

**AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. PAUL LENCIONI – CHAIR
MONDAY, OCTOBER 9, 2023 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. CALL TO ORDER

2. ROLL CALL

3. OMNIBUS VOTE

Items with an asterisk (*) are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

4. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Consideration of request to donate Dean St. lot to Habitat for Humanity
- b. Plan Commission recommendation to approve a PUD Amendment for 405 Illinois Ave., Heritage Square II PUD.
- c. Historic Preservation Commission recommendation to approve Historic Landmark Designation for 405 Prairie St., “William and Martha Klinkey”

5. PUBLIC COMMENT

6. ADDITIONAL ITEMS FROM MAYOR, COUNCIL OR STAFF


7. EXECUTIVE SESSION

- Personnel – 5 ILCS 120/2(c)(1)
- Pending, Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

8. ADJOURNMENT

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 4a
	Title:	Consideration of a Request to Donate the City-owned Lot at Dean & N. 15th Streets to Habitat for Humanity of Northern Fox Valley	
	Presenter:	Ellen Johnson, Planner	
Meeting: Planning & Development Committee		Date: October 9, 2023	
Proposed Cost: N/A		Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
TIF District: None			
<p>Executive Summary (if not budgeted, please explain):</p> <p>In 2018, the City allocated a portion of the St. Charles Housing Trust Fund to the Kane County Affordable Housing Fund (AHF) to be made available to developers proposing to undertake affordable housing projects in St. Charles. The AHF was created by the County to provide gap financing to developers seeking to approve and/or develop affordable housing in Kane County. The Fund includes federal HOME and CDBG funds in addition to the City's contribution. Developers apply for funds during the County's annual application cycle. The St. Charles Housing Commission is responsible for approving financing for projects proposing use of St. Charles Housing Trust Fund. (Resolution No. 2018-84)</p> <p>Kane County issued its annual call for proposals in June of 2023. Habitat for Humanity of Northern Fox Valley submitted a request for funding to support construction of two affordable single-family homes in Kane County. During this time, it was identified by City staff that a City-owned lot located at the southwest corner of Dean & N. 15th Streets ("Dean Street Lot") may present an opportunity for affordable housing.</p> <p>The Kane-Elgin HOME Commission, at the recommendation of Kane County Staff, recommended approval of funding in the amount of \$230,000 to Habitat for Humanity of Northern Fox Valley, which includes \$115,000 in federal funds from Kane County and \$115,000 from the St. Charles Housing Trust Fund. It also recommended the City of St. Charles transfer the Dean Street Lot to Habitat for construction of one of the homes. Note- the \$230,000 in funding is for two houses, one of which must be located in St. Charles. The \$115,000 from the City will only be used for the St. Charles project. Habitat is contributing \$285,500 for the two projects from other funding sources.</p> <p><u>Housing Commission Recommendation</u></p> <p>The St. Charles Housing Commission received the Kane-Elgin HOME Commission's recommendation and approved funding in the amount of \$115,000 to Habitat for Humanity of Northern Fox Valley for construction of a home in St. Charles. Funding is in the form of a 0% interest forgivable loan. Once the home is constructed, Habitat will transfer ownership of the house to a qualified homebuyer. The homebuyer will have an income that is at or below 80% of the Area Median. The affordability period will be at least 20 years.</p> <p>The Housing Commission also recommended City Council approve transfer of the Dean Street Lot to Habitat for this purpose.</p> <p><u>Dean St. Lot Background</u></p> <p>The lot was originally platted in 1908 as Lot 2 of the William Balis Subdivision. It is unclear when it was first acquired by the City. In 1983, the City dedicated a portion of the lot as public right-of-way for extension of N. 15th St. to Dean St. The City retained ownership of the remaining portion. The City does not have any need to retain the lot from an infrastructure planning perspective. The City is responsible for mowing the property. The</p>			

lot is 5,357 sf and is buildable, based on the setback requirements of the RT-3 District. Location in the RT-3 District means that the proposed house will need to meet the Design Review Standards & Guidelines contained in the Zoning Ordinance, which encourages design that meets the character of the neighborhood.

The house adjacent to the west was constructed by Habitat for Humanity in 2004.

Past Project

In 2020, the City donated a City-owned property addressed as 106 Moore Ave. to Spillane & Sons for construction of an affordable single-family home. This home was constructed and sold to an income-eligible buyer.

Future Steps

If P&D Committee recommends approval of donation of the Dean Street Lot to Habitat, Staff will work with the City Attorney and Habitat to prepare a real estate contract to convey the property. City Council will then be asked to approve an Ordinance authorizing execution of the contract to facilitate the conveyance.

A building permit will be required. Staff will work with Habitat on the site layout and building design.

Attachments (please list):

Dean Street Lot Exhibit, Housing Commission Resolution, Kane-Elgin HOME Commission Recommendation Letter

Recommendation/Suggested Action (briefly explain):

Recommendation to donate the City-owned lot at Dean & N. 15th Streets to Habitat for Humanity of Northern Fox Valley.



City of St. Charles, Illinois
Housing Commission Resolution No. 3-2023

**A Resolution Recommending Approval of Transfer of Property to Facilitate
New Residential Construction by Habitat for Humanity of Northern Fox Valley
– City-owned Lot at Dean & N. 15th Streets**

Passed by Housing Commission on September 14, 2023

WHEREAS, the City of St. Charles (the “City”) passed Resolution No. 2018-84 (“Resolution”), under which the City allocated funds from the St. Charles Housing Trust Fund to the Kane County Affordable Housing Fund to be made available to developers for the preservation and/or development of affordable housing in St. Charles; and

WHEREAS, Kane County issued the annual Call for Proposals under its Affordable Housing Fund in June of 2023 and received a proposal from Habitat for Humanity of Northern Fox Valley for construction of an affordable single-family home on a City-owned parcel located at the southwest corner of Dean St. and N. 15th St. (the “Dean Street Lot”); and

WHEREAS, the Kane-Elgin Home Commission reviewed said development proposal and recommended approval of funding in the amount of \$230,000 to Habitat for Humanity of Northern Fox Valley for construction of one affordable single-family home on the Dean Street Lot to be transferred to an income-eligible homebuyer (the “Dean Street Project”, as described in the letter from Scott Berger dated 9/8/2023 and accompanying documents attached hereto and incorporated herein as Exhibit “A”), which includes \$115,000 in funding from the Kane County CDBG Program and \$115,000 in funding from the St. Charles Housing Trust Fund; and

WHEREAS, on September 14, 2023 the St. Charles Housing Commission passed Resolution No. 2-2023 approving Housing Trust Fund financing for the Dean Street Project in the amount of \$115,000 from the St. Charles Housing Trust Fund in the form of a 0.0% interest, forgivable loan to Habitat for Humanity of Northern Fox Valley, upon finding that the proposed use of Housing Trust Fund resources is in accordance with Ch. 3.50 “Housing Trust Fund”; and

WHEREAS, execution of the Dean Street Project is dependent upon transfer of the Dean Street Lot from the City of St. Charles to Habitat for Humanity of Northern Fox Valley.

NOW, THEREFORE, be it resolved by the St. Charles Housing Commission to recommend to City Council approval of transfer of the Dean Street Lot to Habitat for Humanity of Northern Fox Valley for construction of one affordable single-family home to be transferred to an income-eligible home buyer.

Roll Call Vote:

Ayes: Baker, Funke, Eakins, Goettel, Dries

Nays:

Abstain:

Absent King, Pietryla, Glenn

Resolution 3-2023

Motion carried: 5-0

PASSED, this 14th day of September 2023.

Chairman
St. Charles Housing Commission

Resolution 3-2023

Exhibit “A”

Letter from Scott Berger & Accompanying Documents

COUNTY OF KANE

OFFICE OF COMMUNITY REINVESTMENT Community Development Division

Scott Berger, Director
Josh Beck, Assistant Director for Community Development



Illinois workNet Center
143 First Street
Batavia IL 60510
www.countyofkane.org

September 8, 2023

Ellen Johnson, Planner
Community & Economic Development Department
City of St. Charles
2 East Main Street
St. Charles IL 60174

Re: St. Charles Housing Trust Fund – Funding Recommendation from Home Commission

Dear Ms. Johnson,

Our office recently conducted a “Call for Proposals” under the Affordable Housing Fund (AHF), which is cosponsored by Kane County, the City of Elgin, and the City of St. Charles. As you know, the purpose of the AHF is to provide gap financing from a mix of sources to support the preservation and/or expansion of affordable housing options in our area.

Last week, the Home Commission (which oversees the AHF) met to review the development proposals we received. Among them was one from Habitat for Humanity of Northern Fox Valley for the construction of two single-family homes, one of which is proposed to be built on your Dean Street site. Upon completion, both homes will be sold to well-qualified, income-eligible homebuyers. Habitat has a solid track-record of successfully completing similar projects throughout our area over the last several years. The Home Commission was pleased with their proposal and unanimously approved funding in the amount of \$230,000 to undertake the project. **This amount includes a combination of federal funds from Kane County and \$115,000 from the St. Charles Housing Trust Fund, subject to the approval of the St. Charles Housing Commission. It also comes with the recommendation that the City of St. Charles transfer the Dean Street property to Habitat so that they can undertake and complete the project.** Our office is available to assist you with the planning and logistics associated with that process.

I am enclosing a copy of Habitat’s proposal, along with the staff report and funding recommendation for your review and consideration. I am available to attend your Housing Commission meeting next week to discuss the proposal and the Home Commission’s recommendation if you like. Please let me know if that would be helpful. Also, please don’t hesitate to contact me if you have any questions.

Sincerely,

Scott Berger, Director

Enc.

**KANE COUNTY AFFORDABLE HOUSING FUND
STAFF REPORT AND FUNDING RECOMMENDATION
August 25, 2023**

Applicant/Project Summary

Developer Name:	Habitat for Humanity of Northern Fox Valley			
Organizational Type:	Not-For-Profit Organization			
Project Name:	2023 Homeownership Projects			
Location:	Elgin/Carpentersville/St. Charles			
Project Type:	Homeownership			
Description:	Construct two new single-family homes for sale to income-eligible homebuyers.			
Unit Mix:	Unit Size	Affordable Units	Market Rate Units	Total Units
	3 Bedroom	2	0	2
	Total	2	0	2
Income Targeting:	Income targeting information found in the market study: <ul style="list-style-type: none"> • 2 units for households at/below 80% Area Median Income 			
Proposed Affordability Period:	Required: 20 years, based on development subsidy for new construction housing.			
Budget Summary:	<div style="display: flex; justify-content: space-between;"> <div> Funds from Other Sources: Affordable Housing Funds Requested: Total Development Cost (TDC): </div> <div> \$285,500 (55% of TDC) <u>\$230,000 (45% of TDC)</u> \$515,500 </div> </div>			

Responsiveness to AHF Evaluation Criteria



EVALUATION CRITERIA	RATING	STAFF COMMENTS
Financial Underwriting		
Proposals must demonstrate that the project is not “economically feasible” without program assistance, and evidence of financial ability to implement project must be provided.	●	Project satisfies underwriting criteria. Proposed sources and uses balance. Commitments for funds from other sources have been provided by the applicant. The project, however, will not repay any AHF funds, but the units will be affordable for 20 years.
Developer Qualifications		
Consideration will be given to the development team’s qualifications to develop (or redevelop) high-quality affordable housing, especially in the Kane County market area. Further, specific detail related to the qualifications and experience of the individual(s) identified as project manager(s) will be evaluated.	●	Applicant has a well-qualified staff and development team that has consistently produced solid, single-family homes. The organization has been highly successful at providing homeownership opportunities – particularly for households at or below 80% of area median income – and has a solid track-record of helping to ensure their success following purchase.

Experience		
Consideration will be given to the developer's track record of completing projects on time and within budget and their experience working with Federal funding (NSP, HOME, CDBG, etc.)	●	Applicant has many years of experience completing similar projects in northern Kane County and has utilized federal funds (including NSP1, NSP3, HOME, and CDBG funds) to rehabilitate foreclosed/distressed properties or construct new homes.
Capacity		
Consideration will be given to the developer's capacity (including anticipated work load), the project's readiness to proceed, commitments secured from other sources, and the project's long-term feasibility.	●	Applicant has the financial and organizational capacity to complete the project described in the proposal. Staff and systems are in place to ensure proper oversight and management of the project.
Project Design		
Consideration will be given to projects that address the Kane-Elgin Consortium's General Principles and Specific Housing Criteria.	●	The location of each site is are located within established neighborhoods but not all sites are necessarily close to services. HFH has pre-development steps lined up and ready to go including permits. Their schedule anticipates a timely completion.
Value		
Priority will be given to developers that provide a high-quality end product in relation to their development costs. The extent to which they leverage other public and private resources will be considered.	●	Applicant's proposal represents a good value. It will develop new affordable single-family homes at a price in an affordable range to the respective buyers. Additionally the project is leveraging other funding sources, volunteer labor, and material donations for nearly half of the costs.

Staff Recommendation

(As modified during 8/31/2023 Commission Meeting.)

Approve/Disapprove:	Approve
Amount:	\$230,000.00 <ul style="list-style-type: none"> • Kane -Elgin HOME (\$115,000) • St. Charles Housing Trust Fund (\$115,000)
Terms:	Forgivable loan with the following terms: <ul style="list-style-type: none"> • 0.0% Interest Rate; and • Forgive principal upon transfer of units to qualified homebuyers.
Conditions:	The following conditions are recommended for the above award: <ul style="list-style-type: none"> • Habitat must obtain City of St. Charles approval of the transfer of the vacant parcel at the corner of Dean and North 15th Streets prior to receiving final commitment of the St. Charles Housing Trust Fund award. • Fulfillment of all other OCR requirements.

**KANE COUNTY
AFFORDABLE HOUSING FUND
HOMEOWNERSHIP PROPOSAL CHECKLIST AND COVER SHEET
PROJECT SPONSOR NAME: Habitat for Humanity of Northern Fox Valley**

Instructions: After completing the forms in this packet, including all sections and signature pages, use this checklist as a guide to organize and assemble your proposal. Indicate the attachments that are included in your submittal by checking the box in the "Document Attached" column. Some items may not be applicable to your project. Please be sure to review this checklist carefully, and include any and all attachments based on the responses you provided in the application forms. All documents should be labeled with a LETTER, and organized accordingly in alphabetical order behind the completed application forms.

Attachment Name	Document Attached
A. Preliminary Project Schedule	<input checked="" type="checkbox"/>
B. Summary of Completed Projects – please check boxes for each item to ensure you have included required information about your completed projects a. Name and location of projects completed by Project Sponsor (last 3 years only) <input checked="" type="checkbox"/> b. Relevant details including cost of project, number of units, housing type (rental, owner, special needs, mixed use, etc.), target populations <input checked="" type="checkbox"/> c. Identify any sources of public financing used and contact names/telephone numbers for each government agency. (County may contact agencies to confirm the quality of work performed by the Project Sponsor.) <input checked="" type="checkbox"/> d. Date of project completion <input checked="" type="checkbox"/> e. Photos of completed projects <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
C. Summary of Projects currently in Predevelopment, Preconstruction, and Construction – please check boxes for each item to ensure you have included required information about your completed projects a. Name and location of projects <input checked="" type="checkbox"/> b. Relevant details including cost of project, number of units, housing type (rental, owner, special needs, mixed use, etc.), target populations <input checked="" type="checkbox"/> c. Identify any sources of public financing used and contact names/telephone numbers for each government agency <input checked="" type="checkbox"/> d. Expected date of project completion <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D. Copies of all Funding Award Letters/Notices referenced in budget document	<input type="checkbox"/>
E. Board Resolution authorizing application for financing (if Applicable)	<input checked="" type="checkbox"/>
F. Current 501(c)(3) or 501(c)(4) Letter of Determination and most recent IRS form 990	<input checked="" type="checkbox"/>
G. Project Sponsor Financial statements - year to date	<input checked="" type="checkbox"/>
H. Project Sponsor Financial statements - last 3 years (audited) (Because applicant is For Profit business, last 3 years of un-audited financial statements are attached <input type="checkbox"/>)	<input checked="" type="checkbox"/>

By signing this completed checklist, I attest that I have included the indicated documentation, and provided complete and accurate information to Kane County in support of this proposal.


Signature

7/26/2023
Date

Barbara Beckman, Executive Director
Name/Title (Printed)

**KANE COUNTY
AFFORDABLE HOUSING FUND
HOMEOWNERSHIP PROJECT PROPOSAL**

A. PROJECT SPONSOR CERTIFICATIONS

The Project Sponsor certifies that all information furnished in/with this proposal is provided for the purpose of obtaining financial assistance under the Affordable Housing Fund and is true and complete to the best of the Project Sponsor's knowledge and belief. If any information provided herein changes following submission of this proposal, the Project Sponsor agrees to notify Kane County's Office of Community Reinvestment immediately. The Project Sponsor understands and agrees that if false information is provided in/with this proposal, which has the effect of increasing the Project Sponsor's competitive advantage, the Kane County Office of Community Reinvestment may disqualify the Project Sponsor and deem the Project Sponsor ineligible to receive any funds in the future.

Verification of any of the information contained in/with this proposal may be obtained from any source named herein. Submission of this proposal shall constitute the Project Sponsor's authorization for the Kane County Office of Community Reinvestment to undertake such investigations as it deems necessary to determine the accuracy of this proposal and the Project Sponsor's suitability for financing from Kane County's Office of Community Reinvestment. The Kane County Office of Community Reinvestment reserves the right to require financial statements (audited or unaudited) of each development team member as part of its underwriting process.

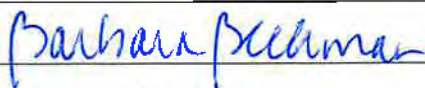
The Project Sponsor will at all times indemnify and hold harmless Kane County against all losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from, arising out of or relating to the Kane County's acceptance, consideration, approval, or disapproval of this proposal and the issuance or non-issuance of funds herewith.

The Kane County Office of Community Reinvestment retains the right to reject any and all proposals, and, in its sole determination, to waive minor irregularities. Further, the Project Sponsor acknowledges by execution of this certification that the Kane County Office of Community Reinvestment will review this proposal and reach its determination with the fullest discretion allowable by law.

The Project Sponsor further certifies that neither it, its principals, nor members of its development team are presently debarred, suspended, proposed for disbarment, declared ineligible or voluntarily excluded from HUD programs. Additionally, said parties are in good standing on state and federal tax obligations.

IN WITNESS WHEREOF, the undersigned, being duly authorized, has caused this document to be executed in its name on the 26th day of July, 2023.

Legal Name of Project Sponsor: Habitat for Humanity of Northern Fox Valley

Signature of Authorized Party: 

Name: *(please type)* Barbara Beckman

Title: Executive Director

Date: July 26, 2023

THIS PAGE MUST BE SIGNED IN ORDER FOR THE COUNTY TO ACCEPT YOUR SUBMITTAL

B. PROJECT SPONSOR INFORMATION

Project Sponsor Name:	Habitat for Humanity of Northern Fox Valley		
Project Name:	Habitat for Humanity Homeownership Projects		
Federal ID #:	36-3742888	DUNS # (if available):	964198118
Mailing Address including City, State and Zip:	56 S. Grove Avenue Elgin, IL 60120		
Contact Person:	Barbara Beckman		
Telephone Number:	847-836-1432	Email Address:	barb.beckman@habitatnfv.org
<input checked="" type="checkbox"/> Not-For-Profit Organization <input type="checkbox"/> For-Profit Organization			
Is your organization a Community Housing Development Organization (CHDO)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Please indicate the nature of work involved in your proposed project:			
Check all that apply: <input type="checkbox"/> Acquisition of real estate <input type="checkbox"/> Rehabilitation of existing housing <input checked="" type="checkbox"/> New construction <input type="checkbox"/> Conversion to residential			
Total Cost of Project	\$515,500	Total # of Housing Units in the Project	
AHF Amount Requested	\$230,000	2	

C. DEVELOPMENT TEAM INFORMATION

Role	Name of Entity	Existing	To Be Formed
Owner	Habitat for Humanity of NFV	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1. Other:		<input type="checkbox"/>	<input type="checkbox"/>
2. Other:		<input type="checkbox"/>	<input type="checkbox"/>
Architect	Greg A. Norris	<input checked="" type="checkbox"/>	<input type="checkbox"/>
General Contractor	Habitat for Humanity of NFV	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Attorney	Helmut E. Gerlach	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Property Management		<input type="checkbox"/>	<input type="checkbox"/>
Lead Based Paint Inspector	N/A	<input type="checkbox"/>	<input type="checkbox"/>
Appraiser	ACT Appraisals, Inc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Surveyor	Vanderstappen Land Surveying, Inc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Realtor	Judy Ecklund	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other: Engineer	J. Condon & Associates	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other:		<input type="checkbox"/>	<input type="checkbox"/>
Other:		<input type="checkbox"/>	<input type="checkbox"/>
Other:		<input type="checkbox"/>	<input type="checkbox"/>

D. PROJECT NARRATIVE/PLANS

Provide an answer to every question. **Typing "See Attached" is not an acceptable response.**
 IF THE QUESTION IS NOT APPLICABLE TO YOUR PROPOSED PROJECT, PLEASE WRITE "N/A".

1. Provide a detailed abstract of proposed project or development.

Habitat for Humanity of Northern Fox Valley, a local not-for-profit affordable housing developer and lender, requests funds to support the development of two new construction homeownership units. The organization's primary purpose is to increase homeownership opportunities for households earning less than 80% of area median income. For three decades, the Northern Fox Valley affiliate has partnered with volunteers and donors, both public and private, to create safe, decent and affordable places to call home, giving families the stability needed to make solid, forward-looking choices.

For low-income families in-need of an owner-occupied, single-family home, homeownership is consistently unattainable due to low stock of affordable housing options, high interest rates and lack of down payment monies. The stated disparities result in families forced to rent in a condition where rental units are unable to meet the needs of low-income families physically and economically, as rentals frequently present shelter and financial obstacles for low-income families. A lack of affordable home ownership opportunities for families leads to two primary housing concerns: (1) overcrowding due to rental unit space limitations and (2) economic hardship of becoming rent-burdened due to high rental rates. In direct response to these scenarios, Habitat for Humanity of NFV aims to build two affordable, single-family, owner-occupied homes in close to workplaces, businesses, schools, grocery stores, shopping centers and with access to public transportation. The organization plays a vital role in addressing the area's housing needs by creating affordable homeownership housing in Kane County. Since its inception, the organization has built homes in the following Kane County communities: Batavia, Carpentersville, Dundee, Elgin, St. Charles and South Elgin.

Habitat for Humanity of NFV currently owns vacant infill lots and is pursuing additional vacant lots in Elgin, Carpentersville and St. Charles. Several projects are in the predevelopment phase. The next projects to be starting at the time the AHF program dollars are awarded would be deemed the AHF assisted units.

Upon completion of the two homeownerships projects developed under the AHF program, Habitat for Humanity of NFV will sell the homes to pre-qualified buyers at fair market value and provide 0% mortgage loan financing. A modest down payment will be required, however no private mortgage insurance (PMI) will be added to the monthly payment. PMI is arranged by lenders and provided by private insurance companies to protect the lenders if borrowers stop making payments on loans. PMI is generally required for conventional loans when borrowers make a down payment of less than 20% of the home's purchase price. Because Habitat for Humanity does not charge interest or PMI, payments are more affordable for Habitat borrowers, and they benefit from substantial savings over the life of the loan. Habitat for Humanity's home building and lending programs make homeownership accessible to a wider range of income levels.

This proposal directly aligns with the AHF's purpose of providing gap funding for the development of affordable housing for low-income households. Cash donations from non-Federal sources such as corporations, churches and ReStore proceeds totaling \$285,500 are secured or promised, leaving a \$230,000 funding gap which represents the amount of our AHF request. Together, we can address housing needs and increase homeownership opportunities for low-income families in Kane County communities.

limit 4,000 characters

2. Describe the project control structure from initial stages through construction and ongoing management, including partnerships or entities that are still to be formed.

Habitat for Humanity of Northern Fox Valley has 30+ years of experience developing affordable housing in Kane County. In the last 3 fiscal years, FY21-FY23, we have built and sold 27 homes. We have a talented development team that brings experience in all stages of project management from predevelopment to construction, completion and sale. We have an excellent track record of completing projects on time and within budget and many projects have been supported by Federal funding. Solid partnerships with relevant entities are formed and strong.

Acquisition is managed by the Executive Director of 20+ years. The Assistant Construction Manager is responsible for engineering, architecture, bidding, budgeting and permitting at which point the construction site supervisor becomes responsible for the day-to-day construction including overseeing the volunteer work force. The work of the site supervisors is monitored by the Construction Manager with weekly site visits. The years of construction experience for current site supervisors ranges from 5 years to 40 years. Every site supervisor completes Competent Person Training, the OSHA 10-hour training to earn an official OSHA 10 card from the U.S. Department of Labor (DOL) as well as CPR, First Aid, and Active Shooter Training. While volunteers do much of the construction, fully licensed and insured contractors are hired for roofing, electrical, plumbing and HVAC. Each home has a schedule for completion and a construction budget. The construction schedule is monitored at a weekly meeting of the

construction staff. The construction budget is monitored monthly by the Construction Manager, Finance Director and the finance committee. Upon completion of these two homeownership projects, the units will meet all applicable local development standards and will be transferred individually to eligible homebuyers. The units will be sold at fair market value and zero-interest loans will be provided to borrowers by Habitat for Humanity of Northern Fox Valley. The terms of the mortgage will include the unit being occupied as the principal residence and Habitat for Humanity of NFV retaining the right of first refusal. In the event a Habitat homeowner needs to sell, the Northern Fox Valley affiliate's goal is to repurchase the unit and sell it to another low-income borrower. Units assisted by the Affordable Housing Fund will carry a 20 year affordability period. Loans will be serviced by a third party to ensure regulatory compliance. Habitat for Humanity of NFV will continue to provide support and guidance to its partner homebuyers as needed and requested.

limit 4,000 characters

3. Will the project target a particular population(s)? ☒ Yes ☐ No

If yes, please describe all that are applicable (e.g. elderly, disabled, homeless, small/large families, etc.)

Yes, Habitat for Humanity of Northern Fox Valley's projects target a particular population. The specific population is low-income households earning less than or equal to 80% of area medium income, adjusted for family size. Habitat for Humanity of NFV will be the lender in the sale of these 2 units. A licensed loan originator employed by the affiliate will process the loan applications and ensure Habitat for Humanity of NFV's underwriting guidelines are met. The underwriting process includes verifying the applicant's income, assets, credit history, and debt. As a nonprofit lender, Habitat for Humanity of NFV will ensure that, at the time of occupancy, the borrower meets the income eligibility requirements as updated and published annually by HUD.

limit 4,000 characters

4. Provide a description of how the proposal addresses the Kane-Elgin Consortium's Consolidated Plan Priority #1: Affordable Housing; General Principles and Specific Housing Criteria (See Appendix F to Affordable Housing Fund General Guidelines), with specific attention to the **location** and **design** of the project in accordance with county design requirements.

Affordable housing is one of the priorities in the Kane-Elgin Consortium Consolidated Plan. Habitat for Humanity of Northern Fox Valley's proposed infill projects address many of the general principles under the Affordable Housing priority of the Consolidated Plan. The projects will be located where jobs are (GP#1) and will have price points and financing accessible for low-income buyers (GP#2). Affordable homes such as the ones developed by Habitat for Humanity can attract and retain employees to the community. Affordable price points also support a local workforce with a wider range of income levels and allows workers to live close to their jobs which promotes stability and productivity for the workers as well as employers. Shorter commutes allow workers to spend more time with their families while the community benefits from reduction in traffic congestion, air pollution and expenditures on roads. These new construction units will stress quality design and construction in order to help ensure long-term contributions to the improvement of neighborhoods. The home designs for these infill lots will fit their settings, complement and enhance the existing neighborhoods and promote a sense of community. The sites have existing infrastructure nearby and are well situated in relation to local shopping and public transit. (GP#3, #5, #6 and #7).

limit 4,000 characters

5. Provide a description of current site control for the proposed project site. **(If Applicable)**

Habitat for Humanity of Northern Fox Valley requests funding to support 2 new construction homeownership units. The organization has several vacant infill lots in predevelopment that are in AHF eligible locations such as Elgin, Carpentersville and St. Charles. Upon award notification, the specific projects will be identified. The projects that will be selected will be the first two units lined up for construction to begin and will align with the timing in the proposed project schedule.

E. PROJECT SPONSOR EXPERIENCE/QUALIFICATIONS

1. Describe the relevant experience/qualifications of the Project Sponsor.

Habitat for Humanity of Northern Fox Valley has a solid track record of completing residential development projects on schedule and has 15 years of experience receiving and complying with Federal funding. Our past performance is an excellent indicator of our capacity to successfully complete the projects for which funding is currently being requested. The following is a list of the organization's relevant experience/qualifications by functional area.

Property Acquisition

Habitat for Humanity of NFV has strong relationships with local real-estate agents who search for property and has extensive experience evaluating and acquiring land as well as foreclosed and vacant houses. The construction team assesses the land or existing house and estimates construction or rehab costs prior to acquisition to ensure the project is financially feasible.

General Contractor

Habitat for Humanity of NFV coordinates the construction or rehabilitation of each property, including working with architects, surveyors, engineering firms, and subcontractors for licensed, insured services such as lead, mold, and asbestos abatement, foundations, electrical, plumbing and HVAC.

Builder

Habitat for Humanity of NFV builds homes under the supervision and direction of site supervisors who are trained construction workers but relies heavily on volunteer labor to do the majority of the construction. Obtaining permits, ordering materials, bidding and hiring trades people, setting construction standards, and scheduling inspections are some of the building activities performed by the organization. All units built by Habitat for Humanity of NFV comply with local ordinances, building codes, zoning standards, and the Illinois Energy Conservation Code.

Financial Oversight

Habitat for Humanity of NFV establishes the scope of work and budget for each project, raises funds, pays invoices, tracks and monitors expenses.

Pre-Qualification of Buyers

Habitat for Humanity of NFV employs a licensed loan originator to pre-qualify low-income buyers for its home ownership program under a nondiscriminatory policy and within its underwriting guidelines. Income eligibility is restricted to low-income households earning less than or equal to 80% of area medium income, adjusted for family size. Once pre-qualified, borrowers are matched with properties prior to starting construction.

Homebuyer Education and Services

Habitat for Humanity of NFV partners with HUD-Certified Housing Counseling Agencies for HUD-approved homebuyer education class. Each homebuyer completes an eight-hour curriculum and earns a Homeownership Education Certificate of Completion. The class must be taken within the twelve-month period prior to the date of the homebuyer's purchase of the home. A Home Maintenance workshop is also required.

Lending and Mortgage Processing

Habitat for Humanity of NFV is an Illinois licensed mortgage lender. Upon completion of construction and passing of final inspections, Habitat for Humanity of NFV sells the homes to the pre-qualified low-income buyers at fair market value and provides 0% mortgage loan financing and no private mortgage insurance. Habitat for Humanity of NFV has a contract with a mortgage servicing firm to process payments, pay taxes and insurance. The principal portion of every mortgage payment is reinvested in additional affordable housing projects.

2. List the name and title of the individual(s) who will manage the project.

Barbara Beckman, Executive Director
Tom Clausen, Construction Manager
Jerry Pietryla, Assistant Construction Manager
Kathy Wilbourn, Finance Director

limit 4,000 characters

3. Please disclose any investigation underway regarding any member of the development team.

There are no investigations underway regarding any member of the development team.

limit 4,000 characters

4. Complete a **DEVELOPMENT TEAM MEMBER NARRATIVE** for each member listed on the Development Team. The narrative should address the experience and qualifications of the team member/firm, and any principals or staff that will be assigned to the project.

4.1 ROLE: **Owner**

ENTITY NAME: Habitat for Humanity of NFV

ADDRESS: 56 S. Grove Avenue, Elgin, 60120

CONTACT PERSON: Barbara Beckman

PHONE: (847)836-1432

EMAIL:

barb.beckman@habitatnfv.org

Habitat for Humanity of Northern Fox Valley was founded in 1990 and has 30+ years of experience as a non-profit home builder and lender. The organization has a well-qualified and experienced development team with full capacity to execute this project and account for the receipt, expenditure and reporting of the requested Federal funding. Barbara Beckman, MSW, has been the organization's Executive Director since 2002 and she has overseen the construction of more than 115 Habitat for Humanity homes.

limit 4,000 Characters

4.2 ROLE: **Architect**

CONTACT PERSON: Gregory A. Norris

PHONE: (630)336-4368

CONTACT PERSON: _____

PHONE: () -

PHONE: () -

Greg Norris is a licensed architect in the State of Illinois. His IL License Number is 001-011764.

limit 4,000 Characters

4.3 ROLE: **General Contractor**

CONTACT PERSON: Tom Clausen, Construction Manager

PHONE: (630)940-8135

CONTACT PERSON: Jerry Pietryla, Assistant Construction Manager

PHONE: (847)836-1432

PHONE: () -

Habitat for Humanity of NFV has served as a general contractor since 1990 and has completed 155 construction projects. The organization has the personnel, experience and expertise to provide the material, labor, equipment and services to ensure these AHF funded projects are completed in a timely manner and in compliance with applicable requirements. As the general contractor, Habitat for Humanity of NFV hires specialized subcontractors to perform portions of the pre-construction and construction work including architects, surveyors, engineering firms, licensed and insured subcontractors for services such as lead, mold, and asbestos abatement; excavating; foundations; electrical; plumbing, and HVAC.

limit 4,000 Characters

4.4 ROLE: **Attorney**

CONTACT PERSON: Helmut E. Gerlach

CONTACT PERSON: _____

PHONE: (847)836-1432

PHONE: (____)____-____

PHONE: (____)____-____

Helmut E. Gerlach has over 25 years of experience as an attorney. He has been Habitat for Humanity of NFV's General Counsel since 2005. He manages all legal aspects of the organization including real estate acquisition and sales, mortgage document preparation, contracts, financing, licensing, leasing, commercial, employment and human resource.

limit 4,000 Characters

4.5 ROLE: **Appraiser**

CONTACT PERSON: ACT Appraisals, Inc

CONTACT PERSON: Erika Franks

PHONE: (630)398-1315

PHONE: (____)____-____

EMAIL: _____

ACT Appraisal, Inc. has been a full-service appraisal management company (AMC) for 20 years. They maintain a network of certified appraisers to fulfill real estate appraisal assignments on behalf of mortgage lenders. For the last 6 years, Habitat for Humanity of Northern Fox Valley has been using this AMC for appraisals. Once the request is submitted, the AMC randomly assigns an appraiser to provide an appraisal report for the property.

limit 4,000 Characters

4.6 ROLE: **Surveyor**

CONTACT PERSON: Vanderstappen Land

CONTACT PERSON: Arthur Gritmacker

Surveying

PHONE: (815)502-5516

PHONE: (____)____-____

PHONE: (____)____-____

Vanderstappen Land Surveying Inc. was founded in 1994 and is a member of the Illinois Professional Land Surveyors Association (IPLSA) and the American Congress on Surveying & Mapping (ACSM). Arthur Gritmacker has 23 years of surveying experience at Vanderstappen.

limit 4,000 Characters

4.7 ROLE: **Realtor**

CONTACT PERSON: Judy Ecklund

CONTACT PERSON: _____

PHONE: (847)917-5668

PHONE: (____)____-____

PHONE: (____)____-____

Judy Ecklund has been a licensed relator with Baird & Warner for 23+ years.

limit 4,000 Characters

4.8 ROLE: **Engineer**

CONTACT PERSON: J. Condon & Associates

CONTACT PERSON: Meghan Michel

PHONE: (815)728-0068

PHONE: (____)____-____

PHONE: (____)____-____

Meghan Michel, P.E. has been an engineer at J. Condon & Associates, a firm offering a wide range of engineering and consultation services for residential and commercial projects. Meghan has been with J. Condon for over 9+ years.

limit 4,000 Characters

5. Has the assembled development team worked together previously on similar projects? ☒ Yes ☐ No
If yes, please describe the results of this relationship by citing examples of prior development. If no, describe why/how these parties have been selected.

The assembled Habitat for Humanity of NFV development team has worked together previously on similar projects. The team has a demonstrated track record of procuring property; completing surveying, architecture and engineering plans and drawings; obtaining permits; bidding and hiring contractors; constructing high quality affordable housing; recruiting volunteers; reviewing, authorizing and processing payments for labor and materials;

underwriting and originating mortgage loans. Over the last 3 years, the team has completed, sold and financed 27 homes for low-income borrowers (see attachment B).

An example of a larger scale project that many members of this team collaboratively worked on is Fox Valley Farms- a 9-home development in Crystal Lake. The development was completed in June, 2023. The scale and complexity required more time to plan and a significant capital investment. The team gained valuable knowledge and experience from this multi-home development.

Another example of Habitat for Humanity of Northern Fox Valley's ability to perform successfully at a high functioning level is reflected in the national rankings compiled by Habitat for Humanity International. For FY22, in terms of home construction and repairs, the Northern Fox Valley affiliate ranked #1 in Illinois out of 45 affiliates, #35 out of 1,176 affiliates across all Geographic Service Area Population Categories, and #11 out of 157 affiliates in the Large Geographic Service Area Population Category.

limit 4,000 characters

F. SOURCES AND USES OF FUNDS

Please list all sources of funds including dollar amount and timing of availability. List the proposed use of each source of funds, and include copies of firm commitment letters with all terms and conditions for all mortgages, grants, and bridge (interim) loans. **Please do not use acronyms.**

Sources of Permanent Financing

List in order of position proposed.

1.	Financial Institution: N/A	Interest Rate: N/A	Date funds available: January 1, 2024
	Financing Program: ReStore Proceeds/Fund for Humanity	Amortization Period: N/A	Status of financing: N/A
	Amount: \$210,500	Loan Term: N/A	Status Documentation Attached <input type="checkbox"/>
	Contact: Kathy Wilbourn	Annual Debt Service: N/A	Affordability period or other financing restrictions: N/A
	Phone: 847-836-1432	Debt service position: N/A	
2.	Financial Institution: N/A	Interest Rate: N/A	Date funds available: April 1, 2024
	Financing Program: Zurich North America	Amortization Period: N/A	Status of financing: N/A
	Amount: \$40,000 grant	Loan Term: N/A	Status Documentation Attached <input type="checkbox"/>
	Contact: Susan Fritz	Annual Debt Service: N/A	Affordability period or other financing restrictions: N/A
	Phone:	Debt service position: N/A	
3.	Financial Institution: N/A	Interest Rate: N/A	Date funds available: May 1, 2024
	Financing Program: Pottawatomie Partnership	Amortization Period: N/A	Status of financing: N/A
	Amount: \$35,000	Loan Term: N/A	Status Documentation Attached <input type="checkbox"/>
	Contact: Bob Bendeich	Annual Debt Service: N/A	Affordability period or other financing restrictions: N/A
	Phone: 847-836-1432	Debt service position: N/A	
4.	Financial Institution:	Interest Rate:	Date funds available:
	Financing Program:	Amortization Period:	Status of financing:
	Amount:	Loan Term:	Status Documentation Attached <input type="checkbox"/>
	Contact:	Annual Debt Service:	Affordability period or other financing restrictions:
	Phone:	Debt service position:	

Uses of Permanent Financing

Position	Acquisition Costs (A)	Construction/ Rehab (B)	Developer Fee (C)	Development Costs (D)	Financing Costs (E)	Other Costs (F)	Totals
1	\$	\$	\$	\$	\$	\$	\$
2	\$	\$	\$	\$	\$	\$	\$
3	\$	\$	\$	\$	\$	\$	\$

4	\$	\$	\$	\$	\$	\$	\$
5	\$	\$	\$	\$	\$	\$	\$
TOTALS	\$	\$	\$	\$	\$	\$	\$

G. HOMEBUYER PROJECT INFORMATION

For each cost category, you must enter the total cost, and mark whether you are requesting to use Affordable Housing Funds for that item


ACQUISITION COSTS		TOTAL COST	PROPOSED USE OF AHF
Land Acquisition Costs		\$100,000	<input type="checkbox"/>
Land Acquisition Closing Costs (title, recording, legal, etc.)		\$6,000	<input type="checkbox"/>
Other:		\$	<input type="checkbox"/>
Acquisition Total (A)		\$106,000	
CONSTRUCTION/REHAB COSTS			
Rehabilitation/Construction estimate		\$338,000	<input checked="" type="checkbox"/>
Other: Construction and Volunteer Management Staff		\$24,000	<input type="checkbox"/>
Subtotal		\$362,000	
Construction Contingency (1.5%)		\$5,400	
Construction/Rehab Total (B)		\$367,400	
Developer's Fee (% of Acquisition and Construction/Rehab) (C)		\$0	<input type="checkbox"/>
DEVELOPMENT COSTS			
Project Design			
Architectural		\$4,000	<input type="checkbox"/>
Engineering		\$8,000	<input type="checkbox"/>
Site Investigation		\$1,600	<input type="checkbox"/>
Other:		\$	<input type="checkbox"/>
Project Planning			
Permits		\$20,000	<input checked="" type="checkbox"/>
Appraisal (pre-purchase)		\$0	<input type="checkbox"/>
Appraisal (post-rehab)		\$900	<input type="checkbox"/>
Environmental Study		\$0	<input type="checkbox"/>
Lead Based Paint Inspection and Clearance		\$0	<input type="checkbox"/>
Survey		\$2,000	<input type="checkbox"/>
Other:		\$0	<input type="checkbox"/>
Holding costs			
Carrying Costs (lawn/snow maintenance, utilities, etc.) (\$210 x 20 months) =		\$4,200	<input type="checkbox"/>
Property Taxes		\$1,400	<input type="checkbox"/>
Other:		\$0	<input type="checkbox"/>
Development Total (D)		\$42,100	
FINANCING COSTS			
Other:		\$0	<input type="checkbox"/>
Financing Total (E)		\$0	
OTHER COSTS			
Relocation		\$0	
Other:		\$0	<input type="checkbox"/>
Other Costs Total (F)		\$0	
TOTAL DEVELOPMENT COST (A+B+C+D+E+F) =		\$515,500	

B: Summary of Completed Projects Last 3 Years and Photos

Street Address	City	Number of Units	Housing Type	Target Population	Sale Price	Public Funds	Date of Completion
559 S. Edison	Elgin	1	Owner	Low-Income	184,000	X	4/30/20
33 Pine	Carpentersville	1	Owner	Low-Income	169,000	X	6/22/20
313 Gertrude	Elgin	1	Owner	Low-Income	172,000	X	9/3/2020
455 McHenry	Crystal Lake	1	Owner	Low-Income	230,000		9/25/2020
447 McHenry	Crystal Lake	1	Owner	Low-Income	239,000		11/6/2020
459 McHenry	Crystal Lake	1	Owner	Low-Income	205,000		11/30/2020
1015 Shuler	Elgin	1	Owner	Low-Income	194,000	X	11/30/2020
233 N Weston	Elgin	1	Owner	Low-Income	160,000	X	11/30/2020
341 Jewett	Elgin	1	Owner	Low-Income	205,000	X	3/19/2021
1203 Sycamore	Lake in the Hills	1	Owner	Low-Income	233,000		3/19/2021
1404 Windsor	Carpentersville	1	Owner	Low-Income	219,000		6/3/2021
20 Independence	Batavia	1	Owner	Low-Income	278,000	X	8/13/2021
431 McHenry	Crystal Lake	1	Owner	Low-Income	269,000		11/29/2021
439 McHenry	Crystal Lake	1	Owner	Low-Income	195,000		11/29/2021
425 McHenry	Crystal Lake	1	Owner	Low-Income	185,000		2/10/2022
19 Spuhler	Batavia	1	Owner	Low-Income	268,000	X	2/10/2022
417 McHenry	Crystal Lake	1	Owner	Low-Income	195,000		6/24/2022
189 Plum	South Elgin	1	Owner	Low-Income	270,000	X	6/24/2022
57 Elm	Carpentersville	1	Owner	Low-Income	260,000	X	6/24/2022
59 Elm	Carpentersville	1	Owner	Low-Income	260,000	X	7/13/2022
708 Elma	Elgin	1	Owner	Low-Income	245,000		8/26/2022
9 Spuhler	Batavia	1	Owner	Low-Income	260,000		9/30/2022
158 Sioux	Carpentersville	1	Owner	Low-Income	217,000		12/16/2022
409 McHenry	Crystal Lake	1	Owner	Low-Income	270,000		2/24/2023
401 McHenry	Crystal Lake	1	Owner	Low-Income	255,000		5/11/2023
245 Skyline	Carpentersville	1	Owner	Low-Income	290,000		6/29/2023
249 Skyline	Carpentersville	1	Owner	Low-Income	290,000		6/29/2023





	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 4b
	Title:	Plan Commission recommendation to approve a PUD Amendment for 405 Illinois Ave., Heritage Square II PUD.	
	Presenter:	Ellen Johnson, Planner	
Meeting: Planning & Development Committee		Date: October 9, 2023	
Proposed Cost: N/A		Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
TIF District: None			
Executive Summary (if not budgeted, please explain): <p>Bob Rasmussen has submitted a Special Use application requesting to amend the Heritage Square II PUD in regards to 405 Illinois Ave. The PUD was approved under Ord. 2003-Z-15 and encompasses two office and two multi-family buildings covering one City block.</p> <p>The PUD limits the number of residential units on the property to 13. The applicant is proposing to convert 405 Illinois Ave. from offices to 8 apartment units. This requires approval of a PUD Amendment.</p> <p>No changes to the exterior of the site are proposed. Parking is adequate to accommodate the change in use.</p> <p><u>Plan Commission Recommendation</u> Plan Commission held a public hearing on 9/19/23 and voted 6-0 to recommend approval. No members of the public spoke at the hearing.</p>			
Attachments (please list): Plan Commission Resolution, Staff Report, Application, Ord. 2003-Z-15			
Recommendation/Suggested Action (briefly explain): Plan Commission recommendation to approve a PUD Amendment for 405 Illinois Ave., Heritage Square II PUD.			

City of St. Charles, Illinois
Plan Commission Resolution No. 8-2023

**A Resolution Recommending Approval of an Application for Special Use
(PUD Amendment) for 405 Illinois Ave., Heritage Square II PUD (Bob
Rasmussen)**

Passed by Plan Commission on September 19, 2023

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use (PUD Amendment) for 405 Illinois Ave., Heritage Square II PUD (Bob Rasmussen) and,

WHEREAS, the Plan Commission finds the application for Special Use (PUD Amendment) is in the public interest under Section 17.04.410.D.3 of the Zoning Ordinance based on the following Criteria:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The planned change to the original PUD will create more residents living near downtown. The increased physical activity and social interaction will be significant as the building is a short walk to parks, bike paths and all downtown establishments.

The need for reasonable rental units in downtown St. Charles will be helped with the addition of 8 new rental apartments. The new units will fit in well as the building is existing and no changes to the exterior or landscaping is anticipated.

Although office space is far from obsolete, it is certainly of minimal demand after the pandemic with no end in site to people working from home. The expense for the transition is large, but the long-term economic impact will benefit our town and minimize dark vacant spaces.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The change in PUD will provide ADA accessible units to today's codes and standards.

The new units will be built to today's efficiency standards with new HVAC units, water heaters and all appliances.

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

There will be the opportunity for 8 new individuals or couples to live near downtown St. Charles and enjoy the many amenities nearby.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Heritage Square II is an existing development with sufficient infrastructure to meet the needs of the change in use from office space to residential rental apartments in the 405 Illinois Ave. building. No changes to driveways, access easements or utilities are contemplated.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The surrounding properties are all residential, therefore the change in use to additional residential rental units will be a natural fit with the community and the original underlying zoning.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The change in partial use from office to residential rental units will better fit with all neighboring residential zoning. There should be no impact on the potential uses for all neighboring properties.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The change to additional residential units will diminish the need for off street parking by 16 spaces. This will minimize any need for residents or tenants of Heritage Square II to park on the adjacent streets.

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all

applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

All new interior construction will conform to all city codes and requirements.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The addition of 8 new residential units will bring more people to our town to frequent all stores and restaurants.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The Comprehensive Plan shows all residential in surrounding blocks. The change to additional residential rentals will better fit to the Comprehensive Plan.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of an Application for Special Use (PUD Amendment) for 405 Illinois Ave., Heritage Square II PUD (Bob Rasmussen).

Roll Call Vote:

Ayes: Hibel, Funke, Ewoldt, Rosenberg, Gruber, Vargulich

Nays:

Absent: Wiese, Moad, Studebaker

Recused:

Motion carried: 6-0

PASSED, this 19th day of September 2023.

Chairman
St. Charles Plan Commission



Staff Report
Plan Commission Meeting – September 19, 2023

Applicant:	Bob Rasmussen
Property Owner:	Heritage Square LLC
Location:	SE corner of Illinois and S. 4 th Avenues
Purpose:	Convert office building to multi-family
Application:	Special Use (PUD Amendment)
Public Hearing:	Yes, required
Zoning:	CBD-2 / PUD
Current Land Use:	Office
Comprehensive Plan:	Mixed Use

405 Illinois Ave. – Heritage Square II



Subject Property

Summary of Proposal: The Heritage Square II PUD was approved under Ordinance No. 2003-Z-15, and encompasses two office and two multi-family buildings.

The PUD limits the number of residential units on the property to 13. Bob Rasmussen, representing property owner Heritage Square LLC, is proposing to convert the office building located at 405 Illinois Ave. to 8 apartment units. This requires approval of a PUD Amendment.

Info / Procedure on Application:

Special Use for Planned Unit Development Amendment:

- Approval of an amendment to a previously approved PUD ordinance which contains specific deviations from Zoning Ordinance standards.
- Public hearing is required, with a mailed notice to surrounding property owners.
- Single finding – Is the PUD in the public interest? Criteria are considered in reaching a decision. Responses to the criteria need not be in the affirmative to recommend approval of a PUD or PUD Amendment.
- The Plan Commission may recommend conditions and restrictions upon the establishment, location, design, layout, height, density, construction, maintenance, aesthetics, operation and other elements of the PUD as deemed necessary to secure compliance with the standards specified in the Zoning Ordinance.
- The Plan Commission may recommend exceptions and deviations from the requirements of the Zoning and Subdivision Codes requested by the applicant, to the extent that it finds such exceptions and deviations are supportive of the standards and purposes for PUDs.

Suggested Action:	<p>Conduct the public hearing on the Special Use (PUD Amendment) and close if all testimony has been taken.</p> <p>The Plan Commission may vote on this item should the Commission feel that they have enough information to make a recommendation.</p> <p>The applicant has provided responses to the Criteria for PUD for the Commission's consideration.</p>
Staff Contact:	Ellen Johnson, Planner

I. PROPERTY INFORMATION

A. History / Context

The subject property is a 40,320 sf / 0.93-acre site near the eastern edge of downtown. The property constitutes an entire block, bound by Illinois Ave. to the north, S. 5th Ave. to the east, Indiana Ave. to the south, and S. 4th Ave. to the west.

The property is a Planned Unit Development known as Heritage Square II. The PUD was approved in 2003 under Ordinance No. 2003-Z-15, "An Ordinance Granting a Special Use as a Planned Unit Development (Heritage Square II PUD)". The development involved demolition of three homes that were in poor condition to clear the block, followed by construction of two office buildings fronting Illinois Ave., and two multi-family buildings fronting Indiana Ave., with parking at the interior of the block and driveways off Indiana and S. 4th Avenues.

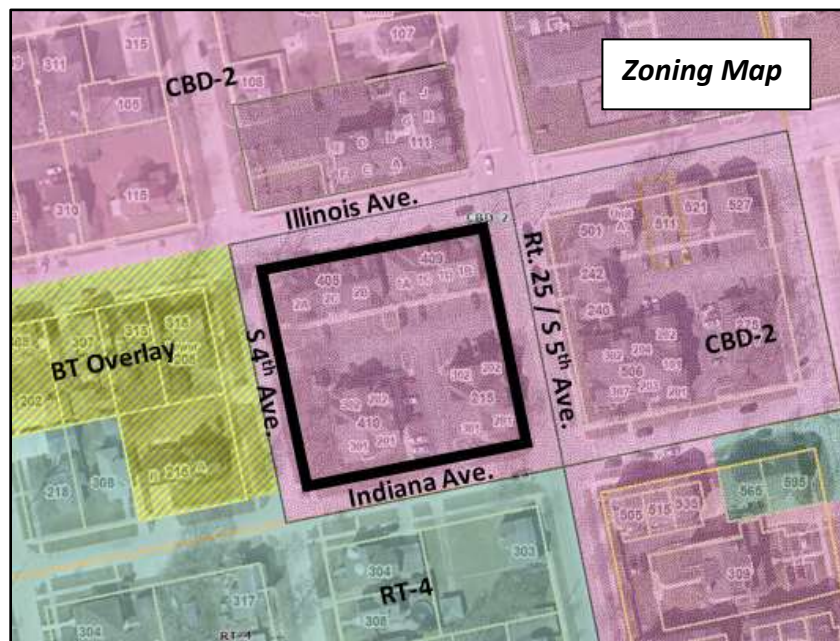
The development was constructed from 2004-2005. Details of the existing buildings and uses:

- 405 Illinois Ave
 - 2-story office building; ~6,900 sf
 - Current business: Goodman Psychologist Associates
- 409 Illinois Ave.
 - 2-story office building, ~6,900 sf
 - Current businesses: White Oak Family Wellness, Midwest Custom Homes, Relief Mental Health, Ecker Center for Behavioral Health
- 215 S. 5th Ave.
 - 3-story multi-family building; ~9,600 sf
 - 5 1-Bedroom units; 2 2-Bedroom units
 - 3 under-building 2-car garages
- 410 Indiana Ave.
 - 3-story multi-family building; ~9,200 sf
 - 4 1-Bedroom units; 2 2-Bedroom units

B. Zoning

The subject property is zoned CBD-2 Mixed Use Business and is located in the Heritage Square II PUD. CBD-2 / PUD zoning surrounds the property to the north and east, with primarily single-family residential to the west and south. The subject property is also located in the Central Historic District.

	Zoning	Land Use
Subject Property	CBD-2 Mixed Use Business / PUD (Heritage Square II)	Office; multi-family residential
North	CBD-2 Mixed Use Business / PUD (Portland Terrace)	Multi-family residential
East	CBD-2 Mixed Use Business / PUD (Heritage Square)	Office; multi-family residential
South	RT-4 Traditional Single- & Two-Family Residential	Residential
West	RT-4 Traditional Single- & Two-Family Residential / Transitional Business Overlay	Residential



C. Comprehensive Plan

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Mixed-Use” and part of the Downtown Subarea.



The Mixed-Use land use is described as follows (p.39):

Mixed use areas should be characterized by uses and development patterns that provide a vibrant, safe, attractive, and “walkable” pedestrian environment. Mixed use areas should have strong pedestrian orientation and seek to create a more interesting and engaging pedestrian experience, accommodating pedestrian generating uses on the ground floor, and other uses above. Mixed use areas should provide a balance of uses unique to each site based on its location. Retail, entertainment, and dining uses are ideally suited for the ground floor with residential, educational, medical and/or office uses located on the upper floors. The primary objective is to provide an appropriate and compact mix of uses to foster an active and interesting district. Parking in the mixed use areas should be provided on-street, or in subtly located parking garages or parking lots. Although the Land Use Plan designates only Downtown St. Charles as a Mixed Use area, the Commercial Area Framework Plan identifies other locations where Mixed Use development could occur.

The Downtown Subarea Plan identifies the property is having “Local Frontage”. Land Uses appropriate for this type of frontage include (p.88):

A broad range of activities appropriate in Downtown, including retail, service, office, multi-family and single-family residential, and low-impact auto-related services.

II. PROPOSAL & ANALYSIS

Bob Rasmussen, representing property owner Heritage Square LLC, is proposing to convert 405 Illinois Ave. from office to multi-family residential.

A total of 8, 1-bedroom units are proposed. Each floor would have four units, accessed from the interior of the building via the existing building entrance at the south (rear) side of the building. No changes are proposed to the building exterior or overall site. Floor plans have been submitted indicating the intended unit layout.

Staff has analyzed the proposal for conformance with the standards established in the Heritage Square II PUD Ordinance and applicable sections of the Zoning Ordinance.

A. Proposed Amendment

The applicant is requesting to amend Exhibit B “Development Standards” of the Heritage Square II PUD Ordinance (2023-Z-15) pertaining to maximum number of dwelling units. The PUD currently limits the number of dwelling units to 13. Proposed is to increase this number by 8, for a maximum of 21 units.

This amendment would allow 405 Illinois Ave. to be converted from office to 8 multi-family units. The two multi-family buildings along Indiana Ave. would retain the existing 13 units. The office building at 409 Illinois Ave. would remain office.

B. Use & Density

“Multiple-family dwellings” is listed as a permitted use in Exhibit C of the PUD Ordinance. The use is also permitted in the underlying CBD-2 zoning district.

The proposed increase in residential units within the PUD will result in a higher residential density than permitted in the underlying CBD-2 District. The table below compares allowable density for the property under CBD-2 zoning, the current PUD, and the proposed PUD Amendment. The proposed change would result in 3 more units than would otherwise be permitted in the CBD-2 District. Approval of the requested PUD Amendment would constitute granting a deviation from the CBD-2 density limitation.

	CBD-2 District Standard	Current PUD	Proposed
Per unit lot area	2,200 sf / unit	3,101 sf / unit	1,920 sf / unit
Allowable # of units	18 units	13 units	21 units

C. Parking

The change in use of 405 Illinois Ave. from office to residential results in a lower required parking count. The table below compares the current and proposed parking requirements vs. existing parking. The PUD allows up to 10 spaces to be shared between the office and residential uses. With the change in use of 405 Illinois to residential, the net required parking for the PUD decreases from 46 spaces to 37 spaces. 46 spaces exist on the property.

	Current PUD- Required & Provided Parking	Proposed PUD- Required & Provided Parking
1 Bedroom Unit	1.2/unit; 9 units = 10.8 spaces	1.2/unit; 17 units = 20.4 spaces
2 Bedroom Unit	1.7/unit; 4 units = 6.8 spaces	1.7/unit; 4 units = 6.8 spaces
Office- 405 Illinois	4/1,000 sf net floor area; 4,800 sf = 19.2 spaces	N/A
Office- 409 Illinois	4/1,000 sf net floor area; 4,800 sf = 19.2 spaces	4/1,000 sf net floor area; 4,800 sf = 19.2 spaces
Total Required	56 spaces required	47 spaces
Allowable Shared	10 spaces	10 spaces
NET REQUIRED	46 spaces	37 spaces
EXISTING	46 spaces (includes 6 garage spaces)	46 spaces (includes 6 garage spaces)

III. DEVELOPER CONTRIBUTIONS**A. Inclusionary Housing**

The Inclusionary Housing Ordinance, Title 19 of the City Code, requires construction of, or fee in-lieu for, affordable units as a percentage of any new residential development. This requirement will apply to the 8 additional residential units. The applicant could either:

1. Designate one unit as affordable. The unit would need to be rented to a household at or below 60% of Area Median Income. Maximum rent would be \$1,242; OR
2. Pay a fee in-lieu to be placed in the City’s Housing Trust Fund. The total fee in-lieu would be \$15,866.30, due prior to issuance of building permit.

B. School & Park Districts

The 8 additional residential units will be subject to the Land/Cash requirements of Ch. 16.10 “Dedications” of the Subdivision Code, as the proposal constitutes an increase in units from when the project was originally approved and platted. Contributions will be as follows, based on the anticipated bedroom count of 8 1-bedroom units, due prior to issuance of building permit:

1. School District 303: \$309.57
2. St. Charles Park District: \$33,823.92

IV. OPTIONS FOR PLAN COMMISSION ACTION**1. Public Hearing – Close or Continue**

If the Plan Commission feels they have adequate information the public hearing may be closed. The public hearing may be continued if additional information is deemed necessary to provide a recommendation.

If Public Hearing is closed-

2. Make a Recommendation to Planning & Development Committee

There is a single finding for PUD Amendment applications: Is the PUD Amendment in the public interest? There are five Criteria for PUDs which are to be considered to reach a decision. Responses to all criteria need not be in the affirmative to recommend approval of the PUD Amendment. The applicant has provided responses to the Criteria for PUDs as part of the application materials.

a. Recommend approval of the application for Special Use (PUD Amendment).

- i. Plan Commission may add additional conditions if deemed necessary by the Plan Commission to meet the PUD finding.

OR

b. Recommend denial of the application for Special Use (PUD Amendment).

- i. Plan Commission must substantiate how the PUD finding is not being met in order to recommend denial.

V. ATTACHMENTS

- Photos of Building
- Application for Special Use; received 8/1/23
- Proposed Floor Plans
- Ord. 2003-Z-15

405 Illinois Ave. – Existing



City of St. Charles
Community Development Division
2 E. Main Street
St. Charles, IL 60174



Phone: (630) 377-4443
Email: cd@stcharlesil.gov

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use

Project Name: Heritage Square II - 405 Illinois Ave.
Project Number: 2023 -PR- 009
Cityview Project Number: PLSU202300126

Received Date
RECEIVED

AUG 01 2023

City of St. Charles
Community Development

- File this application to request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have a question please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements prior to establishing a public hearing date.

1. Property Information:	Location:	405 Illinois Ave.	
	Parcel Number (s):	0934203011	
	Proposed Name:	Heritage Square II	
2. Applicant Information:	Name:	Bob Rasmussen	Phone: 630-774-9101
	Address	405 Illinois Ave. 2A	Email: bob@midwestcustomhomes.com
3. Record Owner Information:	Name:	Heritage Square LLC	Phone: 630-774-9101
	Address:	405 Illinois Ave. 2A	Email:

4. Identify the Type of Application:

- ☒ **Special Use for Planned Unit Development - PUD Name:** Heritage Square II
- ☐ New PUD
- ☒ Amendment to existing PUD- Ordinance #: 2003-Z-15
- ☐ PUD Preliminary Plan filed concurrently
- ☐ **Other Special Use (from list in the Zoning Ordinance):**
- ☐ Newly established Special Use
- ☐ Amendment to an existing Special Use Ordinance #:

5. Information Regarding Special Use:

Comprehensive Plan designation of the property: Mixed Use

Is the property a designated Landmark or in a Historic District? Yes

What is the property's current zoning? CBD-2 Mixed Use Business District

What is the property currently used for? office space and residential rental apartments

If the proposed Special Use is approved, what improvements or construction are planned?

complete interior remodel from office space to residential apartments.

6. For Special Use Amendments only:

Why is the proposed change necessary?

Office space is increasingly difficult to lease and this location would bring more opportunities for citizens to live close to our downtown. the demand for rental apartments remains high throughout St. Charles.

What are the proposed amendments? (Attach proposed language if necessary)

change the maximum number of dwelling units to 21 from the current 13 units in the PUD

Note for existing buildings: If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

7. **Required Attachments:**

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Provide 1 copy of each required item, unless otherwise noted.

- ☒ **APPLICATION FEE:** Special Use for PUD: \$1,000
All other Special Use requests: **\$750**
- ☒ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- ☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:
- | Number of Review Items | Under 5 Acres | 5-15 Acres | 16-75 Acres | Over 75 Acres |
|------------------------|----------------|------------|-------------|---------------|
| 1 | \$1,000 | \$2,000 | \$3,000 | \$4,000 |
| 2 or 3 | \$2,000 | \$4,000 | \$5,000 | \$7,000 |
| 4 or more | \$3,000 | \$5,000 | \$7,000 | \$10,000 |
- ☒ **PROOF OF OWNERSHIP:** a) A current title policy report; or
b) A deed and a current title search
- NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*
- ☒ **OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.
- ☐ **LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- ☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- ☒ **PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- ☒ **FINDINGS OF FACT:** Fill out the attached "Criteria for Planned Unit Developments (PUDs)" form for any PUD application and the "Findings of Fact – Special Use" form for all other Special Use applications.
- ☒ **LIST OF PROPERTY OWNERS WITHIN 250 FT.:** Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized. Property ownership information may be obtained using Kane County's interactive GIS mapping tool: http://gistech.countyofkane.org/gisims/kanemap/kanegis4_AGOx.html
- ☐ **SOIL AND WATER CONSERVATION DISTRICT LAND USE OPINION APPLICATION:** As required by State law, submit a Land Use Opinion application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed Land Use Opinion application to the City. The Land Use Opinion application can be found on the Kane-DuPage SWCD website: <http://www.kanedupageswcd.org/>

- ☐ **ENDANGERED SPECIES REPORT:** As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: <https://dnr2.illinois.gov/EcoPublic/>
- ☐ **TRAFFIC STUDY:** If applicable. Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.
- ☐ **PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

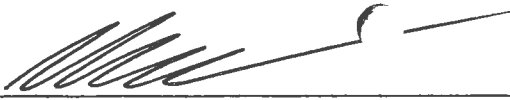
Copies: Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: cd@stcharlesil.gov

Site Plan or plans shall show the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line
21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

(Note- For a Special Use for PUD, submit PUD Preliminary Plan Application In lieu of Site Plan)

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 7-25-22

Record Owner Date

Applicant or Authorized Agent Date

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Bob Rasmussen, being first duly sworn on oath depose and say that I am
Manager of Heritage Square, LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>Bob Rasmussen</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this 21st day of
August, 20 23.


Notary Public



CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

Use this form for PUD or PUD Amendment applications

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether the proposed Planned Unit Development is in the public interest. As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

PUD Name: Heritage Sqaure II

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The planned change to the original PUD will create more residents living near downtown. the increased physical activitymand social interaction will be significant as the building is a short walk to parks, bike paths and all downtown establishments.

The need for reasonable rental units in downtown St. Charles will be helped with the addition of 8 new rental apartments. The new units will fit in well as the building is existing and no changes to the exterior or landscaping is anticipated.

Although office space is far from obsolete it is certainly of minimal demand after the pandemic with no end in site to people working from home. The expense for the transition is large, but the long term economic impact will bvnefit our town and minimize dark vacant spaces.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The change in PUD will provide ADA accessible units to today's codes and standards.

The new units will be built to today's efficiency standards with new HVAC units, water heaters and all appliances.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

There will be the opportunity for 8 new individuals or couples to live near downtown St. Charles and enjoy the many ammenities nearby.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary utilities have been, or are being, provided.

Heritage Square II is an existing development with sufficient infastructure to meet the needs of the change in use from office space to residential rental apartments in teh 405 Illinois Ave. building. No changes to driveways, access easments or utilities are contemplated.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The surrounding properties are all residential, therefor the change in use to additional residential rental units will be a natural fit with the community and the original underlying zoning.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The change in partial use from office to residential rental units will better fit with all neighboring residential zoning. There should be no impact on the potential uses for all neighboring properties.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The change to additional residential rental units will diminish the need for off street parking by 16 spaces. this will minimize any need for residents or tennats of ZHeritage Square II to park on the adjacent streets.

- F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

all new interior construction will conform to all city codes and requirements.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The addition of 8 new residential units will bring more people to our town to frequent all stores and restaurants

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The comprehensive plan shows all residential in surrounding blocks. The change to additional residential rentals will better fit to the comprehensive plan

RESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: Heritage Sqaure II

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: Select	Ordinance #: 630-774-9101	
Minimum Lot Area			no change
Minimum Lot Width			no change
Maximum Building Coverage			no change
Maximum Building Height			no change
Minimum Front Yard			no change
Interior Side Yard			no change
Exterior Side Yard			no change
Minimum Rear Yard			no change
Landscape Buffer Yards ¹			no change
% Overall Landscape Area			no change
Building Foundation Landscaping			no change
Public Street Frontage Landscaping			no change
Parking Lot Landscaping			no change
# of Parking Spaces			no change

¹ Within the RM-3 zoning district, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, or RT District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers.

City of St. Charles- School and Park Land/Cash Dedications Worksheet

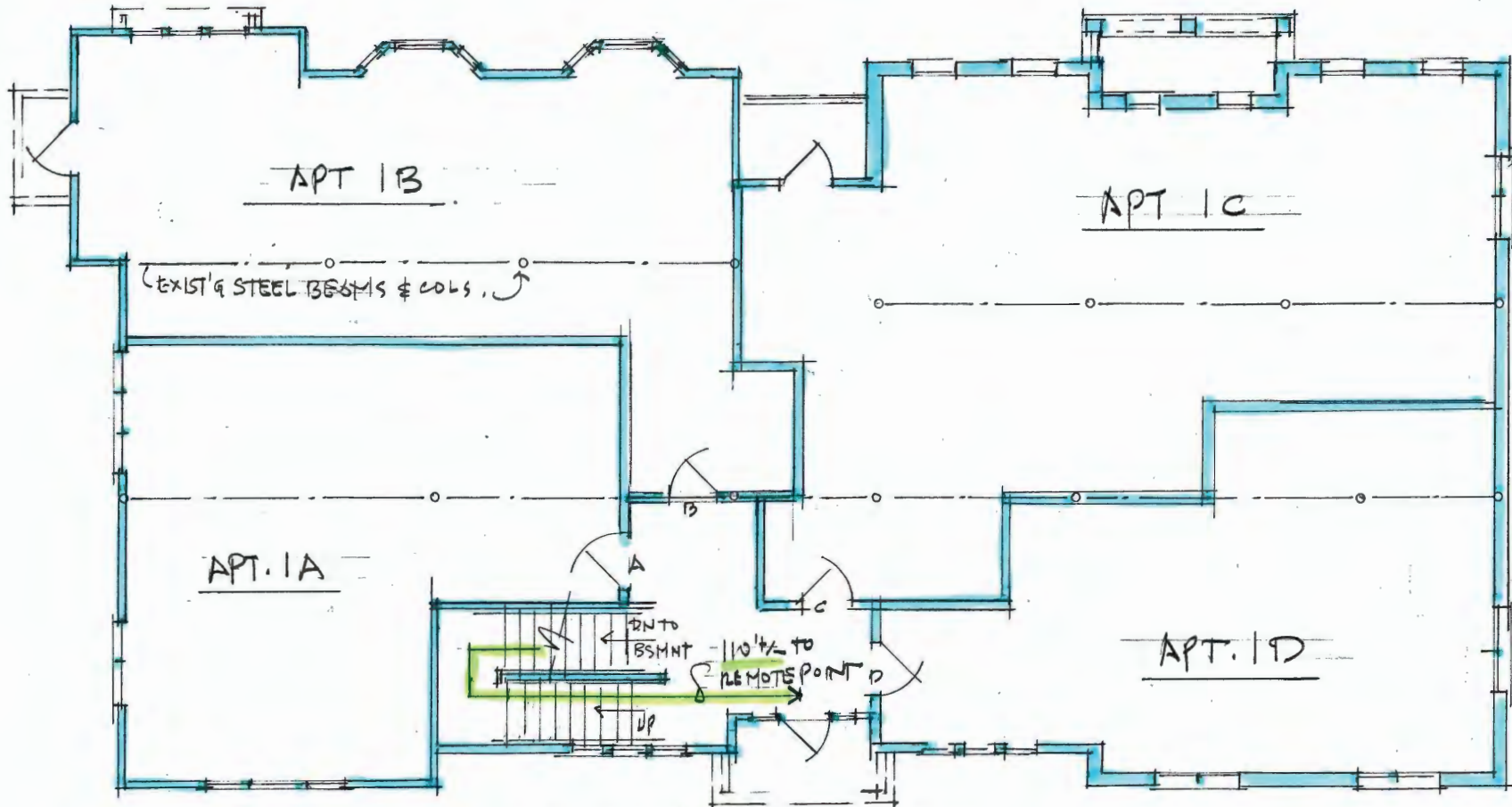
Instructions: Enter the Residential Unit count in the blue boxes. The yellow boxes will calculate the resulting cash contribution

If a park land dedication is proposed, enter the acreage of the land dedication in the green box.

Dwelling Type/Bedroom		# of Units	Park	Est. Park Pop.	Elem.	Est. Pop.	Middle School	Est. Pop.	High School	Est. Pop.
Detached Single Family										
	2 bedroom	0	2.017	0	0.136	0	0.048	0	0.02	0
	3 bedroom	0	2.899	0	0.369	0	0.173	0	0.184	0
	4 bedroom	0	3.764	0	0.53	0	0.298	0	0.36	0
	5 bedroom	0	3.77	0	0.345	0	0.248	0	0.3	0
Attached Single Family (Townhomes)										
	1 bedroom	0	1.193	0	0	0	0	0	0	0
	2 bedroom	0	1.99	0	0.088	0	0.048	0	0.038	0
	3 bedroom	0	2.392	0	0.234	0	0.058	0	0.059	0
	4 bedroom	0	3.145	0	0.322	0	0.154	0	0.173	0
Multi Family (Condo/Apartment)										
	Efficiency	0	1.294	0	0	0	0	0	0	0
	1 bedroom	8	1.758	14.064	0.002	0.016	0.001	0.008	0.001	0.008
	2 bedroom	0	1.914	0	0.086	0	0.042	0	0.046	0
	3 bedroom	0	3.053	0	0.234	0	0.123	0	0.118	0
Estimated Population		8		14.064		0.016		0.008		0.008
Park Acreage @ 10 acres per 1,000 population				0.14064	acres					
Park Land Dedication				0	acres					
Park Cash in Lieu @ \$240,500 per acre				\$33,823.92						
Elementary School Acreage @ .025 acres per student						0.0004				
Middle School Acreage @ .0389 acres per student								0.0003112		
High School Acreage @ .072 acres per student										0.000576
Total School Acreage				0.0012872						
Total School Cash in Lieu @ \$240,500 per acre				\$309.57						

4 UNITS PER FLOOR (8 TOTAL)

* FULLY SPRINKLERED

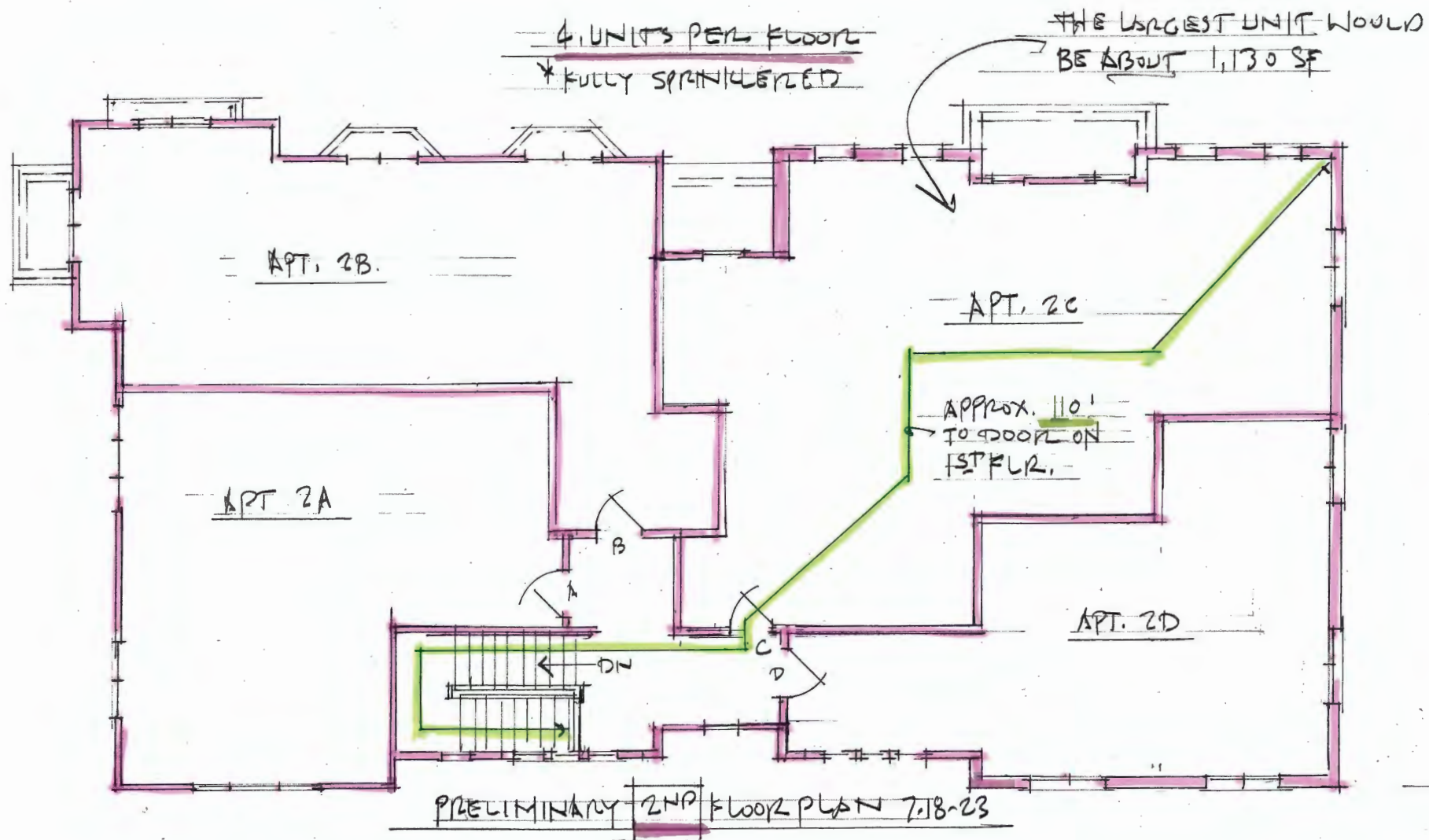


PRELIMINARY 1ST FLOOR PLAN 7-18-23

PROPOSED REMODELING, HERITAGE SPR II, BUILDING 2, 405 ILLINOIS AVE., ST. CHARLES, IL.

BOB RASMUSSEN

MARSHALL ARCHITECTS, INC.



PROPOSED REMODELING, HERITAGE SPR II, BUILDING 2, 405 ILLINOIS AVE., ST. CHARLES, IL.

BOB RASMUSSEN

MARSHALL ARCHITECTS, INC.

City of St. Charles, Illinois

Ordinance No. 2003-Z-15

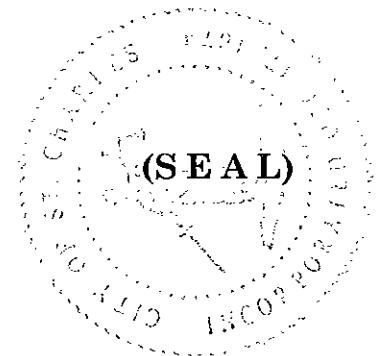
**An Ordinance Granting a Special Use as a
Planned Unit Development
(Heritage Square II PUD)**

**Adopted by the
City Council
of the
City of St. Charles
August 4, 2003**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, August 8, 2003**



City Clerk



REFER TO:	
MINUTES	8/4/03
PAGE	

DATE OF PUBLICATION	8/8/03
NEWSPAPER	Amphlet Farm

ORDINANCE NO. 2003-Z-15

PRESENTED AND PASSED BY THE
CITY COUNCIL ON August 4, 2003

AN ORDINANCE GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT
(HERITAGE SQUARE II PUD)

WHEREAS, a petition for granting a Special Use as a Planned Unit Development for the real estate described in "Exhibit A" attached hereto and made a part hereof (hereinafter sometimes referred to as the "Subject Realty") has been filed by JRD Development, Inc., record owner of the Subject Realty, hereinafter sometimes referred to as "OWNER"; and

WHEREAS, the Plan Commission has held a public hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered the same; and

WHEREAS, the City Council of the City of St. Charles hereby makes the following findings of fact regarding the granting of a special use:

1. **That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.** The proposed development will improve the aesthetic appearance of the property. The existing buildings on the property are in a dilapidated, unsafe condition with several code violations. The proposed redevelopment will improve public health and safety as it pertains to the subject property. The special use for the planned unit development will provide flexibility in the redevelopment design, such that it blends in and has a positive impact on the surrounding neighborhood.
2. **That the special use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.** The special use will not substantially diminish or impair property values within the neighborhood. The requested special use is to allow for office and multi family residential development, which will be consistent with uses on the neighboring Heritage Square I development. The proposed streetscape and the building architecture will help enhance property values in the area.

3. **That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The surrounding area is already developed. As such, the special use will not impede the normal and orderly development and improvement of the surrounding property. The proposed redevelopment will help clean up the existing property which is in a blighted condition. This in turn will have a strong positive impact on all surrounding properties.

Additionally, the high quality streetscape and proposed architecture will help set a precedent for such future redevelopment projects in the downtown area.

4. **That adequate utilities, access roads, drainage and/or necessary facilities have been, or being, provided.**

New utilities will be provided to serve the new development.

5. **That adequate measures have been, or will be taken to provide ingress and egress so designed as to minimize traffic congestion in public streets.**

The current existing access from Illinois Avenue will be eliminated and moved to Indiana Avenue. Indiana is a lesser travelled street than Illinois. Another access is being provided off Fourth Avenue.

6. **That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the City Council pursuant to recommendations of the Plan Commission.**

Other than the requested variations through the special use for the PUD, the development conforms to applicable regulations of the District. Variations to lot area, setbacks, parking, FAR and the required sight distances are being requested.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. That Section 17.02.180 of Title 17 of the St. Charles Municipal Code, as amended, and as set forth in the Zoning District Map as described therein and on file in the Office of the City Clerk, is hereby amended by granting of a Special Use as a Planned Unit Development for the entire Subject Realty, pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, all of the Subject Realty being subject to the additional conditions, variations, and restrictions hereinafter set forth.

SECTION 2. That the Subject Realty may be developed only in accordance with all ordinances of the City as now in effect or hereafter amended and in accordance with the additional procedures, definitions, uses, and restrictions contained herein and set forth in Exhibits B, C, D, all as attached hereto and made a part hereof. In this Ordinance, the term "Owner" shall mean the record owner of the Subject Realty, or of a portion of the Subject Realty, at the time of construction or application for permit or other approval for an activity or use, as the case may be.

A. ZONING REQUIREMENTS AND STANDARDS

1. **Uses:** The permitted and special uses as set forth in Exhibit "C" attached hereto shall be allowed on the Subject Realty. The procedure for granting a special use shall be the same as if there were no planned unit development.

2. **Bulk Requirements:** The minimum lot area, lot width, floor area ratio, building height, yard, setback and other requirements set forth in "Exhibit B" attached hereto, shall apply to the Subject Realty.

3. **Off-Street Parking and Loading:** All uses within the Subject Realty shall provide off-street parking in accordance with the requirements of Chapter 17.38 "Off-Street Loading and Parking" of the St. Charles Municipal Code, except as specifically provided in "Exhibit B".

B. PRELIMINARY PLAN, ENGINEERING PLANS AND FINAL PLAT

No final engineering plans or final plat for any part of the Subject Realty shall be approved prior to City Council approval of a preliminary plan for the entire Subject Realty conforming to the provisions hereof and the applicable provisions of the St. Charles Municipal Code. The foregoing notwithstanding, Owner shall have the right to submit, and the City shall accept and review, combined revised preliminary

plans and final plat, engineering and planned unit development plans, provided that such submittal shall include a revised preliminary plan for the entire Subject Realty conforming to the provisions hereof and the St. Charles Municipal Code, and may include final plans and plat for all or any part thereof. Review of final plans and plat shall not be required if the revised preliminary plan fails to conform with the City ordinances (except as varied herein). Such determination shall be first made by the Director of Public Works and the Director of Community Development, subject to confirmation by the City Council. Final development plans and plats which are hereafter submitted by Owner shall be approved by the City Council provided same conform with the applicable provisions, of the St. Charles Municipal Code and the provisions hereof, and substantially conform with the approved Preliminary Plan, all as determined by the City Council.

No final plat for any part of the Subject Realty shall be approved prior to approval of engineering plans for the Subject Realty and required offsite improvements as reasonably determined by the City. The guarantee for completion of onsite and offsite land improvements (as defined in Title 16 of the St. Charles Municipal Code) shall be in the form of a financial guarantee conforming with the provisions of Paragraph 16.12.220 (C) of the St. Charles Municipal Code.

C. BUILDING PERMIT TIMING

No building permit shall be issued for construction of any structure on the Subject Realty until after the engineering plans and a final plat have been approved and a final plat has been recorded for the unit or phase in which the building permit or permits are requested.

No building permit shall be issued prior to the time that bituminous binder or other paved access is available in locations sufficient to provide access by emergency and inspection vehicles. No building permit shall be issued prior to the time that the water system and fire hydrants are operable within the development

to provide adequate fire flow. Determination of acceptable condition of the access and availability of fire flow shall be made by the Building Commissioner, Director of Public Works and the Fire Chief.

D. COMPLETION OF IMPROVEMENTS PRIOR TO OCCUPANCY

No occupancy permit shall be issued for any dwelling unit until the Land Improvements for the unit or phase serving the building in which the dwelling unit is located have been accepted by the City Council; however, the following need not be completed prior to issuance of an occupancy permit: sidewalks, street trees, parkway seeding, and landscaping. At all times during construction the Owner shall be responsible for removal of construction debris and waste related to the Subject Realty.

E. UTILITY IMPROVEMENTS

Owner shall pay for and be responsible for the design, engineering, construction engineering, permits and installation of all offsite and onsite Land Improvements necessary to service the unit or phase of the Subject Realty being developed. Owner shall also provide the specific onsite and offsite Land Improvements as depicted on final engineering plans. All such improvements shall be included in the guarantee for completion.

F. FACILITIES TO BE UNDERGROUND

All utilities and communication facilities to be installed within the Subject Realty, including, but not limited to, telephone, electric, and cable television, shall be underground. Utilities to be installed by the City within the Subject Realty, if any, shall be installed underground.

H. ELECTRIC UTILITY SERVICE

The Owner may connect to the existing municipal electrical distribution system which adjoins the property line of the Subject Realty, and that such connection shall be permitted upon payment of the City's normal connection fees consistent with the City's policy at the time of final plat approval. Any

current or future electrical connection fees in force and effect at the time of connection on a basis equivalent to that imposed on other similar users in the City shall be paid by Owner.

I. EASEMENTS

An easement or easements over, under and upon that portion of the Subject Realty reasonably determined by the City to be necessary for the benefit of the Subject Realty for access by emergency vehicles or for access for maintenance, repair, replacement and customary servicing of all electricity lines, sanitary sewer, storm drainage, storm water detention and retention, water main systems, telephone lines, natural gas supply systems, communication facilities and other utilities, shall be provided at the City's request on all final plats in favor of the City. Such easements shall also be provided for all of the involved utility and communications companies, now or in the future receiving a City franchise, their respective officers, employees, and agents, together with related emergency and service vehicles and equipment, in locations consistent with the location of said utilities as identified on the final engineering plans and electric utility plans for the Subject Realty.

J. WELL AND SEPTIC PROHIBITED

There shall be no private wells or septic systems constructed within the Subject Realty. Further, there shall be no private wastewater treatment facilities servicing the Subject Realty. Within ten business (10) days after City Council acceptance of any water mains to serve a platted area of the Subject Realty, Owner shall plug any existing wells within such platted area in conformity with the regulations of the Illinois Department of Mines and Minerals and any other applicable State or Federal requirements and shall provide documentation to the City that such plugging has been accomplished, all in form and substance reasonably acceptable to the City Council.

K. SOIL EROSION CONTROL

Upon five (5) days' notice to Owner, the City shall have the right to stop any construction of Land Improvements, buildings and other structures if the City Engineer determines that the erosion control measures shown on the approved erosion control plan and as field modified are not being adequately maintained. A stop work order may be issued on these grounds against the then-owner of the property on which the violation occurs and will not be lifted until all violations are corrected. The then-owner shall indemnify and hold harmless the City from any and all losses, claims, expenses and penalties, including attorneys' fees, arising out of the City's issuance of a stop work order on these grounds.

L. PRELIMINARY PLAN APPROVAL

The Preliminary Plan as described by the provisions herein and as shown in "Exhibit D" attached hereto (herein collectively the "Preliminary Plan"), is hereby approved.

M. SIGHT DISTANCE

Buildings at the intersections of Illinois Ave and 4th Ave and Illinois Ave and 5th Ave shall be allowed to encroach 5 feet into the required 20 foot sight distance triangles. Required sight distances shall be measured from the right of way line. Upon review, the City Engineer has determined that the encroachment into these required sight distance triangles will not have a negative impact on traffic circulation and safety based on the following:

- Due to the existing vegetation and traffic control equipment within the sight distance triangles at these intersections, visibility prior to redevelopment is far worse than it would be due to the proposed encroachments;
- Accident data for these intersections does not show a significant level of vehicular or pedestrian accidents.

N. SCHOOL AND PARK CONTRIBUTIONS

The Owner shall comply with the requirements of Chapter 16.32 of the St. Charles Municipal Code entitled "Dedications" by making land or cash contributions for park and school purposes as set forth therein. Such contributions shall be calculated based on the provisions of said Chapter 16.32 in effect on the date of final plat approval.

The Owner shall receive a credit toward required land/cash contributions for park and school purposes based on the estimated population for the existing dwelling units to be demolished, but in no event shall this obligate the City, School or Park District to compensate the Owner.

O. SPECIAL SERVICE AREAS

Owner shall not object to the formation of and any amendment to one or more Special Service Areas, encompassing all or part of the Subject Realty for the purpose of maintaining and repairing drainage facilities, emergency access and walkway pavements, and other facilities. Such Special Service Area or Areas shall be of perpetual duration with a maximum rate of \$0.30 per \$100 of assessed valuation. Such Special Service Area or Areas may provide for maintenance by the City in the event that drainage facilities, emergency access are not adequately maintained by the Owner or successors. Such Special Service Area or Areas may also provide for maintenance of walkway pavements, and other facilities accepted by the City for maintenance which do not conform with the design criteria of Title 16 of the St. Charles Municipal Code.

SECTION 3. HOLD HARMLESS AND INDEMNIFICATION

In the event a claim is made against the CITY, its officers, other officials, agents and employees or any of them, or if any is made a party-defendant in any proceeding arising out of or in connection with the rezoning or approval and issuance of a Special Use Permit for a Planned Unit Development for the Subject

Realty, or the development of the Subject Realty, including matters pertaining to hazardous materials and other environmental matters, the Owner shall defend and hold the CITY and such officers, other officials, agents and employees harmless from all claims, liabilities, losses, taxes, judgments, costs and fees, including expenses and reasonable attorney's fees, in connection therewith. The CITY and such officers, other officials, agents and employees shall reasonably cooperate in the defense of such proceedings.

SECTION 4: That this ordinance shall become effective from and after its passage and approval in accordance with law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 4th day of August, 2003.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 4th day of August, 2003.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 4th day of August, 2003.


Susan L. Klinkhamer, Mayor

Attest:


City Clerk/Recording Secretary

Voice Vote:

Ayes: 10

Ordinance No. 2003-Z-15
Page 9 of 18

Nays: 0
Absent: 0
Abstain: 0

APPROVED AS TO FORM:

Timothy D. O'Neil
City Attorney

08/04/03
Date

Exhibit A

Legal Description of Subject Realty

Block 18 in the Original Town of St. Charles on the East Side of the Fox River, in the City of St. Charles,
Kane County, Illinois.

Exhibit B
Development Standards

Maximum Net floor area:

The maximum permitted "net floor area" for Non-Residential Uses on the Subject Realty shall be 9,861 square feet.

"Net floor area" shall be as defined in Section 17.04.210 A and B of Title 17 of the St. Charles Municipal Code.

Minimum Lot Area:

No minimum lot area shall apply to any portion of the Subject Realty.

Maximum number of dwelling units:

A maximum of thirteen dwelling units shall be permitted on the Subject Realty.

MINIMUM YARDS & SETBACKS:

- Minimum North building and parking setback (along Illinois Ave): 5.9 ft
- Minimum South building and parking setback (along Indiana Ave): 8.5 ft
- Minimum East building and parking setback (along 5th Ave): 7.2 ft
- Minimum West building and parking setback (along 4th Ave): 9.7 ft

- Side yards: A minimum distance of 10 ft between Buildings 1 & 2.

- Rear Yards: A minimum rear yard of 30 ft, except that for buildings which exceed 30 feet in height, the rear yard depth shall be increased by two feet for each additional one foot of building height over 30 feet.

Floor Area Ratio (FAR):

Total Maximum FAR allowed: 0.76

Building Height:

For multiple family dwellings, three stories or forty feet, whichever is lower.
For all other uses including mixed use buildings, two and one-half stories or thirty feet, whichever is lower.

More than one principal building on a lot:

More than one principal building shall be permitted per lot.

Off-street Parking:

- A maximum of the same ten (10) off-street parking facilities shall qualify as required facilities for residential and non-residential uses, provided that use of such facilities by each user does not take place at the same hours of the same day of the week.
- Off-street parking spaces accessory to a non-residential use may be located within the Subject Realty, notwithstanding its classification, in a residential zoning district.
- Required parking spaces for residential uses may be located on lots other than the same lot as the building or use served, provided that all required parking spaces for residential uses shall be located within the Subject Realty.

Fences and walls:

Fences and walls located in the front yards shall not exceed 6 ft. above finished grade, provided:

- Fences and walls are constructed of masonry, stone, ornamental metal, or other comparable or superior materials.
- At least 40% of the length of the fence/wall for each street frontage shall be open type, so as not to create a visual fortress like appearance.

Exhibit C

Permitted uses.

The following permitted uses shall be allowed on the subject property:

Single-family detached dwellings;

Single-family attached dwellings;

Two-family detached dwellings;

Multiple-family dwellings;

Libraries;

Parks and playgrounds, publicly-owned and operated;

Schools, elementary, junior high, and high (non-boarding);

Temporary buildings for construction purposes for a period not to exceed the period of such construction;

Accessory uses including but not limited to:

1. Off-street parking and off-street loading, as regulated in Chapter 17.38.
2. Home occupations as regulated in Chapter 17.06;
3. Signs as regulated in Chapter 17.06.
4. Communication antennas.

Group home for persons with disabilities (small).

Business, professional and non-profit offices

Beauty parlors,

Credit agency,

Interior decorating studio,

Mail order house,

Photographic studio,

Travel agency,

Wedding chapel,

Music Teacher Studio with hours not to expand beyond 8:00 a.m. – 9:00 p.m.
Monday through Saturday;

Medical and dental offices and clinics

Art gallery,

Antique shop,

Bookstore,

Gift shop,

Flower shop,

Leather and luggage goods store,

Musical Instrument Sales and Repair;

Special uses.

- A. Bed and Breakfast guest homes;
- B. Churches;
- C. Nursery schools and day care centers;
- D. Planned Unit Developments;
- E. Group home for persons with disabilities (large).

EXHIBIT D
PRELIMINARY PLANS

HERITAGE II

NWC 5TH AVE. & INDIANA AVE.
ST. CHARLES, ILLINOIS

RECEIVED

JUL 31 2003

PLANNING OFFICE

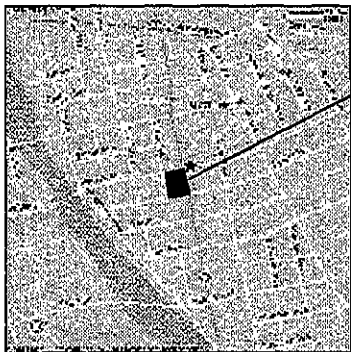
PREPARED FOR:

JRD, INC

P.O. BOX 3970

ST. CHARLES, IL 60174

LOCATION MAP



- SITE

BENCHMARKS

1. CHARLES SQUARE IS CHRONICALLY ADJACENT AT THE NORTHEAST CORNER OF
SLINGER AVE AND FIRST AVE.
ELEVATION = 4948 (LEGAS)

2. S.E. PLANT, TOLL ON HIGHWAY, EAST SIDE OF 17TH AVE. BETWEEN
PETERSON AVE AND SLINGER AVE.
ELEVATION = 730-75

IT IS THE RESPONSIBILITY OF EACH CONTRIBUTOR TO VERIFY ALL BENCHMARK

SHEET INDEX

C0.1	TITLE AND INDEX SHEET
C0.2	EXISTING CONDITIONS & DEMOLITION PLAN
C1.0	SITE & GEOMETRIC PLAN
C2.0	GRADING PLAN
C3.1	EROSION CONTROL PLAN
C3.0	UTILITY PLAN
C3.1	SANITARY PROFILE PLAN
C7.0	GENERAL NOTES AND SPECIFICATIONS
C7.1	SITE DETAILS
C7.2	UTILITY DETAILS
C7.3	UTILITY DETAILS

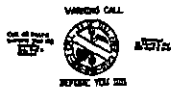
CONTACTS

ELECTRIC: MR. GYNN AMBURGEY
CITY OF ST. CHARLES
1-630-377-4407

GAS: MRS. JUDY ZIDRON
NICOR
1-630-629-2500 EXT. 333

TELEPHONE: MR. STEVE MAHER
AMERITECH
1-847-888-6824

ST. CHARLES: MR. GREG CHISMARK
CITY ENGINEERS
1-630-377-4438



CONTRACTORS SHALL CALL 311A
BEFORE START OF CONSTRUCTION,
CALL LOCAL AMBLYSON OFFICE FOR
LOCATIONS OF PUMP OFFIC CANAL.
JILLER, DO NOT MARK THESE
LOCATIONS.

FINAL / PRELIMINARY ENGINEERING

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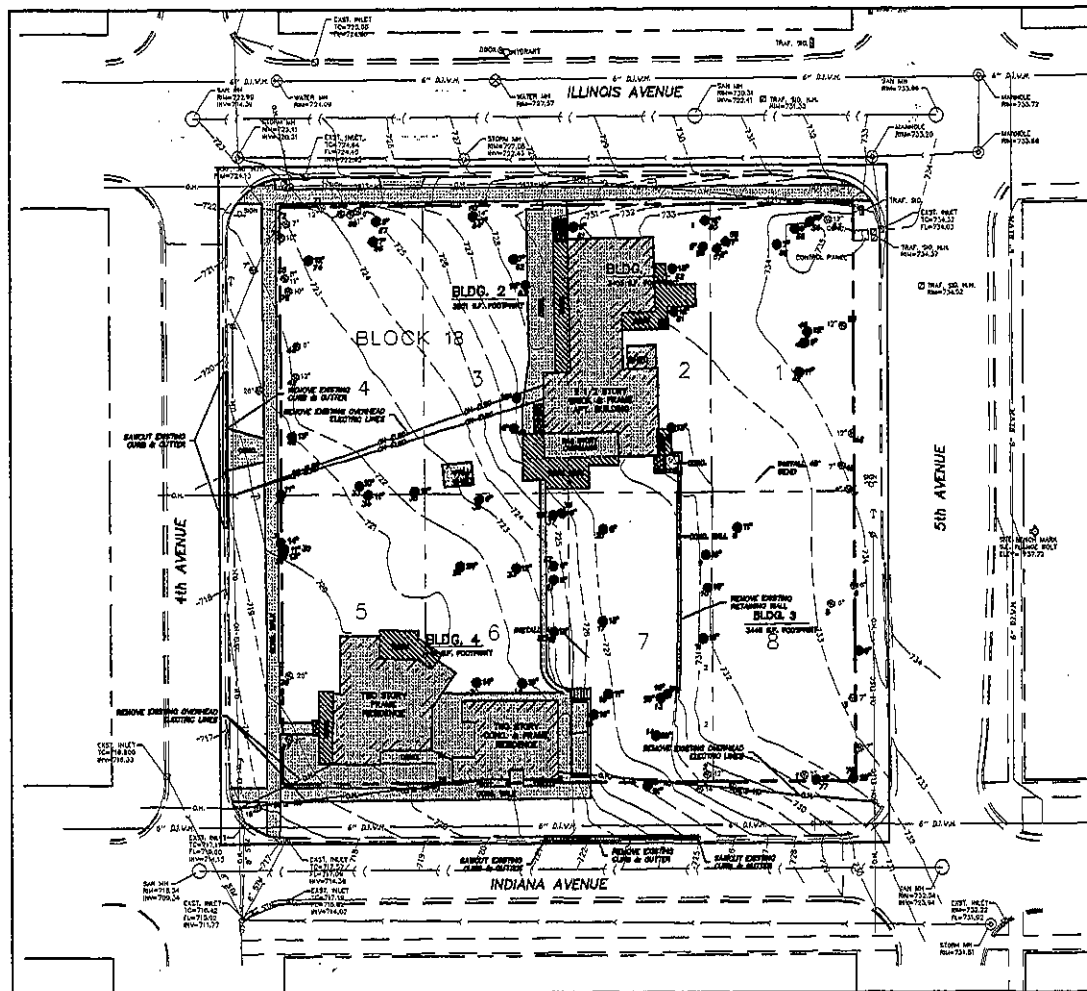
TITLE AND
INDEX SHEETS

HERITAGE II
NWC 5TH AVE. & INDIANA AVE.
ST. CHARLES, ILLINOIS

CHAS. A. KNOCK, P.C. **LICENCED ENGINEER & DES-OLIVER**

Craig R. Knoch & Associates
Civil Engineers, P.C.
2010 Coliseum Drive • Greensboro, N.C. 27402 • phone 336/853-8900 • fax 336/853-8901

DATE	04/07/03	C0.1
FILE	S-024001	
JOB NO	S-024	

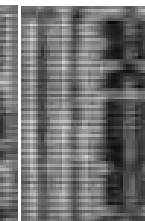
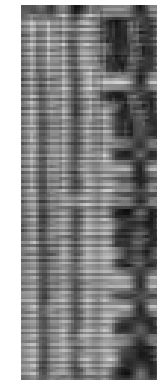


LEGEND

EXISTING	TO BE REMOVED
TREES	
ELECTRIC	
PAVEMENT, BUILDINGS, SIDEWALKS, CURB & GUTTER TO BE REMOVED	

DEMOLITION NOTES:

1. ALL DEMOLITION SHALL BE REMOVED SHALL BACK FILLED WITH ENGINEERED FILL COMPACTED TO 95% MAXIMUM DENSITY.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE DEMOLITION. IF THERE ARE ANY DISCREPANCIES CONTACT THE ENGINEER.
3. CONTRACTOR MUST BARRICADE ENTIRE CONSTRUCTION AREA WITH ORANGE SHOWN FORCE AND CONSTRUCTION ENTRANCE GATE AS REQUIRED TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM ENTERING THE AREA.
4. EXISTING GRAVEL BASE MAY BE STOCKPILED AND REUSED SUBJECT TO APPROVAL BY SDI CHIEF.
5. DEMOLITION CONTRACTOR SHALL CALL ALLIANCE PRIOR TO ANY DEMOLITION WORK.
6. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL SDIA REGULATIONS.
7. ALL UTILITIES SHALL BE DISCONNECTED AND CAPPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION & THE CITY OF ST. CHARLES.
8. ALL MATERIAL MUST BE HAULED FROM SITE AND DISPOSED OF PROPERLY AS IT IS BEING REMOVED. DEMOLITION DEBRIS SHALL NOT BE BURIED ON SITE.
9. TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY SHALL MEET SDOT STANDARDS PER SECTION 700.1 STANDARDS SPEC. FOR ROAD AND BRIDGE CONSTRUCTION (AS ADOPTED 1/1/2002).
10. CONTRACTOR MUST BARRICADE (INCLUDE WARNING LIGHTS) ALL OPEN EXCAVATIONS AS REQUIRED TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM ENTERING THE AREA.
11. ALL EXCAVATIONS IN AREAS TO BE PAVED OR WITH IN 2 FT OF PAVED AREAS TO BE FILLED IN 8" LIFTS WITH APPROVED ENGINEER BACK FILL AND COMPACTED TO 95% MAXIMUM DENSITY.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PROPER PERMITS REQUIRED BY THE CITY OF ST. CHARLES.
13. ALL EXISTING SANITARY SERVICES AND WATER MAIN SERVICES ARE NOT NECESSARILY SHOWN ON THE PLANS BUT SHALL BE REMOVED IF DISCOVERED DURING CONSTRUCTION. THE WATER AND SANITARY SERVICES SHALL BE REMOVED AT THE MAIN LINE OR AS DIRECTED BY THE CITY OF ST. CHARLES.
14. REMOVAL OF ANY EXISTING WATER MAIN APPURTENANCES SHALL BE COORDINATED WITH THE CITY OF ST. CHARLES WATER DIVISION. A FORTY-EIGHT HOUR NOTICE MUST BE GIVEN PRIOR TO WATER MAIN SHUTDOWNS.
15. ALL OPEN TRENCHES MUST BE BACK FILLED THE SAME DAY THEY ARE OPENED.

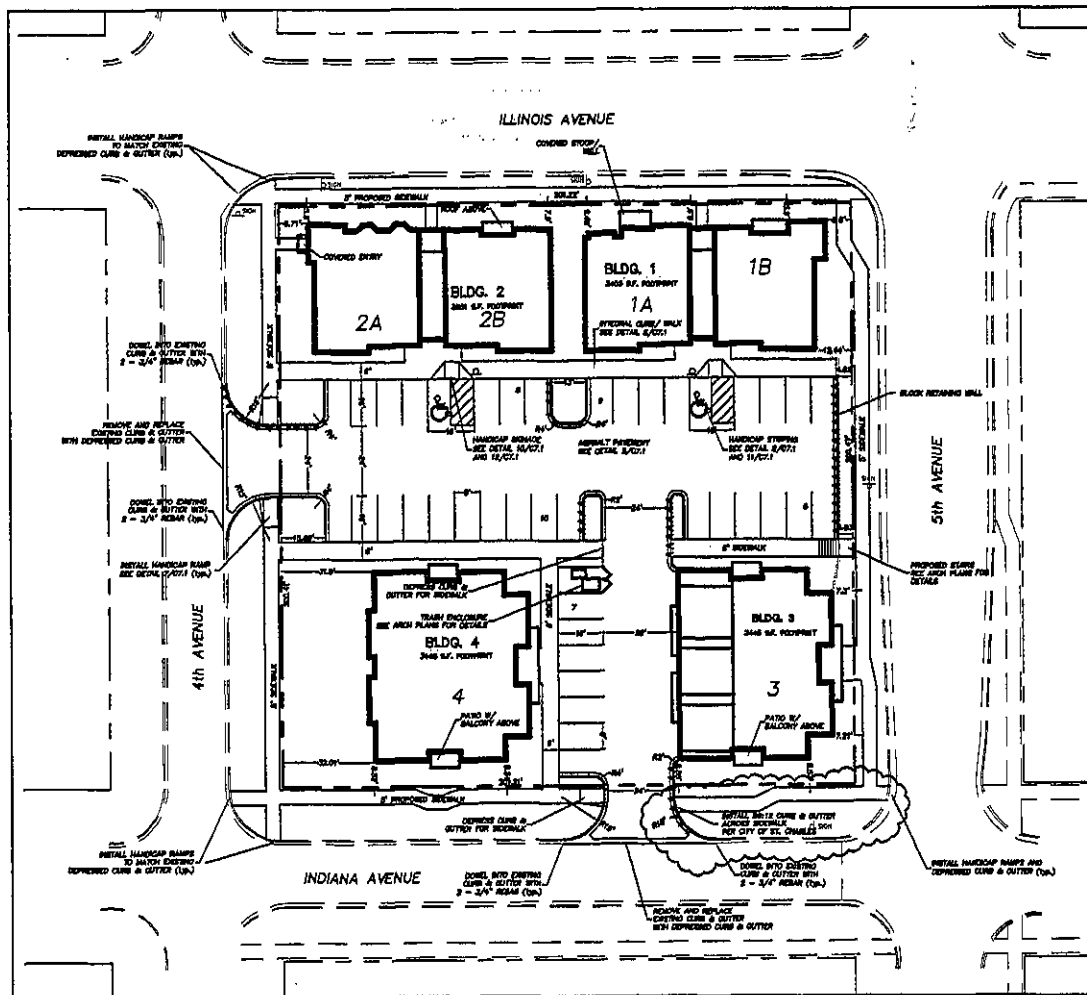


NO.	DATE	DESCRIPTION
1	04/07/03	EXISTING CONDITIONS AND DEMOLITION PLAN

EXISTING CONDITIONS AND DEMOLITION PLAN
HERITAGE I
NWC 5TH AVE. & INDIANA AVE.
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
200 Commerce Street • St. Charles, IL 62250 • Phone: 618-733-1100 • Fax: 618-733-1101

04/07/03
3-014002
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C0.2
2003.03



LEGEND

PROPERTY LINE	PROPOSED	EXISTING
CURB & GUTTER		
WALK		
DRIVE		
SEWER		
SEWER FROM CURB & GUTTER		

SITE NOTES

1. ALL PROPERTY DIMENSIONS AND AREA ARE APPROXIMATED AND SUBJECT TO CHANGE PER FINAL SURVEY.
2. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL CURB RAIN ARE FACE OF CURB UNLESS OTHERWISE NOTED.
4. SEE ARCHITECTURAL PLANS FOR EXISTING BUILDING PHOTOGRAPHS.
5. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
6. ALL LOCATIONS WHERE THE SIDEWALK ADJACENT THE PROPOSED PARKING LOT THE SIDEWALK SHALL BE INTERIOR CURB / WALK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REMAINING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION, WHICH IS NOT SPECIFIED ON DETAIL PLAN (C.D.).
8. ALL PAVEMENT MARKINGS SHALL BE PAINTED TRAFFIC YELLOW 4" WIDE AND 3" LONG UNLESS OTHERWISE NOTED.
9. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCE TO R.O.W. IN ACCORDANCE W/ ILLINOIS D.O.C. REQUIREMENTS.
10. ALL CURB & GUTTER SHALL BE 36" CURB & GUTTER UNLESS OTHERWISE SPECIFIED.

LOT AREA:	40,320 S.F.
EXISTING ZONING: R-4	
PROPOSED ZONING: R-4	
TOTAL PROPOSED DWELLING UNITS:	13 UNITS
LOT AREA PER DWELLING UNIT:	3,102 S.F.
TOTAL BUILDING FOOTPRINT:	13,804 S.F.
TOTAL GROSS BUILDING AREA (INCLUDING ALL STORIES EXCEPT THE BASEMENTS AND THE GARAGES):	32,570 S.F.
PROPOSED F.A.R.:	.70
PROPOSED L.C.R.:	.34
ESTIMATE TOTAL NET OFFICE AREA (BASED ON GROSS LESS STAIR, ELEVATOR):	8,891 S.F.
PARKING FOR OFFICES AT 4 PER 1000 S.O.:	35.4 SPACES
PARKING REQUIRED FOR DWELLING UNITS:	
(4) 2 BEDROOMS:	8.0 SPACES
(1) 1 BEDROOM:	4.0 SPACES
TOTAL PARKING REQUIRED FOR DWELLING UNITS:	12.0 SPACES
PROPOSED TOTAL PARKING (INCLUDES 9 CAR GARAGE):	47 SPACES
PROPOSED COMMERCIAL / RESIDENTIAL OVERLAPPED PARKING:	10 SPACES
RATIO OF COMMERCIAL PARKING/RES. PARKING:	625 COMMERCIAL 316 RESIDENTIAL
LANDSCAPE AREA:	8,477 SF
INTERIOR LANDSCAPE AREA:	20,335 4,777 SF 15,558

(4) OFFICE UNITS
EST. 1,500 S.F. GROSS EA.
1,200 S.F. NET (800) EA.
PARKING REQ'D: 15.6 SPACES

MULTI-FAMILY
(1) 1 BEDROOM APT.
(2) 2 BEDROOM APT.
PARKING REQ'D: 6.4 SPACES

(4) OFFICE UNITS
EST. 1,500 S.F. GROSS EA.
1,200 S.F. NET (800) EA.
PARKING REQ'D: 15.6 SPACES

MULTI-FAMILY
(4) 1 BEDROOM APT.
(2) 2 BEDROOM APT.
PARKING REQ'D: 6.4 SPACES

Scale: 1"=20'



REVISIONS	DATE	BY	DESCRIPTION
1	04/07/03	CH	ISSUED FOR PERMIT
2	04/07/03	CH	REVISED FOR COMMENTS
3	04/07/03	CH	REVISED FOR COMMENTS
4	04/07/03	CH	REVISED FOR COMMENTS
5	04/07/03	CH	REVISED FOR COMMENTS
6	04/07/03	CH	REVISED FOR COMMENTS
7	04/07/03	CH	REVISED FOR COMMENTS
8	04/07/03	CH	REVISED FOR COMMENTS
9	04/07/03	CH	REVISED FOR COMMENTS
10	04/07/03	CH	REVISED FOR COMMENTS

SITE AND GEOMETRIC PLAN

HERITAGE I
NWC 5TH AVE. & INDIANA AVE
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
1000 Commerce Drive • Suite 200 • St. Charles, IL 60154 • Phone: (618) 751-1111 • Fax: (618) 751-1112

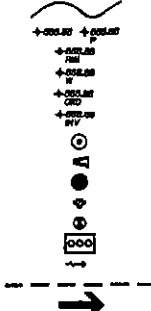
DATE: 04/07/03
REV: 3-024C10
2010
C1.0
REVISED

LEGEND

PROPOSED

EXISTING

CONTOUR
 PAVEMENT GRADE
 HILL GRADE
 BEDROCK GRADE
 DRAINAGE GRADE
 STREET GRADE
 STORM MANHOLE
 PLUMBED END SECTION
 SANITARY MANHOLE
 FIRE HYDRANT
 VALVE VAULT
 CULVERT TRAP
 FLOW DIRECTION ARROW
 RELOCATE
 DRAINAGE ROUTE ARROW

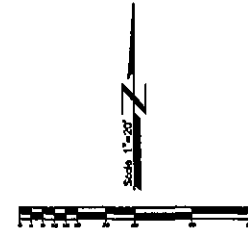
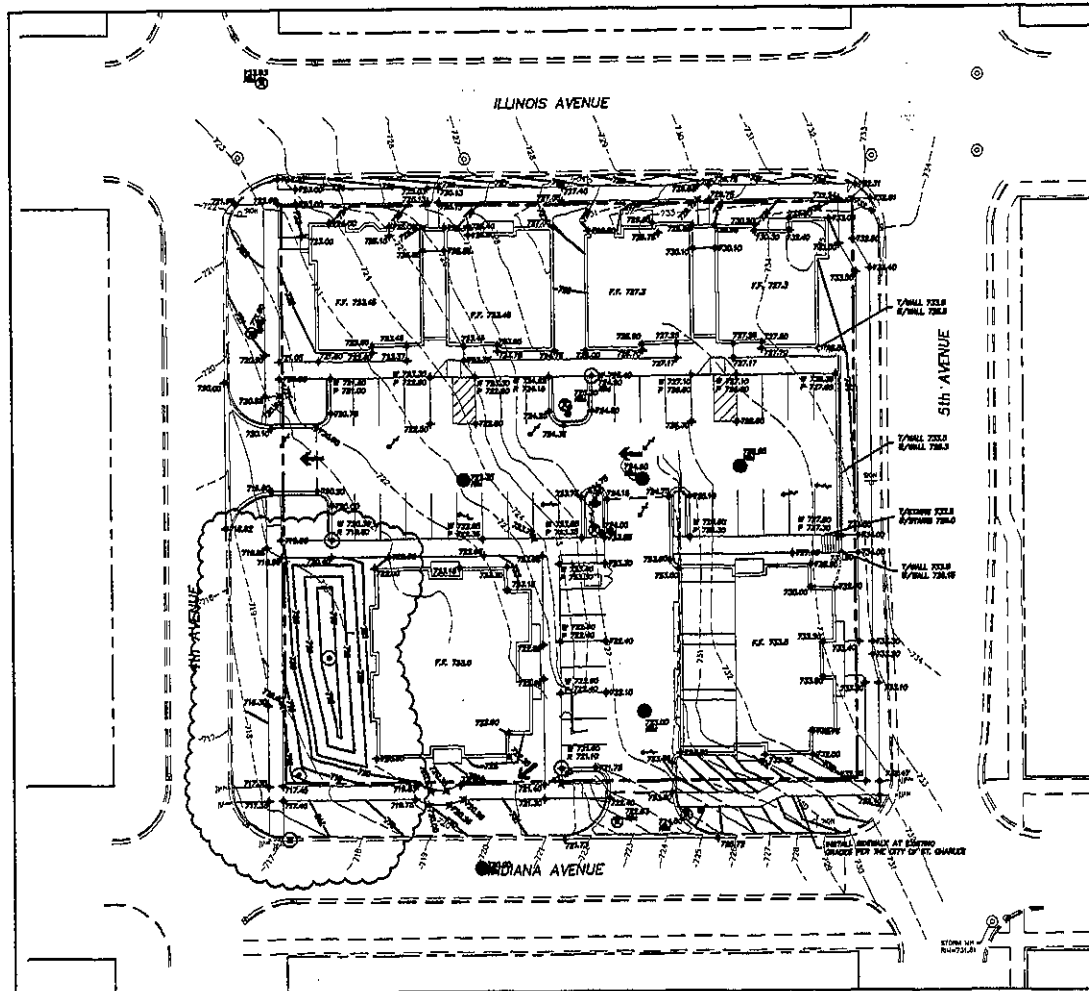


GRADING NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL SPREAD SHOULDER FROM THE UTILITY CONTRACTOR TO BALANCE THE SITE TO THE EXTENT POSSIBLE.
3. THE CONTRACTOR SHALL REMOVE EXCESS SOIL FROM THE SITE.
4. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES ARE ENCOUNTERED. CONTRACTOR SHALL REMOVE AND REPLACE UNDESIRABLE MATERIAL AS DIRECTED BY SOIL ENGINEER.
5. CONTRACTOR SHALL NOTIFY TESTING ENGINEER PRIOR TO PAVING. TESTING ENGINEER SHALL APPROVE GRADING PRIOR TO PAVING. GRADING CONTRACTOR SHALL MAKE CHANGES AS DIRECTED BY TESTING ENGINEER.
6. CONTRACTOR TO VERIFY ACCEPTANCE OF MASS GRADING NO LATER THAN 24 HOURS PRIOR TO BID DATE.
7. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT A VALVE NOTICE OF INTENT CALLS BE ON RECORD WITH THE ALABAMA ENVIRONMENTAL PROTECTION AGENCY PRIOR TO DETURNING ANY CULVERT.
8. ALL RETAINING WALL SHALL BE BLOCK RETAINING WALL UNLESS OTHERWISE NOTED. ALL DESIGN SHALL BE BY MANUFACTURE AND CALCULATIONS SHALL BE REVIEWED BY A REGISTERED STRUCTURAL ENGINEER AND SUBMITTED TO THE CITY, THE OWNER AND THE ENGINEER FOR APPROVAL.

STORM WATER POLLUTION PREVENTION PROGRAM

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PUT IN PLACE ALL SOIL EROSION PREVENTION DEVICES SHOWN ON THE PLANS PRIOR TO START OF DEMOLITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER IN WRITING OF ANY ADDITIONAL SOURCES OF STORM WATER POLLUTION OBSERVED DURING CONSTRUCTION AND THE ADDITIONAL COST REQUIRED TO PREVENT THE ADDITIONAL POLLUTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL STORM WATER POLLUTION DEVICES THROUGHOUT CONSTRUCTION AND UNTIL ALL UNPAVED OR NON-BUILDING AREA HAVE A UNIFORM PERMANENT VEGETATIVE COVER WITH DENSITY OF 75 PERCENT OR GREATER. MAINTENANCE INCLUDES REGULAR INSPECTIONS ON AN INSPECTION FOLLOWING A RAINFALL OF 1/2 IN IN 24-HOUR PERIOD. THE CONTRACTOR MUST SUBMIT A COPY OF THE INSPECTION REPORT TO THE OWNER AND ENGINEER AT THE END OF EACH MONTH AND KEEP A COPY OF THE REPORT ON THE CONSTRUCTION SITE UNTIL THE REQUIRED VEGETATION COVER IS IN PLACE.

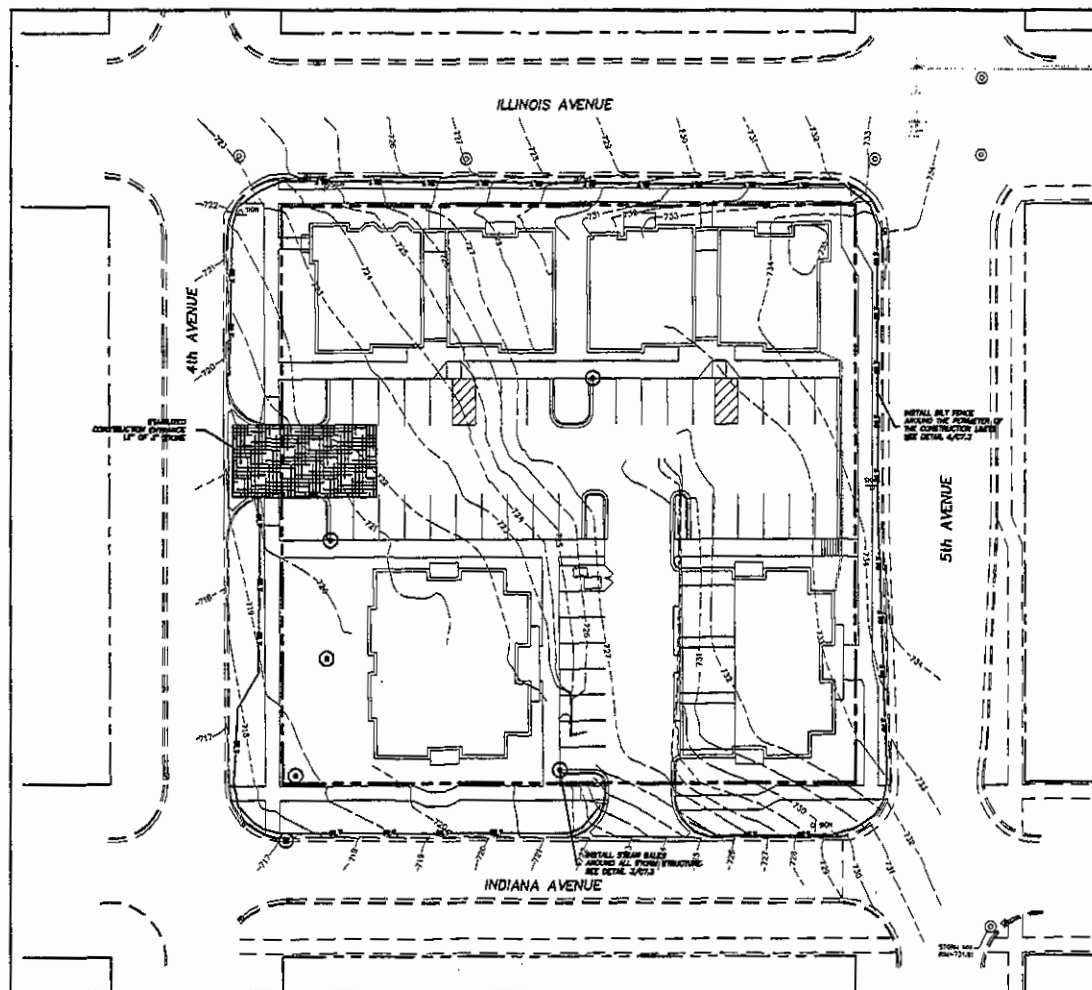


GRADING PLAN

HERITAGE I
 NWC 5TH AVE. & INDIANA AVE.
 ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
 Civil Engineers, P.C.
 100 Commerce Drive • St. Charles, IL 62276 • Phone: 618/451-1111 • Fax: 618/451-1112

DATE: 04/27/2011
 REV: 3-024220
 SHEET: 2-024
C2.0



LEGEND

PROPOSED

SILT FENCE

STRAW BALES

CONSTRUCTION ENTRANCE

TYPICAL EROSION

EROSION CONTROL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF EROSION CONTROL DEVICES INCLUDING BUT NOT LIMITED TO SILT FENCE AROUND THE CONSTRUCTION LIMITS AND STRAW BALES AROUND THE STORM MANHOLE OR ALLEYS FOR THE DETAIL.
2. IF THERE IS NO GENERAL CONTRACTOR IT WILL THEN BE THE RESPONSIBILITY OF THE EXCAVATION/GRADING CONTRACTOR TO INSTALL THE SEE EROSION CONTROL DEVICES.
3. IF ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THE PLANS ARE REQUIRED TO STOP OR PREVENT EROSION OR ARE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL SUCH REQUIRED DEVICES. THE OWNER OR ENGINEER SHALL BE NOTIFIED OF THE ADDITIONAL WORK AND COST PRIOR TO THE INSTALLATION.
4. SEE DETAIL 4/07.3 FOR SILT FENCE AND DETAIL 3/07.3 FOR STRAW BALE REQUIREMENTS AT EACH STORM STRUCTURE.
5. ALL LOCAL AND STATE EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.

STORM WATER POLLUTION PREVENTION PROGRAM

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PUT IN PLACE ALL SOIL EROSION PREVENTION DEVICES SHOWN ON THE PLANS PRIOR TO START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER IN WRITING OF ANY ADDITIONAL SOURCES OF STORM WATER POLLUTION OBSERVED DURING CONSTRUCTION AND THE ADDITIONAL COST REQUIRED TO PREVENT THE ADDITIONAL POLLUTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL STORM WATER POLLUTION DEVICES THROUGHOUT CONSTRUCTION AND UNTIL ALL DISPERSED OR NOT BUILT ARE HAVE A CLEANING PERSONNEL VEGETATIVE COVER WITH DENSITY OF 20 PERCENT OR GREATER. MAINTENANCE INCLUDES DAILY INSPECTIONS OF ALL INSPECTIONS FOLLOWING A RAINFALL OF 1/2 IN IN 24-HOUR PERIOD. THE CONTRACTOR MUST SUBMIT A COPY OF THE INSPECTION REPORT TO THE OWNER AND ENGINEER AT THE END OF EACH MONTH AND KEEP A COPY OF THE REPORT ON THE CONSTRUCTION SITE UNTIL THE REQUIRED VEGETATION COVER IS IN PLACE.

Scale 1"=30'



REVISIONS

NO.	DATE	DESCRIPTION
1	04/07/03	ISSUED FOR PERMIT

EROSION CONTROL PLAN

HERITAGE I
NWC 5TH AVE. & INDIANA AVE.
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
200 Commerce Drive • St. Charles, IL 60154 • Phone: (618) 751-1100 • Fax: (618) 751-1101

DATE 04/07/03
BY KRS
CHECKED J. J. J. J.
3-044520
2870 3-0441

C2.1
AMEND

HERITAGE I

UTILITY NOTES

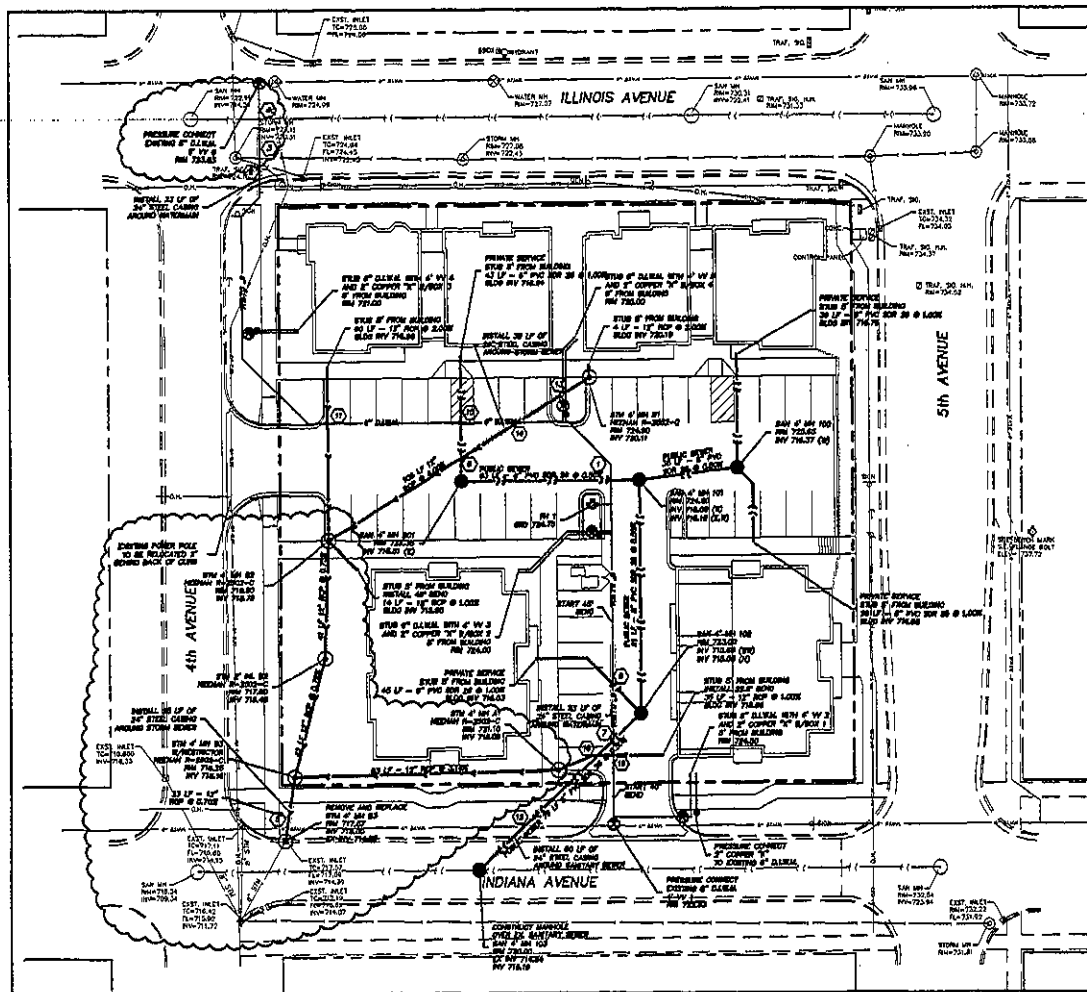
1. ALL WATERMAIN SHALL BE CLASS 50 DUCTILE IRON PIPE WITH TYPE S LAYING CONDITIONS UNLESS OTHERWISE SPECIFIED. FITTINGS SHALL MEET ASTM A151 OR C151. VALVE SHALL MEET AWWA C500-87.
2. ALL SANITARY SEWER PIPE SHALL BE 15 FEET SHALL BE 15-20 FEET SHALL MEET ASTM D2238. ALL SANITARY SEWER PIPE WITH A DEPTH 30-39 FEET SHALL BE 30-39 FEET SHALL MEET ASTM D2238. ALL SANITARY SEWER PIPE WITH A DEPTH 40-49 FEET SHALL BE 40-49 FEET SHALL MEET ASTM D2238.
3. ALL STORM SEWER PIPE SHALL BE CLASS IV REINFORCED CONCRETE PIPE MEETING ASTM C76.
4. PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS AND VALVES SHALL MEET ASTM C76.
5. EXISTING UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE NOT NECESSARILY EXCLUSIVE. CONTRACTOR SHALL VERIFY UTILITIES BEFORE ANY CONSTRUCTION OF DISCREPANCIES, EXCEPTIONS OR OMISSIONS AS SUCH AS POSSIBLE.
6. FRAME AND GATE INSTRUCTIONS:
 - STORM STRUCTURE (FRAMING) - MEDIAN R-2000-C
 - STORM STRUCTURE (GATES) - MEDIAN R-2001-A
 - SANITARY STRUCTURE - MEDIAN R-1772
7. ALL STORM STRUCTURES SHALL HAVE UNDERGROUND INSTALLATION DETAIL 11/17/72. ALL ROADWAY SHALL BE OPEN CUT FOR PROPOSED UTILITIES. THE CONTRACTOR SHALL CONTACT THE CITY BEFORE ANY WORK IN THE ROADWAY TO DISCUSS TRAFFIC CONTROL.
8. ALL 8-INCHES SHALL BE 1/4" DIA. 30" FROM THE BUILDING INSTALLED IN LANDSCAPE AREA.
9. WATERMAIN QUALITY PIPE SHALL BE USED IN ALL LOCATIONS WHERE THE SANITARY AND STORM SEWER CROSS THE WATERMAIN AND 10 FEET ON EACH SIDE OF THE WATERMAIN.
10. ALL STORM SEWER SHALL BE PRIVATE.
11. ALL SANITARY MAINS SHALL BE PUBLIC AND ALL SERVICES SHALL BE PRIVATE.

LEGEND

	PROPOSED	EXISTING
STORM SEWER	—	—
SANITARY SEWER	—	—
WATERMAIN	—	—
ELECTRIC	—	—
TELEPHONE	—	—
ELECTRIC	—	—
TELEPHONE	—	—
STORM SEWER	—	—
SANITARY SEWER	—	—
WATERMAIN	—	—
ELECTRIC	—	—
TELEPHONE	—	—
STORM SEWER	—	—
SANITARY SEWER	—	—
WATERMAIN	—	—
ELECTRIC	—	—
TELEPHONE	—	—
STORM SEWER	—	—
SANITARY SEWER	—	—
WATERMAIN	—	—
ELECTRIC	—	—
TELEPHONE	—	—

CROSSINGS

1. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.50
T/SAN 718.92
2. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 717.80
T/SAN 718.16
3. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.28
T/SAN 718.50
4. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
5. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
6. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
7. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
8. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
9. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
10. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
11. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
12. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
13. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
14. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16
15. 5' OF COVER ON WATERMAIN BY CITY OF ST. CHARLES
B/W 718.24
T/SAN 718.16



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	11/15/72
2	REVISED TO SHOW CHANGES	11/15/72
3	REVISED TO SHOW CHANGES	11/15/72
4	REVISED TO SHOW CHANGES	11/15/72
5	REVISED TO SHOW CHANGES	11/15/72
6	REVISED TO SHOW CHANGES	11/15/72
7	REVISED TO SHOW CHANGES	11/15/72
8	REVISED TO SHOW CHANGES	11/15/72
9	REVISED TO SHOW CHANGES	11/15/72
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14	REVISED TO SHOW CHANGES	11/15/72
15	REVISED TO SHOW CHANGES	11/15/72
16	REVISED TO SHOW CHANGES	11/15/72
17	REVISED TO SHOW CHANGES	11/15/72
18	REVISED TO SHOW CHANGES	11/15/72
19	REVISED TO SHOW CHANGES	11/15/72
20	REVISED TO SHOW CHANGES	11/15/72

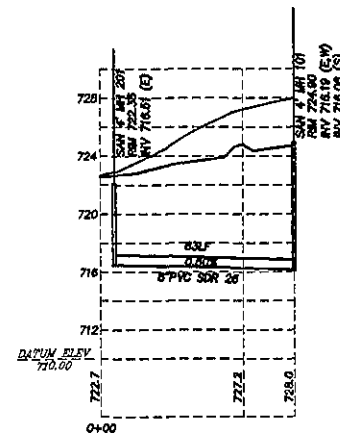
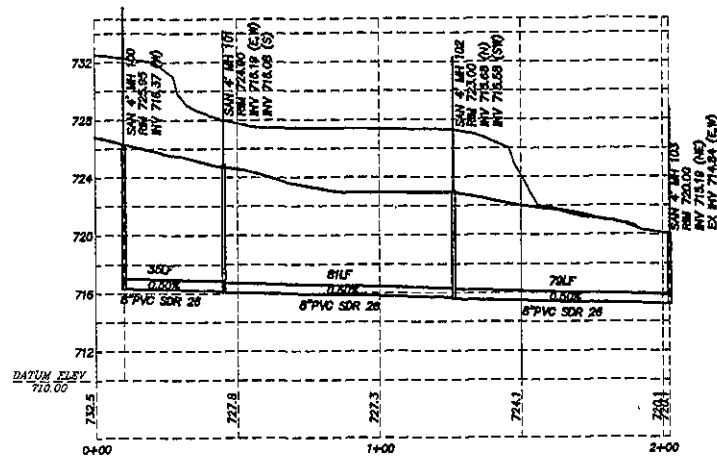
UTILITY PLAN

HERITAGE II
NWC 5TH AVE. & INDIANA AVE
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
200 Commerce Center • St. Charles, MO 63301 • Phone: (314) 733-1111 • Telex: 242420

DATE: 11/15/72
BY: C.R.K.
CHECKED: C.R.K.
SCALE: 1"=20'

C3.0



REVISIONS	
NO.	DESCRIPTION
1	AS SHOWN
2	AS SHOWN
3	AS SHOWN
4	AS SHOWN
5	AS SHOWN
6	AS SHOWN
7	AS SHOWN
8	AS SHOWN
9	AS SHOWN
10	AS SHOWN

**SANITARY
PROFILE**

HERITAGE I
NWC 5TH AVE. & INDIANA AVE.
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
1000 Chestnut Street • St. Louis, MO 63103 • Phone: (314) 433-1000 • Fax: (314) 433-1001

DATE: 04/07/03
BY: 3-524030
C3.1

GENERAL NOTES & SPECIFICATIONS

1. All existing and permanent construction shall comply with the requirements of the 2002 Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction" or latest edition, except as may be modified by the project plans and specifications.
2. All underground construction shall comply with the requirements of the 1999 "Standard Specifications for Water and Sewer Main Construction" or latest edition, except as may be modified by the project plans and specifications.
3. All work shall be in accordance with the standard specifications of the local municipality. Each Contractor shall be provided with the applicable sections of this specification in the bid package.
4. All alterations shown are plan and are listed below.
5. The local municipality and its engineering department shall be notified of all work to be done prior to start of construction. The contractor is responsible for notifying all jurisdictional agencies and all adjacent streets and driveways that may be affected by the proposed construction, and ensuring that all interferences are resolved prior to commencing construction.
6. All work to exist at site and local area.
7. The contractor(s) shall indemnify the owner, the engineer, and the municipality their agents, etc. from all liability involved with the construction, installation, and testing of the work on this project.
8. All work shall comply with the EPA "Standard Specification for Soil Erosion and Sedimentation Control" or latest edition. The contractor shall take whatever steps are necessary to control erosion on the site. Erosion control features shall be constructed prior to any other work on the site. The contractor shall ensure that all erosion control features are properly installed and maintained throughout construction. He shall provide adequate erosion control measures as to avoid or minimize erosion of streets, lanes and roadways. Erosion shall not be allowed when the work site is too wet to maintain acceptable conditions on adjacent streets and driveways shall be thoroughly or mechanically swept periodically or may be replaced by temporary sediment trapping from this project. Erosion control measures and drainage structures at no additional cost.
9. The contractor shall be responsible for the compliance with all of the requirements of the local municipality and its engineering department. The contractor shall ensure that all work is in accordance with the requirements of the local municipality and its engineering department. At no time will the engineer or any of his employees be held liable, either directly or indirectly, for any damages or claims incurred with construction project.
10. All existing field drainage lines encountered or damaged during construction are to be repaired to their original condition, properly installed and/or connected to the storm sewer system. The contractor shall keep a record of all locations of field drainage lines encountered unless otherwise noted.
11. Commencement of work, St. Charles Electric, AmeriBank, Midco gas, and other utility company conduits are not to be disturbed. The contractor shall be notified of all locations of field drainage lines encountered unless otherwise noted.
12. The contractor shall field verify the existing conditions and notify City of St. Charles, Ill. Engineering, Civil Engineering P.E. of any discrepancies prior to construction.
13. Contractor shall be responsible for repairing all existing pavement damaged during construction that is not specified.
14. All concrete work shall be in accordance with the local municipality.
15. Subgrade preparation for all pavements shown on the drawings shall include typical stripping and removal of any existing unstable/deteriorated material.
16. Apply prime and uniformly over surface of compacted aggregate base at a rate of 0.45 gal/sy. Apply enough material to penetrate and seal, but not flood surface. Allow prime coat to cure for 72 hours minimum.
17. It shall be the responsibility of each contractor to notify ALLILE prior to performing any excavations.
18. Cable routing and installation in accordance with Illinois ordinance.
19. The contractor shall provide the municipality and City of St. Charles, Ill. Engineering, Civil Engineering P.E. with a complete set of record drawings within 30 days of completion of the work. Drawings shall include structure, location of other utilities, services, field notes, etc.
20. All property dimensions and areas are approximate and subject to change per field survey.
21. All dimensions are feet of curb unless otherwise noted.
22. All curb radii are feet of curb unless otherwise noted.
23. See architectural plans for exact building dimensions.
24. Contractors to verify dimensions prior to starting work and notify engineer if any discrepancies are found.
25. Erosion control measures at the building shall be integrated into the work.
26. All pavement markings shall be painted before final 4" sub and 2" asphalt.
27. Contractor to provide temporary traffic control measures during construction of alterations of R.O.C.E. in accordance with Illinois D.O.T. Requirements.
28. Contractor shall verify with local municipality or engineering jurisdiction as to the necessity for and requirements relating to the inspection by an approved on-site engineer.
29. Any pavement disturbed by contractor's operations shall be replaced in kind at no additional cost.
30. Sidewalk and alternate curb ramps must be installed or repaired by the local municipality, and local municipality requirements. If there is a conflict between federal, state, and local requirements the curb ramp must comply with most stringent requirement.

EARTHWORK NOTES & SPECIFICATIONS

1. All finished in grass/landscape areas shall be backfilled with earth imported to R.O.C.E. A minimum of 4" of topsoil shall be provided in grass/landscape areas. Thereafter in all paved areas, curbs, and sidewalk areas shall be backfilled with approved trench backfill imported or R.O.C.E. modified Product.
2. All disturbed areas shall be restored and positive drainage must be maintained.
3. All landscaping must be retained in its original condition. Replacement of all black dirt, sand, gravel, silt, etc. shall be provided by the contractor and guaranteed for one year following final inspection by the local governmental agency having jurisdiction. Contractor shall notify R.O.C.E. of any deficiencies as needed to bring back to original grade.
4. Existing drainage patterns shall be restored following construction. Positive drainage shall be maintained throughout construction.
5. All existing utilities or improvements, including walk, curbs, sidewalks, driveways, and pathways damaged or removed during construction shall be replaced to their original condition.
6. Soil report must be submitted.
7. After stripping and rough grading is completed, the exposed subgrade shall be protected. Protection may be accomplished with a fully loaded, tandem-axle dump truck or other equipment providing an equivalent subgrade surface. Unstable areas observed at this time shall be improved by excavation and replacement or by interlocking and replacement with suitable compacted fill.
8. State erosion control measures shall be implemented and maintained throughout construction.
9. Contractor shall provide dust control during all work excavation or removal. Contractor shall provide dust control from curbside construction and surrounding residential using water or other approved means.
10. Protect trees, plant growth, and features destroyed to remain as they are. Contractor shall ensure that all work is in accordance with the requirements of the local municipality and its engineering department. At no time will the engineer or any of his employees be held liable, either directly or indirectly, for any damages or claims incurred with construction project.
11. Protect backwaters from damage or displacement.
12. Remove trees and shrubs, stumps, and root system to a minimum depth of 48 inches.
13. Subgrade preparation for all pavements shown on the drawings shall include typical stripping and removal of any existing unstable/deteriorated material.

TRAFFIC CONTROL NOTES & SPECIFICATIONS

1. The contractor in accordance with ILLDOT standards shall provide all required traffic control and signs.
2. The contractor shall maintain temporary access to all roadways and driveways during construction. The contractor shall notify the municipality and the City of St. Charles, Ill. Engineering, Civil Engineering P.E. of any discrepancies prior to construction.
3. All concrete work shall be in accordance with the local municipality.
4. Subgrade preparation for all pavements shown on the drawings shall include typical stripping and removal of any existing unstable/deteriorated material.
5. Apply prime and uniformly over surface of compacted aggregate base at a rate of 0.45 gal/sy. Apply enough material to penetrate and seal, but not flood surface. Allow prime coat to cure for 72 hours minimum.
6. It shall be the responsibility of each contractor to notify ALLILE prior to performing any excavations.
7. Cable routing and installation in accordance with Illinois ordinance.
8. The contractor shall provide the municipality and City of St. Charles, Ill. Engineering, Civil Engineering P.E. with a complete set of record drawings within 30 days of completion of the work. Drawings shall include structure, location of other utilities, services, field notes, etc.
9. All property dimensions and areas are approximate and subject to change per field survey.
10. All dimensions are feet of curb unless otherwise noted.
11. All curb radii are feet of curb unless otherwise noted.
12. See architectural plans for exact building dimensions.
13. Contractors to verify dimensions prior to starting work and notify engineer if any discrepancies are found.
14. Erosion control measures at the building shall be integrated into the work.
15. All pavement markings shall be painted before final 4" sub and 2" asphalt.
16. Contractor to provide temporary traffic control measures during construction of alterations of R.O.C.E. in accordance with Illinois D.O.T. Requirements.
17. Contractor shall verify with local municipality or engineering jurisdiction as to the necessity for and requirements relating to the inspection by an approved on-site engineer.
18. Any pavement disturbed by contractor's operations shall be replaced in kind at no additional cost.
19. Sidewalk and alternate curb ramps must be installed or repaired by the local municipality, and local municipality requirements. If there is a conflict between federal, state, and local requirements the curb ramp must comply with most stringent requirement.

GENERAL UTILITIES NOTES & SPECIFICATIONS

1. Water and sewer locations shown from drawings by others and must be located in the field by contractor prior to construction, including all locations of lines and inverts.
2. All sewer and water main branches under or within five (5) feet of existing or proposed utility, sidewalk, or pavement shall be backfilled and compacted with trench backfill per the City of St. Charles.
3. Water mains and manholes shown and steps shall be set in accordance with local ordinance or (as noted) on site.
4. All water to buildings and 8 ft. from the building. All water shall be set in accordance with the local ordinance.
5. Contractor shall mark the end of all water with a 4" x 4" wood marker extended to 12" minimum above grade. Markers shall be painted as follows: Water - Blue, Gas - Red, Sewer - Green.
6. Initial roughing out from street and down. They shall be present only if dirt or moisture after installation.
7. Clean out manhole before installation of manholes.
8. Consult outside the building shall be located minimum 30 inches below grade unless noted otherwise.
9. Underground manholes shall have a minimum of 2 inch spacing between conduits and be back filled on compacted to the density specified elsewhere in division of all projects.
10. All underground conduits shall be protected against future excavation damage by placing a plastic pipe around existing in each trench during backfill. Plastic pipe full length of the trench.
11. Contractor shall verify with local municipality or engineering jurisdiction as to the necessity for and requirements relating to the inspection by an approved on-site engineer.
12. All floor drains shall be connected to the sanitary sewer system. All downspouts and footing drains shall discharge into the storm system.
13. All structures shall be done at time of final completion by the local municipality at no additional cost.
14. Water box line shall be shown "water", storm manhole covers shall be stamped "storm water", and sanitary manhole covers shall be stamped "sanitary sewer". Each of the line shall have the City logo per the detail sheet.

STORM SEWER NOTES & SPECIFICATIONS

1. All storm sewer structures shall be made with precast concrete adjusting rings in a full bed of bedding joint sand. No more than 12" of bedding joint sand shall be permitted, subject to the approval of the agency having jurisdiction.
2. Connection to existing storm sewer structure shall be done by cutting the concrete barrel section.
3. Storm sewer pipe shall conform to the requirements of AASHTO M 170M (N170) class I-V per Illinois D.O.T. standard specification for road and bridge construction.
4. All storm sewer pipe shall be class IV reinforced concrete pipe and meet ASTM C 478.
5. Precast concrete sections for manholes, catch basins, shafts shall meet ASTM C 478.

STORM WATER POLLUTION PREVENTION PROGRAM:

1. It is the contractor's responsibility to put in place all soil erosion prevention measures shown on the plans prior to start of construction.
2. The contractor shall be responsible for notifying the owner and engineer in writing on any additional sources of storm water pollution observed during construction and the additional cost required to prevent the additional pollution.
3. The contractor shall maintain all storm water pollution devices throughout construction and until all work on or non building area has a uniform permanent vegetation cover with density of 70 percent or greater. Maintenance includes weekly inspections or on inspection following a rainfall of 1/2 in. in 24-hour period. The contractor must submit a copy of the inspection report to the owner and engineer at the end of each month and keep a copy of the report on the construction site until the required vegetation cover is in place.

SANITARY SEWER NOTES & SPECIFICATIONS

1. All sewer structures shall be made with precast concrete adjusting rings in a full bed of bedding joint sand. No more than 12" of bedding joint sand shall be permitted, subject to the approval of the agency having jurisdiction.
2. All new sanitary sewers shall have open to proposed building services unless otherwise stated on the plans.
3. All main sanitary sewers shall be 48 inch and 60 inch by the contractor, on part of the contract.
4. Testing shall be in accordance with and completed by the agency having jurisdiction.
5. Sanitary sewer shall be in accordance with ASTM D-3034, with factory fabricated joints complying with ASTM D-3034, and double-end joints complying with ASTM D-3034 or as approved by the local sanitary district. One-piece non-reinforced coupling with flange coupling shall be used for all diameter type connections.
6. All floor drains shall be connected to the sanitary sewer.
7. Sanitary sewer materials shall be as indicated in the specification manual for this project. All building including infiltration and/or effluent, deflection and 1.5, having as required by the local municipality shall be installed in the sanitary sewer line.

WATER MAIN NOTES & SPECIFICATIONS

1. All water service horizontal and vertical separation from sanitary and storm sewers shall be in accordance with the local ordinance.
2. Water main services shall have a minimum of 0.5 feet of cover from finished grade.
3. Any existing utility structures requiring are to be adjusted (up to 12" total adjustment) by the contractor on part of the contract.
4. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade.
5. All materials shall be verified with the local authority. Water services shall be 12" water service line or the size shown on the plans, appropriate size, cut, slope, and service line, all as required by the municipality, and of emergency labor, local equipment, connections, and back 12" for a complete installation or shown on the plans.
6. All the hydrants shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade.
7. Water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade.
8. All horizontal and vertical separation between water main services and storm sanitary sewer shall be the same as listed in water main note 7.
9. Grades from (2" and smaller) shall be as per water main, type K, and cut, slope, and service line, all as required by the local municipality, and of emergency labor, local equipment, connections, and back 12" for a complete installation or shown on the plans.
10. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade.
11. Water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade.
12. The water main shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade.
13. Starting pipe per local jurisdiction agency requirements. Minimum water main diameter shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade. All water mains shall be in accordance with the local ordinance, with a minimum of 0.5 feet of cover from finished grade.
14. All pressure main and service connections shall be installed by a Licensed Plumber.

NO.	DATE	REVISION
1	01/15/10	ISSUED FOR BIDDING
2	01/15/10	ISSUED FOR BIDDING
3	01/15/10	ISSUED FOR BIDDING
4	01/15/10	ISSUED FOR BIDDING
5	01/15/10	ISSUED FOR BIDDING
6	01/15/10	ISSUED FOR BIDDING
7	01/15/10	ISSUED FOR BIDDING
8	01/15/10	ISSUED FOR BIDDING
9	01/15/10	ISSUED FOR BIDDING
10	01/15/10	ISSUED FOR BIDDING

GENERAL NOTES AND SPECIFICATIONS

HERITAGE II

NWC 5TH AVE. & INDIANA AVE.

ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates

Civil Engineers, P.C.

1000 S. Main Street • Suite 200 • St. Charles, IL 60154 • Phone: 618.751.1111 • Fax: 618.751.1112

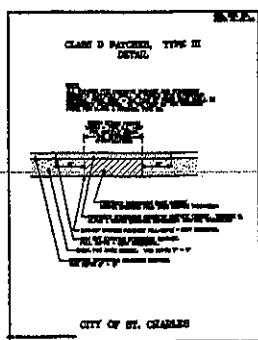
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BY: C.R.K.

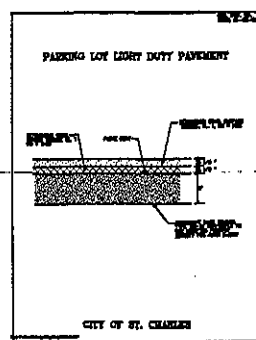
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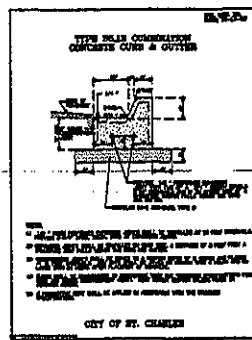
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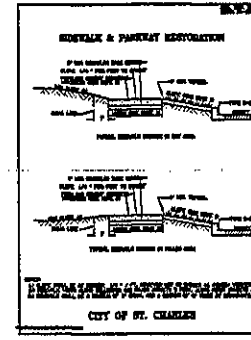
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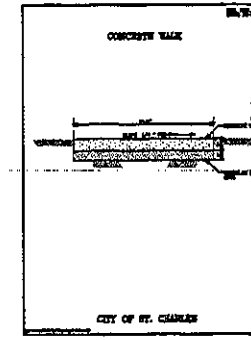
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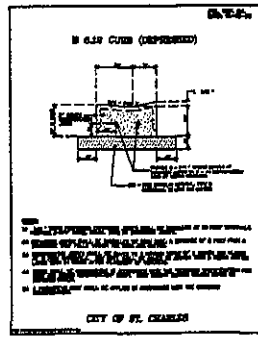
3 DETAIL - CURB + GUTTER
C7A NOT TO SCALE



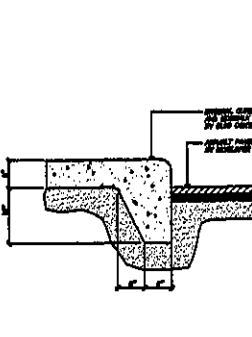
4 DETAIL - SIDEWALK IN PARKWAY
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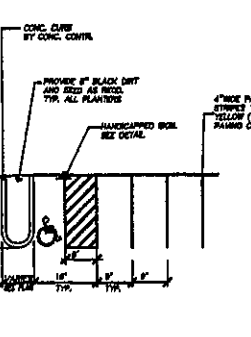
5 DETAIL - SIDEWALK
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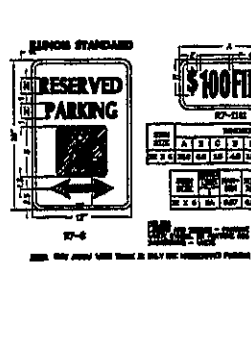
6 DETAIL - DEPRESSED CURB + GUTTER
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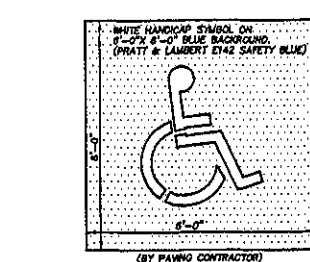
7 DETAIL - INTEGRAL CURB AND SIDEWALK
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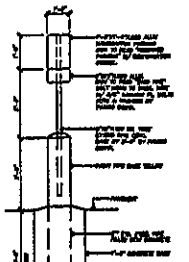
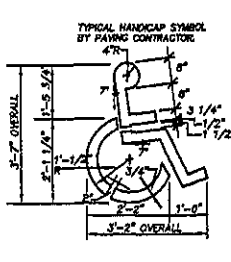
8 TYP. 8' HANDICAP PARKING
C7A NOT TO SCALE



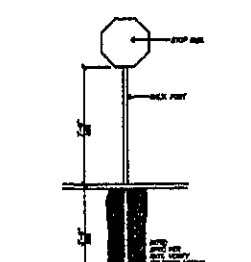
9 DETAIL - HANDICAPPED PARKING SIGN
C7A NOT TO SCALE



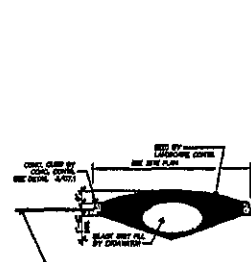
10 TYP. HANDICAP Pmt. SIGN
C7A NOT TO SCALE



12 HANDICAPPED SIGN
C7A NOT TO SCALE



13 STOP SIGN DETAIL
C7A NOT TO SCALE



14 TYPICAL PLANTER SECTION
C7A NOT TO SCALE

REVISIONS	DATE	BY	CHKD.
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2	04/17/03	CRK	CRK
3	04/17/03	CRK	CRK
4	04/17/03	CRK	CRK
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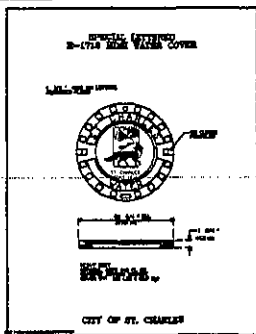
SITE
DETAILS

HERITAGE II
NWC 5TH AVE. & INDIANA AVE.
ST. CHARLES, ILLINOIS

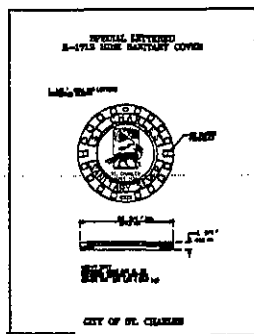
Craig R. Knoche & Associates
Civil Engineers, P.C.
2000 Commerce Center • Glenview, IL 60025 • 847.434.4400 • Fax 847.434.4401

DATE 04/17/03
DRAWN BY CRK
CHECKED BY CRK
SCALE 1"=10'-0"

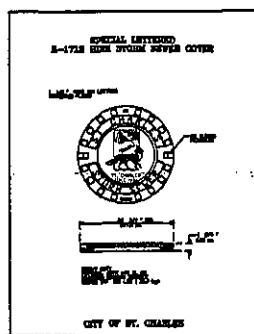
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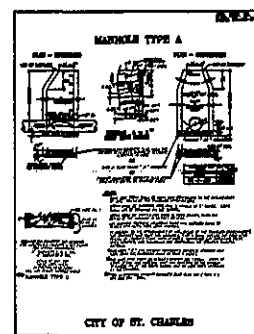
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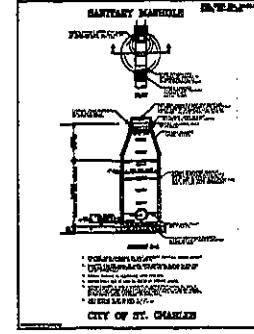
2 DETAIL - SANITARY MANHOLE COVER
C7.2 NOT TO SCALE



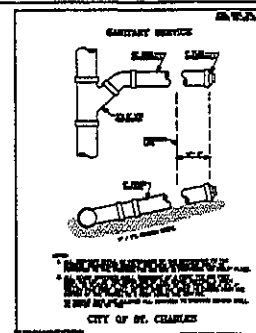
3 DETAIL - STORM MANHOLE COVER
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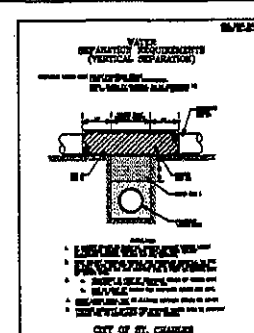
4 DETAIL - STORM MANHOLE
C7.2 NOT TO SCALE



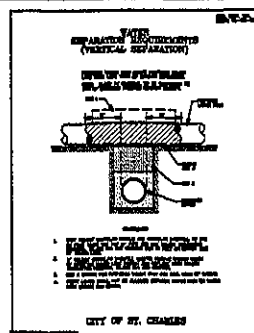
5 DETAIL - SANITARY MANHOLE
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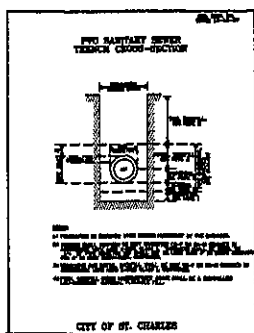
6 DETAIL - SANITARY SERVICE
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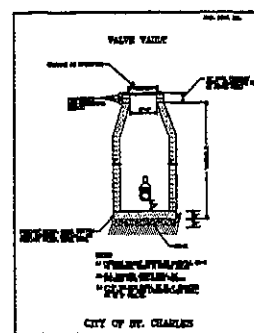
7 DETAIL - WATER SEPARATION
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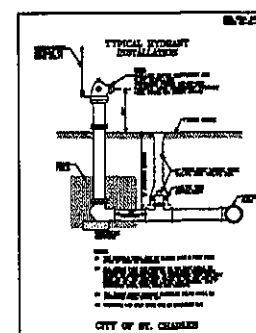
8 DETAIL - WATER SEPARATION
C7.2 NOT TO SCALE



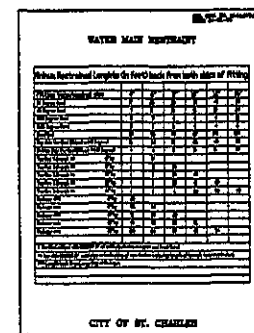
9 DETAIL - SANITARY SEWER TRENCH
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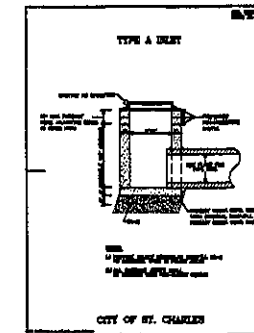
10 DETAIL - VALVE VAULT
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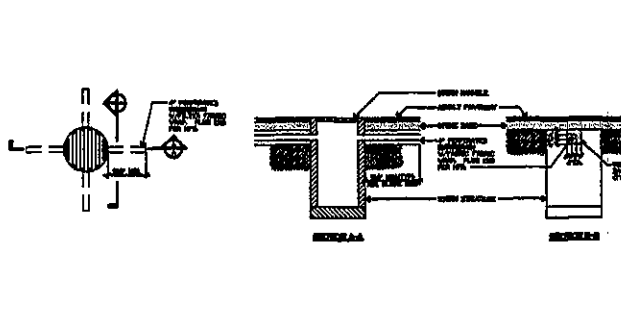
11 DETAIL - FIRE HYDRANT
C7.2 NOT TO SCALE



12 DETAIL - WATER MAIN RESTRAINT
C7.2 NOT TO SCALE



13 DETAIL - TYPE A
C7.2 NOT TO SCALE



14 DETAIL - FINGER DRAIN
C7.2 NOT TO SCALE

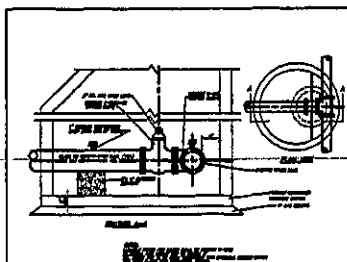
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1	ISSUED FOR TENDER	04/07/03	CR	CR

UTILITY
DETAILS

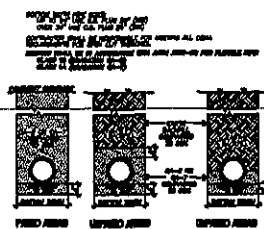
HERITAGE II
NWC 5TH AVE. & INDIANA AVE.
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers, P.C.
2000 Commerce Drive • Glenview, IL 60025 • Phone: 847.439.4400 • Fax: 847.439.4401

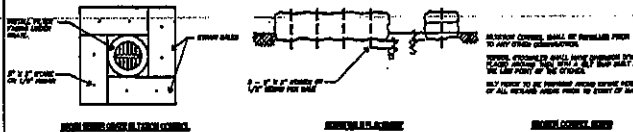
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BY: CR
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REVISION



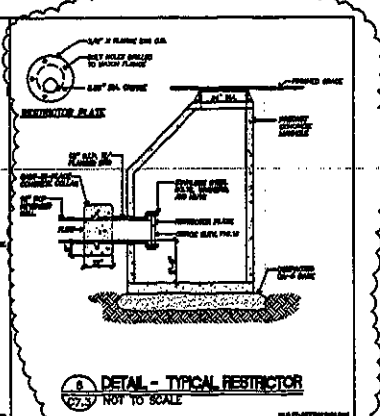
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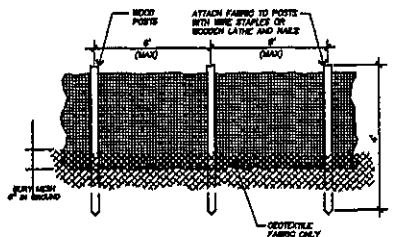
2 DETAIL - BEDDING AND BACKFILL
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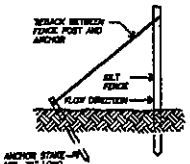
3 DETAIL - INLET PROTECTION
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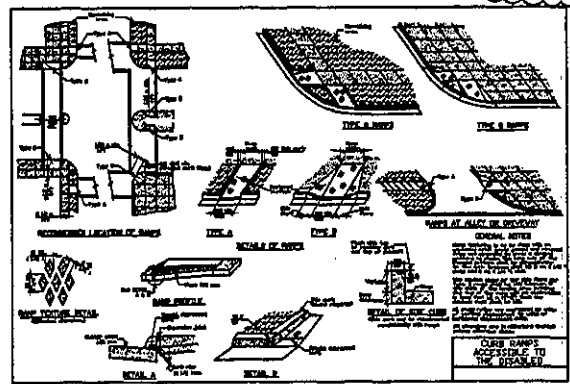
4 DETAIL - TYPICAL RESTRICTOR
NOT TO SCALE



5 DETAIL - SILT FENCE
NOT TO SCALE



6 DETAIL - MODULAR BLOCK RETAINING WALL
NOT TO SCALE



NO.	REVISIONS
1	ADD DETAIL 1 - PRESSURE CONNECTION
2	ADD DETAIL 2 - BEDDING AND BACKFILL
3	ADD DETAIL 3 - INLET PROTECTION
4	ADD DETAIL 4 - TYPICAL RESTRICTOR
5	ADD DETAIL 5 - SILT FENCE
6	ADD DETAIL 6 - MODULAR BLOCK RETAINING WALL
7	ADD DETAIL 7 - GENERAL NOTES

SITE & UTILITY DETAILS
HERITAGE I
 NWC 5TH AVE. & INDIANA AVE.
 ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates
 Civil Engineers, P.C.
 1000 Commerce Drive • Quincy, IL 62450 • Phone: (618) 291-1111 • Fax: (618) 291-1112

DATE: 04/07/03
 BY: [Signature]
 CHECKED: [Signature]
 3-014579
 1-024
C7.3



ILLINOIS AVENUE STREETSCAPE (LOOKING SOUTH)

PRELIMINARY DESIGN DRAWING HERITAGE SQUARE 2, ST. CHARLES, IL. J&D, INC. 3.25-03
FOR: MR. BOB RASHUSSEN 630.443.9393 BY: MARSHALL ARCHITECTS, ST. CHARLES 630.884.7820

JOHN J. MARSHALL
MARSHALL ARCHITECTS

472 AVE.

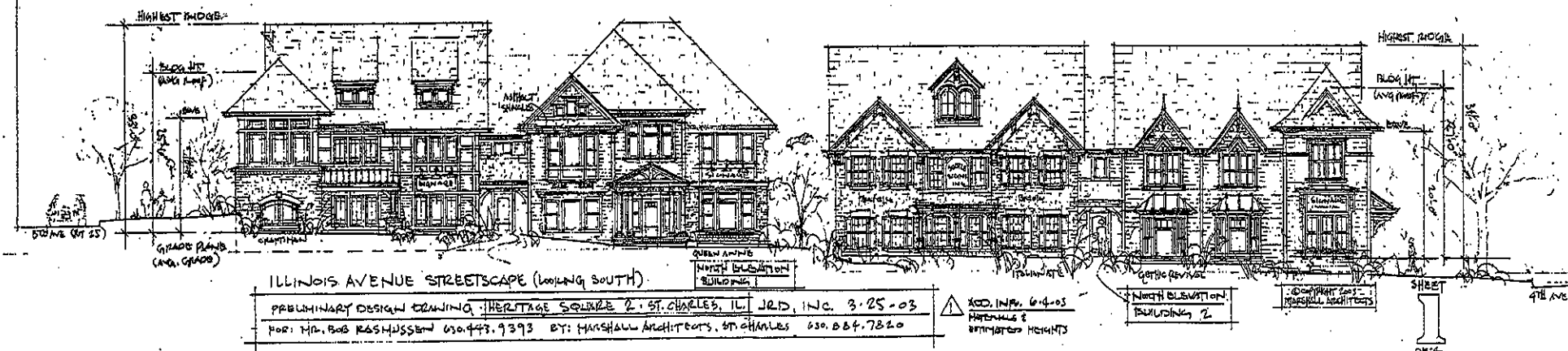
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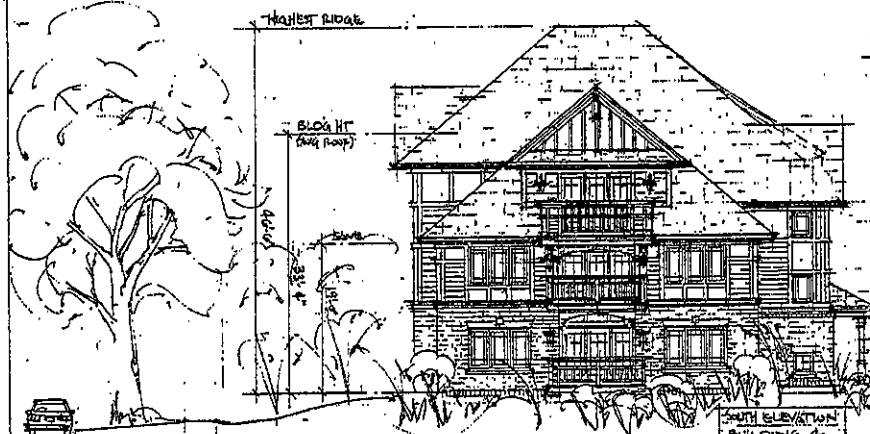
JUN 9 2003

PLANNING OFFICE

PROPOSED EXTERIOR MATERIALS:

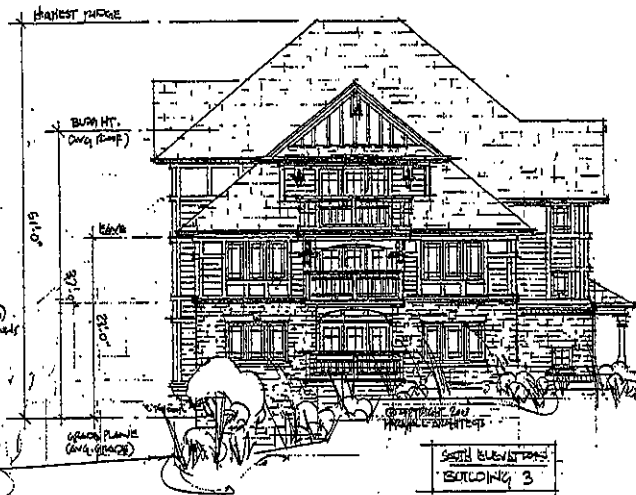
- (SEE SHEET 2 FOR TYPICAL LOCATIONS)
- ANTIQUE BRICK, ASPHALT FLANK SHINGLES
- STONE CORNER TRIM, BRICKWORK & RAILING
- STONE MASONRY PANELS
- STONE COMBUSTIBLE BOARD FENCE SIDING
- BRICK VENTILATION W/ CUT LIMESTONE TRIM
- ALUMINUM COMPOSITE WINDOWS
- COPPER ROOFING
- STAINLESS STEEL WINDOW SHUTTERS





- PROPOSED
EXTERIOR MATERIALS:
(S&S SH. & PM. MATERIALS)
- ARCHITECTURAL MOUNT
ROOF SHINGLES
 - STUCCO ACCENT PANELS / BATTEN
Siding
 - STUCCO CROWNLINE, RESINATED
FRAGMENTS
 - STUCCO FOR PORCH PANELS
 - STUCCO ACCENT (DOWN) PANELS,
SHINGLES & SHINGLES Siding
 - FINISH VERTICALS / GUT
HORIZONTALITY (SHINGLES)
 - STUCCO / STUCCO COMPOSITE MATERIALS

SOUTH ELEVATION
BUILDING 4



SOUTH ELEVATION
BUILDING 3

INDIANA AVENUE STREET SCAPE (LOOKING NORTH)

PRELIMINARY DESIGN DRAWING: HERITAGE SQUARE 2 - ST. CHARLES, IL. JRD, INC. 4.16.03
 PROJECT: BOO RASMUSSEN 630.443.9393 ST. MARSHALL ARCHITECTS, ST. CHARLES 630.504.7820

ADD. INFO. 6.4.03
 MATERIALS &
 ESTIMATE

SHEET:
 33
 OF 4

PROPOSED EXTERIOR MATERIALS (SEE SH. 2 FOR TYPICAL LOCATIONS)

- ARCHITECTURAL ASPHALT SHINGLES
- STAINLESS STEEL TRIM, HANDRAILS, & RAILINGS
- STAINLESS STEEL PLUMBING FIXTURES
- STAINLESS STEEL BARN DOOR HINGES
- STAINLESS STEEL BARN DOOR & WINDOW SILLING
- STAINLESS STEEL 1/2" CUT LIMESTONE TRIM
- STAINLESS STEEL COMPOSITE WINDOWS
- SHEDDING ROOF & GABLE RETURN
- PORCH ROOF




4TH AVENUE STREETSCAPE (LOOKING EAST)

PRELIMINARY DESIGN DRAWING • HERITAGE SQUARE 2 • ST. CHARLES, IL • JLD, INC. 4-16-03
 PROJECT: 030-443, 9373 • BY: MARSHALL ARCHITECTS • 030-504-7820

2000 IN F.P. 0-4.03
 MATERIALS &
 ELEV. HEIGHTS

SHEET:
 1
 -OF- 4

 CITY OF ST. CHARLES ILLINOIS • 1834	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 4c
	Title:	Historic Preservation Commission recommendation to approve Historic Landmark Designation for 405 Prairie St., "William and Martha Klinkey"	
	Presenter:	Rachel Hitzemann, Planner	
Meeting: Planning & Development Committee		Date: October 9, 2023	
Proposed Cost: N/A		Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
TIF District: None			
Executive Summary (if not budgeted, please explain): John and Rosann Wykoski have nominated their property at 405 Prairie St. for Landmark status. In accordance with the Zoning Ordinance, the Historic Preservation Commission held a public hearing on the landmark nomination on 9/20/2023. The Commission recommended approval of the nomination by a vote of 5-0, based on the criteria listed in the attached resolution. The house was built in the Colonial Revival Tidewater South Tradition Cape Cod style circa 1935. The home was built by the firm, Wolf, Anderson, Harper and Trueax, the same firm that designed the Hotel Baker, Baker Community Center and the St. Charles National Bank. Original elements of the home include the brick chimney and cement foundation. The exterior style has not changed from Cape Cod, but engineered materials now cover 100% of the home. The home is being landmarked for its ties to the architectural firm and their contributions to the City and to the Klinkey family, who operated Klinkey Heating and Sheet metal, a business that operated in St. Charles for over 90 years (1933-2022). If the Landmark designation is approved by City Council, a Certificate of Appropriateness from the Historic Preservation Commission will be required prior to issuance of a permit for construction, alteration, repair, demolition, relocation, or other material change that affects the exterior architectural appearance of the structure.			
Attachments (please list): Historic Commission Resolution, Landmark Nomination			
Recommendation/Suggested Action (briefly explain): Historic Preservation Commission recommendation to approve a Historic Landmark Designation for 405 Prairie St., "William and Martha Klinkey".			

City of St. Charles, Illinois

Historic Preservation Commission Resolution No. 8-2023

A Resolution Recommending Approval for Landmark Designation (405 Prairie St. – William and Martha Klinkey)

WHEREAS, per Section 17.32.060 of the St. Charles Zoning Ordinance, it is the responsibility of the St. Charles Historic Preservation Commission to evaluate applications for Landmark Designation and to make recommendations to the City Council regarding them; and

WHEREAS, the Historic Preservation Commission has reviewed the application for designation of 405 Prairie St. and hereby finds that the Landmark nomination meets one or more of the criteria for Landmark Designation listed in Section 17.32.060.C of the St. Charles Zoning Ordinance based on the historical and architectural significance as described in the following findings:

- 1. The property has character, interest or value which is part of the development, heritage or cultural character of the community.**
Part of the suburban expansion (early modern era)
- 2. The property is identified with a person who significantly contributed to the development of the community.**
William and Martha Klinkey who owned Klinkey Heating and Sheet Metal. A business that operated in St. Charles for 90 years.

Architectural firm Wolf, Anderson, Harper and Trueax designed this home. They also designed the Baker Hotel, Baker Community Center and the St. Charles National Bank buildings.
- 3. Structure embodies distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials.**
The structure is built in the Southern Tide Cape Cod- Colonial Revival Style.
- 4. Property is identified with the work of a master builder, designer, architect, or landscape architect whose work has influenced the development of the area, the county, the state or the nation.**
Architectural firm Wolf, Anderson, Harper and Trueax designed this home. They also designed the Baker Hotel, Baker Community Center and the St. Charles

National Bank buildings.

5. The property is suitable for preservation or restoration.

Yes.

NOW THEREFORE, be it resolved by the St. Charles Historic Preservation Commission to recommend to the City Council that the property known as 405 Prairie St. as legally described in Exhibit “A”, be designated as a Landmark, and that it be referred to as the “William and Martha Klinkey”, with a construction date of circa 1935.

Roll Call Vote:

Ayes: Malay, Kessler, Pretz, Smunt, Rice

Nays: None

Absent: Kramer, Dickerson

Abstain: None

Motion Carried.

PASSED, this 20th day of September, 2023.

Chairman

Exhibit "A"
Legal Description

LOT 3 AND THAT PART OF LOT 2 OF CREGIER'S SUBDIVISION OF PART OF LOTS 28, 31, AND 32, MOODY'S ADDITION TO ST. CHARLES, ALL DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 1 OF SAID SUBDIVISION; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOTS 1 AND 2, 79.35 FEET FOR THE POINT OF BEGINNING; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOTS 2 AND 3, 82.5 FEET TO THE NORTHWEST CORNER OF SAID LOT 3; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 3, 125 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID LOTS 3 AND 2, 93.15 FEET; THENCE NORTHERLY TO THE POINT OF BEGINNING; IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PIN #09-34-158-013

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

HISTORIC LANDMARK NOMINATION

Instructions:

To nominate a property for Historic Landmark Designation, complete this application and submit all required documentation to the Planning Division. Based on a review of the application by City staff and the Historic Preservation Commission, additional detailed information to support this application may be required.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

Received Date

RECEIVED

JUL 19 2023

City of St. Charles
Community Development

1. Property Information:	Parcel Number(s): 09 34 158 013	
	Property Name (Historic or common name of the property): THE KLINKEY HOME	
	Property Site Address 405 PRAIRIE STREET	
2. Record Owner:	Name JOHN / ROSANN WYKOSKI	Phone 630 263 1189
	Address SAME	Email ROSANNWYNN@SBCGLOBAL.NET
3. Applicant (if different from record owner):	Name	Phone
	Address	Email
4. Legal Description of Property: The legal description should be obtained from the deed, mortgage, title insurance, or other recorded document (attach sheets if necessary). SEE ATTACHED		

I. Classification of Property (Check all that apply):

a) Ownership:

☒ private
☐ public-local
☐ public-state

b) Category:

☒ building
☐ district
☐ site

c) Integrity:

☒ original site
☐ moved: date _____
☐ unaltered

d) Function or Use:

Historic/Current

☐ / ☐ agriculture
☐ / ☐ commercial
☐ / ☐ educational
☐ / ☐ government
☐ / ☐ entertainment

Historic/Current

☐ / ☐ industrial
☐ / ☐ military
☐ / ☐ museum
☒ / ☒ private residence
☐ / ☐ park

Historic/Current

☐ / ☐ religious
☐ / ☐ scientific
☐ / ☐ transportation
☐ / ☐ other(specify

e) Architecture: (Based on "A Field Guide to American Houses")

National Folk Style
 circa 1850-1930

Romantic Styles: circa 1820-1880

Greek Revival
 Gothic Revival
 Italianate
 Exotic Revival

Victorian Styles: circa 1860-1910

Second Empire
 Stick
 Queen Anne
 Shingle
 Richardsonian Romanesque
 Folk Victorian

Eclectic Styles: 1880-1940

Colonial Revival

Neoclassical, Classical Revival

Tudor Revival

Chateausque

Beaux Arts

French Eclectic

Italian Renaissance

Mission

Spanish Revival

Monterey

Pueblo Revival

TIDE WATER
 SOUTH - TRADITION
 (CAPE
 CO.)

Modern Styles: circa 1900- present

Prairie
 Craftsman
 Modernistic
 Minimal Traditional
 Ranch
 Split-Level
 International
 Contemporary
 Shed
 Other 20th Century Modern
 21st Century Modern

Styled Houses since 1935:

Mansard
 Styled Ranch
 Millenium Mansion
 New Traditional
 American Vernacular

Other Architecture:

A FIELD GUIDE TO AMERICAN
 HOUSES: PAGES 78-80
 321 +

II. Building Materials:

Please mark the appropriate boxes listing the materials that exist on the building. Possible options are provided below.

Inventory of Original Architectural Elements

Item:	Original (yes only)	Material	Location if Required
Chimney	X	Brick	
Door(s)		Composite	
Exterior Walls		Concrete Board	
Foundation	X	Concrete	
Roof		Asphalt	
Trim		Engineered	
Window (s)		Wood / Aluminum Clad	

Materials List

Adobe	Aluminum	Asbestos	Asphalt	Brick	Bronze
Canvas	Cast Iron	Ceramic	Clapboard	Cloth	Concrete
Concrete Board	Copper	Dryvit	EIFS	Engineered	Fiberglass
Glass	Granite	Iron	Lead	Limestone	Log
Marble	Metal	Nickel	Plastic	Plywood	Rubber
Sandstone	Shake	Shingle	Slate	Steel	Stone
Stucco	Synthetics	Terra Cotta	Tin	Vinyl	Weatherboard
Wood	Other:				

III. Significance of Property:

Please indicate source of documentation, if available.

- a) Original Owner: WILLIAM AND MARTHA KLINKEY
- b) Architect/ Builder: WOLF ANDERSON HARPER AND TRUEAX
- c) Significant Person(s): MARTHA KLINKEY, ARCHITECTS, WASHINGTON
GREIGER
- d) Significant Dates (i.e., construction dates): 1935 CONSTRUCTION

e) Criteria for Designation:

Please indicate which of the following criteria apply to the property and attach supporting documentation for each criteria. (check all that apply)

1. ☒ Property has character, interest, or value which is part of the development, heritage, or cultural character of the community, county, or nation.

Notes: SUBURBAN EXPANSION - AUTO EARLY MODERN ERA

2. ☐ Property is the site of a significant local, county, state, or national event.

Notes:

3. ☒ Property is identified with a person who significantly contributed to the development of the community, county, state, or nation.

Notes:

MARTHA KLINKEY
WOLF ANDERSON HARPER AND TRUEAX

4. ☒ Structure embodies distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials.

Notes: SOUTHERN TIDE CAPE CODE - COLONIAL REVIVAL

5. ☒ Property is identified with the work of a master builder, designer, architect, or landscape architect whose work has influenced the development of the area, the county, the state, or the nation.

Notes: WOLF ANDERSON HARPER AND TRUEAX

6. ___ Structure embodies elements of design, detailing, materials, or craftsmanship that are of architectural significance.

Notes:

7. ___ Structure embodies design elements that make it structurally or architecturally innovative.

Notes:

8. ___ Property has a unique location or physical characteristics that make it a familiar visual feature.

Notes:

9. ___ Structure is a particularly fine or unique example of a utilitarian structure with a high level of historical or architectural significance.

Notes:

10. ☒ Property is suitable for preservation or restoration.

Notes:

11. ___ Property is included on the ___ Illinois and/or ___ National Register of Historic Places.

Notes:

12. ___ Property has yielded, or is likely to yield information important to prehistory, history, or other areas of archaeological significance.

Notes:

IV. Attachments

1. Descriptive Statement: Attach a narrative statement describing the property and its historical architectural significance as indicated in Sections I, II, and III above. Describe structural changes, additions, and decorative modifications or material changes and dates of such work if known. State the reasons it should be designated as a Historic property. *SEE ATTACHMENT*
2. Plat of Survey: Attach a plat of survey showing the boundaries and location of the property. This may be obtained from the County Recorder (630-232-5935) at the Government Center. You may also have one from your house closing. *SEE LEGAL ATTACHMENT*
3. Photographs: Attach photographs showing the important structures or features of the property and a photograph as viewed from the public way. Black and white or color prints. A minimum of one photograph of the structure as viewed from the public way is required. *SEE ATTACHMENT*
4. Chronological list of historical owners. *SEE ATTACHMENT*

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Applicant

Date

If Owner authorizes application to be filed for their property:

Rosen M Wyporski 6-12-23
Owner Date

Description

Designed by the architectural firm Wolf, Anderson, Harper & Trueax (firm designed the Baker Hotel, Baker Community Center, and the St. Charles National Bank buildings for Col Baker}, this Colonial Revival Tidewater South Tradition Cape Cod ("A Field Guide to American Homes- pages 78-80 & 321+) was built in 1935 for Mr. and Mrs. William (Martha) Klinkey (Klinkey Heating and Sheet Metal, 1933- 2022} in the (Washington} Cregier addition/expansion to the city in the late 1920's. This is the westward expansion beyond Third Street (known as the Early Modern Era movement to the suburbs influenced by the automobile, Frank Lloyd Wright, and Le Corbusier, and sometimes called Carchitecture} in St Charles along the south side of Prairie Street.

Original elements to the exterior of the home are the chimney (brick} and foundation (cement} and the skeleton of the building as other engineered materials now cover 100% of the exterior of this home. The exterior style has not changed from the Cape Code design in 1935. Interior features are original. Changes that have occurred begin with the original design when during construction the garage entry moved from the east to north exposure but considered original. A portico was added by the current owners over the front door entry for weather protection, but the architecture of the front door exposure has diminished with the removal of architecture detail, yet the building still contributes to the neighborhood. It can be restored however this has downgraded the overall architectural integrity of the home. Initial construction had a 7 1/2" reveal that is now 7". That is acceptable. The two first floor north exposure windows are now 6/6 versus the original 8/8. Either is consistent with the architectural style. The siding is now cement board (extensive damage to original boards occurred when sandblasting for paint removal} and LP for the trim. On the south exposure second floor east window changed from 6/6 to a single as this became a bathroom after a fire in 2006. All changes are reversible for architectural purity however none will be original materials.

The significance and request to landmark this site are as follows: the architectural firm and their contribution to the city, the recognition of the Cregier expansion, the style of home for the period, the Klinkey family connection as a 90-year

business in St. Charles, and Martha Klinky contributions to the social atmosphere of the city.

Current head and jam casings on the front and rear entry doors are non-historical in architecture and size.

Criteria for Designation:

Property has character, interest, or value which is part of the development of the community. 1

Property is identified with a person who significantly contributed to the development of the community. 3

Structure embodies distinguishing characteristics of an architectural style for the period. 4

Property is identified with the work of a master architect whose work has influenced the development of the area. 5

Property is suitable for preservation and restoration. 10

405 Prairie Street

09-34-158-013

CREGR/None/2

1930 WD Washington R. and Martha O. Cregier to St. Charles National Bank

1935 WD St. Charles National Bank to William M. and Martha Klinkey

1935 MTG St. Charles Building & Loan Association to William M. and Martha
Klinkey ... Home built 1935

1962 WD Martha Klinkey to John W. and Loris K. (Klinkey) Barr

1972 WD John W. and Loris K. Barr to David A. and Eva J. Carr
*end of Klinkey family ownership

1984 WD David A. and Eva J. Carr to John H. and Rosann M. Winkoski

1984

W.D.

Doc 1695564

FILED FOR RECORD
KANE COUNTY, ILL.

1984 SEP 17 PM 3:20

Eleanor E. J...
RECORDER

WARRANTY DEED
Joint Tenancy for Illinois

NO. 221
September, 1979

GEORGE E. COLE
LEGAL FORMS

THIS INDENTURE, Made this 10th day of AUGUST
1984, between DAVID A. CARR and EVA J. CARR, husband and wife
as joint tenants

of the City of St. Charles in the County of Kane and State of
Illinois parties of the first part, and JOHN H. WYNYKOSKI AND
(NAMES AND ADDRESS OF GRANTEE)
ROSANN M. WYNYKOSKI, HIS WIFE of 2731 N. Wilson, Chicago,
Illinois,
parties of the second part:

WITNESSETH, That the parties of the first part, for and in consideration of the sum of
TEN AND NO/100 (\$10.00) Dollars, in hand paid,
convey and warrant to the said parties of the second part, not in tenancy in common, but in joint
tenancy, the following described Real Estate, to-wit:

Lot 3 and that part of Lot 2 of Cregier's Subdivision of part of
Lots 28, 31 and 32, Moody's Addition to St. Charles, all
described of follows: Commencing at the Northwest corner of
Lot 1 of said Subdivision; thence Easterly along the Northerly
line of said Lots 1 and 2, 79.35 feet for the point of beginning;
thence Easterly along the Northerly line of said Lots 2 and 3,
82.25 feet to the Northeast corner of said Lot 3; thence South-
erly along the Easterly line of said Lot 3, 125 feet to the
Southeast corner thereof; thence Westerly along the Southerly
line of said Lots 3 and 2, 93.15 feet; thence Northerly to the
point of beginning; in the City of St. Charles, Kane County,
Illinois.

LEGAL
DESCRIPTION

1695564

SUBJECT TO: General real estate taxes for the year 1983
and subsequent years; easements, covenants, and
conditions of record.

situated in the City of St. Charles County of Kane, in
the State of Illinois, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption
Laws of the State of Illinois.

TO HAVE AND TO HOLD the above granted premises unto the said parties of the second part forever, not in
tenancy in common, but in joint tenancy.

KANE
COUNTY
CLERK

1695564



STATE OF ILLINOIS
REAL ESTATE TRANSFER TAX
SEP 17 1984 DEPT. OF REVENUE 47.50

City Tax
Paid \$ 47.50

IN WITNESS WHEREOF, the said parties of the first part have hereunto set their hands

2259

Rev. 47.50

1972 W.D. 2760/181

WARRANTY DEED — JOINT TENANCY

169233 ①

JUN 26 1972
1230738

THE GRANTORS, JOHN W. BARR and LORIS K. BARR, his wife

of the City of St. Charles County of Kane State of Illinois

for and in consideration of the sum of Ten Dollars and other valuable consideration in hand paid Convey.... and Warrant....

to DAVID A. CARR and EVA J. CARR

of the City of West Chicago County of DuPage State of Illinois

not in Tenancy in Common but in JOINT TENANCY, the following described Real Estate, to-wit:

Lot 3 and that part of Lot 2 of Cregier's Subdivision of part of Lots 28, 31 and 32, Moody's Addition to St. Charles, all described as follows: Commencing at the Northwest corner of Lot 1 of said Subdivision; thence Easterly along the Northerly line of said Lots 1 and 2, 79.35 feet for the point of beginning; thence Easterly along the Northerly line of said Lots 2 and 3, 82.25 feet to the Northeast corner of said Lot 3; thence Southerly along the Easterly line of said Lot 3, 125 feet to the Southeast corner thereof; thence Westerly along the Southerly line of said Lots 3 and 2, 93.15 feet; thence Northerly to the point of beginning; in the City of St. Charles, Kane County, Illinois

situated in the City of St. Charles County of Kane in the State of Illinois,

hereby expressly declaring that the estate conveyed shall pass, not in tenancy in common, but in joint tenancy, and hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Subject to: Taxes for the year 1972 and subsequent years, covenants, easements and restrictions of record, zoning and building laws.

Dated this 24th day of June A. D. 1972

[SEAL]

John W. Barr

[SEAL]

John W. Barr

[SEAL]

[SEAL]

[SEAL]

Loris K. Barr

[SEAL]

State of Illinois, }
Kane County } ss.

I, the undersigned, a Notary Public in, and for said County and State aforesaid, DO HEREBY CERTIFY, that

John W. Barr and Loris K. Barr, his wife

personally known to me to be the same person....

whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed, sealed and delivered said instrument as their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal, this 24th day of June



WARRANTY DEED—Joint Tenancy
STATUTORY (ILLINOIS)
(INDIVIDUAL TO INDIVIDUAL)Approved By (Chicago Title and Trust Co.)
(Chicago Real Estate Board)

(The Above Space For Recorder's Use Only)

THE GRANTOR MARTHA KLINKEY, a widow and not remarried,of the City of St. Charles County of Kane State of Illinois
for and in consideration of * * * * * **TEN AND NO/100THS** * * * * * **DOLLARS,**
and other good and valuable considerations * * * * * in hand paid,
CONVEY and WARRANT to JOHN W. BARR and LORIS K. BARR, his wife,of the City of St. Charles County of Kane State of Illinois
not in Tenancy in Common, but in **JOINT TENANCY**, the following described Real Estate situated in
the County of Kane In the State of Illinois, to wit:

Lot 2 and that part of Lot 2

~~Also of part of Cregier's Subdivision of part of Lots 28, 31 and 32 of~~
~~Moody's Addition to St. Charles; also of part of Lot 8 and part of Lot 2 in~~
~~said Subdivision,~~ described as follows: Commencing at a point in the
Northerly line of Lot 2 aforesaid 79.35 feet Easterly from the North
Westerly corner of Lot 1 of said subdivision for a place of beginning;
thence Easterly along the Northerly line of Lots 2 and 3 aforesaid, 82.25
feet to the North Easterly corner of said Lot 3; thence Southerly along the
Easterly line of Lot 3 aforesaid, 125 feet to the South Easterly corner of
said Lot 3; thence Westerly along the Southerly line of Lots 3 and 2 afore-
said 93.15 feet; thence Northerly 125 feet to the place of beginning, in
the City of St. Charles, Kane County, Illinois.

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of
the State of Illinois. **TO HAVE AND TO HOLD** said premises not in tenancy in common, but in joint
tenancy forever.DATED this 26th day of November, 1962PLEASE
PRINT OR
TYPE NAME(S)
BELOW
SIGNATURE(S)(Seal) Martha Klinkey (Seal)
Martha Klinkey

(Seal) _____ (Seal)

State of Illinois, County of KANE ss., I, the undersigned, a Notary Public in
and for said County, in the State aforesaid, **DO HEREBY CERTIFY** thatMARTHA KLINKEY, a widow and not remarried,IMPRESS
SEAL
HEREpersonally known to me to be the same person whose name is
subscribed to the foregoing instrument appeared before me this day in
person, and acknowledged that she signed, sealed and delivered the said
instrument as her free and voluntary act, for the uses and purposes
therein set forth, including the release and waiver of the right of homestead.Given under my hand and official seal, this 26th day of November, 1962.Commission expires 19 November 1963
NOTARY PUBLIC

Dollars, being fifty cents per share on

13-00000 07/2

558

991/558

17733

1935 W.D.

MISCELLANEOUS DEED RECORD

F. O. Peterson's Sons — Aurora, Ill.

THIS INDENTURE Made this 2nd. day of April, A.D. 1935 between ST.CHARLES NATIONAL BANK, a Corporation created and existing under and by virtue of the laws of the United States of America, with its principal place of business in the City of St.Charles, Kane County, Illinois, and duly authorized to transact business in the State of Illinois, party of the first part, and William M. Klinkey and Martha Klinkey his wife, of the City of St.Charles, County of Kane and State of Illinois, party of the second part,

WITNESSETH: That the said party of the first part for and in consideration of the sum of Ten dollars, and other good and valuable considerations in hand paid by the party of the second part, receipt whereof is hereby acknowledged, and pursuant to authority of the Board of Directors of said Corporation, has and by these presents does convey and warrant unto the said parties of the second part and to their heirs and assigns forever, not in tenancy in common but in joint tenancy the following described real estate, to wit:

Lot Three (3) and part of Lot Two (2) all in Gregier's Sub-Division of part of lots twenty eight (28) thirty one (31) and thirty two (32) of Moody's Addition to St.Charles, bounded and described as follows, to wit:

Commencing at a point in the Northerly line of said Lot Two (2) 79.25 feet Easterly from the North Westerly corner of Lot One (1) of said Subdivision for a place of beginning, thence Easterly along the Northerly line of said Lots two (2) and three (3), 82.25 feet more or less to the North Easterly corner of said lot three (3), thence Southerly along the Easterly line of said lot three (3), one hundred twenty five (125) feet more or less, to the South Easterly corner of said Lot three (3), thence Westerly along the Southerly line of said lots three (3) and two (2), 93.15 feet, thence Northerly one hundred twenty five (125) feet more or less to the place of beginning, in the City of St.Charles, Kane County, Illinois. Revenue \$1.00

Situated in the City of St.Charles, County of Kane and State of Illinois, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

TO HAVE AND TO HOLD the above granted premises unto the said parties of the second part forever, not in tenancy in common but in joint tenancy.

IN WITNESS WHEREOF the said party of the first part has caused its Corporate Seal to be hereto affixed, and has caused its name to be signed to these presents, by its President and attested by its Cashier this 2nd. day of April, A.D. 1935.

(St.Charles National Bank
(Corporate Seal, St.Charles, Illinois)

ST.CHARLES NATIONAL BANK.

By P. S. Nichol,
President.

Attest: C. Jay Marvin,
Its Secretary.

State of Illinois }
County of Kane } ss.

917/94 1930 W.D.

106367

~~THIS INSTRUMENT WITNESSETH~~ ~~XXXXXX~~ the Grantor ~~s,~~ Washington R. Cregier and Martha O. Cregier, his wife,

of the City of St. Charles ~~xxxxx~~ County of Kane and State of Illinois

for and in consideration of the sum of One Dollar and other Good and Valuable Consideration ~~XXXXXX~~

in hand paid, CONVEY and WARRANT to St. Charles National Bank

of the City of St. Charles County of Kane and State of Illinois

the following described Real Estate, to-wit:

Lots One (1) Two (2) Three (3) and Six (6) Cregier's Subdivision of Part of
Lots 28 (twenty eight) thirty-one (31) and thirty-two (32) Moody's Addition
to St. Charles, Kane County, Illinois.

Situated in the City of St. Charles in the County of Kane in the State of Illinois, hereby releasing and waiving all rights under and
by virtue of the Homestead Exemption Laws of ~~the State of Illinois~~ the State of Illinois.

Dated this 4th. day of April

A. D. 1930.

Washington R. Cregier [SEAL]

Martha O. Cregier [SEAL]

[SEAL]

[SEAL]

STATE OF ILLINOIS, }
County of Kane } ss.

I, D. A. Green, a Notary Public

in and for said County, in the State aforesaid, DO HEREBY CERTIFY That
Washington R. Cregier and Martha O. Cregier, his wife,



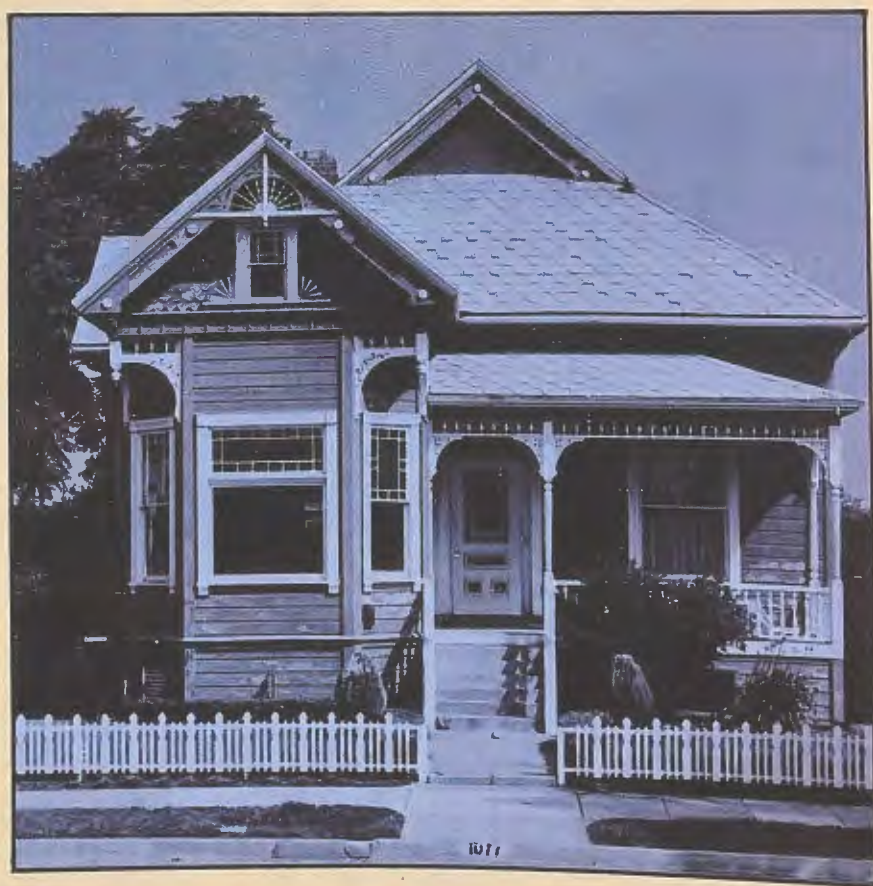






A FIELD GUIDE TO AMERICAN HOUSES

THE GUIDE THAT ENABLES YOU TO IDENTIFY, AND PLACE IN THEIR HISTORIC AND ARCHITECTURAL CONTEXTS, THE HOUSES YOU SEE IN YOUR NEIGHBORHOOD OR IN YOUR TRAVELS ACROSS AMERICA—HOUSES BUILT FOR AMERICAN FAMILIES (RICH, POOR, AND IN-BETWEEN), IN CITY AND COUNTRYSIDE, FROM THE 17TH CENTURY TO THE PRESENT



PAGES 78-80
+
321 +

VIRGINIA & LEE MCALESTER

TIDEWATER SOUTH TRADITION

1. Rocky Mount, North Carolina, vicinity; late 18th century(?). Wilkes House. Rare surviving example of early single-room frame house.
2. Guilford, Virginia; ca. 1820. Clayton House. A late example of the traditional British hall-and-parlor plan, without a porch. The hipped roof of a later rear wing is barely visible; the dormer windows are probably also a later addition.
3. Newlin, North Carolina; ca. 1830. Allen House. Hall-and-parlor plan, with added shed porch. The metal roofing and door are also later modifications; the original chimney has been removed.
4. Perquimans County, North Carolina; ca. 1825. Winslow House. Typical extended hall-and-parlor plan. The rear flue and decorative shutters are later additions.
5. Wrendale vicinity, North Carolina; 1789. Early I-house with added shed porch and rearward extension and later metal roof.
6. Ingold, North Carolina, vicinity; 1840. Johnson House. Typical extended I-house; note the additional shed extension at the rear.



CA. 1850

Proximate
adapted
1970



ARCHITECTURAL SURVEY

NEAR WEST HISTORIC DISTRICT
ST. CHARLES, ILLINOIS

ST. CHARLES HISTORIC PRESERVATION COMMISSION

Primary Structure

ADDRESS 405 Prairie Street

ROLL-IMAGE # 101 - 5

CD-IMAGE # 4405 - 5



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

1990's

ARCHITECTURAL INFORMATION

Architectural Style/Type: Colonial Revival – Cape Cod

Exterior Walls (Current): Clapboard

Architectural Features:

Exterior Walls (Original): Clapboard

Date of Construction: 1935

Foundation: Concrete

Source: Township Assessor's Office

Roof Type/Material: Side gable/Asphalt Shingle

Overall Plan Configuration: Simple - Rectangle

Window Material/Type: WD trimmed Alum./Dbl.
Hung @ 2F. Removable
storms & Wd. Dbl hung @
GF

ARCHITECTURAL FEATURES: This house manifests the typical cottage scale of the style. There are three roof dormers situated directly above the windows and front door of the ground floor. A shed dormer stretches across the backside of the roof to provide additional headroom for the second floor living spaces. A stylized colonial entrance surround composed of narrow fluted pilasters, ½ lite sidelights, and a tall header trimmed in moldings adds emphasis to the front door.

1986



V A T I O N ..
4" - 16"

WOLF ANDERSON HARPER & TRUE
INCORPORATED

ENGINEERS & ARCHITECTS
TRIBEUNE TOWER CHICAGO &
ST. CHARLES ILLINOIS

RES. FOR MR & MRS
WM. KLINKEY

MAY 20, 1935

JOB NO.	SHEET
3501	12

D.M.

2x4 STUD
10" O.C.
BREASTING
BUSHING
2x4 PLATE BOLTS TO WALL
FLOOR BRACKS

APRASE DOOL
WME DETAIL
AT CORNER
SCALE 1/4" = 1'-0"

ASPHALT SHINGLE
ROOFING

BUNGALOW SIDING

2-34 3/4 BARS

ASPHALT SHINGLES
25 OF INCH

PLASTER
FIMULATED
WOODWORK

TOTAL ROUGH OPENING
5'-0"

FRONT ENTRANCE DOOR JAMBS
AND MULLION DETAIL
SCALE 3/4" = 1'-0"

FOURTH ST ELEVATION.
SCALE 1/4" = 1'-0"



GARAGE FLOOR ELEV. 103'-0 1/4" AT
SIDES, PITCH TO DRAINS
FIRST FLOOR GRADE - 104'-0"

DEARIE STREET
SCALE 1/4" = 1'-0"

NOTE
V.C.
E

Our House

by

Martha Grace Gartz Hinkey

July 12-1935.

We have finally finished our problems in deductions and the sum total is: - Max Lehman & Sons will be general contractors in building our Cape Codder. In a private dining room of the Hotel Baker overlooking the dam of the Fox River we opened our first bids on Wednesday afternoon June 19th, and to night we opened our final revisions in the same place. In the meantime we had two private interviews with Mr. Wolf in his own office in Hotel Baker, discussing omissions and revisions to bring the house within our means.

To-day marks the beginning of our house, the finishing of our rag rug and the beginning of Lorie's.

Obituaries

Martha Grace Klinkey

Martha Grace Gaarz Klinkey, 90, of St. Charles, died Aug. 9, at Michealsen Health Care Center in Batavia. She was born Dec. 8, 1902, in Jevenstedt, Germany, but grew up in Chicago.

Mrs. Klinkey taught school at the Donlea School near Barrington. She and her husband started the Klinkey Heating and Sheet Metal business in St. Charles in 1933. She opened a room in her home as a shell museum called The Sea Locker. She was a charter member of the St. Charles Women of the Moose; the Chicago and Hawaiian Shell Clubs; and the Zonta Club of St. Charles. She was past president of the Zonta Club and in 1990 was chosen by the club as Woman of the Year.

She is survived by a daughter, Nan (John) Herbolsheimer of Gurnee; a son, William (Joan) Klinkey of St. Charles; four grandchildren, John (Patty) Barr of Austin, Texas, Dade (Randy) Fox and Robert W. Klinkey of St. Charles, and Katherine (Michael) Theisen of Wilmington, N.C.; four great grandchildren, Tom and Christie Barr of Austin, Texas, Ashley Theisen of Wilmington, N.C., and Nathan Fox of St. Charles.

She was preceded in death by her parents, Frederick and Corinne Chupel Gaarz; her husband, William M. Klinkey Sr.; two daughters Caroline Klinkey and Loris K. Barr; two brothers and two sisters.

Funeral services were private.

Contributions may be made to the Zonta Club of St. Charles or to the charity of the donor's choice.

...from anyone else to achieve future greatness. Each of you sits before this podium today because the desire to succeed, the determination, lives within you."

See NORTH, page 9A

enjoyed St. Charles East."

Schmidt was among more than 400 seniors at St. Charles East High School on Sunday who walked across the stage for their diplomas, ending their high school careers.

Spectators watched under scorch-

...with dreams or di-

recting films. "Just like Steven Spielberg," he said, smiling in his cap and gown. Schmidt said dreaming big was his style.

See EAST, page 9A

The worst devastation was in the Bantul district, which accounted for three-quarters of the deaths. One man dug his 5-year-old daughter out of the rubble of her bedroom only to have her die in a hospital awaiting treatment with hundreds of others.

125 YEARS OF LOCAL NEWS

Burglars Rob, Set Fire to Contractor's Home

KANE COUNTY CHRONICLE

The Kane County Chronicle this year commemorates 125 years of publishing news in Kane County. As part of the commemoration, the Chronicle will republish archived stories from its community newspapers, including the Batavia Herald, the Geneva Chronicle and the St. Charles Chronicle.

The following story appeared Dec. 5, 1956, in the St. Charles Chronicle.

Three St. Charles homes were burglarized Sunday evening, and one of them, the residence of heating contractor William Klinkey, also was set on fire by the thieves. About \$9,000 damage

was done to the upstairs section of the home at 405 Prairie St. before firemen put out the fire.

The burglars did not try to start fires when ransacking the neighboring homes of Mr. and Mrs. Erwin Krunnfusz, 621 S. Fourth St., and Dr. and Mrs. J.E. Carlson, 507 S. Seventh St. The Krunnfusz house is the next one north of the Klinkeys'. The Carlsons' house (he is the local dentist) is about three blocks away.

All three families were away. The Klinkeys were visiting friends in Indiana. The Krunnfuszes were out to dinner in Elgin.

The Carlsons were at Dr. Carlson's downtown office.

See BURGLARIES, page 9A

Where to find it?
Vol. 17, Issue 86

Advice7C
Classified.....1-8D
Comics.....6-7D

Crossword.....5D
Entertainment.....10B
Family Album.....7C

Lifestyle.....7-8C
Local&Region.....1-6C
Lottery.....2A

Obituaries.....3C
Opinion.....8C
Sports.....1-10B

Breaking news
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Class of 2006 gathers to leave last footprint

NORTH

Continued from page 1A

The graduates sat under the sun, seemingly excited despite uncomfortable heat and heavy graduation gowns. They often cheered on classmates and themselves at the football field, the same venue where they had cheered their team many times in the past four years.

Van Dril went on to talk about how those graduates will "take that first step into the great unknown," now that their days at St. Charles North High School are completed.

Van Dril quoted comedian Gilda Radner on not knowing what might lie ahead, referring to "delicious ambiguity." "Life is not about knowing," she said.

Van Dril encouraged her fellow graduates to embrace that fact, instead of running from change.

"Take each opportunity and run with it," she said. "It's that awkward feeling of uncertainty that makes life worthwhile."

Class President Jessica Cohen also addressed change.

"While change can, at times, appear menacing, it can also be viewed as an opportunity to embark on a new adventure," she said.

Cohen said she thought about change while perusing her middle school yearbook. She noted all the changes since that time, and all the changes that have yet to come.

"What you make of this change can impact your life forever, as will all change," she told her classmates. "There may be a degree of uncertainty, yet there is also the potential for enormous adventure and joy."

She asked the graduates to look around them and remember the faces they saw, and to remember those they saw every day in the school hallways because those are some of the people who influenced them at North High School.

"Some people come into our lives and quietly go. Some stay for a while and leave footprints on our hearts, allowing us never to be the same again," she said. "Now we have come together to leave one last footprint."

Three small bonfires set at Klinkey home

• BURGLARIES

Continued from page 1A

The burglaries took place between the hours of 4:00 and 7:00.

The fire at the Klinkey home was spotted by Patrolmen Dave Swanson and Lloyd Olson, who were driving down Fourth St. After investigating the Krunnusz break-in. It was about 7:30 p.m. They saw smoke belching out of the roof louvers.

At the same time, a neighbor, Miss Elizabeth Shaver, smelled smoke and called her father, Fletcher, back from church.

Beds, clothes, dressers, rugs, almost the entire upstairs contents of the home that had been redone a year ago were burned up. Only upstairs room that escaped was the master bedroom but here the ceilings were scorched and the smoke damage was heavy.

There was some water damage downstairs. A new rug was partly damaged.

Fresh bedding that Mrs. Klinkey had put in the children's room for Christmas vacation time was completely destroyed.

The Klinkeys had been to Lowell, Ind., and were on their way home at the time. Their daughter, Mrs. Bill Barr, reached them by phone at the Chicago home of Mr. and Mrs. Lester Belinger, a niece and nephew, and they rushed back.

The burglars broke in through a cellar window. They ransacked the house and made off with about \$100 found in dresser drawers. They were strictly on the look-out for cash as they did not touch jewelry, cam-

eras, rifles or the contents of a safety deposit box that Mr. Klinkey had brought home from the National Bank only Friday.

A 33-year-old gold watch that Mr. Klinkey ordinarily left on top of the dresser table escaped theft because Mr. Klinkey had accidentally left it at Gus Schultz's home while repairing his furnace.

The fire was started by the setting of three small paper bonfires in upstairs beds and closets. A fourth fire that was started in the downstairs office went out after scorching the ends of the envelopes that were used to feed the flames. The arsonists apparently stuck two blazing matches inside the envelopes and left.

At the Krunnusz home, every drawer was ransacked and its contents thrown on the floor. "Shoe boxes, hat boxes, shoes, clothes were laying everywhere," according to Mrs. Krunnusz. "They even went up into the attic and threw everything out of an eight-drawer commode. They didn't miss any hiding place for cash. They even dumped my husband's tobacco on the bedroom floor and searched the pouch."

Valuables missing were 58 Benjamin Franklin half dollars worth \$29.00 that Mrs. Krunnusz had saved. The coffee can they had been kept in was banged against the top of a solid walnut table to open it. Jewelry, fur capes and other valuables were left undisturbed.

Mr. and Mrs. Krunnusz took her mother, Mrs. J.F. Crohn, out to Sunday dinner at the Rolla Inn, Elgin, at about 2:45 p.m. After dinner, Mr. Krunnusz dropped

his wife and mother-in-law off at the St. Charles residence of Mrs. David Cain, then came on home to let out the cat. As he drove in the driveway to the back, he saw that the back door was wide open. He rushed into the house and found the front door also was wide open. The break-in had been made through the basement window.

Mr. Krunnusz believes he may have frightened the intruders away but he did not see them.

The home, a one-story brick structure, has been the victim of five attempted burglaries in the past 13 years. The coal chute has been kicked out twice and all the doors have been jimmied at one time or another, Mrs. Krunnusz stated.

"It's a terrible fright to come home and find the house you left in apple-pie order all torn up," she stated.

Dr. Carlson's Seventh St. home was the first entered. Dr. Carlson had gone to his office at 107½ W. Main St. after dinner. Mrs. Carlson followed him there at about 3:45 p.m. When they got back at 6:30 p.m., they discovered the back door leading into the living room had a pane of glass knocked out of it. The house was ransacked from top to bottom.

"Everything was thrown out of the linen closet, dresser drawers, any place where it looked like there might be money," Mrs. Carlson said. "They even tugged open a large can containing moth balls that stood in the bedroom closet."

Total loss was \$4.00 in change that Mr. Carlson kept in a small box in an upstairs dresser.

Graduates can choose where they go

• EAST

Continued from page 1A

"It keeps you going," Schmidt said. "It's helped me a lot with my disability." Schmidt has muscular dystrophy and uses a wheelchair. The National Honor Society student's parents, grandparents and siblings were in the crowd to watch him graduate. He said they all were an influence in his life and encouraged his aspirations.

Schmidt's classmate, salutatorian Lauren Rogowski, spoke of destiny and choices as she addressed her graduating class.

She quoted lawyer and politician William

Jennings Bryan, saying, "Destiny is not a matter of chance, it is a matter of choice; it is not a thing to be waited for, it is a thing to be achieved."

Rogowski reminded her classmates that although they might not know where their lives would take them, they had the ability to choose where they went.

She said that choice could be overwhelming, but exciting as well.

"For the past four years ... many of our choices were made for us," she said. "But now as we leave high school, the number of choices we have has skyrocketed. Having so many choices can be overwhelming, but at the same time, having so many options is very exciting because every choice we make defines who we are."

KLINKEY

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