

**AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. ED BESSNER – CHAIRMAN
MONDAY, OCTOBER 9, 2017 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. CALL TO ORDER

2. ROLL CALL

3. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Plan Commission recommendation to approve a Map Amendment and Final Plat of Subdivision for Parkside Reserves, 1337 Geneva Rd.
- b. Plan Commission recommendation to approve an Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Culver's, Zylstra First Resubdivision Lot 2 (Zylstra PUD).
- c. Discussion regarding Design Guidelines and Standards for Traditional Residential Zoning Districts.
- d. Recommendation to approve an Ordinance Amending Title 2 of the St. Charles Municipal Code, entitled "Administration", Chapter 2.25 "Housing Commission" by amending Section 2.25.020 "Purposes" and Section 2.25.050 "Powers and Duties".

4. ADDITIONAL BUSINESS

5. EXECUTIVE SESSION

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

6. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS.

7. ADJOURNMENT

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3a

Title:

Plan Commission recommendation to approve a Map Amendment and Final Plat of Subdivision for Parkside Reserves, 1337 Geneva Rd.

Presenter:

Ellen Johnson

Meeting: Planning & Development Committee

Date: October 9, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: **Executive Summary** *(if not budgeted please explain):*

The subject property is a vacant half-acre parcel near the St. Charles/Geneva border, north of Wheeler Park in Geneva.

Grandview Capital LLC, property owner, has filed applications for Map Amendment and Preliminary/Final Plat of Subdivision to allow construction of a three-unit townhome building on the property. Details are as follows:

- Rezone the property from RS-3 Suburban Single-Family Residential to RM-1 Mixed Medium Density Residential.
- Subdivide the property into three lots, one for each unit, and a common area outlot.
- The units will front on Geneva Rd. and each will have a two-car, front-loaded garage.
- The existing access point off of Geneva Rd. will be utilized and widened.

The proposal is similar to a Concept Plan reviewed for the property in March of 2015.

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Single-Family Detached Residential”.

Plan Commission Review

Plan Commission held a public hearing on 9/19/17 and recommended approval of the Map Amendment and Final Plat of Subdivision by a vote of 9-0, upon resolution of outstanding staff comments prior to City Council action.

Attachments *(please list):*

Plan Commission Resolution, Staff Report, Application, Plat of Subdivision, Plans

Recommendation/Suggested Action *(briefly explain):*

Plan Commission recommendation to approve a Map Amendment and Final Plat of Subdivision for Parkside Reserves, 1337 Geneva Rd.

City of St. Charles, Illinois
Plan Commission Resolution No. 15-2017

**A Resolution Recommending Approval of a Map Amendment and Final Plat
of Subdivision for Parkside Reserves, 1337 Geneva Rd.
(Grandview Capital, LLC)**

Passed by Plan Commission on September 19, 2017

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Map Amendment and Final Plat of Subdivision; and,

WHEREAS, the Plan Commission has held a public hearing and has reviewed the Application for Map Amendment and Final Plat of Subdivision for Parkside Reserves, 1337 Geneva Rd. (Grandview Capital, LLC); and,

WHEREAS, in accordance with Section 17.04.320.D, the Plan Commission has considered the following findings for Map Amendment:

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The property the west and east are multi-family. The property to the south is Wheeler Park. The property to the north is a single-family residence.

2. The extent to which property values are diminished by the existing zoning restrictions.

The proposed zoning will be consistent with the existing townhome developments to the west and east. Our townhomes plan to be built at a higher value than those of similar size in the area. This would bring up the value and desirability of the community.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The proposed use is consistent with the trend of development in the neighborhood as the property is currently zoned. The costs of bringing in utilities would be too high to develop the property under the current zoning. Dividing the costs among three townhome units would alleviate this issue.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The property contains a drainage easement to a box culvert beneath Il Rout 31. The site contains a guardrail along the IDOT right-of-way due to the drainage easement. This would make the property less valuable and not desirable for a single-family residence.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

It is our understanding that the property has been vacant for over 15 years (approx.).

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

There is a demand for single-family attached housing based on development trends in the area and given the proximity to the river and downtown St. Charles.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

The proposed development is consistent with the trend of development in the area. Townhomes are currently to the east and west.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

We are unaware of an error or omission in the Zoning Map concerning this property.

9. The extent to which the proposed amendment creates nonconformities.

The proposed development does not require any variances from the standards of the proposed RM-1 zoning district.

10. The trend of development, if any, in the general area of the property in question.

The proposed development is consistent with the trend of development including the existing multi-family developments located to the east and west of the property.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a Map Amendment from RS-3 Suburban Single-Family Residential District to RM-1 Mixed Medium Density Residential District and Final Plat of Subdivision for Parkside Reserves, 1337 Geneva Rd. (Grandview Capital, LLC), subject to resolution of all outstanding staff comments prior to City Council action.

Roll Call Vote:

Ayes: Wallace, Kessler, Funke, Holderfield, Pietryla, Pretz, Purdy, Schuetz, Vargulich

Nays:

Absent:

Resolution No. 15-2017

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Motion Carried: 9-0

PASSED, this 19th day of September 2017.

Chairman
St. Charles Plan Commission

Community & Economic Development
 Planning Division

Phone: (630) 377-4443
 Fax: (630) 377-4062



Staff Report

TO: Chairman Ed Bessner
 And the Members of the Planning & Development Committee

FROM: Ellen Johnson, Planner

RE: Parkside Reserves – 1337 Geneva Rd.

DATE: September 29, 2017

I. APPLICATION INFORMATION:

Project Name: Parkside Reserves

Applicant: Grandview Capital, LLC

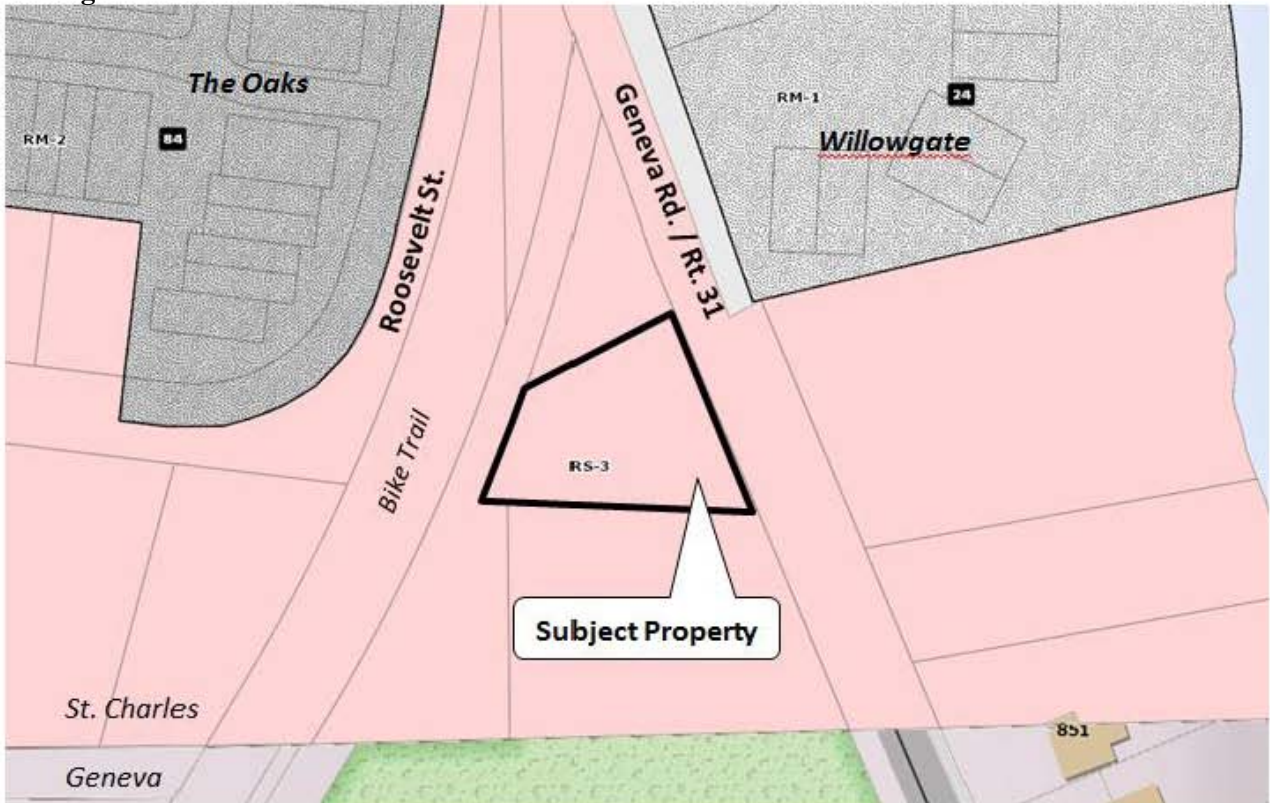
Purpose: Develop a three-unit townhome building

General Information:		
Site Information		
Location	1337 Geneva Rd.	
Acres	21,950 square feet (0.504 acres)	
Applications:	Map Amendment Final Plat of Subdivision	
Applicable City Code Sections	Title 17, Ch. 17.06 Design Review Standards & Guidelines Title 17, Ch. 17.12 Residential Districts Title 16 Subdivisions and Land Improvement	
Existing Conditions		
Land Use	Vacant (contains a 96 sf shed)	
Zoning	RS-3 Suburban Single-Family Residential	
Zoning Summary		
North	RS-3 Suburban Single-Family Residential	Single-family home
East	RS-3 Suburban Single-Family Residential & RM-1 Mixed Medium Density Residential (PUD)	Single-family homes & townhomes (Willowgate)
South	RS-3 Suburban Single-Family Residential	Open space
West	RS-3 Suburban Single-Family Residential	Open space & trail
Comprehensive Plan Designation		
Single Family Detached Residential		

Aerial



Zoning



II. BACKGROUND

A. PROPERTY HISTORY

The subject property is a half-acre parcel that is vacant except for a small shed. The property was previously developed with a single-family home which was demolished in 2002.

In March of 2015, Plan Commission reviewed a Concept Plan submitted by the property owner, Grandview Capital, LLC. The Concept Plan proposed development of a three-unit townhome building on the property. Rezoning to the RM-1 Mixed Medium Density Residential zoning district was also contemplated to allow for the change in land use from single-family to townhome. It was identified that deviations from certain zoning standards would need to be granted through a Planned Unit Development to permit the development as proposed at that time. Building coverage and building height exceeded that permitted in the RM-1 district and the side yard setback was less than required.

Plan Commission and Planning & Development Committee provided generally positive feedback on the Concept Plan, including support for the change in land use and building architecture. However, it was expressed that a PUD would not be appropriate since the proposal had the ability to meet all zoning standards with relatively minor adjustments.

B. PROPOSAL

Grandview Capital, LLC has filed applications for Map Amendment and Preliminary/Final Plat of Subdivision to allow construction of a three-unit townhome building on the property. The proposal is similar to the Concept Plan. Details are as follows:

- Rezone the property from RS-3 Suburban Single-Family Residential to RM-1 Mixed Medium Density Residential.
- Subdivide the property into three lots, one for each unit, and a common area outlot.
- The units will front on Geneva Rd. and each will have a two-car, front-loaded garage.
- The existing access point off of Geneva Rd. will be utilized and widened.
- Three guest parking spaces will be provided.

Based on the feedback received during Concept Plan review, a PUD is not being requested. The plans have been modified to comply with all zoning standards.

III. ANALYSIS

A. COMPREHENSIVE PLAN

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the site as “Single-Family Detached Residential.” The Plan states:

“An important objective of the Plan is to continue to protect and enhance the City’s single-family residential neighborhoods. Future development should be respectful and sensitive to the existing homes while allowing reinvestment in the form of rehabilitation, additions, and new construction in existing neighborhoods. Wherever possible, single-

family neighborhoods should be buffered and protected from adjacent incompatible uses...

Single-family residential areas should consist primarily of detached homes on lots subdivided and platted in an organized and planned manner. There are however, existing townhomes and/or duplexes scattered among the areas which are designated in the Plan as single-family detached residential. Within the single-family areas, it is the overall single-family character that serves as the rationale for the Plan's designation. Single-family residential areas must remain flexible and consider context. There may be situations where single-family attached and multi-family uses are considered appropriate within predominately single-family detached areas. For example, street frontage, lot depth, and the presence of neighboring non-residential uses should be considered on a case-by-case basis for other types of compatible residential development.

The Residential Areas Framework Plan provides Land Use Policies on p. 43. A number of the policies are applicable to this project, including:

- ***Preserve the character of the City's existing single family residential neighborhoods:*** *The City's residential areas are composed of a number of unique and distinct neighborhoods. While they may differ in configuration, unit type, and lot size, these neighborhoods are well established and have their own character. Development and reinvestment within these neighborhoods should be context sensitive, and compatible with the established neighborhood character and fabric. Regardless of the location or housing type, residential development or redevelopment should be carefully regulated to ensure compatibility with the scale and character of surrounding and adjacent residential neighborhoods. New infill development, teardown redevelopment, and alterations to existing development should maintain a setback, height, bulk, and orientation similar to its surroundings.*

Other relevant Comprehensive Plan recommendation (p. 122):

- ***Development Character and Urban Design:*** *New neighborhood development or local infill should respect the surrounding context in the design of street networks, infrastructure, housing stock, and other built elements. Infill development should strive to reflect the context in terms of site design, massing and scale, and architectural design...*

B. PROPOSED USE / ZONING

The proposed three-unit building is defined in the Zoning Ordinance as a "Townhouse Dwelling":

A building with three (3) or more dwelling units arranged side-by-side, sharing common fire-resistive walls without openings, where each dwelling unit occupies an exclusive vertical space with no other dwelling unit above or below, and where each dwelling unit has at least one individual exit directly to the outdoors."

The property is currently zoned RS-3 Suburban Single-Family Residential (8,400 sf minimum lot size). Townhomes are not permitted in the RS-3 District.

The applicant has requested rezoning the property to the RM-1 Mixed Medium Density Residential District. Townhomes are permitted in the RM-1 District. The purpose of the RM-1 District as stated in the Zoning Ordinance is as follows:

To accommodate a mix of single-family, two-family and townhouse residential development in the City, at a maximum density of approximately 8 units per acre.

The subject property is predominately surrounded by RS-3 zoning. However, there is precedent for multi-family zoning in the vicinity. The Willowgate townhome development northeast of the subject property is zoned RM-1 while The Oaks townhome development to the west is zoned RM-2.

C. ZONING STANDARDS

The engineering plans submitted as part of the Final Plat of Subdivision have been reviewed for compliance with the bulk standards of the requested RM-1 District. The property was considered one zoning lot for the purposes of determining zoning compliance. All bulk standards have been met, with the exception of building height (see Staff Comment below).

Category	RM-1 District	Proposed
Min. Lot Area	5,445 sf per unit	7,317 sf per unit
Min. Lot Width	24 ft. per unit	54.7 ft. per unit
Density in units per acre	8 du/acre	5.9 du/acre
Max. Building Coverage	30%	29.7%
Max. Building Height	35 ft. or 3 stories	34.83 ft.
Min. Front Yard	30 ft.	49.36 ft.
Min. Side Yard	10 ft.	10.06 ft. (north) 10.12 ft. (south)
Min. Rear Yard	25 ft.	28.42 ft.
Off-Street Parking	2 per unit	2 per unit + 3 guest stalls

Staff Comments:

- Per the Zoning Ordinance, building height is measured as the vertical distance from grade at the midpoint of the required front building setback to the top of the ridge of the highest point of the roof. The building height is marked on the architectural elevations as just under 35 ft. However, grade at the midpoint of the front building setback (30 ft.) is approximately 3 ft. lower than grade at the building foundation, meaning the building height is greater than 35 ft. The building will need to be modified to meet the height limitation.

D. FINAL PLAT OF SUBDIVISION

A Final Plat of Subdivision has been submitted. Combined Preliminary-Final Plat review has been requested. Final Engineering plans have been submitted as required for the Final Plat.

Proposed is division of the property into three lots and an outlot. The lots generally cover the footprint of each unit and the back patio areas. The outlot covers the common area including the access drive, parking area, and open space surrounding the building. A homeowners' association will need to be created to enable maintenance of the outlot.

A blanket public utility and drainage easement is proposed over the outlot. City utilities are located within the blanket easement. Water will be provided from the City of Geneva. A watermain easement to be granted to the City of Geneva is proposed, as is a drainage easement along the property frontage which covers existing Geneva storm sewer. These easements will need to be granted to Geneva under a separate Plat of Easement.

E. ENGINEERING REVIEW

Detailed engineering review comments have been provided to the applicant. Comments are technical in nature and will not substantially impact the site plan. The engineering plans will need to be revised in response to these comments prior to City Council action.

An Intergovernmental Agreement (IGA) between the cities of St. Charles and Geneva will need to be entered into to allow the water connection to Geneva's system. A draft IGA has been provided for review by both cities.

The proposed sanitary sewer connection runs north of the property through land owned by the St. Charles and Geneva park districts. A public utility easement will need to be prepared and approved by the City and both park districts. The park districts have stated they are agreeable to granting the easement in exchange for a fee to pay for repaving of the bike path north of the subject property.

F. BUILDING DESIGN

The building is subject to the Design Review Standards and Guidelines applicable to the RM-1 District contained in Section 17.06.050. Building elevations have been submitted to illustrate the intended appearance of the building. However, the building elevations will not be approved until building permit. The following comments related to compliance with the Design Review Standards and Guidelines will need to be addressed at that time:

- Use of uniform exterior building materials is required on all facades. This requirement is not met as shown; brick, shake siding and wood or fiber-cement panels are used on the front elevation and horizontal siding is used on the sides and rear.
- Vinyl and aluminum siding are prohibited. Siding must be wood or fiber-cement.

G. LANDSCAPING

A landscape plan is not required at this time. A landscape plan that conforms to the requirements of Ch. 17.26 will be required at the time of building permit. Building foundation and public street frontage landscaping in compliance with Ch. 17.26 will need to be provided.

H. INCLUSIONARY HOUSING

The Inclusionary Housing Ordinance was reinstated in March of 2016. At that time, a provision was added to exempt pending developments from the requirement to provide affordable units or pay a fee in-lieu thereof. Any development for which applications for PUD or Preliminary/Final Plat of Subdivision were filed before February 16, 2016 is exempt from the IHO requirements. The Preliminary/Final Plat of Subdivision applications for the subject property were filed in January of 2016. Therefore, there is no requirement to provide affordable units or pay a fee in-lieu.

I. SCHOOL AND PARK FEE-IN-LIEU CONTRIBUTIONS

School and Park Land-Cash worksheets have been submitted. Full cash contributions are proposed. Copies of the worksheets have been forwarded to the School and Park districts for review.

IV. **PLAN COMMISSION RECOMMENDATION**

Plan Commission held a public hearing on 9/19/17 and recommended approval of the Map Amendment and Final Plat of Subdivision by a vote of 9-0, upon resolution of outstanding staff comments prior to City Council action.

V. **ATTACHMENTS**

- Application for Map Amendment; received 1/20/16
- Applications for Preliminary & Final Plat of Subdivision; received 1/20/16
- Plat of Subdivision
- Plans

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

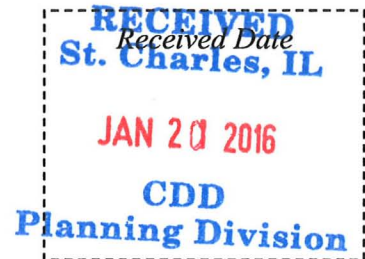


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

ZONING MAP AMENDMENT APPLICATION

CITYVIEW	
Project Name:	<u>1337 Geneva Rd.</u>
Project Number:	<u>2015 -PR- 001</u>
Application Number:	<u>2016 -AP- 001</u>



Instructions:

To request a zoning map amendment (rezoning) for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a Plan Commission public hearing or meeting date.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>1337 Geneva Rd.</u>	
	Parcel Number (s):	<u>09-34-476-002</u>	
	Proposed PUD Name:	<u>Parkside Reserves</u>	
2. Applicant Information:	Name	<u>Grandview Capital, LLC</u>	Phone <u>630-513-1966</u>
	Address	<u>36w995 Red Gate Rd.</u>	Fax <u>630-377-3812</u>
		<u>St. Charles, IL 60175</u>	Email <u>jessica@greproperty.com</u>
3. Record Owner Information:	Name	<u>Grandview Capital, LLC</u>	Phone <u>630-513-1966</u>
	Address	<u>36w995 Red Gate Rd.</u>	Fax <u>630-377-3812</u>
		<u>St. Charles, IL 60175</u>	Email <u>jessica@greproperty.com</u>

Zoning and Use Information:

Comprehensive Plan Land Use Designation of the property: residential

Current zoning of the property: RS-3 Suburban

Is the property a designated Landmark or in a Historic District? NO

Current use of the property: vacant land

Proposed zoning of the property: RM-1

Proposed use of the property: multi-family townhomes

If the proposed Map Amendment is approved, what improvements or construction are planned? (An accurate site plan may be required to establish that the proposed improvement can meet the minimum zoning requirements)

Construction of residential multi-family townhomes.

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

LEGAL DESCRIPTION: For entire subject property, on 8 ½ x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

SITE PLAN:

Simple site plan drawn to scale to demonstrate that the property can meet the requirements of the proposed zoning district (parking requirements, setbacks, landscaping, etc.)

FINDINGS OF FACT:

Fill out the attached form or submit responses on a separate sheet.

LIST OF PROPERTY OWNERS WITHIN 250 FT.

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

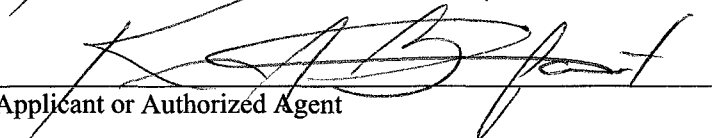
ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

Fill out the online form, print the report and submit with this application.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


Record Owner _____ Date 12-1-15


Applicant or Authorized Agent _____ Date 12-1-15

FINDINGS OF FACT -- MAP AMENDMENT

The St. Charles Zoning Ordinance requires the Plan Commission to consider factors listed below in making a recommendation to the City Council.

As an applicant, the "burden of proof" is on you to show why the proposed zoning is more appropriate than the existing zoning. Therefore, you need to "make your case" by explaining how the following factors support your proposal. If a factor does not apply to the property in question, indicate "not applicable" and explain why it does not apply.



Parkside Reserves
Project Name or Address

116116 (revised address)
Date

From the Charles Zoning Ordinance, Section 17.04.320.D:

In making its recommendation to grant or deny an application for a Zoning Map Amendment, including changes to Zoning District and Overlay boundaries, the Plan Commission shall consider:

1. The existing uses and zoning of nearby property. (Relate the proposed land use and zoning to the land use and zoning of other properties in the area)

The property to the west and east are multi-family.
The property to the south is Wheeler Park. The property
to the north is a single-family residence.

2. The extent to which property values are diminished by the existing zoning restrictions. (Compare the value of the subject property and nearby properties under the current zoning to their potential value under the proposed zoning.)

The proposed zoning will be consistent with the
existing townhome developments to the west
and east. Our townhomes plan to be built at a
higher value than those of similar size in the area.
This would bring up the value and desirability of
the community.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public. (If the existing zoning decreases the value of the subject realty, does it also produce any perceptible public benefits?)

The proposed use is consistent with the trend of
development in the neighborhood. As the property is
currently zoned, the costs of bringing in utilities
would be too costly. Dividing the costs among
three (3) homes, would alleviate this issue.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification. (Can the subject property reasonably be used for any of the uses currently permitted? Physical and market conditions may be considered.)

The property contains a drainage easement to a box culvert beneath IL Route 31. The site contains a guardrail along the frontage along the 100' right-of-way due to the drainage easement. This would make the property less valuable and not desirable as a single-family residence.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located. (If a property has been vacant longer than other similar properties in the area, it may be an indicator that the existing zoning is inappropriate.)

It is our understanding that the property has been vacant for over 15 years (approx.)

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district. (Development trends, market forces, and the Comprehensive Plan may be considered.)

There is a demand for single-family attached housing based on development trends in the area and the proximity to the river and downtown St. Charles.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

The proposed development is consistent with the trend of development in the area. Townhomes are currently to the north, east, south

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed development is consistent with the trend of development in the area and there are no errors or omissions on this property.

9. The extent to which the proposed amendment creates nonconformities. (Generally it is not appropriate to rezone a property unless it can comply with the requirements of the new zoning.)

*The proposed development does not require any
variance from the proposed multi-family use zoning
requested.*

10. The trend of development, if any, in the general area of the property in question. (New development, redevelopment, changes in use, or other changes in the area may help to justify a change in zoning.)

*The proposed development is consistent with the trend
of development including the existing multi-family
developments located to the east and west of the
property.*

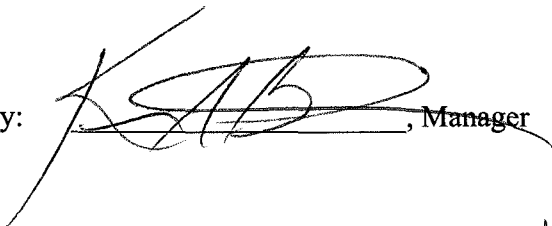
Plan Commission recommendation shall be based upon the preponderance of the evidence presented and the Commission shall not be required to find each Finding of Fact in the affirmative to recommend approval of an application for Map Amendment.

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

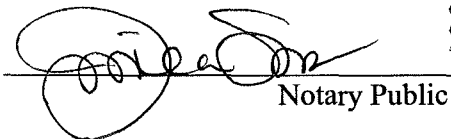
STATE OF ILLINOIS)
) SS.
KANE COUNTY)

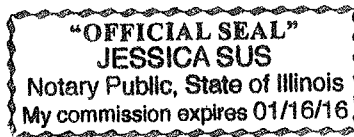
I, Kenneth A. Bernhard, being first duly sworn on oath depose and say that I am
Manager of Grandview Capital, LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>Thomas M. Detelich</u>	_____
<u>Kenneth A. Bernhard</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this 1 day of
December, 2015.


Notary Public



JUDICIAL SALE DEED

THE GRANTOR, PATRICK B. PEREZ
SHERIFF OF KANE COUNTY, ILLINOIS,
pursuant to and under authority conferred by the
provisions of a Judgment of Foreclosure and Sale
entered by the Circuit Court of Kane, Illinois on
July 16, 2012 in Case No. 11 CH 1021 entitled
BMO HARRIS BANK N.A. f/k/a HARRIS N.A.
VS. RICHARD J. SCHULTZ, BMO HARRIS
BANK N.A. f/k/a HARRIS N.A. AS TRUSTEE
U/T/A NO. HTN-3201 DATED JULY 1, 2005,
UNKNOWN OWNERS, NON-RECORD
CLAIMANTS, UNKNOWN TENANTS,
OCCUPANTS and LEASEHOLDS, and pursuant to
which the mortgaged real estate herein after described
was sold at public venue by said grantor on January
24, 2013, does hereby grant, transfer and convey to
GRANDVIEW CAPITAL, LLC, the following
described real estate situated in the County of Kane,
State of Illinois, to have and to hold forever:



2013K014417
SANDY WEGMAN
RECORDER - KANE COUNTY, IL

RECORDED: 2/22/2013 1:13 PM
REC FEE: 32.00 RHSPS FEE: 10.00
STATE TAX: 43.50
COUNTY TAX: 21.75
PAGES: 2

THAT PART OF THE SOUTHEAST ¼ OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8
EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF MEDIAPOLIS ADDITION TO ST.
CHARLES AND GENEVA, ILLINOIS; THENCE SOUTH 82 DEGREES 17 MINUTES EAST
ALONG THE NORTHERLY LINE OF SAID MEDIAPOLIS ADDITION PRODUCED
EASTERLY 104.1 FEET TO AN IRON PIPE IN THE EASTERLY RIGHT OF WAY LINE OF
THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY FOR THE POINT OF
BEGINNING; THENCE NORTH 21 DEGREES 03 MINUTES EAST ALONG SAID
EASTERLY RIGHT OF WAY LINE 59.5 FEET TO AN IRON PIPE; THENCE NORTH 75
DEGREES 25 MINUTES EAST 140.7 FEET TO AN IRON BOLT IN THE WESTERLY LINE
OF ILLINOIS HIGHWAY 31 (ALSO KNOWN AS THE WEST ST. CHARLES AND
GENEVA ROAD); THENCE SOUTH 20 DEGREES 46 MINUTES EAST ALONG SAID
WESTERLY LINE OF ILLINOIS HIGHWAY ROUTE 31, 164.2 FEET TO AN IRON PIN;
THENCE NORTH 82 DEGREES 17 MINUTES WEST PARALLEL TO SAID NORTHERLY
LINE OF MEDIAPOLIS ADDITION AND ITS EXTENSION EASTERLY 231.6 FEET TO
AN IRON PIN IN THE EASTERLY RIGHT OF WAY LINE OF SAID CHICAGO AND
NORTHWESTERN RAILWAY COMPANY; THENCE NORTH 23 DEGREES 58 MINUTES
EAST ALONG THE SAID EASTERLY RIGHT OF WAY LINE 34.3 FEET TO THE POINT
OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

Permanent Index Number: 09-34-476-002-000

Commonly Known as: 1337 Geneva Road, St. Charles, IL 60175⁴

8761313.1 28033/14192.1

2

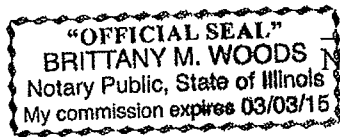
42-

11CH1021

In Witness Whereof, said Grantor has caused its name to be signed to these presents Patrick B. Perez, Sheriff of Kane County on this February 11th, 2013.

Patrick B. Perez Feb 11, 2013
Patrick B. Perez, Sheriff of Kane County

State of Illinois, County of Kane ss, This instrument was acknowledged before me on February 11, 2013, by Patrick E. Perez.



Brittany M. Woods
Notary Public

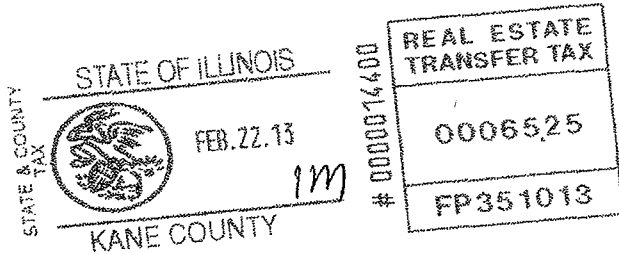
Prepared by Gary E. Green, 150 N. Michigan Avenue, Suite 2700, Chicago, IL 60601.

Exempt from tax under 35 ILCS 200/31-45 (1) _____, February _____, 2013.

Return To: Grandview Capital, LLC, 36W995 Red Gate Road, St. Charles, IL 60175

Tax Notices: Grandview Capital, LLC, 36W995 Red Gate Road, St. Charles, IL 60175

Grantor Address: Grandview Capital, LLC 36W995 Red Gate rd St. Charles, IL 60175



RESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: Parkside Bererves

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: RM-1	Ordinance #:	
Minimum Lot Area	5445 sf/du		7317 sf/du
Minimum Lot Width	24'		30.1'
Maximum Building Coverage	30%		29.4%
Maximum Building Height	35'		34.83'
Minimum Front Yard	30'		49.36
Interior Side Yard	10'		10.11'
Exterior Side Yard	20'		—
Minimum Rear Yard	25'		28.42'
% Overall Landscape Area	20%		
Building Foundation Landscaping			
% Interior Parking Lot Landscape			
Landscape Buffer Yards ¹	N/A		N/A
# of Parking spaces	2		3

¹ Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, or RT District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PRELIMINARY PLAT OF SUBDIVISION APPLICATION

For City Use	
Project Name:	<u>1337 Geneva Rd.</u>
Project Number:	<u>2015 -PR- 001</u>
Application No.	<u>2016 -AP- 002</u>



To request preliminary approval of a subdivision, complete this application and submit it with all required attachments to the Planning Division.

When the application is complete City staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the proposed subdivision on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>1337 Geneva Road</u>	
	Parcel Number (s):	<u>09-34-476-002</u>	
	Proposed Subdivision Name:	<u>Parkside Reserves</u>	
2. Applicant Information:	Name	<u>Grandview Capital, LLC</u>	Phone <u>630-513-1966</u>
	Address	<u>36W995 Red Gate Rd.</u>	Fax <u>630-377-3812</u>
		<u>St. Charles, IL 60175</u>	Email <u>jessica@gvcproperty.com</u>
3. Record Owner Information:	Name	<u>Grandview Capital, LLC</u>	Phone <u>630-513-1966</u>
	Address	<u>36W995 Red Gate Rd.</u>	Fax <u>630-377-3812</u>
		<u>St. Charles, IL 60175</u>	Email <u>jessica@gvcproperty.com</u>

Please check the type of application:

- Preliminary Plat of Subdivision** (Final Plat of Subdivision to be filed later)
- Combined Preliminary-Final Review Process** (Final Plat Application filed concurrently)

This application is not required for:

- **Minor Subdivision** – File only a Minor Subdivision - Final Plat application (Minor Subdivision per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)
- **Planned Unit Developments - PUD** (The PUD Preliminary Plan Application should be filed instead)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. Refer to attached Schedule of Application Fees.

REIMBURSEMENT OF FEES AGREEMENT: *Done previously*

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Exhibit B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE: *Done previously*

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, submit the attached Ownership Authorization form to permit the applicant to act on the owner's behalf. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions

or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

LEGAL DESCRIPTION: Done previously

For entire subject property, on 8 1/2 x 11 inch paper

PLAT OF SURVEY: Done previously

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION: Done previously

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

ENDANGERED SPECIES REPORT: Done previously

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST: ERA

Complete the attached checklist and ensure that all required information is included on the plat.

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST: ERA

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans.

STORMWATER MANAGEMENT:

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached).

TREE PRESERVATION PLAN: *TRA*

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

DEPARTURES FROM SUBDIVISION CODE STANDARDS:

List any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and reasons for requesting each departure.

PARK AND SCHOOL LAND/CASH WORKSHEETS *Done previously (attached)*


For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

INCLUSIONARY HOUSING SUMMARY & WORKSHEET:

For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



Record Owner 1-12-16
Date

Kenneth A. Bernhard

Applicant or Authorized Agent 1/12/16
Date

SeBern
— CUSTOM HOMES —
36W895 Red Gate Rd
St. Charles, Illinois 60175
www.sebernhomes.com
(630) 377-7767

March 1, 2016

Ellen Johnson
Planning Division
City of St. Charles
2 E. Main St.
St. Charles, IL 60174

Dear Ellen-

In regards to the Tree Preservation Plan, we are requesting that this be waiver based on both instances listed below, as we will be building on the majority of the property.

1. The vegetation is comprised primarily of undesirable species and/or low quality species that do not warrant preservation, and
2. The area of the parcel that will be developed will be substantially modified such that any existing vegetation is unlikely to be successfully preserved.

From the center of the property to the north edge of our property there are no trees.

From the center line of the property to the south edge of our property there is a lot of scrub brush and very small trees less than 6" diameter, there is one 12" diameter Elm in the center of the property that would be in the middle of the foundation. This Elm is on the decline and the trunk has a large split, it will need to be removed.

At the very front of the lot there are some larger trees, 2 Box Elder 1-8" diameter and one 16" diameter we are planning on taking them both down. 1 - 14" diameter American Cherry that will remain. 2 - 14" diameter Mulberrys's that will be coming down. 2- large Oak trees on the far south side that we are saving."

Please let me know if you have any further questions.

Sincerely,



Kenneth A. Bernhard
Managing Partner
SeBern Custom Homes, LLC

TREE PRESERVATION REQUIREMENTS FOR PRELIMINARY PLANS



When is a Tree Preservation Plan required:

- Where trees six inches (6”) or more DBH exist on the property to be developed or redeveloped, a Tree Preservation Plan shall be submitted with the preliminary plan of subdivision or planned unit development. If the preliminary plan stage is omitted or is combined with final engineering plans, the Tree Preservation Plan shall be submitted with the final engineering plans.
- The requirement to provide a Tree Preservation Plan as a part of an initial preliminary plan submittal may be waived by the City Administrator or their designee where:
 - 1) Existing vegetation on the parcel is comprised primarily of undesirable species and/or low quality specimens that do not warrant preservation, or
 - 2) the area of the parcel identified for land development will be substantially modified such that any existing vegetation is unlikely to be successfully preserved.

The City Administrator or their designee may require information demonstrating that a parcel meets the criteria prior to waiving the requirement. Notwithstanding the waiver of the requirement, the Plan Commission or City Council may require a Tree Preservation Plan prior to approval of a preliminary plan.

8.30.070 Requirements for Tree Preservation Plans

1. A proposed Tree Preservation Plan shall include the following written and graphic information:

- 1.1 A survey of existing trees six inches (6”) or more DBH within the entire site or lot, identifying their locations, size and species, and a plan overlaid on the survey or at the same scale showing proposed Construction Zones and Tree Preservation Zones.
- 1.2 The proposed Tree Preservation Zone shall encompass all of the property having six inch (6”) DBH or larger trees that will not be disturbed by construction activities. All buildings, structures, parking areas, driveways, stormwater management facilities, utilities, and other site improvements shall be located to minimize tree damage and removal; preference shall be given to tree preservation when reasonable alternatives are available for the location of buildings and other site improvements.
- 1.3 The proposed Construction Zone shall include only the areas to be directly affected by buildings, site improvements and grading activities related to the approved construction. The Construction Zone shall be as small as possible, considering factors such as the depth of excavation, necessary spoil areas, and space required for access to construction activity.
- 1.4 The location and description of protective fencing, root pruning, canopy pruning and other protective and conservation measures necessary to protect the trees within the Tree Conservation Zone shall be indicated.

2. Standards: Removal of trees shall be authorized by Tree Preservation Plans only when one or more of the following conditions exist, as determined by the City:

- 2.1 The tree is diseased, dead or dying.
- 2.2 The tree is damaged or injured to the extent that it is likely to die or become diseased, or such that it becomes a hazard.
- 2.3 Removal of the tree is consistent with good forestry practices, that is, consideration is given to the species of the tree, location, conditions, age, safety, and the historic and aesthetic value of the tree to be removed.
- 2.4 Removal of the tree will enhance the health of remaining trees within the immediate vicinity.
- 2.5 Removal of the tree is required to repair a sewer line or water main, or excavation for such repair will damage the tree to the extent that it is likely to die or become diseased.
- 2.6 All reasonable efforts have been undertaken in the land planning, architectural and engineering design of the proposed building, building addition, development or site improvement to minimize tree damage and/or removal, and the tree or trees must be removed to provide adequate space for the permitted construction.

PARK LAND/CASH WORKSHEET

City of St. Charles, Illinois

Name of Development	<u>Parkside Reserves</u>
Date Submitted:	<u>11/30/15</u>
Prepared by:	<u>Sebern Custom Homes</u>



Type of Dwelling	# Dwelling Units (DU)	Population Generation per Unit	Estimated Population
Detached Single Family			
> 3 Bedroom	---	DU x 2.899	= ---
> 4 Bedroom	---	DU x 3.764	= ---
> 5 Bedroom	---	DU x 3.770	= ---
Attached Single Family			
> 1 Bedroom	-	DU x 1.193	= -
> 2 Bedroom	-	DU x 1.990	= -
> 3 Bedroom	<u>1</u>	DU x 2.392	= <u>2.392</u>
> 4 Bedroom	<u>2</u>	DU x 3.145	= <u>6.290</u>
Apartments			
> Efficiency	-	DU x 1.294	= -
> 1 Bedroom	-	DU x 1.758	= -
> 2 Bedroom	-	DU x 1.914	= -
> 3 Bedroom	-	DU x 3.053	= -

Totals 3 Total Dwelling Units 8.682 Estimated Total Population

Park Site Requirements

Estimated Total Population 8.682 x .010 Acres per capita = .0868 Acres

Cash in lieu of requirements -

Total Site Acres .0868 x \$240,500 (Fair Market Value per Improved Land) = \$ 20,683.00

SCHOOL LAND/CASH WORKSHEET

City of St. Charles, Illinois

Name of Development	<u>Parkside Reserves</u>
Date Submitted:	<u>1/30/15</u>
Prepared by:	<u>Sebern Custom Homes</u>



Estimated Student Yield by Grades

Type of Dwelling	# of dwelling Units (DU)	Elementary (Grades K to 5)	Middle (Grades 6 to 8)	High (Grades 9 to 12)
Detached Single Family				
> 3 Bedroom	-	DU x .369 = -	DU x .173 =	DU x .184 =
> 4 Bedroom	-	DU x .530 = -	DU x .298 =	DU x .360 =
> 5 Bedroom	-	DU x .345 = -	DU x .248 =	DU x .300 =
Attached Single Family				
> 1 Bedroom	-	DU x .000 = -	DU x .000 =	DU x .000 =
> 2 Bedroom	-	DU x .088 = -	DU x .048 =	DU x .038 =
> 3 Bedroom	<u>1</u>	DU x .234 = <u>.234</u>	DU x .058 = <u>.058</u>	DU x .059 = <u>.059</u>
> 4 Bedroom	<u>2</u>	DU x .322 = <u>.644</u>	DU x .154 = <u>.308</u>	DU x .173 = <u>.346</u>
Apartments				
> Efficiency	-	DU x .000 = -	DU x .000 =	DU x .000 =
> 1 Bedroom	-	DU x .002 = -	DU x .001 =	DU x .001 =
> 2 Bedroom	-	DU x .086 = -	DU x .042 =	DU x .046 =
> 3 Bedroom	-	DU x .234 = -	DU x .123 =	DU x .118 =

Totals 3 TDU .878 TE .366 TM .405 TH

School Site Requirements

Type	# of students	Acres per student	Site Acres
Elementary (TE)	<u>.878</u>	x .025	= <u>.02195</u>
Middle (TM)	<u>.366</u>	x .0389	= <u>.0142374</u>
High (TH)	<u>.405</u>	x .072	= <u>.02916</u>

Total Site Acres .0653474

Cash in lieu of requirements -

.0653474 (Total Site Acres) x \$240,500 (Fair Market Value per Improved Land) = \$ 15,716.05

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

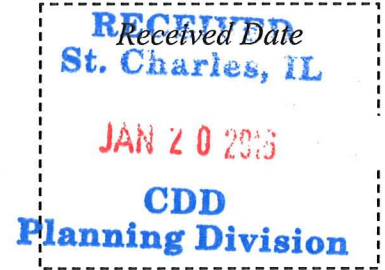


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

FINAL PLAT OF SUBDIVISION APPLICATION

For City Use	
Project Name:	<u>1337 Geneva Rd.</u>
Project Number:	<u>2015 -PR- 001</u>
Application Number:	<u>2016 -AP- 003</u>



To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.

When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>1337 Geneva Rd.</u>	
	Parcel Number (s):	<u>09-34-476-002</u>	
	Proposed Subdivision Name:	<u>Parkside Reserves</u>	
2. Applicant Information:	Name	<u>Grandview Capital, LLC</u>	Phone <u>630-513-1966</u>
	Address	<u>36W995 Red Gate Rd.</u>	Fax <u>630-377-3812</u>
		<u>St. Charles, IL 60175</u>	Email <u>jessica@gvcproperty.com</u>
3. Record Owner Information:	Name	<u>Grandview Capital, LLC</u>	Phone <u>630-513-1966</u>
	Address	<u>36W995 Red Gate Rd.</u>	Fax <u>630-377-3812</u>
		<u>St. Charles, IL 60175</u>	Email <u>jessica@gvcproperty.com</u>

Please check the type of application:

Subdivision:

- Preliminary Subdivision Plat was previously approved by the City
- Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)

Planned Unit Development (PUD):

- PUD Preliminary Plan was previously approved by the City
- Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
- PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

REIMBURSEMENT OF FEES AGREEMENT: *Done previously*

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE: *Done previously*

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (~~On a CD-ROM~~ or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST: ERA

Complete the attached checklist and ensure that all required information is included on the plat.

FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST: ERA

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

ENGINEER'S COST ESTIMATE SPREADSHEET:

See attached form.

STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)

STORMWATER REPORT ERA

FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C. *Bank*
- For Land Improvement Agreement, see City Code Title 16, Appendix D. *IS*

A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.

COPIES OF THIRD PARTY PERMIT/APPROVALS

- Illinois EPA Water Pollution Control Permit for sanitary sewer extension

- Illinois EPA Division of Public Water Supplies Permit for water mains
- Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger *N/A*
- IDNR Office of Water Resources Permit (for work in flood plain)
- Wetlands Permit from Army Corps of Engineers
- Kane County DOT and/or IDOT signature on Final Plat (if applicable)
- Offsite easements and right of way necessary to construct the required Land Improvements

✶ WORKSHEETS (Residential Development only)

- PARK AND SCHOOL LAND/CASH WORKSHEETS: For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields. *Done Previously*
- INCLUSIONARY HOUSING WORKSHEET *Done previously*

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



 Record Owner 11/2/16
Date

Kenneth A. Bernhard

 Applicant or Authorized Agent 11/2/16
Date

TAX I.D.
09-34-476-002-000

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:
NAME - EL CHARLES CITY, ILLINOIS
ADDRESS - 2 EAST MAIN STREET
ST. CHARLES, IL
60741-1894

FINAL PLAT OF SUBDIVISION PARKSIDE RESERVES

BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



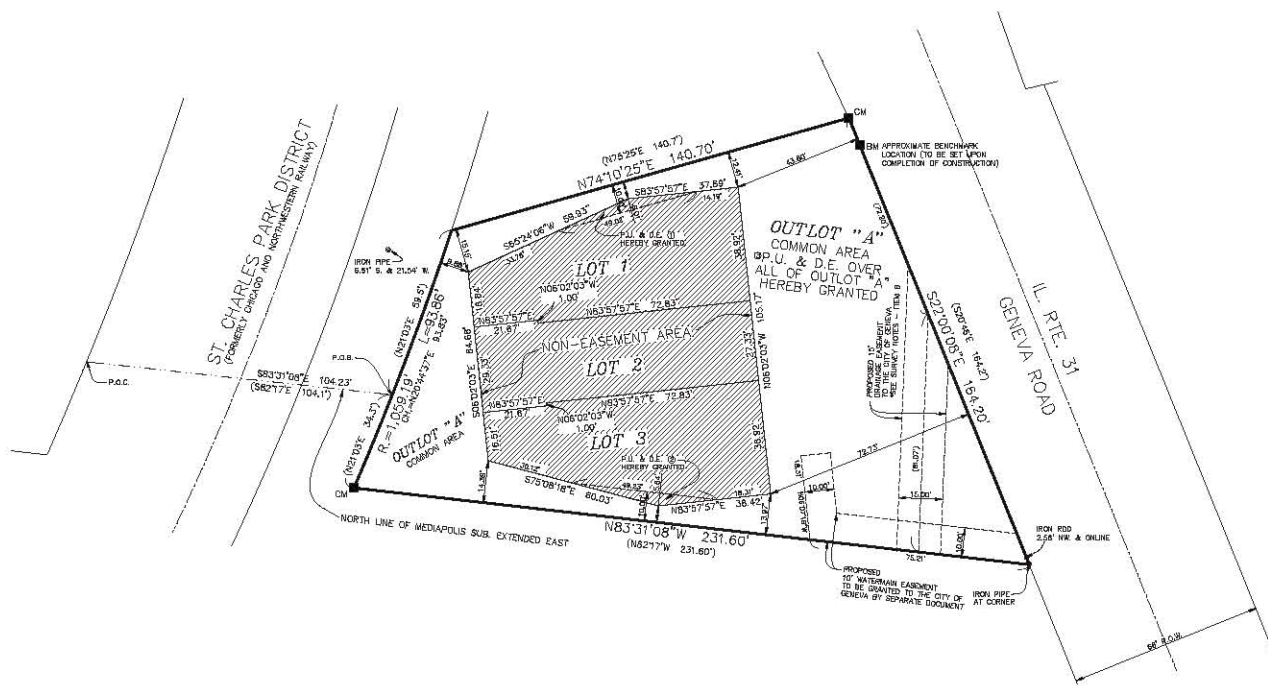
Scale 1" = 20'

SURVEY NOTES

1. BASIS OF BEARINGS: THE BEARINGS SHOWN ON THE PLAT ARE BASED ON ILLINOIS STATE PLANE EAST ZONE 14A0 83
2. LOCATIONS BASED ON FIELD SURVEY BY ENGINEERING RESOURCE ASSOCIATES, INC. ON JANUARY 29, 2015.
3/4" IRON PIPES SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
3. DIMENSIONS SHOWN THUS: 50.25 ARE FEET AND DECIMAL PARTS THEREOF. ANGULAR DATA SHOWN THUS: 90° 00' 00" INDICATES DEGREES, MINUTES AND SECONDS. DIMENSIONS SHOWN IN PARENTHESES ARE RECORD.
4. ZONING DESIGNATION IS RM-1 (PROPOSED ZONING).
5. THE ENTIRE PROPERTY IS TO BE CONSIDERED ONE ZONING LOT FOR THE PURPOSES OF DETERMINING ZONING COMPLIANCE AND BUILDING SETBACKS SHALL BE MEASURED FROM THE BOUNDARY OF THE SUBDIVISION.
6. THE PROPOSED 15" DRAINAGE EASEMENT TO THE CITY OF GENEVA SHOWN HEREON IS BASED UPON THE FOLLOWING INFORMATION PROVIDED BY THE CLIENT:

"EXHIBIT A", PLAT OF EASEMENT FOR DRAINAGE PURPOSES, PREPARED BY WILLIAM E. HAMMA SURVEYORS, DATED MARCH 25, 2012 FOR ROMPE SHARP - JOB NO. KES98961A.

ENGINEERING RESOURCE ASSOCIATES, INC. WAS NOT PROVIDED WITH RECORDING INFORMATION, IF ANY, FOR SAID EASEMENT.



ABBREVIATION TABLE

DOC.	DOCUMENT
SQ. FT.	SQUARE FEET
R.O.W.	RIGHT-OF-WAY
PIP	FOUND IRON PIPE
PIR	FOUND IRON ROD
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCING
P.U. & D.E.	PUBLIC UTILITY AND DRAINAGE EASEMENT
SIP	SET 3/4" IRON PIPE

LEGEND

■ CM	SET CONCRETE MONUMENT
■ BM	PERMANENT BENCHMARK TO BE SET PER CITY OF ST. CHARLES STANDARDS
—	RIGHT-OF-WAY LINE
—	LOT LINE
—	BOUNDARY LINE
- - - -	EASEMENT LINE

A 2ND ORDER CLASS II BERNSTEIN PERMANENT BENCHMARK TO BE INSTALLED SOUTHEASTERLY OF THE NORTHEAST PROPERTY CORNER AS SHOWN SHALL INCLUDE:

1. 6 INCH X 3 FOOT SCHEDULE 40 PVC
2. ACCESS COVER - SCREW LOCK
3. 3/4" ALUMINUM ROD - DRIVEN TILL REFUSED.
4. 3 FOOT TOP SECURITY SLEEVE
5. ROD MARKET
6. SPIRAL POINT
7. BENCHMARK CAP PROVIDED BY THE CITY OF ST. CHARLES
8. COMPLETION AND SUBMITTAL OF CITY OF ST. CHARLES DATA SHEET

AREA SUMMARY

OUTLOT "A"	=	13,153 SQ. FT. (0.302 AC.)±
LOT 1	=	3,114 SQ. FT. (0.071 AC.)±
LOT 2	=	2,627 SQ. FT. (0.060 AC.)±
LOT 3	=	3,056 SQ. FT. (0.071 AC.)±
TOTAL SUBDIVIDED AREA	=	21,950 SQ. FT. (0.504 AC.)±

EASEMENT AREA SUMMARY

① LOT 1 (P.U. & D.E.)	=	98 SQ. FT. (0.002 AC.)±
② LOT 3 (P.U. & D.E.)	=	99 SQ. FT. (0.002 AC.)±
③ OUTLOT "A" (P.U. & D.E.)	=	13,153 SQ. FT. (0.302 AC.)±
TOTAL P.U. & D.E.	=	13,350 SQ. FT. (0.306 AC.)±

PROFESSIONAL DESIGN FIRM NUMBER: 184.001188

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
8/24/16	T.M.	CITY COMMENTS			
8/15/17	T.M.	CITY COMMENTS			



ENGINEERING RESOURCE ASSOCIATES, INC.
CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS
35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3660
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 1800
CHICAGO, ILLINOIS 60606
PHONE (312) 683-0110
FAX (312) 474-6999

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61822
PHONE (217) 351-6268
FAX (217) 355-1902

GRANDVIEW CAPITAL, LLC
36W995 RED GATE ROAD
ST. CHARLES, IL

**FINAL PLAT OF SUBDIVISION
PARKSIDE RESERVES
ST. CHARLES, IL**

SCALE: 1"=20'
DATE: AUGUST 15, 2017
JOB NO. 130209.00
SHEET 1 OF 2

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FINAL ENGINEERING IMPROVEMENT PLANS

PARKSIDE RESERVES

ST. CHARLES, ILLINOIS

INDEX TO DRAWINGS

1. COVER SHEET
2. EXISTING CONDITIONS
3. UTILITY & GEOMETRY PLAN
4. GRADING & EROSION CONTROL PLAN
5. STORMWATER POLLUTION PREVENTION PLAN
6. GENERAL NOTES
7. GENERAL NOTES
8. DETAILS
9. DETAILS



LOCATION MAP
1/1/18

PREPARED FOR:

GRANDVIEW CAPITAL, LLC
 36W995 RED GATE ROAD
 ST. CHARLES, IL 60174
 PH: (630) 513-1966
 FAX: (630) 377-3812

EXISTING		PROPOSED	
CURB & GUTTER	—	CURB & GUTTER	—
VALE	—	VALE	—
SEWER	—	SEWER	—
GAS	—	GAS	—
SAFETY BENCH	—	SAFETY BENCH	—
STORM BENCH	—	STORM BENCH	—
POLISHED VIEWS	—	MAINTENANCE	—
SMOOTH	—	GUTTER BENCH	—
GUTTER BENCH	—	WALK	—
PILE	—	MAINT. GULLY	—
VALE TALL	—	VALE & DEC.	—
VALE & DEC.	—	BUFFALO REC.	—
BUFFALO REC.	—	GAS VALE	—
NEW VALE	—	STREET	—
ROADWAY	—	UNDESIGNED PAVT	—
UNDESIGNED LUMP	—	ALL STRUCTURE	—
ALL STRUCTURE	—	MAINT STRUCTURE	—
ASBEST STRUCTURE	—	ELEVATION	—
ELEVATION	—	ROOFING	—
CONCRETE	—	PILE	—
PILE	—	STREETWAY PAVT	—
ROADWAY	—	PROTECT EXISTING, SUBJECT TO FIELD DATA	—
		RAIL FENCING	—
		RAIL POLE	—
		CONCRETE	—
		CONCRETE ON 4 WEDD	—
		CONCRETE ON EXISTING	—



ENGINEERING RESOURCE ASSOCIATES, INC.
 CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

2416 GALEN DRIVE
 CHAMPAIGN, ILLINOIS 61821
 PHONE (217) 351-6268
 FAX (217) 355-1902

35701 WEST AVENUE, SUITE 150
 WARRENVILLE, ILLINOIS 60555
 PHONE (630) 393-3060
 FAX (630) 393-2152

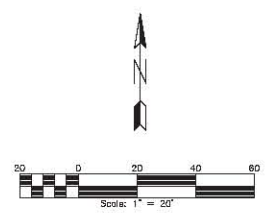
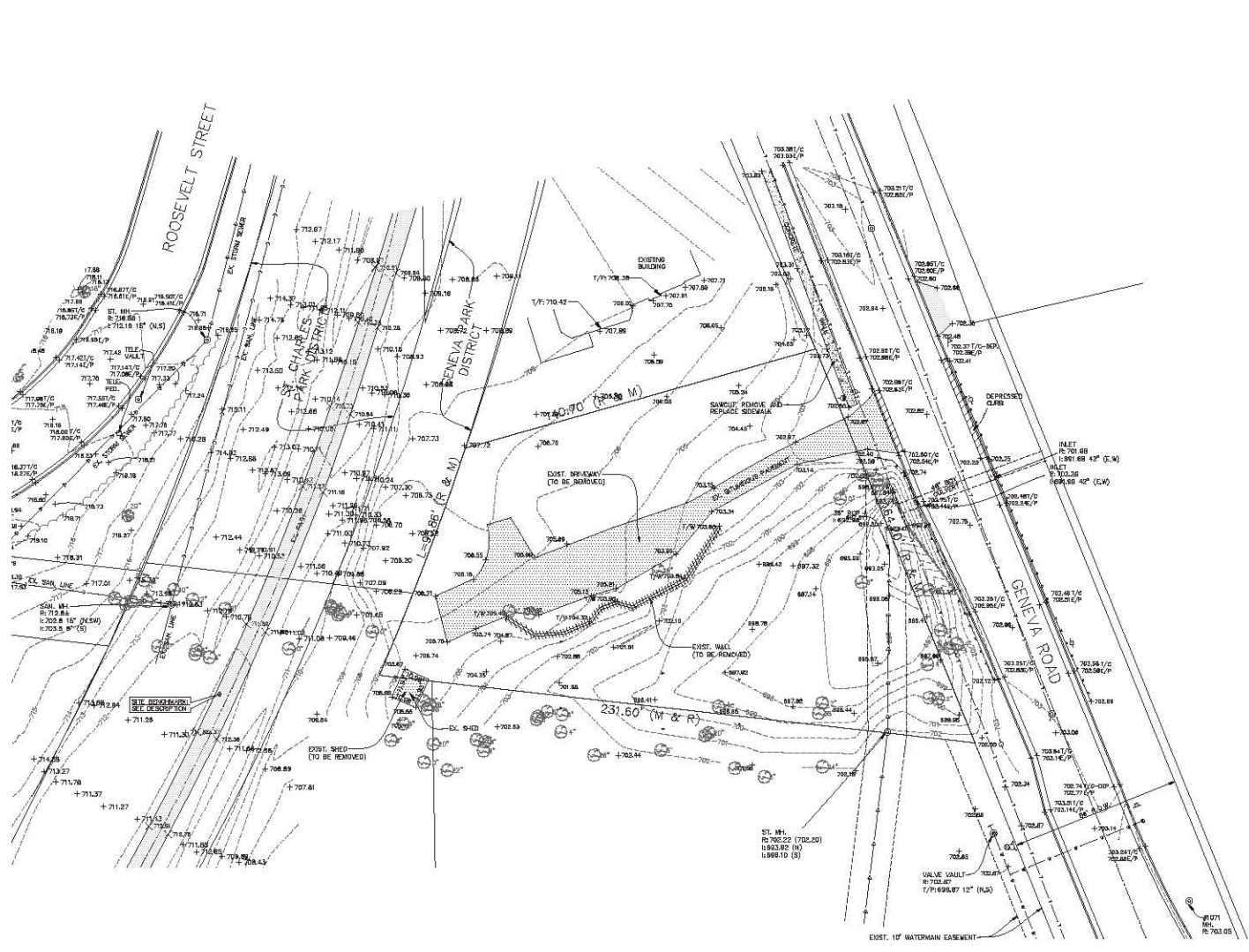
10 S. RIVERSIDE PLAZA,
 SUITE 875
 CHICAGO, ILLINOIS 60606
 PHONE (312) 474-7841

REVISED DATE: AUGUST 15, 2017
 REVISED DATE: AUGUST 4, 2018
 ORIGINAL SUBMITTAL: FEBRUARY 5, 2018

Jan P. Green, P.E.
 Ill. P.E. NO. 052-DS2108
 Expires November 30, 2017

ERA JOB NO: 180209

PROFESSIONAL DESIGN FIRM NUMBER: 184.001166



SITE BENCHMARK:
 SET P.M. NAIL IN PAVEMENT ON WEST SIDE OF ST.
 ELEV. 712.16

DATE		BY	DESCRIPTION	DATE	BY	DESCRIPTION
08/04/18	EM		FOR CITY COMMENTS			
06/07/18	EM		FOR ITRN COMMENTS			

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 CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

35701 WEST AVENUE, SUITE 150
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 PHONE (630) 393-3660
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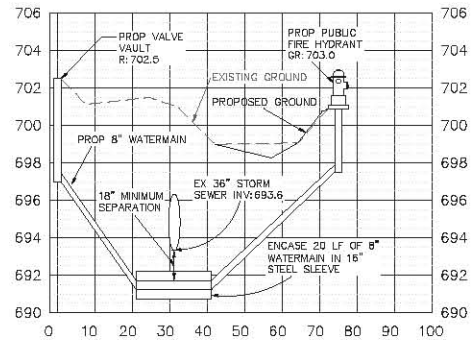
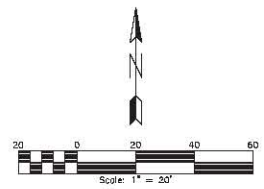
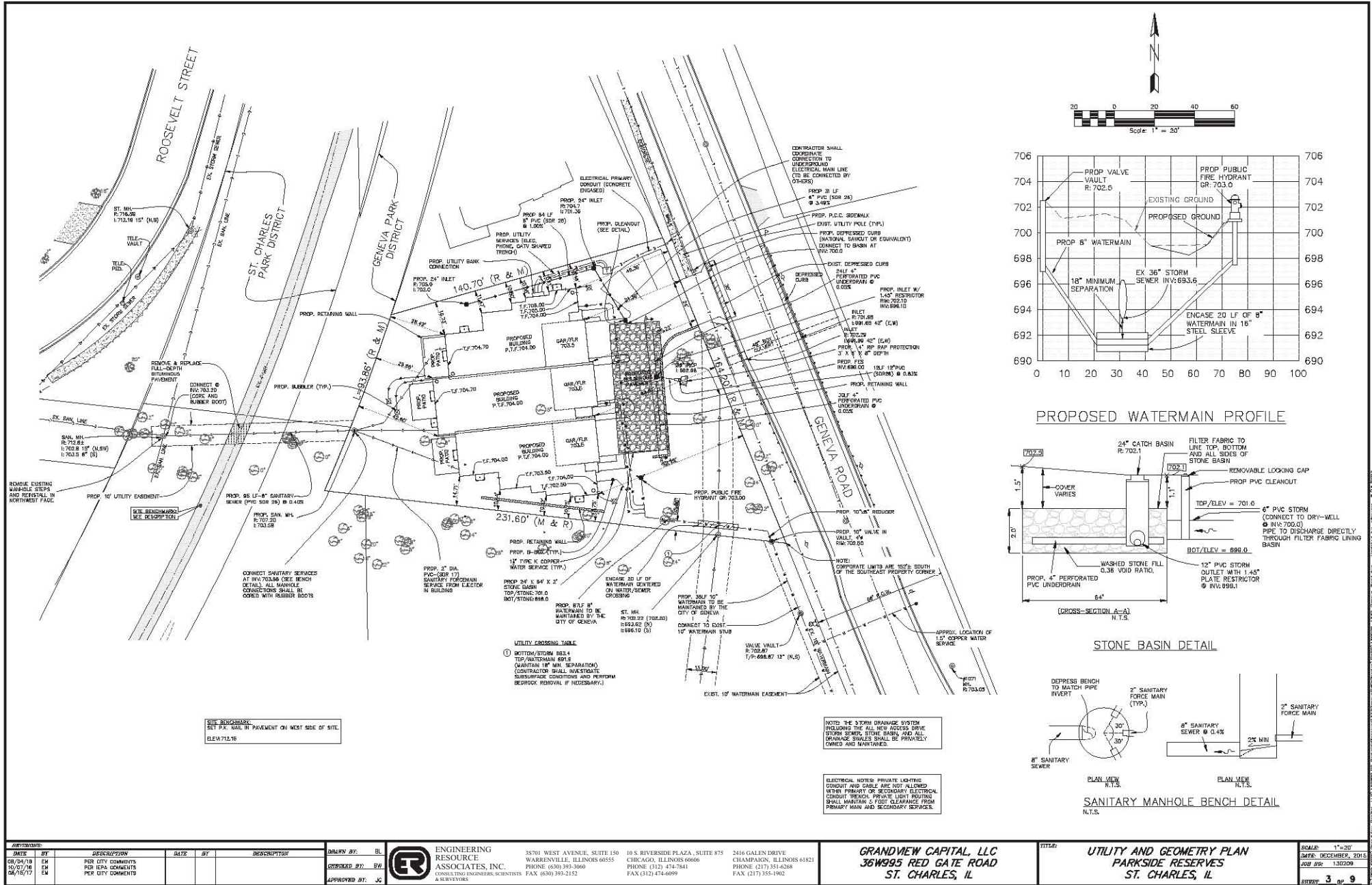
10 S. RIVERSIDE PLAZA, SUITE 875
 CHICAGO, ILLINOIS 60606
 PHONE (312) 474-7841
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2416 GALEN DRIVE
 CHAMPAIGN, ILLINOIS 61821
 PHONE (217) 351-6268
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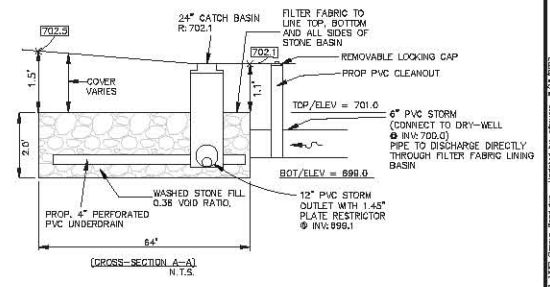
GRANDVIEW CAPITAL, LLC
 36W995 RED GATE ROAD
 ST. CHARLES, IL

EXISTING CONDITIONS
 PARKSIDE RESERVES
 ST. CHARLES, IL

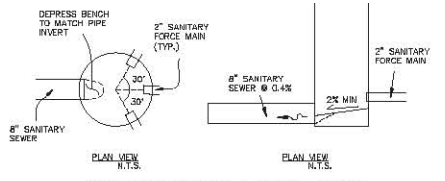
SCALE: 1"=20'
 DATE: DECEMBER, 2015
 JOB NO: 130209
 SHEET: 2 OF 9



PROPOSED WATERMAIN PROFILE



STONE BASIN DETAIL



SANITARY MANHOLE BENCH DETAIL

UTILITY CROSSING TABLE

1	BOTTOM/STORM 18\"/>
2	TOP/WATERMAIN 8\"/>
3	(WAITING 1\"/>

CONTRACTOR SHALL INVESTIGATE SUBSURFACE CONDITIONS AND PERFORM BENCHING/REPAIR, IF NECESSARY.

NOTE: THE STORM DRAINAGE SYSTEM INCLUDING THE ALL ASPECTS OF THE STORM SEWER, STONE BASIN, AND ALL DRAINAGE SWALES SHALL BE PRIVATELY OWNED AND MAINTAINED.

ELECTRICAL NOTES: PRIVATE LIGHTING CONDUIT AND CABLE ARE NOT ALLOWED WITHIN PRIMARY OR SECONDARY ELECTRICAL CONDUIT TRENCH. PRIVATE LIGHT ROUTING SHALL MAINTAIN 4-FEET CLEARANCE FROM PRIMARY MAIN AND SECONDARY SERVICES.

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
08/04/18	EM	FOR CITY COMMENTS			
08/07/18	EM	FOR BEN COMMENTS			
08/16/17	EM	PER CITY COMMENTS			

DESIGNED BY: BL
 CHECKED BY: BW
 APPROVED BY: JC

ENGINEERING RESOURCE ASSOCIATES, INC.
 CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

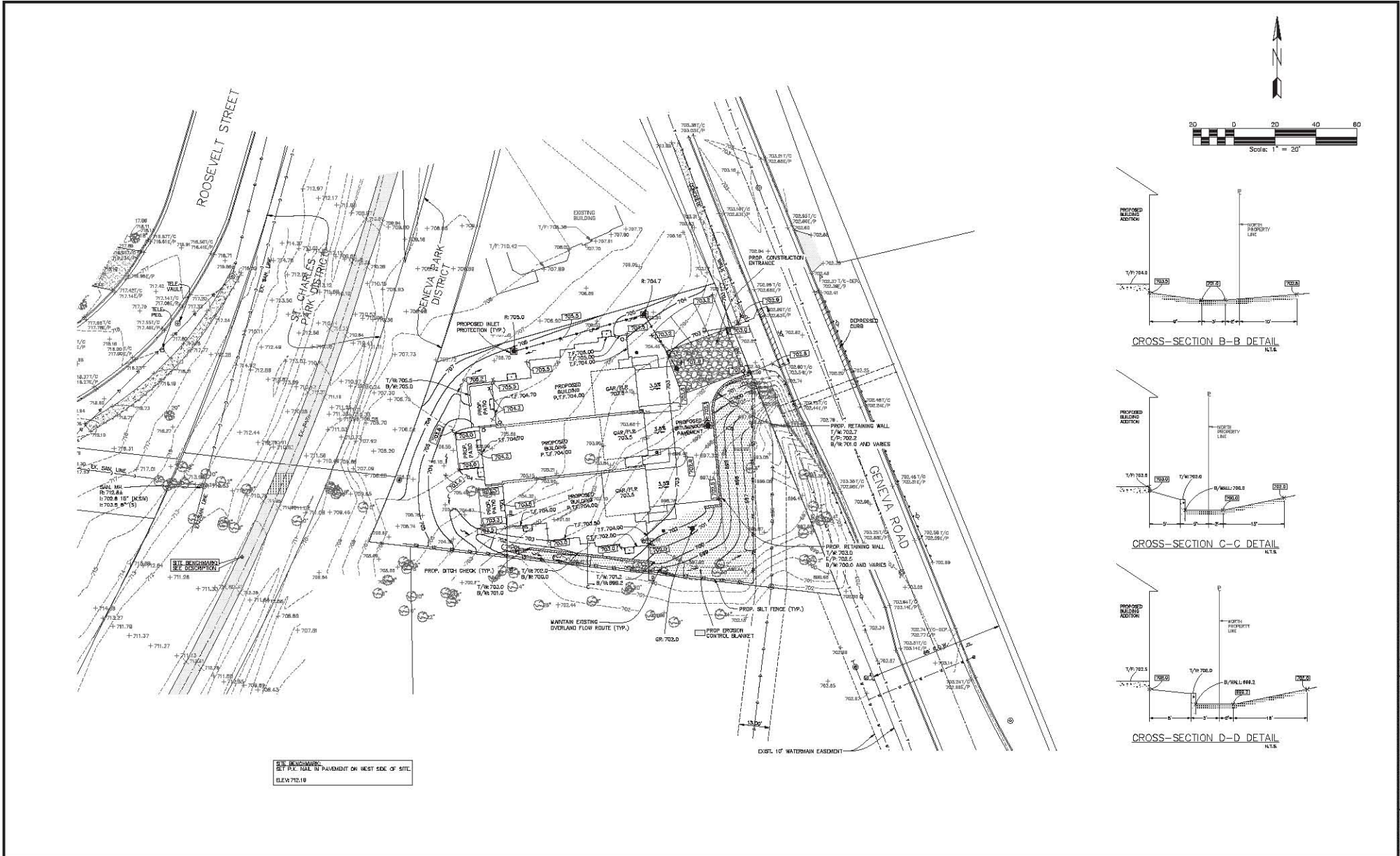
35701 WEST AVENUE, SUITE 150
 WARRINGTONVILLE, ILLINOIS 60055
 PHONE: (630) 393-3660
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10 S. RIVERSIDE PLAZA, SUITE 875
 CHICAGO, ILLINOIS 60606
 PHONE: (312) 474-7841
 FAX: (312) 474-6999

2416 GALEN DRIVE
 CHAMPAIGN, ILLINOIS 61821
 PHONE: (217) 351-6268
 FAX: (217) 355-1902

GRANDVIEW CAPITAL, LLC
 367995 RED GATE ROAD
 ST. CHARLES, IL

SCALE:	1"=20'
DWG. NO.:	DECEMBER, 2018
DATE:	JULY 02, 130209
TITLE:	UTILITY AND GEOMETRY PLAN PARKSIDE RESERVES ST. CHARLES, IL
SHEET:	3 OF 9



SITE BENCHMARK
SET P.C. NAIL IN PAVEMENT ON WEST SIDE OF SITI.
ELEV. 702.19

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DRAWN BY:	BL
08/04/16	EM	FOR CITY COMMENTS					
10/07/16	EM	PER BEN COMMENTS					
06/16/17	EM	PER CITY COMMENTS					

ENGINEERING RESOURCE ASSOCIATES, INC. CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS	35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3660 FAX (630) 393-2152	10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6999	2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902
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GRANDVIEW CAPITAL, LLC
 36W995 RED GATE ROAD
 ST. CHARLES, IL

SCALE: 1"=20'
 DATE: DECEMBER, 2015
 JOB NO: 130209
GRADING AND EROSION CONTROL PLAN
PARKSIDE RESERVES
ST. CHARLES, IL
 SHEET 4 OF 9

STORM WATER POLLUTION PREVENTION PLAN

THE FOLLOWING PLAN IS ESTABLISHED AND INCORPORATED IN THE PROJECT TO DIRECT THE CONTRACTOR IN THE PLACEMENT OF TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS AND TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN FOR COMPLIANCE UNDER NPDES.

THE PURPOSE OF THIS PLAN IS TO MINIMIZE EROSION WITHIN THE CONSTRUCTION SITE AND TO LIMIT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE BY UTILIZING PROPER TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS AND PROVIDING AROUND COVER FOR EXPOSED SOILS.

CERTAIN EROSION CONTROL FACILITIES SHALL BE INSTALLED BY THE CONTRACTOR AT THE BEGINNING OF CONSTRUCTION. OTHER ITEMS SHALL BE INSTALLED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER ON A CASE BY CASE BASIS DEPENDING ON THE CONTRACTOR'S SEQUENCE OF ACTIVITIES, TIME OF YEAR, AND EXPECTED WEATHER CONDITIONS.

THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL SYSTEMS AND SEEDS WITHIN THE FRAME SPECIFIED HEREIN AND AS DIRECTED BY THE ENGINEER. MINIMUMS: THE AMOUNT OF AREA SUSCEPTIBLE TO EROSION AND REDUCING THE AMOUNT OF EROSION. THE ENGINEER WILL SIGNIFY IF ANY TEMPORARY EROSION CONTROL SYSTEMS SHOWN IN THIS PLAN CAN BE DELETED AND IF AN ADDITIONAL EROSION CONTROL SYSTEM WHICH HAS NOT BEEN SHOWN IN THIS PLAN SHALL BE INSTALLED. THE CONTRACTOR SHALL PERFORM ALL WORK AS DIRECTED BY THE ENGINEER AND AS SHOWN ON EACH STANDARD SHEET.

SECTION 280. TEMPORARY EROSION CONTROL. OF THE STANDARD SPECIFICATIONS ADDITIONALLY SUPPLEMENTS THIS PLAN.

- 1. THE PROJECT IS LOCATED AT 1337 GENOA ROAD, IN THE CITY OF ST. CHARLES.
- 2. CONSTRUCTION INCLUDES EARTHWORK, RETAINMENT, STREET IMPROVEMENTS, SANITARY & WATER IMPROVEMENTS AND CONSTRUCTION OF THREE SINGLE FAMILY ATTACHED RESIDENCES.

EROSION OF TEMPORARY SEDIMENT FOR MAJOR CONSTRUCTION ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTION OF THE CONSTRUCTION SITE.

- 1. SEDIMENT CONTROL. Silt fencing shall be in place prior to earthwork activities.
- 2. SITE SHALL BE MASS-GRADED, WITH ALL PROPOSED PAVEMENT GRAD TO ROUNGELY 1'-FOOT BELOW FINAL ELEVATION ON ALL SLOPES. SITES SHALL BE CONSTRUCTED AFTER COMPLETION OF STORM WATER CONSTRUCTION. SEDIMENT CONTROL, FILTER BARRIER AND SEDIMENT CONTROL FLOW-THROUGH (DUMP-IN) FILTERS SHALL BE PLACED AT EACH OPEN-GRADE STRUCTURE.
- 3. RETAINMENT PAVEMENT SHALL BE CONSTRUCTED.

AREA OF CONSTRUCTION SITE.

THE TOTAL AREA OF THE CONSTRUCTION SITE IS ESTIMATED TO BE .5500 ACRES BY WHICH .5500 ACRES WILL BE DISTURBED BY EARTHWORK, GRAVING, AND OTHER ACTIVITIES.

OVERLAND FLOW, SLOPES AND DRAINAGE, WHICH ARE IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN AS REFLECTED DOCUMENTS.

- 1. INFORMATION OF THE SOILS AND TERRAIN WITHIN THE SITE WAS OBTAINED FROM TOPOGRAPHIC SURVEYS AND DRAINAGE RECORDS THAT WERE UTILIZED FOR THE DEVELOPMENT OF THE PROPOSED TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS.
- 2. PROJECT PLAN DOCUMENTS, SPECIFICATIONS AND SPECIAL PROVISIONS, AND PLAN DRAWINGS INDICATING DRAINAGE PATTERNS, APPROPRIATE SLOPES AND GRADES, AND SLOPE GRADING ACTIVITIES WERE UTILIZED FOR THE PROPOSED PLACEMENT OF THE TEMPORARY EROSION CONTROL SYSTEMS.

CRRAZIE, THIRTYNINE AND SEVENTEEN AREAS BEING BURNED FROM THIS CONSTRUCTION SITE.

- 1. THE SITE SHALL BEAN INTO PROPOSED STORM WATER BY MEANS OF OVERLAND FLOW SLOPES.

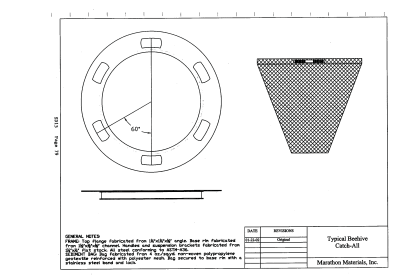
CONTROL OF EROSION AND SEDIMENT CONTROL.

THE ENGINEER, SPECIFICATIONS AND SPECIAL PROVISIONS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. STABILIZATION PRACTICES INCLUDE: TEMPORARY SEDIMENT CONTROL, PERMANENT SEEDING, MULCHING, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION, AND OTHER APPROPRIATE MEASURES AS DIRECTED BY THE ENGINEER. STABILIZATION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY PLANTED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

- (a) AREAS OF EXISTING VEGETATION, WOOD AND GRASSLANDS, OUTSIDE THE PROPOSED CONSTRUCTION LIMITS SHALL BE IDENTIFIED BY THE ENGINEER FOR PRESERVING AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES.
- (b) DEAD, DISEASED, OR UNSUITABLE VEGETATION WITHIN THE SITE SHALL BE REMOVED AS DIRECTED BY THE ENGINEER, ALONG WITH REQUIRED TREE REMOVAL.
- (c) AS SOON AS REASONABLE ACCESS IS AVAILABLE TO ALL LOCATIONS WHERE WATER DRAINAGE FROM THE PROJECT, PERMANENT Silt FENCE SHALL BE INSTALLED AS CALLED OUT IN THIS PLAN OR DIRECTED BY THE ENGINEER.
- (d) BARE AND SPARSLY VEGETATED GROUND IN HIGH EROSION AREAS AS DETERMINED BY THE ENGINEER SHALL BE TEMPORARILY SEEDED AT THE BEGINNING OF CONSTRUCTION WHERE NO PROTECTION ACTIVITIES ARE EXPECTED WITHIN SEVEN (7) DAYS.
- (e) IMMEDIATELY AFTER TREE REMOVAL IS COMPLETED, AREAS WHICH ARE HOVLY EXPOSED AS DETERMINED BY THE ENGINEER, SHALL BE TEMPORARILY SEEDED WHEN NO PROTECTION ACTIVITIES ARE DIRECTED WITHIN SEVEN (7) DAYS.

STABILIZATION OF THESE TEMPORARY EROSION AND SEDIMENT MEASURES WILL HAVE ADDITIONAL BENEFIT TO THE PROJECT. SEEDABLE GRASS SEED WILL BECOME ESTABLISHED IN THESE AREAS AND WILL SPREAD SEEDS ONTO THE CONSTRUCTION SITE UNTIL PERMANENT SEEDING, MULCHING AND OVER SEEDING CAN BE COMPLETED.

SOIL PROTECTION CHART



DESCRIPTION OF CONSTRUCTION ACTIVITIES PRESENTING CONSTRUCTION DURING CONSTRUCTION.

- 1. DURING CONSTRUCTION, AREAS OUTSIDE THE CONSTRUCTION LIMITS SHALL BE PROTECTED. THE CONTRACTOR SHALL NOT USE THIS AREA FOR STAGING, PARKING OF VEHICLES OR CONSTRUCTION EQUIPMENT, STORAGE OF MATERIALS OR OTHER CONSTRUCTION RELATED ACTIVITIES.
- (a) WITHIN THE CONSTRUCTION LIMITS, AREAS WHICH MAY BE SUSCEPTIBLE TO EROSION AS DETERMINED BY THE ENGINEER SHALL REMAIN UNDISTURBED UNTIL FULL SCALE CONSTRUCTION IS UNDERWAY TO PREVENT UNNECESSARY SOIL EROSION.
- (b) AS CONSTRUCTION PROGRESSES, THE CONTRACTOR SHALL INSTALL THE FOLLOWING AS DIRECTED BY THE ENGINEER:
 1. PLACE TEMPORARY SEDIMENT CONTROL PRODUCTS (FILTER BARRIERS, ETC.) AT LOCATIONS SHOWN ON THE PLANS.
 2. TEMPORARILY SEED EROSION BARE EARTH ON A MEDICAL BASE WITHIN THE AMOUNT OF EROSION SURFACE AREA WITHIN THE CONSTRUCTION LIMITS.
 3. CONTINUE MULCHING UP TO THE EXPOSED GRADE IMMEDIATELY AT THE SAME TIME, PLACING PERMANENT SEDIMENT CONTROL, ALONG THE SLOPES.
 - (c) DEGRADED AREAS AND EXHIBITION SHALL BE PERMANENTLY SEEDING IMMEDIATELY AFTER FINAL GRADING. IF NOT, THEY SHALL BE TEMPORARILY SEEDING IF NO CONSTRUCTION ACTIVITY IN THE AREA IS PLANNED FOR SEVEN (7) DAYS.
 - (d) CONSTRUCTION EQUIPMENT SHALL BE STORED AND FUELED ONLY AT DESIGNATED LOCATIONS. ALL NECESSARY SUPPLIES SHALL BE TAKEN TO CONTROL ANY FIELD OR OTHER POLLUTANT IN ACCORDANCE WITH EPA WATER QUALITY REGULATIONS. LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE.
 - (e) THE OWNER OR HIS DESIGNATED REPRESENTATIVE SHALL INSPECT THE PROJECT WEEKLY DURING CONSTRUCTION AND DURING THE WINTER SHUTDOWN PERIOD.
- (f) SEDIMENT COLLECTED DURING CONSTRUCTION FROM THE VARIOUS TEMPORARY SEDIMENT CONTROL SYSTEMS SHALL BE DEPOSITED ON THE SITE ON A REGULAR BASIS AS DIRECTED BY THE ENGINEER. THE COST OF THIS MAINTENANCE SHALL BE INCLUDED IN THE UNIT AND PRICE FOR EARTH EXCAVATION FOR EROSION AND SEDIMENT CONTROL.
- (g) THE TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS SHALL BE REMOVED, AS DIRECTED BY THE ENGINEER, AFTER USE IS NO LONGER NEEDED OR NO LONGER FUNCTIONING.
- (h) THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEW CONSTRUCTION LIMITS THROUGHOUT THE CONSTRUCTION PERIOD.

Temporary erosion and sediment control products shall be removed and disposed of as directed by the engineer.

DESCRIPTION OF STRUCTURAL PRACTICES AFTER FINAL GRADING.

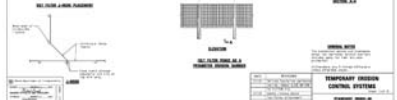
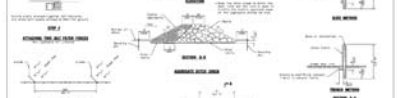
- 1. TEMPORARY SEDIMENT CONTROL SYSTEMS SHALL BE LEFT IN PLACE WITH PROPER MAINTENANCE UNTIL PERMANENT EROSION CONTROL IS IN PLACE AND WORKING PROPERLY, AND ALL PERMANENT VEGETATION IS GROWING AND THICKEN. WHEN TEMPORARY ITEMS ARE REMOVED, DISTURBED VEGETATION SHALL BE SEEDING.
- 2. PERMANENT SOIL STABILIZATION SHALL BE PROVIDED WITHIN 14 DAYS AFTER FINAL GRADE IS ESTABLISHED.

MAINTENANCE AFTER CONSTRUCTION.

CONSTRUCTION IS COMPLETE AFTER ACCEPTANCE BY THE MUNICIPALITY. MAINTENANCE UP TO THIS DATE WILL BE BY THE CONTRACTOR.

- 1. TEMPORARY EROSION CONTROL SEEDING SHALL BE APPLIED AT A RATE OF 100 LBS./ACRES, IF DIRECTED BY THE ENGINEER.
- 2. Silt FENCES WILL NOT BE PERMITTED FOR TEMPORARY OR PERMANENT DITCH CHECKS. DITCH CHECKS SHALL BE COMPOSED OF AGGREGATE, ROLLER EXCLUSIVE, URETHANE FIBER GEOTEXTILE, Silt FENCE, AND/OR ANY OTHER MATERIAL APPROVED BY THE ENGINEER.
- 3. SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS TEMPORARY SEDIMENT CONTROL SYSTEMS SHALL BE DEPOSITED OFF SITE ON A REGULAR BASIS, AS DIRECTED BY THE ENGINEER. THE COST OF THIS MAINTENANCE SHALL BE PAID FOR BY THE CONTRACTOR AT THE UNIT PRICE FOR EACH TON FOR EACH LOCATION.
- 4. ALL EROSION AND SEDIMENT CONTROL PRODUCTS FURNISHED SHALL BE SPECIFICALLY RECOMMENDED BY THE MANUFACTURER FOR THE USE SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN. PRIOR TO THE APPROVAL AND USE OF THE PRODUCT, THE CONTRACTOR SHALL OBTAIN TO THE ENGINEER A NOTARIZED CERTIFICATION FOR THE PROPOSED USAGE OF THE PRODUCT AND THAT THE ENGINEER HAS REVIEWED THE CERTIFICATION AND HAS NOTED ANY CORRECTIONS TO THE PLAN. THE CONTRACTOR SHALL PROVIDE MANUFACTURER INSTALLATION PROCEDURES TO FACILITATE THE INSTALLATION OF CONSTRUCTION PRODUCTS.

LEGEND



EROSION AND SEDIMENT CONTROL MEASURES

CONSTRUCTION ACTIVITIES WILL COME WITH THE INSTALLATION OF A Silt FENCE AND A STABILIZED CONSTRUCTION ENTRANCE PLAN. THE ENGINEER WILL REVIEW THE STABILIZED CONSTRUCTION ENTRANCE PLAN FOR THE INSTALLATION OF THE STABILIZED CONSTRUCTION ENTRANCE PLAN. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEW CONSTRUCTION LIMITS THROUGHOUT THE CONSTRUCTION PERIOD.

ANY STORM WATER DRAINAGE STRUCTURES THAT HAVE THE POTENTIAL TO ACCEPT RUNOFF FROM THE CONSTRUCTION SITE SHALL BE CONSIDERED TO BE "STABILIZED" WHEN THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEW CONSTRUCTION LIMITS THROUGHOUT THE CONSTRUCTION PERIOD.

EXCEPT AS PREVENTED BY UNUSUAL WEATHER CONDITIONS, ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL OR BETTER CONDITION. RESTORATION SHALL BE COMPLETED WITHIN 14 DAYS AFTER FINAL GRADING IS ESTABLISHED.

SOIL EROSION AND SEDIMENT CONTROL

- 1. SOIL EROSION CONTROL MUST CONFORM TO THE CITY OF ST. CHARLES ORDINANCE.
- A. SPECIFICATIONS
- 1. A CONSTRUCTION ENTRANCE TO THE SITE SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY WORK ON THE SITE. THE CONSTRUCTION ENTRANCE SHALL CONSIST OF AT LEAST 10 FEET IN LENGTH AND 30 FEET WIDE AT THE PROJECT SITE ENTRANCE ON 4TH AVENUE.
- 2. AFTER EXCAVATION AND PRIOR TO ANY MAJOR SITE GRADING, THE STORM SEWER AND CATCH BASINS SHALL BE INSTALLED.
- 3. FILTER BARRIERS AND "DITCH-ALERT" SHALL BE INSTALLED AROUND ALL MANNHOLES, CATCH BASINS AND WEIPTS TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM.
- 4. ALL STOCK PILES ON THE SITE WHICH WILL NOT BE REDISTRIBUTED FOR A WEEK OR LONGER WILL BE SEEDING WITHIN SEVEN DAYS OF THE FORMATION OF THE STOCKPILE.
- 5. SEEDING IN DISTURBED AREAS WILL BE DONE PER THE SPECIFICATIONS DETAILED ON THIS PLAN.
- 6. THE SEEDING AND MULCH WILL BE MAINTAINED AND REPAIRED WHEN NECESSARY UNTIL THE PROJECT IS COMPLETED.
- 7. AGGREGATE BASE SHALL BE INSTALLED AS SOON AS POSSIBLE IN THE CONSTRUCTION SEQUENCE FOR ROADS TO PREVENT EROSION AND SEDIMENT CONTROL MEASURES.
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL STRUCTURES.
- 9. CONTRACTOR SHALL MONITOR EROSION CONTROL STRUCTURES WEEKLY AND WITHIN 24 HOURS OF A STORM 0.5" OR GREATER AS DIRECTED BY THE ENGINEER.
- 10. ALL DESIGN AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AS CONTAINED IN THE SEPA NPDES-212 ON CURRENT EDITION AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILDEMS EPA.
- 11. DUST CONTROL AND CLEANING OF ROADWAYS AS REQUIRED BY THE CITY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- 12. NOTIFY THE CITY OF ST. CHARLES ENGINEERING DEPARTMENT 24 HOURS PRIOR TO INITIATING CONSTRUCTION.

NOTE: ALL ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, AND AS DIRECTED BY THE ENGINEER. MAINTENANCE AND CLEANING OF THE EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INCLUDED IN THE RESPECTIVE EROSION AND SEDIMENT CONTROL PAY ITEM.

THE CITY OF ST. CHARLES REQUIRES COMPLIANCE WITH NPDES PHASE 2 PROGRAM.

- 1. THE OWNER IS RESPONSIBLE FOR SUBMITTING THE NOTICE OF INTENT (NOI) TO THE EPA AFTER THE STORM WATER POLLUTION PREVENTION PLAN IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT THE NOI IS FORWARDED AT THE END OF THE CONSTRUCTION PROJECT.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE SWPPP ON SITE AT ALL TIMES.
- 3. THE NOTIFICATION OF CONSTRUCTION SHALL BE COMPLETED BY THE OWNER OF PROJECT ENGINEER AT LEAST ONCE EVERY 7 DAYS AND IN WRITING OF NON-COMPLIANCE (NOC) MUST BE COMPLETED AND SUBMITTED BY THE OWNER TO THE EPA AND COPIED TO THE CONTRACTOR.
- 4. A NOTICE OF TERMINATION (NOT) SHALL BE COMPLETED BY THE OWNER IN COMPLIANCE WITH NPDES PHASE II REQUIREMENTS WHEN PERMANENT SEEDING IS COMPLETED. THE NOT SHALL BE SENT TO THE EPA AND THE CITY.
- 5. THE NOTIFICATION OF CONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.

KANE-COUDGE SOIL & WATER CONSERVATION DISTRICT NOTES:

- 1. NO WORK SHALL BE PERFORMED IN FLOWING WATER. WORK IN AND NEAR THE CRITICAL AREAS SHOULD BE ISOLATED FROM CONSTRUCTION. FLOWING WATER SHALL BE DIVERTED TO AN AREA BEYOND PROPERTY SHALL BE GIVEN TO THE COMPLETION OF THE CONSTRUCTION PROJECT.
- 2. UNLESS OTHERWISE NOTED, ALL VEGETATION AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRODUCTS WILL BE CONSTRUCTED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
- 3. THE SAME SURFACE SOIL AND WATER CONSERVATION DISTRICT (KANE-COUDGE) MUST BE METRES THE MEAN PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- 4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 5. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PLOTS OF CONVEYANCE AND OFF-SITE BROWNE OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW BY THE NEDSD.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR REINSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE NEDSD.
- 7. DURING EXCAVATING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR Silt TRAPS. DRAINING DIRECTLY INTO STREAMS, RIVULETS, FIELDS, OR OTHER STORMWATER STRUCTURES IS PROHIBITED.
- 8. IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUB-CONTRACTORS WHO MAY BE PERFORMING WORK ON THIS PROJECT OF THE REQUIREMENTS IN ADAPTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.

SEEDING SHALL BE PROVIDED AS NOTED BELOW.

TEMPORARY SEED	PERMANENT SEED
100% TURF	100% TURF
100% AGRASS	100% AGRASS

CONTRACTOR'S CERTIFICATION

I, THE CONTRACTOR, HEREBY CERTIFY THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE SPECIFICATIONS AND PERMIT REQUIREMENTS FOR THE EROSION AND SEDIMENT CONTROL MEASURES. I HAVE REVIEWED THE INFORMATION SUBMITTED BY THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE SYSTEM, AND I HAVE REVIEWED THE INFORMATION SUBMITTED BY THEM TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPROVEMENT FOR KNOWING VIOLATIONS.

SIGNATURE: _____ TITLE: _____ DATE: _____

OWNER'S CERTIFICATION

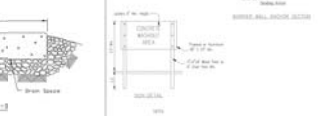
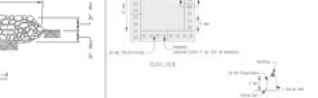
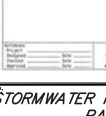
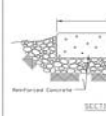
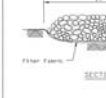
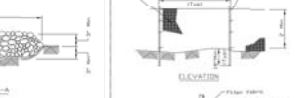
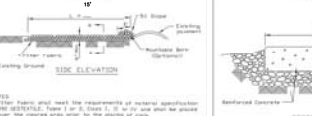
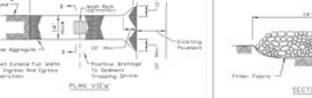
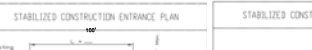
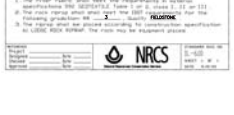
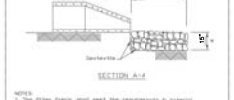
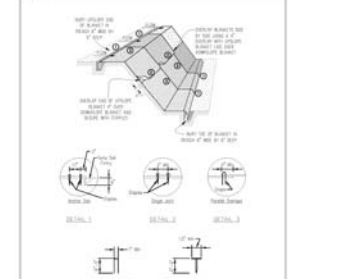
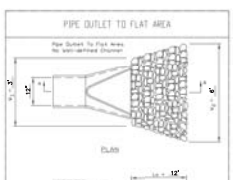
I, THE OWNER, HEREBY CERTIFY THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE SPECIFICATIONS AND PERMIT REQUIREMENTS FOR THE EROSION AND SEDIMENT CONTROL MEASURES. I HAVE REVIEWED THE INFORMATION SUBMITTED BY THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE SYSTEM, AND I HAVE REVIEWED THE INFORMATION SUBMITTED BY THEM TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPROVEMENT FOR KNOWING VIOLATIONS.

SIGNATURE: _____ TITLE: _____ DATE: _____

THE PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE NPDES PERMIT NUMBER LPD0001020 ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR THE STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

I HEREBY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PERSONNEL, POSSESSING THE NECESSARY TRAINING AND SKILLS AND QUALIFIED TO THE INFORMATION SUBMITTED, ASSIGNED TO BY ME OR BY THE PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE SYSTEM, AND I HAVE REVIEWED THE INFORMATION SUBMITTED BY THEM TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPROVEMENT FOR KNOWING VIOLATIONS.

ENGINEER: JON P. GREEN, P.E. AUGUST 15, 2017 DATE



REVISIONS:

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
08/04/16	EM	PER CITY COMMENTS			

DRAWN BY: AJ
CHECKED BY: AK
APPROVED BY: JC

ENGINEERING RESOURCE ASSOCIATES, INC. CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

38701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3660 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841 FAX (312) 474-6999

2416 GALEN DRIVE CLEARFARMS, ILL. 60183-6121
PHONE (217) 343-6268 FAX (217) 355-1902

GRANDVIEW CAPITAL, LLC 36W995 RED GATE ROAD ST. CHARLES, IL

STORMWATER POLLUTION PREVENTION PLAN PARKSIDE RESERVES ST. CHARLES, IL
SCALE: NONE DATE: DECEMBER, 2015 JOB NO: 130209
SHEET 5 of 9

B. Materials:

- 1) Drop Connections:** Drop connections shall be constructed of Ductile Iron Pipe, Class 52 or PVC SDR 26, per manufacturers specifications. All drop manhole piping shall be encased in concrete (refer to standard drop manhole detail).
- 2) Frame & Lid:** Frame: *Norwalk R-171J or R-1918C in Floodplain*
Lid: *Norwalk R-171J or R-1918C Type "B" with the words "City of St. Charles - SANITARY" cast into top.*
- 3) Joints:** All joints shall conform to ASTM D-3212 for PVC pipe and ASTM A.746 for ductile iron. Both pipe types shall be joined by means of a flexible gasket. Gaskets for PVC joints shall be in conformance with ASTM A.21.11-79 (AWWA C111).
- 4) Manhole:** New sanitary manholes are to be precast reinforced concrete eccentric type with a minimum 48" I.D. barrel section. Concrete sections shall have a 3 inch integrally cast precast concrete collar. Pipe penetrations are to be sealed via the use of a cast in place flexible synthetic rubber pipe sleeve which is to be fastened to the pipe with two stainless steel bands. Barrel sections shall be sealed using (2) hand rubber strips per tongue and groove section. Chimney seals are to be internal type, manufactured by "Crests" or approved equal by Public Works. All new or adjusted steps shall be made of steel reinforced plastic, using an approved plastic meeting ASTM D4101, Type II, Grade 49108 over a #3 Grade 6K, ASTM A615, reinforcing bar. A maximum of 8" of adjusting rings shall be used (refer to standard sanitary manhole detail).
- 5) Services:** Sanitary services shall be constructed for all buildable lots. Services shall be constructed of PVC SDR 26 pipe, six (6) inch minimum diameter, and shall be extended to the right-of-way limits. All connections to the public main shall be at a manhole or at a "tee" fitting approved by Public Works Division. Once installed all services extending to the City right-of-way limits shall be located within a 2' x 4' wooden stake painted red.
- 6) Sewer Pipe, Materials:** Sanitary sewer shall be constructed of the following materials:
 - Depth less than 20': PVC SDR 26 or Ductile Iron Pipe, Class 52
 - Depth greater than 20': Ductile Iron Pipe, Class 52 or PVC SDR 21
 - Force Main: Ductile Iron Pipe, Class 52 or PVC SDR 21
- 7) Throat Blocks (flow restr.):** Throat blocking shall be a combination pre-cast masonry blocks and "Meqa-jel" brand restrainers.
- 8) Trench Backfill:** All utility and service trenches within (3) feet of paved surfaces, or at a distance specified by the Engineer, shall be backfill with CA-7 (Virgin Crushed Limestone). PA 6 (lean beach sands material) shall be used in all other unpaved locations. All backfill material shall be properly compacted (unless otherwise directed by the appropriate Engineering Division. Backfill over existing pavements, where an open cut of the pavement has been approved, shall be Flowable Fill that meets the IDOT standards of Committed Low Strength Material (CLSM) Mixture "B". No fly ash will be permitted in this mix (refer to City pipe trench detail).

B. Materials:

- 1) Casing:** Where water main protection is required, encasement shall consist of PVC SDR 26, or steel casing with "Casade type CCR-STD" spacers or approved equal.
- 2) Frame & Gate:**
 - Curb Inlet/C.R.: High-buck: *Norwalk R-329V-A or R-327H-I*
Depressed: *Norwalk R-329K-A2*
C.R. "behind the curb type": *Norwalk R-1385*
Norwalk R-171J (Refer to Lid Detail)
Norwalk R-171J
C.R./M.H., Type "D": Gate: *Norwalk R-171J (Refer to Lid Detail)*
Norwalk R-171J
Frame: *Norwalk R-4140-B*
C.R. "behind type")
- 3) Manhole:** Manholes shall be reinforced concrete with steps provided 18" in-center. All manholes shall have a minimum inside diameter which conforms to the following:
 - 18" storm sewer and smaller: four (4) foot inside diameter
 - 21" to 48" storm sewer: five (5) foot inside diameter
 - Larger than 48" storm sewer: special design required
- 4) Sewer Pipe, Materials:** Main line storm sewer shall be constructed of one of the following:
 - a. Pre-cast reinforced concrete pipe, with "D-ring" joints.
 - b. PVC pipe, rigid, (Min. SDR 26, push-on gasket joints).
 - c. All joints shall conform to ANSI 21.11 for ductile iron pipe.
 - d. Ductile iron pipe, (Class 52, minimum).
 - e. HDPE pipe, (Rigid with corrugated exterior and smooth interior meeting AASHTO M-294, Type S. Pipe sections shall be joined with PVC double bell couplers installed on the pipe with O-ring gaskets. Ex-filtration standards shall meet or exceed that of PVC SDR 26 with push-on joints. **FOR PRIVATE USE ONLY. NOT TO BE USED WITHIN PUBLIC RIGHT-OF-WAY OR FOR PUBLIC OWNED AND MAINTAINED STORM SEWER.**
 - f. The type of pipe material to be used depends upon the depth of bury, soil conditions, and pipe criteria, and as approved by the City of St. Charles.
 - g. For RCP/CSP pipe, lifting holes shall not be allowed on pipes less than 84" in diameter.
 - h. All storm sewer smaller than 18-inches in diameter that will be publicly owned and maintained shall be PVC pipe, rigid, (Min. SDR 26, push-on gasket joints).
- 5) Flared End Section:** Flared end sections and subsequent wrap material shall be designed and specified per the Illinois Department of Transportation "Standard Specification for Road and Bridge Concrete (not latest edition). Flared end sections shall be constructed of a concrete material only or approved by the appropriate Engineering Division.

C. Materials:

- 1) Compression Steels:**
 - a. Compression fittings:
 - Mueller B-3008L-N (1", 1 1/2", 2")
 - Fluid:
 - FH000-4-Q-NL, 1"
 - FH000-6-Q-NL, 1 1/2"
 - FB 1000-7-Q-NL, 2"
 - A. Y. McDonall 4701-BQ (1", 1 1/2", 2")
 - Q Series Brass
- 2) Cast Steels:**
 - a. Compression fittings:
 - Mueller B-20155-N (1", 1 1/2", 2")
 - Fluid:
 - B-44-444-Q-NL, 1"
 - B44-666-Q-NL, 1 1/2"
 - B-44-777-Q-NL, 2"
 - A. Y. McDonall 6104-Q (1", 1 1/2", 2")
 - Q Series Brass
- 3) Cast Iron:** (Municipality pattern, lid marked "WATER")
- 4) Uphoils Type:**
 - a. Fire 1" thru 2", Mueller H-10300 Copper service
 - b. A. Y. McDonall, 5615 1 1/2"
- 5) Fire Hydrant:**
 - a. Approved Models: (Refer to standard Fire Hydrant Detail)
 - Mueller Sager Centurion 200
 - Watson Pacer Model WB-67-250
 - Clow Modulation
 - All hydrants shall have:
 1. 6" mechanical joint connection
 2. 3" water opening
 3. 2" cover over hydrant lateral
 4. 6" valve on lateral
 5. "Hydrafinder" standard hydrant locator, installed
 6. Valve box shall have a valve box stabilizer installed.
 - Valve box adaptor #2 type A, as made by Adgson, Inc. or approved equal.
- 6) Fire Hydrant Paint:** Safety Red, Sherwin Williams "Shercryl" 6493-3122, R666300
- 7) Bolts/Paved Underlayment:** All below grade factory installed bolts and fasteners shall be 304-grade stainless steel.
- 8) Valves:** 4" through 16" diameter Right-hand closing Resilient Wedge gate valves, conforming to AWWA Standard C-509 as manufactured by the Clow Corporation, Waterson Company or approved equal. All below grade factory installed bolts and fasteners shall be 304-grade stainless steel.
- 9) Valve Vaults:** Watertight valve vaults shall be provided for each valve. Barrel sections shall be sealed with a hand rubber or rubber strip (Refer to City standard valve vault detail).
 - a. 3" through 6" valves..... Min. 4" inside diameter vault minimum
 - b. 8" and larger valves..... Min. 5" inside diameter vault minimum
 - c. Pressure Taps..... Min. 3" inside diameter vault minimum
 - d. Valve Vault Lid..... Norwalk R-171J, Type B or approved equal
 - e. The word "WATER" shall be cast into the surface of the lid.
 - f. Vaults are not required for system auxiliary valves except when a pressure tap for a hydrant lateral is in a roadway.
- 10) Watermain Pipes:**
 - a. Ductile Iron Class 52, conforming to AWWA Standard C-111.
 - Cement Lining, conforming to AWWA Standard C-104.
 - Mechanical or push-on joints shall conform to AWWA Standard C-111.
 - At minimum, Type 3 lining conditions shall be provided, conforming to AWWA Standard C-600 (Attached).
 - b. All watermain shall be encased in a High Density polyethylene encasement with its material specifications and installation method in accordance with ANSLAWA C105A21.5, ASTM A674, using "Method A" installation.

A. Design Requirements:

- 1) Generally:** Street Systems shall be designed to meet the requirements of the applicable jurisdiction (e.g., City, IDOT, KDOT, DCDOT, and ST Charles Townships. Any proposed street deviation shall be in accordance with the following standards.
- 2) Right-of-Way and Pavement Requirements:**

Street Designation	Minimum R.O.W. Width	Minimum Street Width	Minimum Structural Number	Minimum Horizontal Curve/Line Ratio	Minimum Target	
Residential	Route	66.0'	30.0'	3.00	200.0'	50.0'
	Local	60.0'	33.0'	2.80	200.0'	50.0'
	Collector	80.0'	30.0'	3.05	300.0'	100.0'
Industrial	Route	100.0'	32.0'	See Note 1	500.0'	200.0'
	Local	66.0'	30.0'	3.00	200.0'	50.0'
	Collector	80.0'	44.0'	See Note 1	500.0'	100.0'
Route	100.0'	32.0'	See Note 1	500.0'	200.0'	

Note 1: Heavily traveled streets in unincorporated areas shall be constructed on an individual basis and pavement design shall be based on specific engineering data for each street

Street Designation	Minimum Gradient	Maximum Gradient	Minimum Soil Support (L.B.R.C.)	Maximum A.D.T.
Residential	Route	0.5%	5.00	400
	Local	0.5%	5.00	1,000
	Collector	0.5%	5.00	1,500
Industrial	Route	0.5%	5.00	10,000
	Local	0.5%	5.00	1,000
	Collector	0.5%	5.00	1,500
Route	0.5%	5.00	10,000	

- 3) Pavement Lengths:**
 - a. Maximum residential curb length shall be per title 16.06.030.
 - b. Civil-to-curb shall have a maximum length of as defined in Title 12.30.050(B)(4)
- 4) Pavements:** Pavements shall be designed and constructed as to obtain a minimum twenty (20) year service life with minimal maintenance after acceptance of the pavement by the City of St. Charles. The design engineer should consider such factors as construction and end use traffic loading sub-base IIR, etc., in determining the structural make up of the pavement section.
 - a. **Pavement Materials and Minimum thickness:** The following two pavement sections are the MINIMUM acceptable to the City. Their use must be supported by calculations to substantiate the use of the minimum pavement section.
 - Rigid Pavement**
 - A minimum of 9" Portland Cement concrete pavement (PCC) designed in accordance with IDOT standards. All Portland Cement Concrete shall be treated with a protective coat application.
 - Concrete pavements shall be designed in accordance with IDOT standards.
 - Concrete pavement shall have a minimum 4-inch of sub-base granular material, Type B. Milled asphalt meeting aggregate sub-grade specifications cannot be used for sub-base granular material, Type B.
 - Portland Cement Concrete shall have minimum 14-day compressive strength of 5500 psi.
 - In cases where an additional cross section may be needed for the sub-grade, the use of 9" of aggregate material meeting aggregate sub-grade gradation (i.e. crushed concrete) and a 3" milled asphalt cap may be used. Milled asphalt or the blending of asphalt millings with crushed concrete or other crushed aggregate material is not allowed for use in either the sub-grade or sub-base material.
 - Flexible Base Pavement**
 - Flexible base pavements shall have minimum of four inch (4") Sub-base Granular Material, Type B. Milled asphalt meeting Aggregate Sub-grade specifications cannot be used for Sub-base granular Material Type B.
 - Hot-Mix Asphalt Base Course, 6"
 - Hot-Mix Asphalt Binder Course, 1.5-19.0, NSD, 2.5"
 - Hot-Mix Asphalt Surface Course, Min 5", 7890, 1.5"
 - In cases where an additional cross section may be needed for the sub-grade, the use of 9" of Aggregate Material meeting Aggregate Sub-grade gradation 9 (i.e. crushed concrete) and a 3" milled asphalt cap may be used. Milled asphalt or the blending of asphalt millings with crushed concrete or other crushed aggregate material is not allowed for use in either the sub-grade or sub-base material.

Note: All pavement shall be to be laid by self-propelled mechanical spreader.

b. **Sub-grade:** All sub-grade material shall have a minimum Illinois Bearing Ratio (IBR) of 3.0. All unsuitable sub-grade material, including sub-grade material having an IBR

less than 3.0 shall be removed and replaced with a suitable fill material, or the pavement must be designed to compensate for the soil condition. The soil support IBR values selected for use by the engineer shall represent a minimum value for the soil to be used.

c. **Pavement Design Shall Include:** In addition to the information provided in the right-of-way and pavement requirements, pavement design shall include the following:

- i. Public Alleys shall be constructed of reinforced Portland Cement Concrete (PCC) designed in accordance to specifications listed above for rigid pavements.
- ii. Maximum allowable pavement grade = 7% and minimum allowable pavement grade = 0.5%.
- iii. Driveway grades shall have a minimum slope of 1% and a maximum slope of 8%. All driveway grades in excess of 5% shall substantiate that vehicular bottom clearances are met.
- iv. Vertical curves shall be used when the absolute value of the algebraic difference between the intersecting pavements' verticalities exceed 1.25%. The minimum length of vertical curves shall be one hundred (100) feet for one and one half (1.5) percent absolute value of the algebraic difference of grade. For each additional (10) percent, or fraction thereof, of absolute value of the algebraic difference in grade over one and one-half (1.5) percent, a fifty-foot increment, or fraction thereof, shall be added to the length of the vertical curve.
- v. The minimum intersection curb radius:
 1. Minor street: 25'
 2. Minor and collector street: 30'
 3. Two collector streets: 40'
 4. Truck routes or commercial manufacturing: 45'
- vi. Curb and gutter shall be a B-6.12 barrier type unless otherwise directed by the City of St. Charles appropriate Engineering Division. Curbs shall be constructed of 6.1 bag mix Portland Cement Concrete, 3.8% air entrained, (PCC) with (2) continuous epoxy coated, 44 rebar. A 1" expansion joints shall be placed at 66' intervals, and contraction joints shall be at 15' intervals and all points of curvatures. All E-ben, sanitary services and storm service locations shall be marked on the curb with a "W", "S" or "ST", as the case may be. All Portland Cement Concrete shall be treated with a protective coat application.
- vii. 26-foot wide bituminous pavement shall have a 4" crown as measured from the flag of the curb. 26-foot wide concrete pavement shall have a 4" crown as measured from the flow line of the gutter.
- viii. Pavement Patches

Note: All pavement patches shall be replaced in kind with the following revisions:

- 1. Flexible Pavement**
 - Patches shall have a minimum of 6" Hot-Mix Asphalt Base Course, placed over a 4" compacted sub-base of granular material, 2 1/2" of Hot-Mix Asphalt Binder Course, IL-19.0, NSD, and 1 1/2" of Hot-Mix Asphalt Surface Course, Min. 5", NSD, shall be laid subsequent to the Base Course. (See details for pavement patching).
- 2. Rigid Pavement**
 - Concrete pavements shall be replaced with a minimum of 14 day, 3500 psi, 9" of Portland Cement Concrete mix placed over a 4" compacted granular sub-base. The existing pavement shall have 40 epoxy-coated dowel bars, 2" in length, drilled at 24" on-center, grouted in place. All Portland Cement Concrete shall be treated with a protective coat application. (See details for pavement patching). PCC shall be a 6.1 bag mix, 5.8% air entrained.
 - 3. Composite Pavement**
 - For pavements with a concrete base and asphalt surface, the concrete shall be placed at the same thickness as the existing pavement, but shall be a minimum of 4" thick. 40 Epoxy-coated dowel bars, 2" in length, shall be placed at 24" on-center, grouted in place.
 - There shall be a minimum of 2 1/2" surface asphalt placed over the concrete. Steel plates shall be placed over all Portland Cement Concrete patches until concrete is cured or a minimum of 3 days. (See details for pavement patching).
 - ix. Storm inlets and catch basins placed within the roadway surface shall be designed to incorporate an urban storm system of perforated 4" pipe in accordance with the attached detail.

5) Sidewalks:

- a. PAV Sidewalks are to be constructed of a minimum of five (5) inch thick by five (5) foot wide, 6.1 bag mix Portland Cement Concrete (PCC) with (1.8%) air entrainment. All Portland Cement Concrete shall be treated with a protective coat application.
- b. Pav is walks that cross driveways are to be thickened to a minimum of 10 inches or the thickness of the driveway.
- c. Sidewalks shall be constructed of one (1) foot off the street R.O.W. line unless otherwise directed by the appropriate Engineering Division.
- d. Sidewalks shall be continuous through driveways.
- e. All utility service locations shall be marked on the curb with a "W", "S" and "ST".
- f. A 1" expansion joint shall be provided at 50' intervals, and contraction joints shall be at 5-foot intervals.
- g. Ramping and sloping of sidewalks at intersections shall be in accordance with the specifications and standards as set forth by the Illinois Department of Transportation, the American Disabilities Act (ADA), and the Illinois Disability Code.

Note: All concrete shall be treated with a protective coat application of linseed oil or curing compound equivalent for temperatures over 40 degrees.

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
09/04/16	CH	PER CITY DOWNPICK			



ENGINEERING RESOURCE ASSOCIATES, INC. CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS.
 35701 WEST AVENUE, SUITE 150 WARRIVILLE, ILLINOIS 60555 PHONE (630) 393-3660 FAX (630) 393-2152
 10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6699
 2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-0268 FAX (217) 355-1902

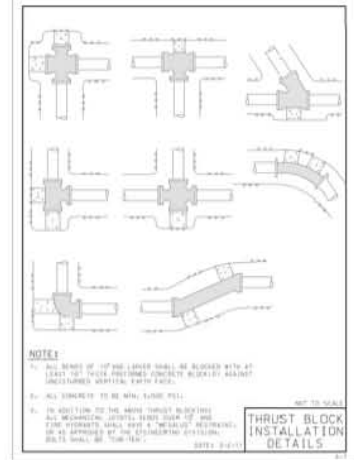
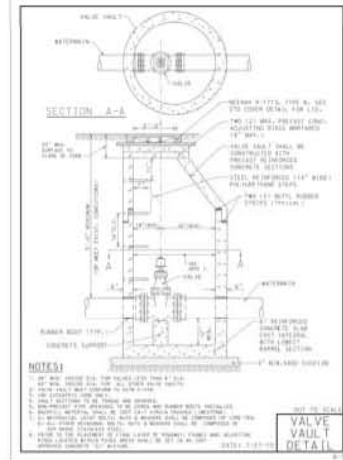
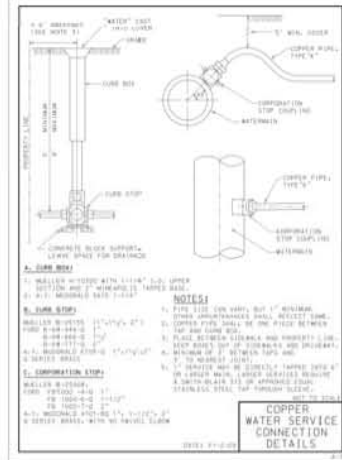
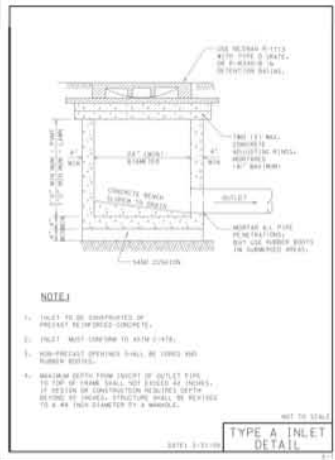
GRANDVIEW CAPITAL, LLC
 367995 RED GATE ROAD ST. CHARLES, IL

TITLE

GENERAL NOTES
 PARKSIDE RESERVES
 ST. CHARLES, IL

ISSUED FOR	DATE
ISSUED FOR	11/08/2017
DATE	11/08/2017

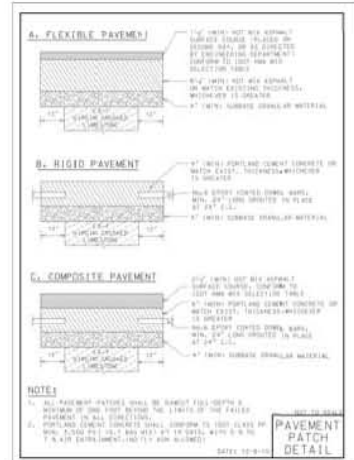
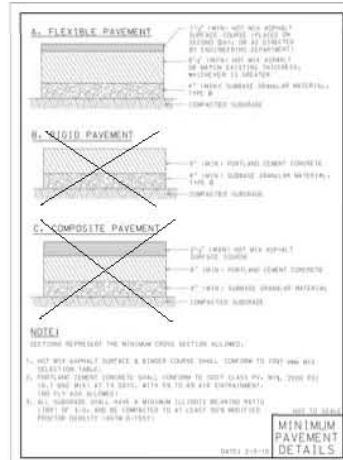
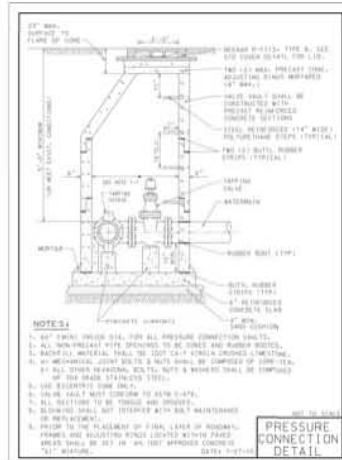
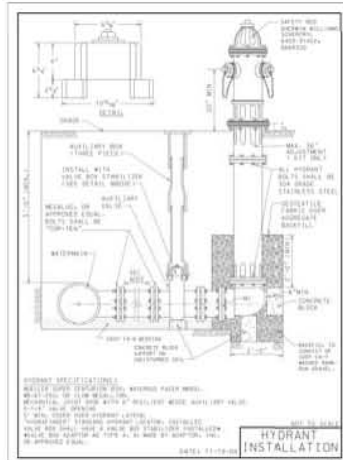
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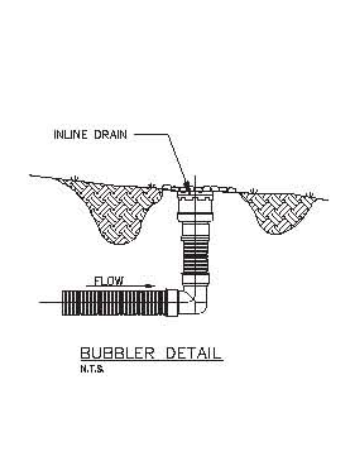
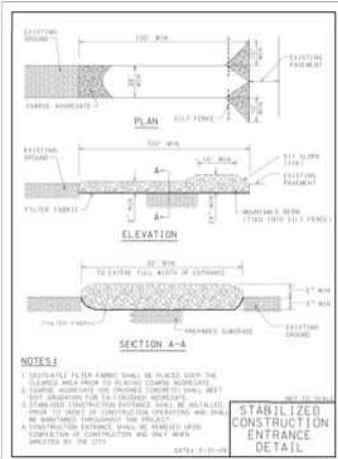
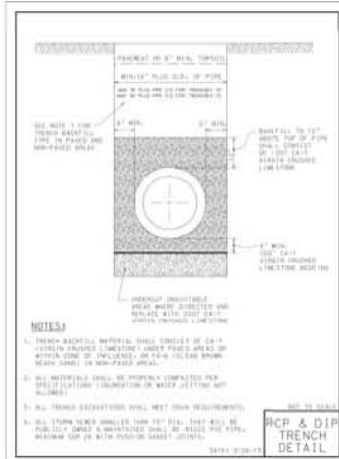
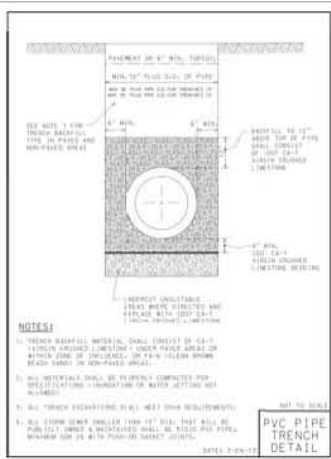
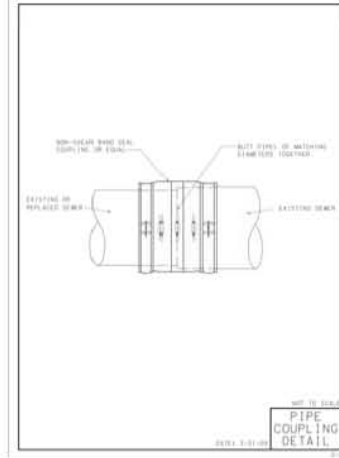
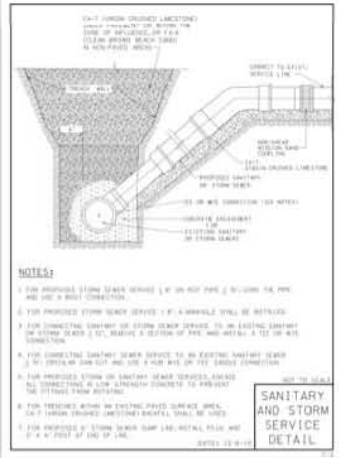
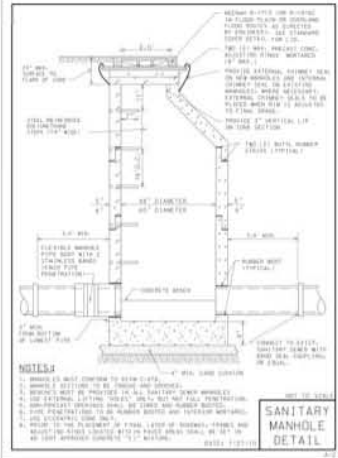
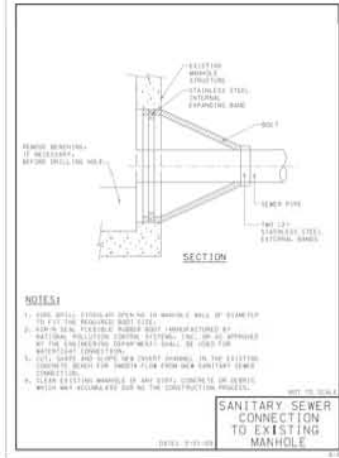
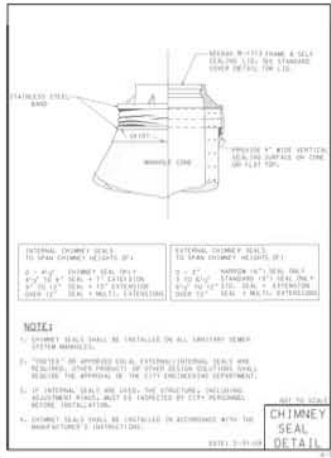


Minimum Restraint Lengths (In feet) back from both sides of fitting

Fitting Nomenclature size	4"	6"	8"	10"	12"	16"
45 Degree Bend	13	26	33	36	41	53
60 Degree Bend	7	10	13	16	18	23
75 Degree Bend	4	5	6	6	8	10
90 Degree Bend	2	2	2	2	2	2
Standard Tee	30	30	30	30	30	30
Two 45 deg Tee (Branch at 45 Degree)	30	30	30	30	30	30
Section 3 Tee (Branch at 45 Degree)	3	3	3	3	3	3
Two Run & Branch 45	27	27	27	27	27	27
Two Run & Branch 60	27	27	27	27	27	27
Two Run & Branch 75	17	17	17	17	17	17
Two Run & Branch 90	17	17	17	17	17	17
Three Run & Branch 45	17	17	17	17	17	17
Three Run & Branch 60	17	17	17	17	17	17
Three Run & Branch 75	17	17	17	17	17	17
Three Run & Branch 90	17	17	17	17	17	17
Reducer 45	27	27	27	27	27	27
Reducer 60	27	27	27	27	27	27
Reducer 75	17	17	17	17	17	17
Reducer 90	17	17	17	17	17	17
Reducer 45	17	17	17	17	17	17
Reducer 60	17	17	17	17	17	17
Reducer 75	17	17	17	17	17	17
Reducer 90	17	17	17	17	17	17

WATER MAIN RESTRAINT





NO.	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
1	08/04/18	JK	FOR CITY COMMENTS			

REVISIONS	DATE	BY	DESCRIPTION
1	08/04/18	JK	FOR CITY COMMENTS

NO.	DATE	BY	DESCRIPTION
1	08/04/18	JK	FOR CITY COMMENTS

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35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3660
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6999

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

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DETAILS
PARKSIDE RESERVES
ST. CHARLES, IL

SCALE	NOTE
AS SHOWN	



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 architecture planning design
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 St. Charles, Illinois 60174
 630-797-2200 fax: 866-648-3980
 www.chicagolandarchitect.com

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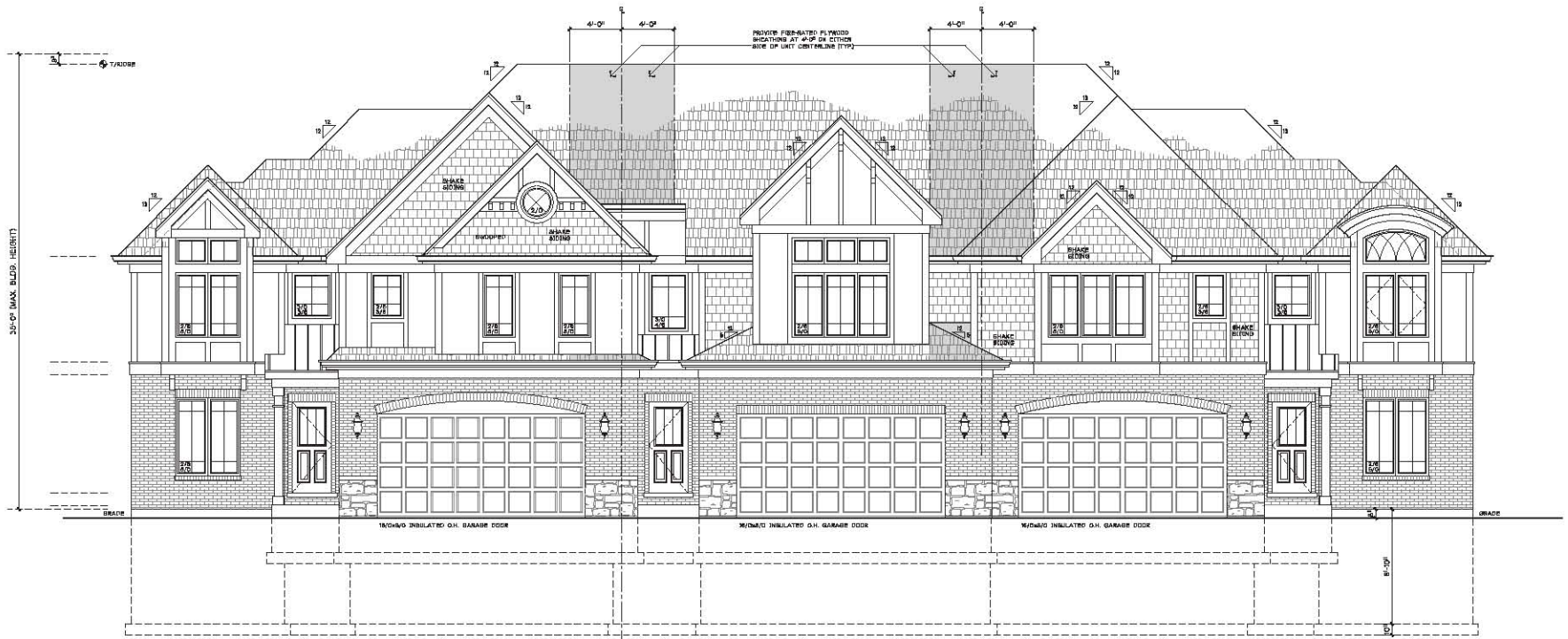
CLIENT:
Townhomes
1337 Geneva Rd.
St. Charles, Illinois

PROJECT NO:
15-081

DATE:
 9-8-15 REVIEW
 9-29-15 REVIEW
 10-15-15 REVIEW
 2-22-16 REVIEW

SHEET NO:

A1



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



kiarama architects, ltd.
 architecture planning design
 100 Illinois, suite 200-2007
 st. charles, illinois 60174
 630-797-2200 fax: 866-648-3980
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St. Charles, Illinois

PROJECT NO:
15-081

DATE:
 9-8-15 REVIEW
 9-29-15 REVIEW
 10-15-15 REVIEW
 2-22-16 REVIEW

SHEET NO:

A2



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



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St. Charles, Illinois

PROJECT NO:
15-081

DATE:

9-8-15	REVIEW
9-29-15	REVIEW
10-15-15	REVIEW
2-22-16	REVIEW

SHEET NO:

A3



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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Architecture Planning Design
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St. Charles, Illinois 60174
630-797-2200 fax: 866-648-3980
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St. Charles, Illinois

PROJECT NO:
15-081

DATE:
9-8-15 REVIEW
9-29-15 REVIEW
10-15-15 REVIEW
2-22-16 REVIEW

SHEET NO:

A4



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3b

Title:	Plan Commission recommendation to approve an Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Culver’s, Zylstra First Resubdivision Lot 2 (Zylstra PUD)
Presenter:	Ellen Johnson

Meeting: Planning & Development Committee

Date: October 9, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

The subject property constitutes Lots 1 and 2 in the Zylstra PUD, located on Randall Rd. directly north of Discount Tire. The Zylstra PUD encompasses a total of 35 acres on the west side of S. Randall Rd. between W. Main St. and Oak St. The PUD was under Ordinance 2005-Z-11, “An Ordinance Amending Ordinance 1990-Z-2 and Granting an Amended Special Use as a Planned Unit Development in the B-3 Service Business District (Zylstra PUD)”.

Culver’s St. Charles – Randall is proposing to re-subdivide Lots 1 and 2 in the Zylstra Center First Re-Subdivision by shifting the common lot line between the lots to the south approximately 16 ft., making proposed Lot 2 about 3,800 sf smaller than the existing lot.

Also proposed are plans to develop proposed Lot 2 with a Culver’s drive-thru restaurant. Details of the proposal are as follows:

- Construction of a one-story, 4,080 sf building fronting on S. Randall Rd.
- Site access from two driveways off the shared access road along the west side of the lot.
- Drive-thru lane beginning at the southeast corner of the building, wrapping around the front and north side.
- A total of 47 parking stalls.

The following applications have been submitted to facilitate this project:

1. Minor Subdivision – Final Plat – To change the dimensions of the two subject lots.
2. Special Use (PUD Amendment) – To amend the PUD ordinance regarding parking lot setbacks and to permit a zoning deviation related to drive-through facility layout for the Culver’s.
3. PUD Preliminary Plan – To approve the physical development of the Culver’s lot.

Plan Commission Review

Plan Commission held a public hearing on 10/3/17 and recommended approval upon resolution of all outstanding staff comments prior to City Council action, by a vote of 8-0.

Attachments *(please list):*

Plan Commission Resolution, Staff Report, Applications, Final Plat, Plans, Excerpts from Ordinance 2005-Z-11

Recommendation/Suggested Action *(briefly explain):*

Plan Commission recommendation to approve an Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Culver’s, Zylstra First Resubdivision Lot 2 (Zylstra PUD)

City of St. Charles, Illinois
Plan Commission Resolution No. 16-2017

A Resolution Recommending Approval of a Special Use to amend Ordinance 2005-Z-11 (Zylstra PUD), PUD Preliminary Plan and Final Plat of Subdivision for Culver's, Zylstra First Resubdivision Lot 2 (Culver's of St. Charles- Randall)

Passed by Plan Commission on October 3, 2017

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use, PUD Preliminary Plan and Final Plat of Subdivision; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use to amend Ordinance 2005-Z-11 (Zylstra PUD), PUD Preliminary Plan and Final Plat of Subdivision for Culvers, Zylstra First Resubdivision Lot 2 (Culver's of St. Charles- Randall) and;

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**

7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed PUD Amendment advances purpose statement #1 in that it will allow development of a Culver's that will complement the neighborhood and larger community with a family friendly dining experience to complement the nearby retail, commercial and residential development. The construction both complements the neighboring businesses and structures as well as the coordination of the access for pedestrians and vehicles.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The proposed Culver's will complement the balance of the PUD with a family friendly quick serve restaurant that makes the most of the infrastructure already approved and in place. It will be constructed of the highest quality and will utilize many of the energy efficiencies available on the market today including lower exhaust rates, higher IIVAC ratings, and less electrical use through LED fixtures.

The first proposed deviation is to modify the 10' setback from interior lot lines to 2' to 3'. The deviation is justified based on factor #1, above. The Culver's footprint requires a patio and green space around the building which has used an excessive portion of the site. The patio and green space provide community amenities beyond those required by the ordinance.

The second proposed deviation is a departure from the requirement of vehicle stacking to be concealed from public streets by orienting the drive-through to the side or rear of the building, away from the public street. The deviation is justified based on factor #4, above. Culver's is proposing a high quality architectural design and restaurant layout in order to enhance the dining experience for their customers. The proposed site layout and drive-through location is most efficient from a site circulation standpoint as the queue does not block the entrance off of the existing access road.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Culvers will complement the balance at the PUD by offering a quick serve food option to the public while they utilize the rest of the PUD.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The infrastructure is more than adequate for the new Culver's.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The special use for Culver's will serve to only complement and be an asset to the neighborhood.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The special use for Culver's will not impede the normal or orderly development and improvement of the surrounding area. It will be an asset.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Culver's is a family friendly restaurant intending to be a good citizen of the community.

F. Conformance with Codes: That the proposed Special Use conforms to all existing federal, state and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The design and development is intended to meet all codes except as requested for the special use.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

Culver's will provide a very large asset to the tax base and economic well-being of the community.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive plan.

The proposed Culver's meets the intent of the Comprehensive Plan's designated land use for the property, which is Corridor/Regional Commercial.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of Special Use to amend Ordinance 2005-Z-11 (Zylstra PUD), PUD Preliminary Plan and Final Plat of Subdivision for Culver's, Zylstra First Resubdivision Lot 2 (Culver's of St. Charles- Randall), upon resolution of outstanding staff comments.

Roll Call Vote:

Ayes: Pretz, Purdy, Kessler, Wallace, Holderfield, Funke, Pietryla, Vargulich

Nays: None

Absent: Schuetz

Motion carried: 8-0

PASSED, this 3rd day of October 2017.

Chairman
St. Charles Plan Commission

Community and Economic Development
 Planning Division

Phone: (630) 377-4443
 Fax: (630) 377-4062



Staff Report

TO: Chairman Ed Bessner
 And the Members of the Planning & Development Committee

FROM: Ellen Johnson, Planner

RE: Culver's – Lot 2 of Zylstra Center First Resubdivision

DATE: October 4, 2017

I. APPLICATION INFORMATION:

Project Name: Culver's – Lot 2 of Zylstra Center First Resubdivision

Applicant: Culver's of St. Charles – Randall

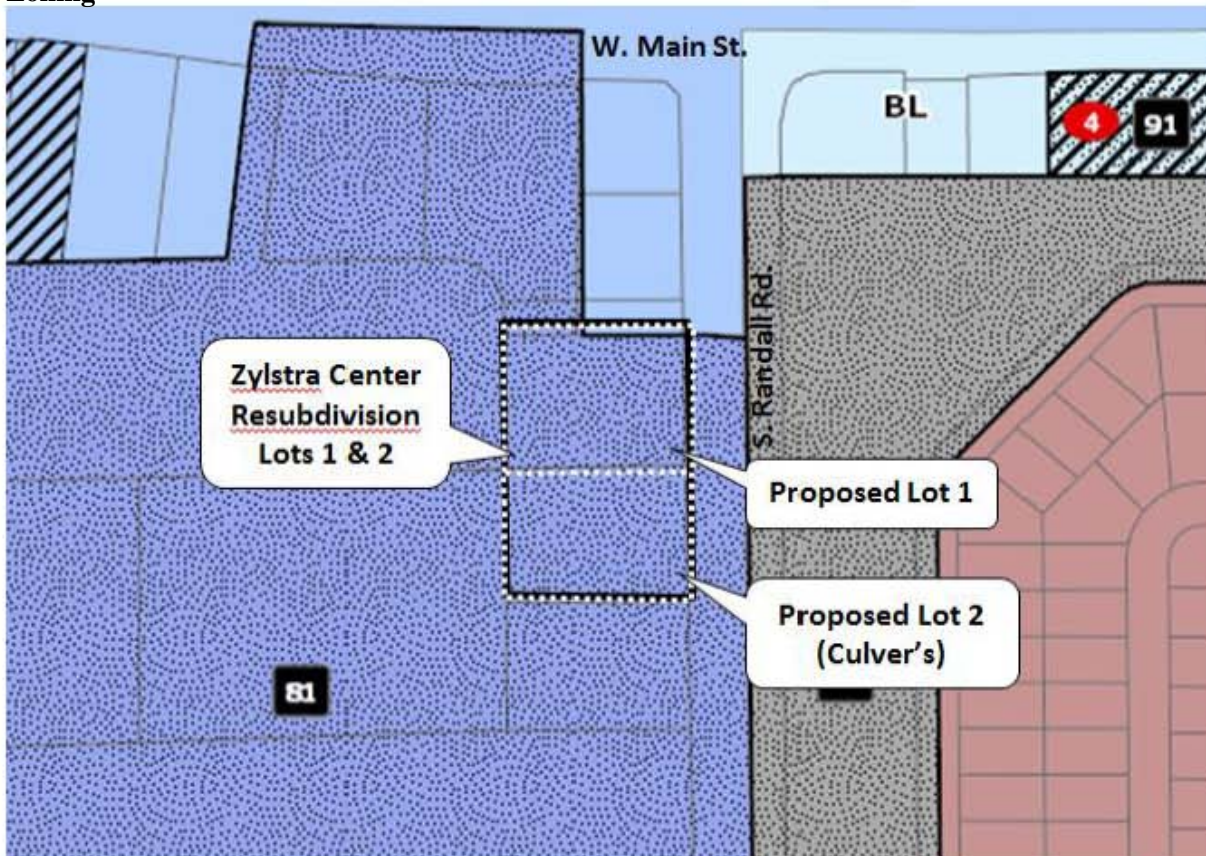
Purpose: Resubdivide property and construct a Culver's Drive-Through on proposed Lot 2

General Information:		
Site Information		
Location	West side of S. Randall Rd. between W. Main St. and Oak St., north of Discount Tire	
Acres	2.03 acres total; Culver's lot = 0.94 acre	
Applications	Special Use (PUD Amendment) PUD Preliminary Plan Final Plat of Subdivision	
Applicable Zoning Code Sections and PUD Ordinance	Ch. 17.14 Business and Mixed Use Districts Ch. 17.24 Off-Street Parking, Loading & Access Ch. 17.26 Landscaping and Screening Title 16 Subdivisions and Land Improvement Ordinance 2005-Z-11 "An Ordinance Amending Ordinance 1990-Z-2 and Granting an Amended Special Use as a Planned Unit Development in the B-3 Service Business District (Zylstra PUD)"	
Existing Conditions		
Land Use	Vacant	
Zoning	BR- Regional Business (PUD)	
Zoning Summary		
North	BR- Regional Business (PUD)	Vacant
East	RM-3 General Residential (PUD)	Fox Run Apartments
South	BR- Regional Business (PUD)	Discount Tire
West	BR- Regional Business (PUD)	Fox River Harley-Davidson
Comprehensive Plan Designation		
Corridor/Regional Commercial		

Aerial



Zoning



II. BACKGROUND

A. PROPERTY HISTORY

The subject property constitutes Lots 1 and 2 in the Zylstra PUD. The Zylstra PUD encompasses a total of 35 acres on the west side of S. Randall Rd. between W. Main St. and Oak St. The PUD was approved by City Council in 2005 under Ordinance 2005-Z-11, “An Ordinance Amending Ordinance 1990-Z-2 and Granting an Amended Special Use as a Planned Unit Development in the B-3 Service Business District (Zylstra PUD)”. The PUD ordinance incorporates development standards for architectural design, landscaping, bulk requirements, and signage.

Ordinance 2005-Z-11 also approved a PUD Preliminary for Zylstra Center, showing the intended layout of the lots, stormwater detention, utilities, and landscaping along the public streets and internal access drives, along with development plans for Fox River Harley-Davidson on Lot 7. The Final Plat of Subdivision for Zylstra Center was also approved in 2005, subdividing the property into 10 lots.

Per the PUD ordinance, a PUD Preliminary Plan for development of the remaining lots within Zylstra must be approved by the City. PUD Preliminary Plans have been approved for Costco, Firestone, and Discount Tire. In 2013, the City approved the Final Plat of Zylstra Center First Re-Subdivision, which re-subdivided Lots 3 and 4 into three lots, one of which now contains Discount Tire (Lot 3).

Lots 1 and 2 of the Zylstra Center First Re-Subdivision, located along Randall Rd. north of Discount Tire, remain available for development, as are Lots 1 and 9 of the original Zylstra Center subdivision. Lot 1 is west of Firestone with frontage on W. Main St. and Lot 9 is behind Harley-Davidson.

B. PROPOSAL

Culver’s St. Charles – Randall is proposing to re-subdivide Lots 1 and 2 in the Zylstra Center First Re-Subdivision as follows:

- Proposed Lot 1 (1.09 acres) for future development.
- Proposed Lot 2 (0.94 acres) for development of a Culver’s restaurant.

The re-subdivision is being proposed to shift the common lot line between the lots to the south approximately 16 ft., making Lot 2 about 3,800 sf smaller than the existing lot.

Also proposed are plans to develop proposed Lot 2 with a Culver’s drive-thru restaurant. Details of the proposal are as follows:

- Construction of a one-story, 4,080 sf building fronting on S. Randall Rd.
- Site access from two driveways off the shared access road along the west side of the lot.
- Drive-thru lane beginning at the southeast corner of the building, wrapping around the front and north side.
- A total of 47 parking stalls.

The following applications have been submitted to facilitate this project:

1. **Minor Subdivision – Final Plat** – To change the dimensions of the two subject lots.

2. **Special Use (PUD Amendment)** – To amend the PUD ordinance regarding parking lot setbacks for the Culver’s and to permit a zoning deviation related to drive-through facility layout.
3. **PUD Preliminary Plan** – To approve the physical development of the property in order to ensure compliance with the PUD ordinance and applicable provisions of the Zoning Ordinance

III. ANALYSIS

Staff has performed an analysis of the submitted PUD Preliminary Plan and Final Plat of Subdivision to identify any deficiencies with the proposal as it relates to the standards established in the Zylstra PUD Ordinance, the Zoning Ordinance, Title 17 of the City Code, and the Subdivision Ordinance, Title 16 of the City Code.

A. PROPOSED USE

A Culver’s restaurant with a drive-through is proposed for proposed Lot 2. Restaurants and drive-through facilities in conjunction with restaurants are permitted uses in the Zylstra PUD. Special Use approval is not required for the drive-through.

B. ZONING BULK STANDARDS

The table below compares the PUD Preliminary Plan submitted for development of proposed Lot 2 (Culver’s) with the applicable requirements of the Zylstra PUD and the underlying BR zoning district. Deviations that are required to accommodate the site plan as proposed are denoted in ***bold italics*** (see discussion below the table).

A PUD Preliminary Plan for proposed Lot 1 will need to be submitted for review and approval when a development is proposed.

Category	Zoning Ordinance Or PUD Standard	Proposed
Min. Lot Area	None	0.94 acre
Lot Width	None	173 ft.
Building Coverage	30%	10%
Building Height	46 ft.	23 ft.
Building Setbacks:		
<i>Front (Randall Rd.)</i>	40 ft.	65 ft.
<i>Interior side (north)</i>	20 ft.	46 ft.
<i>Interior side (south)</i>	20 ft.	72 ft.
<i>Interior rear (west)</i>	20 ft.	81 ft.
Parking Setbacks:		
<i>Front (Randall Rd.)</i>	25 ft.	25 ft.
<i>Interior side (north)</i>	10 ft.	<i>3 ft.</i>
<i>Interior side (south)</i>	10 ft.	<i>2.5 ft.</i>
<i>Interior rear (west)</i>	10 ft.	<i>2.5 ft.</i>
Parking Requirement	10 spaces per 1,000 sf @ 4,080 sf = 41 spaces	47 spaces
Parking Stall Size	9’ x 18’ OR 9’x16’ w/ 2 ft. bumper overhang	9’ x 18’
Drive-Aisle Width	24’ (two-way) 12’ (one-way)	24’ (two-way) 12’ (one-way)

The Zylstra PUD requires a 10 ft. parking setback from all interior lot lines. Proposed is a 2.5-3 ft. setback from the north, south, and west lot lines. As part of the PUD Amendment, the applicant has requested to reduce the required parking setback from these lot lines, for the Culver’s lot only. (See the applicant’s response to Criteria for PUDs item ii. for the applicant’s explanation of this amendment.)

C. DRIVE-THROUGH FACILITY

A drive-through is proposed for the property. The drive-through lane begins near the southeast corner of the building and wraps around the front (east) to the pick-up window on the north side. The table below compares the plans with the requirements of Section 17.24.100 “Drive-Through Facilities”. Deviations that are required to accommodate the plan as proposed are denoted in ***bold italics*** (see discussion below the table).

Category	Zoning Ordinance Standard	Proposed
Screened from Public Street	Stacking spaces concealed from view from public streets to greatest extent possible by orientation, design or screening	<i>Stacking lane wraps around the front of the building, along Randall Rd.</i>
Obstruction of Required Parking	Stacking spaces cannot obstruct access to required parking spaces	Meets requirement
Obstruction of Ingress/Egress	Location of stacking spaces cannot obstruct ingress/egress to the site or interfere with vehicle circulation	Meets requirement
Lane Configuration	Stacking spaces must be placed in a single line up to point of service	Meets requirement
Required Stacking Spaces	15	<i>9</i> (+ 5 “order waiting” stalls)
Required Stacking Space Size	9’ x 20’	9’ x 20’

i. Drive-Through Configuration

The applicant has requested a deviation from Section 17.24.100.A.4 as part of the PUD Amendment. This section addresses the placement of vehicle stacking in relation to public streets; it states:

“Vehicle stacking and equipment associated with the Drive-Through shall be concealed from view from public streets and surrounding property to the greatest extent possible by their orientation, design, or by screening. This will often involve orienting the Drive-Through to the side or rear of the building, away from the public street.”

Although the drive-through service window is located at the side of the building, vehicle stacking as proposed runs around the front of the building. Landscaping along the Randall Rd. frontage will not entirely screen the stacked vehicles but it will somewhat soften the view. (See the applicant’s response to Criteria for PUDs item ii. for the applicant’s explanation of this deviation request.)

ii. Drive-Through Stacking Spaces

A total of fifteen (15) stacking spaces are required for a restaurant drive-through per Section 17.24.100. The applicant is proposing nine (9) stacking spaces. An additional

five (5) “waiting stalls” are shown on the site plan, however these stalls cannot count towards the stacking space requirement.

The Zoning Ordinance allows for a reduction in the required number of stacking spaces. Section 17.24.100.C states:

“The number of required stacking spaces may be reduced by the City Council, after receiving a recommendation from the Plan Commission, if the petitioner presents a study with quantifiable evidence based on comparable facilities that demonstrates that the number of stacking spaces may be reduced without affecting the ability of the proposed facility to meet the applicable requirements. The approval of a reduced number of stacking spaces shall apply only to the specific business for which the study was conducted.”

The applicant has submitted a letter dated 9/21/17 requesting a reduction in the vehicle stacking requirement. Stacking data from two other Culver’s restaurants in the region, Mt. Prospect and Rosemont, has also been submitted. The data shows the number of vehicles served every half-hour and the average serve time for each order (in seconds). The following is a summary of the data:

- About 35-50 vehicles are served in the peak hour of any given day.
- The average serve time in any given day is between 3-4 minutes.
- If a constant rate of customers were assumed, a total of about 4 spaces would be needed to serve 50 vehicles within an hour, with a 4 minute per car serve time.

D. LANDSCAPING

A landscape plan has been submitted as part of the PUD Preliminary Plan for proposed Lot 2 (Culver’s). The table below compares the submitted plan with the applicable requirements of the Zylstra PUD and Ch. 17.26 “Landscaping and Screening”. All standards are met.

Category	Zoning Ordinance Or PUD Standard	Proposed
Overall Landscape Area	10% *	23.5%
Public Street Frontage Landscaping	75%; 1 tree per 50 ft. (3 trees required)	78% 5 trees
Parking Lot Screening	50% of parking lot to height of 18-30” (applies to Randall Rd. frontage) *	61.7%
Interior Parking Lot Landscape Area	10%	10%
Parking Lot Trees	1 tree per 10 parking spaces (5 trees required) *	9 trees
Building Foundation Landscaping		
<i>Foundation Planting Beds</i>	25-75% of total wall length: 8 ft. wide planting beds within 60 ft. of façade *	44%
<i>Foundation Plantings</i>	20 shrubs/bushes/perennials per 50 ft. of building wall (107 plantings required)	147 shrubs/bushes/perennials
<i>Foundation Trees</i>	2 trees per 50 ft. of building wall (11 trees required)	11 trees
Monument Sign Landscaping	3 ft. around sign	3-6 ft. around three sides of sign
Refuse Dumpster Screening	Enclosed and screened on all sides when visible from public street	Meets requirement

**PUD ordinance standard.*

Staff Comments:

- While not required to meet landscaping requirements, staff suggests the parking stall at the northeast corner be converted to landscape area to improve site circulation and enlarge the green area along the Randall Rd. site frontage.

E. BUILDING ARCHITECTURE

Building elevations have been submitted for the proposed Culver’s. Exhibit VIII of the Zylstra PUD ordinance contains Architectural Guidelines for lots within the PUD. Staff has reviewed the submitted building elevations and has determined that the design meets the applicable Architectural Guidelines.

F. SIGNAGE

A total of four (4) wall signs and a monument sign are proposed. Exhibit V of the Zylstra PUD ordinance contains sign requirements for lots within the PUD. The wall signage conforms to the applicable requirements.

Staff Comments

- The maximum height of monument signs is 10 ft. above grade of the adjoining street curb. The proposed sign is 10 ft. in height; however it may need to be lowered depending on grade at the street curb and grade where the sign will be placed. This information should be provided at the time of application for sign permit.

G. LIGHTING

A photometric plan has been submitted. Staff has reviewed the plan for conformance with Exhibit IX of the Zylstra PUD ordinance.

Staff Comments:

- The photometric plan must be updated to include light fixtures to be mounted on the building.
- Pole height must also be indicated. Maximum pole height is 46 ft.

H. ENGINEERING REVIEW

Detailed engineering comments have been provided to the applicant. The comments are relatively minor and will not impact the site layout. The plans will need to be revised in response to all staff comments prior to City Council approval of the PUD Preliminary Plan.

Staff Comments:

- A sidewalk connection from the sidewalk along Randall Rd. into the site is needed, similar to the sidewalk connection provided on the Discount Tire lot.

I. FINAL PLAT OF SUBDIVISION

A Final Plat of Subdivision has been submitted. Proposed is re-subdivision of Lots 1 and 2 in the Zylstra Center First Re-Subdivision:

- Proposed Lot 1 (1.09 acres) for future development.
- Proposed Lot 2 (0.94 acres) for Culver’s.

The proposed Plat shifts the common lot line between the lots to the south by approximately 16 ft., making proposed Lot 2 about 3,800 sf smaller than the existing Lot 2.

Staff has provided the applicant with a number of relatively minor comments that must be addressed on a revised Plat prior to City Council approval. These comments do not impact the proposed layout of the lots.

IV. PLAN COMMISSION RECOMMENDATION

Plan Commission held a public hearing on 10/3/17 and recommended approval of the Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision, upon resolution of outstanding staff comments prior to City Council action, by a vote of 8-0.

V. ATTACHMENTS

- Application for Special Use for PUD; received 9/6/17
- Application for PUD Preliminary Plan; received 9/6/17
- Application for Minor Subdivision – Final Plat; received 9/15/17
- Final Plat of Subdivision
- PUD Preliminary Plans
- Excerpts from Ordinance 2005-Z-11

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	<u>Culver's - Zylstra Lot 2</u>
Project Number:	<u>2017</u> -PR- <u>014</u>
Application Number:	<u>2017</u> -AP- <u>032</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	Lot 2 of Zylstra Center First Re-subdivision	
	Parcel Number (s):	0932230012	
	Proposed Name:	Culver's of St. Charles - Randall	
2. Applicant Information:	Name	Culver's of St. Charles - Randall	Phone 847-322-2714
	Address	C/O Charles Martin 0N641 Herrick Drive Wheaton, IL 60187	Fax
			Email jimdiv@sbcglobal.net
3. Record Owner Information:	Name	Thomas C. Zylstra Farms LLC	Phone 630-457-1205
	Address	21 North 4th Street Geneva, IL 60134	Fax
			Email rwilliams@gwillplaw.com

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name:** _____
- New PUD
- Amendment to existing PUD- Ordinance #: 2005-Z-11
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** _____
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: Corridor/Regional Commercial

Is the property a designated Landmark or in a Historic District? NO

What is the property's current zoning? BR regional business and PUD

What is the property currently used for? Vacant

If the proposed Special Use is approved, what improvements or construction are planned?

Culver's restaurant with drive-thru will be constructed

For Special Use Amendments only:

Why is the proposed change necessary?

1. The Culver's footprint requires the patio and green space around the building which has used an excessive portion of the site. The requested deviation of setback effects approximately half of the north property line with the balance being in excess of the required 10' setback. The south side leaves 13' of green space to the backside of the tire store.

2. In order to maintain a safe entrance into the drive-through queue from the entrance off of the existing access road, ~~the drive-through should be oriented along the east side of the building. The currently proposed drive-through location is most efficient from a site circulation standpoint as the queue does not block the entrance off of the existing access road.~~

What are the proposed amendments? (Attach proposed language if necessary)

1. Modify the 10' parking setback on interior lot lines to 2' to 3'.

2. Deviation from the vehicle stacking to be concealed from public streets by orienting the drive-through to the side or rear of the building, away from the public street.

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

❑ APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

❑ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

❑ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

❑ PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

❑ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

❑ PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

❑ FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

❑ LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

❑ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

❑ **TRAFFIC STUDY:** If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

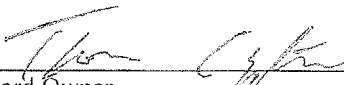
❑ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line


- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



Record Owner 9/14/17

Date



Applicant or Authorized Agent 9/14/17

Date

September 14, 2017

Richard L. Williams

City of St. Charles
Attn: Planning Department
2 E. Main Street
St. Charles, Illinois 60174

Direct: (630) 457-1205
rwilliams@gwllplaw.com

Re: Letter of Authorization – DM St. Charles, Inc.

Dear Planning Department:

Please be advised that this firm represents Thomas C. Zylstra Farms, LLC, Robert C. Zylstra Farms, LLC, and Randy K. Johns Farms, LLC (collectively “Owners”), owners of the property commonly known as Lot 1 and Lot 2 in Zylstra Center First Resubdivision (the “Property”). This letter shall confirm that DM St. Charles, Inc. is the contract purchaser of the above referenced Property pursuant to a Purchase and Sale Agreement dated June 24, 2017 (the “Contract”). Pursuant to the Contract, DM St. Charles, Inc. has authority to file a land use petition with the City of St. Charles (the “City”) seeking to obtain all governmental approvals from the City in order for DM St. Charles, Inc. to use the Property in accordance with its intended use. The governmental approvals shall include, but not be limited to: (1) amendment to the existing Planned Unit Development site plan and plan description; (2) a special use permit; and, (3) such other approvals as DM St. Charles, Inc. may request from the City.

The letter shall further confirm that there are no buildings on the Property and no electors reside thereon. This authorization shall continue in full force and effect until receipt by the City of a revocation signed by Owners, in writing.

Very truly yours,




Richard L. Williams

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Thomas C. Zylstra, being first duly sworn on oath depose and say that I am
Manager of Thomas C. Zylstra Farms, LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>Thomas C. Zylstra</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this 14th day of
September, 20 17.


Notary Public



09/14/2017 13:35

(FAX)

P.001/001

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Robert C. Zylstra, being first duly sworn on oath, depose and say that I am

Manager of Robert C. Zylstra Farms, LLC, an Illinois Limited Liability

Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>Robert C. Zylstra</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: Robert C. Zylstra, Manager

Subscribed and Sworn before me this 14th day of

September, 20 17.

Kelly Johns
Notary Public

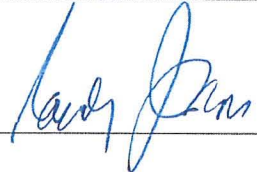


**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

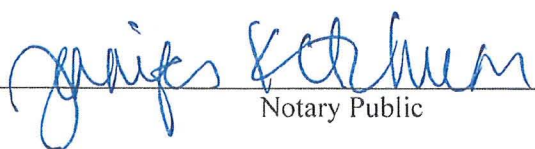
STATE OF ILLINOIS)
) SS.
KANE COUNTY)

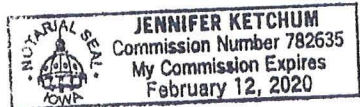
I, Randy K. Johns, being first duly sworn on oath depose and say that I am
Manager of Randy K. Johns Farms, LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>Randy K. Johns</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this 14th day of
September, 20 17.


Notary Public



CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)



For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

2005-Z-11

PUD Name _____

Date _____

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed PUD Amendment advances purpose statement #1 in that it will allow development of a Culver's that will compliment the neighborhood and larger community with a family friendly dining experience to compliment the nearby retail, commercial and residential development. The construction both compliments the neighboring businesses and structures as well as the coordination of the access for pedestrians and vehicles.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The proposed Culver's will compliment the balance of the PUD with a family friendly quick serve restaurant that makes the most of the infrastructure already approved and in place. It will be constructed of the highest quality and will utilize many of the energy efficiencies available on the market today including lower exhaust rates, higher HVAC ratings, and less electrical use through LED fixtures.

The first proposed deviation is to modify the 10' parking setback on interior lot lines to 2' to 3'. The deviation is justified based on factor #1, above. The Culver's footprint requires a patio and green space around the building which has used an excessive portion of the site. The patio and green space provides community amenities beyond those required by the ordinance.

The second proposed deviation is a departure from the requirement of vehicle stacking to be concealed from public streets by orienting the drive-through to the side or rear of the building, away from the public street. The deviation is justified based on factor #4, above. Culver's is proposing a high quality architectural design and restaurant layout in order to enhance the dining experience for their customers. The proposed site layout and drive-through location is most efficient from a site circulation standpoint as the queue does not block the entrance off of the existing access road.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

~~Culver's will compliment the balance of the PUD by offering a quick serve food option to the public while they utilize the rest of the PUD.~~

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

~~The infrastructure is more than adequate for the new Culver's.~~

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

~~The special use for Culver's will serve to only compliment and be an asset to the neighborhood.~~

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

~~The special use for Culver's will not impede the normal or orderly development and improvement of the surrounding area. It will be an asset.~~

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Culver's is a family friendly restaurant intending to be good citizen of the community.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The design and development is intended to meet all codes except as requested for the special use.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Culver's will provide a very large asset to the tax base and economic well being of the community.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed Culver's meets that intent of the Comprehensive Plan's designated land use for the property, which is Corridor/Regional Commercial.



September 14, 2017

Culver's of St. Charles Legal Description:

Lot 2 (Except the North 16.63 Feet therefrom) in Zylstra Center First- Resubdivision, being a Subdivision of part of the Northeast $\frac{1}{4}$ of Section 32, Township 40 North, Range 8 East of the Third Principal Meridian, according to the Plat thereof recorded April 22, 2013 as Document Number 2013K029659, in City of St. Charles, Kane County, Illinois.

CITY OF ST. CHARLES
 TWO EAST MAIN STREET
 ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	<u>Culver's - Zylstra Lot 2</u>
Project Number:	<u>2017</u> -PR- <u>014</u>
Application Number:	<u>2017</u> -AP- <u>033</u>



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Lot 2 of Zylstra Center First Re-subdivision	
	Parcel Number (s): 0932230012	
	Proposed PUD Name: Culver's of St. Charles - Randall	
2. Applicant Information:	Name Culver's of St. Charles - Randall	Phone 847-322-2714
	Address C/O Charles Martin 0N641 Herrick Drive Wheaton, IL 60187	Fax
		Email jimdiv@sbcglobal.net
3. Record Owner Information:	Name Thomas C. Zylstra Farms LLC	Phone 630-457-1205
	Address 21 North 4th Street Geneva, IL 60134	Fax
		Email rwilliams@gwllplaw.com

Please check the type of application:

- New proposed PUD- Planned Unit Development (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development
 - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
 - Final Plat of Subdivision Application filed concurrently
 - Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☑ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☐ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☐ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☐ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☐ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☐ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

□ **ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

□ **TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, “Tree Preservation Requirements for Preliminary Plans”.

□ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

□ **STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

□ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

PUBLIC BENEFITS, DEPARTURES FROM CODE:

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

N/A to PUD Amendment

SCHEDULE: Construction schedule indicating: Single phase - target start March 2018 and completion of October 2018.

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

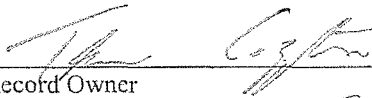
PARK AND SCHOOL LAND/CASH WORKSHEETS

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

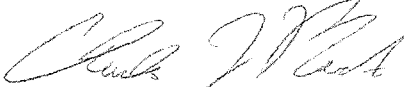
INCLUSIONARY HOUSING SUMMARY

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



Record Owner 9/14/17
Date



Applicant or Authorized Agent 9/14/17
Date

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

MINOR SUBDIVISION – FINAL PLAT APPLICATION

For City Use	
Project Name:	<u>Culver's - Zylstra Lot 2</u>
Project Number:	<u>2017</u> -PR- <u>014</u>
Application Number:	<u>2017</u> -AP- <u>034</u>



Per City Code Section 16.04.04, a Minor Subdivision must meet the following criteria:

- 1) Compliance with subdivision design standards in the City Code; 2) No more than 4 lots; 3) No public utility extensions or new streets are required to serve the subdivision; 4) no stormwater detention is required to serve the subdivision; 5) all lots meet minimum zoning standards.

Complete this application and submit it with all required attachments to the Planning Division. When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Lot 2 of Zylstra Center First Re-subdivision	
	Parcel Number (s): 0932230011, 0932230012	
	Proposed Subdivision Name: Culver's of St. Charles - Randall	
2. Applicant Information:	Name Culver's of St. Charles - Randall	Phone 847-322-2714
	Address C/O Charles Martin 0N641 Herrick Drive Wheaton, IL 60187	Fax
		Email jimdiv@sbcglobal.net
3. Record Owner Information:	Name Thomas C. Zylstra Farms LLC	Phone 630-457-1205
	Address 21 North 4th Street Geneva, IL 60134	Fax
		Email williams@gwillplaw.com

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

☒ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ PROOF OF OWNERSHIP:

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the plat.

PARK AND SCHOOL LAND/CASH WORKSHEETS:

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

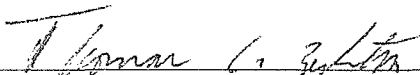
INCLUSIONARY HOUSING SUMMARY:

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

COPIES OF THIRD PARTY PERMIT/APPROVALS

- Kane County DOT and/or IDOT signature on Final Plat (if applicable)


I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



Record Owner

9-14-17

Date



Applicant or Authorized Agent

9/14/17

Date



Get Culverized™

September 21, 2017

RE: Drive Thru Stacking Variance Request

We currently own and operate eight Culver's restaurants in the following Chicago suburbs: Mt Prospect, Rosemont, Bolingbrook, Arlington Hts, Schaumburg, Darien, Aurora, and Crystal Lake. In all but one of these locations we don't have any more than nine stacking spaces in the drive thru area. We have at least four order-waiting spaces in each of these eight locations which, in our business, act like additional stacking spaces as our guests wait for their food to be made fresh in five minutes or less. In our business, these order-waiting spaces are as or more important than the stacking spaces to help us operate an efficient and well flowing drive thru operation.

I have also included historical data from two of our locations – Mt Prospect and Rosemont with similar expected traffic to St Charles. The average serve time is between 3 and 4 minutes during our peak periods for each guest as you can see from the attached charts. In addition, our peak drive thru hour has between 35 and 50 cars. Assuming a constant rate of customers, while somewhat unrealistic, the drive thru would require only 4 stacking spaces to serve the peak hour. As such, 9 stacking spaces (as designed) is far more than enough to handle our typical drive thru volume.

Respectfully,

Chuck Martin
Owner and Franchisee

Culver's
Phone 630-479-5551
www.culvers.com

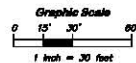
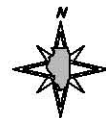
Culver's of Mt Prospect Drive Thru Stacking Report - time is shown in seconds

	13-Sep		14-Sep		15-Sep		16-Sep		17-Sep		18-Sep		19-Sep	
Half Hour	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time
10:00 AM	1	239	1	256	2	240	1	241	1	248	1	156	4	214.5
10:30 AM	1	303	4	194.5	1	250	3	222.67	2	179.5	2	190.5	4	174.5
11:00 AM	9	211.89	13	197.08	2	196.5	4	243.5	5	290.8	7	207.57	3	211.67
11:30 AM	13	190.54	19	176.89	11	131.36	3	279	6	202.5	8	186.25	24	192.42
12:00 PM	22	166.09	19	177.79	24	197.25	6	274.83	11	214.8	13	218.38	20	208.65
12:30 PM	19	178	13	176.38	22	211.59	10	228.3	6	169.5	16	195.81	17	165.06
1:00 PM	19	151.63	12	161.67	20	167.55	6	161.5	1	313	21	202.71	21	186.86
1:30 PM	9	150.56	3	116.67	8	174.75	11	161.64	8	332.1	9	158.67	7	238
2:00 PM	9	177.56	10	229.3	15	227.67	6	167.67	9	230	5	236.2	7	231.29
2:30 PM	6	199.83	8	235.88	15	185.93	6	121	6	246.5	11	135.64	8	149.88
3:00 PM	11	127.36	8	217.13	6	156.83	9	196.44	5	156.6	3	145.33	9	129.11
3:30 PM	5	194.4	4	212	16	177.31	7	145	10	233.5	7	195	8	212.88
4:00 PM	11	172.82	11	121	10	155.1	6	158.17	14	201.5	10	221.7	10	155.7
4:30 PM	12	218.92	10	162.6	5	192.6	8	151	13	194.8	7	329.71	7	223.86
5:00 PM	9	109.67	13	182.46	13	227.46	13	234.69	9	209.8	8	217.38	6	198.5
5:30 PM	14	152.36	16	161.5	11	216.18	10	269.3	9	198.8	11	252.91	9	243.11
6:00 PM	12	176.42	16	149.81	18	197.5	11	134.36	8	193.1	13	218.62	12	191.08
6:30 PM	15	280.47	9	217.33	16	186.06	7	190.57	6	157.5	11	306.91	11	192.09
7:00 PM	12	157.33	13	128.31	10	193.9	14	198.71	4	448	11	206.27	13	201.15
7:30 PM	8	167.25	17	242.29	12	174.25	9	226.22	4	228	10	242.5	5	191
8:00 PM	7	162.71	12	149.67	8	175.25	11	228.45	2	525	6	198.33	4	283.25
8:30 PM	9	255.56	14	142.43	12	90.67	11	99.55	4	198.8	5	178	10	232
9:00 PM	9	248.11	8	177.63	7	179	10	161.2	4	193.1	4	220	11	264.27
9:30 PM	4	145.25	0		7	243.29	6	234.5	2	157.5	3	117.33	5	245.6
Daily Average	10.25	189	10.5	182	11.29	189.5	7.83	197.05	6.2	238.4	8.42	205.7	9.79	205.68
Total Count	246		253		271		188		149		202		235	

Culver's of Rosemont Drive Thru Stacking Report - time is shown in seconds

Half Hour	13-Sep		14-Sep		15-Sep		16-Sep		17-Sep		18-Sep		19-Sep	
	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time	Order Count	Avg Total Time
10:00 AM	4	224.75	2	156	1	238	2	234	1	264	1	290	4	187.5
10:30 AM	5	165.6	3	212.67	8	207.75	2	279	2	242.5	3	207.33	1	248
11:00 AM	7	135.57	8	172.63	6	152.33	7	263	3	288.7	8	265.88	7	261.71
11:30 AM	16	184.69	18	192.5	10	239.4	11	258	9	217.4	16	235.81	10	212
12:00 PM	15	155.73	20	207.5	14	208.79	12	206.08	5	283	12	287.58	18	193.67
12:30 PM	15	176.73	17	218.88	23	188.04	10	215.9	15	302.6	27	236.33	21	176.76
1:00 PM	20	193.4	17	236.24	25	234.76	12	239.58	13	255.1	22	237.95	14	214.79
1:30 PM	13	235.38	11	239.18	19	212.47	12	315.33	5	197.6	15	203.8	12	214.17
2:00 PM	13	184.31	4	270.5	12	209.33	7	225.86	7	208.6	16	229.31	6	214.67
2:30 PM	7	156.86	5	249.8	9	243.56	11	232.64	11	223.6	6	190.33	7	220.86
3:00 PM	7	155.71	7	205.14	12	247.92	7	250.71	9	166.1	4	205.75	8	219.13
3:30 PM	15	221.6	4	337.25	12	194.5	11	177.91	10	140.8	10	202.4	6	218.83
4:00 PM	8	194.75	7	368.14	11	238.36	7	195	10	163.9	8	265.13	13	227.23
4:30 PM	8	196.88	11	198.36	5	130.6	12	181.42	9	197.1	8	169.13	8	213.75
5:00 PM	8	218.88	8	213.75	12	221.25	11	145.45	11	180.6	3	181	9	195.22
5:30 PM	15	155.93	14	199.07	9	230.11	17	210.88	12	201.3	8	206.63	12	230
6:00 PM	13	192.31	10	157.6	18	232.17	17	178.94	12	170.5	15	286.67	8	259.75
6:30 PM	16	120	12	208.17	21	340.48	11	190.45	12	166.8	14	258.36	15	256.87
7:00 PM	11	170.09	13	193	17	481.94	11	204.82	9	190	10	251.4	12	166.08
7:30 PM	8	149.75	18	198.61	8	300.88	15	136.6	8	242	9	191.78	11	290.36
8:00 PM	12	218.08	16	169.13	7	222.43	10	177.8	12	196.3	8	245.13	10	235.3
8:30 PM	18	238.39	13	167	14	152.14	10	183.1	13	177.1	13	184.85	8	262.13
9:00 PM	6	204.33	7	168.86	9	228.11	7	209.43	11	161	15	209.73	5	231
9:30 PM	9	297.44	10	234.4	15	231.2	10	257.2	2	340	10	167.5	7	163
10:00	5	173.8	7	137.43	7	183	12	221.25	7	151.6	8	225.38	5	302
10:30	8	214.63	4	219.5	8	164.5	9	292.33	5	187	3	324	0	
Daily Average	10.85	189.83	10.23	212.7	11.96	228.2	10.12	218.56	8.58	212.1	10.11	229.2	9.11	224.59
Total Count	282		266		312		263		223		272		237	

Preliminary Plat of Zylstra Center Second Resubdivision City of St. Charles, Kane County, Illinois



Legend

- Indicate concrete monument
- Indicate iron stake
- Meas. Indicate measured data
- (80) Indicate record date
- Indicate easement line
- Indicate building setback line

Surveyor's Notes

Iron pipe shall be set at all lot corners, angle points and points of curvature unless shown otherwise.

Distances shown along curved lines are true arc distances and curves are tangent, unless indicated otherwise.

Zylstra Center First Re-Subdivision, City of St. Charles, Kane County, Illinois recorded as Document 2013029932.

There shall be no direct access to Randall Road from Lots 1 and 2 Zylstra Center Second Resubdivision, City of St. Charles, Kane County, Illinois Basis of Bearings Topcon Network.

State of Illinois) I, Carol Street-Johnson, an Illinois Professional Land
County of Kane) Surveyor of Johnson-Waters Surveying, L.L.C. (Illinois Professional Design Firm No. 04-005518), have surveyed, Resubdivision Lots 1 and 2 in Zylstra Center First Re-Subdivision, being a Subdivision of part of the Northeast 1/4 of Section 32, Township 40 North, Range 8 East of the Third Principal Meridian, according to the Plat thereof Recorded April 22, 2013 as Document 2013029932 in the City of St. Charles, Kane County, Illinois and containing 2.03 acres as shown on the plat hereon drawn which is a correct representation of said survey and Resubdivision. I further certify that the foregoing described tract is located within the corporate limits of the City of St. Charles which has adopted an official comprehensive plan and is exercising the special powers authorized by the laws of the State of Illinois according to 85 ILCS 5/11-12-4, and that said tract appears to be located within "Other Areas Zone X" (Areas determined to be outside of the Flood Hazard Areas (Floodplains)) as identified by the Federal Emergency Management Agency, Flood Insurance Rate Map, Panel 262 of 410, Community-Panel Number 17089C0262H dated August 3, 2009. All distances are given in feet and decimal parts thereof.

Dated at Geneva, Illinois, August 17, 2017.

Illinois Professional Land Surveyor No. 5346
License Expiration Date: November 30, 2018

Owner's Certificate

State of Illinois) I, _____, the owner of
County of Kane) the land described in the foregoing surveyor's certificate and has caused the same to be surveyed, Resubdivided and plotted as shown by the plat hereon drawn, for the uses and purposes therein set forth as stated and provided by statute, the subdivision to be known as "Zylstra Center Second Resubdivision, City of St. Charles, Kane County, Illinois", and I hereby acknowledge and adopt the same under the style and title aforesaid. Said premises are located within Community Unit School District No. 303.

Dated at St. Charles, Illinois, this _____ day of _____, 2017.

By: _____ Attest: _____
Manager Secretary

Notary's Certificate

State of Illinois) I, _____, a Notary Public in and for the County and
County of Kane) State aforesaid hereby certify that _____, Secretary, who are personally known to me to be the same persons whose names are subscribed to in the foregoing owner's certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as their free and voluntary act and the free and voluntary act of the corporation.

Given under my hand and Notarial Seal, this _____ day of _____, 2017.

Notary Public
My Commission Expires _____

Mortgagee's Certificate

State of Illinois) I, _____, Accepted and approved by _____ this _____ day
County of Kane) of _____, 2017.

By: _____ Attest: _____
Title: _____

Notary's Certificate

State of Illinois) I, _____, a Notary Public in and for the County and State
County of Kane) aforesaid hereby certify that _____ and _____ who are personally known to me to be the same persons whose names are subscribed to in the foregoing owner's certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as their free and voluntary act and the free and voluntary act of the corporation.

Given under my hand and Notarial Seal, this _____ day of _____, 2017.

Notary Public
My Commission Expires _____

Special Assessments Certificate

State of Illinois) I, _____, Collector of Special Assessments for the
County of Kane) City of St. Charles, Illinois, do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land included in the annexed plat.

Dated at St. Charles, Illinois, this _____ day of _____, 2017.

Collector of Special Assessments

Plan Commission Certificate

State of Illinois) I, _____, Approved by the City of St. Charles Plan Commission at a meeting held
County of Kane) the _____ day of _____, 2017.

By: _____ Attest: _____
Chairman Secretary

Public Works Certificate

State of Illinois) I, _____, Approved by the Director of Public Works for the City of St. Charles on
County of Kane) this _____ day of _____, 2017.

By: _____ Attest: _____
Director of Public Works Secretary

City Council Certificate

State of Illinois) I, _____, Approved and accepted by the Mayor and city council of the City of St.
County of Kane) Charles at a meeting held the _____ day of _____, 2017.

By: _____ Attest: _____
Mayor City Clerk

County Clerk's Certificate

State of Illinois) I, John A. Cunningham, County Clerk in and for the
County of Kane) County and State aforesaid, find no redeemable tax sale, unpaid forfeiture taxes or unpaid current taxes against any of the real estate described in the foregoing surveyor's certificate.

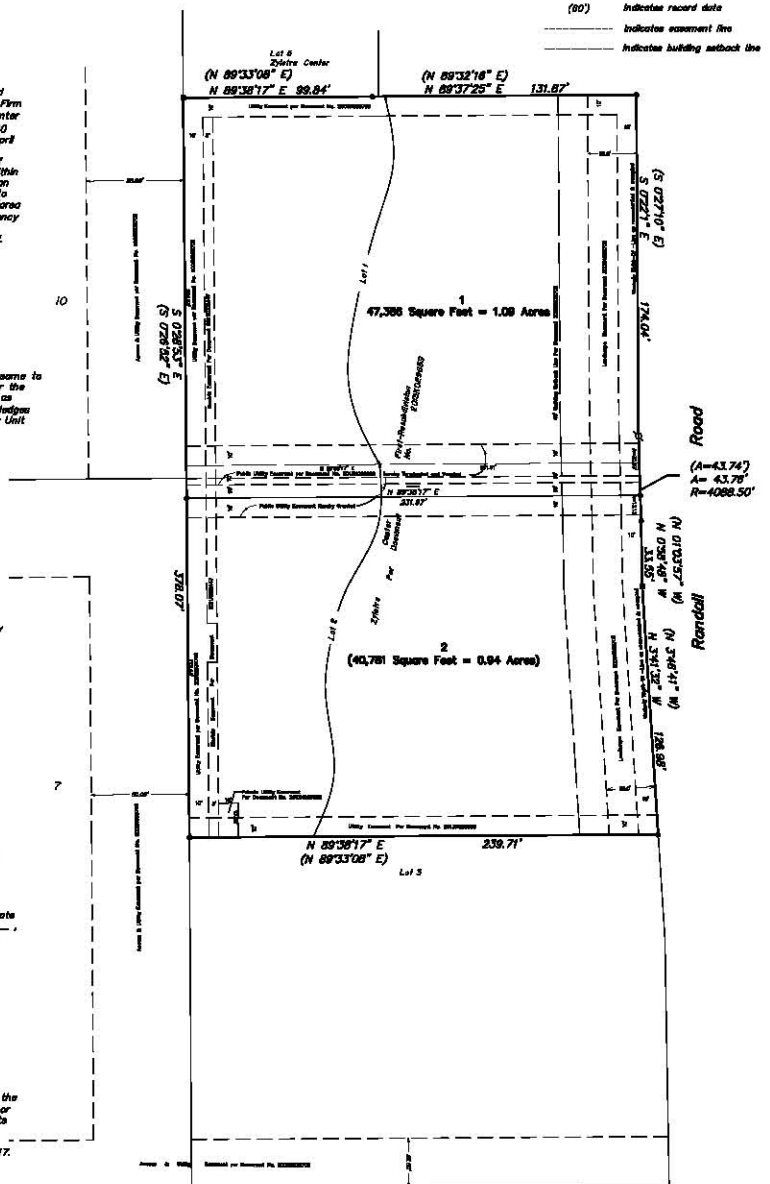
Dated at St. Charles, Illinois, this _____ day of _____, 2017.

County Clerk

Recorder Certificate

State of Illinois) This instrument No. _____, was filed for record in the
County of Kane) Recorder's Office of Kane County, Illinois, on the _____ day of _____, 2017, at _____ o'clock _____ M, and was recorded in Plat Envelope No. _____

County Recorder



UTILITY EASEMENT PROVISIONS

A permanent, non-exclusive easement is hereby reserved for and granted to the City of St. Charles (hereinafter "City"), and to all public utility companies of any kind operating under franchise agreement granting them easement rights from the City of St. Charles, including but not limited to, S.E.C. A. T. & T., Nicor Gas Company, Comcast Cable and to their successors and assigns (hereafter "UTILITIES") in, upon, across, under and through the Lot shown hereon, for the purpose of installing, constructing, reconstructing, inspecting, operating, replacing, renewing, altering, enlarging, removing, repairing, cleaning and maintaining electrical, cable television, communication, gas, telephone or other utility lines or apparatuses, sanitary sewers, storm sewers, drainage ways, storm water detention or retention, water mains, and any and all manholes, hydrants, pipes, connections, catch basins, buffer boxes, valves, and without limitation, such other installations as may be required to furnish public utility service to the subdivided area, and such apparatuses and additions thereto as said City and UTILITIES may deem reasonably necessary together with the right of access thereto for the necessary personnel and equipment to do any or all of the above work, provided that no such easement shall extend into any area either now or hereafter improved with a permanent structure approved by the City. Further, all such franchisees shall be required to restore the easement premises by properly grading and restoring the surface treatment (i.e., paving, sod, etc.) to pre-disturbance condition in a prompt manner upon the substantial completion of such work. The right is also hereby granted to said City and UTILITIES Companies to cut down, trim, or remove any trees, shrubs or other plants and objects that interfere with the operation of or access to said utility installations, in, on, upon, across, under or through said easement. Said easement may be used for planting of shrubs and landscaping and other purposes in accordance with final plans approved by said City of St. Charles, and provided such planting, landscaping or other purposes do not then or later interfere with the aforesaid uses and rights. Where said easement is used for storm or sanitary sewers, other utility installations shall be subject to the prior approval of said City of St. Charles, so as not to interfere with the gravity flow in said sewer or sewers.

PRELIMINARY SITE DEVELOPMENT PLANS FOR **CULVER'S** OUTLOT 2 - ZYLSTRA CENTER

INDEX OF SHEETS	
C1.0	TITLE SHEET
C2.0	EXISTING CONDITIONS PLAN
C3.0	SITE LAYOUT PLAN
C4.0	UTILITY PLAN
C5.0	GRADING AND DRAINAGE PLAN
C6.0	STORMWATER MANAGEMENT PLAN
	ELEVATIONS PLAN
	EXTERIOR PHOTOMETRIC PLAN
	PRELIMINARY LANDSCAPE PLAN

LOCATION MAP



SECTION 32, TOWNSHIP 40N, RANGE 8E

EXISTING LEGEND		PROPOSED LEGEND	
	EXISTING TREE		CLUB & GUTTER
	CURB & GUTTER		REVERSE PITCH CURB & GUTTER
	EXISTING BUILDING		DEFORMED CURB & GUTTER
	POG SIDEWALK		PROPPOSED BUILDING
	GAS SERVICE		POG SIDEWALK
	ELECTRIC SERVICE		STANDARD DUTY PAVEMENT
	STORM SEWER		HEAVY DUTY PAVEMENT
	SANITARY SEWER		GRASS SERVICE
	WATER MAIN		ELECTRICAL SERVICE
	CABLE LINE		STORM SEWER
	OVERHEAD UTILITY LINE		SANITARY SEWER
	COMMUNICATION LINE		WATER MAIN
	FIBER OPTIC LINE		FENCE
	FENCE		STORM INLET
	STORM INLET		STORM GATE INLET
	STORM MANHOLE		STORM MANHOLE
	STORM DRAIN BASIN		STORM DRAIN BASIN
	SANITARY MANHOLE		STORM/POUT CONNECTION
	CLEWOUT		SANITARY MANHOLE
	WATER METER		CLEWOUT
	WALKER ORLET		WATER METER
	WALKER BOX		WALKER VALVE
	HYDRANT		WALKER BOX
	GAS METER		HYDRANT
	ELECTRIC METER		GAS METER
	PARKING LOT LIGHT		ELECTRICAL METER
	UTILITY POLE		PARALLEL LOT LIGHT
	CITY LINE		PERM ANCHOR
	TRANSFORMER		OVERLAP PLACED PROFILE
	FIBER OPTIC BOX		TOP OF SIDEWALK GRADE
	FIBER OPTIC PEDESTAL		TOP OF GRASS GRADE
	PHONE PEDESTAL		PAVEMENT GRADE
	ELECTRIC PEDESTAL		GRASS GRADE
	WALKER CENTER		MAJOR CONTOUR
	WALKER CENTER		MINOR CONTOUR

1110 WOODSIDE DRIVE
 P.O. BOX 10007
 WWW.CAGEENGINEERING.COM



REVISIONS	

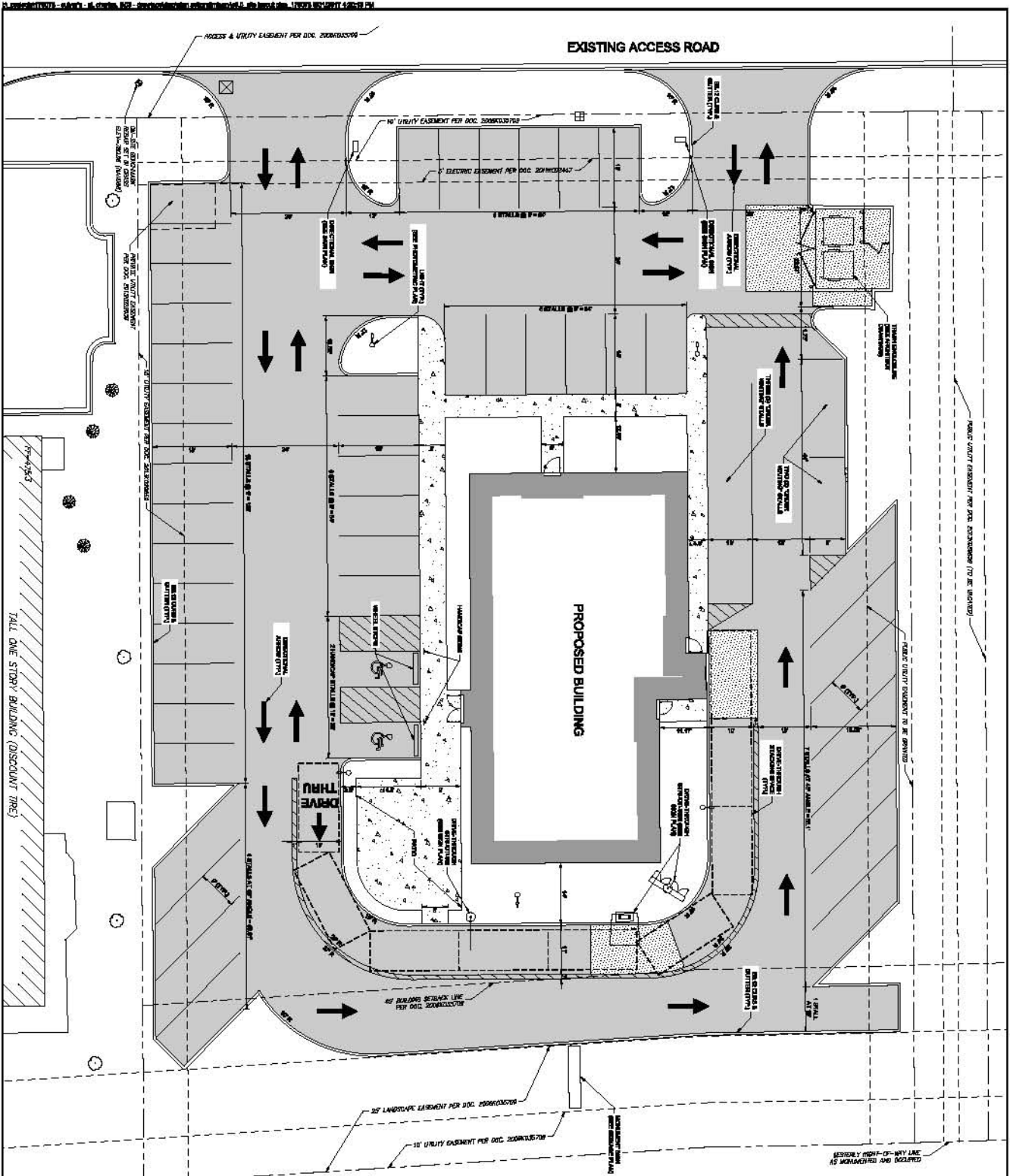
CULVER'S
 OUTLOT 2 - ZYLSTRA CENTER
 RT. CHARLES, IL

PROJECT NUMBER
 SHEET NO.
 DATE: 06-21-17
 DRAWN BY: JAL

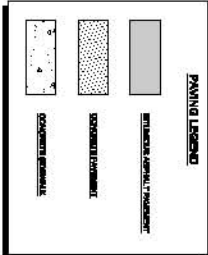
SHEET TITLE
TITLE SHEET

SHEET NUMBER
C1.0



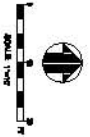


RANDALL ROAD

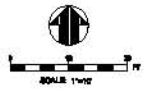
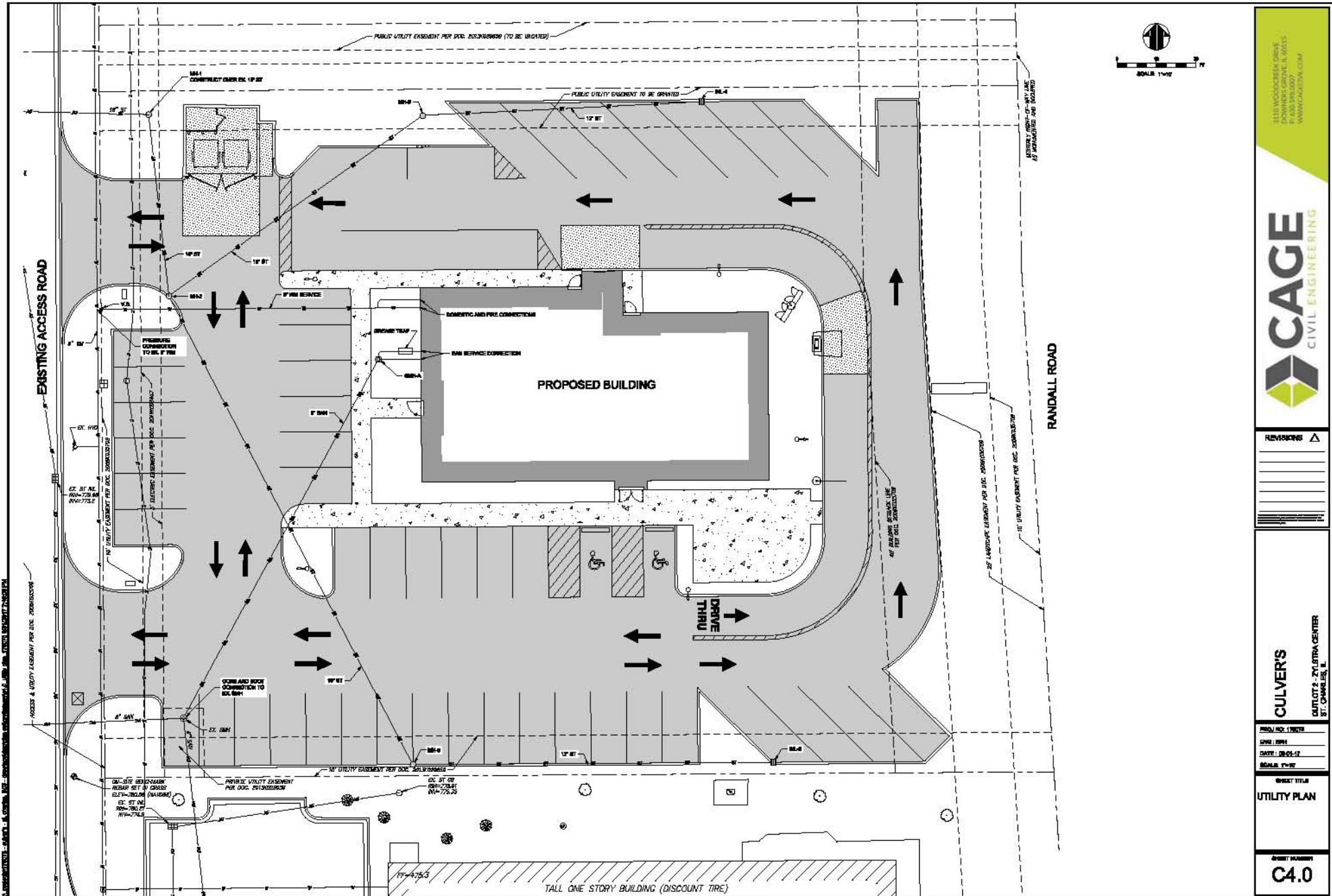


SITE DATA

TOTAL SITE AREA	44,871 SQ. FT.
TOTAL PAVED AREA	10,500 SQ. FT.
PROPOSED PAVED AREA	10,500 SQ. FT.
EXISTING PAVED AREA	0 SQ. FT.
PROPOSED ASPHALT PAVEMENT	10,500 SQ. FT.
PROPOSED CONCRETE PAVEMENT	0 SQ. FT.
PROPOSED ASPHALT GRADATION	0 SQ. FT.
PROPOSED CONCRETE GRADATION	0 SQ. FT.



C3.0	<p>CULVER'S</p> <p>OUTLOT 2 - ZYLSTRA CENTER ST. CHARLES, IL</p>	<p>CAGE CIVIL ENGINEERING</p>	<p>3110 WOODCREEK DRIVE DOWNERS GROVE, IL 60515 P: 630.598.0007 WWW.CAGECIVIL.COM</p>
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111 W. WOODRIDGE DRIVE
 P.O. BOX 990007
 WWW.CAGEENR.COM



REVISIONS

CULVER'S
 OUTLOT 2 - CYLINDRA CENTER
 ST. CHARLES, IL

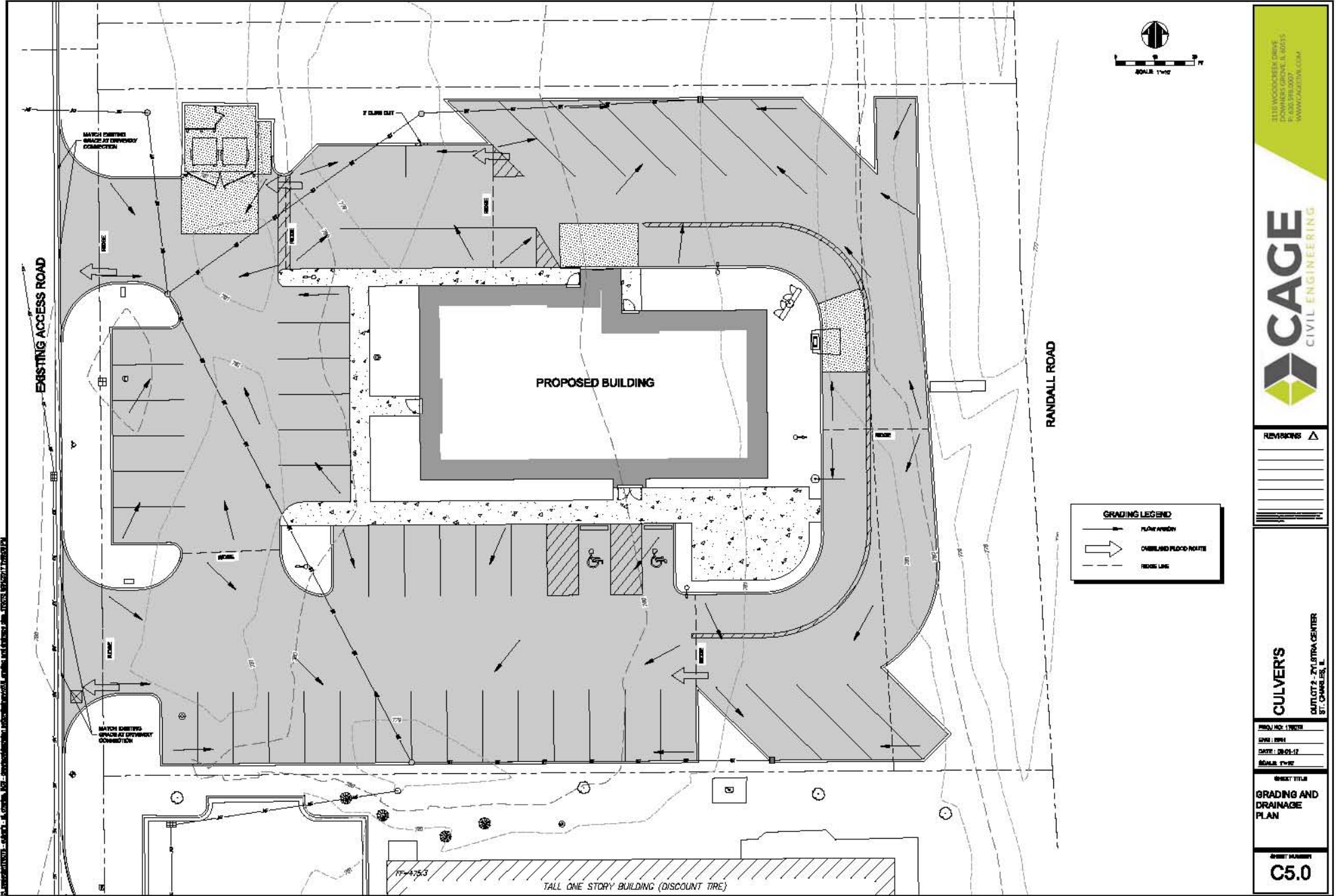
PROJECT NUMBER
C4.0

PROJECT TITLE
UTILITY PLAN

DATE: 06-05-12

SCALE: 1"=40'

BY: [Signature]



1101 WOODBINE DRIVE
 FAYETTEVILLE, MISSISSIPPI 39307
 WWW.CAGEONLINE.COM



REVISIONS

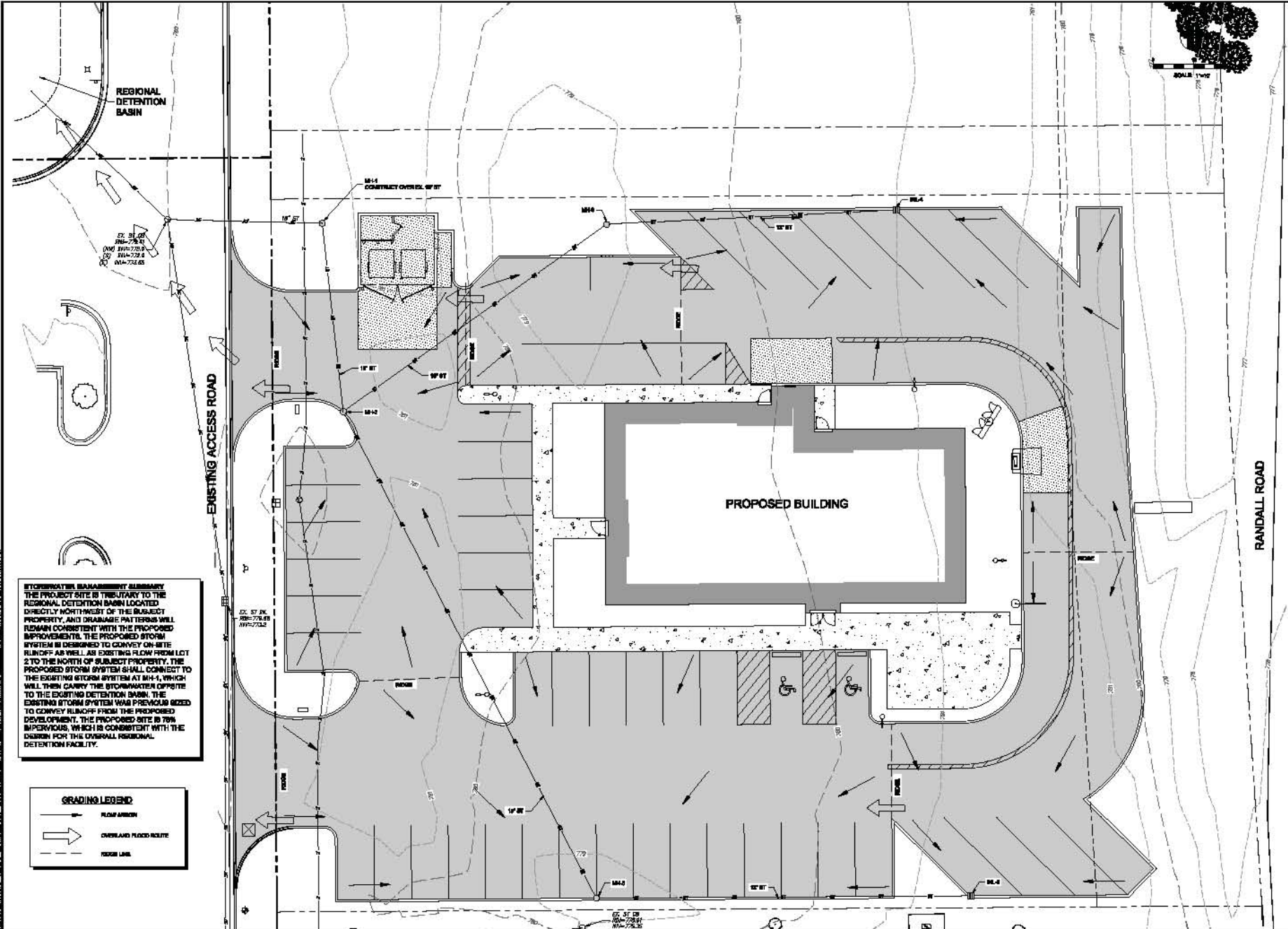
NO.	DATE	DESCRIPTION

CULVER'S
 OUTLOT 2 - CYCLURA CENTER
 ST. CHARLES, IL

SHEET NO.: 170714
 DATE: 08-01-17
 SCALE: 1"=20'

GRADING AND DRAINAGE PLAN

C5.0



STORMWATER MANAGEMENT SUMMARY
 THE PROJECT SITE IS TRIBUTARY TO THE REGIONAL DETENTION BASIN LOCATED DIRECTLY NORTHWEST OF THE SUBJECT PROPERTY, AND DRAINAGE PATTERNS WILL REMAIN CONSISTENT WITH THE PROPOSED IMPROVEMENTS. THE PROPOSED STORM SYSTEM IS DESIGNED TO CONVEY ON-SITE RUNOFF AS WELL AS EXISTING FLOW FROM LOT 2 TO THE NORTH OF SUBJECT PROPERTY. THE PROPOSED STORM SYSTEM SHALL CONNECT TO THE EXISTING STORM SYSTEM AT MH-1, WHICH WILL THEN CARRY THE STORMWATER OPPOSITE TO THE EXISTING DETENTION BASIN. THE EXISTING STORM SYSTEM WAS PREVIOUSLY SIZED TO CONVEY RUNOFF FROM THE PROPOSED DEVELOPMENT. THE PROPOSED SITE IS 70% IMPERVIOUS, WHICH IS CONSISTENT WITH THE DESIGN FOR THE OVERALL REGIONAL DETENTION FACILITY.



1111 WOODBINE DRIVE
 P.O. BOX 10007
 WWW.CAGE.COM



REVISIONS

NO.	DATE	DESCRIPTION

CULVER'S
 CIVIL ENGINEERING CENTER
 87 CHANCE BLDG., IL

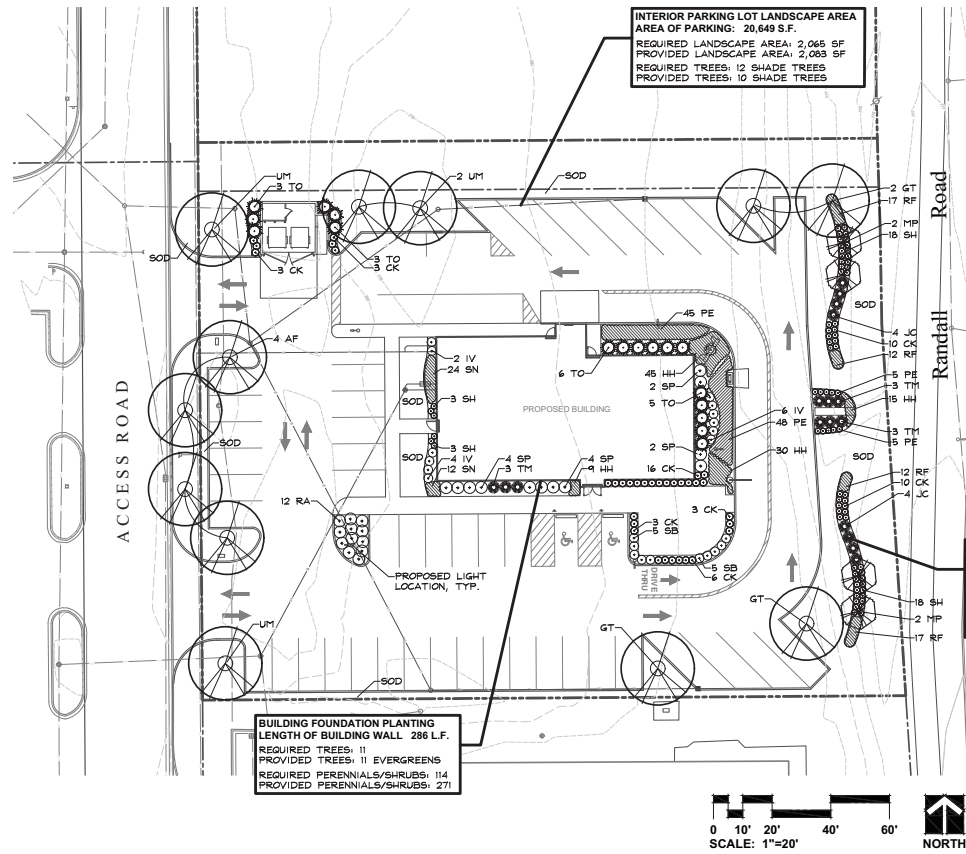
PROJECT NUMBER
 DATE: 06-05-12
 SCALE: 1"=10'

STORMWATER MANAGEMENT PLAN

SHEET NUMBER
C6.0

PLANT LIST

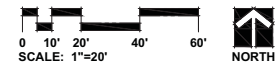
Key	Qty	Botanical/Common Name	Size	Remarks
SHADE TREES				
AF	4	Acer x Fraxinus 'Jeffers' Red AUTUMN GLAZE MAPLE	2 1/2' Cal.	
GT	4	Gleditsia triacanthos inermis 'Skyline' SKYLINE HONEYLOCUST	2 1/2' Cal.	
UM	4	Ulmus 'Hortens' ACCOLADE Elm	2 1/2' Cal.	
ORNAMENTAL TREES				
MP	4	Malus 'PrairieFire' PRAIRIEFIRE CRABAPPLE	6' Tall	Clump Form
EVERGREEN TREES				
TO	17	Thuja occidentalis 'Ball-John' TECHINTO ARBORVITAE	6' Tall	
DECIDUOUS SHRUBS				
IV	20	Ilex virginica 'Spirex' LITTLE 'HENNY' VIRGINIA SHRETSPIRE	24" Tall	3' O.C.
SB	10	Spiraea media 'SHSDBK' DOUBLE PLAY BLUE KAZOO SPIREA	24" Tall	3' O.C.
SP	12	Syringa patula 'Fae Kim' MISS KIM LILAC	30" Tall	4' O.C.
RA	12	Rhus aromatica 'Graciosa' GRC-Low FRAGRANT SUMAC	24" Wide	4' O.C.
EVERGREEN SHRUBS				
JC	8	Juniperus chinensis 'Sea Green' SEA GREEN JUNIPER	24" Wide	4' O.C.
TH	4	Taxus x media 'Densiflora' DENSE YEW	24" Wide	4' O.C.
PERENNIALS AND ORNAMENTAL GRASSES				
CK	84	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	11"	24" O.C.
HH	98	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	11"	18" O.C.
FE	82	Pennisetum alopecuroides 'Hammond' DWARF FOUNTAIN GRASS	11"	24" O.C.
RF	58	Rubisco fulgida 'Viotta's Little Busy' LITTLE BUZY BLACK-EYED SUSAN	11"	18" O.C.
SN	36	Salvia nemoralis 'Caradonna' CARADONNA SALVIA	11"	18" O.C.
SH	42	Sporobolus heterolepis PRAIRIE DROPSEED	11"	24" O.C.
MISC. MATERIALS				
22		SHREDDED HARDWOOD MULCH	C.T.	
947		SOD	S.T.	



INTERIOR PARKING LOT LANDSCAPE AREA
AREA OF PARKING: 20,649 S.F.
REQUIRED LANDSCAPE AREA: 2,065 SF
PROVIDED LANDSCAPE AREA: 2,083 SF
REQUIRED TREES: 12 SHADE TREES
PROVIDED TREES: 10 SHADE TREES

PUBLIC STREET FRONTAGE
LANDSCAPING
LENGTH OF FRONTAGE: 174 L.F.
REQUIRED: 4 TREES
75% COVERAGE
PROVIDED: 4 ORNAMENTAL TREES
79% COVERAGE

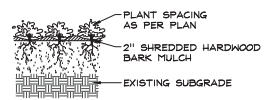
BUILDING FOUNDATION PLANTING
LENGTH OF BUILDING WALL: 286 L.F.
REQUIRED TREES: 11
PROVIDED TREES: 11 EVERGREENS
REQUIRED PERENNIALS/SHRUBS: 114
PROVIDED PERENNIALS/SHRUBS: 271



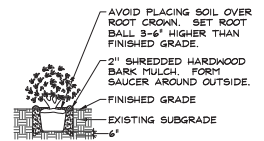
GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

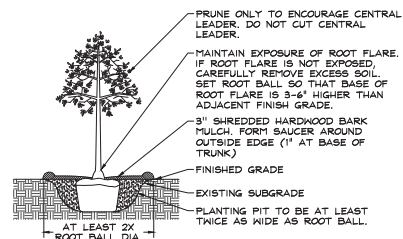
PLANTING DETAILS



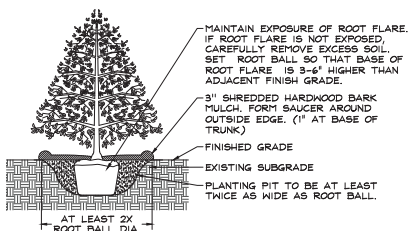
PERENNIALS AND GROUNDCOVERS
NOT TO SCALE



DECIDUOUS AND EVERGREEN SHRUBS
NOT TO SCALE



DECIDUOUS TREES
NOT TO SCALE



EVERGREEN TREES
NOT TO SCALE



GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
212 SOUTH MAIN STREET
WYBONN, ILLINOIS 6087
PHONE: 630-668-7197

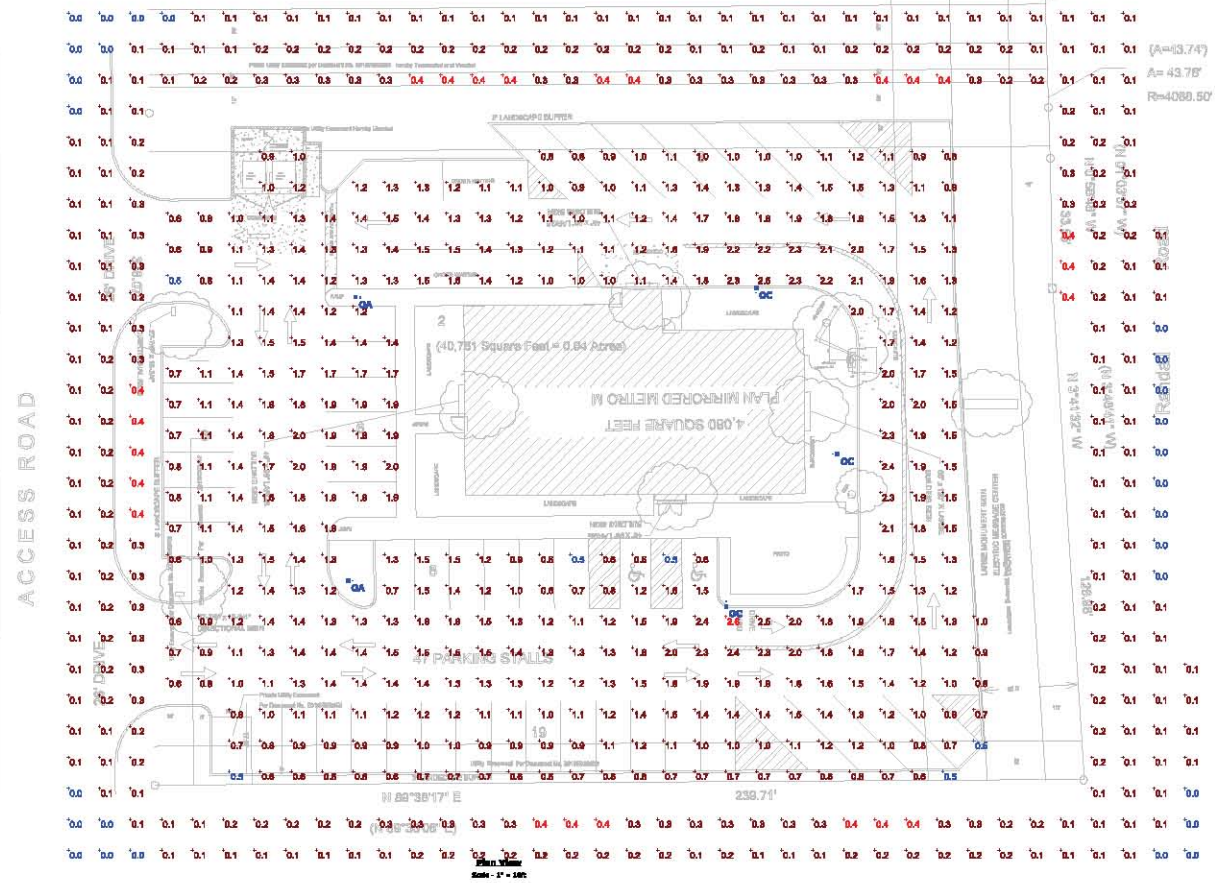
ENGINEER:
CAGE CIVIL ENGINEERING
3110 WOODCREEN DRIVE
DOWNERS GROVE, IL 60515

CULVER'S RESTAURANT
ST. CHARLES, ILLINOIS
LANDSCAPE PLAN

2	9.27.17
1	9.13.17

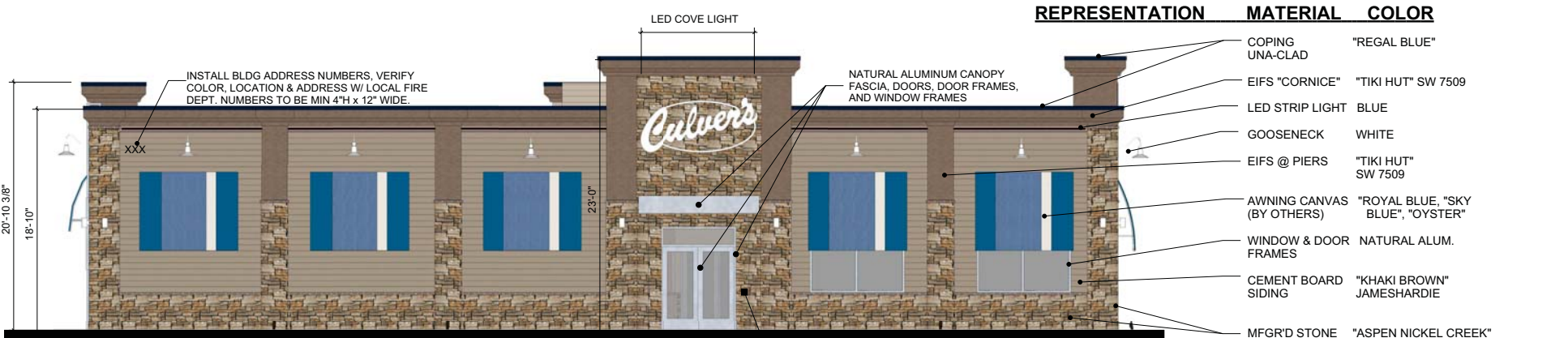
DATE	9.01.17
PROJECT NO.	CSE1703
DRAWN	GFB/TRC
CHECKED	JCT
SHEET NO.	

CRESCENT ELECTRIC SUPPLY COMPANY
 GARY MANDERS AT 1 800 236 9008
 EMAIL: CULVERS@CESCO.COM
 VERIFY THAT THE ATTACHED LAYOUT
 MEETS LOCAL CODE REQUIREMENTS



Schedule			
Symbol	Label	Quantity	Catalog Number
	OA	2	DSKI LED
	OC	3	DSKI LED

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OUT OF PERIMETER	+	0.2 fc	0.4 fc	0.0 fc	N/A	N/A
PARKING LOT	+	1.3 fc	2.6 fc	0.5 fc	5.2:1	2.6:1



REPRESENTATION MATERIAL COLOR

- COPING UNA-CLAD "REGAL BLUE"
- EIFS "CORNICHE" "TIKI HUT" SW 7509
- LED STRIP LIGHT BLUE
- GOOSENECK WHITE
- EIFS @ PIERS "TIKI HUT" SW 7509
- AWNING CANVAS (BY OTHERS) "ROYAL BLUE, "SKY BLUE", "OYSTER"
- WINDOW & DOOR FRAMES NATURAL ALUM.
- CEMENT BOARD SIDING "KHAKI BROWN" JAMESHARDIE
- MFG'R'D STONE w/ STONE SILL TRIM "ASPEN NICKEL CREEK" TUSCAN LEDGE ENVIRONMENTAL STONEWORKS

MAIN ENTRY ELEVATION

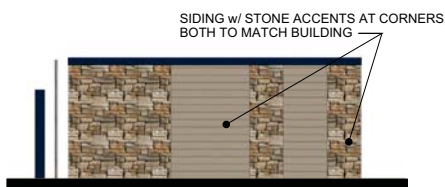


FRONT ELEVATION

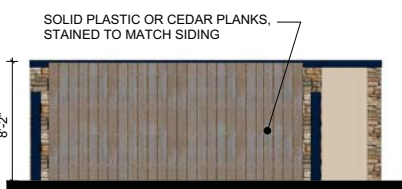
REAR ELEVATION



DRIVE THRU ELEVATION



DUMPSTER ENCLOSURE - EAST



DUMPSTER ENCLOSURE - SOUTH

©2017

NEW CULVER'S RESTAURANT
St. Charles, IL

Culver's
Culver's Franchising System, Inc.
Prairie du Sac, WI 53576
888-642-7326

OLLIVANN ERNEST MARTIN
ARCHITECTS
509 South State Street
Belvidere Illinois 61008
815-544-7790 Phone
815-544-7792 Fax

ELEVATIONS
NOTE: THOUGH THESE IMAGES HAVE PHOTO
REALISTIC QUALITIES, THE ACTUAL BUILDING
MATERIALS MAY VARY IN APPEARANCE.
Date: 8-31-2017
Revision:

2017-070

A1



SIGN PACKAGE PROPOSAL

NEW BUILD

PRESENTED TO:
Culver's - St. Charles, IL
Randall Road

DATE PREPARED:
Preliminary: 8/31/2017

AD-1 ADDRESS NUMBERS

ST. CHARLES, IL
Randall Road

Routed Address Numbers

AD-1

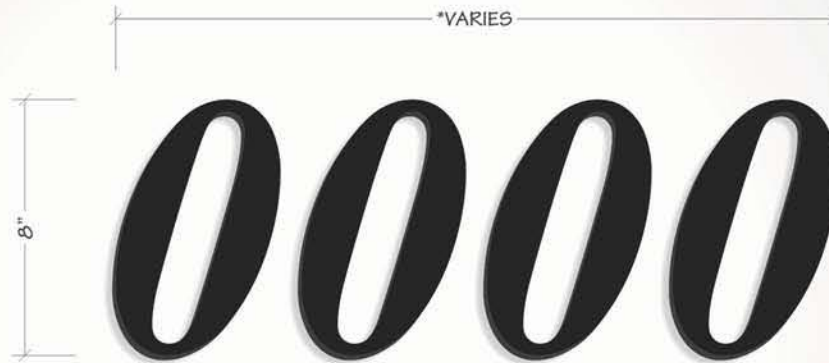
Address letters as required for building occupancy

Size & quantity may vary

Stud/adhesive mounting

1/2" thick, black XPVC

NOTE: Address to be verified with G.C. prior to mfg.



*SEE NOTE

SCALE: 1" = 6'

*Determined by physical address numbers

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

TYPICAL INSTALLATION

*SEE NOTE



SCALE: 1/8" = 1'

NOTES

SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
--------------------------------------	---------------------------------	---------------------

DATE CREATED / REVISION HISTORY	
8/31/17 - NEW	

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www.springfieldsign.com

BB-3 BUTTERBURGER PANEL

ST. CHARLES, IL
Randall Road

ButterBurger Outdoor Panel Wall Sign

BB-3

All aluminum 0.080" thick panel -
backside is blank (white)

Baked on aluminum white enamel
finish

Digital print overlay with
overlaminated

Rounded corners are to be 1.25"
radius

Sign is to be mounted flush to wall



NOT FOR
PRELIMINARY
CONSTRUCTION

SCALE: 1-1/2" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

TYPICAL INSTALLATION - TOP VIEW

WALL

SIGN FACE
FLUSH MOUNTS TO WALL

SCALE: N.T.S

INSTALL NOTES

TYPICALLY USED FOR MIRRORRED METRO L LAYOUTS

NOTES

SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
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DIR DIRECTIONAL SIGNS

ST. CHARLES, IL
Randall Road

Illuminated Directional Signs

DIR

- All aluminum construction
- LED internal illumination
- Totally self contained lighting
- Polycarbonate thermoformed faces
- Face removal for service
- Site plans show placement & field orientation
- UL marked product



DIRECTIONAL SIGN 1
DIR-D11-D10



SIDE: A



SIDE: B

NOT FOR
PRELIMINARY
CONSTRUCTION

DIRECTIONAL SIGN 2
DIR-D9-D8



SIDE: A



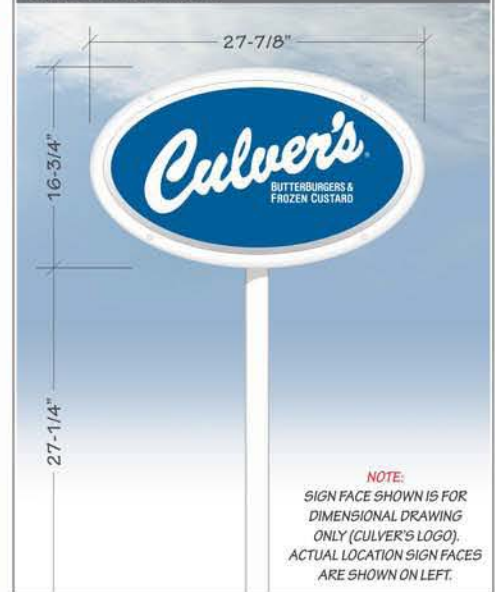
SIDE: B

DIRECTIONAL SIGN 3
DIR-#-#

SCALE: 3/4" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

SIGN CONCEPTUAL



NOTES

SQUARE FOOTAGE CALCULATIONS:
MATHEMATICAL: 2.55 SF
RECTANGULAR: 3.24 SF

SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
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8/31/17 - NEW	

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DTC-2 DRIVE-THRU CANOPY

ST. CHARLES, IL
Randall Road

Drive-Thru Canopy For Order Confirmation System (OCS)

DTC-2

All aluminum construction

Rated for 160 mph winds (3 second burst) & heavy northern states snow loads

Order Confirmation System (OCS) by others

Rear panel (door) access - lockable

Provides protection from rain for DT customer

Houses OCS, speaker &



NOTE:
DISPLAY/ELECTRONICS/
ELECTRICAL & COMMUNICATION
SERVICES BY G.C.

SCALE: 3/8" = 1"



*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

NOTES

DATE CREATED / REVISION HISTORY

8/31/17 - NEW

SALES PERSON:
MARK WESSSELL

DESIGNED BY:
J WILSON

AO:
14390

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SPRINGFIELD SIGN

www.springfieldsign.com

ELEVATION WALL SIGNS

ST. CHARLES, IL
Randall Road

SL-45 & SL-30 Illuminated White Script Channel Letters - Mirrored Metro-M

NOT FOR
PRELIMINARY
CONSTRUCTION

SL-SERIES

Channel letter construction

One piece (saddle capped sections)

LED internal illumination

Typical application for new construction

Embedded power supplies

UL marked product

No install pattern needed, level line scribed in back of sign

SOUTH ELEVATION
SL-30, LL-X



EAST ELEVATION
SL-45
BB-3
LL-X



94.50"



WEST ELEVATION
SL-30

NORTH ELEVATION
SL-30, LL-X



SCALE: 1/16" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

SIGN SQUARE FOOTAGE

SOUTH ELEVATION: QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF

EAST ELEVATION: QTY-1 SL-45 (56.00" X 120.00") = 46.67 SF
QTY-1 BB-3 (17.67" X 27.88") = 3.42 SF

WEST ELEVATION: QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF

NORTH ELEVATION: QTY-1 SL-30 (44.37" X 94.50") = 29.12 SF

17-070_ELEV_a_8-31-17-A-1 COLOR ARCHITECT DRAWINGS SHOWN

NOTES

LL-X LED accent strip lighting typical placements:
SOUTH: (5) places - EAST: (2) Places - NORTH: NA,
NORTH: (6) places
BB-3 typical Drive-Thru placement: EAST



MFG: ENVIRONMENTAL STONEWORKS
STYLE: TUSCAN LEDGE
COLOR: ASPEN NICKEL CREEK



MFG: JAMES HARDIE
STYLE: CEMENT BOARD
COLOR: KHAKI BROWN

DATE CREATED / REVISION HISTORY

8/31/17 - NEW

8/31/17 - LL-X (N) 6 PLACES

8/31/17 - ARCH. COLOR ELEV'S.

SALES PERSON:
MARK WESSELL

DESIGNED BY:
J WILSON

AO:
14390

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ENVIRONMENTALLY RESPONSIBLE

SPRINGFIELD SIGN
www.springfieldsign.com

FCO-2 INTERIOR SIGN

ST. CHARLES, IL
Randall Road

FCO Interior Sign with City & State

FCO-2

Chemetal¹ 916 brushed pewter

Routed to shape

Pin mounted for rough surface application

VHB tape for smooth wall application

Mounting pattern with fastener instructions

Horizontal brush

1 - Chemetal is a subsidiary of The October Company, Inc.



SCALE: 1" = 1'

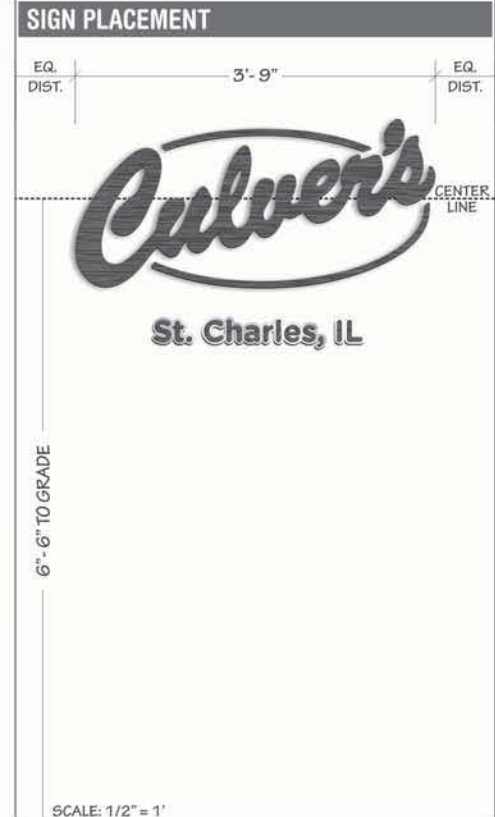
*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE



CHEMETAL¹
916 BRUSHED PEWTER



CHEMETAL¹
902 BRUSHED ALUMINUM



SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
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MAX-1 MAXIMUM OCCUPANCY SIGN

ST. CHARLES, IL
Randall Road

Interior Maximum Occupancy Sign

MAX-1

3/16" White acrylic substrate

Direct to surface printing

3M[®] VHB peel & stick adhesive on back

"MAXIMUM OCCUPANCY" must be verified prior to manufacturing

1-3M is a registered trademark of Minnesota Mining & Manufacturing

NOT FOR
PRELIMINARY
CONSTRUCTION



Culver's

SCALE: 3" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

NOTES

DATE CREATED / REVISION HISTORY

8/31/17 - NEW

SALES PERSON:
MARK WESSSELL

DESIGNED BY:
J WILSON

AO:
14390

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 **SPRINGFIELD SIGN**
www.springfieldsign.com

MB-DT-46 EXTERIOR MENU BOARD

ST. CHARLES, IL
Randall Road

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

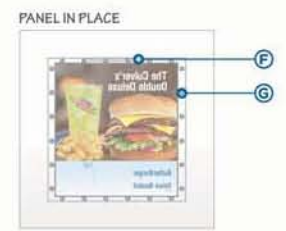
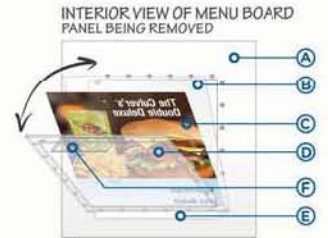
POPP-Out magnet access panels included for easy in & out of POP panels

"-CS" option for 160mph coastal wind standards available

Locking rear access doors (4)



POPP-Out Point of Purchase Panel System



- A - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C - POP PANEL - PRODUCT GRAPHIC
- D - REAR PANEL FITTED WITH POPP-Out PANEL
- E - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F - POPP-Out TAB HANDLE
- G - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POPP-Out PANEL & BACK OF MENU BOARD)

SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
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DATE CREATED / REVISION HISTORY	
8/31/17 - NEW	
9/12/17 - V0 SF	

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MB-ID-84 INTERIOR MENU BOARD MIRRORED

ST. CHARLES, IL
Randall Road

Blue Indoor Menu Board

MB-ID-84-M

- Easy lift up & out graphic panel
- American Beech Wood surround
- LED internal illumination
- Ultra low power consumption
- For Mirrored floor plans

FRONT VIEW



END VIEW



NOT FOR
PRELIMINARY
CONSTRUCTION

SCALE: 3/8" = 1"

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

NOTES

MENU BOARD TO INSTALL CENTERED TO THE FRONT CASH REGISTER COUNTER

WOOD SURROUND



DATE CREATED / REVISION HISTORY

DATE	DESCRIPTION
8/31/17	NEW

SALES PERSON:
MARK WESSLE

DESIGNED BY:
J WILSON

AO:
14390

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www.springfieldsign.com

ME-20-C CUSTOM MONUMENT WITH EMC

ST. CHARLES, IL
Randall Road

ME-20-L-XXxXX-XX-RGB-PBC-C

CUSTOM

ME-20-C

Culver's sign cabinet of aluminum construction and internally illuminated with LED's

Thermoformed polycarbonate faces, embossed Culver's, 3M¹ HP vinyl decoration

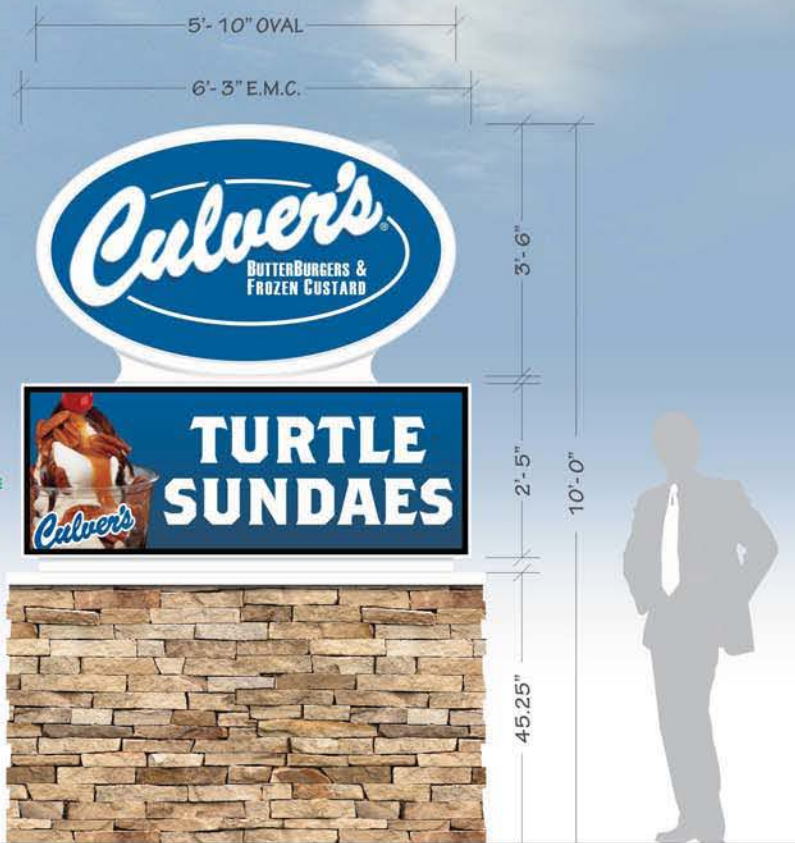
Watchfire² RGB full color Electronic Message Center (EMC) with RF wireless communication

Amber EMC option available

Broadband communication option available

UL marked product

1- 3M is a registered trademark of Minnesota Mining & Manufacturing
2- Watchfire signs by Time-O-Matic Inc.



NOT FOR PRELIMINARY CONSTRUCTION

SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

EMC CHART - KNOWN RESTRICTIONS

COLOR: Y N STATIC: Y N VIDEO: Y N
ANIMATION: Y N MOVEMENT: Y N

HOLD TIME (IF STATIC): ONCE EVERY 15 SECONDS

TRANSITION TYPE: _____

DAYTIME BRIGHTNESS: _____

NIGHTTIME BRIGHTNESS: _____

ADDITIONAL RESTRICTIONS:

NOTES

SQUARE FOOTAGE

OVAL (V.O.): 3'-2" X 5'-6" = 13.7 SF (MATHEMATICAL)
EMC (V.O.): 2'-0" X 6'-0" = 12.0 SF (MATHEMATICAL)
TOTAL: 25.7 SF

SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
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www.springfieldsign.com

REG-HC-1 PARKING SIGN

ST. CHARLES, IL
Randall Road

Handicapped Parking Post & Panel Sign

REG-HC-1

- All aluminum 0.080" thick panel
- U-Channel steel post (green)
- Bolted connection
- Local codes may require actual copy/graphics to vary
- Rounded corners for safety
- First surface vinyl (printed) copy

NOTE 1: Overall height can vary per local codes

NOTE 2: 6' x 12" sign panel may also be required



SCALE: 3/4" = 1'



*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

ADDITIONAL PARKING SIGN PANELS

STANDARD FACE OPTIONS:



ADDITIONAL FACE OPTIONS:



SCALE: 1/2" = 1'

SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
--------------------------------------	---------------------------------	---------------------

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RR-1-G, RR-1-L, RR-3 RESTROOM SIGNS

ST. CHARLES, IL
Randall Road

Entry Door & Drive-Thru Vinyl Lettering

RR-1-G
RR-1-L
RR-3

RR-1 SERIES RESTROOM SIGNS

- Injection molded plastic
- ADA compliant
- Raised braille
- Self adhesive back

RR-3 SIGN

- White aluminum substrate - laminated with black core
- Digitally printed blue copy routed to shape



RR-1-G
GENTLEMEN



RR-1-L
LADIES

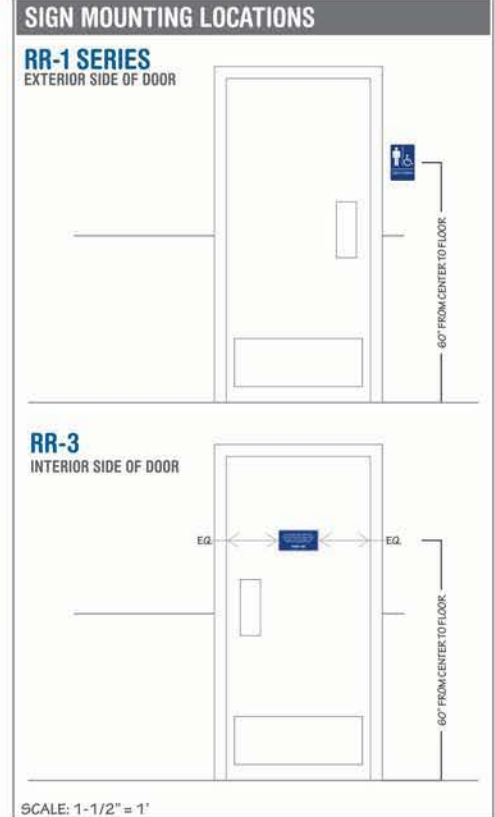


RR-3
LADIES

SCALE: 3" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

**NOT FOR
PRELIMINARY
CONSTRUCTION**



SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
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V-1, V-5, V-6 DOOR & WINDOW VINYL

ST. CHARLES, IL
Randall Road

Entry Door & Drive-Thru Vinyl Lettering

V-1-1
V-5-1
V-6

3M¹ HP white vinyl substrate

UV digitally printed image (blue)

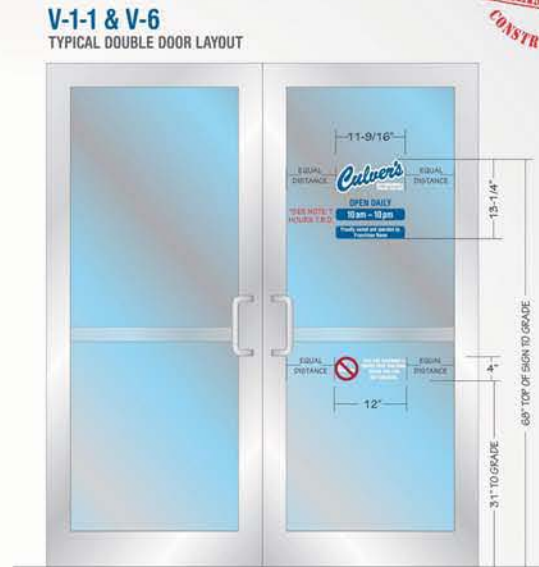
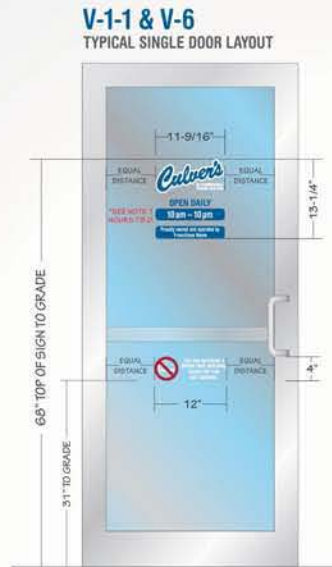
Satin gloss over laminate

Contour cut

First surface application

NOTE 1: Business hours shown are typical. However, each location may be different than shown.

1-3M is a registered trademark of Minnesota Mining & Manufacturing



NOT FOR PRELIMINARY CONSTRUCTION



SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

SIGN SPECIFICATIONS

V-1-1

V-6

V-5-1

SCALE: 1-1/2" = 1'

SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	AO: 14390
DATE CREATED / REVISION HISTORY		
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www.springfieldsign.com

VHD-1 VEHICLE HEIGHT DETECTOR

ST. CHARLES, IL
Randall Road

Vehicle Height Detector for Drive-Thru Lane

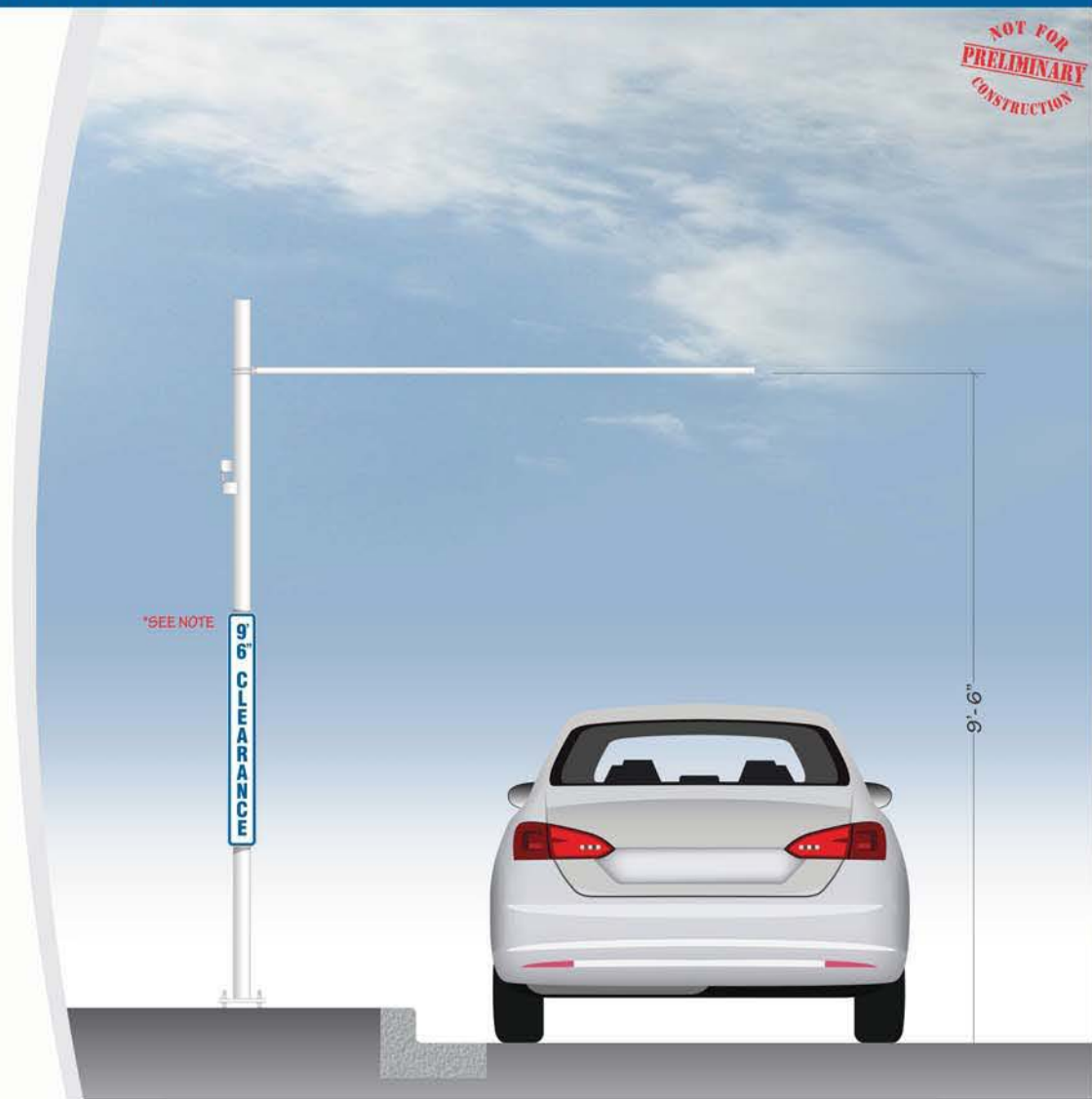
VHD-1

All steel (painted) construction

Re-settable if engaged

Used to help protect canopies from advancing vehicles that are too tall

NOTE: Clearance height must be verified prior to mfg.



NOT FOR
PRELIMINARY
CONSTRUCTION

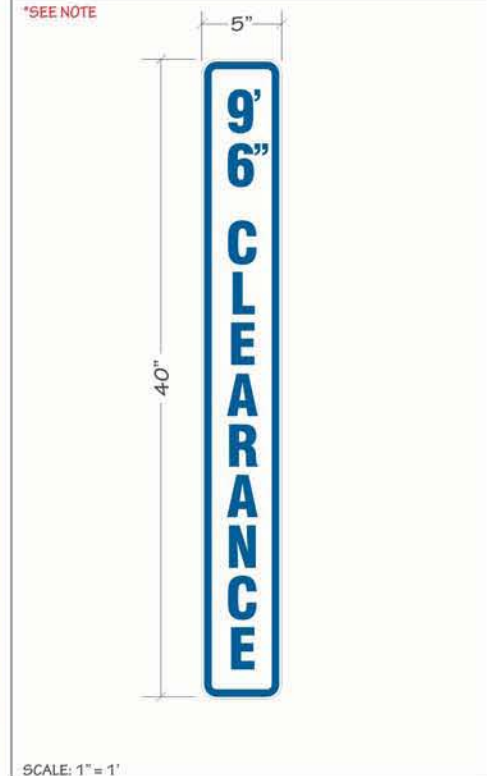
*SEE NOTE

9'-6"

SCALE: 1/2" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

CLEARANCE PANEL



SCALE: 1" = 1'

SALES PERSON: MARK WESSELL	DESIGNED BY: J WILSON	A0: 14390
-------------------------------	--------------------------	--------------

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8/31/17 - NEW	

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EXHIBIT III

Permitted and Special Uses

A. Permitted Uses

1. Amusement establishments including bowling alleys, indoor movie theaters, pool halls, dance halls, gymnasiums, swimming pools and skating rinks;
2. Animal hospital or veterinary facility;
3. Antique stores;
4. Apparel stores;
5. Art and school supply stores;
6. Art galleries;
7. ATM machines;
8. Auction rooms;
9. Audio recording sales;
10. Automobile parts, accessory and equipment stores;
11. Automobile dealership with indoor and/or outdoor sales and display areas and indoor vehicle repair and/or service facilities and body shop;
12. Automobile service station in conjunction with a department store, retail store, wholesale club, or wholesale department store;
13. Bakeries;
14. Banks, credit unions and financial institutions with drive-through services;
15. Barber shops;
16. Beauty parlors;
17. Bicycle sales, rental and repair;

18. Blueprinting and photocopying establishments;
19. Book and stationery stores (with or without coffee shop and/or eatery);
20. Building material and home improvement stores;
21. Business, professional and medical offices;
22. Business machine sales and service;
23. Camera and photographic supply stores;
24. Candy and ice cream stores;
25. Carpet and rug stores;
26. Catering establishments;
27. China and glassware stores;
28. Clothing stores;
29. Clubs and lodges, private, fraternal, or religious;
30. Coffee shops;
31. Convenience stores, including those with 24 hour operations;
32. Coin and philatelic stores;
33. Communication towers;
34. Computer sales and service;
35. Currency exchanges and telegraph offices;
36. Custom dressmaking;
37. Delicatessens;
38. Department stores;
39. Drive-in or drive-through in conjunction with other permitted uses including but not limited to restaurants, drug stores, pharmacies, ice cream parlors, coffee shops; juice shops, banks, credit unions and financial institutions;

40. Drug stores including those with 24 hour operations;
41. Dry cleaning establishments;
42. Electronics stores, including radio, television, computer, appliance, and stereo sales and service;
43. Employment agencies;
44. Flower shops;
45. Frozen food stores, including locker rental;
46. Furniture stores, including upholstery as an accessory use;
47. Furriers, including storage and conditioning of furs as an accessory use;
48. Garden supply and seed stores, including outdoor garden area as accessory use to a home improvement store or other principal retail use;
49. Gift and card shops;
50. Greenhouses;
51. Grocery stores, including those with 24 hour operations;
52. Hardware stores;
53. Health clubs; physical therapy; gymnasiums; and other physical fitness establishments;
54. Hobby shops;
55. Household appliance stores;
56. Interior decorating shops, including upholstery and making of draperies and similar articles as an accessory use;
57. Jewelry stores;
58. Job printing shops;
59. Juice shop;

60. Laundries, automatic self-service or hand, including coin operated;
61. Leather goods and luggage stores;
62. Libraries;
63. Liquor stores, retail;
64. Loan offices;
65. Locksmith shops;
66. Mail order establishments;
67. Meat markets;
68. Medical and dental clinics;
69. Medical and dental laboratories;
70. Meeting halls;
71. Motorcycle dealership including repair facilities completely enclosed within the building and a paved outdoor training area for motorcycle riders, which may also be used as overflow parking.
72. Musical instrument sales and repair;
73. Newspaper offices, not including printing;
74. Nursery schools and day care centers;
75. Office supply stores;
76. Opticians and optometrists;
77. Orthopedic and medical appliance stores;
78. Paint and wallpaper stores;
79. Pet shops;
80. Photography studios;
81. Picture framing;

82. Post office;
83. Radio and television service and repair;
84. Radio and television studios;
85. Recording studios;
86. Recreational buildings or community centers;
87. Research and testing laboratories;
88. Restaurants, including live entertainment;
89. Sale of building materials;
90. Schools: music, dance, business, commercial, trade or technical
91. Sewing machine sales and service;
92. Shoe and hat repair stores;
93. Shoe stores;
94. Sporting goods store;
95. Tailor shops;
96. Telephone exchanges, telephone transmission equipment building, and electric distribution centers;
97. Tobacco shops, retail only;
98. Toy stores;
99. Travel agencies;
100. Undertaking establishments and funeral homes;
101. Video and music sales and rental;
102. Vehicle service facilities
103. Watercraft dealership, sales, rentals, parts and accessory sales, service and repair;
104. Wholesale establishments;

105. Any use otherwise permitted in the underlying Zoning District in which the lot is located

B. Special Uses

Special Uses: A special use may be granted for any special use allowed in the underlying zoning district, not otherwise herein designated as a Permitted Use.

C. Accessory Uses

The following shall be allowed as permitted accessory uses:

1. Outdoor dining accessory to a restaurant, including recorded sound, provided that the sound level does not exceed 60 decibels as measured at the property line in any residence district and the recorded sound is not generated between the hours of 10:00 p.m. and 10:00 a.m. of the following day.
2. The use of private walkway areas and not more than 25 parking spaces on a lot as an Outdoor sales area accessory to a motorcycle dealership within 250 feet of the motorcycle dealership building during business hours, without limitation as to the number of days of operation; the incidental sale of food and beverages is permitted.
3. Temporary Outdoor sales areas and/or Temporary outdoor entertainment and dining accessory to a motorcycle dealership located within the PUD, collectively described as "Special Events", subject to the following:
 - a. No more than four Special Events per calendar year of not more than two days each, the schedule for which shall be subject to approval by the CITY so as to avoid conflicts between the Special Events and major festivals or events occurring in the CITY including but not limited to the Flea Market held at the Kane County Fairgrounds, RiverFest, Bloomington Gold, Scarecrow Festival,

Sisters Weekend, and the St. Patrick's Parade. Determination as to potential for conflict shall be as determined by the Director of Community Development, who shall consider traffic congestion and impact on public facilities.

- b. Permitted only during business hours or between the hours of 10:00 am and 7:00 pm, whichever is more restrictive.
 - c. May be located anywhere within a lot containing a motorcycle dealership, subject to the approval of the Building Commissioner as to safe emergency and vehicular access.
 - d. May include inside and/or outside food and beverage sales, tents, and live entertainment.
 - e. Shall not produce sound levels in excess of 60 dBA as measured at the property line of a residential district.
4. Automobile laundries accessory to an automobile dealership or automobile service station;
 5. Other accessory uses as permitted within the underlying zoning district.

**Exhibit IV
Development Standards**

A. Minimum Setbacks:

From Main Street/Route 64	Building setback: 40 ft. Parking/paving setback: 25 feet
From Oak Street	20 feet for buildings, parking and paving
From Randall Road	Building setback: 40 feet Parking/paving setback: 25 feet
From interior lot lines, except along centerlines of roads or drives, common building walls, or shared parking areas	20 feet for buildings; 10 feet for parking and paving
From interior lot lines that are the centerline of roads or drives, common building walls, or shared parking areas	None

B. Maximum Floor Area Ratio:

The maximum floor area ratio within the Zylstra Property as a whole shall be 0.30

C. Lot Area and Depth:

There shall be no minimum lot area or minimum lot depth required within the Zylstra Property.

D. Building Height:

The maximum building height shall be 46 feet.

E. Outside Storage:

Except as permitted in the list of permitted uses in Exhibit III, all accessory outside storage shall be screened from view from adjoining property and from public streets, and shall not be located within a required yard or setback adjoining a public street.

**Exhibit V
 Signs**

Signs accessory to a use within the Zylstra Property may be located anywhere within the Zylstra Property, and when so located shall not be considered to be off-site or advertising signs.

The design of all freestanding signs shall generally conform with the Sign Plan which is part of the approved PUD Preliminary Plan. Where signs are to be located on a wall of a multi-tenant shopping center, they shall be located at a generally uniform height on the building wall and shall not cover or overhang any architectural feature.

The following signs are permitted within the Zylstra Property:

1. Wall Signs: Wall signs are permitted on any side of a building, and there shall be no restriction on the color of any wall signs.

Maximum number	No limitation.
Maximum sign area	Square feet equal to 1 ½ times the linear frontage of the wall on which the sign is located

2. Freestanding Signs:

The anticipated location of the freestanding signs is shown on the PUD Preliminary Site Plan, but any freestanding signs may be relocated without amending the PUD Preliminary Plan if their locations conform with the setback requirements.

Type I: Randall Road and Main Street “Community Signs”

Maximum Number	2 (for the entire Zylstra Property)
Maximum Height	30 feet
Maximum Area	225 square feet per sign face (not including any structural elements or architectural features lying outside the display area of the sign.)
Setbacks	Route 64 – 10 feet Randall Road - 10 feet Other lot lines – 10 feet

Type II: (Monument)

Maximum number	One per outlot
Maximum height	10 feet above grade of adjoining street curb (or pavement edge if no curb exists)
Maximum area	30 square feet per sign face (not including any structural elements or architectural features lying outside the display area of the sign.)
Setbacks	10 feet

Type III: Entry Sign

Maximum number	One for the entire Zylstra Property
Maximum height	25 feet
Maximum area	150 square feet
Setbacks	10 feet

Exhibit VI Parking and Loading

All off-street parking areas shall be designed, improved and landscaped in conformance with the provisions of the Zoning Ordinance in effect at the time of issuance of a building permit, except as modified by the following requirements:

1. Motorcycle dealerships shall provide not less than three (3) parking spaces per 1000 square feet of floor area (as defined in the Zoning Ordinance) of all uses within the building related to the dealership, such as sales area, offices, and service; The "Riders Edge" motorcycle training area depicted on Exhibit VII is not required to be striped for parking, but may be striped in the event it is no longer used as a motorcycle training area.
2. Except for motorcycle dealerships, any lot with mixed uses shall prorate its number of required parking spaces for the square footage of each separate use located on the Lot.
3. Surfacing: Off-street parking spaces and access drives shall be graded and paved using asphalt, bituminous concrete, Portland cement concrete, concrete pavers, clay pavers, any comparable materials, or any combination thereof;
4. Marking: Parking spaces within Lots shall be delineated with paint or other permanent materials which shall be maintained in clearly visible condition. Handicap spaces shall be identified with a sign visible at all times of the year, regardless of snow cover, plant growth, or similar conditions;
5. Drainage: Off-street parking facilities shall comply with the requirements of Title 18 of the St. Charles Municipal Code, as amended.
6. Screening: Landscaping along all public streets shall provide a minimum of fifty percent (50%) screening of the parking areas, measured horizontally as viewed from Main Street and Randall Road; such screening shall be at least 18 inches but not more than thirty (30) inches in height above the parking area pavement grade adjoining the screening area. Berming and decorative walls may be used in conjunction with plantings to obtain the required screening.
7. 10% Landscaping: The requirement of the St. Charles Zoning Ordinance for 10% of a lot to be landscaped may be satisfied for that part of the

Zylstra Property located more than 250 feet from the Route 64 or Randall Road right of way by calculating its landscape area collectively, and individual lots need not conform with the 10% requirement so long as the total landscape area within the area located more than 250 feet from Route 64 or Randall Road is in conformance with the 10% requirement; stormwater detention facilities the area more than 250 feet from Route 64 or Randall Road may be included as landscape area. All lots or portions of lots located within 250 feet of Route 64 or Randall Road shall conform with the 10% landscaping requirement in accordance with the St. Charles Zoning Ordinance.

8. Tree Plantings: A minimum of one (1) tree shall be planted or preserved on each Lot for every ten (10) parking spaces in an off-street parking area located on the respective Lot. All trees to be planted must be at least 2-1/2 inches in caliper-width.
9. Tree Planting Credits: Lots shall be credited the equivalent of one (1) tree for each tree planted on Lots devoted primarily to stormwater detention, up to thirty percent (30%) of the total number of trees otherwise required to be planted on the respective Lot pursuant to the provisions herein. The total number of Tree Planting Credits provided throughout the Subject Property shall not exceed the total number of trees planted on Lots devoted to stormwater detention.
10. Training Area: The “Riders Edge” motorcycle training area depicted on Exhibit VII is not required to be striped or lighted as a parking area and need not conform to the Tree Planting requirements of this section.
11. Landscaping West of Training Area: Developer shall provide a landscaping buffer and low berm along the westerly edge of the Service Road for the length of the “Riders Edge” motorcycle training Area. The landscaping set forth on the Preliminary Plan satisfies this requirement.
12. Maintenance: All landscaping shall be properly maintained in good health.
13. General Landscaping: The Lots shall be landscaped in substantial conformance with the approved Preliminary Plan and the approved final landscape plans for each Lot.

Exhibit VIII Architectural Guidelines

A. Articulation of Building Facades

Intent: To reduce the apparent bulk of buildings and relate them to a human scale.

1. Building walls that are visible from any public street, or from an internal circulation road that provides access to two or more buildings, should incorporate

architectural features such as arcades, arbors, windows, doors, entryways, awnings, pilasters, cornices, decorative banding, and other decorative features comprising at least twenty-five percent (25%) of the visually prominent walls, as measured in square feet of wall area.
2. All building walls that face the street should have at least two (2) of the following architectural features to avoid the appearance of blank walls facing the street:
 - i. change in wall plane of at least two (2) feet,
 - ii. change in wall texture or masonry patterns,
 - iii. transparent windows,
 - iv. columns or pilasters.
3. Building entryways and pedestrian routes should offer protection from weather such as overhangs, awnings, canopies, etc.
4. Building design should include features to add identity and architectural interest such as projecting cornices, medallions, lighting fixtures, art work, belt courses of a different color or texture, pilasters, etc.
5. Predominant façade colors should be subtle, neutral or earth-tones. Primary colors, high-intensity colors, or fluorescent colors, and black are prohibited as predominant façade colors. Building trim and accent areas may be brighter and include primary colors.

B. Windows and Transparency

Intent: Allow people outside commercial buildings to see activity within, and

allow people inside to see activity and weather conditions outside.

1. Retail buildings and tenant spaces with 30,000 square feet or less of gross floor area should provide windows so that the first floor is transparent from a height of eighteen (18) inches to a minimum of seven (7) feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the facade, and should include a public entrance. Windows shall be predominantly clear glass recessed or projected in the wall plane to create shadow and visual interest, and should include visually prominent sills or other appropriate forms of framing. Awnings, pilasters or columns may be used to accentuate window openings and add interest to the design of the building.
2. Development of the outlots should help define and enhance the character of the public street frontage by placing outlot buildings near the street with showcase windows and architectural features oriented toward the street as well as to the interior parking lot.

C. Building Entrances and Pedestrian Walkways

Intent: People should be able to tell where building entrances are located, and walking into the building should be a pleasant experience.

1. Buildings should have a public entrance on a façade that faces a public street or private drive that provides primary access.
2. All public entrances should be articulated from the building mass. Examples of such articulation include: canopies or porticos, overhangs, arcades, raised corniced parapets over the door, peaked roof forms, arches, outdoor patio or seating areas, display windows, details such as tile work and moldings integrated into the building design, and integral planters or wing walls that include landscaping or seating.
3. Within the area adjoining any building facade which faces a parking lot and contains a public entrance, landscape islands adjoining or parallel to the building foundation not less than eight (8) feet in width should be provided within 60 feet of the building facade. The length of such landscape islands should be approximately 50 percent of the length of the building façade, with a minimum of 25 percent and a maximum of 75 percent.
4. Pedestrian routes to building entrances should be marked with pavers, striping, or delineated by the design and location of landscape features.

D. Roof Design

Intent: Roofs should be designed to add visual interest to the building, to conceal necessary service equipment, and to establish the building's identity.

1. For any roof other than a flat roof, that is visible from any public street or from an internal circulation road that provides access to two or more buildings, no more than 100 feet of the roof line, measured horizontally, should be designed without changes in height or the incorporation of a major focal points, such as a dormer, gable or projected wall feature. Flat roofs should be designed so that there is at least one change in the height of the wall or parapet for each 200 linear feet of roof line.
2. Exposed roof materials shall be similar to, or an architectural equivalent of asphalt or fiberglass shingle, wooden shingle, standing seam metal roof or better. The roof of any building may be flat.
3. Parapets should feature three-dimensional cornices or other shadow-creating detail elements along their tops.
4. Mansard roof designs are discouraged.
5. "Green roof" designs are encouraged.
6. Pipe stacks and similar appurtenances that are required by code and cannot reasonably be hidden should be concealed as much as possible by location and coloring.

E. Building Wall Materials

Intent: Buildings should be constructed of quality materials that reduce maintenance costs over the life of the building and reinforce the character of the community. Building materials should relate to traditional building materials used historically in Kane County, or should be selected to support a high quality architectural design that establishes a unique character for the site or building. Building materials that are encouraged include:

1. Approved Materials
 - a. Brick

- b. Wood
 - c. Native or architectural cast stone
 - d. Tinted and/or textured concrete masonry units
 - e. Stucco
 - f. Tilt-up concrete panels designed with an architectural pattern or a brick veneer are permitted; plain concrete panels are prohibited
 - g. Glass
 - h. High quality architectural metal surfaces, not including residential style metal siding.
2. Prohibited Materials
- a. Smooth-faced, untinted concrete masonry units
 - b. Exterior Insulation Finish Systems on the ground floor
 - c. Vinyl
 - d. Plain tilt-up concrete panels

F. Screening of Mechanical Equipment

As viewed from ground levels at a variety of locations, all mechanical equipment located on the roof or around the perimeter of a structure shall be screened by a raised parapet or with a structure comparable and compatible with the exterior building materials.

- a) A raised parapet or other architectural feature that is an integral part(s) of the building may be required as screening for rooftop mechanical equipment or to soften rooftop views.
- b) Screening for rooftop mechanical equipment shall incorporate similar architectural features of the building and/or be constructed of a material and color compatible with other elements of the building.
- c) Incidental rooftop equipment deemed unnecessary to be screened by the Director of Community Development or a designee shall be of color to match the roof or the sky, whichever is more effective.

- d) Equipment used for mechanical, processing, bulk storage tanks, or equipment used for suppressing noise, odors, and the like that protrudes from a side of a building or is located on the ground adjacent to a building shall be screened from public view as much as practical with materials matching the design of the building. Where miscellaneous exterior equipment cannot be fully screened with matching building materials, landscaping may be used as additional screening.

G. Colors

Garish or bright accent colors (i.e., orange, bright yellow, or fluorescent colors) on any portion of the building such as trim, banding or patterns on walls, cloth or metal awnings, entryway features shall be minimized, but in no case shall such coloring exceed 10% of each wall area.

H. Compatibility within the Development

The buildings to be developed within the Zylstra Property shall be compatible and harmonious with each other in their exterior architectural design features. Compatibility of architectural design features may be achieved by similarity of some design elements, while allowing dissimilarity of others. Buildings shall be considered compatible if at least three of the following five design elements are similar, as determined by the City Council, when comparing any proposed building with the motorcycle dealership building:

- a. Type of materials (brick, stone, wood, metal, etc.)
- b. Colors and textures of exterior surfaces
- c. Architectural scale (size and height of buildings, both actual and perceived)
- d. Placement and rhythm of doors, windows, wall planes, visible wall joints, and visible roof elements
- e. Architectural style (examples of architectural style include reference to recognized historic or modern architectural styles, repetitive use of particular shapes, angles, features such as cornices, type of roof, etc.)

**Exhibit IX
 Site Lighting Requirements**

1. All exterior lighting shall be designed, shielded and directed so that light from the lamp (point light source) is not directly visible from other properties or public rights-of-way. This can be accomplished using luminaries which a) by their design, direct the light downward; b) have opaque shielding installed that prevents direct illumination from reaching adjacent properties or public rights of way; or c) utilize a translucent material to diffuse the light. No exterior lighting shall be maintained on a lot so as to shine into, or upon, any other lot or any right of way with an intensity great enough to reduce a viewer’s ability to see, or to cause momentary blindness.
2. Exterior lighting shall be designed and maintained at or below the following average foot-candles, as measured horizontally at the property line:

1. Residential to residential:	Horizontal foot candles: 0.5
2. Nonresidential to nonresidential	Horizontal foot candles: 2.0
3. Nonresidential to residential:	Horizontal foot candles: 0.5
4. Right of way, except motor vehicle sales display lots:	Horizontal foot candles: 0.5
5. Right of way, motor vehicle sales display lots:	Horizontal foot candles: 20.0

3. Interference with Traffic Safety

The following are specifically prohibited:

- a. Exterior lighting used in a manner that could interfere with the safe movement of motor vehicles on public streets and alleys.
- b. Any light that could be confused with, or construed as, a traffic control device, unless authorized by State, Federal, City or County government.

4. Uniformity

The uniformity ratio of exterior lighting for all property other than one and two family dwellings and townhomes, as defined by the Illuminating Engineering Society of North America (IESNA), shall be 4:1.

5. Uplighting and Architectural Lighting

Uplighting and architectural lighting is permitted to light a building façade, walkway, driveway, landscaping, sign or primary entrance, provided that all direct illumination from uplighting shall be directed onto the building wall, walkway, driveway, landscaping, sign or entrance it is intended to illuminate, and the light intensity at the property line does not exceed the light trespass standards specified in the preceding paragraph F. Illumination to highlight architectural features may include lines of low-intensity unshielded incandescent bulbs of a single color, or neon tube type lighting, but only where such lighting is consistent with and will enhance the architectural character of the building and does not constitute part of a sign, trademark, or other advertising display.

6. Building Mounted Luminaires

- a. Luminaires mounted on buildings other than one and two family dwellings and townhomes shall be a non-adjustable full cut-off design and shall be directed downward at an angle of no greater than 45 degrees from the vertical plane. No luminaire mounted on a building shall project above the height of the building.
- b. Luminaires exceeding 2000 lumens mounted on one and two family dwellings and townhomes shall be a non-adjustable full cut-off design and shall be directed downward at an angle of no greater than 45 degrees. No luminaire mounted on a building shall project above the height of the building.

7. Canopy Lighting

Luminaires mounted on gas station and drive-through canopies shall be a full cut-off design and shall be directed downward at an angle of no greater than 45 degrees from the vertical plane, or may be completely recessed under the canopy with flat lenses. Light intensity shall not exceed twenty (20) foot candles at ground level under the canopy or elsewhere on the site. All lighting mounted under the canopy, including auxiliary lighting within signage and panels over the pumps, shall be included in the twenty (20) foot candle limit.

If necessary due to the design of the luminaires selected, the sides (fascia) of the canopy shall extend below the lens of the luminaires at least 12 inches to block direct view of the light sources from the property line.

8. Light Pole Height

The maximum height of light poles, as measured from finished grade at the base to the bottom of the luminaire, shall not exceed the maximum building height in the zoning district in which they are located.

9. Blinking Lights

Blinking, flashing, moving, revolving, flickering, changing intensity and changing color lights shall be prohibited, except for temporary holiday displays, lighting for public safety or traffic control, or lighting required by the FAA or other governmental agency for air traffic control and warning purposes.



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3c

Title:

Discussion regarding Design Guidelines and Standards for Traditional Residential Districts

Presenter:

Russell Colby

Meeting: Planning & Development Committee

Date: October 9, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary (if not budgeted please explain):

Background

Single-family residential zoning districts in the City are divided between two types: RT- Traditional Districts (areas primarily constructed before World War II) and RS- Suburban Districts (constructed later). RT-zoned neighborhoods are characterized by smaller, narrow lots and detached or less prominent garages.

When the City was rewriting the Zoning Ordinance in 2006, the trend of teardown and infill development was beginning, and the decision was made to write zoning requirements tailored to the older neighborhoods. New regulations for building size, height, setbacks and garage location were created based upon data from existing neighborhoods.

At that time, there was also a discussion regarding exterior architectural design. A decision was made not to regulate architectural design in RT neighborhoods, but rather create a staff-level advisory process (“Residential Architectural Consultation” or RAC) to share comments with building permit applicants on how plans could be revised to be more compatible with older neighborhoods. This advisory process was in effect from 2006 to 2015.

In 2015, staff and Plan Commission reviewed the buildings that had been constructed under the staff RAC review, and concluded that the process had been somewhat effective, but could be improved by creating specific Standards and Guidelines. Standards and Guidelines would provide clearer direction to permit applicants and City staff conducting the review.

Standards and Guideline for the RT districts were added to the Zoning Ordinance in 2015. The Standards and Guidelines do not require specific architectural styles or exterior building materials; rather they are written to encourage incorporation of design features that are found in traditional neighborhoods, addressing items such as appearance of a garage, front door location, distribution of windows, and use of consistent siding materials and trim on all elevations. The code includes many “Guidelines” which are more advisory in nature, and only a few “Standards”, which are binding requirements that must be complied with.

Recent appeal regarding property on S. 3rd St.

The Plan Commission recently reviewed an appeal to the staff interpretation of the Design Standards and Guidelines as applied to a house being constructed out of metal shipping containers on S. 3rd St. Staff identified the plans submitted for building permit did not comply with a standard that requires “360 degree architecture”, which requires buildings to have a consistent appearance when viewed from all sides. This Standard is intended to prevent a building with a front elevation that greatly differs from the side and rear elevations. The Plan Commission affirmed the staff interpretation, and the permit applicant was required to modify the plans to comply with the Standard as directed by staff prior to the building permit being issued.

Plan Commission Discussion

In response to the issues raised during the appeal, including comments received from residents of the neighborhood, the Plan Commission asked staff to schedule a discussion regarding the RT Design Standards and Guidelines. Two main discussion points were identified:

- The Standards and Guidelines do not regulate architectural style, but they require design elements that

are characteristic of traditional building styles, which creates conflicts in the review of a building with a modern architectural design.

- The Standards and Guidelines do not require that buildings be compatible with the surrounding neighborhood in terms of style, building form, roof type, materials, etc. Rather, these items are listed as “Guidelines” which are advisory and meant to be applied with flexibility.

The Plan Commission discussed this topic on 8/22/17. Minutes are attached. The consensus of the Plan Commission was as follows:

- **The Standard and Guidelines should be rewritten to require traditional building styles (form, roof type, materials, etc.) as a baseline.**
 - If staff reviews a permit application and finds that the plans conform to all of the requirements, then the permit can be issued administratively, without any further review by a Commission.
- **Buildings that do not meet the baseline standards (for example, different architectural styles, flat roofs, non-standard building materials, etc.) would need to be reviewed and approved by the Plan Commission:**
 - The review process would require a permit applicant to submit supplemental information in support of their proposal, including an explanation of how the plans meet the intent of the Design Standards/Guidelines and a rendering or streetscape view showing how the building would appear within the context of the neighborhood.
 - The Plan Commission would function like an architectural review board, and could negotiate with the applicant to improve the design or make it more compatible with the neighborhood.
 - Neighboring property owners would receive a letter from the City notifying them that plans for a house would be reviewed at a meeting. (This would be a letter only, not a public hearing notice.)
 - The Plan Commission felt this process would not be seen as onerous because a permit applicant has the option of simply following the Standards/Guidelines and bypassing any Commission review.

Staff Perspective on Plan Commission proposal

Staff sees potential benefits to this type of process that could extend to other code regulations and other zoning districts. Currently, the Zoning Ordinance includes specific numerical requirements for building and landscape design with little flexibility for design alternatives. Staff devotes a significant amount of effort assisting developers on meeting these requirements, which often do not greatly improve the quality of a project. The type of Design Review process proposed by the Plan Commission would give applicants a simpler option to request a Commission-level design review for unique projects, without needing to request a deviation be granted through a PUD, which is a lengthy and burdensome process.

Note that the City has two Commissions with expertise in the areas of architectural review- the Plan Commission and the Historic Preservation Commission. Both could conduct this type of review. Staff sees a benefit to having the Plan Commission with this review authority, because the design review may overlap into other areas of zoning regulation that the Plan Commission is more familiar with, such as landscape requirements.

Attachments (please list):

From Chapter 17.06 of the Zoning Ordinance, “Design Review Standards and Guidelines”
Plan Commission minutes from 8/22/17
Letters/comments from residents

Recommendation/Suggested Action (briefly explain):

Any change to the code would require filing of an application for General Amendment to the Zoning Ordinance. This process would require a public hearing before Plan Commission, followed by P&D Committee review and City Council vote on an ordinance amendment.

Provide direction to Staff:

1. Direct staff to file a General Amendment based on the Plan Commission recommendation.
2. Direct staff to research other alternative scenarios for a Design Review process, and return before the Committee for further discussion.
3. Leave the code as is (no further action).

17.06.010 – How to use this chapter

1. Standards and Guidelines

The Standards and Guidelines of this Chapter shall apply to applications for Building Permits and Site Development Permits as provided in Section 17.04.230 (Design Review). The Standards and Guidelines of this Chapter shall also apply to applications for Special Uses (Section 17.04.330) and Planned Unit Developments (Sections 17.04.400, et seq.).

The provisions of this Chapter include “Standards” and “Guidelines”, both of which must be addressed in order to obtain Design Review approval. “Standards” are specific requirements that must be met. A Standard typically offers little flexibility unless options are provided within the Standard itself. A Standard may establish requirements not otherwise contained in this Title, or may refer to other requirements more fully set forth elsewhere in this Title or the St. Charles Municipal Code. “Guidelines” are descriptions of design characteristics intended to be applied with flexibility. Where a proposed design does not precisely follow the guideline, it may still be acceptable if the applicant can show how it meets the intent for that group of standards and guidelines and the purpose and intent of this Title, in particular Section 17.04.230.

2. Applicability of Building Design and Material Standards to Existing Buildings

Existing buildings that do not comply with the building design or building materials standards of this Chapter shall comply with the following standards:

1. Building alterations or additions constructed primarily at the side or rear of a building may be constructed with the same design and materials as the remainder of the building, provided an addition does not exceed 50% of the gross floor area of the existing building.
2. Any building additions to, or reconstruction of, street-facing building elevations shall comply with this Chapter to the extent practical to achieve a cohesive architectural design for the building. The Director of Community Development may grant exceptions where an applicant can demonstrate that conformance would be incongruous with the architecture of the building or would be impractical to construct (for example, re-facing a building façade with masonry material where no foundation exists to support the masonry).

[\(2011-Z-1](#) [1]: § 3 and 4)

DESIGN STANDARDS & GUIDELINES

For single and two-family dwellings in the RT-1, RT-2, RT-3, RT-4, and CBD-2 only.

A. Site Layout and Context

Intent: To ensure building placement is compatible with neighboring properties and reflects the development pattern of the surrounding neighborhood.

Standards:

1. Buildings facades shall be oriented to the street. Front facades should squarely face the street and should not be set at an angle. However if adjacent homes are set at an angle the new home may be similarly sited.
2. Site grading shall be consistent with that of adjacent properties. The slope and elevation of the property shall not be altered in such a manner that results in an artificial change of grade.
3. The amount of front or exterior side yard covered by driveways shall be limited per Section 17.24.070.Z

Guidelines:

1. Setbacks (front, side, rear) should generally follow the averages for the block on which the new house is located. Front and exterior side yard setbacks may be reduced based on averaging of existing principal building setbacks along the street frontage of a block- See Table 17.12-2 for setback requirements.
2. Building and site layout should be compatible with existing topography and vegetation. Preservation of existing trees, particularly older growth trees, is recommended.
3. The coverage of driveways and parking areas in the front and exterior side yards should be minimized to the greatest extent possible.

B. Garages

Intent: To reduce the appearance and prominence of garages in order to maintain a pedestrian friendly streetscape.

Standards:

1. Garages shall meet the provisions of Section 17.22.020 Accessory Buildings and Structures, including but not limited to: requirement to provide access from a public alley; limitations on garage door width; and requirements to set back street-facing attached garages from the remainder of the building.
2. Detached garages shall be consistent with the architectural style of the house. Use of similar window styles, exterior materials, and trim detailing is required.

Guidelines:

1. Detached or rear-loaded garages are recommended. A Building Coverage bonus shall be provided where a detached garage or an attached garage accessed via an alley is provided. See Table 17.12-2.
2. Street-facing doors on attached garages should incorporate glass panel windows.
3. The use of individual bay doors (single stall) is preferred over double-wide doors, particularly for street-facing attached garages. Stepped back, separate garage doors should also be considered to further soften the impact of a street-facing attached garage.

C. Massing and Proportion

Intent: To reduce the appearance of mass and to encourage new houses to match the scale of the existing neighborhood.

Standards:

1. Buildings shall comply with the Bulk Requirements provided in Table 17.12-2 (including setbacks, building coverage, and building height).

Guidelines:

1. Scale, proportions, and height, should be compatible with adjacent homes and with the general characteristics of homes in the surrounding neighborhood. For example, effort should be made to limit the height, or reduce the appearance of height, of a two-story house constructed among single-story houses.
2. Simple building forms and shapes are encouraged.
3. The following methods may be incorporated to reduce the apparent mass of a home:
 - a. Step back portions of the home. For example, set the second story back a number of feet from the first story or add an unenclosed porch on the first story.
 - b. Use dormers to break up roof mass, if consistent with the architectural style of the home.
 - c. Incorporate horizontal design detailing to visually break up flat walls. Examples include wide skirt boards, mid-section trim between stories, frieze boards along roof eaves, partial or complete gable returns, or a change in siding or masonry patterns or materials.

D. Roofs

Intent: To encourage roofs and rooflines that add character and interest to a home, while blending with the roof forms found throughout the existing neighborhood.

Guidelines:

1. The form, pitch, and scale of roofs should be compatible with the surrounding neighborhood.
2. Roof form, pitch, and scale should match the architectural style of the house.
3. Simple gabled and hipped roof forms are preferred.
4. Eaves that extend a sufficient distance to create shadow lines are encouraged if appropriate for the architecture of the structure.
5. The roof of the garage and other accessory structures should mimic the roof of the house in both form and pitch.
6. Mansard and flat roofs should be used only if appropriate for the architectural style of the house.

E. Architectural Details

Intent: To promote architectural interest and design that complements the traditional building styles found in older neighborhoods.

Standards:

1. “360 degree architecture” is required, meaning that facades must be designed to be viewed from all directions. At a minimum, the same window types and similar trim detailing to the front elevation must be used on the side and rear elevations.

Guidelines:

1. Use of masonry should be consistent on all façades. Use of masonry on the front façade only is discouraged.
2. The use of exterior trim detailing is recommended. In addition to window casing, such detailing includes: wide vertical corner boards, skirt boards, frieze boards, and mid-section trim.
3. The limited use of decorative elements such as gable trusses, exposed rafters, arched doors and windows, quoins, pediments, etc. is encouraged, provided such elements do not overwhelm or clutter the home’s appearance and are appropriate for the architectural style of the home.
4. All window openings should be articulated by window casing of at least four (4) inches if the primary wall material is siding.

5. Shutters should only be utilized where appropriate for the architectural style of the building. If shutters are used, they should exactly match the window size.
6. Chimneys should be masonry when located on a street-facing elevation.

F. Windows, Doors, and Entrances

Intent: To promote an inviting presence that contributes to the pedestrian friendly character of the neighborhood.

Guidelines:

1. The home's primary entrance should be located at the front of the house, facing the street.
2. The front entry should be the predominate feature on the front elevation. Multi-story entry features should be used only when architecturally appropriate.
3. Open, full-width front or wrap-around porches are recommended to emphasize the front entrance. Porches should be at least six (6) to eight (8) feet in depth and constructed in a manner so as to be fully functional. Porch detailing should be consistent with the architecture of the house.
4. Unenclosed Porches are permitted to encroach up to eight (8) feet into the front, exterior side or rear yards. Unenclosed porches are not included in the calculation of Building Coverage. For the definition of an Unenclosed Porch vs. Enclosed Porch and Building Coverage, see Ch. 17.30. For information on permitted yard encroachments, see Section 17.22.030.
5. Windows should be incorporated on all elevations.
6. Window openings and panes should be similarly proportioned throughout.
7. Windows should be placed in a manner that creates a balanced elevation on all sides of the house.
8. Double-hung or casement windows are preferred. The use of fixed and large, undivided pane windows should be limited.
9. The use of window muntins (divides) should be consistent for all windows.
10. The style of windows and doors (particularly the front door) should complement the architectural style of the house.
11. In addition to window casing, design elements such as window muntins (divides), window sills, and head trim, should be incorporated if such details are appropriate for the architectural style of the house.

G. Additions and Exterior Alterations

Intent: To ensure additions and exterior alterations are complementary to the existing home and blend with the neighborhood.

Standards:

1. Additions and exterior alterations shall abide by the applicable standards and guidelines in Section 17.06.060 A-F.

Guidelines:

1. Additions should match the scale and mass of the original structure.
2. Additions and exterior alterations should match the existing house in exterior materials, color, architectural style and detailing, window proportion and type, and roof form, pitch, and color.

**MINUTES
CITY OF ST. CHARLES, IL
PLAN COMMISSION
TUESDAY, AUGUST 22, 2017**

Members Present: Chairman Todd Wallace
Tim Kessler
Jeff Funke
James Holderfield
Tom Pretz
Peter Vargulich
Laura Macklin-Purdy
David Pietryla
Tom Schuetz

Also Present: Russell Colby, Planning Division Manager
Ellen Johnson, Planner

1. Call to order

Chairman Wallace called the meeting to order at 7:00 p.m.

2. Roll Call

Vice Chairman Kessler called the roll. A quorum was present.

3. Election of Officers.

Motion was made by Mr. Pretz and seconded by Ms. Purdy to elect Todd Wallace as Chairman and Tim Kessler as Vice-Chairman. Motion carried by a unanimous voice vote.

4. Discussion regarding Design Standards and Guidelines for the RT Traditional Residential Districts

Mr. Colby presented background information about the purpose of the Design Standards and Guidelines applicable to the RT Traditional Residential Districts, why the Design Standards and Guidelines were adopted, and what they do and do not require.

Commissioners were asked to provide feedback on the following questions posed by staff:

1. Should architectural style be regulated by the Design Standards and Guidelines?
2. Should the Design Standards and Guidelines stipulate allowable and/or prohibited architectural elements or building materials?
3. What review and approval process should be followed?

Several Commissioners agreed the Design Standards and Guidelines should not regulate architectural style or overly control design; this would prohibit creativity. Mr. Kessler noted that leaving the Standards/Guidelines more open-ended was the intent of the Residential Architectural Consultation

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process adopted in 2006 and the current Design Standards and Guidelines adopted in 2015. He felt zoning standards such as bulk and setback requirements are what make a structure fit the neighborhood.

Mr. Pretz felt that homes in the RT Districts should incorporate features to blend with the neighborhood; not requiring that does a disservice to the neighborhood and neighboring property owners. Exact style should not be dictated, but new homes should not stick out.

Jackie and Diane Stopka, residents, were present. They felt that more Standards are needed so that new structures are required to fit the general feel of the neighborhood. For example, pitched roofs should be required and certain materials should be prohibited. They felt that the Guidelines are not effective because they cannot be enforced.

Commissioners discussed whether certain building materials should be listed as permitted or prohibited. Some thought it would be difficult to do so and could stifle creativity. It was suggested that a materials list could be added as a Guideline instead of a Standard.

Mr. Funke suggested forming an architectural review committee made up of architects, similar to what exists in Arlington Heights. The committee would be charged with reviewing new development in the RT Districts. Mr. Pretz suggested the Historic Commission could take on this duty. Mr. Kessler felt design review is under the purview of the Plan Commission.

In terms of the review and approval process, Mr. Kessler supported the second option presented by Mr. Colby: Administrative review and approval with an option to request a Commission-level review under certain circumstances. Other Commissioners agreed with this option and discussed that if staff determines a proposed design does not meet certain Design Guidelines and the applicant believes they are still meeting the intent of the applicable section, they could present their design and rationale before the Plan Commission. The Plan Commission would then interpret whether the intent of the section is being met.

Mr. Colby estimated that in a given year, 10 to 15 new houses are constructed in the RT districts, so the Commission may review some portion of this number. Mr. Vargulich noted an applicant would still have the ability to bypass the Plan Commission review if they follow all of the Standards and Guidelines.

Mr. Funke said a street elevation drawing showing the proposed structure next to neighboring homes should be required for the design review to analyze how the building looks in the context of the neighborhood.

Mr. Colby noted the code would need to be changed to create a new process and each section of the design review chapter would need to be reviewed to determine how the existing Standards and Guidelines would apply under the new review process. There may be other changes needed.

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Commissioners felt neighboring property owners should be notified by mail when a design review interpretation is scheduled to come before the Plan Commission; however a public hearing should not be required.

Mr. Colby said the comments from the Plan Commission will be shared with the Planning & Development Committee at their meeting in October. The Committee will need to direct staff on whether to file a General Amendment application to amend the code. The proposed amendment text would then come before the Plan Commission for a public hearing and recommendation.

- 5. Additional Business from Plan Commission Members or Staff**
- 6. Weekly Development Report**
- 7. Meeting Announcements**
 - a. Plan Commission
 - Tuesday, September 5, 2017 at 7:00pm Century Station Training Room
 - Tuesday, September 19, 2017 at 7:00pm Council Chambers
 - Tuesday, October 3, 2017 at 7:00pm Council Chambers
 - b. Planning & Development Committee
 - Monday, September 11, 2017 at 7:00pm Council Chambers
 - Monday, October 9, 2017 at 7:00pm Council Chambers
- 8. Public Comment**
- 9. Adjournment at 8:34 p.m.**

From: bryan <bryanw92@hotmail.com>
Sent: Saturday, September 30, 2017 1:19 PM
To: Colby, Russell; Johnson, Ellen
Subject: Planning & Development Committee

Hi Russell,

I would like my concerns about the 'container house' located at 828 S 3rd Street passed along to the Planning & Development Committee for the October 9th Meeting.

I would like the Committee to consider incorporating a binding standard or code for the exterior design features of houses being built in more traditional neighborhoods so that we do not have 'container houses' or non-conventional houses being built in traditional neighborhoods that consist primarily of historical houses from the late 1800's and early 1900's. While I can appreciate the creativity and design behind the 'container house', it is completely out of character with the other houses located in the neighborhood. In my opinion, it will not add to the charm and character of the neighborhood. There is debate amongst the neighbors on whether or not it will impact the property values of houses located nearby in a negative manner or not. I don't know the answer to this, but I suppose time will tell.

I do believe that there are places for non-conventional houses like this in St. Charles, but not in traditional neighborhoods where it is obviously out of character like the 'container house'.

Thank you,

Bryan Wirball



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3d

Title:	Recommendation to approve an Ordinance Amending Title 2 of the St. Charles Municipal Code, Entitled “Administration”, Chapter 2.25 “Housing Commission” by amending Section 2.25.020 “Purposes” and Section 2.25.050 “Powers and Duties”.
Presenter:	Ellen Johnson

Meeting: Planning & Development Committee

Date: October 9, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

At the September 11, 2017 joint meeting of the City Council and Housing Commission, changes to Chapter 2.25 “Housing Commission” of Title 2 of the St. Charles Municipal Code were discussed, specifically changes to Section 2.25.020 “Purposes” and Section 2.25.050 “Powers and Duties”.

As discussed at the joint meeting, the Housing Commission has recommended changes to these sections in an effort to better reflect their role as an advisory commission to the City Council in matters related to affordable housing.

These changes are now proposed as an amendment to the Municipal Code.

Attachments *(please list):*

Redline of Changes; Proposed Ordinance

Recommendation/Suggested Action *(briefly explain):*

Recommendation to approve an Ordinance Amending Title 2 of the St. Charles Municipal Code, Entitled “Administration”, Chapter 2.25 “Housing Commission” by amending Section 2.25.020 “Purposes” and Section 2.25.050 “Powers and Duties”.

Chapter 2.25 of the St. Charles Municipal Code entitled "Housing Commission"

Section 2.25.020 "Purposes"

The purposes of the Commission shall include, but not be limited to the following:

- A. Advise the City Council on matters related to affordable housing policy;
- B. Preserve and maintain the existing affordable housing stock;
- C. ~~Maintain/~~Increase the availability of ~~attainable/~~affordable housing for all members of the community. ~~by working with the private sector and major employers in the community.~~
- D. Promote public awareness of the need for affordable housing;
- E. ~~Encourage and guide market forces to build new homes that meet the St. Charles Housing Endorsement Criteria, and~~

Section 2.25.050 "Powers and Duties"

The Commission may perform and exercise the following powers and duties:

- A. Provide advice to the City Council for increasing, retaining and rehabilitating affordable housing stock within the City of St. Charles by evaluating, setting priorities, and recommending affordable housing programs and policies, examples of which include Housing Trust Fund, Community Land Trust, Inclusionary Housing Ordinance, density bonus, fee-in-lieu of provision, etc.;
- B. Coordinate with other communities and governmental agencies in meeting the housing needs of low-income and moderate-income families in the a community;
- C. Establish liaisons with other groups interested in affordable housing in the City and the surrounding area;
- D. Work with ~~area~~ builders and developers in implementing affordable housing programs;
- E. Work with builders, developers, and community stakeholders to promote public awareness of the need for affordable housing;
- F. Develop programs that will assist in accessing new funding opportunities at the local, state and federal levels;
- G. Identify possible revenue streams to create and preserve homes that are priced to meet the needs of low- to moderate-income families;
- H. ~~Evaluate expansion of the City's Employer Assisted Housing as a tool to leverage private sector investment in workforce housing options; and~~
- I. Create mechanisms for increasing public awareness and educating residents regarding the needs for affordable/~~attainable~~ housing.

City of St. Charles
Ordinance No. 2017-M-

An Ordinance Amending Title 2, “Administration”, Chapter 2.25 “Housing Commission”, Section 2.25.020 “Purposes” and Section 2.25.050 “Powers and Duties” of the St. Charles Municipal Code

WHEREAS, the City of St. Charles has established a Housing Commission to address housing issues of concern to the City; and

WHEREAS, the City Council, after discussion with the Housing Commission, deems it is necessary to update and add clarification to the purposes and powers and duties of the Housing Commission.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. That Title 2, “Administration”, Chapter 2.25 “Housing Commission”, Section 2.25.020 “Purposes” of the St. Charles Municipal Code be and is hereby amended by deleting said Section 2.25.020 in its entirety and by substituting the following therefor:

“2.25.020 Purposes

The purposes of the Commission shall include, but not be limited to the following:

- A. Advise the City Council on matters related to affordable housing policy;
- B. Preserve and maintain the existing affordable housing stock;
- C. Increase the availability of affordable housing for all members of the community;
- D. Promote public awareness of the need for affordable housing.”

2. That Title 2, “Administration”, Chapter 2.25 “Housing Commission”, Section 2.25.050 “Powers and Duties” of the St. Charles Municipal Code be and is hereby amended by deleting said Section 2.25.050 in its entirety and by substituting the following therefor:

“2.25.050 Powers and Duties

The Commission may perform and exercise the following powers and duties:

- A. Provide advice to the City Council for increasing, retaining and rehabilitating affordable housing stock within the City of St. Charles by evaluating, setting priorities, and recommending affordable housing programs and policies, examples of which include Housing Trust Fund, Community Land Trust, Inclusionary Housing Ordinance, density bonus, fee-in-lieu of provision, etc.;
- B. Coordinate with other communities and governmental agencies in meeting the housing needs of low-income and moderate-income families in the a community;

- C. Establish liaisons with other groups interested in affordable housing in the City and the surrounding area;
- D. Work with builders and developers in implementing affordable housing programs;
- E. Work with builders, developers and community stakeholders to promote public awareness of the need for affordable housing;
- F. Develop programs that will assist in accessing new funding opportunities at the local, state and federal levels;
- G. Identify possible revenue streams to create and preserve homes that are priced to meet the needs of low- to moderate-income families;
- H. Create mechanisms for increasing public awareness and educating residents regarding the needs for affordable housing.”

3. That after the adoption and approval hereof this Ordinance shall be printed or published in book or pamphlet form, published by the authority of the City Council.

PRESENTED to the City Council of the City of St. Charles, Illinois this 16th day of October 2017.

PASSED by the City Council of the City of St. Charles, Illinois this 16th day of October 2017.

APPROVED by the Mayor of the City of St. Charles, Illinois this 16th day of October 2017.

Raymond P. Rogina, Mayor

Attest:

City Clerk/Recording Secretary

COUNCIL VOTE:

Ayes:

Nays:

Abstain:

Absent:

APPROVED AS TO FORM:

City Attorney

DATE:_____