behalf of, and within the corporate limits of, the City. In general, these services shall include the provision of housing rehabilitation assistance to eligible homeowners, first-time homebuyer assistance to eligible homebuyers, and financing for the development or redevelopment of units of affordable housing, all of which shall be funded by the City’s Housing Trust Fund. The specific duties and responsibilities to be performed by the County are outlined in Attachment A, “Scope of Services” (hereinafter referred to as the “Services”). Any other provisions of this Agreement or the attachments hereto notwithstanding, the City shall have and retain sole discretion and authority in selecting the projects and activities to be funded by the City’s Housing Trust Fund and the administration of any such projects and activities.

3. **WORK PRODUCTS**

All work products prepared by the County pursuant hereto including, but not limited to, reports, studies, plans, and recommendations shall be the property of the City and shall be delivered to the City, in both hard and electronic formats, upon request of the City. The County may retain copies of such work products for its records.

4. **PAYMENTS TO THE COUNTY**

A. The City shall make periodic payments to the County for the Services provided under this Agreement, according to the budget established in Attachment B, “Budget for Housing Trust Fund Activities.” Such payments shall be for the reimbursement of expenses associated with the housing activities and program management services

outlined in Attachment A.

- B. The total of all payments made by the City to the County shall not exceed \$500,000.00 unless modifications to this Agreement are authorized in writing by the City and County by way of written amendment to this Agreement.
- C. Additional services provided by the County which are not described herein require prior written approval of the City and County and shall be compensated according to terms agreed upon in such written approval.

5. **INVOICES**

- A. The County shall submit invoices not more often than monthly in a format approved by the City. The County shall provide the City with progress reports with the submission of invoices.
- B. The County shall maintain records documenting the expenses incurred for the completion of the Services. The County shall permit representatives of the City to inspect and audit all data and records of the County for work performed under this Agreement. The County shall retain and make these records available to the City at reasonable times during the term of this Agreement.

6. **COMMISSION REPRESENTATION**

The County shall designate a seat on the Kane-Elgin HOME Commission for the Chair of the City's Housing Commission, or their designee.

7. **TERM OF AGREEMENT**

The term of this Agreement shall commence and be effective from the date first written above until terminated pursuant to Article 8 herein in regards to the First-Time Homebuyer Assistance Program and the Affordable Housing Development Program.

The term of this Agreement shall commence and be effective from the date of termination of the Service Agreement between the City and Community Contacts, Inc. in regards to the Home Rehab and Accessibility Loan Program, until terminated pursuant to Article 8 herein.

8. **TERMINATION OF AGREEMENT**

Notwithstanding any other provision hereof, the City or the County may terminate this Agreement at any time upon ninety (90) days' written notice. In the event this Agreement is so terminated, the County shall be paid for services provided prior to termination.

9. **NOTICE OF CLAIM**

If the County wishes to make a claim for additional compensation as a result of action taken by the City, the County shall give written notice of his claim to the City within fifteen (15) days after occurrence of such action. No claim for additional compensation shall be valid unless so made.

Any changes in the County's fee shall be valid only to the extent that the City and County agree to such changes in writing. Regardless of the decision of the City relative to a claim submitted by the County, all work required under this Agreement, as determined by the City, shall proceed without interruption.

10. **BREACH OF CONTRACT**

If any party violates or breaches any term of this Agreement, such violation or breach shall be deemed to constitute a default, and the other parties have the right to seek such administrative, contractual or legal remedies as may be suitable to the violation or breach; and, in addition, if any party, by reason of any default, fails within fifteen (15) days after notice thereof by another party to comply with the conditions of the Agreement, the party having provided such notice may terminate this Agreement.

11. **NO PERSONAL LIABILITY**

No official, director, officer, agent or employee of the County or City shall be charged personally or held contractually liable under any term or provision of this Agreement or because of their execution, approval or attempted execution of this Agreement.

12. **HOLD HARMLESS**

The City shall hold harmless, defend, and indemnify the County from any and all claims, actions, suits, charges and judgments whatsoever that arise out of City's performance or nonperformance under this Agreement. The provisions of this paragraph shall survive any expiration, completion and/or termination of this Agreement.

13. **NONDISCRIMINATION**

In all hiring or employment made possible or resulting from this Agreement, there shall be no discrimination against any employee or applicant for employment because of sex, age, race, color, creed, national origin, marital status, or the presence of any sensory, mental or physical handicap, unless based upon a bona fide occupational qualification, and this requirement shall apply to, but not be limited to, the following: employment advertising, layoff or termination, rates of pay or other forms of compensation and selection for training, including apprenticeship.

No person shall be denied or subjected to discrimination in receipt of the benefit of any services or activities made possible by or resulting from this Agreement on the grounds of sex, race, color, creed, national origin, age except minimum age and retirement provisions, marital status, or the presence of any sensory, mental or physical handicap. Any violation of this provision shall be considered a violation of a material provision of this Agreement and shall be grounds for cancellation, termination or suspension, in whole or in part, of the Agreement by the City.

14. **ASSIGNMENT AND SUCCESSORS**

This Agreement and each and every portion thereof shall be binding upon the successors and the assigns of the parties hereto; provided, however, that no assignment should be made without the prior written consent of the City.

15. **DELEGATIONS AND SUBCONTRACTORS**

Any assignment, delegation or subcontracting shall be subject to all the terms, conditions and other provisions of this Agreement and the County shall remain liable to the City with respect to each and every item, condition and other provision hereof to the same extent that the County would have been obligated if it had done the work itself and no assignment, delegation or subcontract had been made.

16. **NO CO-PARTNERSHIP OR AGENCY**

This Agreement shall not be construed so as to create a partnership, joint venture, employment or other agency relationship between the parties hereto.

17. **SEVERABILITY**

The parties intend and agreed that, if any paragraph, sub-paragraph, phrase, clause or other provision of this Agreement, or any portion thereof, shall be held to be void or otherwise unenforceable, all other portions of this Agreement shall remain in full force and effect.

18. **HEADINGS**

The headings of the several paragraphs of this Agreement are inserted only as a matter of convenience and for reference and in no way are they intended to define, limit or describe the scope of intent of any provision of this Agreement, nor shall they be construed to affect in any manner the terms and provisions hereof or the interpretation or construction thereof.

19. **MODIFICATION OR AMENDMENT**

This Agreement and its attachments constitutes the entire Agreement of the parties on the subject matter hereof and may not be changed, modified, discharged or extended except by written amendment duly executed by the parties. Each party agrees that no representations or warranties shall be binding upon the other parties unless expressed in writing herein or in a duly executed amendment hereof, or change order as herein provided.

The previous paragraph notwithstanding, the budget amounts specified in Attachment B, less any amounts already encumbered by the County, may be unilaterally amended at the City's sole discretion and without requiring written acceptance by the County. In such cases, the City shall notify the County in writing of any such amendments, which shall become effective upon receipt by the County.

20. **APPLICABLE LAW**

This Agreement shall be deemed to have been made in, and shall be construed in accordance with the laws of the State of Illinois. Venue for the resolution of any disputes or the enforcement of any rights pursuant to this agreement shall be in the Circuit Court of Kane County, Illinois.

21. **COOPERATION WITH OTHERS**

The County shall cooperate with any other parties in the City's employ or any work associated with the Services.

22. **SEXUAL HARASSMENT**

As a condition of this contract, the County shall have written sexual harassment policies that include, at a minimum, the following information:

- A. The illegality of sexual harassment;
- B. the definition of sexual harassment under state law;
- C. a description of sexual harassment, utilizing examples;
- D. the vendor's internal complaint process including penalties;
- E. the legal recourse, investigative and complaint process available through the Illinois Department of Human Rights, and the Illinois Human Rights Commission;
- F. directions on how to contact the department and commission; and
- G. protection against retaliation as provided by Section 6-101 of the Human Rights Act.

A copy of the policies must be provided to the Department of Human Rights upon request per 775 ILCS 5/2-105.

23. **NOTICES**

All notices, reports and documents required under this Agreement shall be in writing and shall be emailed and/or mailed by First Class Mail, postage prepaid, addressed as follows:

- A. As to City:
 - Mark Koenen, City Administrator
 - City of St. Charles
 - 2 East Main Street
 - St. Charles IL 60174
 - Email: mkoenen@stcharlesil.gov

- B. As to County:
 - Josh Beck, Assistant Director for Community Development
 - Kane County Office of Community Reinvestment
 - 719 South Batavia Avenue
 - Geneva IL 60134
 - Email: beckjosh@co.kane.il.us

24. **COMPLIANCE WITH LAWS**

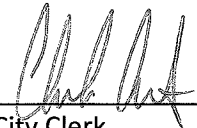
Notwithstanding any other provision of this Agreement, it is expressly agreed and understood that in connection with the performance of this Agreement that the County shall comply with all applicable Federal, State, Municipal, and other requirements of law, including, but not limited to, any applicable requirements regarding prevailing wages, minimum wage, workplace safety and legal status of employees. The County hereby certifies, represents and warrants to the City that its employees and/or agents who will be providing products and/or services with respect to this Agreement shall be legal residents of the United States. County shall also at its expense secure all permits and licenses, pay all charges and fees and give all notices necessary and incident to the due and lawful prosecution of this work, and/or the products and/or services provided by this Agreement. The City shall have the right to audit any records in the possession or control of the County to determine the County's compliance with the provisions of this paragraph. In the event that the City proceeds with such an audit, the County shall make available to the City the County's relevant records at no cost to the City.

IN WITNESS WHEREOF, the undersigned parties have caused this Agreement to be executed by their duly designated officials.

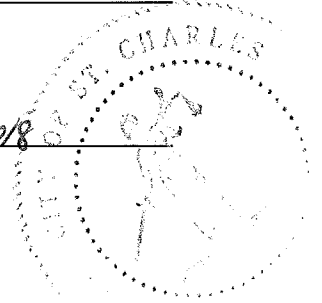
City of St. Charles, a municipal corporation

By: 
Mayor

Date: 5-18-18

Attest: 
City Clerk

Date: 6/18/2018



County of Kane, a body politic in the State of Illinois

By: _____
Scott Berger, Director
Kane County Office of Community Reinvestment

Date: _____

ATTACHMENT A
SCOPE OF SERVICES

The Kane County Office of Community Reinvestment shall provide the following services on behalf of, and within the corporate boundaries of, the City:

1. **HOME REHAB AND ACCESSIBILITY LOAN PROGRAM**

The County shall provide up to \$10,000 from the City's Housing Trust Fund in assistance to homeowners within the City's corporate limits that have applied and been determined eligible for the County's Owner-Occupied Housing Rehabilitation Loan Program, when the cost of eligible improvements exceeds the maximum amount of assistance offered by the County or the project costs are not eligible for reimbursement through the County's program. Homeowners must meet all eligibility criteria under the County's program, including the 80% Area Median Income limit and the maximum property value limits established and adjusted from time to time by the U.S. Department of Housing and Urban Development. Assistance from the City shall be in the form of a zero-interest, deferred-payment loan and shall be secured with a recorded mortgage instrument with repayment due at the time of sale or transfer of the deed. In the event of sale, where net proceeds are less than the amount necessary to satisfy the City's loan, and where such sales are determined to be arms-length transactions based on the current market value of the real estate, the County may accept a partial or zero payment as full payment on behalf of the City. Eligible improvements include, but are not limited to, repairs to mechanical systems, roof repair or replacement, window repair or replacement, insulation, accessibility improvements (such as grab bars and railings, motorized chair lifts, doorway widening, walk-in showers, accessible toilets, shower seats, ramps, bed rails, and lowered countertops), termite damage repair, exterior painting, building security, drainage improvements, yard clean-up, and exterior improvements that will improve neighborhood appearance. The County may subcontract with Community Contacts, Inc. for the provision of services necessary to assist homeowners under the Home Rehab and Accessibility Loan Program. The County shall be entitled to a program delivery fee of not more than 5% of eligible rehabilitation costs under the City's program. The City shall not be required to review and/or approve individual loans issued on the City's behalf under this program.

2. **FIRST-TIME HOMEBUYER ASSISTANCE PROGRAM**

The County shall provide up to \$10,000 from the City's Housing Trust Fund in assistance to first-time homebuyers purchasing a home within the City's corporate limits that have applied and been determined eligible for the County's First-Time Homebuyer Assistance Program, when the amount of assistance necessary to satisfy the County's underwriting criteria exceeds the maximum amount of assistance offered by the County. Homeowners must meet all eligibility criteria under the County's program, including the 80% Area Median Income limit and the maximum property value limits established and adjusted from time to time by the U.S. Department of Housing and Urban Development. Assistance from the City shall be in the form of a zero-interest, deferred-payment loan and shall be secured with a recorded mortgage instrument with repayment due at the time of sale or transfer of the deed. In the event of sale, where net proceeds are less than the amount necessary to satisfy the City's loan, and where such sales are determined to be arms-length transactions based on the current market value of the real estate, the County may accept a partial or zero payment as full payment on behalf of

the City. Homes purchased under the program may include single-family detached dwellings, townhome units, and condominiums. The County shall be entitled to a program delivery fee of not more than 5% of eligible homebuyer assistance costs under the City's program. The City shall not be required to review and/or approve individual loans issued on the City's behalf under this program.

3. **AFFORDABLE HOUSING DEVELOPMENT PROGRAM**

The County shall solicit housing development proposals on behalf of the City in conjunction with its Affordable Housing Fund, which provides gap financing for the development (or redevelopment) of high-quality units of affordable housing. Proposals seeking City funds shall conform to all requirements of the County's program. The County shall notify the City upon receipt of any proposal located within the City's corporate limits. The County shall prepare written evaluations of such proposals, including an analysis of developer qualifications, project readiness, and responsiveness to program criteria. The County shall underwrite proposals for financial soundness, project viability and loan terms, and shall forward recommendations to the City for its consideration. Upon City approval, the County shall issue commitments on behalf of the City and shall prepare all necessary loan documents. The County shall oversee projects during the development phase, including conducting site visits/inspections, ensure compliance with construction/rehabilitation standards and other program guidelines, and monitor construction costs and the development budget. The County shall be entitled to a loan closing fee of not more than 2.5% of the amount of assistance provided to each project and may charge borrowers reasonable and customary loan servicing fees during the term of their loans from the City.

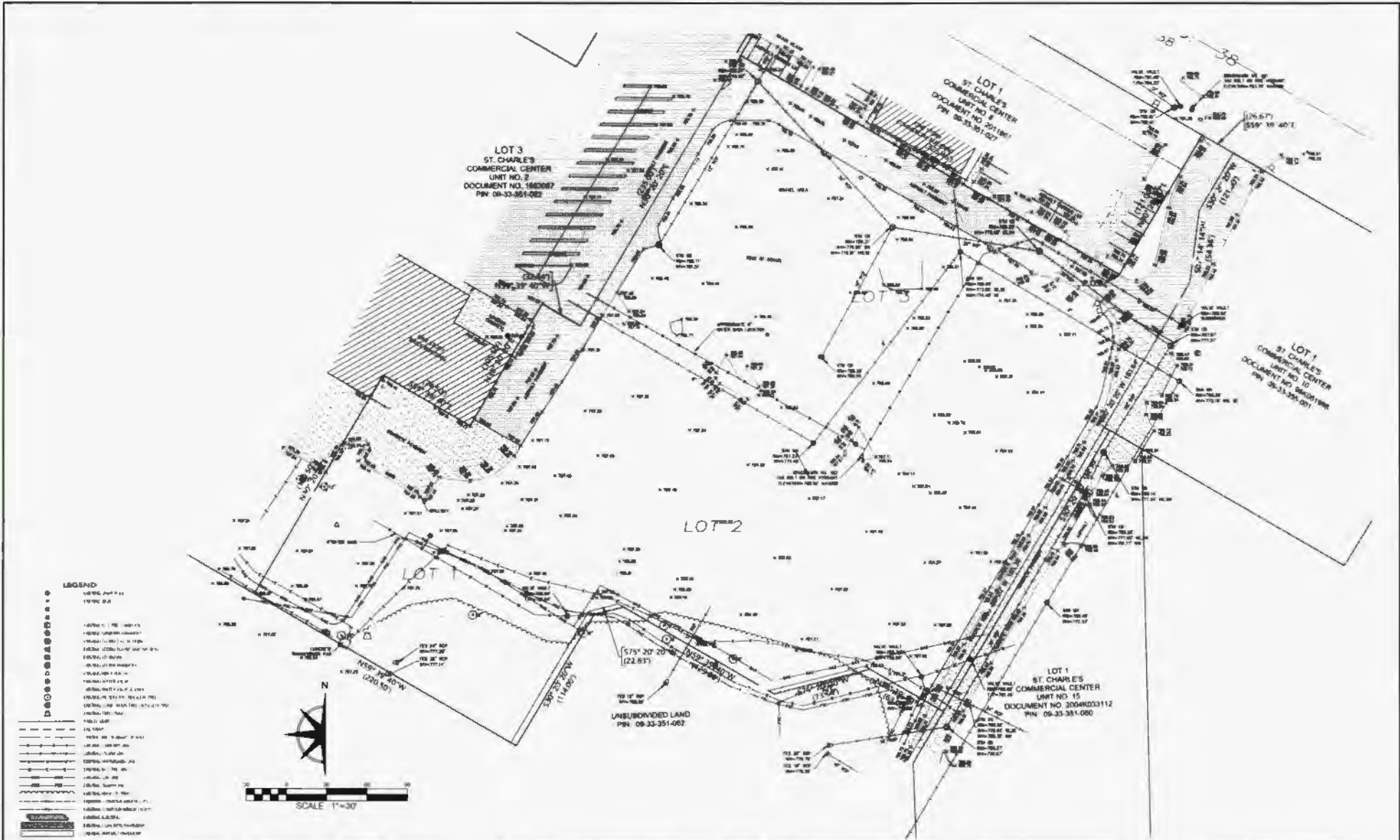
For all of the above-described activities, the County shall manage the resale process, the collection of loan proceeds, and the release of mortgage instruments. In the case of rental projects, the County shall monitor leasing requirements, including ensuring tenant selection and qualification procedures are in place at lease up, and inspect and monitor units throughout the period of affordability. The County shall service all loans issued under the City's Housing Trust Fund Program and shall remit reimbursement to the City on a quarterly basis. The County shall provide an annual report to the City including the status of all loans issued, the amount(s) repaid and outstanding, and the results of monitoring and property inspections conducted.

ATTACHMENT B
BUDGET FOR HOUSING TRUST FUND ACTIVITIES

Home Rehab and Accessibility Loan Program	
Expense	Amount
1. Rehabilitation/Accessibility Improvements	\$40,000.00
2. Program Delivery Fees (5% of above expenses)	\$2,000.00
Total	\$42,000.00

First-Time Homebuyer Assistance Program	
Expense	Amount
1. Homebuyer Assistance	\$40,000.00
2. Program Delivery Fees (5% of above expenses)	\$2,000.00
Total	\$42,000.00

Affordable Housing Development Program	
Expense	Amount
1. Housing Development Financing (projects TBD)	\$405,854.00
2. Closing Fees (2.5% of above expenses)	\$10,146.00
Total	\$416,000.00



PREPARED BY
ANTHONY PLACE, ST. CHARLES, LP
 343 WAINWRIGHT DRIVE
 NORTHBROOK, IL 60062

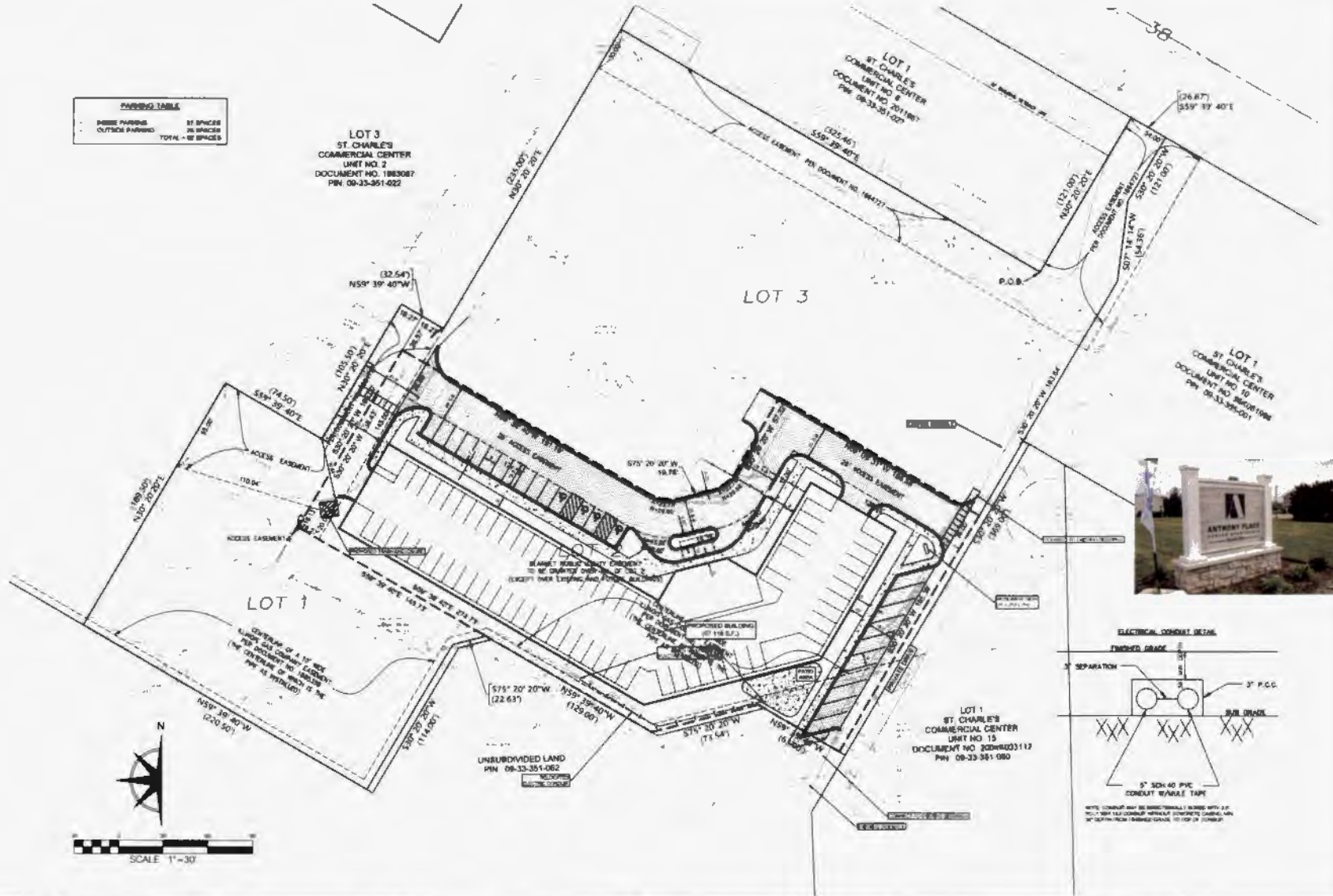
PREPARED BY
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering - Land & Environment - Project Feasibility
 6320 Winfield Drive - Suite 200 Winfield, Illinois 60090
 P: 630-995-0233 F: 630-924-0320

NO.	DATE	DESCRIPTION	REVISIONS	NO.	DATE	DESCRIPTION

EXISTING CONDITIONS PLAN					
ANTHONY PLACE PHASE 2					
FILE NAME	DRAWN BY	ESM	DATE	SCALE	SHEET NO.
PRELIM	ESM	TWA	09-22-20	1"=30'	C2 of C4

Received 1/14/2021

PARKING TABLE		
POSSIBLE PARKING	ST SPACES	
OUTSIDE PARKING	20 SPACES	
	TOTAL - 20 SPACES	



PREPARED FOR:
ANTHONY PLACE, ST. CHARLES, LP
 343 WAINWRIGHT DRIVE
 NORTHBROOK, IL 60062



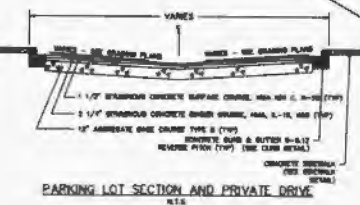
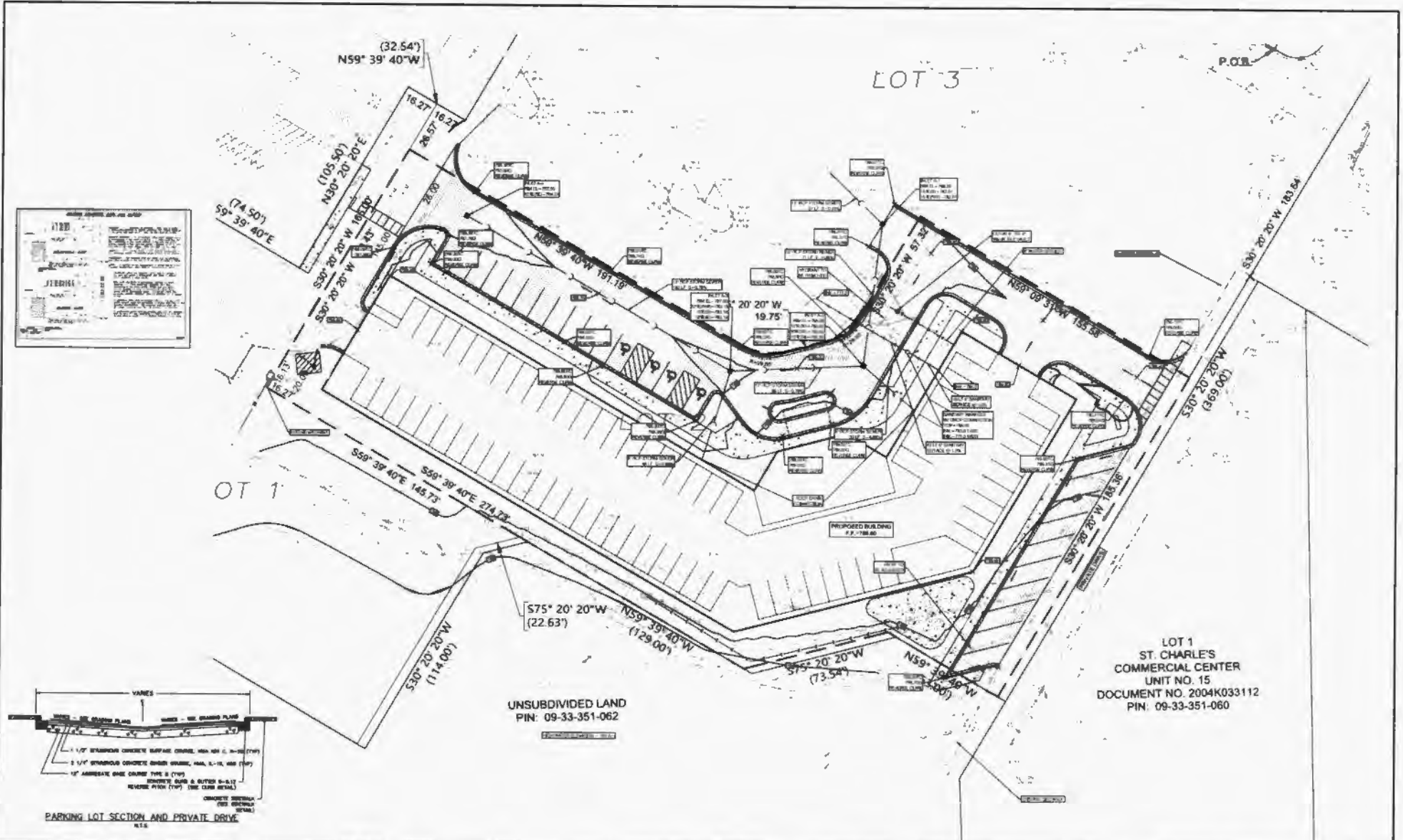
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering / Land Information / Project Feasibility
 4200 Wainwright Drive - Suite 200 | Northbrook, Illinois 60062
 ☎ 847-351-0862 | ✉ info@esmcs.com

NO.	DATE	DESCRIPTION	REVISED	NO.	DATE	DESCRIPTION

PRELIMINARY SITE PLAN
ANTHONY PLACE PHASE 2

FILE NAME: PRELIM	DRAWN BY: ESM	JOB NO:	P.L.O. SK:	SHEET NO:
DISC NAME:	DRAWN BY: TWA	DATE: 09-22-20	SCALE: 1"=30'	C3 of C4

Received 1/14/2021



LOT 1
ST. CHARLES
COMMERCIAL CENTER
UNIT NO. 15
DOCUMENT NO. 2004K033112
PIN: 09-33-351-060

UNSUBDIVIDED LAND
PIN: 09-33-351-062

PREPARED FOR:
ANTHONY PLACE, ST. CHARLES, LP
343 WAINWRIGHT DRIVE
NORTHBROOK, IL 60062



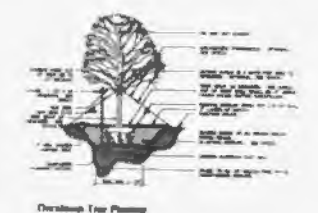
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Development - Project Feasibility
4320 Welford Drive - Suite 200 Waukegan, Illinois 60085
© 833-350-8833 © 833-624-0252

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

PRELIMINARY ENGINEERING PLAN
ANTHONY PLACE PHASE 2

FILE NAME: PRELIM	DRAWN BY: ESM	JOB NO:	PLS NO:	SHEET NO:
DWG TEAM	DWNS BY: TBA	DATE: 09-22-20	SCALE: 1"=20'	C4 - C4

Received 1/14/2021

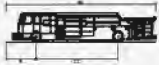


- Planting Notes**
Anthony Place Residences - St. Charles, Illinois
- The Contractor shall verify all existing conditions and dimensions in the field prior to bidding and report any discrepancies in the pre-bid conference.
 - All planting techniques and methods shall be consistent with the stated action of Horticulture Systems of Rosemount, Inc. and as detailed on the meaning. Discrepancies shall be reported immediately to the Landscape Architect.
 - All plant material shall be subject to inspection and approval. The Landscape Architect reserves the right to reject any plants, which fail to meet the inspection or rejected material shall be removed and replaced by the contractor.
 - Substitution from the specified list will be accepted only when satisfactory evidence in writing is submitted to the Landscape Architect showing that the plant specified is not available. Requests for approval of substitute plant material. Only those substitutions of at least equivalent size and having essential characteristics similar to the originally specified material will be approved. Acceptance or rejection of substitute plant material will be issued in writing by the Landscape Architect.
 - Shrub and small specimen trees shall be planted in containers, as recommended by the Landscape Architect. (Refer to planting detail specifications).
 - All shrub, specimen, and specimen trees shall be mulched with a minimum of 3" of finished hardwood bark.
 - All plant material shall be guaranteed for one year.
 - The contractor shall be entirely responsible for all damages to water supply, power, sewer, storm, gas, telephone, television or other structures of any kind encountered during the progress of work, and shall be liable for damage to public or private property resulting therefrom.
 - The contractor shall be responsible for meeting all public and private utility companies 48 hours prior to any excavation. (800-462-7249) Care of replacement and repair of existing utilities damaged as a result of contractor's operations shall be the contractor's responsibility.

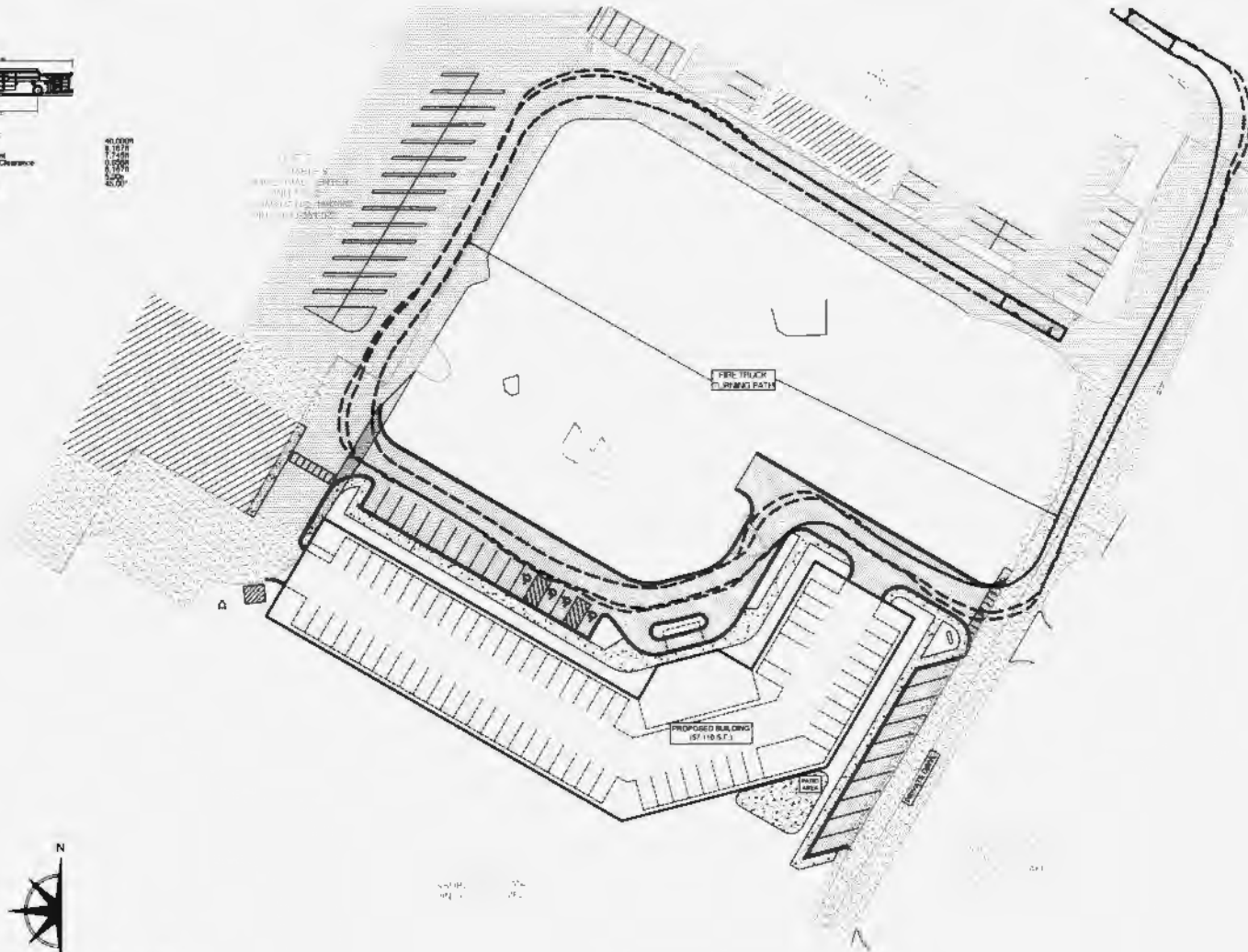
Suggested Plant Material List

Anthony Place St. Charles
The Landscape Architect at Anthony Place includes extensive foundation planting details of specimen and specimen trees. Planting in Evergreen trees will be done throughout the property.

Number	Qty	Botanical Name	Common Name	Size
Large Trees				
1	1	Aster luteus	Yellow Star	1" x 6"
2	1	Asus x Aspidosa	Banana Shrub	2' x 4' x 6"
3	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
4	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
5	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
6	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
7	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
8	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
9	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
10	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
11	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
12	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
13	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
14	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
15	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
16	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
17	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
18	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
19	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
20	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
21	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
22	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
23	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
24	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
25	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
26	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
27	1	Asus glaberrima	Common Banan Shrub	2' x 4' x 6"
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187	1	Asus glab		



Pumper Fire Truck
 Overall Length 30.000'
 Overall Width 8.500'
 Overall Body Height 12.000'
 Max. Body Ground Clearance 6.500'
 Track Width 6.000'
 Lock-to-lock time 1.000'
 Max. Wheel Angle 45.0°



PREPARED FOR:
ANTHONY PLACE, ST. CHARLES, LP
 343 WAINWRIGHT DRIVE
 NORTHBROOK, IL 60062



PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering - Land Entitlement - Project Feasibility
 4520 Winfield Drive - Suite 200 Winnetka, Illinois 60093
 Tel: 847-390-0300 • Fax: 847-424-4100

NO.	DATE	DESCRIPTION	REVISIONS	
			NO.	DATE

FIRE TRUCK TURNING RADIUS EXHIBIT

ANTHONY PLACE PHASE 2

FILE NAME: PRELIM	DESIGN BY: ESM	JOB NO:	PLD. NO.:	SHEET NO.:
DISC. NAME:	DRN. BY: TWA	DATE: 09-24-20	SCALE: 1"=30'	T1 of T1

Received 1/14/2021

PRELIMINARY PLAT OF SUBDIVISION ANTHONY PLACE PHASE TWO

PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 46 NORTH, RANGE 8 EAST OF THE 14th PRINCIPAL MERIDIAN IN CHARLES COUNTY, ILLINOIS

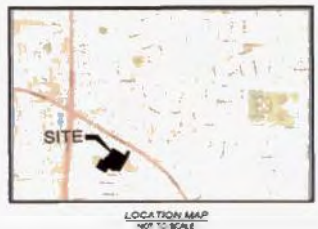
PN NO. 09-33-351-025

LEGEND

- ADJACENT LOT OR BLOCK
- ADJACENT SECTION
- ADJACENT TOWNSHIP
- ADJACENT RANGE
- ADJACENT COUNTY
- ADJACENT STATE
- ADJACENT FEDERAL

AREA SUMMARY

- LOT 1: 15,915 SQUARE FEET OR 0.362 ACRES
- LOT 2: 15,175 SQUARE FEET OR 0.348 ACRES
- LOT 3: 16,114 SQUARE FEET OR 0.369 ACRES
- UNDI: 147,539 SQUARE FEET OR 3.369 ACRES



LEGAL DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 46 NORTH, RANGE 8 EAST OF THE 14TH PRINCIPAL MERIDIAN (HEREINAFTER REFERRED TO AS "SECTION 33") COMMENCED AT THE MOST EASTERN CORNER OF LOT 3 AT CHARLES COMMERCIAL CENTER, UNIT NO. TWO, ST. CHARLES, CHARLES COUNTY, ILLINOIS, THENCE SOUTHEASTERLY ALONG THE SOUTHEASTERN LINE OF ILLINOIS STATE ROUTE NO. 38, 255.88 FEET, THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 121.00 FEET FOR A POINT OF BEGINNING, THENCE NORTHEASTERLY ALONG THE LAST DESCRIBED COURSE 121.00 FEET TO SAID SOUTHWESTERLY LINE, THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE 28.81 FEET, THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 30.00 FEET, THENCE SOUTHWESTERLY ALONG A LINE FORMING AN ANGLE OF 130 DEGREES 53 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 15.00 FEET, THENCE SOUTHWESTERLY PARALLEL WITH THE PENULTIMATE DESCRIBED COURSE 298.00 FEET, THENCE NORTHEASTERLY PARALLEL WITH SAID SOUTHWESTERLY LINE 25.00 FEET, THENCE SOUTHWESTERLY ALONG A LINE FORMING AN ANGLE OF 72 DEGREES 30 MINUTES 30 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 39.04 FEET, THENCE NORTHEASTERLY PARALLEL WITH SAID SOUTHWESTERLY LINE 138.50 FEET, THENCE SOUTHWESTERLY ALONG A LINE FORMING AN ANGLE OF 130 DEGREES 53 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 22.81 FEET, THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE PENULTIMATE DESCRIBED COURSE 11.85 FEET TO A LINE DRAWN PARALLEL WITH SAID SOUTHWESTERLY LINE FROM THE MOST SOUTHERLY CORNER OF SAID LOT 2, THENCE NORTHEASTERLY PARALLEL WITH SAID SOUTHWESTERLY LINE 330.00 FEET TO SAID WEST SOUTHERLY CORNER, THENCE NORTHEASTERLY ALONG A SOUTHEASTERLY LINE OF SAID LOT 10.00 FEET TO AN ANGLE IN SAID SOUTHWESTERLY LINE, THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 14.00 FEET TO AN ANGLE IN SAID SOUTHWESTERLY LINE, THENCE NORTHEASTERLY ALONG A SOUTHEASTERLY LINE OF SAID LOT 28.81 FEET TO AN ANGLE IN SAID SOUTHWESTERLY LINE, THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 30.00 FEET, THENCE SOUTHWESTERLY ALONG A LINE FORMING AN ANGLE OF 130 DEGREES 53 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 15.00 FEET TO THE POINT OF BEGINNING, THENCE SOUTHEASTERLY ALONG SAID PARALLEL LINE 528.88 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, CHARLES COUNTY, ILLINOIS.

PUBLIC UTILITY EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS TO BE GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE OR GRANTING THEIR EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO AMERICAN WATER AND POWER AND TO THEIR SUCCESSORS AND ASSIGNS, HEREBY REFERRED TO AS "GRANTEES", IN, UPON, ACROSS, OVER, UNDER, AND THROUGH LOTS 1, 2 AND 3 AND ON THE PLAT OF SUBDIVISION HEREIN DRAWN (EXISTING OR FUTURE BUILDINGS) FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REPAIRING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOIES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONS AND EQUIPMENT TO LOCATE ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO TO BE GRANTED TO SAID GRANTEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, BRANCHES, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN OR UPON OR ACROSS, UNDER OR THROUGH SAID EASEMENTS. IN THE EVENT UTILITY MAINTENANCE IS PERFORMED WITHIN THE UTILITY EASEMENT, THE CITY OF ST. CHARLES SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR OR REPLACEMENT OF ANY LANDSCAPING PROVIDED HOWEVER, THE GRANTEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND REGRADE SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION, AND TEMPORARY BUILDINGS OR SHALL BE PLACED ON SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, POOLS, FENCES, SIGNAGE, CURBS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE ABOVE SAID USES AND PROFITS. CARE SHOULD BE EXERCISED WHEN PLANTING TREES AND OTHER LANDSCAPING ON THE SITE TO AVOID PLANTING DIRECTLY OVER OR NEAR UNDERGROUND UTILITIES. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS OR OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE QUALITY FLOW IN SAID SEWER OR SEWERS, UTILITY INSTALLATIONS, OTHER THAN THOSE OWNED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

ACCESS EASEMENT PROVISIONS

AN ACCESS EASEMENT IS TO BE RESERVED FOR AND GRANTED TO THE OWNER OF LOT 2 AS HEREIN PLATTED, THEIR HEIRS, SUCCESSORS, ASSIGNS AND INTERS, AND TO THE CITY OF ST. CHARLES FOR THE PURPOSE OF INSURING AND ENTERING TO THE ENTIRE SITE.

STORMWATER DETENTION EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELS "STORMWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HEREIN DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REPAIRING, ALTERING, ENLARGING, INCLUDING REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGEWAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION TO ALL OF THE ABOVE WORK. NO BUILDINGS SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE SHOWN ON THE HEIRS, SUCCESSORS, ASSIGNS, TRANSFERORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS. HE PERSON SHALL DESTROY OR MODIFY BUILDINGS OR OTHERWISE AFFECT THE DETENTION VOLUME WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

NOTES

THIS SITE IS CURRENTLY ZONED R3(10) SINGLE-FAMILY RESIDENTIAL.

SURVEYOR'S STATEMENT

THE ABOVE PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION FROM EXISTING RECORD MAPS AND PLATS.

REGIONAL LAND SERVICES, LLC
270 VIDA COURT, SYCAMORE, IL 60176
LAND SURVEYOR DESIGN #198-087839
LICENSE #188983 BA/06/2015

BY: _____ DATE: _____
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 025-028422
LICENSE EXPIRES DATE: 03/31/2022



OWNER	ST. CHARLES COMMERCIAL CENTER, UNIT NO. TWO
DEVELOPER	ST. CHARLES COMMERCIAL CENTER, UNIT NO. TWO
PREPARED BY	REGIONAL LAND SERVICES, LLC
DATE	08/20/2020
CHECKED BY	_____
DATE	_____
APPROVED BY	_____
DATE	_____
RECORDING OFFICE	CHARLES COUNTY, ILLINOIS
RECORDING DATE	_____
RECORDING NUMBER	_____
PLAT NUMBER	_____
TOWNSHIP	46 NORTH
RANGE	8 EAST
SECTION	33

ESM CIVIL SOLUTIONS, LLC
270 VIDA COURT, SYCAMORE, IL 60176
PHONE: (815) 898-2260

REGIONAL LAND SERVICES
270 VIDA COURT, SYCAMORE, IL 60176
PHONE: (815) 898-2260

PRELIMINARY PLAT



HDJ
Hooker DeJong Inc
ARCHITECTS • ENGINEERS • PLANNERS




GC HOUSING DEVELOPMENT LLC

EXTERIOR CONCEPT | PR-3.1

ANTHONY PLACE - PHASE 2
ST CHARLES, IL

11/19/2020



7 TYP SIDE ELEVATION
PR-3.2
1/8" = 1'-0"



5 EAST ELEVATION
PR-3.2
1/8" = 1'-0"



6 SOUTHWEST ELEVATION
PR-3.2
1/8" = 1'-0"



4 SOUTH ELEVATION
PR-3.2
1/8" = 1'-0"



3 WEST ELEVATION
PR-3.2
1/8" = 1'-0"



2 NORTHWEST ELEVATION
PR-3.2
1/8" = 1'-0"



1 NORTH ELEVATION
PR-3.2
1/8" = 1'-0"



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4d

Title: Recommendation regarding 2023 Inclusionary Housing Fee

Presenter: Ellen Johnson

Meeting: Planning & Development Committee

Date: January 9, 2023

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Background

The Inclusionary Housing Ordinance (IHO), Title 19 of the Municipal Code, requires developers of new residential developments to build a proportionate share of affordable housing units on site, or pay a fee in-lieu of providing affordable units. Fee in-lieu payments made by developers are placed into the City’s Housing Trust Fund to be used to provide and preserve affordable housing opportunities in St. Charles.

The IHO fee in-lieu may be set on an annual basis at the discretion of the City Council. Council typically sets the fee at the beginning of each calendar year.

Current Fee

The current IHO fee has a three-tier structure based on housing type. Each fee is per required affordable unit in the development:

- Multi-Family Developments: \$39,665.75 (cost of a 25% downpayment for an affordable home priced at \$158,663)
- Townhome Developments: \$27,766.03 (cost of a 17.5% downpayment)
- Single-Family Developments: \$15,866.30 (cost of a 10% downpayment)

In previous years, a single fee (\$39,665.75) applied to all types of residential development. City Council decided in 2021 to lower the fees for townhome and single-family developments. Council recognized the relative ease of incorporating affordable units within multi-family developments vs. single-family or townhome and the lower cost of construction per multi-family unit vs. single-family, with the cost of a townhome unit falling between the two. In addition, multi-family developments are more likely to be able to take advantage of the density bonus allowed under the code for developments that incorporate affordable units.

2023 Inclusionary Housing Fee:

The Housing Commission discussed the 2023 IHO fee at their meeting on 1/5/23 and voted 5-0 to recommend keeping the current fees in place. It is anticipated the fee for 2024 will be recalculated after IHDA releases the new affordable home price for St. Charles, expected in December of this year.

Attachments *(please list):*

IHO Fee Memo

Recommendation/Suggested Action *(briefly explain):*

Provide a recommendation on the 2023 Inclusionary Housing Fee.



MEMO

COMMUNITY DEVELOPMENT DEPARTMENT

DATE: January 6, 2023

TO: Chairman Steve Weber and the Members of the Planning & Development Committee

FROM: Ellen Johnson, Planner

RE: **2023 Inclusionary Housing Fee**

Staff is seeking direction from the Committee on setting the Inclusionary Housing Fee In-lieu for calendar year 2023.

Under Title 19 of the City Code, the Inclusionary Housing fee in-lieu may be set on an annual basis at the discretion of the City Council. Section 19.02.060 states:

The amount of the per-unit fee in-lieu of Affordable Units shall be determined annually by the City Council. If no fee has been determined by the City Council for the current year, the fee most recently determined by the City Council shall apply.

I. Background

The Inclusionary Housing Ordinance (IHO), Title 19 of the City Code, requires developers of new residential developments to build a proportionate share of affordable housing units on site, or to pay a fee in-lieu of providing affordable units.

Fee in-lieu payments made by developers are placed into the City's Housing Trust Fund. The Housing Trust Fund is to be used to create and preserve affordable housing opportunities in St. Charles. Currently, the City's Home Rehab & Accessibility Loan Program and First-Time Homebuyer Loan Program are funded by the Housing Trust Fund. In addition, a significant portion of the fund has been earmarked for the Kane County Affordable Housing Fund, through which developers of affordable housing can request funding for proposed projects. So far, this has enabled two purchase/rehab/resale projects and construction of a new affordable home.

II. Previous IHO Fees

When the IHO was first adopted in 2008, the IHO fee was set at \$140,000 per required affordable unit. After being reduced in 2010 to \$104,500, the IHO was suspended for three years beginning in 2013. The IHO was reinstated in 2016 with a reduced fee of \$72,820 per required affordable unit. This fee was calculated as the cost of providing a 25% downpayment for two affordable units, a calculation that has been used each year since, with some modification based on the affordable home price as designated by IHDA. As of 2019, the fee was set at \$39,665.75, calculated as the cost of providing a 25% downpayment for a single affordable unit priced at \$158,663.

III. Current IHO Fee

City Council set the fee for 2021 in Oct. 2020. For the first time, a three-tiered fee structure was established based on unit type, as opposed to a single fee for all unit types. This was done to take into account the relative ease of incorporating affordable units within multi-family developments and the greater likelihood of being able to take advantage of the density bonus allowed under the code for developments that incorporate affordable units, as well as a lower per-unit construction

cost for multi-family vs. single-family developments. The cost of constructing a townhome unit generally falls between multi-family and single-family.

The fee for multi-family developments was kept the same as the 2020 fee: **\$39,665.75**, calculated as the cost of a 25% downpayment for an affordable house priced at \$158,663. Townhomes: **\$27,766.03**, calculated as the cost of a 17.5% downpayment for an affordable house. Single-family developments: **\$15,866.30**, calculated as a 10% downpayment for an affordable house. The fee was kept the same for 2022.

The calculation upon which the three fees are determined is based upon St. Charles' affordable home price as determined by IHDA in its 2018 Report on Statewide Local Government Affordability. IHDA releases this report every 5 years. IHDA has communicated that it will release its next report in December 2023. Staff anticipates updating the fee based on the new affordable home price identified at that time.

IV. 2023 IHO Fee

The three-tiered fee structure has been utilized for determining developer contributions for the past two years. Staff has not experienced issues with administration of the fee structure. The lower fee for single-family developments has resulted in lower contributions required for the Munhall Glen single-family subdivision currently under construction. The fee collected for the Springs of St. Charles apartment community was calculated based on the highest tier, resulting in a fee payment of over \$1.2 million.

If it is determined that the current fees should remain in place, the 2023 fees would remain at **\$39,665.75 for multi-family, \$27,766.03 for townhomes and \$15,866.30 for single-family.**

Alternatively, the Committee could recommend changes to the fee structure and/or fees, including a return to a single fee. The fee(s) could be based on a different formula or not based on a formula. The Ordinance does not provide direction as to how the fee should be determined.

The table below lists the current IHO fees and the resulting developer contributions for various sized developments. After that, possible fees are listed which are not based on a formula, from \$70,000 down to \$5,000 per required affordable unit.

		1-unit development	50-unit development	100-unit development	250-unit development	500-unit development
Affordable Units Required		<i>0.05 unit</i>	<i>5 units</i>	<i>10 units</i>	<i>25 units</i>	<i>50 units</i>
2021 fees (current):						
<i>Multi-family</i>	\$39,665.75	\$1,983	\$198,329	\$396,658	\$991,644	\$1,983,288
<i>Townhomes</i>	\$27,766.03	\$1,388	\$138,830	\$277,660	\$694,151	\$1,388,302
<i>Single-Family</i>	\$15,866.30	\$793.32	\$79,332	\$158,663	\$396,658	\$793,315
Other Possible Fees:						
	\$70,000	\$3,500	\$350,000	\$700,000	\$1,750,000	\$3,500,000
	\$60,000	\$3,000	\$300,000	\$600,000	\$1,500,000	\$3,000,000
	\$50,000	\$2,500	\$250,000	\$500,000	\$1,250,000	\$2,500,000
	\$40,000	\$2,000	\$200,000	\$400,000	\$1,000,000	\$2,000,000
	\$30,000	\$1,500	\$150,000	\$300,000	\$750,000	\$1,500,000
	\$20,000	\$1,000	\$100,000	\$200,000	\$500,000	\$1,000,000
	\$10,000	\$500	\$50,000	\$100,000	\$250,000	\$500,000
	\$5,000	\$250	\$25,000	\$50,000	\$125,000	\$250,000

V. Housing Commission Recommendation

Housing Commission discussed the IHO fee for 2023 at their meeting on 1/5/23. They unanimously recommended keeping the current fees in place. It was noted that staff has not observed issues with administering the fees.