

**Please practice social distancing while attending this meeting.
If social distancing is not possible please wear a mask.**

**AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. RITA PAYLEITNER – CHAIR
MONDAY, DECEMBER 14, 2020 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. CALL TO ORDER

2. ROLL CALL

3. OMNIBUS VOTE

Items with an asterisk (*) are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

4. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Plan Commission recommendation to approve an Amendment to Special Use for PUD to allow an Assisted Living Facility at 2340 Dean Street, former Valley Medical Inn (Valley Ambulatory Surgery Center PUD)
- b. Plan Commission recommendation to approve an Amendment to Special Use for PUD to allow an Independent Living Facility and to approve a PUD Preliminary Plan for Anthony Place, Phase 2 (St. Charles Commercial Center PUD)
- c. Consideration of a request for a 1-year extension to record a Final Plat of Subdivision for Crystal Lofts PUD.
- d. Recommendation to Approve Amendments to Title 18 – Stormwater Management Ordinance (Extension of Project Exemptions to December 2021)
- e. Discussion and feedback on the proposed First Street Plaza configurations for expanded temporary outdoor dining in 2021
- f. 2020 St. Charles Housing Affordability Analysis – Information Only.

5. ADDITIONAL BUSINESS

6. EXECUTIVE SESSION

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)

- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

7. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS.

8. ADJOURNMENT

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4a

Title: Plan Commission recommendation to approve an Amendment to Special Use for PUD to allow an Assisted Living Facility at 2340 Dean Street, former Valley Medical Inn (Valley Ambulatory Surgery Center PUD)

Presenter: Rachel Hitzemann

Meeting: Planning & Development Committee

Date: December 14, 2020

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Marcelo Carlos has submitted a Special Use application requesting to amend the existing Valley Ambulatory Surgery Center PUD to permit an Assisted Living Facility use. The subject property, 2340 Dean Street, located north of the Randallwood office center, was previously the Valley Medical Inn, a post-surgical recovery center connected to the Valley Ambulatory Surgery Center, but had been vacant for several years. The PUD only allows for a surgery center or medical use, but the underlying O-R (Office Research) zoning permits Assisted Living Facilities.

The details of the PUD Amendment are as follows:

- Allow for an Assisted Living Facility use
- No changes to the exterior of the building or site are being proposed

Plan Commission Recommendation

Plan Commission held a public hearing on 11/17/20. The Commission unanimously voted to recommend approval of the Special Use for PUD Amendment.

Attachments *(please list):*

Plan Commission Resolution, Staff Report, Application, Correspondence from neighboring property owner, Valley Ambulatory Surgery Center PUD Ordinance

Recommendation/Suggested Action *(briefly explain):*

Plan Commission recommendation to approve an Amendment to Special Use for PUD to allow an Assisted Living Facility at 2340 Dean Street, former Valley Medical Inn (Valley Ambulatory Surgery Center PUD).

City of St. Charles, Illinois
Plan Commission Resolution No. 19-2020

**A Resolution Recommending Approval of an Application for Special Use to
amend the Valley Ambulatory Surgery Center PUD Ordinance 1996-M-17 &
1997-M-76 to allow an Assisted Living Facility.**
(Marcelo Carlos)

Passed by Plan Commission on November 17, 2020

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the application for Special Use to amend the Valley Ambulatory PUD Ordinance 1996-M-17 & 1997-M-76 to allow for an Assisted Living Facility use (Marcelo Carlos) and,

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD (PUD Amendment) to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community**

The proposed use advances several of the factors listed in Section 17.04.400.A in that:

- (1) it encourages the harmonious integration of an assisted living facility within a currently

vacant recovery care center; (2) it preserves all existing improvements and infrastructure; and (3) it promotes the economical adaptive re-use of a now obsolete facility.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The proposed amendment advances the factors listed in Section 17.04.400.B and supports the requested variances from the original PUD standards in that it preserves all of the existing improvements, infrastructure and other existing attributes of the PUD, while allowing the adaptive re-use of the existing building for an assisted living facility.

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed amendment will serve the public convenience by providing a use that is in demand in replacement of an obsolete use. The underlying OR - Office Research zoning district already allows assisted living facilities a permitted use, and the location of this use adjacent to the Randall Rd. corridor will provide convenience to the facility's residents and visitors.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The proposed use is located within an existing PUD already developed with all required utilities, access roads and drainage facilities, and the proposed use will have no adverse impact on the existing infrastructure as it is not increasing the intensity of development within the PUD.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed amendment will not be injurious to nearby properties in that it utilizes the existing building and no additional exterior improvements or expansion is planned.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed amendment will not impede the normal and orderly development of the surrounding property, and in fact will assist in the full utilization of the existing PUD.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed amendment will not be detrimental to, nor will it endanger the public health, safety, comfort or general welfare in that it merely seeks to utilize an existing building for a use that is permitted in the underlying OR- Office/ Research zoning district, but which is not currently a permitted use under the PUD ordinance.

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all

applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed amendment conforms to all existing federal, State and local laws and meets or exceeds all applicable provisions of the St. Charles Municipal Code, except as may be varied pursuant to a Special Use or Planned Unit Development. The only departure from existing requirements is (the assisted living facility as a permitted use) is being addressed by this proposed amendment.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed amendment will be beneficial to the physical development, diversity, tax base and economic well-being of the City in that it will encourage the adaptive re-use of a currently vacant building and will replace an obsolete use.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed amendment conforms to the purposes and intent of the Comprehensive Plan in that it: (1) Promotes orderly growth and change; (2) enhances the economic viability and productivity of the Randall Rd. corridor; and (3) Encourages the adaptive re-use of a functionally obsolete improvement, among others.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a Special Use to amend the Valley Ambulatory Surgery Center PUD Ordinance 1996-M-17 & 1996-M- 17 to allow an Assisted Living Facility. (Marcelo Carlos)

Roll Call Vote:

Ayes: Wallace, Becker, Holderfield, Kessler, Melton, Funke, Pretz, Purdy, Vargulich

Nays: Absent: 0

Recused: 0

Motion carried: 9-0

PASSED, this 17th day of November 2020.

Chairman
St. Charles Plan Commission

Community & Economic Development



Staff Report

TO: Chairman Rita Payleitner
And Members of the Planning & Development Committee

FROM: Rachel Hitzemann
Planner

RE: Amendment to Valley Ambulatory Surgery Center PUD to allow Assisted Living Facility

DATE: December 10, 2020

I. APPLICATION INFORMATION:

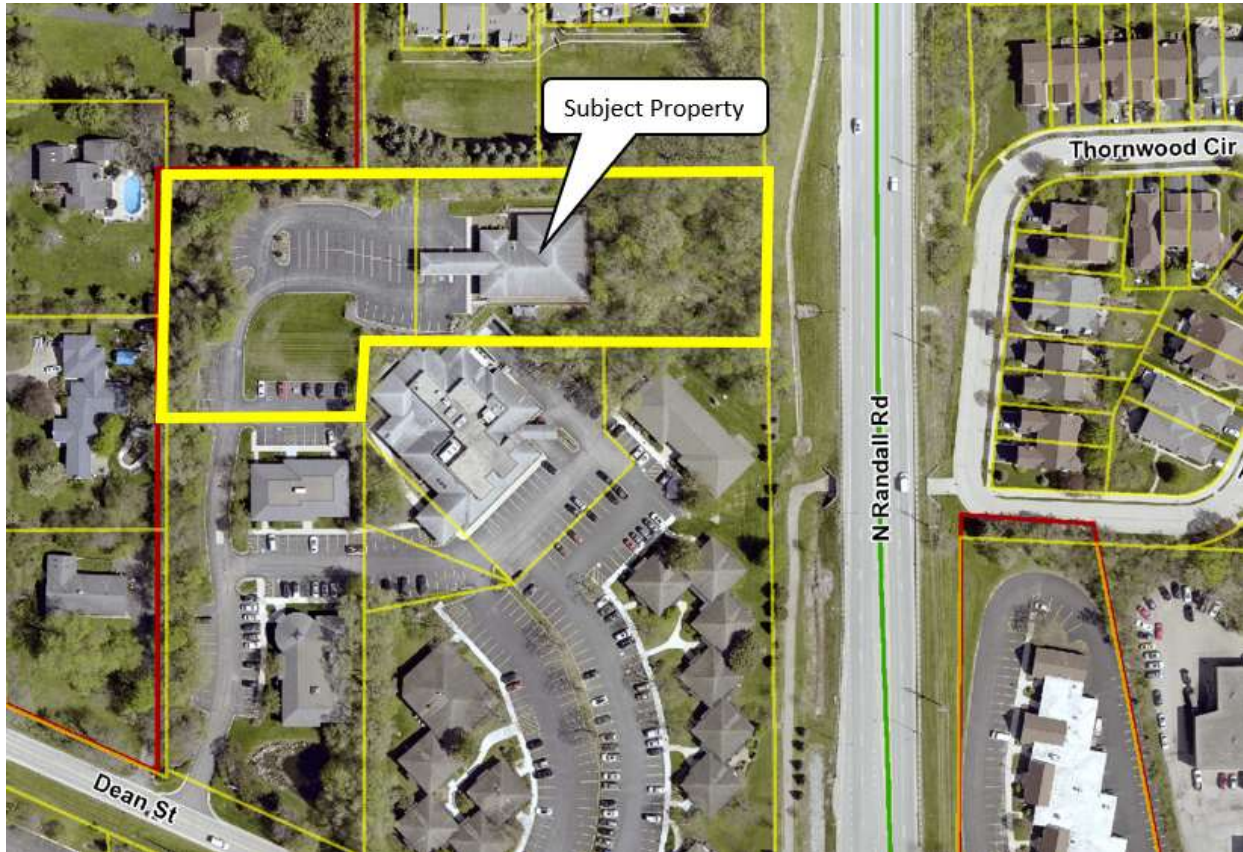
Project Name: Valley Ambulatory PUD

Applicant: Marcelo Carlos

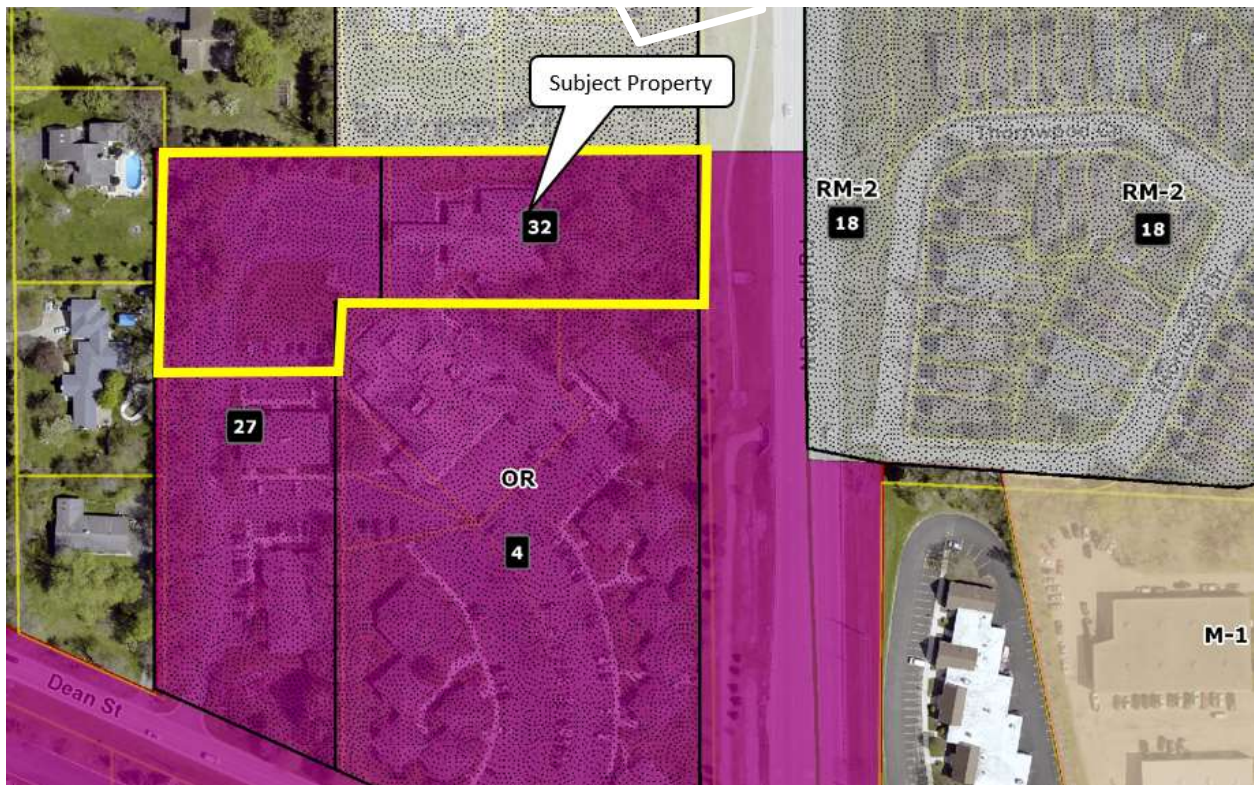
Purpose: Amend an existing PUD to allow for an Assisted Living Center Use

General Information:		
Site Information		
Location	Northwest corner of Dean St. and N. Randall Rd. (Behind Randallwood Business Park)	
Acres	2.55	
Applications		
	Special Use for a Standalone Drive-through Facility	
Applicable Code Sections	17.16 "Office/Research, Manufacturing and Public Land Districts"	
Existing Conditions		
Land Use	Surgery Center (Currently Vacant)	
Zoning	OR- Office Research & Valley Ambulatory Surgery Center PUD	
Zoning Summary		
North	CBD-1 - Central Business	Flagship/ Pollyanna
East	RM-2 – Multi-Family Residential M1- Manufacturing Unincorporated ST. Charles	Multi-Family Residential Manufacturing Park Business Park
South	OR- Office Research/ PUD	Randallwood Business park
West	Unincorporated St. Charles	Residential
Comprehensive Plan Designation		
Industrial/ Business Park		

Aerial Photograph



Zoning Map



II. BACKGROUND

Marcelo Carlos has submitted an application for a Special Use to amend the Valley Ambulatory Center PUD to allow for an Assisted Living Use. The property, commonly known as 2340 Dean St., is located to the northwest of Dean St. and N. Randall Rd., behind the Randallwood Business park.

The subject property was previously used as a surgery center, but has been vacant for several years. The Valley Ambulatory Surgery Center PUD only permits a surgery center use. The applicant has filed the Special Use PUD amendment to allow for the additional use of an Assisted Living Facility.

III. PROPOSAL

The details of the PUD Amendment are as follows:

- Allow for an additional permitted use of Assisted Living Facility within the PUD.
- No changes to the outside of the building or site are being proposed.

IV. STAFF ANALYSIS

A. ZONING

The site is zoned O-R- Office Research and is also located within the Valley Ambulatory Surgery Center PUD. The O-R District permits an Assisted Living Facility use, but the PUD does not. The proposed change would be consistent with what is permitted within the underlying zoning.

B. ASSISTED LIVING FACILTIES

Definition of Assisted Living Facility (17.30.020) :

A facility providing residential accommodations and daily assistance for elderly or disabled residents that meets the definition of assisted living established in the Assisted Living and Shared Housing Act.

According to the State's definition of Assisted Living Facilities, at least 80% of the residents must be 55 years of age or older.

C. PARKING

Assisted Living Facility uses require .25 spaces per unit. The applicant intends on having 20 residents in 10 rooms. Only 3 parking spaces are required for the use. The site has 55 parking spaces.

V. PLAN COMMISSION RECOMMENDATION

Plan Commission held a public hearing on 11/17/20. One email was received from a neighboring property owner asking for clarification regarding the Assisted Living Use. The email is attached to the packet.

The Commission voted 9-0 to recommend approval.

Staff has found the application materials to be complete. Upon resolution of outstanding staff comments, the proposal has the ability to meet City Code requirements.

VI. ATTACHMENTS

- Application for Special Use, received 10/28/2020
- Email from neighbor dated 11/8/2020

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



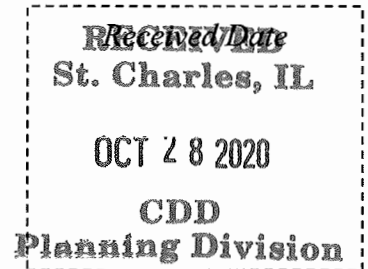
COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	Valley Ambulatory Surgery Center PUD
Project Number:	2020-PR-017
Cityview Project Number:	PLS4202000050



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 2340 Dean St., St. Charles, IL 60175	
	Parcel Number (s): 09-29-227-083	
	Proposed Name: Valley Ambulatory Surgery Center PLanned Unit Development (Existing)	
2. Applicant Information:	Name Marcelo Carlos (Contact: Patrick M. Griffin, Attorney)	Phone 630-524-2566
	Address 1122 Grand Ave. Waukegan, IL 60085	Fax n/a
		Email pgriffin@gwillplaw.com
3. Record Owner Information:	Name Valley Medical Building Corporation (Contact: Scott L. Seraphin, Attorney)	Phone 630-584-4659
	Address 2320 Dean St., Suite 104 St. Charles, IL 60175	Fax
		Email sls@seraphin-law.com

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name:** Valley Ambulatory Surgery Center PUD
- New PUD
- Amendment to existing PUD- Ordinance #:** 1996-M-17; 1997-M-76
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** _____
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: Industrial / Business Park

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? PUD - OR - Office / Research

What is the property currently used for? Vacant Recovery Care Center

If the proposed Special Use is approved, what improvements or construction are planned?

No exterior construction or improvements are planned. Applicant seeks to convert the property into an assisted living facility and will perform an interior remodel.

For Special Use Amendments only:

Why is the proposed change necessary?

Although the underlying OR - Office Research zoning district includes assisted living facilities as a permitted use, the current PUD does not expressly allow for an assisted living facility.

What are the proposed amendments? (Attach proposed language if necessary)

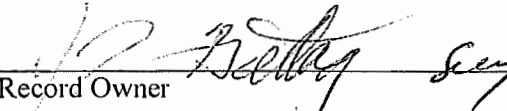
Applicant seeks a single amendment which would add assisted living as a permitted use under the PUD ordinance.

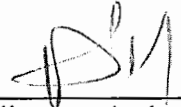
Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


 Record Owner _____ Date 10/15/20
Valley Medical Building Corporation


 Applicant or Authorized Agent _____ Date 10-15-20
**PATRICK M. GRIFFIN, ATTORNEY AND
 AUTHORIZED AGENT**

**OWNERSHIP DISCLOSURE FORM
CORPORATION**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Dr. Jerome Bettag, being first duly sworn on oath depose and say that I am the
Secretary of Valley Medical Building Corporation

an Illinois Corporation and that the following persons are all of the shareholders of 7% or more
of the common stock of said Corporation:

Mr. Ken Kowalski
Dr. David Hemmer
Dr. Stewart Odell
Dr. Ernie Isadore

Dr. Ken Noffsinger
Dr. Jerome Bettag

BY: *[Signature]*
TITLE: Secretary

Subscribed and Sworn before me this 15th day of
October, 2020.

[Signature]
Notary Public



OWNER AUTHORIZATION

The undersigned, Valley Medical Building Corporation (“Owner”) certifies that it has authorized the foregoing Application for Special Use and/or Amendment to Planned Unit Development to be submitted to the City of St. Charles (the “Application”).

The undersigned provides this authorization solely as Owner of the real estate that is the subject of the Application, and for the limited purpose of consenting to the Application. Owner makes no representation as to the Application’s conformance with applicable ordinances.

OWNER:

Valley Medical Building Corporation

By: 
Dr. Jerome L. Bettag

Its: Secretary

Date: 02.14.2020

LEGAL DESCRIPTION

PARCEL 1:

LOT 1 OF VALLEY MEDICAL INN SUBDIVISION, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL 1A:

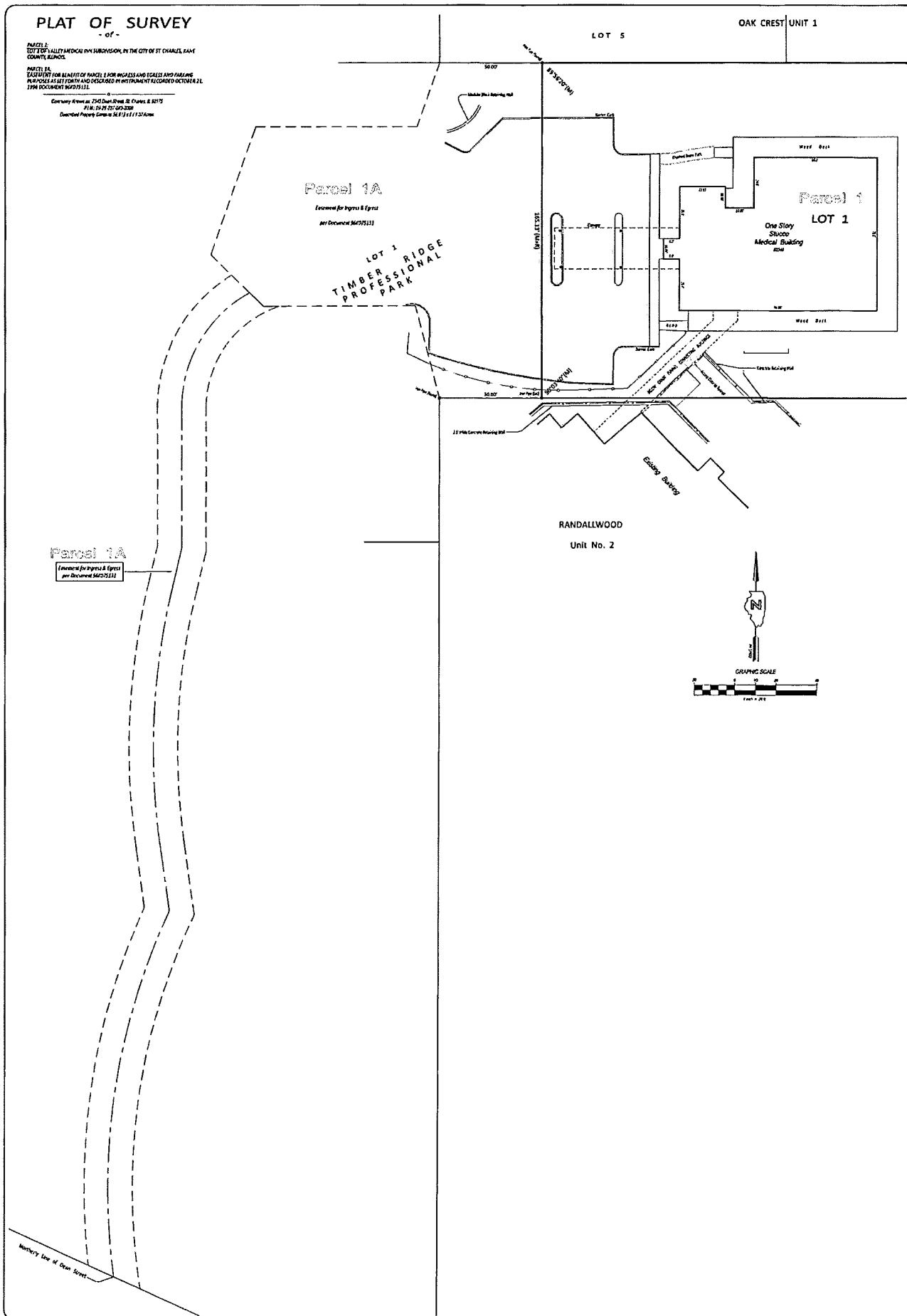
EASEMENT FOR BENEFIT OF PARCEL 1 FOR INGRESS AND EGRESS AND PARKING PURPOSES AS SET FORTH AND DESCRIBED IN INSTRUMENT RECORDED OCTOBER 21, 1996 DOCUMENT 96K075131.

PLAT OF SURVEY

PARCEL 1:
 LOT 1 OF VALLEY HAVEN PM SUBDIVISION IN THE CITY OF ST. CHARLES, SAINT
 COUNTY, ILLINOIS.

PARCEL 1A:
 REQUIREMENT FOR BEHALF OF PARCEL 1 FOR ACCESS AND EASES AND PAVING
 PROPOSED AS SET FORTH AND DESCRIBED BY INSTRUMENT RECORDED OCTOBER 2, 2018
 DOCUMENT NO. 2018-05157-0000

Cornerary Avenue at 2340 Dean Street St. Charles, IL 60175
 PL 18-05157-0000-0000
 Document Property Center 18-05157-0000-0000



PROJECT	20-120
CAD NAME	20-120.dwg
SCALE	1" = 20'
SHEET	2 OF 2
DRAWN BY	STK

PROJECT	PLAT OF SURVEY 2340 DEAN STREET ST. CHARLES, IL 60175
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PREPARED FOR:	GRIFFIN WILLIAMS LLP 21 N. FOURTH STREET GENEVA, IL 60134
----------------------	---

No.	Date	Revision Description	By



KRISCH LAND SURVEYING LLC
 P.O. Box 929 PLAINFIELD, IL 60544-0929
 PHONE: (830) 627-5389 / FAX: (830) 627-5384
 www.krischlandsurveying.com
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-006666
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CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)



For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

Valley Ambulatory Surgery Center PUD

10-15-20

PUD Name

Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed use advances several of the factors listed in Section 17.04.400.A in that:

(1) it encourages the harmonious integration of an assisted living facility within a currently vacant recovery care center; (2) it preserves all existing improvements and infrastructure; and (3) it promotes the economical adaptive re-use of a now obsolete facility.

- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
 - A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The proposed amendment advances the factors listed in Section 17.04.400.B and supports the requested variances from the original PUD standards in that it preserves all of the existing improvements, infrastructure and other existing attributes of the PUD, while allowing the adaptive re-use of the existing building for an assisted living facility.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The proposed amendment will serve the public convenience by providing a use that is in demand in replacement of an obsolete use. The underlying OR - Office Research zoning district already allows assisted living facilities a permitted use, and the location of this use adjacent to the Randall Rd. corridor will provide convenience to the facility's residents and visitors.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The proposed use is located within an existing PUD already developed with all required utilities, access roads and drainage facilities, and the proposed use will have no adverse impact on the existing infrastructure as it is not increasing the intensity of developemnt within the PUD.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed amendment wil not be injurious to nearby properties in that it utilizes the existing existing building and no additional exterior improvements or expansion is planned.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed amendment will not impede the normal and orderly development of the surrounding property, and in fact will assist in the full utilization of the existing PUD.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed amendment will not be detrimental to, nor will it endanger the public health, safety, comfort or general welfare in that it merely seeks to utilize an existing building for a use that is permitted in the underlying OR - Office / Research zoning district, but which is not currently a permitted use under the PUD ordinance.

- F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed amendment conforms to all existing federal, State and local laws and meets or exceeds all applicable provisions of the St. Charles Municipal Code, except as may be varied pursuant to a Special Use or Planned Unit Development. The only departure from existing requirements is (the assisted living facility as a permitted use) is being addressed by this proposed amendment.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed amendment will be beneficial to the physical development, diversity, tax base and economic well-being of the City in that it will encourage the adaptive re-use of a currently vacant building and will replace an obsolete use.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed amendment conforms to the purposes and intent of the Comprehensive Plan in that it: (1) Promotes orderly growth and change; (2) enhances the economic viability and productivity of the Randall Rd. corridor; and (3) Encourages the adaptive re-use of a functionally obsolete improvement, among others.

November 8, 2020

From: Sue Anderson
3N681 Bittersweet Road
Saint Charles, Illinois 60175
630-584-4084
sueanderson34@gmail.com

TO: St. Charles Plan Commission:

Thank you for contacting me, as a homeowner on Bittersweet Road, about the proposed change of zoning to allow the former Valley Ambulatory Surgery Center to be converted into a senior assisted living facility.

Overall, this conversion seems like it would be a reasonable one. However, I do have a concern, which I hope you will address.

This is my concern: If the new zoning allows "Assisted Living Facilities" would this mean the building might subsequently be converted into a residential drug and/or alcohol treatment center? The wording for the special permit should spell out clearly that the intended use be limited to "senior assisted living."

Thank you,

Sue E. Anderson

CITY OF ST. CHARLES

ORDINANCE NO. 1996-M-17

AN ORDINANCE GRANTING A SPECIAL USE AS A PLANNED
UNIT DEVELOPMENT FOR THE VALLEY AMBULATORY
SURGERY CENTER RECOVERY FACILITY PUD

ADOPTED BY THE

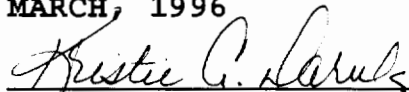
CITY COUNCIL

OF THE

CITY OF ST. CHARLES

THIS 4TH DAY OF MARCH, 1996

PUBLISHED IN PAMPHLET FORM BY
AUTHORITY OF THE CITY COUNCIL
OF THE CITY OF ST. CHARLES,
KANE AND DU PAGE COUNTIES,
ILLINOIS, THIS 8TH DAY OF
MARCH, 1996



CITY CLERK

(S E A L)

DATE OF PUBLICATION 3/18/96
NEWSPAPER *Samphet Form*

REFER TO:
MINUTES 3/4/96
PAGE _____

ORDINANCE NO. 1996-M-17

AN ORDINANCE GRANTING A SPECIAL USE AS A PLANNED
UNIT DEVELOPMENT FOR THE VALLEY AMBULATORY
SURGERY CENTER RECOVERY FACILITY PUD

WHEREAS, a petition for rezoning to the O-R-1 Office Research District and for the granting of a Special Use as a Planned Unit Development for the real estate described in Exhibit "I" attached hereto and made a part hereof, (hereinafter sometimes referred as "Subject Realty") has been filed by ALPINE LAND CORPORATION, an Illinois Corporation, whose successor in interest is VALLEY AMBULATORY SURGERY CENTER, an Illinois Limited Partnership (hereinafter referred to as "RECORD OWNER") ST. CHARLES LAND COMPANY, an Illinois Corporation, and B&B ENTERPRISES, an Illinois partnership, agents for RECORD OWNER (hereinafter collectively referred to as "DEVELOPER"), (said RECORD OWNER and DEVELOPER being collectively referred to as "OWNERS"), and

WHEREAS, the Plan Commission has held a public hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered same;

WHEREAS, the Subject Realty is the subject of an "Annexation Agreement City of St. Charles, Valley Ambulatory Surgery Center Recovery Facility PUD" dated February 16, 1996 (hereinafter referred to as the "Annexation Agreement").

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY

OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. That Section 17.02.180 of Title 17 of the St. Charles Municipal Code, as amended, and as set forth in the Zoning District Map as described therein and on file in the Office of the City Clerk, is hereby amended by rezoning the Subject Realty to the O-R-1 Office Research District and by the granting of a Special Use as a Planned Unit Development, pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, subject to the additional conditions, variations and restrictions hereinafter set forth.

SECTION 2. That the Subject Realty may be developed only in accordance with all ordinances of the City as now in effect or hereafter amended (except as specifically varied herein), and in accordance with the additional procedures, definitions, uses, and restrictions contained herein and as set forth in Exhibits, II, III and IV, all as attached hereto and made a part hereof.

A. Zoning Requirements and Standards. The development of the Subject Realty shall conform with the provisions of the O-R-1 Office-Research District as set forth in the St. Charles Zoning Ordinance, except as specifically provided herein. The permitted uses within the Subject Realty shall be limited to those set forth in Exhibit "II".

1. Bulk Requirements: The minimum lot area, lot width, building height, floor area ratio, yard and setback

requirements applicable to the O-R-1 Office Research District shall apply to the Subject Realty, except as specifically provided in Exhibit "II".

2. Off-street parking and loading: The off-street parking and loading provisions set forth in Chapter 17.38, "Off-Street Loading and Parking" of the St. Charles Municipal Code in effect at the time of application for a building permit shall apply to the Subject Realty, except as otherwise provided in Exhibit II.

3. Signs: The sign provisions set forth in the St. Charles Zoning Ordinance applicable to the O-R-1 Office Research District in effect at the time of application for a sign permit shall apply to the Subject Realty.

B. PRELIMINARY AND ENGINEERING PLANS AND FINAL PLAT

No engineering plans or final plat for any part of the Subject Realty shall be approved prior to City Council approval of a Preliminary Plan for the entire Subject realty conforming to Title 16 and Title 17 of the St. Charles Municipal Code, as amended, in effect at the time of receipt by CITY of a complete submittal.

Following approval of such Preliminary Plan OWNERS may submit final engineering plans and a final plat substantially in accordance with the approved Preliminary Plan and the provisions of the St. Charles Municipal Code, as amended, in

effect at the time of receipt by CITY of a complete submittal; such engineering plans shall include engineering plans for any offsite improvements related to that portion of the Subject Realty being developed, as determined by CITY.

No final plat for any part of the Subject Realty shall be approved prior to approval of engineering plans for the Subject Realty and any offsite improvements necessary to service the Subject Realty as reasonably determined by CITY. No final plat for the Subject Realty shall be recorded prior to City Council approval and receipt of the guarantee for completion of the Land Improvements (as defined in Title 16 of the St. Charles Municipal Code) in relation to the Subject Realty and any offsite improvements, all as necessary to service the Subject Realty as reasonably determined by CITY. Such guarantee shall comply with the requirements of Title 16 of the St. Charles Municipal Code.

Prior to final approval and issuance of any building permit for a tunnel or other structure which is proposed to extend across or under any lot line of the Subject Realty onto adjoining property, CITY shall be satisfied that an adequate joint maintenance agreement exists for the construction and maintenance of the tunnel or other structure extending across or under the lot line.

C. COMMENCEMENT OF CONSTRUCTION

No construction of Land Improvements shall be commenced prior to approval of engineering plans for the Land Improvements for the Subject Realty.

No building permit shall be issued for construction of any building, structure, or part thereof on the Subject Realty until a final plat has been approved and recorded for the Subject Realty. In addition, no building permit shall be issued prior to the time that a) streets or construction roads are passable for ingress and egress by emergency and inspection vehicles, and b) water supply facilities adequate to provide fire protection to structures under construction have been accepted by the City Council. Determination of acceptable condition of the streets or roads shall be made by the Director of Public Works and the Building Commissioner, and determination of adequacy of water supply facilities shall be made by the Director of Public Works and the Fire Chief.

D. COMPLETION OF IMPROVEMENTS PRIOR TO OCCUPANCY

No occupancy permit shall be issued for any building within the Subject Realty until after City Council acceptance of the Land Improvements for the Subject Realty and related offsite improvements; however, sidewalks, street trees, parkway seeding, and final surface course of streets need not be completed prior to issuance of an occupancy permit.

E. RESTORATION

OWNERS shall repair and replace, in accordance with the original sizes, standards and topography, in a manner satisfactory to the CITY, all CITY property damaged or disturbed by reason of any work in connection with the development of the Subject Realty.

F. FACILITIES TO BE UNDERGROUND

OWNERS shall provide that all utilities and communications facilities to be installed to serve the Subject Realty, including telephone, electric, and cable television, shall be underground, and this requirement shall be affixed to all final plats.

G. EASEMENTS

An easement or easements over, under and upon that portion of the Subject Realty reasonably determined by CITY to be necessary for access for emergency vehicles and for access for maintenance, repair, replacement and customary servicing of all electricity lines, sanitary sewer, storm drainage, stormwater detention and retention, and water main systems, telephone lines, natural gas supply systems, communication facilities and other utilities, shall be provided at CITY's request on all final plats in favor of the CITY and all of the involved utility and communications companies, now or in the future receiving a CITY franchise, their respective officers, employees, and agents, together with related emergency and

service vehicles and equipment.

Prior to approval of a final plat for all or any part of the Subject Realty, OWNERS shall provide easements in a form acceptable to the CITY, providing for the following:

1. Ingress and Egress across adjoining property from the Subject Realty to Dean Street, at a minimum width of 24 feet, for access to and for the uses permitted within the Subject Realty.
2. Ingress and egress across adjoining property from the Subject Realty to Dean Street, at a minimum width of 24 feet, for all emergency vehicles and for access for maintenance, repair, replacement and customary servicing of all electricity lines, sanitary sewer, storm drainage, stormwater detention and retention, and water supply systems, telephone lines, natural gas supply systems, communication facilities and other utilities, in connection with the development or maintenance of the Subject Realty.

H. SOIL EROSION CONTROL

OWNERS shall adhere to measures for the prevention of soil erosion during the development of the Subject Realty pursuant to the ordinances of the CITY, the "Standards and Specifications for Soil Erosion and Sedimentation Control"

published by the Illinois Environmental Protection Agency in 1987, as amended, the "Illinois Procedures and Standards of Urban Soil Erosion and Sedimentation Control" published in 1988, as amended, and the recommended procedures of the Kane-DuPage Soil and Water Conservation District and any other applicable regulatory agency, whichever is more restrictive, as determined by the CITY. An erosion control plan shall be submitted by OWNERS to the CITY with the final engineering plans for each unit or phase, and shall be subject to review and approval of the Director of Public Works and Director of Planning and Development. No earth moving or other construction activities shall commence prior to the CITY's approval of an erosion control plan and the installation of erosion control measures and field approval of those measures (as field modified at the CITY's discretion) by the City Engineer. Upon five (5) days notice to OWNERS, the CITY shall have the right to stop any construction of Land Improvements, buildings and other structures if the City Engineer determines that the erosion control measures shown on the approved erosion control plan and as field modified are not being adequately maintained. The OWNERS agree that a stop work order may be issued against the violating party on these grounds and will not be lifted until all violations are corrected. The OWNERS shall indemnify and hold harmless the

CITY from any and all losses, claims, expenses and penalties including attorneys' fees arising out of the CITY's issuance of a stop work order on these grounds.

I. TREE PRESERVATION

OWNERS shall comply with the provisions of Exhibit "III" attached hereto and made a part hereof. As part of the Preliminary Plan, OWNERS shall submit a tree survey which identifies all wooded areas of the Subject Realty and all individual trees over 6 inches diameter at breast height by type and size, located within 100 feet of any proposed building, structure, grading, excavation or paving.

J. LANDSCAPING AND SCREENING

Landscaping for the Subject Realty shall be completed prior to the occupancy of any structure. However, if conditions beyond the control of the OWNERS prohibit the installation of the landscaping prior to a request for occupancy, a temporary certificate of occupancy may be issued for a period not to exceed six months. If the landscaping is not completed as of the expiration of the temporary certificate of occupancy, the Building Commissioner shall not be required to issue a final certificate of occupancy or any additional temporary certificates of occupancy, but may do so in his discretion as governed by the St. Charles Municipal Code.

The OWNERS shall maintain and replace as necessary all trees, shrubs and other plant materials, retaining walls, fencing, earth berms, and other landscaping features (hereinafter, "Landscaping") on the Subject Realty, in conformance with the Preliminary Plan and any amendments thereto including final engineering plans. In the event OWNERS fails to maintain, repair or replace the Landscaping, CITY may give OWNERS written notice of any such deficiency; upon receipt of such notice, OWNERS shall correct such deficiency within sixty (60) days thereof unless the nature, extent or weather conditions for the maintenance or replacement of the Landscaping prevents the OWNERS from correcting the deficiency within said time period. Under such circumstances, OWNERS shall correct such deficiency as soon as possible, but not later than six months from the date of notice. In the event of the conveyance or assignment of any part of the Subject Realty to anyone other than CITY, any such conveyance or assignment shall contain an agreement between the parties involved as to the responsibility for maintenance and replacement of Landscaping as contemplated in this paragraph.

If CITY enacts any ordinances or amendments thereto requiring more stringent standards with respect to maintenance and replacement of landscaping, such ordinances and amendments

shall apply to the Subject Realty.

In the event OWNERS shall fail to satisfy any of the conditions set forth in this Paragraph, CITY may utilize any or all of the remedies available to it including, but not limited to:

1. City may obtain a mandatory injunction requiring OWNERS to complete the installation or repair of the landscaping as required herein including any damages, expenses, costs and attorney's fees incurred in connection therewith;

2. City may proceed to install or repair such landscaping and shall be paid all costs, expenses and attorney's fees associated with enforcing the provisions of this paragraph and to such extent CITY may estimate the amount thereof and obtain judgment in advance of actually completing such work and in advance of incurring such expenses, subject, however, to a refund of any costs not incurred within one year after receipt of such funds, and to the extent the expenses actually exceed the estimates, CITY shall have the right to additional relief for such additional expenses;

3. CITY shall have the right to refuse any and all building permits and occupancy permits as well as any other permits associated with the use of the Subject Realty;

4. City shall have the right without objection from the

OWNERS to establish a Special Service Area to pay all of such costs, expenses and attorney's fees with no limitation on the time of such Special Service Area and a maximum tax rate of 0.25 per cent (\$0.25 per \$100 of assessed valuation).

K. MAINTENANCE OF PRIVATE FACILITIES

The OWNERS shall repair and maintain all retention and detention basins, storm sewer lines, and surface drainage facilities on the Subject Realty which are not conveyed to and accepted by the CITY. In the event OWNERS fails to maintain, repair or replace said basins, lines, facilities, or any tributary appurtenances thereto, then CITY may correct such deficiencies, and may, pursuant to Exhibit IV, levy a Special Service Area tax to pay for same. In the event of the conveyance or assignment of all or any part of the Subject Realty to anyone other than CITY, any such conveyance or assignment shall contain an agreement between the parties involved as to the responsibility for repair and maintenance as contemplated in this paragraph.

L. SITE LIGHTING

All exterior lighting fixtures within the Subject Realty shall be a maximum of 15 feet above grade. Lighting fixtures and standards shall be designed to be "high-cutoff" or shall otherwise be designed and located so that glare from direct lighting is not visible from adjoining residential property.

M. MISCELLANEOUS

Additional provisions set forth in Exhibit "IV" are hereby incorporated by reference as if fully set forth herein.

SECTION 3. HOLD HARMLESS AND INDEMNIFICATION

In the event a claim is made against the CITY, its officers, other officials, agents and employees or any of them, or if the CITY is made a party-defendant in any proceeding arising out of or in connection with the approval and issuance of a Special Use Permit for a Planned Unit Development for the Subject Realty, or the development of the Subject Realty, including matters pertaining to hazardous materials and other environmental matters, the OWNERS shall defend and hold the CITY and such officers, other officials, agents and employees harmless from all claims, liabilities, losses, taxes, judgments, costs and fees, including expenses and reasonable attorney's fees, in connection therewith. The CITY and such officers, other officials, agents and employees shall reasonably cooperate in the defense of such proceedings.

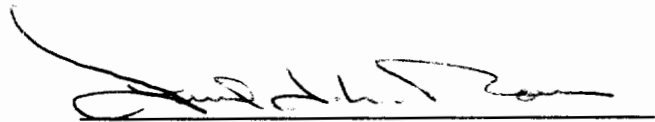
SECTION 4. That this Ordinance shall become effective from and after its passage and approval in accordance with law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 4th day of March, 1996.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 4th day of March, 1996.

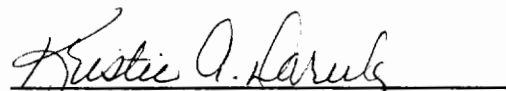
Ordinance No. 1996-M-17
Page 14

APPROVED by the Mayor of the City of St. Charles, Kane and
DuPage Counties, Illinois this 4th day of March, 1996.



MAYOR

ATTEST:



CITY CLERK

COUNCIL VOTE:
AYES: 14
NAYS: 0
ABSENT: 0

EXHIBIT II
Zoning Standards

I. Permitted Uses:

- a. Post-surgical Recovery Care Center not to exceed twenty (20) beds, with the length of a patient's stay not exceeding the time period permitted for such facilities by the State of Illinois.
- b. Business, Professional and Medical Offices and Medical and Dental Clinics.

Any laboratory facilities, retail sales and other services shall be limited to those which directly support and are accessory to a permitted use. The hours of operation for any use on the site except the Post-surgery Recovery Care Center shall not commence prior to 6:00 A.M. and shall not extend beyond 9:00 P.M..

II. The following setbacks shall be required for buildings and other structures:

- a. 140 feet from the Randall Road right of way.
- b. 10 feet from the northerly property line.
- c. 0 feet from the southerly property line.
- d. 15 feet from the westerly property line.

III. Miscellaneous:

- a. All refuse and recycling containers shall be screened with a fence or other solid enclosure to a height of six feet.
- b. All lighting fixtures shall be a maximum of 15 feet high and shall be a high cutoff design so as to direct the glare of light downward.
- c. All rooftop equipment shall be screened from adjacent residential areas and streets.
- d. The number of required parking and loading spaces for a Post-surgical Recovery Care Center shall be determined in accordance with the provisions applicable to "hospitals" in Chapter 17.38 "Off-Street Loading and Parking".

EXHIBIT III
Tree Preservation

- a. If a tree identified for preservation on the Preliminary Plan cannot be saved, or if such a tree dies or is otherwise removed within two years of the recording of the final plat for the Subject Realty, OWNERS shall replace it with trees of the same or similar species having a minimum caliper of three inches each, and the aggregate caliper of the replacement trees shall equal or exceed the diameter at breast height of the dead or removed tree. The species and planting location of such replacement trees shall be subject to the approval of the Director of Planning and Development or his designee. For purposes of this Paragraph, "caliper" shall mean the trunk diameter of a nursery stock tree, measured six inches above the proposed planted grade, and "diameter at breast height" shall mean the trunk diameter of a tree on the Subject Realty, measured at four and one half feet above the existing grade.
- b. All individual trees to be preserved shall be tagged by a professional Landscape Architect or Horticulturist before any grading, clearing or construction commences on-site.
- c. Wooded areas and individual trees that are to be preserved are to be protected with fencing. Fencing shall be installed prior to any construction equipment being brought on-site. Fencing shall extend to the dripline of the individual tree or wooded area and shall be a minimum of 24" high so as to be visible to all construction personnel.
- d. Grade changes (unless for purposes of constructing tree wells), utility trenches, and storage of construction equipment shall not be allowed within fenced areas.
- e. All trees to be saved which have been subjected to construction activity within the dripline shall be selectively thinned as directed by a professional arborist. Trees shall not be topped, headed back, skinned (removal of interior branches), or climbed with spikes. All dead wood shall be removed to reduce hazard.
- f. All accidental damage to existing trees intended to be saved shall be promptly treated as required in accordance with recognized horticultural practices and the instructions of a professional arborist.
- g. Broken or badly bruised branches shall be removed with a clean cut.

- h. No equipment, materials, or supplies shall encroach upon the areas designated as tree protection zones (including but not limited to those areas within the dripline of the trees) at any time during construction of the project.
- i. Contractors shall avoid damaging trees and vegetation with material, machinery, equipment and engine exhaust.
- j. Contractors shall avoid damaging trees and vegetation with spills or discharge of fuel, oil, hydraulic fluid, anti-freeze and coolants, calcium chloride, lime and any other substances which can be harmful.
- k. No cutting or trimming of trees is permitted without first obtaining specific written permission from the City.
- l. No fires of any type are permitted on the site at any time.
- m. City or its arborist may make periodic tours of the site in order to determine how best to protect the trees as construction progresses.
- n. City shall have the right to stop construction to enforce compliance with these requirements.

EXHIBIT IV

3. REQUIRED LAND IMPROVEMENTS

OWNERS shall be responsible for and pay for the design, engineering, construction engineering and all other costs for installation of all onsite Land Improvements as required by the provisions of Title 16 of the St. Charles Municipal Code, as amended, and all offsite Land Improvements determined by the City Council to be necessary for the development of the SUBJECT REALTY. All such Land Improvements shall be included in the guarantee for completion required by the provisions of Title 16 of the St. Charles Municipal Code, as amended.

4. OFFSITE EASEMENTS AND EMINENT DOMAIN

OWNERS are responsible for obtaining all offsite easements and rights of possession for all onsite and offsite Land Improvements necessary for the development of the SUBJECT REALTY. In the event OWNERS are unable to obtain such easements or rights of possession, the CITY agrees to exercise its power of eminent domain at the request of OWNERS, to obtain any such title to real estate, easements and rights of possession required by the CITY, or by the OWNERS which are reasonably acceptable to the City Council, for the installation and maintenance of onsite and offsite Land Improvements; provided, however, that the OWNERS shall pay all costs, expenses, judgments, and settlements including reasonable attorneys fees of the CITY arising out of or in connection therewith. Upon CITY's request, a guarantee of payment (in the form of a letter of credit, cash deposit or performance bond as designated by OWNERS) shall be submitted to and approved by the CITY prior to CITY incurring such costs, expenses, judgments, and settlements including reasonable attorneys fees. The form, amount, and provider of such letter of credit or performance bond and amount of such cash deposit shall be subject to review and approval by the City Council. Payment to or for CITY for all such costs, expenses including attorneys fees, judgments and settlements shall be made within 30 days after invoicing or other appropriate demand. Further, in the event payment is not timely made, CITY may discontinue any action on behalf of OWNERS, and may refuse to issue any permits requested by OWNERS.

5. LIMIT ON CITY RESPONSIBILITY FOR UTILITIES

The CITY shall not be held responsible for its inability to install any utility, or for any loss or damage including consequential damage, or delay in installation caused by inability to obtain financing upon such terms as the City Council may determine, strikes, riots, elements, embargoes, failure of carriers, inability to obtain material, or other acts of God, or any other cause beyond CITY's reasonable control, including but not limited to the acquisition of easements, modifications of Facilities Planning Area boundaries, Army Corps of Engineers

permits, and Illinois Environmental Protection Agency permits.

6. REQUIREMENTS OF OTHER JURISDICTIONS

It is agreed that the CITY is not liable or responsible for any restrictions on CITY's obligations under this Agreement that may be required or imposed by any other governmental bodies or agencies having jurisdiction over the SUBJECT REALTY, CITY or OWNERS including but not limited to county, state and federal regulatory bodies.

7. BUILDING CODE

OWNERS shall comply in all respects with the applicable provisions of Title 15 of the St. Charles Municipal Code and other CITY ordinances pertaining to building which are in effect at the time OWNERS make application to the CITY for a building permit or permits in connection with the construction of buildings and structures on the SUBJECT REALTY, whether or not any of such ordinances are amended after the date hereof.

8. MAINTENANCE OF PRIVATE FACILITIES

The OWNERS agree to repair and maintain all private retention and detention basins, storm sewer lines, surface drainage facilities, and any other land improvements, common areas or facilities which are not conveyed to and accepted by CITY. In the event any are conveyed to the CITY, the OWNERS shall pay such Special Service Area tax or other tax or user fee of general applicability for maintenance and operational costs and expenses. In the event of the conveyance or assignment of all or part of the SUBJECT REALTY, the record title holders shall be responsible for such repair and maintenance as contemplated in this paragraph.

9. SPECIAL SERVICE AREAS

OWNERS agree not to object to the formation of and any amendment to one or more Special Service Areas including all or part of the SUBJECT REALTY, for the purpose of maintaining any or all of the following: Storm water detention and retention facilities and drainage ways within easements on or for the SUBJECT REALTY for a perpetual duration with a maximum rate of .03% per year (\$0.03 per \$100.00) of the assessed value, as equalized, of the taxable SUBJECT REALTY, excluding all taxable personal property. The OWNERS agree to cooperate in the formation thereof in such manner as the CITY shall deem reasonably necessary at whatever time the CITY proposes such Special Service Area.

10. REIMBURSEMENT

The OWNERS shall reimburse the CITY for reasonable attorney's fees, engineering and planning consultants, and CITY staff review time incurred by the CITY in connection with the processing and review of matters pertaining to this Annexation Agreement, including the drafting and negotiation hereof. Payment by OWNERS to the CITY shall occur promptly within thirty (30) days after receipt by the OWNERS of invoices for such work.

14. HOLD HARMLESS

In the event a claim is made against the CITY, its officers, other officials, agents and employees or any of them, or if the CITY is made a party-defendant in any proceeding arising out of or in connection with the approval and issuance of a Special Use Permit for a Planned Unit Development for the SUBJECT REALTY, or the development of the SUBJECT REALTY, including matters pertaining to hazardous materials and other environmental matters, the OWNERS shall defend and hold the CITY and such officers, other officials, agents and employees harmless from all claims, liabilities, losses, taxes, judgments, costs and fees, including expenses and reasonable attorney's fees, in connection therewith. The CITY and such officers, other officials, agents and employees shall reasonably cooperate in the defense of such proceedings.

STATE OF ILLINOIS)
) SS.
COUNTIES OF KANE AND DUPAGE)

C E R T I F I C A T E

I, KRISTIE A. DARULA, certify that I am the duly elected and acting municipal clerk of the city of St. Charles, Kane and DuPage Counties, Illinois.

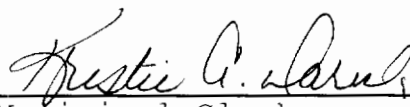
I further certify that on March 4, 1996, the Corporate Authorities of such municipality passed and approved Ordinance No. 1996-M-17, entitled

"AN ORDINANCE GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT FOR THE VALLEY AMBULATORY SURGERY CENTER RECOVERY FACILITY PUD",

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 1996-M-17, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on March 8, 1996, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 8th day of March, 1996.



Municipal Clerk

(S E A L)


City of St. Charles, Illinois

Ordinance No. 1997-M-76

**An Ordinance Amending Ordinance No. 1996-M-17
(Valley Ambulatory - Setback)**

**Adopted by the
City Council
of the
City of St. Charles
June 16, 1997**

**Published in pamphlet form by
authority of the City Council
of the city of St. Charles,
Kane and Du Page Counties,
Illinois, June 20, 1997**



City Clerk

(SEAL)

DATE OF PUBLICATION 6/20/97
NEWSPAPER pamphlet Form

REFER TO:
MINUTES 6/16/97
PAGE _____

ORDINANCE NO. 1997-M-76

**AN ORDINANCE AMENDING ORDINANCE No. 1996-M-17
(Valley Ambulatory— Setback)**

WHEREAS, a petition to amend Ordinance No. 1996-M-17 entitled "AN ORDINANCE GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT FOR THE VALLEY AMBULATORY SURGERY CENTER RECOVERY FACILITY PUD" (hereinafter referred to as the "ORDINANCE"), for the real estate described in Exhibit "I" attached hereto and made a part hereof (hereinafter referred to as "SUBJECT REALTY"), has been filed by Valley Ambulatory Surgery Center, an Illinois Limited Partnership, record owner of the SUBJECT REALTY (hereinafter referred to as "OWNER"); and

WHEREAS, said petition requests an amendment to the ORDINANCE for the purpose of decreasing the setback along the westerly property line of the SUBJECT REALTY; and

WHEREAS, the Plan Commission has held a public hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and has considered same;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. That ORDINANCE be and is hereby amended as follows:

A. Exhibit II to the ORDINANCE shall be deleted in its entirety, and that Exhibit II-A attached hereto shall be substituted therefor.

SECTION 2. That the ORDINANCE as hereby amended shall remain in full force and effect.

SECTION 3. That this Ordinance may be recorded in the office of the Kane County Recorder of Deeds by OWNER or City; the OWNER shall pay the recording fee.

SECTION 4. That this Ordinance shall become effective from and after its passage and approval in accordance with law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of June, 1997.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of June, 1997.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of June, 1997.


MAYOR

ATTEST:


CITY CLERK

Ordinance No. 1997-M-76
Page 3

COUNCIL VOTE:

AYES: 11

NAYS: 0

ABSENT: 1

EXHIBIT I

THAT PART OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHEAST 1/4; THENCE SOUTH ALONG THE EAST LINE OF SAID QUARTER SECTION 943.1 FEET; THENCE WEST ALONG A LINE FORMING AN ANGLE OF 90 DEGREES, 46 MINUTES, 0 SECONDS TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE, 217.8 FEET; THENCE SOUTHERLY ALONG A LINE FORMING AN ANGLE OF 93 DEGREES, 08 MINUTES, 30 SECONDS TO THE LEFT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE, 160.0 FEET; THENCE SOUTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 146.58 FEET AND BEING TANGENT TO THE LAST COURSE AT THE LAST DESCRIBED POINT, 72.48 FEET; THENCE SOUTHEASTERLY ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE AT THE LAST DESCRIBED POINT, 49.0 FEET; THENCE SOUTHWESTERLY ALONG A LINE FORMING AN ANGLE OF 99 DEGREES, 28 MINUTES, 30 SECONDS TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE, 341.54 FEET TO THE EASTERLY LINE EXTENDED SOUTHERLY OF BITTERSWEET MANOR; THENCE SOUTHERLY ALONG SAID EASTERLY LINE EXTENDED SOUTHERLY, 169.0 FEET; THENCE EASTERLY AT RIGHT ANGLES TO THE THE EASTERLY LINE EXTENDED SOUTHERLY OF SAID BITTERSWEET MANOR, 135.29 FEET; THENCE NORTHEASTERLY ALONG A LINE THAT FORMS AN ANGLE OF 10 DEGREES, 25 MINUTES, 0 SECONDS TO THE LEFT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE, 200.0 FEET; THENCE EASTERLY ALONG A LINE THAT FORMS AN ANGLE OF 10 DEGREES, 08 MINUTES, 40 SECONDS TO THE RIGHT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE, 55.24 FEET TO THE WESTERLY RIGHT OF WAY LINE OF RANDALL ROAD AS ESTABLISHED BY DEDICATION RECORDED APRIL 23, 1964 AS DOCUMENT 1021755; THENCE SOUTHERLY ALONG SAID WESTERLY RIGHT OF WAY LINE OF RANDALL ROAD, 420.20 FEET TO AN ANGLE POINT; THENCE CONTINUING SOUTHERLY ALONG SAID WESTERLY RIGHT OF WAY LINE OF RANDALL ROAD, BEING ALONG A LINE THAT FORMS AN ANGLE OF 0 DEGREES, 49 MINUTES, 0 SECONDS TO THE LEFT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE, 138.58 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTHERLY ALONG THE LAST DESCRIBED COURSE, 165.15 FEET TO A LINE DRAWN EASTERLY AT RIGHT ANGLES TO THE EASTERLY LINE OF DAHL'S SUBDIVISION, TOWN OF ST. CHARLES, KANE COUNTY, ILLINOIS FROM A POINT ON SAID EASTERLY LINE WHICH IS 514.15 FEET NORTHERLY OF, AS MEASURED ALONG SAID EASTERLY LINE, THE NORTHERLY LINE OF DEAN STREET; THENCE WESTERLY ALONG SAID LINE THAT FORMS AN ANGLE OF 89 DEGREES, 01 MINUTES, 51 SECONDS MEASURED COUNTERCLOCKWISE FROM THE LAST DESCRIBED COURSE, 345.0 FEET TO A POINT 50.0 FEET EASTERLY OF THE EASTERLY LINE OF SAID DAHL'S SUBDIVISION; THENCE NORTHERLY ALONG A LINE THAT FORMS AN ANGLE OF 89 DEGREES, 56 MINUTES, 41 SECONDS MEASURED COUNTERCLOCKWISE FROM THE LAST DESCRIBED COURSE, 165.13 FEET; THENCE EASTERLY ALONG A LINE THAT FORMS AN ANGLE OF 90 DEGREES, 03 MINUTES, 19 SECONDS MEASURED COUNTERCLOCKWISE FROM THE LAST DESCRIBED COURSE, 341.71 FEET TO THE POINT OF BEGINNING, IN THE TOWNSHIP OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT II-A
Zoning Standards

I. Permitted Uses:

- a. Post-surgical Recovery Care Center not to exceed twenty (20) beds, with the length of a patient's stay not exceeding the time period permitted for such facilities by the State of Illinois.
- b. Business, Professional and Medical Offices and Medical and Dental Clinics.

Any laboratory facilities, retail sales and other services shall be limited to those which directly support and are accessory to a permitted use. The hours of operation for any use on the site except the Post-surgery Recovery Care Center shall not commence prior to 6:00 A.M. and shall not extend beyond 9:00 P.M..

II. The following setbacks shall be required for buildings and other structures:

- a. 140 feet from the Randall Road right of way.
- b. 10 feet from the northerly property line.
- c. 0 feet from the southerly property line.
- d. 7 feet from the westerly property line.

III. Miscellaneous:

- a. All refuse and recycling containers shall be screened with a fence or other solid enclosure to a height of six feet.
- b. All lighting fixtures shall be a maximum of 15 feet high and shall be a high cutoff design so as to direct the glare of light downward.
- c. All rooftop equipment shall be screened from adjacent residential areas and streets.
- d. The number of required parking and loading spaces for a Post-surgical Recovery Care Center shall be determined in accordance with the provisions applicable to "hospitals" in Chapter 17.38 "Off-Street Loading and Parking".

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, KRISTIE A. DARULA, certify that I am the duly elected and acting municipal clerk of the city of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on June 16, 1997, the Corporate Authorities of such municipality passed and approved Ordinance No. 1997-M-76, entitled

"An Ordinance Amending Ordinance No. 1996-M-17
(Valley Ambulatory - Setback)",

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 1997-M-76, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on June 20, 1997, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this _____ day of June, 1997.



Municipal Clerk

(SEAL)



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4b

Title:

Plan Commission recommendation to approve an Amendment to Special Use for PUD to allow an Independent Living Facility and to approve a PUD Preliminary Plan for Anthony Place, Phase 2 (St. Charles Commercial Center PUD)

Presenter:

Rachel Hitzemann

Meeting: Planning & Development Committee

Date: December 14, 2020

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

The subject property is comprised of 4.31-acres and is situated in the St. Charles Commercial Center, North of Bricher Rd, South of IL Rt 38 (Lincoln Hwy.) and East of Randall Rd.

Chealon Shears of GC Housing Development LLC has filed zoning applications to develop a 75-unit affordable senior independent living facility. GC Housing Development LLC developed the similar Anthony Place at Prairie Centre building, which was recently completed. The plan is similar to a Concept Plan reviewed by the City in September of this year.

Proposed is the following:

- 4 story building
- 100% units will be considered affordable
- 82 Total parking spaces provided (70 garage spaces, 12 surface spaces)
- Access from private street with connections to Bricher Rd. and Lincoln Hwy.
- Proposal includes subdividing lot into 3 parcels

The applicant is requesting a Special Use to amend the St. Charles Commercial Center PUD to allow for the use and to deviate from certain bulk standards. The property will remain zoned BR- Regional Business. A PUD Preliminary Plan for the development has been provided which includes building elevations, preliminary engineering, landscape plan, and plat of subdivision.

The applicant is also requesting that the Development Cost Offsets for Affordable Units be applied to the entire project. This is being requested through the PUD and the request is specific to this project. If approved, all fees, including building permit, utility connection, and school and park land-cash contributions, would be waived.

Plan Commission Recommendation

Plan Commission held a public hearing on 11/17/20. The Commission unanimously voted to recommend approval, but did offer the following comments:

- Parking east of the building along the access road: Questioned the need for this parking and expressed concern over vehicles backing out of the angled parking into the road
- Landscaping: Suggestion to remove trees on south side of patio to provide for views and potential to add shade trees for the patio.
- Building: Consider revisions to downplay the size of the roof, incorporate additional brick, add more articulation/windows/colors to the garage door facades.

The applicant submitted updated elevation drawings on 12/11 that have been added to this packet. The drawings address the building concerns the Plan Commission raised about the facade.

Attachments *(please list):*

Plan Commission Resolution, Staff Report, Application, St. Charles Commercial Center PUD Ordinance

Recommendation/Suggested Action *(briefly explain):*

Plan Commission recommendation to approve a an Amendment to Special Use for PUD to allow an Independent Living Facility and to approve the PUD Preliminary Plan for Anthony Place, Phase 2 (St. Charles Commercial Center PUD).

City of St. Charles, Illinois
Plan Commission Resolution No. 20-2020

A Resolution Recommending Approval of a Special Use to amend Ordinance 1982-Z-6 (St. Charles Commercial Center PUD), Special Use for a Independent Living Facility, and PUD Preliminary Plan for Anthony Place Phase 2, Lot 2 of Anthony's Place Phase 2 Subdivision, St. Charles Commercial Center PUD (GC Housing Development LLC)

Passed by Plan Commission on November 17, 2020

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use and PUD Preliminary Plan; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use to amend Ordinance 1982-Z-6 (St. Charles Commercial Center PUD), Special Use for an Independent Living Facility, and PUD Preliminary Plan for Anthony Place Phase 2, Lot 2 of Anthony's Place Phase 2 Subdivision, St. Charles Commercial Center PUD (GC Housing Development LLC); and,

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD (PUD Amendment) to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.**
 1. **To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 2. **To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 3. **To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 4. **To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 5. **To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 6. **To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 7. **To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community**

Anthony Place St. Charles Phase 2 Senior Apartments, an Independent Living Facility as the proposed Special Use, meets #1, #3, #5, #6 in the following manner: Criteria #1 - The proposed project will result in a new, 4- story residential senior community with outdoor parking and green space in which the proposed architectural design will fit into the physical context of adjacent retail uses and the residential uses south of Bricher Road. Criteria #3 - The proposed Special Use project is located in West Neighborhood Center in the West Gateway Subarea identified in the 2013 Comprehensive Plan as ideal for mixed uses. The Special Use project will be an independent senior community in which 100% of the units will be affordable housing supporting the mixed-use initiative the Comprehensive Plan recommends. Criteria #5 - The proposed Special Use project will add new residential units which may result in increased customer activity for surrounding businesses and stimulated economic growth in the surrounding area. The proposed Special Use will utilize existing sewer and water connections that were designed for future development of the Site. Additionally, existing storm water detention volume was also provided for future development of the Site. Criteria# 6 – The proposed project will result in the redevelopment of a vacant lot as infill development, which is an appropriate mixed use to support the adjacent uses.

- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
 - A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

The proposed Special Use will be a 100% affordable development in which seventy-five (75) of the units will be affordable units, exceeding the minimum affordable housing provision requirements outlined in Title 19 – Inclusionary Housing of the Municipal Code. The proposed Special Use will be in conformance with the existing PUD requirements in that it will feature new landscaping and outdoor recreational space for residents that will be superior

to the existing vegetation on site, and will be a new construction residential building of high-quality architectural design which will feature many energy efficiency elements within the design,

WHEREAS, the Plan Commission adopts the following Findings of Fact for Special Use in accordance Section 17.04.330.C of the Zoning Ordinance:

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Anthony Place St. Charles Phase 2 Senior Apartments, an Independent Living Facility. as the proposed Special Use, will be a private, independent living, affordable housing development for seniors. This proposed use will provide interior common and exterior common area for residents but will not serve as a public convenience to the surrounding community. However, the proposed Special Use will allow older residents in the Fox Valley area the opportunity to remain in St. Charles, as a housing option.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The existing road network, utilities (gas, water, electrical, sewer), and stormwater detention facility have been preliminarily assessed to provide adequate capacity and service to the proposed Special Use.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The Independent Living Facility, as the proposed Special Use, aligns with the residential and mixed-use land use policies detailed in the 2013 Comprehensive Plan in that this multi-family housing project will add to residential density in the area that will continue to support the economic base with increased consumer activity. The senior population that will occupy this development will not have impact on surrounding school populations. The senior population will consist of smaller households so increased traffic activity will be nominal and increased usage of physical infrastructure will not overwhelm the current networks in place.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The Independent Living Facility, as the proposed Special Use, will not impede the development and improvement of surrounding uses in the following manner: 1) the allowed road and pedestrian crosswalk ingress/egress points and amount of parking spaces for a development with a senior population will be provided in a manner that will not obstruct or prohibit existing auto traffic volume or circulation activity from the surrounding uses, and 2) the Independent Living Facility will be designed to align with physical infrastructure requirements to prevent existing systems from operating over capacity.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The Independent Living Facility, as a Special Use, will involve the new construction of quality, affordable housing in which the construction approach, building design, and ongoing maintenance will not be an environmental detriment to the surrounding area, particularly in not disrupting or overwhelming the detention pond south of the proposed Special Use project site or impacting retail activity in the adjacent retail shopping area to the west.

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The Independent Living Facility, as the proposed Special Use, conforms with Title 19 - Inclusionary Housing requirements by providing affordable housing in a new residential development. In the case of this proposed project, the 75 affordable units will exceed the eight (8) units that would be required as the minimum amount of affordable units for the total units, 75, that will make up this development.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed Special Use will be beneficial to the City through the addition of new, quality affordable rental housing stock for seniors (age 55 and older) in an area in which additional residential units may boost retail activity and be a catalyst for long term economic growth by attracting other uses that fit into the within the mixed-use framework of the Comprehensive Plan.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed Special Use conforms with the 2013 Comprehensive Plan by the following: 1) instrumental in redeveloping a portion of the St. Charles Mall site (identified in the West Neighborhood Center in the West Gateway Subarea Plan section of the Comprehensive Plan) in a manner that will complement Randall Road and maintains the character of the surrounding neighborhood, 2) potential customer base for adjacent businesses, 3) will not require site assembly or participation from surrounding property owners., 4) new landscaping, attractive

building design and material, and appropriate signage that will enhance the character of the proposed development, and 5) addition of sidewalks and crosswalks in an efficient manner to promote more pedestrian traffic.

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, except as varied per the application for Special Use (PUD Amendment), subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of a Special Use to amend Ordinance 1982-Z-6 (St. Charles Commercial Center PUD), Special Use for an Independent Living Facility, and PUD Preliminary Plan for Anthony Place Phase 2, Lot 2 of Anthony's Place Phase 2 Subdivision, St. Charles Commercial Center PUD (GC Housing Development LLC).

Roll Call Vote:

Ayes: Pretz, Purdy, Kessler, Wallace, Holderfield, Funke, Vargulich, Melton

Nays: None

Abstain: Becker

Absent: None

Motion carried: 8-0

PASSED, this 17th day of November 2020.

Chairman
St. Charles Plan Commission

Community & Economic Development



Staff Report

TO: Chairman Rita Payleitner
And Members of the Planning & Development Committee

FROM: Rachel Hitzemann, Planner

RE: Anthony Place Phase 2- PUD Amendment and PUD Preliminary Plan

DATE: December 11, 2020

I. APPLICATION INFORMATION:

Project Name: Anthony Place Phase 2

Applicant: Chealon Shears, GC Housing Development LLC.

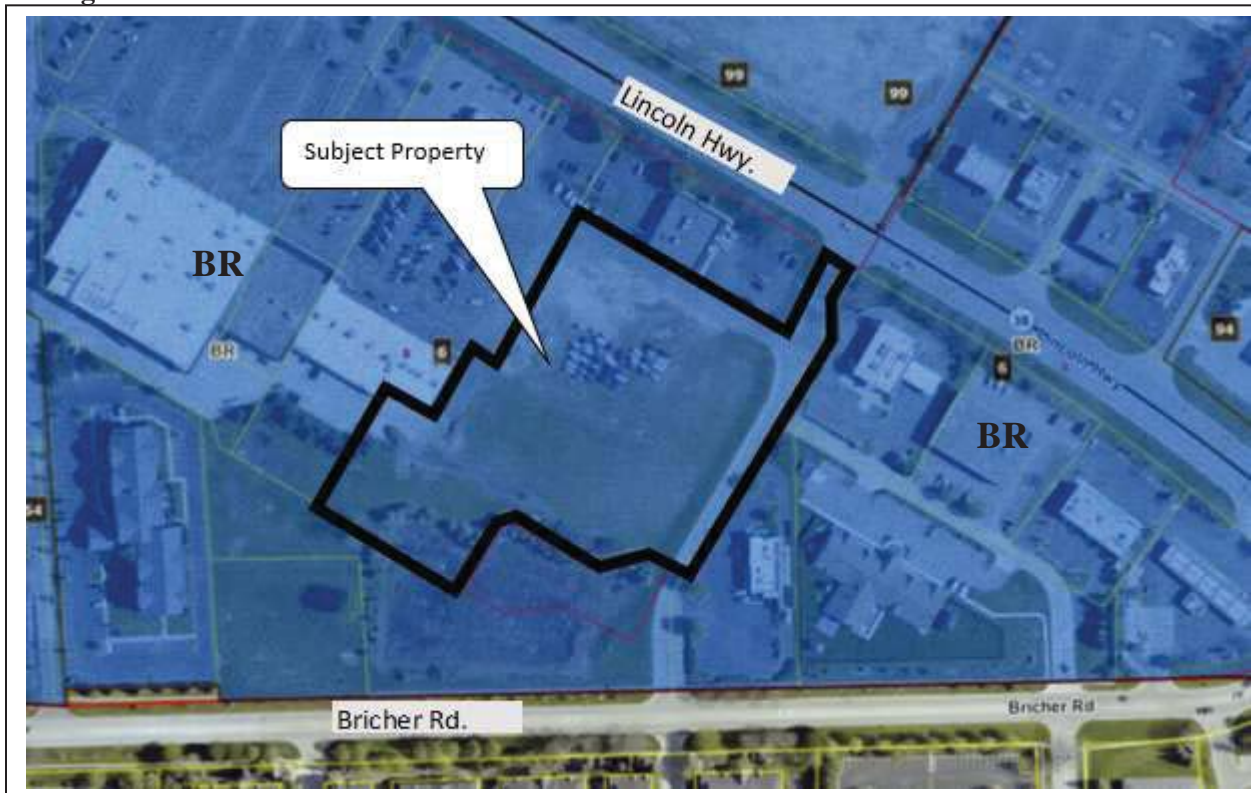
Purpose: Development Approvals for senior multi-family residential building

General Information:		
Site Information		
Location	North of Bricher Rd., South of IL Rt. 38 and East of Randall Rd.(between Taco Bell and commercial strip mall)	
Acres	64,940 sf / 4.31 acres	
Application:	Concept Plan	
Applicable City Code Sections	Ch. 17.14 – Business and Mixed Use Districts Ch. 17.26 – Landscaping & Screening	
Existing Conditions		
Land Use	Vacant/Agriculture	
Zoning	BR- Regional Business and St. Charles Commercial Center	
Zoning Summary		
North	BR- Regional Business and St. Charles Comm. Center	Auto-parts store
East	BR- Regional Business and St. Charles Comm. Center	Fast food, Bank, school
South	BR- Regional Business and St. Charles Comm. Center	Vacant parcel, detention pond
West	BR- Regional Business and St. Charles Comm. Center	Multi-tenant commercial strip mall
Comprehensive Plan Designation		
Corridor/ Regional Commercial		

Aerial



Zoning



II. OVERVIEW

A. BACKGROUND

The 4.31-acre subject property is located between Rt.38 to the North, Bricher Rd. to the South and Randall Rd. to the East. The site is currently a vacant lot located in the St. Charles Commercial Center PUD. The property can be accessed via a private drive with access to Bricher Rd. and Rt. 38. The property is situated between a commercial strip mall and the Taco Bell.

B. CONCEPT PLAN

In September 2020, the Plan Commission reviewed a Concept Plan for a 75-unit affordable senior housing apartment building called Anthony Place Phase 2, submitted by GC Housing LLC. The Plan Commission expressed general support for the proposed multi-family land use, and offered the following feedback:

- Concerns were expressed about the lack of outside parking for visitors.
- Open space such as terraces or patios should be incorporated where possible.
- Provide sidewalks and crosswalks to facilitate pedestrian traffic.
- Provide landscaping on the site where possible.
- Questions about the future use of the remaining vacant parcels and whether they would be compatible with the development.

C. PROPOSAL

Chealon Shears of GC Housing Development LLC has submitted following Zoning Applications for approval of the project:

1. **Special Use for Planned Unit Development** – To amend the current PUD with unique development standards for the property.
2. **PUD Preliminary Plan** – To approve preliminary engineering plans, landscape plan, and preliminary plat of subdivision.

GC Housing Development LLC developed the similar Anthony Place at Prairie Centre building, which was recently completed.

Details of the proposal are as follows:

- Subdivide the current parcel into 3 separate lots
- Permit Independent Living Facilities as a permitted use on Lot 2
- 4 story building with 75 affordable senior residential units on Lot 2
- 82 proposed parking spaces that include 70 garage spaces and 12 surface spaces
- Site access provided by a private drive with access to Bricher Rd. and Rt. 38.
- Cross access to the commercial strip mall will be provided
- Potential for future connection to parcel A to the North and parcel C to the South.
- Applicant has requested that “Development Cost Offsets” under the Inclusionary Housing Ordinance be applied to all units, which would waive all City fees and all school and park land-cash fees.

III. COMPREHENSIVE PLAN

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Corridor/ Regional Business”.

Corridor/Regional Business land use is described as follows:

“Areas designated as corridor/regional commercial are intended to accommodate larger shopping centers and developments that serve a more regional function, drawing on customer base that extends beyond City limits. These areas often have a mix of “big box” stores, national retailers, and a “critical mass” of multiple stores and large shared parking areas. Areas designated for corridor/ regional commercial are located primarily in larger consolidated areas along the City’s heavily traveled corridors and intersections. Commercial service uses can also have an appropriate place in corridor/regional commercial areas, but must be compatible with adjacent and nearby retail and commercial shopping areas and be located as to not occupy prime retail locations.” (pg. 39)

Chapter 4 of the Comprehensive Plan provides the following Residential and Mixed-Use land use policies relevant to the proposed development: (p. 43-44):

***Locate new multi-family residential developments in appropriate locations within the City and consider the implications of concentrating units in one location or area of the City.** In addition to assisting with the community’s goals to provide affordable housing in the community, multi-family housing contributes to residential density which can improve the viability of shopping areas in the community. Recognizing that this Plan is dynamic and not “set in stone”, the City should promote multi-family housing in areas identified in the Land Use and Residential Areas Plans, but consider proposals in other areas provided any significant impact on schools, traffic, and other infrastructure can be mitigated.”*

***Ensure residential areas are adequately screened/ buffered from adjacent non-residential uses and activity.** The composition of the City’s commercial districts along corridors that transect the City means that there are many areas where commercial uses abut residential properties and neighborhoods. The use of horizontal and vertical buffering and screening, including berms, fencing, and landscaping, should be promoted to protect neighborhoods from abutting commercial or industrial land uses. The City should identify areas where land use conflicts are problematic and explore solutions to mitigate the conflicts, including buffering and screening. Additionally, the City’s landscape ordinance could be revised to require enhanced screening and an amortization schedule to ensure compliance for non-conforming properties within a set time frame.*

Potential Mixed Use

The Plan additionally identifies the area bound by Randall Road, Prairie Street, S. 14th St. and Bricher Road as “Potential Mixed Use” This area includes what is now the Prairie Centre development north of Rt. 38 and the St. Charles Commercial Center PUD, where the subject property is located.

Residential Areas Framework Plan (p.45):

Area “G”: These two redevelopment sites [Charlestowne Mall and former St. Charles Mall site, **including the subject property**] have potential to develop with a mix of uses. The City should work with the property owners to explore mixed use development on these sites provided the development can assist in meeting other community objectives.

Mixed Use Outside of Downtown (p.47)

The Land Use Plan identifies both the Charlestowne Mall site in the City’s East Gateway and the Old St. Charles Mall site in the West Gateway as Corridor/Regional Commercial areas. However, both of these sites have potential for Mixed Use development, and similar to Downtown, each could foster a pedestrian-oriented mixed use node, with a mix of retail, restaurant, entertainment, recreation, and residential uses. This dynamic mix of uses in close proximity to major arterial streets has the potential not only to create a vibrant and inviting destination but also serve as a catalyst for needed investment in these important areas of the City. Building orientation in the area should have a strong orientation to major streets and careful consideration should be given to its impact on adjacent residential areas. Additionally, residential uses/ development within these mixed use areas should refer to the Residential Areas Framework Plan for additional considerations and recommendations. In these areas, it is important to maintain a healthy balance of users.

Chapter 8- Sub Area Plans

The Subject Property is located within the West Gateway Subarea. Goals and Objectives (p. 94) are listed below:

Subarea Goals

The West Gateway subarea provides unique opportunities within a specific context of a corridor capable of competing with other commercial areas of the City, including Downtown. These opportunities and goals are not meant to create competition with Downtown; rather, they strive to complement each other. The overall vision for the subarea includes the following elements:

- *An economically competitive corridor that capitalizes on its unique advantages and regional position and complements downtown.*
- *Redevelopment and repositioning to include the next generation of regional development and services.*
- *An attractive environment that is distinguishable from adjacent communities and respectful of surrounding neighborhoods.*
- *A multi-use area that provides a balance in and ease of access between residential, commercial, and retail activities.*

Subarea Objectives

- *Improvement of the appearance of the Randall Road Corridor and the identity of the St. Charles community through installation of streetscaping, wayfinding, and gateway elements.*
- *Enhancement of the character of both existing and new development through on-site landscaping, attractive building design and materials, and more consistent signage regulation.*

- *Improved mobility and access throughout the corridor, including between adjacent development sites or blocks.*
- *Comprehensive bicycle, pedestrian, and transit access through infrastructure and technology improvements.*
- *Preservation of surrounding neighborhoods through the use of screening and buffering from commercial development.*
- **Redevelopment of the St. Charles Mall site with activities and a character that complement Randall Road and maintain an appropriate relationship with adjacent neighborhoods.**
- *Creation of market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.*
- *A transitioning land use pattern that is supportive of Bus Rapid Transit (BRT) along Randall Road.*
- *Achieve balance by promoting connections between the Downtown and the West Gateway area without competing with the Downtown.*

West Gateway Sub Area Plan Catalyst Sites (p.97)

The Subject Property is identified as Catalyst Site “I”.

The Anthony Place Phase 2 Concept Plan site area is shown in the yellow dashed box.

Three different redevelopment alternatives for Sites H, I, and J are shown on p. 98.



- **Site I:** *The Tri-City Center is a neighborhood scaled shopping center with strong orientation to Lincoln Highway and limited visibility from Randall Road. The mall has struggled to stay competitive and is characterized by excessive vacancies. Redevelopment of the site should explore repositioning the site towards Randall Road, which averages 39,000 cars per day (Lincoln Highway averages only 17,000). Redevelopment of the site should also explore improving the site’s visibility and access to Randall Road by acquiring and eliminating some of the existing outlot buildings.*

St. Charles Mall (Site H, I and J) Redevelopment Alternatives (p.98)

Three different redevelopment land use plan alternatives are depicted on this page, along with a list of considerations applying to each alternative. Under the alternatives, a portion of the Anthony Place Phase 2 site is located within a multi-family area.



IV. ANALYSIS

The subject property is zoned BR- Regional Business and is located within the St. Charles Commercial Center PUD, under Ordinance No. 1982-Z-6. The Applicant is proposing to leave the underlying BR zoning and permit the proposed use and the bulk standards via their filed PUD Amendment. This procedure is similar to how the Prairie Center PUD was approved. The amended PUD Ordinance will allow Independent Living Facilities, which are defined as:

“A multiple-family dwelling that is limited to occupancy by persons who are fifty-five (55) years of age or older or, if two (2) persons occupy a unit, at least one (1) shall be fifty-five (55) years or older. Such facilities may include offering congregate meals in a common dining area. This use may include incidental medical services for the convenience of residents, but is distinct from an Assisted Living Facility or Nursing Home, as defined herein”

The applicant is proposing the following bulk standards for the property:

	BR District (Underlying zoning)	RM-3 District (For comparison)	Proposed PUD Preliminary Plan
Min. Lot Area	1 acre	2,200sf	1,467sf
Min. Lot Width	None	65 ft.	150 ft.
Max. Building Coverage	30%	40%	62%
Max. Building Height	40 ft.	45 ft/ 4 stories, whichever is less	60 ft./ 4 stories
Min. Front Yard	20 ft.	30 ft.	40 ft.
Min. Exterior Side Yard	20 ft.	30 ft.	N/A
Min. Interior Side Yard	15 ft.	25 ft.	10 ft.
Min. Rear Yard	30 ft.	30 ft.	10 ft.

A. LANDSCAPING

A landscape plan has been provided for the development. The plan meets all landscape requirements.

Staff Comments:

- Because the Public Utility Easements provide on this site are blanket easements, consider revising the provision to move closely align with the intention of the site use. Example, the provisions state that no trees can be placed in the easement but it is obviously not the intent to prevent tree planting on the site. However, care should be exercised when planting trees and other landscaping on the site to avoid planting directly over or near underground utilities.

B. BUILDING ARCHITECTURE

The applicant has submitted elevation drawings for the building. The proposed elevations meet design review standards.

C. SITE ACCESS/STREET IMPROVEMENTS

Access to the site is provided by a private road with connections to Bricher Rd and Rt. 38. There are additional access points to connect to the Commercial Strip mall to the West. The plan also provides an opportunity to connect to any future development projects to the North and South.

Staff Comments

- The private site road that serves the building meets the 2-way access drive requirements. However, in front of the building, the drive splits into two drives with a landscape island in the middle, with one of the drives potentially serving as a “drop off” area. If the drive furthest from the building is intended to be used as a two-way drive, the plans will need to be revised to have at least a 24ft wide road to meet City Code.

D. PARKING

Independent living facilities require .5 parking spaces per dwelling unit. The proposal includes 75 units. According to the Zoning Code, this development is only required to have 37.5 spaces. The applicant is proposing to include 70 garage parking spaces and 12 surface spaces for a total of 82 parking spaces, which exceeds the Code Requirement.

In comparison, “regular” multi-family developments require more parking spaces per unit, based on the unit size. The Zoning Code requires 1-bedroom dwelling units to provide 1.2 spaces per unit and 2-bedroom dwelling units to provide 1.7 spaces per unit. Under this Code requirement, the development would be required to have 98 off-street parking spaces, based on their proposal to include 57 1-bedroom units and 18 two-bedroom units.

Staff Comments

- It appears there will be conflict with vehicles parked in the handicap stalls and parking stalls in the front the building with the proposed truck turning template. This will impact both fire and PW vehicle access and should be addressed.

E. ENGINEERING

Engineering review comments have been provided to the developer. Comments center around stormwater management and detention areas. All comments will need to be addressed prior to City Council approval of the PUD Preliminary Plan.

F. PLAT OF SUBDIVISION

A Preliminary Plat of Subdivision has been submitted as part of the PUD Preliminary Plan. The plat proposes the following:

- Splits the property into 3 lots.
- Provides 26’ access easement for Lot 2.
- Provides blanket utility easement on Lot 2 wherever the building is not located.

Approval of a Final Plat of Subdivision will be required after PUD Preliminary Plan approval.

Staff Comments:

- All public utilities, including existing utilities, shall be located in a public utility and drainage easement. A blanket easement is provided on Lot 2. Recommend providing a blanket easement across Lots 1 and 3 as well.
- Provide a stormwater detention easement for the existing facility on Lot 1.
- There is a typo in the Access Easement Provisions, “OS” should be “IS” in the first sentence.

- Revise the provisions to allow the City of St. Charles ingress and egress across the entire site, not restricted “to the public right of way”, as there is no publicly dedicated roadway.

G. INCLUSIONARY HOUSING

This development will be comprised of 100% affordable units, so an inclusionary housing fee is not required.

H. SCHOOL AND PARK FEE-IN-LIEU & DEVELOPMENT COST OFFSETS

The Inclusionary Housing Ordinance (Title 19 of the City Code), Section 19.02.090, “Development Cost Offsets”, allows the City to waive City, School and Park fees relative to the ***required*** affordable units constructed within the development. For this development, 8 affordable units are required. However, the applicant has requested the City apply the Development Cost Offsets to the entire project due to the entire development (75 Units) being 100% affordable. This would effectively waive all City permit fees and school and park land cash contribution requirements.

The applicant’s request letter has previously been provided to the School and Park districts.

During the Concept Plan review, the Planning & Development Committee supported applying the Development Cost Offset to the entire project as part of the PUD Amendment.

Fee estimate:

City building permit fees, including utility connection fees (based on Anthony Place at Prairie Centre	\$250,000
School District fee-in-lieu	\$32,923
Park District fee-in-lieu	\$323,852

IV. **PLAN COMMISSION RECCOMENDATION**

Plan Commission held a public hearing on 11/17/20. No members of the public spoke at the hearing.

The Commission voted 9-0 to recommend approval, but had the following comments:

- Parking east of the building along the access road: Questioned the need for this parking and expressed concern over vehicles backing out of the angled parking into the road
- Landscaping: Suggestion to remove trees on south side of patio to provide for views and potential to add shade trees for the patio.
- Building: Consider revisions to downplay the size of the roof, incorporate additional brick, add more articulation/windows/colors to the garage door facades.

VI. ATTACHMENTS

- Applications: Special Use for PUD Amendment; PUD Preliminary Plan; received 9/30/2020
- Preliminary Plat of Subdivision
- Preliminary Engineering Plans
- Landscape Plan
- Building Elevations

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	<u>Anthony Place Phase 2</u>
Project Number:	<u>2020 -PR- 011</u>
Cityview Project Number:	<u>PLSU202000048</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Lot area generally located South of IL Route 38, North of Bricher Road, and West of the Bricher/IL Route 38 Intersection.	
	Parcel Number (s): 09-33-351-025	
	Proposed Name: Anthony Place St. Charles Phase 2 Senior Apartments	
2. Applicant Information:	Name GC Housing Development LLC	Phone (847) 291-3400
	Address 343 Wainwright Drive Suite B Northbrook, IL 60062	Fax (847) 291-1691
		Email cshears@gchdev.com
3. Record Owner Information:	Name The Shodeen Family Property Company, L.L.C.	Phone (630) 444-8252
	Address 77 N. First Street Geneva, IL 60134	Fax (630) 232-4520
		Email dave@shodeen.com

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name:** St. Charles Commercial Corridor PUD
- New PUD
- Amendment to existing PUD- Ordinance #: 1982-Z-6
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** _____
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: Corridor/Regional Commercial

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR - Regional Business and St. Charles Commercial Center

What is the property currently used for? Vacant/Agriculture

If the proposed Special Use is approved, what improvements or construction are planned?

Anthony Place St. Charles Phase 2 Senior Apartments will involve new construction of seventy-five (75) one and two bedroom affordable units for seniors 55 years and older.

For Special Use Amendments only:

Why is the proposed change necessary?

The proposed change will allow for an Independent Living Facility, a multi-family residential use, to be a permitted use within the St. Charles Commercial Corridor PUD.

What are the proposed amendments? (Attach proposed language if necessary)

Maintain the BR zoning designation and amend the PUD to 1) allow Independent Living Facilities as a permitted use, and 2) allow proposed bulk standards to construct the specific proposed project. Please see the attached for the Independent Living Facilities definition.

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

[Handwritten Signature] *9-30-20*

Record Owner _____ Date _____

[Handwritten Signature: Jeffrey D. Crane] *9/30/2020*

Applicant or Authorized Agent Jeffrey D. Crane, Manager Date
GC Housing Development LC

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

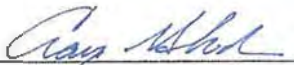
I, Craig A. Shodeen, being first duly sworn on oath depose and say that I am
Manager of The Shodeen Family Property company, L.L.C., an Illinois Limited Liability

Company (L.L.C.), and that the following are all of the members of the said L.L.C.:

Shodeen Real Estate Company, L.L.C. _____

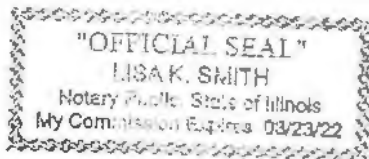
Generation Two, L.L.C. _____

Generation Three, L.L.C. _____

By: , Manager
 Craig A. Shodeen

Subscribed and Sworn before me this 29th day of
July, 20 20.


Notary Public



OWNERSHIP DISCLOSURE FORM LIMITED LIABILITY COMPANY (L.L.C.)

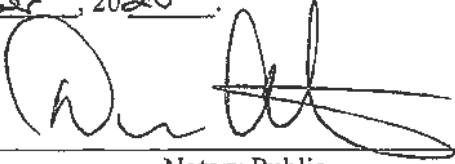
STATE OF ILLINOIS)
) SS.
 KANE COUNTY)

I, Jeffrey D. Crane, being first duly sworn on oath depose and say that I am
 Manager of GC Housing Development LLC, an Illinois Limited Liability
 Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

- | | |
|----------------------|--|
| <u>Crane GC LLC</u> | |
| <u>Grande GC LLC</u> | |
| | |
| | |
| | |
| | |
| | |

By: 
 Jeffrey D. Crane

Subscribed and Sworn before me this 30th day of
September, 2020.


 Notary Public



FINDINGS OF FACT – SPECIAL USE

Use this form for all Special Uses, except for PUDs or PUD Amendments

The St. Charles Zoning Ordinance requires the Plan Commission to consider the factors listed below in making a recommendation to the City Council.



As the applicant, the "burden of proof" is on you to show how your proposed Special Use will comply with each of the applicable standards. Therefore, you need to "make your case" by explaining specifically how your project meets each of the following standards.

Anthony Place St, Charles Phase 2 Senior Apartments

9/30/2020

Project Name or Address

Date

From the Charles Zoning Ordinance, Section 17.04.430.C.2:

No Special Use or amendment to Special Use shall be recommended by the Plan Commission unless it finds that the proposed Special Use or amendment to Special Use will conform with each of these standards. The Plan Commission shall submit its written findings together with its recommendations to the City Council after the conclusion of the Public Hearing, and also may recommend such conditions as it may deem necessary to ensure conformance with these standards.

On the basis of the evidence presented at the public hearing, the Plan Commission shall record its reasons for recommending approval or denial of the petition (findings of fact) in accordance with the following standards:

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Anthony Place St. Charles Phase 2 Senior Apartments, an Independent Living Facility, as the proposed Special Use, will be a private, independent living, affordable housing development for seniors. This proposed use will provide interior common and exterior common area for residents but will not serve as a public convenience to the surrounding community. However, the proposed Special Use will allow older residents in the Fox Valley area the opportunity to remain in St. Charles, as a housing option.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The existing road network, utilities (gas, water, electrical, sewer), and stormwater detention facility have been preliminarily assessed to provide adequate capacity and service to the proposed Special Use.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The Independent Living Facility, as the proposed Special Use, aligns with the residential and mixed-use land use policies detailed in the 2013 Comprehensive Plan in that this multi-family housing project will add to residential density in the area that will continue to support the economic base with increased consumer activity. The senior population that will occupy this development will not have impact on surrounding school populations. The senior population will consist of smaller households so increased traffic activity will be nominal and increased usage of physical infrastructure will not overwhelm the current networks in place.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The Independent Living Facility, as the proposed Special Use, will not impede the development and improvement of surrounding uses in the following manner: 1) the allowed road and pedestrian crosswalk ingress/egress points and amount of parking spaces for a development with a senior population will be provided in a manner that will not obstruct or prohibit existing auto traffic volume or circulation activity from the surrounding uses, and 2) the Independent Living Facility will be designed to align with physical infrastructure requirements to prevent existing systems from operating over capacity.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The Independent Living Facility, as a Special Use, will involve the new construction of quality, affordable housing in which the construction approach, building design, and ongoing maintenance will not be an environmental detriment to the surrounding area, particularly in not disrupting or overwhelming the detention pond south of the proposed Special Use project site or impacting retail activity in the adjacent retail shopping area to the west.

- F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The Independent Living Facility, as the proposed Special Use, conforms with Title 19 - Inclusionary Housing requirements by providing affordable housing in a new residential development. In the case of this proposed project, the 75 affordable units will exceed the eight (8) units that would be required as the minimum amount of affordable units for the total units, 75, that will make up this development.

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)



For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

St. Charles Commercial Corridor PUD 9/30/2020

PUD Name *Date*

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

Anthony Place St. Charles Phase 2 Senior Apartments, a Independent Living Facility as the proposed Special Use, meets #1, #3, #5, #6 in the following manner : Criteria #1 - The proposed project will result in a new, 4-story residential senior community with outdoor parking and green space in which the proposed architectural design will fit into the physical context of adjacent retail uses and the residential uses south of Bricher Road. Criteria #3 - The proposed Special Use project is located in West Neighborhood Center in the West Gateway Subarea identified in the 2013 Comprehensive Plan as ideal for mixed uses. The Special Use project will be an independent senior community in which 100% of the units will be affordable housing supporting the mixed use initiative the Comprehensive Plan recommends. Criteria #5 - The proposed Special Use project will add new residential units which may result in increased customer activity for surrounding

businesses and stimulated economic growth in the surrounding area. The proposed Special Use will utilize existing sewer and water connections that were designed for future development of the Site. Additionally, existing storm water detention volume was also provided for future development of the Site. Criteria # 6 - The proposed project will result in the redevelopment of a vacant lot as infill development, which is an appropriate mixed use to support the adjacent uses.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The proposed Special Use will be a 100% affordable development in which seventy-five (75) of the units will be affordable units, exceeding the minimum affordable housing provision requirements outlined in Title 19 - Inclusionary Housing of the Municipal Code. The proposed Special Use will be in conformance with the existing PUD requirements in that it will feature new landscaping and outdoor recreational space for residents that will be superior to the existing vegetation on site, and will be a new construction residential building of high quality architectural design which will feature many energy efficiency elements within the design,

iii. **The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Anthony Place St. Charles Phase 2 Senior Apartments, an Independent Living Facility, as the proposed Special Use, will be a private, independent living, affordable housing development for seniors. This proposed use will provide interior and exterior common area space for residents but will not serve as a public convenience to the surrounding community. However, the proposed Special Use will allow older residents in the Fox Valley area the opportunity to remain in St. Charles, as an housing option.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The existing road network, utilities (gas, water, electrical, sewer) , and stormwater detention facility have been preliminarily assessed to provide adequate capacity and service to the proposed Special Use.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The Independent Living Facility, as the proposed Special Use, aligns with the residential and mixed-use land use policies detailed in the 2013 Comprehensive Plan in that this multi-family housing project will add to residential density in the area that will continue to support the economic base with increased consumer activity. The senior population that will occupy this development will not have an impact on surrounding school populations. The senior population will consist of smaller household so increased auto traffic activity will be nominal and increased usage of physical infrastructure will not overwhelm the current networks in place.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The Independent Living Facility, as the proposed Special Use, will not impede the development and improvement of surrounding uses in the following manner: 1) the allowed road and pedestrian crosswalk ingress/egress points and amount of parking spaces for a development with a senior population will be provided in a manner that will not obstruct or prohibit existing traffic volume or circulation activity from the surrounding uses, and 2) the Independent Living Facility will be designed to align with physical infrastructure requirements to prevent existing systems from operating over capacity.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The Independent Living Facility, as a Special Use, will involve the new construction of quality, affordable housing in which the construction approach, building design, and ongoing maintenance will not be an environmental detriment to the surrounding area, particularly in not disrupting or overwhelming the detention pond south of the proposed Special Use project site or impacting retail activity in the adjacent retail shopping area to the west.

- F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The Independent Living Facility, as the proposed Special Use, conforms with Title 19 - Inclusionary Housing requirements by providing affordable housing in a new residential development. In the case of this proposed project, the 75 affordable units will exceed the eight (8) units that would be required as the minimum amount of affordable units for the total units, 75, that will make up this development.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The proposed Special Use will be beneficial to the City through the addition of new, quality affordable rental housing stock for seniors (age 55 and older) in an area in which additional residential units may boost retail activity and be a catalyst for long term economic growth by attracting other uses that fit into the within the mixed use framework of the Comprehensive Plan.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed Special Use conforms with the 2013 Comprehensive Plan by the following: 1) instrumental in redeveloping a portion of the St. Charles Mall site (identified in the West Neighborhood Center in the West Gaterway Subarea Plan section of the Comprehensive Plan) in a manner that will complement Randall Road and maintain the character of the surrounding neighborhood, 2) potential customer base for adjacent businesses, 3) will not require site assembly or participation from surrounding property owners, 4) new landscaping, attractive building design and materials, and appropriate signage that will enhance the character of the proposed development, and 5) addition of sidewalks and crosswalks in an efficient manner to promote more pedestrian traffic.

RESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: Anthony Place St. Charles Phase 2 Senior Apartments

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District:	Ordinance #: 1982-Z-6	
Minimum Lot Area			1.55 Acres
Minimum Lot Width			150'
Maximum Building Coverage			68%
Maximum Building Height			4 Stories
Minimum Front Yard			40'
Interior Side Yard			N/A- Comer
Exterior Side Yard			N/A - Corner
Minimum Rear Yard			10'
Landscape Buffer Yards ¹			N/A
% Overall Landscape Area			32%
Building Foundation Landscaping			8'
Public Street Frontage Landscaping			20'
Parking Lot Landscaping			10'
# of Parking Spaces			82 Spaces

¹ Within the RM-3 zoning district, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, or RT District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	<u>Anthony Place Phase 2</u>
Project Number:	<u>2020-PR-011</u>
Cityview Project Number:	<u>PLPUD 2020 00047</u>



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Parcel located in the St. Charles Commercial Center North of Bricher Road, South of IL Rt. 38 and West of Bricher Road/IL Rr. 38 Intersection, St. Charles, Illinois.	
	Parcel Number (s): 09-33-351-025	
	Proposed PUD Name: Anthony Place St. Charles Phase 2 Senior Apartments	
2. Applicant Information:	Name GC Housing Development LLC	Phone (847) 858-0530
	Address 343 Wainwright Drive, Suite B Northbrook, IL 60062	Fax (847) 291-1691
		Email cshears@gchdev.com
3. Record Owner Information:	Name The Shodeen Family Property Company, L.L.C.	Phone (630) 444-8252
	Address 77 N. First Street Geneva, IL 60134	Fax (630) 232-4520
		Email dave@shodeen.com

☒ PUBLIC BENEFITS, DEPARTURES FROM CODE:

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

☒ SCHEDULE: Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

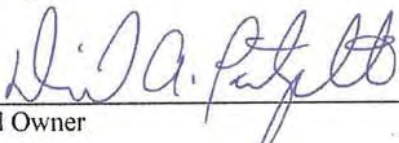
☒ PARK AND SCHOOL LAND/CASH WORKSHEETS

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

☒ INCLUSIONARY HOUSING SUMMARY See the attached Summary.

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

	
_____ Record Owner	_____ Date

	9/30/2020
_____ Applicant or Authorized Agent - Jeffrey D. Crane, Manager GC Housing Development LLC	_____ Date

INCLUSIONARY HOUSING WORKSHEET



Name of Development: Anthony Place St. Charles Phase 2 Senior Apartments
 Date Submitted: 9/30/2020
 Prepared by: Chealon Shears

Use this worksheet to determine the affordable unit requirement for the proposed development and to propose how the development will meet the Inclusionary Housing requirements of Title 19.

Calculate the number of affordable units required:

Unit Count Range	# of Units Proposed in Development		% of Affordable Units Required		# of Affordable Units Required
1 to 15 Units		X	5%	=	
More than 15 Units	75	X	10%	=	8 (Rounded from 7.5)

How will the Inclusionary Housing requirement be met?

- Provide on-site affordable units
- Pay a fee in-lieu of providing affordable units (calculate fee in-lieu below)
- Provide a mixture of affordable units and fee in-lieu
 - o # of affordable units to be provided: _____
 - o Amount of fee in-lieu to be paid (calculate below): _____

Fee In-Lieu Payment Calculation

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
8		X	\$39,665.75	=	\$0.00

EXHIBIT "A"
LEGAL DESCRIPTION

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST EASTERLY CORNER OF ST. CHARLES COMMERCIAL CENTER, UNIT NO. EIGHT, ST. CHARLES, KANE COUNTY, ILLINOIS, BEING ON THE SOUTHWESTERLY LINE OF ILLINOIS STATE ROUTE NO. 38; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE 26.67 FEET; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 50.0 FEET; THENCE SOUTHERLY ALONG A LINE FORMING AN ANGLE OF 156 DEGREES 53 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 54.36 FEET; THENCE SOUTHWESTERLY PARALLEL WITH THE PENULTIMATE DESCRIBED COURSE 21.0 FEET TO THE SOUTHWESTERLY LINE EXTENDED SOUTHEASTERLY OF SAID UNIT NO. EIGHT; THENCE CONTINUING SOUTHWESTERLY ALONG THE PROLONGATION OF THE LAST DESCRIBED COURSE 104.0 FEET TO THE MOST WESTERLY CORNER OF ST. CHARLES COMMERCIAL CENTER, UNIT NO. TEN, ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE SOUTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 205.36 FEET TO THE MOST SOUTHERLY CORNER OF SAID UNIT NO. TEN; THENCE NORTHEASTERLY ALONG A LINE FORMING AN ANGLE OF 90 DEGREES 34 MINUTES 25 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 224.85 FEET TO THE MOST EASTERLY CORNER OF SAID UNIT NO. TEN, BEING ON SAID SOUTHWESTERLY LINE; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE, BEING A CURVE TO THE RIGHT HAVING A RADIUS OF 3123.23 FEET, 335.77 FEET TO THE MOST NORTHERLY CORNER OF ST. CHARLES COMMERCIAL CENTER, UNIT NO. NINE, ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE SOUTHWESTERLY ALONG A NORTHWESTERLY LINE OF SAID UNIT NO. NINE 169.77 FEET TO AN ANGLE IN THE WEST LINE OF SAID UNIT NO. NINE; THENCE SOUTHERLY ALONG SAID WEST LINE FORMING AN ANGLE OF 141 DEGREES 42 MINUTES 17 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 141.50 FEET TO THE SOUTH LINE OF SAID QUARTER; THENCE WESTERLY ALONG SAID SOUTH LINE AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 1522.34 FEET TO THE EASTERLY LINE OF BRICHER ADDITION TO ST. CHARLES, TOWNSHIP, KANE COUNTY, ILLINOIS; THENCE NORTHERLY ALONG SAID EASTERLY LINE FORMING AN ANGLE OF 89 DEGREES 24 MINUTES 28 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED COUNTER-CLOCKWISE THEREFROM) 566.32 FEET TO A SOUTHWESTERLY CORNER OF ST. CHARLES COMMERCIAL CENTER, UNIT NO. TWO, ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE SOUTHEASTERLY ALONG A SOUTHWESTERLY LINE OF SAID UNIT NO. TWO FORMING AN ANGLE OF 58 DEGREES 58 MINUTES 27 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED COUNTER-CLOCKWISE THEREFROM) 330.0 FEET TO AN ANGLE IN SAID SOUTHWESTERLY LINE; THENCE SOUTHERLY ALONG A WESTERLY LINE OF SAID UNIT NO. TWO FORMING AN ANGLE OF 135 DEGREES 00 MINUTES WITH THE LAST DESCRIBED COURSE (MEASURED COUNTER-CLOCKWISE THEREFROM) 39.60 FEET TO AN ANGLE IN SAID WESTERLY LINE; THENCE SOUTHEASTERLY ALONG A SOUTHWESTERLY LINE OF SAID UNIT NO. TWO FORMING AN ANGLE OF 135 DEGREES 00 MINUTES WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 152.96 FEET TO THE MOST SOUTHERLY CORNER OF LOT 3 IN SAID UNIT NO. TWO; THENCE NORTHEASTERLY ALONG A SOUTHEASTERLY LINE OF SAID LOT 189.50 FEET TO AN ANGLE IN SAID SOUTHEASTERLY LINE; THENCE SOUTHEASTERLY ALONG A SOUTHWESTERLY LINE OF SAID LOT AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 74.50 FEET TO AN ANGLE IN SAID SOUTHWESTERLY LINE; THENCE NORTHEASTERLY ALONG A SOUTHEASTERLY LINE OF SAID LOT AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 105.50 FEET TO AN ANGLE IN SAID SOUTHEASTERLY LINE; THENCE SOUTHEASTERLY ALONG A SOUTHWESTERLY LINE OF SAID LOT AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 32.54 FEET TO AN ANGLE IN SAID SOUTHWESTERLY LINE; THENCE NORTHEASTERLY ALONG A SOUTHEASTERLY LINE OF SAID LOT AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 235.0 FEET TO THE MOST WESTERLY CORNER OF SAID UNIT NO. EIGHT; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID UNIT NO. EIGHT TO MOST EASTERLY CORNER OF SAID UNIT NO. EIGHT; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SAID UNIT NO. EIGHT TO THE POINT OF BEGINNING (EXCEPT PART IN ST. CHARLES COMMERCIAL CENTER UNITS 12, 13, 14 AND 15 AND EXCEPT PART IN RANDALL ROAD COMMERCIAL PROPERTIES PHASE V AND PHASE II AND EXCEPT PART IN LEFFLER'S FOLLY SUBDIVISION AND EXCEPT PART IN GIBSON'S CAR WASH SUBDIVISION AND EXCEPT PART IN TRUST T-303 TRACT DESCRIBED IN DOCUMENT 1483858) ALL IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

Inclusionary Housing Requirements

Title 19 – Inclusionary Housing Ordinance Compliance

Anthony Place St. Charles Phase 2 Senior Apartments will be a Seventy-Five (75) unit affordable, independent senior residential community. This proposed project complies with Title 19 – Inclusionary Housing Ordinance by including 100% affordable rental units in which the rents for a majority of the units will be at or below 60% of the Area Median Income, adjusted for household size, aligning with the current Qualified Allocation Plan guidelines issued by the Illinois Housing Development Authority. Providing 75 affordable units exceeds the eight (8) Inclusionary Housing Plan calculation listed in this application.

Anthony Place St. Charles Phase 2 Senior Apartments will consist of approximately Seventy-Five (75) affordable independent senior rental units, in which the proposed unit mix will include approximately Fifty-Seven (57) One Bedroom Units and Eighteen (18) Two Bedroom Units. The proposed rents, based on current available data from 2020 Low Income Housing Tax Credit Rent Limits, will be approximately \$850 for a one bedroom unit and \$1,010 for a two bedroom unit. (NOTE: These rents are preliminary estimates and are subject to change upon ongoing project underwriting to ensure the proposed project will be financial feasible to develop and operate.)

Public Benefits, Departures From Code

The St. Charles Commercial Corridor Planned Unit Development (PUD) meets the purposes and requirements stated in the Section 17.04.400 in the City of St. Charles Zoning Ordinance. The existing PUD allows for a variety of permitted uses, and also allows for a public benefit beyond current requirements to provide affordable housing units, in conformance with St. Charles Municipal Code Title 19 - Inclusionary Housing requirements, in an amount that exceeds requirements. In this instance, the proposed project, Anthony Place St. Charles Phase 2 Senior Apartments, will a 100% affordable senior community of seventy-five (75) affordable units, exceeding the eight (8) Inclusionary Housing Plan calculation listed in this application.

For the purposes of this application, the City of St. Charles Staff has recommended that underlying BR zoning classification be maintained and that a PUD amendment allow for 1) permitted bulk design standards to accommodate this proposed affordable housing development, and 2) allow Independent Living Facilities as a Special Use which is defined as

" A multiple-family dwelling that is limited to occupancy by persons who are fifty-five (55) years of age and older or, if two (2) persons occupy unit, at least one (1) shall be fifty-five (55) years or older. Such facilities may include offering congregate meals in a common dining area. This use may include incidental medical services for the convenience of residents, but is distinct from an Assisted Living Facility or Nursing Home, as defined herein".

This Special Use will be in conformance with Section 17.04.400 by providing new construction development of high quality design that will include energy efficiency features in the building and site design, featuring landscaping that will be superior to the existing surrounding landscaping and foliage in adjacent uses, and will provide new sidewalks and crosswalks that will support safer pedestrian traffic, particularly to the adjacent retail uses west of the proposed Special Use project site.

Schedule

A. Project Phases

Anthony Place St. Charles Phase 2 Senior Apartments will consist of only phase of development and construction.

B. Beginning and Completion Dates

The proposed construction schedule is as follows:

Proposed Construction Schedule

The projected construction schedule for this development is as follows:

Issuance of Building Permit	Early May 2022
Project Financial Closing	May 2022
Construction Start	May 2022
Issuance of Temporary Certificate of Occupancy	Late May 2023
Issuance of Final Certificate of Occupancy	June 2023

C. Different Land Use Types

There will be only be one land us type involved in this proposed project – Independent Living Facility as permitted Special Use through a PUD amendment. The proposed schedule detailed above will apply to this use.

Exhibit A - LEGAL DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST EASTERLY CORNER OF LOT 3, ST. CHARLES COMMERCIAL CENTER, UNIT NO. TWO, ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF ILLINOIS STATE ROUTE NO. 38, 325.46 FEET; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 121.00 FEET FOR A POINT OF BEGINNING; THENCE NORTHEASTERLY ALONG THE LAST DESCRIBED COURSE 121.00 FEET TO SAID SOUTHWESTERLY LINE; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE 26.67 FEET; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 50.00 FEET; THENCE SOUTHERLY ALONG A LINE FORMING AN ANGLE OF 156 DEGREES 53 MINUTES 54 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 54.36 FEET; THENCE SOUTHWESTERLY PARALLEL WITH THE PENULTIMATE DESCRIBED COURSE 369.00 FEET; THENCE NORTHWESTERLY PARALLEL WITH SAID SOUTHWESTERLY LINE 63.00 FEET; THENCE SOUTHWESTERLY ALONG A LINE FORMING AN ANGLE OF 135 DEGREES 00 MINUTES 00 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 73.54' THENCE NORTHWESTERLY PARALLEL WITH SAID SOUTHWESTERLY LINE 129.00 FEET; THENCE SOUTHWESTERLY ALONG A LINE FORMING AN ANGLE OF 135 DEGREES 00 MINUTES 00 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED CLOCKWISE THEREFROM) 22.63 FEET; THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE PENULTIMATE DESCRIBED COURSE 114.00 FEET TO A LINE DRAWN PARALLEL WITH SAID SOUTHWESTERLY LINE FROM THE MOST SOUTHERLY CORNER OF SAID LOT 3; THENCE NORTHWESTERLY PARALLEL WITH SAID SOUTHWESTERLY LINE 220.50 FEET TO SAID MOST SOUTHERLY CORNER; THENCE NORTHEASTERLY ALONG A SOUTHEASTERLY LINE OF SAID LOT 189.50 FEET TO AN ANGLE IN SAID SOUTHEASTERLY LINE; THENCE SOUTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE ALONG A SOUTHWESTERLY LINE OF SAID LOT 74.50 FEET TO AN ANGLE IN SAID SOUTHWESTERLY LINE; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE ALONG A SOUTHEASTERLY LINE OF SAID LOT 105.50 FEET TO AN ANGLE IN SAID SOUTHEASTERLY LINE; THENCE SOUTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE ALONG A SOUTHWESTERLY LINE OF SAID LOT 32.54 FEET TO AN ANGLE IN SAID SOUTHWESTERLY LINE; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE ALONG A SOUTHEASTERLY LINE OF SAID LOT 235.00 FEET TO A LINE DRAWN PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID STATE ROUTE FROM THE POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG SAID PARALLEL LINE 325.46 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



November 23, 2020

Ms. Rachel Hitzemann
Planner
City of St. Charles
2 East Main Street
St. Charles, IL 60174

**RE: RESPONSE LETTER #1 – PUD PRELIMINARY REVIEW FOR ANTHONY PLACE PHASE 2
ST. CHARLES, IL**

Dear Ms. Hitzemann,

Please find listed below responses to your review comments dated November 9, 2020 as part of our PUD Preliminary Plan / Plat of Subdivision submittal.

Planning:

1. The plans show a 16' wide drive in front of the entrance and then a landscape island and another 16' wide drive. Are these intended to be used as one-way drive aisles? Or is the one in front of the building a drop off? If it is a drop off, the 16' drive on the other side of landscape island will need to be at least 24' to meet the 2-way aisle Code Requirement.
Response: Two-way drive aisle revised to 25' B-B'; one-way drive aisle at drop-off revised to 10'.
2. Signs:
If a development sign is planned, show the location on the site plan and provide a sign rendering.
Please provide any wall sign plans
Response: The Site Plan has been updated to include a Monument Wall located at the entrance off of the Private Drive (Vanderbilt). The wall measurements are approximately 7'long x 2'wide x 7'high. An image from a similar project is included on the Site Plan for reference.

Development Engineering:

Comments to be addressed prior to Preliminary approval:

- a) Provide sheets C3 and C4 printed with a legible existing conditions background.
Response: The existing lineweights have been darkened for clarity.
- b) The lowest opening of the building shall provide two (2) freeboard above the High Water Level of the adjacent detention facility. Update the Grading Plan accordingly.
Response: The FF has been raised to 789.6 representing two feet of freeboard from the HWL of 787.6. Preliminary grades along the parking lot have been revised accordingly.

4320 WINFIELD ROAD, SUITE 200
WARRENVILLE, IL 60555



- c) The existing detention facility requires maintenance. A separate letter will be sent to the property owner.

Response: Acknowledged

- d) All public utilities, including existing utilities, shall be located in a public utility and drainage easement. A blanket easement is provided on Lot 2. Recommend providing a blanket easement across Lots 1 and 3 as well.

Response: The Plat has been revised to include a Blanket Easement on Lots 1 and 3.

- e) Provide a stormwater detention easement for the existing facility on Lot 1.

Response: The Plat has been revised to include a Detention Easement on Lot 1

Comments provided to applicant for final engineering submittal:

Response: Acknowledged

- a) Additional review will be needed with final engineering submittal.
- b) An IEPA sanitary sewer permit is required for project generating greater than 15 PE.
- c) A stormwater permit application and stormwater submittal, including narrative and calculations, shall be submitted with the building permit application.
- d) The Land Use Opinion identifies the potential for wetlands. The applicant shall provide a professional opinion as to the presence of wetlands. This will be needed with the Stormwater Permit application at the time of building permit submittal
- e) Provide storm sewer sizing calculations.
- f) The lowest opening of the building shall provide 0.5-foot freeboard above the High Water Level for an overland flow path with less than 20 acres of tributary area. Provide overland flow arrows and HWL elevations at critical locations.
- g) Provide a tributary area exhibit and narrative to document overland flows are tributary to the detention facility.
- h) Provide a routing exhibit to document the storm sewer is tributary to the detention facility.

Public Works:

1. Preliminary Plat of Subdivision:
 - Because the Public Utility Easements provide on this site are blanket easements consider revising the provision to move closely align with the intention of the site use. Example, the provisions state that no trees can be placed in the easement but it is obviously not the intent to prevent tree planting on the site. However, care should be exercised when planting trees and other landscaping on the site to avoid planting directly over or near underground utilities.
Response: The Provision has been revised to align with the intent of the proposed site uses.
 - There is a typo in the Access Easement Provisions, "OS" should be "IS" in the first sentence. Also it should be considered to revise the provisions to allow the City of St. Charles ingress and egress across the entire site and not restricted "to the public right of way" as there is no publicly dedicated roadway".
Response: Addressed



2. It appears there will be conflict with vehicles parked in the handicap stalls and parking stalls in the front the building with the proposed truck turning template. This will impact both fire and PW vehicle access and should be addressed.

Response: The Fire Truck Turning Exhibit within the Preliminary Engineering Plans has been updated with the current Site Plan and there are no conflicts with the parking spaces or curb encroachments.


3. Sanitary connection requires an 8' drop at the public manhole. Revise the sanitary service cleanout to be a drop manhole, allowing the service to enter the public manhole without constructing a drop on the public structure.

Response: The Cleanout has been revised to a Drop Manhole; the Drop at the public structure has been removed.

Fire Department:

No Comments.

Very truly yours,
ESM CIVIL SOLUTIONS, LLC


Eric S. Mancke, F.E.
Principal

ESM/em

Cc: Dave Patzelt – Shodeen, Inc.
Eric Maring – HDJ Architects





7 TYP SIDE ELEVATION
PR-3.2 1/16" = 1'-0"



3 EAST ELEVATION
PR-3.2 1/16" = 1'-0"



6 SOUTHWEST ELEVATION
PR-3.2 1/16" = 1'-0"



4 SOUTH ELEVATION
PR-3.2 1/16" = 1'-0"



5 WEST ELEVATION
PR-3.2 1/16" = 1'-0"



2 NORTHWEST ELEVATION
PR-3.2 1/16" = 1'-0"



1 NORTH ELEVATION
PR-3.2 1/16" = 1'-0"

BUILDING MATRIX

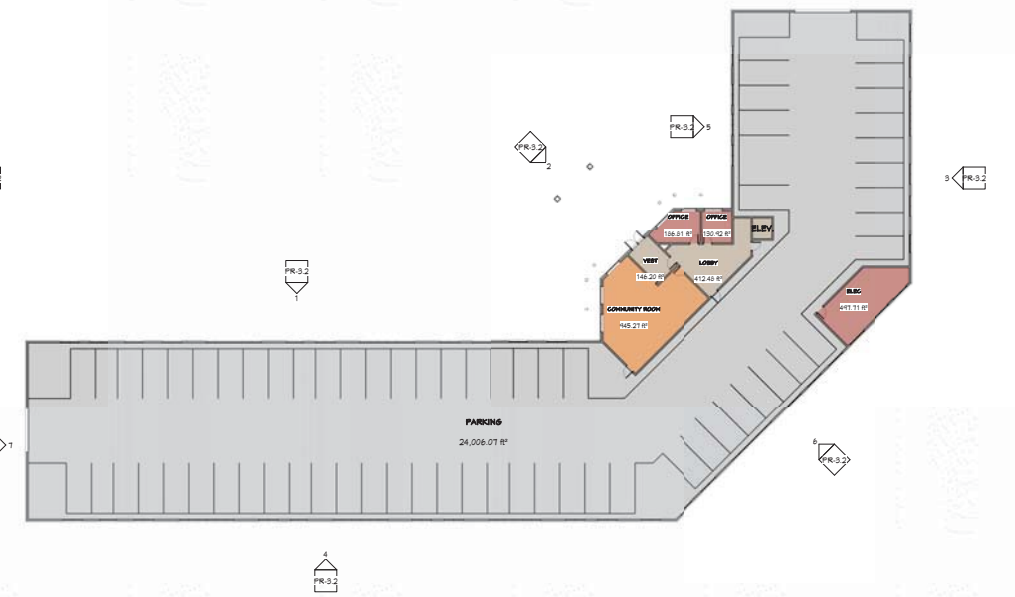
	GROSS AREA:	ONE BR	TWO BR	TWO BR
FIRST FLOOR:	27,525 SF	0	0	0
SECOND FLOOR:	24,619 SF	19	6	25
THIRD FLOOR:	24,619 SF	19	6	25
FOURTH FLOOR:	24,619 SF	19	6	25
TOTAL:	101,382 SF	57	18	75

ONE BEDROOM UNIT:
 NET AREA: 712 SF
 GROSS AREA: 764 SF
 BEDROOM SIZE: 12'-6" x 12'-6"

TWO BEDROOM UNIT:
 NET AREA: 927 SF
 GROSS AREA: 1,042 SF
 BEDROOM 1 SIZE: 10'-2" x 13'-2"
 BEDROOM 2 SIZE: 11'-6" x 13'-2"



1 SECOND FLOOR PLAN (THIRD & FOURTH SIM.)
 PR-2.1 3/8" = 1'-0"



3 FIRST FLOOR PLAN
 PR-2.1 3/8" = 1'-0"

PRELIMINARY IMPROVEMENT PLANS for ANTHONY PLACE PHASE 2 ST. CHARLES, IL

INDEX OF SHEETS

- C1 COVER SHEET & DRAWING INDEX
- C2 EXISTING CONDITIONS PLAN
- C3 PRELIMINARY SITE PLAN
- C4 PRELIMINARY ENGINEERING PLAN
- L1 LANDSCAPING PLAN
- L2 LANDSCAPING DETAILS
- T1 FIRE TRUCK TURNING RADIUS EXHIBIT

PROJECT LOCATION



LEGEND

- FOUND 7/8" O.D.I.P. (HOLE) (OTHERWISE NOTED (HOLE LOCATION) (CONTROL POINT))
- CONCRETE MONUMENT
- ◆ CROSS IN CONCRETE
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- DOWN SPOUT CONNECTION
- CLEANOUT
- SANITARY SEWER MANHOLE
- VALVE IN WALL
- FIRE HYDRANT
- FLARED END SECTION
- UTILITY POLE
- GUY POLE
- OVERHEAD TRAFFIC SIGNAL
- TRAFFIC SIGNAL MANHOLE
- OVERHEAD WIRE
- GAS METER
- ELECTRIC METER
- TRANSFORMER PAD
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- TELEPHONE MANHOLE
- CABLE TELEVISION PEDESTAL
- ELECTRIC MANHOLE
- VALVE BOX
- FIBER
- SON
- SOLLARD POLE
- LIGHT POLE
- HAND HOLE
- MAILBOX
- GAS MARKER
- ELECTRIC MARKER

ABBREVIATIONS

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- FT = TOP OF FOUNDATION
- FF = FINISHED FLOOR
- FEES = FINISHED FLOOR SECTION
- VCP = VITRIFIED CLAY PIPE
- SP = SCHEDULE 40 PIPE
- RCD = REINFORCED CONCRETE PIPE
- CSF = CORRUGATED METAL PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (E) = DEEP BEARING OR DISTANCE
- A = ARC LENGTH
- R = RADIUS
- OS = CHORD BEARING
- BSLL = BELONGING SETBACK LINE
- UL = UTILITY EASEMENT
- DE = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
- BC = BACK OF CURB
- RC = BACK OF SUPPRESSED
- UTL = UTILITY LINE
- C = CONCRETE
- F = FINISHMENT
- G = GRAVEL
- EW = EDGE OF WALK
- TP = TOP OF PAVEMENT
- TI = TOP OF PIPE
- EL = ELEVATION
- PL = PROPERTY LINE
- DS = DOWN SPOUT
- S.F. = SQUARE FEET

LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND PARCEL LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE
- 100' RADIUS FROM HYDRANT

PREPARED FOR:
ANTHONY PLACE, ST. CHARLES, LP
343 WAINWRIGHT DRIVE
NORTHBROOK, IL 60062



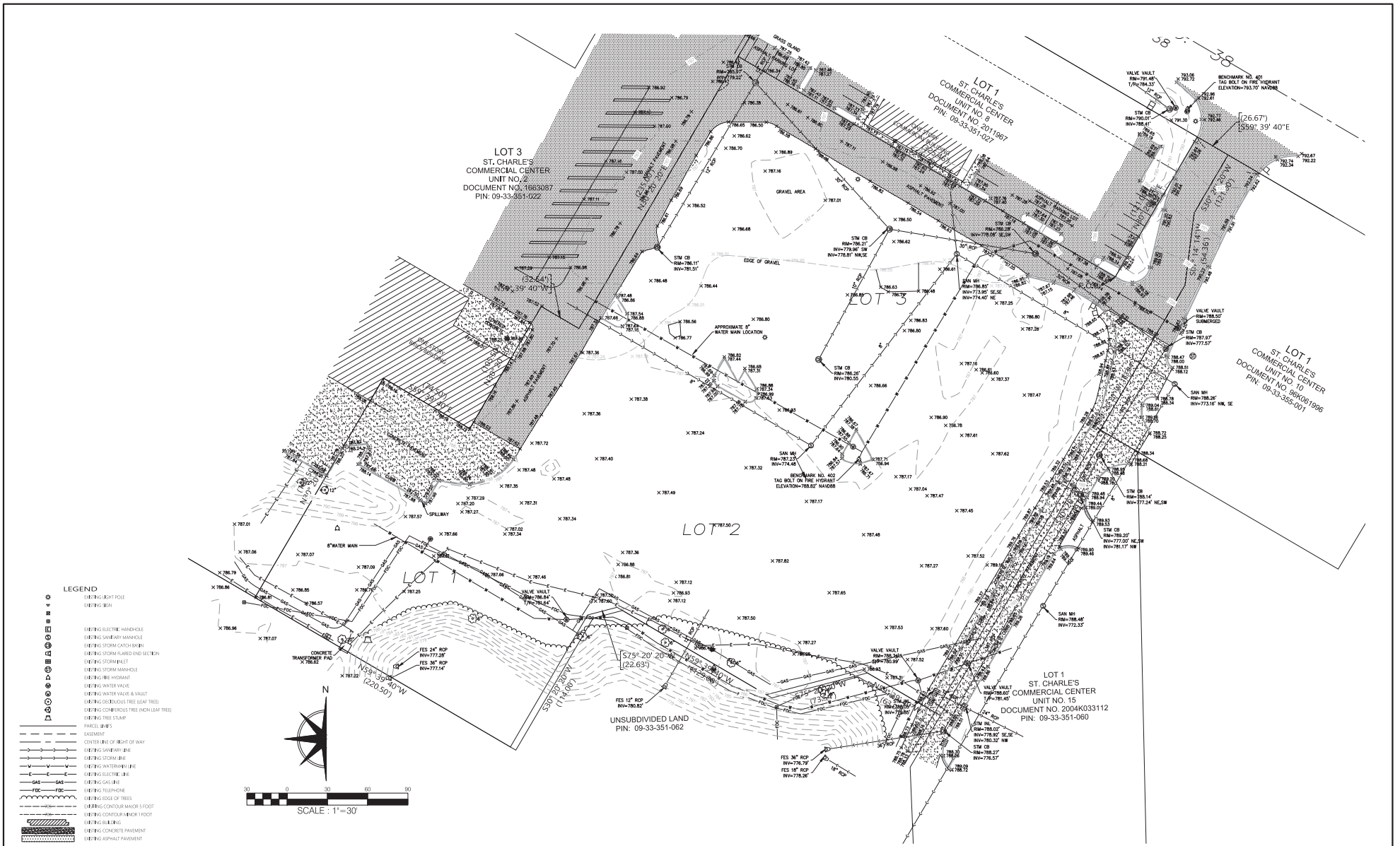
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
4320 Winfield Drive - Suite 200 Warrenville Illinois 60555
o: 630-300-0933 c: 630-624-0520

NO.	DATE	DESCRIPTION	REVISIONS	
			NO.	DATE
1	11-23-20	REVISED PER CITY REVIEW DATED 11-9-2020		

COVER SHEET & DRAWING INDEX

ANTHONY PLACE PHASE 2

FILE NAME: COVER	DSGN. BY: ESM	JOB NO:	FLD. BK:	SHEET NO.
DISC NUM:	DRN BY: TWA	DATE: 09-22-20	SCALE: NTS	C1 of C4



LEGEND

- ⊕ EXISTING LIGHT POLE
- ⊖ EXISTING SIGN
- ⊙ EXISTING ELECTRIC HANDHOLE
- ⊙ EXISTING GARBAGE HANDHOLE
- ⊙ EXISTING STORM CATCH BASIN
- ⊙ EXISTING STORM FLARED END SECTION
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER VALVE & VALVE
- ⊙ EXISTING OCEANICUS TREE (SLAF TREE)
- ⊙ EXISTING COPERBUS TREE (MACHLEAF TREE)
- ⊙ EXISTING TREE STUMP
- EASEMENT
- CENTER LINE OF RIGHT OF WAY
- EXISTING GARBAGE LINE
- EXISTING STORM LINE
- EXISTING WATER MAIN LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE
- EXISTING EOOD OF TREE
- EXISTING CONTOUR MAJOR 1:FOOT
- EXISTING CONTOUR MINOR 1:FOOT
- EXISTING BUILDING
- EXISTING CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT



PREPARED FOR:
ANTHONY PLACE, ST. CHARLES, LP
 343 WAINWRIGHT DRIVE
 NORTHBROOK, IL 60062



PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering - Land Entitlement - Project Feasibility
 4320 Winfield Drive - Suite 200 Warrenville, Illinois 60555
 o: 630-300-0933 c: 630-624-0520

NO.	DATE	DESCRIPTION	REVISIONS	
			NO.	DATE

EXISTING CONDITIONS PLAN
ANTHONY PLACE PHASE 2

FILE NAME: PRELIM	DSGN. BY: ESM	JOB NO.:	FLD. BK.:	SHEET NO.:
DISC NUM.	DRN BY: TWA	DATE: 09-22-20	SCALE: 1"=30'	C2 of C4

PARKING TABLE	
INSIDE PARKING	87 SPACES
OUTSIDE PARKING	25 SPACES
TOTAL	92 SPACES

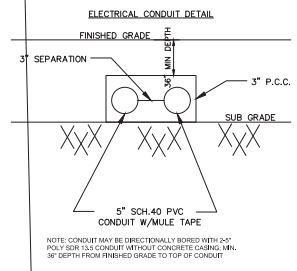
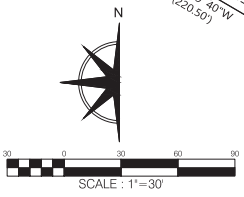
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ST. CHARLE'S
COMMERCIAL CENTER
UNIT NO. 2
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LOT 1
ST. CHARLE'S
COMMERCIAL CENTER
UNIT NO. 8
DOCUMENT NO. 2011867
PIN: 09-33-351-027

LOT 1
ST. CHARLE'S
COMMERCIAL CENTER
UNIT NO. 10
DOCUMENT NO. 360X081985
PIN: 09-33-353-001

LOT 1
ST. CHARLE'S
COMMERCIAL CENTER
UNIT NO. 15
DOCUMENT NO. 2004K033112
PIN: 09-33-351-060

UNSUBDIVIDED LAND
PIN: 09-33-351-062



NOTE: CONDUIT MAY BE DIRECTIONALLY BORED WITH 2\"/>

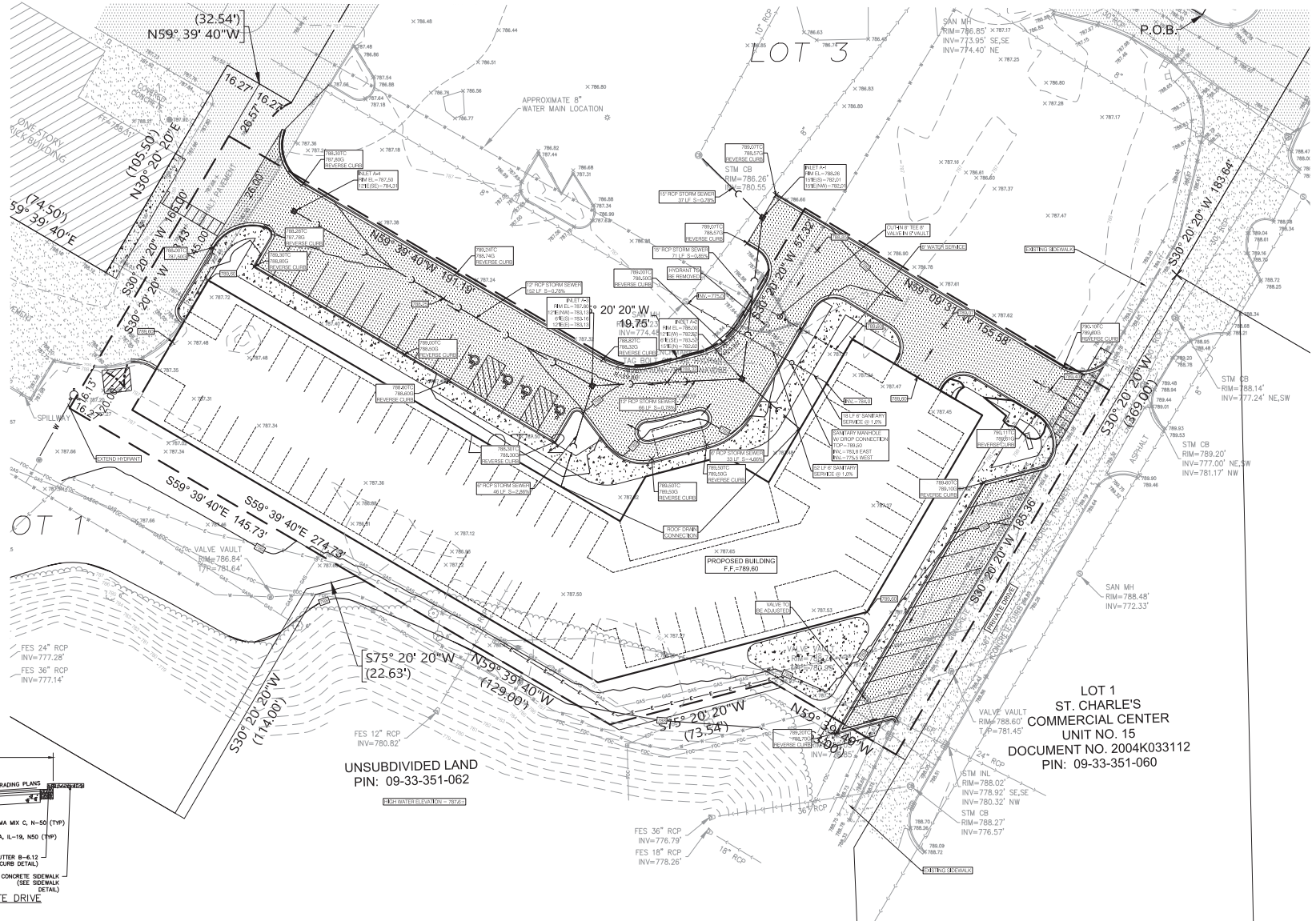
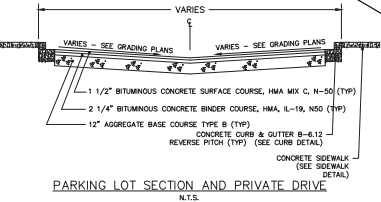
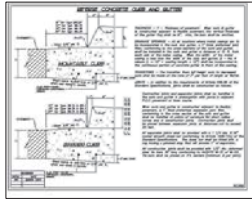
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o: 630-300-0933 c: 630-624-0520

NO.		DATE	DESCRIPTION	REVISIONS	
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

PRELIMINARY SITE PLAN
ANTHONY PLACE PHASE 2

FILE NAME: PRELIM	DSGN BY: ESM	JOB NO:	FLD. BK:	SHEET NO.
DISC NUM:	DRN BY: TWA	DATE: 09-22-20	SCALE: 1"=30'	C3 of C4



LOT 1
ST. CHARLES
COMMERCIAL CENTER
UNIT NO. 15
DOCUMENT NO. 2004K033112
PIN: 09-33-351-060

PREPARED FOR:
ANTHONY PLACE, ST. CHARLES, LP
343 WAINWRIGHT DRIVE
NORTHBROOK, IL 60062

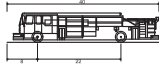


PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
4320 Winfield Drive - Suite 200 Warrenville, Illinois 60555
o: 630-300-0933 c: 630-624-0520

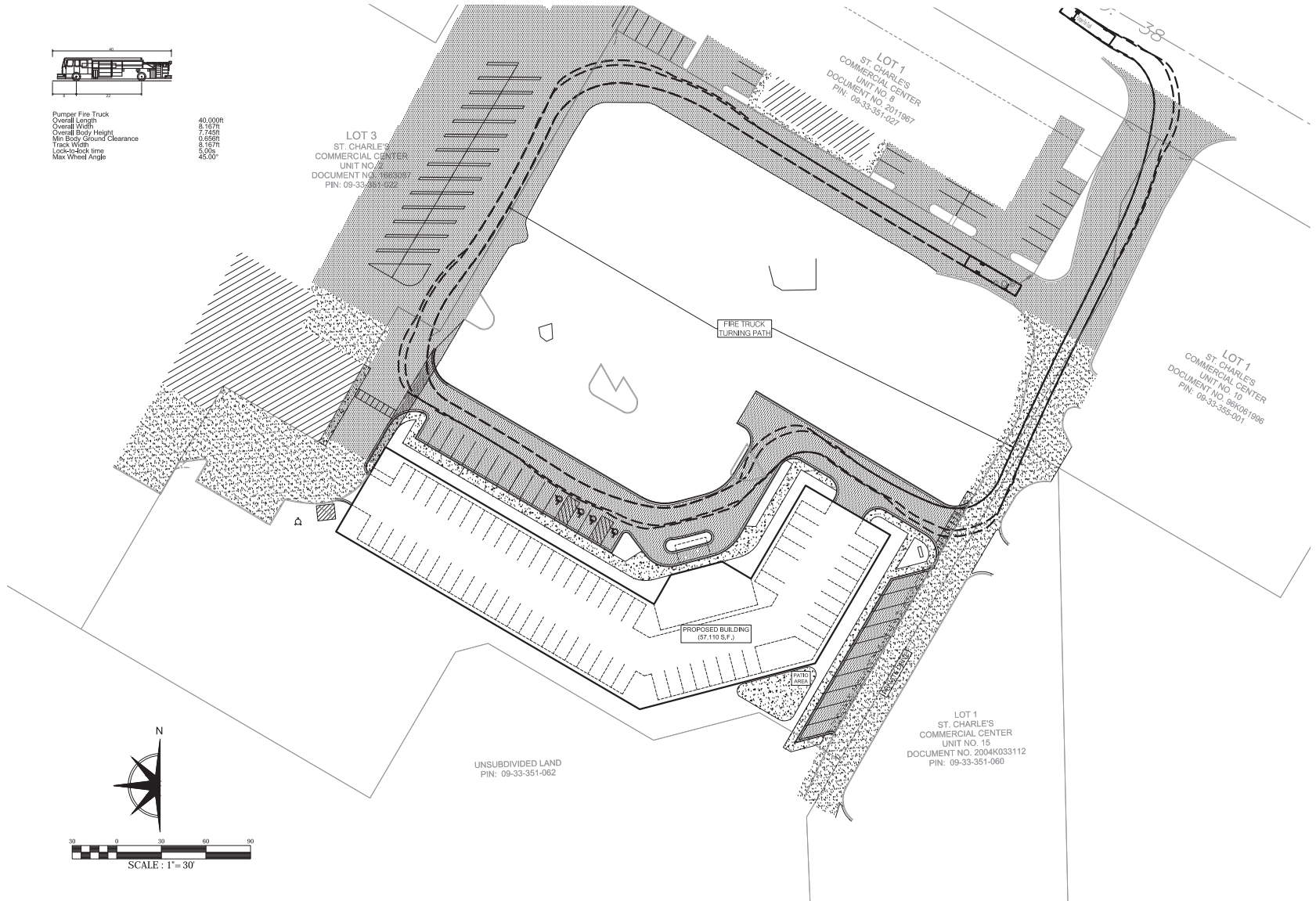
NO.	DATE	DESCRIPTION	REVISIONS		DESCRIPTION
			NO.	DATE	

PRELIMINARY ENGINEERING PLAN
ANTHONY PLACE PHASE 2

FILE NAME: PRELIM	DSGN BY: ESM	JOB NO:	FLD. BK:	SHEET NO.
DISC NUM:	DRN BY: TWA	DATE: 09-22-20	SCALE: 1"=20'	C4 of C4



Pumper Fire Truck
 Overall Length 40.00ft
 Overall Width 8.167ft
 Overall Body Height 7.750ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 3.00s
 Max Wheel Angle 45.00°



SCALE : 1" = 30'

PREPARED FOR:
ANTHONY PLACE, ST. CHARLES, LP
 343 WAINWRIGHT DRIVE
 NORTHBROOK, IL 60062



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 Civil Engineering - Land Entitlement - Project Feasibility
 4320 Winfield Drive - Suite 200 Warrenville, Illinois 60555
 ☎: 630-300-0933 ☎: 630-624-0520

		REVISIONS			
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

FIRE TRUCK TURNING RADIUS EXHIBIT

ANTHONY PLACE PHASE 2

FILE NAME: PRELIM	DSGN. BY: ESM	JOB NO.:	FLD. BK.:	SHEET NO.:
DISC NUM.:	DRN BY: TWA	DATE: 09-24-20	SCALE: 1"=30'	T1 of T1

ORDINANCE NO. 1982-Z-6

AN ORDINANCE REZONING PROPERTY TO THE R-5 MULTIPLE RESIDENCE DISTRICT AND B-3 SERVICE BUSINESS DISTRICT AND GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT FOR THE ST. CHARLES COMMERCIAL CENTER PROPERTY

REFER TO:
MINUTES <u>4-19-82</u>
PAGE <u>1479</u>

DATE OF PUBLICATION <i>Not</i>
NEWSPAPER <i>published</i>

WHEREAS, a petition for rezoning to R-5 Multiple Residence District and B-3 Service Business District with a special use as a planned unit development has been filed by the State Bank of St. Charles as Trustee under Trust No. T-303, owner of the property described in Exhibit "A" (hereafter the Subject Realty), attached hereto and made a part hereof; and

WHEREAS, the Plan Commission of the City of St. Charles has held a hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered the same;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, as follows:

Section 1. That the zoning map of the City of St. Charles pursuant to Section 17.07.040, "Official Map-Adopted", of the St. Charles Municipal Code be and is hereby amended by rezoning the property legally described as Lot 1 in Exhibit "A" to R-5 Multiple Residence District and the property legally described as Lot 2, Lot 3, Lots 4 through 9 and PARCEL TWO in Exhibit "A" to B-3 Service Business District with all of the Subject Realty being granted a special use as a Planned Unit Development.

Section 2. That the development of the Subject Realty as a planned unit development pursuant to this Ordinance shall be in accordance with all applicable ordinances of the City of St. Charles as now in effect or as hereafter amended, including but not limited to, Title 17 entitled "Zoning" and Title 16 entitled "Subdivisions and Land Improvement" of the St. Charles

1614145

1982 AUG 17 PM 3:30

FILED FOR RECORD
KANE COUNTY, ILL.

REORDER OF RECORDS
Blair E. Jorgensen

(31)

1614145

Municipal Code (sometimes respectively referred to as the "Zoning Title" and "Subdivision Title") and in accordance with the additional procedures, definitions, uses and restrictions contained herein and set forth in Exhibits "B", "C", and "D", attached hereto and made a part hereof.

A. Concept Plan

The concept plan for the Subject Realty, attached hereto as Exhibit "C", is hereby approved. Said approval does not constitute authority to proceed with construction. Rather it is an approval of the general features of the development and is a basis for preparing more detailed preliminary plans for each phase. More restrictive standards and site design criteria than those shown on Exhibit "C" and described herein or set forth in the underlying zoning district may be required by the City Council at the time of presentation of a preliminary plan or final plan. Approval of the concept plan in no way obligates the City Council to approve preliminary plans and final plans which do not conform to this Ordinance and all other ordinances of the City and such additional standards and site design criteria required by the City except for the standards set or variations granted herein at the time of City Council action on such preliminary and final plans

B. Uses

Only those uses listed in Exhibit "B", Paragraph I, "Permitted Uses", shall be permitted.

C. Phases

The Planned Unit Development shall be developed in no more than eleven (11) phases in the order shown and described in Exhibit "D".

D. Density

The maximum density for residential uses and the maximum total square footage of buildings for non-residential uses allowed for each lot shall be as provided in Exhibit "B".

E. Building Permits

No building permit shall be issued for construction or reconstruction of any structure or addition until after the preliminary plans, engineering plans, landscaping plans, architectural plans and final plans have been approved and a final plat recorded for the phase or subphase in which the building permit or permits are requested. Plans and specifications for any construction shall in all respects conform to the applicable ordinances of the City of St. Charles. At his option, the Building Commissioner of the City of St. Charles may require submission of plans to and the approval of Building Officials and Code Administrators International, Inc, (BOCA), or comparable organization before a building permit shall be issued. The cost of such BOCA review shall be borne by the applicant and shall be paid prior to the issuance of a building permit.

F. Curb Cuts

Curb cuts shall be permitted only as shown on the Concept Plan shown in Exhibit "D". Specifically, no more than one (1) curb cut shall be allowed on Prairie Street. No more than two (2) curb cuts shall be allowed on 14th Street and no more than three (3) curb cuts shall be allowed on Bricher Road (not shown on Concept Plan). Curb cuts allowed on Illinois Route 38 shall be as follows:

1. One (1) access to the southerly side as a "right-in, right-out" approximately 430 feet easterly of Randall Road centerline.
2. One (1) full access main entry way to the southerly side directly aligned with the existing main entrance to the north which is approximately 950 feet easterly of the Randall Road centerline.
3. One (1) full access main entry way to the southerly side aligned with the existing entrance to the north which is approximately 1650 feet easterly of the Randall Road centerline.

4. One (1) "right-in, right-out only" access to the northerly side with the centerline between Lots 6 and 7 approximately 1890 feet easterly of the Randall Road centerline. A barrier curb island to control unauthorized entry shall be provided by Owner.

5. One (1) full access to the northerly side having a centerline coinciding with the lot line between Lots 4 and 5 approximately 440 feet westerly of 14th Street.

6. One (1) full access to the southerly side having a centerline coinciding with the extension of the lot line between Lots 4 and 5 approximately 440 feet westerly of 14th Street.

G. Access

Emergency access for fire and police vehicles shall be provided on all sides of all buildings.

H. Off-Street Loading and Parking

Loading berths and parkings spaces shall be provided in accordance with the provisions set forth in the Zoning Title except as otherwise provided in Exhibit "B".

I. Yards

No yard or setback shall be less than the requirements of the Zoning Title or as shown in Exhibit "B", as the case may be, unless the City Council shall have determined otherwise at the time of approval of the preliminary plan. The City Council may reasonably require a greater yard or setback than shown in the Zoning Title or Exhibit "B".

J. Streets

1. The Owner shall be responsible for the construction and cost of all required street improvements for a 38-foot wide street in accordance with the standards for subdivision streets as set forth

in the Subdivision Title including pavement and the curbs, gutters, storm sewers, sidewalks, street lights, street trees and other related improvements on the following streets:

- a. The south half of Prairie Street between the west property line of Lot 1 and the easterly line of 14th Street including acceleration and deceleration lanes, if required by City, and not including sidewalks east of the east property line of Lot 1 on Prairie Street.
- b. The west half of 14th Street between the northerly line of Prairie Street and the southerly line of Illinois Route 38 including acceleration and deceleration lanes, if required by City.
- c. The north half of Bricher Road between the westerly property line of Lot 11 and the easterly line of the intersection of Bricher Road, Illinois Route 38 and 14th Street including acceleration and deceleration lanes.

The City may at its option delay installation of the improvements on Bricher Road by requiring the Owner to establish an escrow account based on the developer's consulting engineer's estimated cost to be approved by the City Council. Such escrow account shall be in a form and amount acceptable to the City Council to allow the City to procure the funds solely for the construction of improvements on Bricher Road and shall be established prior to execution of a final plat. Owner shall not be required to pay any additional funds once the escrow account has been established nor shall Owner be entitled to interest on the escrow or to any refund of funds in excess of actual cost of construction.

A required street improvement shall be made at the time a phase or subphase which abuts that street is developed and the entire length of the street shall be improved regardless of whether or not the phase being developed abuts the entire length of the street. Prior to the construction of any improvements, or the escrowing of funds in the case of Bricher Road, the Owner shall dedicate the additional right-of-way required to provide at least forty (40) feet of right-of-way along the southerly and easterly edge of Subject Realty unless more or less than one-half ($\frac{1}{2}$) of the road right-of-way is on Subject Realty in which event Owner shall dedicate the right-of-way for all of the road and right-of-way easterly and southerly of the centerline which is part of Subject Realty. Owner shall, however, be responsible only for the installation of improvements along the northerly one-half ($\frac{1}{2}$) of Bricher Road. In the event Owner is able to obtain an agreement with the property owner southerly of Subject Realty for purposes of centering the improved Bricher Road and installation of same and provided such agreement is acceptable to City, the location of Bricher Road as improved in relation to Subject Realty may be modified. Owner shall not be required to pay for acquisition costs of additional right-of-way not on Subject Realty as part of the development.

2. The Owner shall be responsible for the construction and cost of all street improvements on Illinois Route 38 required by the City or the Illinois Department of Transportation including entranceway improvements and the following;

- a. Additional widening of pavement to 38 feet at 14th Street to install an east-bound left-turn lane.
- b. Painted median striping modifications and additions to delineate the left-turn lanes as phasing of the development requires.

K. Utilities

1. As necessary for this development, the Owner shall construct and pay for all on-site and off-site extensions and improvements for:

- a. water mains;
- b. sanitary sewer lines;
- c. storm water facilities;
- d. retention and detention basins;
- e. surface drainage ways and facilities;
- f. electric facilities in accordance with City policy in effect at time of construction.

Owner shall also construct and pay for related appurtenances for the foregoing, and shall obtain for and grant to or cause to be granted to the City, at no cost to the City, on-site and off-site easements for said utilities and for any other utilities and communication facilities that the City may request. Prior to the approval of a final plat for a phase, the City shall have the right to designate which easements, on-site and off-site extensions, and improvements for water mains, sanitary sewers, storm sewers, surface drainage facilities, retention and detention basins and other utilities will be accepted by the City for that phase. For those easements and improvements accepted, the Owner shall transfer to the City or cause to be transferred to the City (free and clear of all liens and encumbrances) title to all on-site and off-site exten-

sions (except domestic service connections) for water mains, sanitary sewer lines and storm sewer lines, electric lines and the related appurtenances for each of the foregoing.

2. For those improvements not to be accepted by the City, Owner shall, however, comply with all provisions of the Subdivision Title including the posting of a proper guarantee and collateral to assure installation.

3. As of the date of this Ordinance, the Subject Realty has been placed on restrictive status by the Illinois Environmental Protection Agency (IEPA), prohibiting future sanitary sewer extensions in certain areas. No sanitary sewer extensions requiring IEPA permits shall be extended to serve the Subject Realty without the approval of the Illinois Environmental Protection Agency. The City shall have no obligation to assist or participate in any proceedings, construction of improvements, or other activities for the purposes of expediting the receipt of a permit for sanitary sewer or water extension or connection from the Illinois Environmental Protection Agency or other regulatory agencies. The Owner of the Subject Realty or its agent shall have no right to enforce speedier action by the City on projects related to such Illinois Environmental Protection Agency approval or such other regulatory agency approval.

4. Except as provided in Paragraph K, 5, below, in the event the City requests Owner to over-size certain on-site water mains installed on Subject Realty, such over-sizing shall take place on the following basis: the developer's consulting engineer shall have prepared cost estimates subject to City Council approval indicating the cost for the normal sewer or water main size and that requested by

the City for over-sizing. Such actual cost difference and no more will be assumed by the City, and such reimbursement made upon acceptance by the City Council and receipt of a Bill of Sale conveying title to such mains to the City free and clear of all liens and encumbrances. At City's election, Owner shall pay for over-sizing provided City shall enter a recapture agreement pursuant to Chapter 24, Section 9-5-1, of the Illinois Revised Statutes, providing for recovery of the over-sizing costs with a maximum time period of six (6) years with interest at the rate of eight percent (8%) per annum on the amount unpaid. At the end of six (6) years, the City shall pay for any unrecovered over-sizing costs. City may, however, recover such payment from those properties which would have been required to pay but for the 6-year payoff by City. All engineering and construction costs shall be paid by Owner.

5. The Owner shall procure an easement for City and construct a 12-inch sanitary sewer from the existing sanitary sewer on Gray Street to the east property line of the Subject Realty. The City shall reimburse the Owner for one-half ($\frac{1}{2}$) the cost of installing said sanitary sewer or \$25,000, whichever is less provided Owner shall have obtained an easement for City in a form acceptable to City extending easterly from 14th Street to Gray Street at or prior to the time of presentation of engineering plans. In the event such easement shall not have been procured, Owner shall pay for the necessary extensions to alternative sewer lines.

6. In the event the City desires to install utilities to service areas beyond the Subject Realty sooner than the Owner is required to install such utilities, the Owner shall grant the necessary easements on or across the Subject Realty at such time as City shall request.

The City shall pay for and install such utilities and be reimbursed

by Owner for Owner's share of the cost of installation of such utilities at or prior to the time of approval of a final plat or plats for portions of the subject property benefiting from the utilities. Owner shall pay City eight percent (8%) interest per annum on Owner's share of such cost.

7. Owner shall not object to the establishment of a special service area covering Subject Realty for the purpose of care, maintenance, replacement and reconstruction of storm water distribution system and storm water facilities and sanitary sewers or for the engineering and construction of traffic signals with the maximum levy of \$.10 per \$100.00 of assessed value per year.

8. Prior to the approval of a final plat for any phase of the planned unit development, the Owner shall have provided City a release in a form acceptable to City, releasing City from any and all obligations of certain agreements if applicable to the real estate involved it would have acquired by virtue of accepting land within the planned unit development and any amendments to said agreements, said agreements being an agreement entitled "Declaration of Easements and Agreement for Use and Maintenance of Storm Drainage System" recorded February 13, 1979, as Document No. 1494073 and agreement entitled "Reciprocal Construction Operating and Easement Agreement" recorded February 13, 1979, as Document No. 1494080.

L. Signalization

Prior to approval of a final plat for any phase of the planned unit development, Owner and any mortgagee or other encumbrancer shall have approved and executed a recordable document signifying their approval of and the Owner's agreement to pay for the proportionate share of the cost of signalization for the intersection on Illinois Route 38 approximately 950 feet easterly of Randall Road based on standard origin/destination procedures at such time as warranted. Said

agreement shall create a lien against Lot 11 as shown on Exhibit "C" which shall be enforceable as a foreclosure of a mortgage and shall be in a form acceptable to City.

M. Signs

Upon submittal of the final plans for each phase, the Owner and/or Developer shall submit written and graphic descriptions of the sign standards, including location, for each phase. Such sign standards shall be subject to the review and approval of the City Council and shall be as set forth in Exhibit "B" and provisions of all City ordinances.

N. Landscaping

All unpaved areas shall be landscaped in accordance with the plans reviewed by the Plan Commission and approved by the City Council. Landscaping for a phase or subphase shall be completed prior to the occupancy of any structure for that phase or subphase. However, if conditions beyond the control of the Developer prohibit the installation of the landscaping prior to a request for occupancy of a structure, a performance bond or irrevocable letter of credit in a form and amount given by a firm acceptable to the City shall be posted until such time as the landscaping is completed.

O. Land/Cash Donation

The Owner shall dedicate land or cash in accordance with the provisions of Chapter 16.32 entitled "Dedications" of the St. Charles Municipal Code as in effect at the time a final plat is completed for any phase.

P. Variations Granted

The following variations from the Zoning Title and Subdivision Title are granted:

1. A variation from Section 16.16.040 of the St. Charles Municipal Code, "Proposed Subdivision Design Features", paragraph A, 2, to

permit private streets to serve the project as shown on the Concept Plan. For those improvements not to be accepted by the City, Owner shall, however, comply with all provisions of the Subdivision Title including the posting of a proper guaranty and collateral to assure installation.

2. A variation from Section 16.16.040, C, 3, to allow Lot 9 to not abut a publicly dedicated street, provided there are easements for ingress and egress which are in conformity with State law.

3. A variation to eliminate the installation of sidewalks along the north and south sides of Illinois Route 38, provided there is a network of sidewalks within the Subject Realty and provided there shall be a continuous sidewalk along 14th Street, Prairie Street and Bricher Road for the full frontage of Subject Realty, all in a form acceptable to the City Council.

4. A variation to permit one (1) sign for Lot 9 to be located on Lot 8.

Q. Dedication of Land

Upon request by the City, the Owner shall dedicate to the City a 33-foot wide strip of land along the westerly edge of Lot 11 between Illinois Route 38 and Bricher Road. Such dedication shall be for street purposes and those public and quasi-public utilities deemed necessary by the City Council. Such dedication shall be free and clear of all liens and encumbrances, covenants and restrictions, and at no cost to the City.

Section 3. Hold Harmless and Indemnification. In the event a claim is made against the City, or if the City is made a party-defendant in any legal proceeding arising out of the approval of this Ordinance or the development of the Subject Realty, the Owner shall at City's election defend the City and

hold the City harmless from all losses, judgments, costs, fees, including attorney fees, and expenses in connection therewith. The City shall reasonably cooperate in the defense of such proceedings.

Section 4. List of Exhibits

- A. Legal Description of the Subject Realty
- B. Standards and Site Design Criteria
- C. Concept Plan for the Subject Realty
- D. Phasing Schedule
- E. Consent

Section 5. The provisions of this Ordinance shall be deemed not to be separable and if any provision which limits Owner or requires payment to City shall be held invalid, then at the option of the City, any unplatted areas of Subject Realty shall not be developed other than at a density or for the non-residential uses permitted in the R-1 Single Family Residence District.

Section 6. Upon petition and full compliance with all applicable ordinances, the City at its sole discretion may amend this Ordinance for all of Subject Realty or a portion thereof.

Section 7. This Ordinance shall constitute a covenant running with the land and is binding upon the owners, lessees, other grantees, successors in interest, and assigns. This Ordinance may be recorded in the Recorder of Deeds Office, Kane County, Illinois.


Section 8. This Ordinance shall be in full force and effect from and after its passage and approval in accordance with law, but only if all owners, lessees, and mortgagees of Subject Realty shall have consented in writing and delivered such written consent in the form attached as Exhibit "E" to the City within thirty (30) days after the date hereof.

Ordinance No. 1982-Z-6
Page 14



PRESENTED to the City Council of the City of St. Charles, Kane and
DuPage Counties, Illinois, this 19th day of April, 1982.

PASSED by the City Council of the City of St. Charles, Kane and
DuPage Counties, Illinois, this 19th day of April, 1982.

APPROVED by the Mayor of the City of St. Charles, Kane and
DuPage Counties, Illinois, this 19th day of April, 1982.



MAYOR

 ATTEST:


CITY CLERK

Council Vote:
Ayes: 9
Nays: 0
Absent: 1

This document prepared by:
Allen L. Landmeier
City Attorney
City of St. Charles
2 East Main Street
St. Charles, IL 60174



DONAHUE and THORNHILL

REGISTERED LAND SURVEYORS

SUBDIVISION — INDUSTRIAL — FARMS
 TOPOGRAPHICAL — RESIDENTIAL — MORTGAGE
 CALCULATING — LEGAL DESCRIPTIONS — MAPPING
 RIGHT-OF-WAY
 ELECTRONIC DISTANCE MEASUREMENT

20 SOUTH SECOND STREET

GENEVA, ILLINOIS 60134

232-7418

RECEIVED

APR 06 1982

 PLANNING OFFICE
 ST. CHARLES, ILL.

March 18, 1982

PARCEL ONE

Lot 1

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Joe Keim's Randall Road Subdivision, St. Charles Township, Kane County, Illinois; thence southeasterly along the northeasterly line of Illinois State Route No. 38, 1440.0 feet; thence northeasterly at right angles to the last described course 935.0 feet for a point of beginning; thence southwesterly along the last described course 275.0 feet; thence southeasterly at right angles to the last described course 310.0 feet; thence southcasterly along a line forming an angle of $175^{\circ}42'43''$ with the last described course (measured clockwise therefrom) 217.38 feet to the west line of Fourteenth Street South; thence northerly along said west line 1024.06 feet to a point that is 208.67 feet southerly of the center line (measured along said west line) of Prairie Street; thence westerly parallel with said center line 283.67 feet; thence northerly parallel with said west line 168.67 feet to a point that is 40.0 feet southerly of said center line (measured at right angles thereto); thence westerly parallel with said center line 581.84 feet to a point that is 1134.54 feet easterly of the east line of said Subdivision (measured along said center line); thence southerly parallel with said east line 321.03 feet to a line drawn parallel with said northeasterly line from the point of beginning; thence southeasterly parallel with said northeasterly line 677.64 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 13.782 acres.*

Lot 2

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Joe Keim's Randall Road Subdivision, St. Charles Township, Kane County, Illinois; thence southeasterly along the northeasterly line of Illinois State Route No. 38, 1440.0 feet; thence northeasterly at right angles to the last described course 660.0 feet; thence southcasterly at right angles to the last described course 310.0 feet; thence southeasterly along a line forming an angle of $175^{\circ}42'43''$ with the last described course (measured clockwise therefrom) 217.38 feet to the west line of Fourteenth Street South for a point of beginning; thence northwesterly along the last described course 217.38 feet; thence southwestwesterly along a line drawn at right angles to said northeasterly line 450.0 feet; thence southeasterly at right angles to the last described course 230.05 feet; thence easterly along a line forming an angle of $147^{\circ}24'40''$ with the last described course (measured clockwise therefrom) 239.93 feet to said west line of Fourteenth Street South; thence northerly along said west line 400.0 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 3.452 acres.*

Lot 3

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Joe Keim's Randall Road Subdivision, St. Charles Township, Kane County, Illinois; thence southeasterly along the northeasterly line of Illinois State Route No. 38, 1440.0 feet; thence northeasterly at right angles to the last described course 210.0 feet; thence southcasterly at right angles to the last described course 510.0 feet; thence southwestwesterly at right angles to the last described course 227.60 feet to said north-

*and also that part of the west half of 14th Street South, lying easterly of and adjacent to the foregoing described tract.

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15

easterly line for a point of beginning; thence northeasterly along the last described course 227.60 feet; thence southeasterly at right angles to the last described course 30.05 feet; thence easterly along a line forming an angle of $147^{\circ}24'40''$ with the last described course (measured clockwise therefrom) 239.93 feet to the west line of Fourteenth Street South; thence southerly and southwesterly along said west line 445.70 feet to said northeasterly line; thence northwesterly along said northeasterly line 331.37 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 2.416 acres.*

Lots 4 through 9

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Joe Keim's Randall Road Subdivision, St. Charles Township, Kane County, Illinois; thence southeasterly along the northeasterly line of Illinois State Route No. 38, 1440.0 feet for a point of beginning; thence northeasterly at right angles to the last described course 660.0 feet; thence southeasterly at right angles to the last described course 310.0 feet; thence southwesterly at right angles to the last described course 450.0 feet; thence southeasterly at right angles to the last described course 200.0 feet; thence southwesterly at right angles to the last described course 227.60 feet to said northeasterly line; thence northwesterly along said northeasterly line 510.61 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 5.706 acres.

PARCEL TWO

Tract Lying South of Route 38

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the northeast corner of Knell Subdivision, St. Charles Township, Kane County, Illinois; thence northerly along the easterly line of said Knell Subdivision extended northerly 224.37 feet to the southwesterly line of Illinois State Route No. 38; thence southeasterly along said southwesterly line 1541.09 feet to a point of curvature; thence continuing southeasterly along said southwesterly line, being along a curve to the right having a radius of 3123.23 feet that is tangent to the last described course at the last described point 630.73 feet to the most northerly corner of tract No. 91C as described in Circuit Court Case 64-1473; thence southwesterly along the northwesterly and northerly lines of said tract 308.65 feet to the most westerly corner of said tract; thence westerly along the south line of said Quarter 1546.31 feet to the easterly line of Bricher Addition to St. Charles Township, Kane County, Illinois; thence northerly along the easterly line of said Bricher Addition 689.79 feet to the northeast corner thereof; thence westerly along the northerly line of said Bricher Addition 1.01 feet to the southeast corner of Knell Subdivision; thence northerly along the easterly line of said Knell Subdivision 378.75 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 30.352 acres.

*and also that part of the west half of 14th Street South, lying easterly of and adjacent to the foregoing described tract.

EXHIBIT "B"

STANDARDS AND SITE DESIGN CRITERIA

I. PERMITTED USES

- A. The following uses are permitted on Lots 4, 5 6, 7, 8, 9, 10 and 11 as shown on the Concept Plan:
1. Amusement establishments including bowling alleys, pool halls, dance halls, skating rinks
 2. Animal hospitals
 3. Antique shops
 4. Art galleries and museums
 5. Art and school supply stores
 6. Auction rooms
 7. Automobile accessory stores
 8. Automobile laundries
 9. Automotive vehicle and automotive equipment sales
 10. Bakeries where not more than 50% of the floor area is devoted to processing, and not employing more than eight (8) persons
 11. Banks and financial institutions
 12. Barber shops
 13. Beauty parlors
 14. Bicycle stores, sales, rental and repair
 15. Blueprinting and photocopying establishments
 16. Book and stationery stores
 17. Business machine sales and service
 18. Camera and photographic supply stores
 19. Candy and ice cream stores
 20. Carpet and rug stores
 21. Caskets and casket supplies
 22. Catering establishments
 23. China and glassware stores
 24. Churches, rectories and parish houses
 25. Clothing establishments
 26. Clubs and lodges, private, fraternal or religious
 27. Coin and philatelic stores
 28. Contractors and construction offices
 29. Costume rental
 30. Currency exchanges
 31. Custom dressmaking
 32. Department stores
 33. Drive-in restaurants
 34. Drugstores
 35. Dry cleaning establishments, retail, employing not more than four persons
 36. Dry goods store
 37. Electrical and household appliance stores including radio and television sales
 38. Employment agencies
 39. Exterminating shops
 40. Flower shops and conservatories
 41. Food stores, including grocery stores, meat markets, bakers and delicatessens (retail sales only)

42. Frozen food stores, including locker rental in conjunction therewith
43. Fuel and ice sales, retail only
44. Furniture stores, including upholstery
45. Furrier shops, including the incidental storage and conditioning of furs
46. Garden supply, tool and seed stores
47. Accessory uses
48. Gift shops
49. Greenhouses
50. Haberdasheries
51. Hardware stores
52. Health centers
53. Hobby shops
54. Hospital
55. Interior decorating shops, including upholstery and making of draperies, slipcovers, and other similar articles when conducted as part of the retail operations and secondary to the principal use
56. Hotels
57. Jewelry stores, including watch repair
58. Job printing shops, using presses having beds of not more than 14 inches and 20 inches
59. Laboratories, medical and dental, also research and testing
60. Laundries, coin-operated or automatic self-service type or hand, employing not more than two persons in addition to one owner or manager
61. Leather goods and luggage stores
62. Libraries
63. Liquor stores, retail sales
64. Loan offices
65. Locksmith shops
66. Machinery and equipment sales, but not including service repair or reconditioning and storage of all machinery shall be within enclosed buildings
67. Mail order servicestorage
68. Meat markets, including the sale of meat and meat products to restaurants, motels, clubs, and other similar establishments when conducted as part of the retail business on the premises
69. Meeting halls
70. Medical and dental clinic
71. Millinery shops
72. Musical instrument sales and repair
73. Newspaper offices, but not including printing
74. Offices, business, professional and public
75. Office machine sales and servicing
76. Office supply stores
77. Open sales lots
78. Opticians and optometrists
79. Orthopedic and medical appliance stores, but not including the assembly or manufacture of such articles
80. Paint and wallpaper

Exhibit "B" (cont.)

Page 3

81. Pet shops
82. Phonograph record and sheet music stores
83. Photography studios, including developing and printing of photographs when conducted on the premises as a part of the retail business
84. Physical culture and health services, gymnasiums
85. Picture framing when conducted on the premises for retail trade
86. Plumbing showrooms and shops
87. Post offices
88. Radio and television broadcasting studios and towers
89. Radio and television service and repair shops
90. Recording studios
91. Restaurants, including live entertainment and dancing
92. Restricted production and repair limited to the following: art needlework, clothing, custom manufacturing and alterations for retail only
93. Schools, commercial or trade not involving any danger of fire, explosion, nor of offensive noise, vibration, smoke, dust, odor, glare, heat, or other objectionable influences
94. Schools of music, dance or business
95. Second-hand stores and rummage shops
96. Sewing machine sales and services, household machines only
97. Shoe stores
98. Shoe and hat repair stores
99. Signs as regulated in this Ordinance
100. Sporting Goods stores
101. Tailor shops
102. Taverns and cocktail lounges
103. Taxidermists
104. Telegraph offices
105. Temporary buildings for construction purposes for a period not to exceed the duration of such construction
106. Theaters - indoor
107. Ticket agencies, amusements
108. Tobacco shops, retail sales
109. Toy shops
110. Travel bureaus and transportation ticket office
111. Typewriter and adding machine sales and service establishments
112. Undertaking establishments and funeral parlors
113. Variety stores
114. Wearing apparel shops

B. The following uses are permitted on Lot 1 as shown on the Concept Plan:

1. Multiple-family dwellings

C. The following uses are permitted on Lot 2 as shown on the Concept Plan:

Business service establishments which perform services on the premises:

1. Better business bureau

Exhibit "B" (cont.)

Page 4

2. Business and/or management consultant
3. Business office, in which chattels or goods, wares or merchandise are not displayed or sold on the premises
4. Chamber of commerce
5. Credit agency
6. Funeral parlor or undertaking establishment
7. Insurance office
8. Interior decorating studio
9. Investment company
10. Labor union and/or organization
11. Mail order house
12. Photographic studio
13. Real estate office
14. Secretarial service
15. Social and fraternal association
16. Trade association

Professional office establishments:

1. Accounting, auditing and bookkeeping
2. Architect's office
3. Artist and industrial designer's office
4. Attorney and law office
5. Chiropodist's office
6. Chiropractor's office
7. Dentist's office
8. Doctor's, surgeon's and/or physician's office
9. Engineering office
10. Landscape architect's office
11. Land surveyor's office
12. Minister's office.
13. Optician's office
14. Osteopath's office

Retail business, which supply commodities on the premises limited to:

1. Art gallery
2. Antique shop
3. Bookstore
4. Gift shop
5. Flower shop
6. Leather and luggage goods stores
7. Equestrian riding apparel shops

Public, quasi-public and governmental buildings or facilities:

1. Church
2. Off-street parking facility
3. Museums, art gallery

D. The following uses are permitted on Lot 3 as shown on the Concept Plan:

1. The uses permitted on Lot 2 listed in Paragraph 1, C, above

2. Antique shop
3. Art galleries or collector shop
4. Camera and photography store
5. Clock shop
6. Clothing stores -- men's, women's
7. Clothing stores -- sports
8. Crystal, china or glass shop
9. Furniture stores
10. Gift shop with specialty theme
11. Home entertainment center store
12. Jewelry
13. Leather goods and luggage stores
14. Linen or lace shop
15. Restaurant
16. Shoe stores
17. Tobacco shop
18. Travel bureaus
19. Banks and financial institutions

II. DENSITY

The maximum density for residential use and the maximum total square footage of building for non-residential use allowed for each lot shown on the Concept Plan shall be as follows:

- A. Lot 1 - 15 units per acre for a maximum of 210 units
- B. Lot 2 - 12,000 square feet
- C. Lot 3 - 25,000 square feet
- D. Lot 4 - 10,000 square feet
- E. Lot 5 - 10,000 square feet
- F. Lot 6 - 10,000 square feet
- G. Lot 7 - 10,000 square feet
- H. Lot 8 - 10,000 square feet
- I. Lot 9 - 19,000 square feet
- J. Lot 10 - 75,000 square feet
- K. Lot 11 - 180,000 square feet

III. YARDS

There shall be a minimum setback of thirty feet (30') from Prairie and 14th Streets and twenty feet (20') from Route 38. No parking or structures, including but not limited to, all accessory buildings, swimming pools, signs and fences over six feet (6') tall shall be permitted within said setback areas. Said setback areas shall be suitably landscaped and planted so as to provide open green space. Buildings shall be set back at least thirty feet (30') from all public rights-of-way.

Any yard adjoining residential property shall be a minimum of thirty feet (30') in depth.

IV. SIGNS

All signs exceeding 12 square feet in surface area shall be submitted to the Plan Commission for review and approval prior to issuance of a building permit.

- A. Non-flashing but illuminated business signs with no moving parts, awnings and marquees are permitted on Lots 4, 5, 6, 7, 8, 9, 10 and 11 subject to regulations set forth elsewhere in City ordinances and the following:
1. The illumination of any exterior sign shall be only during business hours or 11:00 pm - whichever is later. Where a sign is illuminated by light reflected upon it, direct rays of light shall not beam upon any part of any existing residential buildings, nor into a Residence District, nor into a street. A sign in direct line of a traffic signal shall not be in red, green, or amber illumination.
 2. The gross surface area in square feet of all signs on a lot or building shall not exceed three (3) times the number of lineal feet of the building frontage; and each side of a building which abuts a street or frontage road shall be considered as a separate frontage; and the gross area of all signs located on a side of a lot or building abutting a street shall not exceed the number of lineal feet of such building frontage.
 3. Signs shall not project into the public way.
 4. Any sign located within ten feet (10') of the paved surface of a street or within ten feet (10') of a sidewalk or driveway, or within fifty feet (50') of the intersection of two (2) or more streets shall have the lowest elevation at least twelve feet (12') above curb level.
 5. A sign affixed to a building shall not project higher than the building height, or thirty feet (30') above the curb level, whichever is lower, except in the case of a one-story building where the sign may project not more than three feet (3') above the building height. A ground sign shall not exceed forty feet (40') in height above curb level.
 6. No more than one (1) free standing ground sign may be erected on each of the following lots: 4, 5, 6, 7, 8, 9, and 10 and no more than four (4) such signs on Lot 11, one (1) of which may be erected having a total gross display area of not more than .75/1.00 of the gross

floor area of the building situated on the property, provided, however, that no one display surface shall contain more than 300 square feet, and the total area of all display surfaces shall not exceed 600 square feet; such sign structure shall be set back at least half the required yard depth from the abutting street, and the bottom edge of any display surface shall be at least eight feet (8') above the level of the ground, and its overall height shall not exceed 24 feet above the curb level. Its overall width shall not exceed twenty feet (20').

- B. Non-flashing but illuminated business signs with no moving parts are permitted on Lots 2 and 3 subject to all City Ordinances and the following:
1. The illumination of any sign shall be only during business hours. Where a sign is illuminated by light reflected upon it, the lighting shall be shielded in such a manner as to prevent direct rays of light from shining on buildings other than those on the immediate premises, or from shining into a street.
 2. The gross surface area in square feet of all signs on a lot or building shall not exceed the number of lineal feet of the building frontage; except, that on a corner lot the gross surface area of all signs on a side street frontage shall not exceed one-half square foot area for each lineal foot of the building frontage on such side street. Each street frontage shall be considered a separate frontage and the separate permitted gross surface sign areas shall not be combined.
 3. Signs shall be affixed flat against the building walls and shall not project therefrom for more than twelve inches (12") except in the case of a yard sign.
 4. A single free-standing yard sign on each of the said two lots is permitted. Such yard sign shall not exceed thirty-two (32) square feet in gross surface area, nor shall it exceed the gross surface area permitted in Subsection 2 of this Section. No yard sign shall be permitted within the required setback adjoining a street.
 5. No sign shall project higher than twelve feet (12') above the established grade of the building.
- C. Signs located on Lot 1 shall be in accordance with the underlying zoning district.

Exhibit "B" (cont.)

Page 8

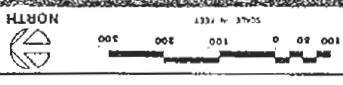
V. OFF-STREET PARKING AND LOADING

Off-street parking spaces and loading berths shall be provided in accordance with the provisions set forth in the Zoning Title except the parking spaces for uses other than grocery stores and multiple family dwellings may be 9 feet by 18½ feet. The size of parking spaces for grocery stores and multiple family dwellings shall conform to the provisions of the Zoning Title.

25



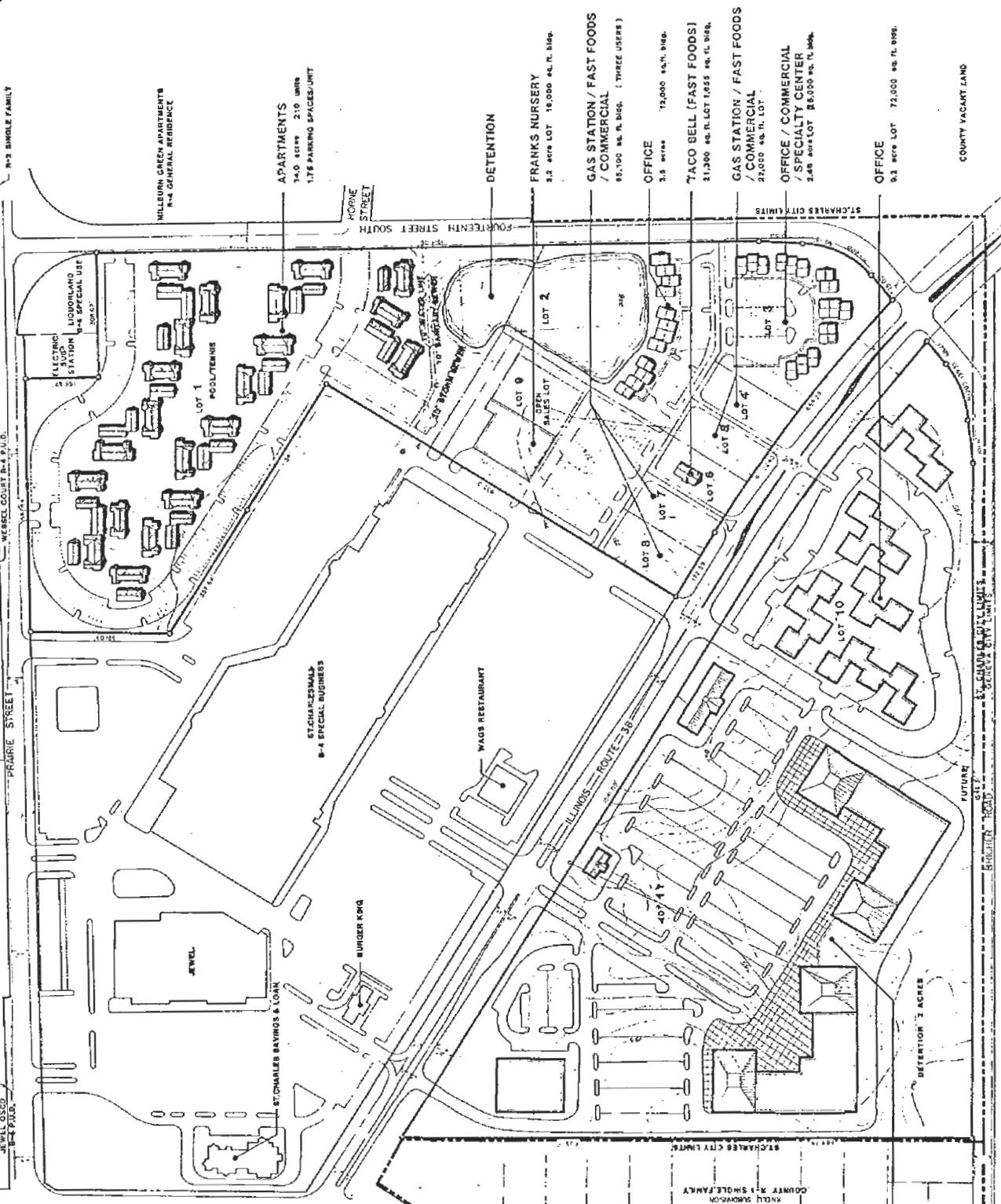
SHO-DEEN CONSTRUCTION CO
 OWNER/DEVELOPER
 13 SOUTH BEVINGTON STREET, GENEVA, ALABAMA 36039
J. CHRISTOPHER LANNERT, LTD.
 LANDSCAPE ARCHITECTS
 DESIGN/DEVELOPMENT CONSULTANTS
 1830 EXECUTIVE PLACE, SUITE 401
 GENEVA, ALABAMA 36034
 (205) 232-0455



PROJECT NUMBER
 SHEET NUMBER
 DATE
 11/22/81
 11/22/81
 11/22/81

CONCEPT PLAN
ST. CHARLES COMMERCIAL CENTER

ROBERT H. ANDERSON & ASSOCIATES
 CONSULTING ENGINEERS 10 NORTH STATE AVENUE, ST. CHARLES, ILLINOIS



RECEIVED
PLANNING OFFICE
ST. CHARLES, IL
APR 06 1982

EXHIBIT "C"

**COMMERCIAL/OFFICE/
 RESTAURANT/
 SPECIALTY CENTER**
 110,000 - 130,000 sq. ft. bldg.

COUNTY VACANT LAND

EXHIBIT "D"

P H A S I N G

The Subject Realty shall be developed in no more than eleven (11) phases. A phase shall consist of one or more lots as described on the Concept Plan. Subject to Council approval, there may be subphases, in which case the final plan shall constitute only that portion of the approved preliminary plan which the applicant proposes to record and develop. For any subphase all improvements shall be completed for the entire phase unless the City Council approves otherwise.

The Owner may vary the following phasing schedule provided all off-site extensions and improvements for streets, access drives, water mains, sanitary sewers, storm water facilities, retention and detention basins, surface drainage ways and facilities and electrical facilities necessary, as determined by the City Council, to service the phase being presented shall be completed and paid for by Owner as part of that phase, including the applicant's obtaining and granting all necessary off-site easements and dedication of rights-of-way. If there is concurrent phasing or subphasing, the completion schedule of all the aforesaid extensions and improvements shall require a sequence which provides for usage by the phase or subphase furthest from the existing utilities at the time such phase or subphase is completed. If there are two or more phases being developed at one time the sequence shall provide for service to the phase first requiring such service.

All on-site and off-site extensions and improvements for water mains, sanitary sewers, storm water facilities, retention and detention basins, surface drainage ways and facilities and electrical facilities shall be installed as necessary to serve each phase. In addition certain on-site and off-site improvements shall occur in accordance with the following schedule:

1. The development of Lots 9 and 6 (Phase 1) shall include the following improvements:
 - a. Construction of the full width access road between Lot 9 and Lots 6, 7 and 8.
 - b. Construction of the full width access road between Lots 6 and 7 and installation of the barrier curb and necessary widening of Illinois Route 38 for the "right-in, right-out" curb cut on Route 38.
 - c. Completion and restoration of detention basin on Lots 1 and 2 in accordance with the requirements of the City.
2. The development of Lot 10 shall include the following improvements:
 - a. All required improvements to Illinois Route 38 along the frontage of Lot 10 or a subphase of Lot 10, including intersection improvements on Route 38 at Bricher Road.

- b. Dedication of right-of-way and escrowing of funds for future Bricher Road improvements based on the frontage of Lot 10 or a subphase of Lot 10 along Bricher Road as more fully described in the body of this Ordinance.
3. The development of Lot 11 shall include the following improvements:
 - a. All remaining improvements to Illinois Route 38.
 - b. All remaining dedications of right-of-way and escrowing of funds for the future improvement of Bricher Road.
 - c. The dedication of a 33-foot wide strip of land along the west property line of Lot 11.
4. When Lots 1, 2 or 3 are developed, or the access drive between Lots 2 and 3 is completed to 14th Street, whichever occurs first, the Owner shall complete the following improvements:
 - a. The dedication of right-of-way and improvement to the west half of 14th Street from Illinois Route 38 to Prairie Street. In the event the necessary right-of-way along the east side of 14th Street is attained and the City Council decides the full width of 14th Street should be improved, the Owner shall improve the full width of 14th Street and be reimbursed by the City for the costs of improving the east half of 14th Street.
 - b. Installation of the water main loop along 14th Street.
5. The development of Lot 1 shall include the improvement of the south half of Prairie Street along the north property line of Lot 1.
6. The development of Lots 3 or 4, whichever occurs first, shall include the construction of the full width of the access drive between Lots 3 and 4 including any required improvements to Illinois Route 38 for said access drive.

EXHIBIT "E"

C O N S E N T

We, the Owners and Lessees of the Subject Realty described in Exhibit "A", approve of accept and agree to the terms and conditions set forth in the Ordinance to which this Consent is attached.

State Bank of St. Charles as Trustee under the Provisions of a Trust Agreement dated November 22, 1972, and known as Trust No. T-303

BY:

VICE PRESIDENT & TRUST OFFICER

(SEAL)

ATTEST:

Sylvia M. Zocher
ASST. CASHIER

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, THE UNDERSIGNED, a NOTARY PUBLIC in and for said County, in the state aforesaid, DO HEREBY CERTIFY that CARL W. RUDOLPH Vice President - Trust Officer of STATE BANK OF ST. CHARLES and SYLVIA M. ZOCHER and ASST. CASHIER Assistant Secretary of said bank, personally known to me to be the said persons whose names are subscribed to the foregoing instrument as such Vice President - Trust Officer and ASST. CASHIER Assistant Secretary respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said bank, for the uses and purposes therein set forth and the said ASST. CASHIER Assistant Secretary did also then and there acknowledge that he as custodian of the corporate seal of said bank, did affix the said corporate seal of said bank to said instrument as his own free and voluntary act and as the free and voluntary act of said bank, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this 13th day of May, 1982.

1614145

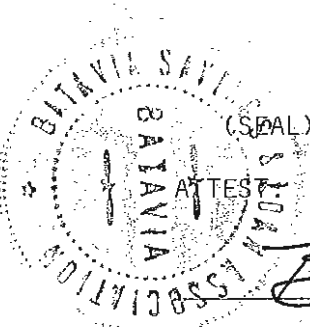
Penny Pizzolara NOTARY PUBLIC

C O N S E N T

We, the Mortgagees of the Subject Realty described in Exhibit "A",
approve, accept and consent to the terms, and conditions set forth in the
Ordinance to which this Consent is attached.

Batavia Savings & Loan Association as
Mortgagee under Document No. 1537805,
dated this 14th day of May,
1982.

By: [Signature]

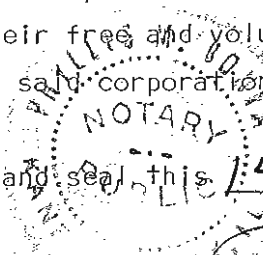


[Signature]

STATE OF ILLINOIS)
) SS
COUNTY OF Kane)

I, the undersigned, in and for said County, in the
State aforesaid, DO HEREBY CERTIFY that Gary E. Orr
personally known to me to be the President of the Batavia Savings
& Loan Association corporation, and Bob G. Rosson
personally known to me to be the Secretary of said corporation, and personally
known to me to be the same persons whose names are subscribed to the foregoing
instrument, appeared before me this day in person and severally acknowledged
that as such _____ President and _____ Secretary of said corporation,
and caused the corporate seal of said corporation to be affixed thereto,
pursuant to authority, given by the Board of Directors
of said corporation as their free and voluntary act, and as the free and
voluntary act and deed of said corporation, for the uses and purposes therein
set forth.

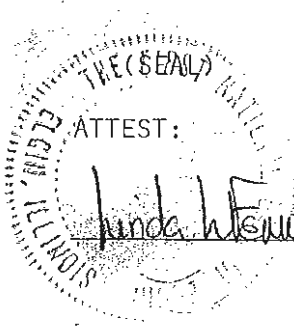
GIVEN under my hand and seal this 14 day of May, 1982.



[Signature] 29
NOTARY PUBLIC

First National Bank of Elgin as Mortgagee
under Document No. 1591511, this 14
day of May, 1982.

By: [Signature] E.K.R.



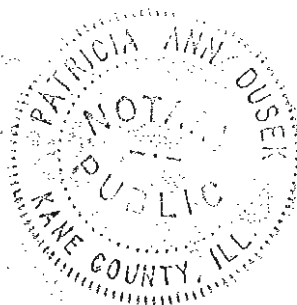
ATTEST:

Linda L. Fenner

STATE OF ILLINOIS)
COUNTY OF Kane) SS

I, Patricia Ann Dusek in and for said County, in the State
aforesaid, DO HEREBY CERTIFY that John W. Modaff
personally known to me to be the Ex. Vice-President of the
THE FIRST NATIONAL Bank of Elgin corporation, and Linda L. FENNER
personally known to me to be the Asst. Secretary
of said corporation, and personally known to me to be the same persons whose
names are subscribed to the foregoing instrument, appeared before me this day
in person and severally acknowledged that as such Ex. Vice-President and
Asst. Secretary, they signed and delivered the said instrument as Ex. Vice
President and Asst. Secretary of said corporation, and caused the corporate
seal of said corporation to be affixed thereto, pursuant to authority, given
by the Board of Directors of said corporation as their free and
voluntary act, and as the free and voluntary act and deed of said corporation,
for the uses and purposes therein set forth.

GIVEN under my hand and seal this 14th day of May, 1982.



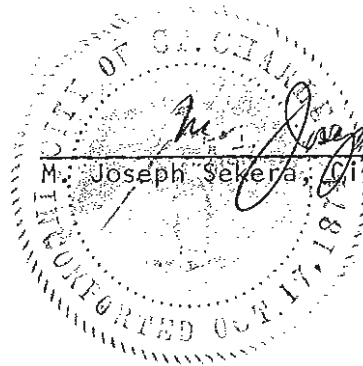
Patricia Ann Dusek
NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTIES OF KANE AND DUPAGE) SS.
CITY OF ST. CHARLES)

This is to certify that the foregoing is a true and correct copy of Ordinance No. 1982-Z-6 entitled AN ORDINANCE REZONING PROPERTY TO THE R-5 MULTIPLE RESIDENCE DISTRICT & B-3 SERVICE BUSINESS DISTRICT & GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT FOR THE ST. CHARLES COMMERCIAL CENTER PROPERTY

passed by the City Council of the City of St. Charles on the 19th day of April, 1982 A.D., as morefully appears from the records and files of said City in my custody.

Given under my hand and the official seal of said City of St. Charles, this 17th day of May, 1982 A.D.



Mr. Joseph Sekera
M. Joseph Sekera, City Clerk

jrj
11/19/80
1614145



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4c

Title:

Consideration of a request for a 1-year extension to record a Final Plat of Subdivision for Crystal Lofts PUD.

Presenter:

Russell Colby

Meeting: Planning & Development Committee

Date: December 14, 2020

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

In December 2017, the City approved the Crystal Lofts PUD under Ord. 2017-Z-21. Approved plans involve conversion of the former Lamp Factory building at the northeast corner of S. 13th and Indiana Aves. into nine (9) townhome units with five (5) additional townhomes constructed at the east end of the existing building.

In 2018, the City approved Ord. 2018-Z-31 which granted approval of a Final Plat of Subdivision for Phase 1 of the project, encompassing work on the existing building. The 2018 ordinance also approved changes to the plans to shift the garages outside of the floodplain and modifications to landscaping and building design.

While the Final Plat for Phase 1 has been approved, it cannot be recorded until the City receives a financial guarantee from the developer for the cost of public improvements, as required by the Subdivision Code (Title 16). A building permit application for Phase 1 is currently on file; however, a permit cannot be issued until the Final Plat is recorded. Additionally, the site needs to be enrolled in the Illinois EPA Site Remediation Program due to soil contamination that was discovered at the site.

Under Section 17.04.420 of the City Code, if an approved Final Plat for, at a minimum, the first phase of a development, is not recorded within 3 years following the PUD approval (12/18/17), the Special Use for PUD, PUD Preliminary Plan and Final Plat approvals shall lapse.

City Council, at its discretion and for good cause, may extend the period for recording of the Final Plat for up to 1 year at a time.

A letter has been submitted by Ascher Wolmak of Crystal Lofts LLC, property owner, requesting a 1-year extension of the PUD/Final Plat approval. The letter provides an explanation for the delay in the project. The letter states a target of April 1, 2021 to begin construction. Construction is estimated at 9 months for Phase 1.

The property has remained in a partially demolished state for an extended period of time. Staff is aware of concerns from neighbors regarding the property condition and site security. In the event City Council does not grant the requested extension, all project approvals will expire, and the property owner will be required to address the condition of the property by permanently securing the building or demolishing the structure.

Attachments *(please list):*

Letter from Ascher Wolmak dated 12/1/2020; Aerial photo of site, 2018 Project Renderings, PUD Minor Change Ord. 2018-Z-31; PUD Ord, 2017-Z-21

Recommendation/Suggested Action *(briefly explain):*

Consideration of a request for a 1-year extension to record a Final Plat of Subdivision for Crystal Lofts PUD.

Attention:

Ellen Johnson City Planner

P: 630.762.6901 | E: ejohnson@stcharlesil.gov

2 E. Main Street, St. Charles, IL 60174-1984

stcharlesil.gov

From:

Ascher Wolmark
Manager- Crystal Lofts LLC
1847 W Berteau
Chicago Illinois 60613

December 1, 2020

Dear Mrs. Johnson,

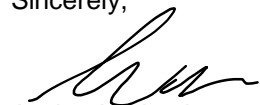
As managing member of the Crystal lofts LLC I wanted to bring you to date on the development of 14 Townhomes proposed at 214 Indiana Avenue in St. Charles, Illinois. Over the last year the Development team has encountered numerous obstacles that have impeded the construction start of the development. Construction cost over runs have incurred because of numerous existing issues with the existing site. The Phase II, requested by our construction lender, brought to light contamination with the existing soils. Delays, revised site retention designs and the relocation of the Utility Lines on Indiana, have also brought increases to our original construction budget.

The development team is working on acquiring a partner to develop the project to offset the increased costs. With the Covid Pandemic it has slowed the process considerably. We are looking to get everything finalized and construction started by April 1, 2021. Construction on the first phase has been projected at 9 months to complete.

Crystal Lofts LLC is requesting a 1 Year extension of the Crystal Lofts PUD approval and Final Plat of Subdivision.

We appreciate all the help and feedback working with The City of St. Charles Planning and Building Departments and look forward to a successful development.

Sincerely,



Ascher Wolmark

Manager Member
Crystal Lofts LLC.



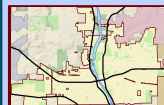
City of St. Charles, Illinois

Two East Main Street St. Charles, IL 60174-1984
Phone: 630-377-4400 Fax: 630-377-4440 - www.stcharlesil.gov

Crystal Lofts

RAYMOND ROGINA *Mayor*

MARK KOENEN *City Administrator*



Data Source:
 City of St. Charles, Illinois
 Kane County, Illinois
 DuPage County, Illinois
 Projection: Transverse Mercator
 Coordinate System: Illinois State Plane East
 North American Datum 1983
 Printed on: December 9, 2020 12:23 PM



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 Powered by Precision GIS

2018 Project Renderings presented with Minor Change





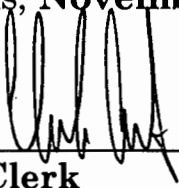
City of St. Charles, Illinois

Ordinance No.: 2018-Z-31

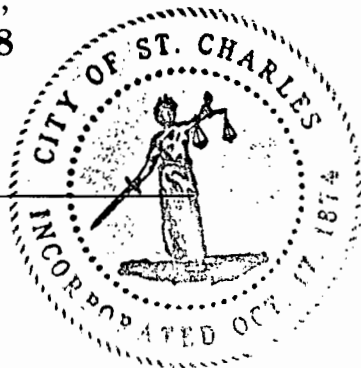
**An Ordinance Granting Approval of a Final
Plat of Subdivision for Crystal Loft
Condominiums, Phase 1 and a Minor Change
to PUD Preliminary Plan for Crystal Lofts
PUD (214 S. 13th Ave.)**

**Adopted by the
City Council
of the
City of St. Charles
November 5, 2018**

Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, **November 12, 2018**



City Clerk



(SEAL)

City of St. Charles, Illinois
Ordinance No. 2018-Z-31

An Ordinance Granting Approval of a Final Plat of Subdivision for Crystal Loft Condominiums, Phase 1 and a Minor Change to PUD Preliminary Plan for Crystal Lofts PUD (214 S. 13th Ave.)

WHEREAS, a petition to approve a Final Plat of Subdivision for Crystal Loft Condominiums, Phase 1 and a petition for a Minor Change to the PUD Preliminary Plan approved by Ordinance 2017-Z-21 “An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for Crystal Lofts (214 S. 13th Ave.)” were filed with the City of St. Charles (“City”) on or about August 29, 2018, by Jeffrey Funke for the property commonly known as 214 S. 13th Ave., said realty being legally described in Exhibit “A”, attached hereto and incorporated herein; and,

WHEREAS, the Plan Commission reviewed said petitions in accordance with law and recommended approval on September 4, 2018; and,

WHEREAS, the Government Operations Committee of the City Council recommended approval of said petitions on September 17, 2018; and,

WHEREAS, the City Council of the City of St. Charles received the recommendation of the Government Operations Committee of the City Council and has considered the same; and,

WHEREAS, the City Council of the City of St. Charles has determined that under Section 17.04.430 B. of the St. Charles Zoning Ordinance, the requested plan modifications constitute a minor change to the approved PUD Preliminary Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. That passage of this Ordinance shall constitute approval of a Final Plat of Subdivision, such that the following documents are hereby approved, reduced copies of which are attached hereto and incorporated herein as Exhibit “B”, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community and Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Final Plat of Subdivision for Crystal Loft Condominiums, Phase 1; CEMCON, Ltd.; revisions dated 9/28/18

2. That passage of this Ordinance shall constitute approval of a Minor Change to PUD Preliminary Plan, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto and incorporated herein as Exhibit “C”, subject to compliance with such conditions, corrections, and modifications as may be required by the

Director of Community and Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

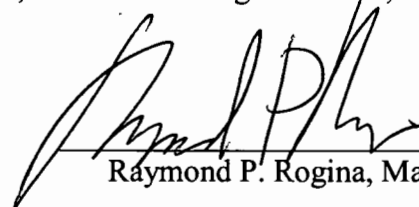
- Landscape Plan; Funke Architects; revised 10/8/18
- Architectural Elevations; Funke Architects; revised 10/8/18
- Preliminary Site/Engineering Plans (sheets 04-08); CEMON, Ltd.; revised 10/8/18, subject to Final Engineering review and approval

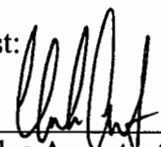
3. That after the adoption and approval hereof the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 5th day of November 2018.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 5th day of November 2018.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 5th day of November 2018.


Raymond P. Rogina, Mayor

Attest: 
Charles Amenta, City Clerk

Vote:
Ayes: 9
Nays: 0
Absent: 1
Abstain:
Date: _____

APPROVED AS TO FORM:

City Attorney

DATE: _____



EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF BLOCK 5 OF W. H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

FINAL PLAT OF SUBDIVISION FOR CRYSTAL LOFT CONDOMINIUMS, PHASE 1

**FINAL PLAT OF SUBDIVISION
FOR**

CRYSTAL LOFT CONDOMINIUMS, PHASE 1

BEING A PART OF THE SOUTHWEST QUARTER OF
SECTION 28, TOWNSHIP 40 NORTH, RANGE 9 EAST
OF THE THIRD PRINCIPAL MERIDIAN,
IN KANE COUNTY, ILLINOIS.

THIS PLAT WAS SUBMITTED TO THE DEPUTY
RECORDER FOR THE PURPOSES OF RECORDING BY:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174
NOTE TO RECORDER:
PLEASE RETURN RECORD TO THE BANK.



**SITE
LOCATION**

VICINITY MAP



20 10 0 20
SCALE: 1 INCH = 20 FEET

TOTAL AREA OF SUBDIVISION
.761 ACRES
(MORE OR LESS)

NOTES
3/4 INCH BORN PINE SET AT SOUTHWEST AND
NORTHEAST PARCEL CORNERS.
ALL MEASUREMENTS ARE SHOWN IN FEET AND
DECIMAL PARTS THEREOF.
DIMENSIONS ENCLOSED WITH () ARE RECORD DATA,
ALL OTHER DIMENSIONS ARE MEASURED.
ALL EASEMENTS ARE HEREBY GRANTED UNLESS
OTHERWISE NOTED.
THE MEASURED BEARINGS SHOWN ARE BASED UPON
THE EAST LINE OF THE SUBDIVISION BEING
IN 1059'41" S (AS SHOWN).
FP = FOUND BORN PINE (AS SHOWN)
PROPERTY ZONED M-1 (SPECIAL MANUFACTURING
DISTRICT OF CITY OF ST. CHARLES)

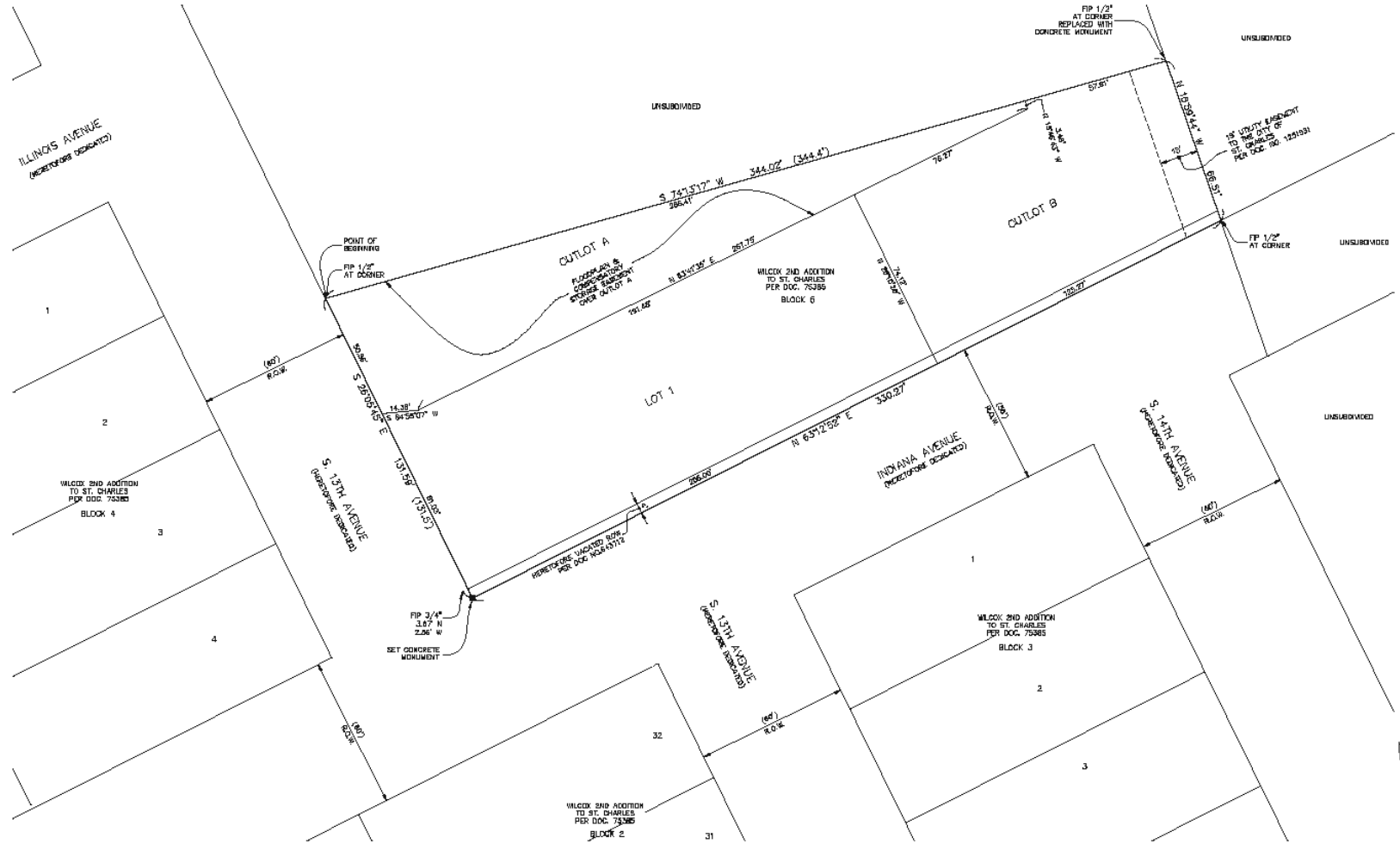
LEGEND
- SUBDIVISION BOUNDARY LINE
(Heavy Solid Line)
- LOT LINE/PROPERTY LINE
(Thin Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE
(DASH-SHIN LINE)
- EASEMENT LINE/LINE OF EASEMENT
(Short Dashed Line)
■ - SET CONCRETE MONUMENT

**LOT AREA
SUMMARY TABLE**

LOT NO.	SQ. FT.	ACRES
1	15,400	0.354
CUTLOT A	8,303	0.191
CUTLOT B	8,448	0.217
TOTAL	33,152	0.761

PREPARED FOR:
FUNKE ARCHITECTS
160 EAST GRAND
CHICAGO, IL 60611
(312) 593-4812

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 Uncle Sam Circle, Suite 100, Aurora, Illinois
60502-6675 PH: 830.882.2100 FAX: 830.882.2188
E-Mail: cemcon@cemcon.com Website: www.cemcon.com
DISC NO.: 504015 FILE NAME: SUBPLAT
DRAWN BY: A.B. PLO. BY: / PLO. NO.: 003/07-80
COMPLETION DATE: 04-28-18 JOB NO.: 504.015
PROJECT REFERENCE: A26.000
REVISED 7-10-18 WMC-PER REVIEW LETTER DATED 8-8-18
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DATE PLOTTED: 07/07/2018 10:45:00 AM PLOTTED BY: CEMCON, LLC

OWNER'S & SCHOOL DISTRICT CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE PART OWNER OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

BY: _____

ADDRESS: _____

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

(TITLE)

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____

PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, PETER A. BLAESER, ILLINOIS LAND SURVEYOR NO. 3072, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF BLOCK 5 OF W.H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

FURTHER, THIS PLAT HAS BEEN PREPARED BY AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND THAT THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

IT IS FURTHER CERTIFIED THAT THE PROPERTY SHOWN HEREON LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF ST. CHARLES, WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

IT IS FURTHER CERTIFIED THAT, TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT A PORTION OF THE PROPERTY HEREON DESCRIBED IN THE RECORD OF DEED FALLS WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED ON A MAP ENTITLED "EFFECTIVE FIRM COMPARISON", SHEETS 1 THROUGH 3 OF 3, UNDATED, INCLUDED IN THE "ENGINEERING REPORT, LOWER FOX RIVER WATERSHED - 7TH AVENUE CREEK AND ITS TRIBUTARY" DATED AUGUST 17, 2012 AND REVISED JULY 2, 2013, RECEIVED SEPTEMBER 13, 2013 WHICH MAP, FOR REGULATORY PURPOSES, IS BEING ENFORCED BY THE CITY OF ST. CHARLES UNDER A MEMORANDUM OF UNDERSTANDING BETWEEN THE ILLINOIS DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF ST. CHARLES OWR-310.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS _____ DAY OF _____ A.D. 2018.

PETER A. BLAESER
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2018
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2019

MORTGAGEE'S CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

ACCEPTED AND APPROVED

BY: _____
AS MORTGAGEE.

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

BY: _____

ATTEST: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____

PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS _____ DAY OF _____ A.D. 2018.

(SIGNATURE)

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY & ECONOMIC DEVELOPMENT, CITY OF ST. CHARLES

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____, A.D. 2018.

CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D. 2018.

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS

MAYOR

ATTEST: _____
CITY CLERK

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
) S.S.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____, ILLINOIS,
THIS _____ DAY OF _____, A.D. 2018.

COUNTY CLERK

FLOODPLAIN AND COMPENSATORY STORAGE EASEMENT PROVISIONS

A NON-EXCLUSIVE FLOODPLAIN AND COMPENSATORY EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR HEIRS, SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH OUTLOT A AS PLATED HEREON FOR THE PURPOSE OF ENFORCING FLOODPLAIN RESTRICTIONS ON USE OF OUTLOT A PURSUANT TO CITY CODES AND TO MAINTAIN THE VOLUME OF COMPENSATORY STORAGE CONSTRUCTED AND PROVIDED ON OUTLOT A IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PERMIT ISSUED FOR CRYSTAL LOFT CONDOMINIUMS. NO PERSON SHALL ALTER OR MODIFY THE PAVEMENT AND GROUND SURFACE ON OUTLOT A OR CAUSE A REDUCTION IN THE COMPENSATORY STORAGE BASINS AS CONSTRUCTED THEREON WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CRYSTAL LOFT CONDOMINIUM ASSOCIATION SHALL BEAR RESPONSIBILITY FOR THE MAINTENANCE AND UPKEEP OF OUTLOT A PURSUANT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE CONDOMINIUM DECLARATION RECORDED _____ AS DOCUMENT R _____. IN KANE COUNTY ILLINOIS, THE CITY OF ST. CHARLES SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE, REPAIR, OR REPLACE ANY COMPENSATORY STORAGE VOLUME DISPLACED THROUGH UNAUTHORIZED ACTIVITIES.

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
630.862.2100 Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: coid@cemcon.com Website: www.cemcon.com
DISC NO: 504015 FILE NAME: SUBPLAT
DRAWN BY: AJB FLD. BK. / PG. NO: 053/57-60
COMPLETION DATE: 04-26-18 JOB NO: 504.015
PROJECT REFERENCE: 026.005
REVISED 7-10-18/MMC-PER REVIEW LETTER DATED 6-8-18
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PLAT FILE CREATED BY: 07-10-18

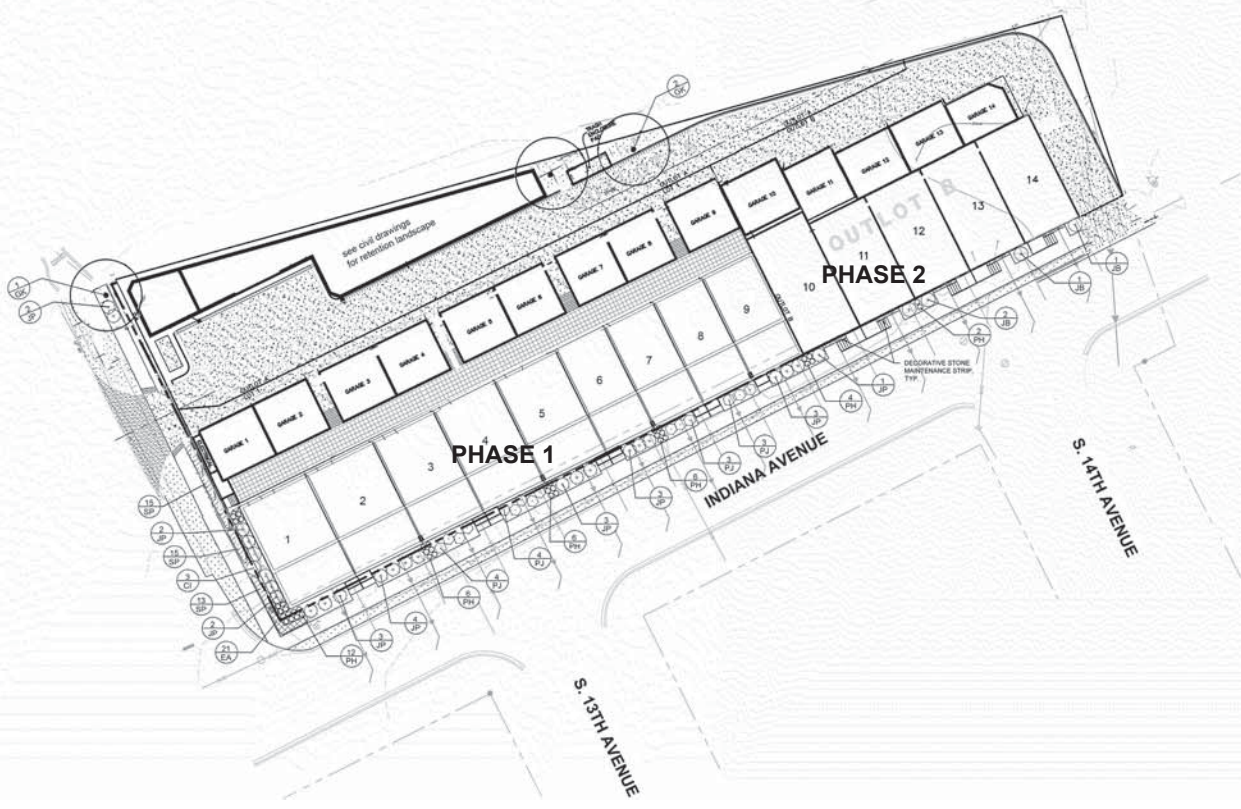
EXHIBIT "C"

MINOR CHANGE PLANS

PLANT SCHEDULE

SHADE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	
	OK	3	GYMNOCADUS DIOICA	KENTUCKY COFFEE TREE	B & B	2.5' CAL MIN SINGLE STEM	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	CI	18	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	-	SEE PLAN	30' HT MIN
	FJ	25	POTENTILLA FRUTICOSA 'JACKMAN'	JACKMAN'S POTENTILLA	-	SEE PLAN	24" HT MIN
	RG	33	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	-	SEE PLAN	24" HT MIN
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	BG	41	BUXUS X 'GREEN MOUND'	GREEN MOUND BOXWOOD	-	SEE PLAN	24" HT MIN
	JB	4	JUNIPERUS SABINA 'BLUE FOREST'	BLUE FOREST JUNIPER	-	SEE PLAN	24" SPREAD
	JP	29	JUNIPERUS CHINENSIS 'KALLAYS COMPACT'	KALLAY COMPACT PRITZER JUNIPER	-	SEE PLAN	24" HT MIN
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	PH	109	PANDOLM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL	24" OC	

PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING
	CC	49	COREOPSIS X 'CREME BRULEE'	CREME BRULEE/ICKSEED	1 GAL	18" OC
	EA	63	ECHINACEA PURPUREA 'ALBA'	WHITE CONEFLOWER	1 GAL	18" OC
	BA	83	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL	18" OC
	SP	97	SYMPHYOTRICHUM NOVAE-ANGLIAE 'PURPLE DOME'	NEW ENGLAND ASTER	1 GAL	18" OC
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	
	-2	---	SOD			
	D6	---	DECORATIVE STONE MAINTENANCE STRIP			



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
- SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SOD ALL AREAS WHICH ARE DISTURBED BY GRADING AND CONSTRUCTION.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- WEED FABRIC SHALL ONLY BE APPLIED UNDER DECORATIVE STONE APPLICATIONS. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

funk architects
 160 West Grand 300
 Chicago, IL 60611
 C: 312.536.9972
 F: 312.544.7055

CRYSTAL LOFT TOWNHOME CONDOMINIUMS. CONVERSION OF EXISTING BUILDING TO 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S. 13TH AVENUE
 ST. CHARLES ILLINOIS
 60174

OWNER:
 CRYSTAL LOFT TOWNHOMES LLC
 1847 W. BERTEAU
 Chicago, IL 60614
 T: 312.209.9502
 michaelheysse@gmail.com

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM WITH ALL PERTINENT CITY CODES AND ORDINANCES



#001-017106
 EXPIRES 11.30.2020

NO.	DATE	ISSUED FOR PERMIT CORRECTIONS	DESCRIPTION

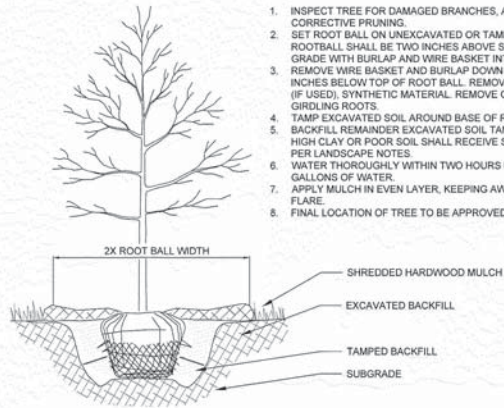
© JUNE 2019. ALL RIGHTS RESERVED BY THE FIRM OF FUNKE ARCHITECTS, L.L.C. A 901 9714 0018. IF REVISED, CHECK WITH FIRM FOR THE LATEST.

LANDSCAPE PLAN

L100

NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

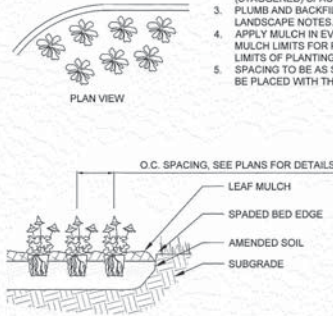


1 TREE PLANTING

NTS

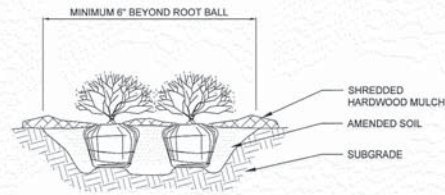
NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
4. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.



2 PERENNIAL PLANTING

NTS

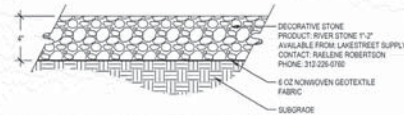


NOTES:

1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT GIRDLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

3 SHRUB PLANTING

NTS



4 DECORATIVE STONE MAINTENANCE STRIP

NTS



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CRYSTAL LOFT TOWNHOME CONDOMINIUMS. CONVERSION OF EXISTING BUILDING TO 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S. 13TH AVENUE
 ST. CHARLES ILLINOIS
 60174

OWNER:
 CRYSTAL LOFT TOWNHOMES LLC
 1847 W. BERTEAU
 Chicago, IL 60614
 T: 312.209.9502
 michaelheyse@gmail.com

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY CODES AND ORDINANCES



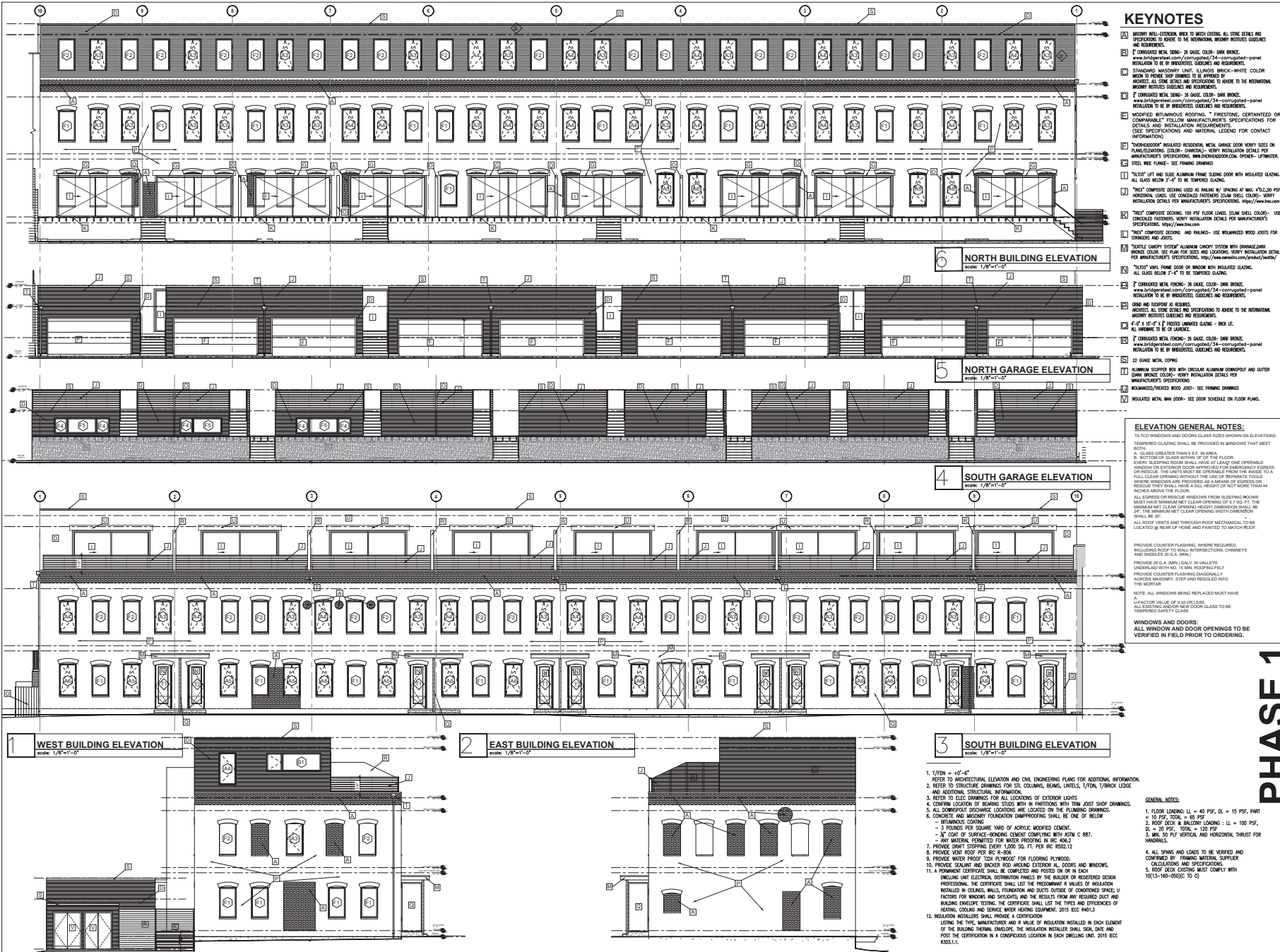
#001-017106
 EXPIRES 11.30.2020

NO.	DATE	ISSUED FOR PERMIT CORRECTIONS	DESCRIPTION

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LANDSCAPE DETAILS

L200



KEYNOTES

- A) MOUNT METAL-CLADDING BRACK TO MATCH EXISTING ALL STONE DETAILS AND SPECIFICATIONS TO REFER TO THE INTERVIEWS. MOUNT METALS NOTICES CANNOT ME REQUIREMENTS.
- B) CORRUGATED METAL SHEET - 28 GAUGE COLO.- DARK BRONZE. www.bridgepanel.com/corrugated/28-corrugated-panel NOTIFICATION TO BE BY BRIDGESHELL GLAZING AND REQUIREMENTS.
- C) CORRUGATED METAL SHEET - 30 GAUGE COLO.- WHITE. www.bridgepanel.com/corrugated/30-corrugated-panel NOTIFICATION TO BE BY BRIDGESHELL GLAZING AND REQUIREMENTS.
- D) CORRUGATED METAL SHEET - 28 GAUGE COLO.- DARK BRONZE. www.bridgepanel.com/corrugated/28-corrugated-panel NOTIFICATION TO BE BY BRIDGESHELL GLAZING AND REQUIREMENTS.
- E) CORRUGATED METAL SHEET - 28 GAUGE COLO.- DARK BRONZE. www.bridgepanel.com/corrugated/28-corrugated-panel NOTIFICATION TO BE BY BRIDGESHELL GLAZING AND REQUIREMENTS. * FINESTONE. COORDINATE OR COMPATIBLE. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR DETAILS AND MATERIALS. SEE SPECIFICATIONS AND MATERIAL LEGEND FOR CONTACT INFORMATION.
- F) "DOWNWOOD" RELATED RESIDENTIAL METAL GARAGE DOOR VERRY SIZES ON PLUMBING/ELECTRICAL. COLO.- DARK BRONZE. VERRY NOTIFICATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. www.downwood.com. OPER.- UP/INTER.
- G) STEEL VEE FLANGE - SEE FRAMING DRAWINGS.
- H) "LITTO" LIT AND SLICE ALUMINUM FRAME SLIDING DOOR WITH INSULATED GLAZING. ALL GLAZING BRACK 2'-4" TO BE TURRETTED GLAZING.
- I) "LITTO" COMPPOSITE SECTION USED AS RAILING W/ SPACING AT MAX. 47/16.20 PSF. NOTIFICATION. UNCL. USE CONCATED MATERIAL. GLAZ SHELL CLEAN. VERRY NOTIFICATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. http://www.funk.com
- J) "LITTO" COMPPOSITE SECTION. 100 PSF FLOOR LOADS. (GLAZ SHELL CLEAN). UNCL. USE CONCATED MATERIAL. VERRY NOTIFICATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. http://www.funk.com
- K) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- L) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- M) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- N) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
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- P) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- Q) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- R) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- S) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- T) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- U) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- V) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- W) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- X) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- Y) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.
- Z) "LITTO" COMPPOSITE SECTION AND RAILING - USE INSULATED WOOD JOIST FOR STRUCTURE AND JOIST.

6 NORTH BUILDING ELEVATION
scale: 1/8"=1'-0"

5 NORTH GARAGE ELEVATION
scale: 1/8"=1'-0"

4 SOUTH GARAGE ELEVATION
scale: 1/8"=1'-0"

3 SOUTH BUILDING ELEVATION
scale: 1/8"=1'-0"

1 WEST BUILDING ELEVATION
scale: 1/8"=1'-0"

2 EAST BUILDING ELEVATION
scale: 1/8"=1'-0"

ELEVATION GENERAL NOTES:

- TILT-TO WINDOW AND DOORS GLASS SIZE SHOWN ON ELEVATIONS.
- TURRETTED GLAZING SHALL BE PROVIDED BY WINDOWS THAT MEET BOTH:
A. GLASS GREATER THAN 6" X 12"
B. BOTTOM OF GLASS WITHIN 6" OF THE FLOOR.
- LOWER BALCONY RAILING SHALL HAVE AT LEAST ONE OPERABLE SECTION. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SPECIAL TOOLS. HINGED WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR REGULATE THEY SHALL HAVE A FULL HEIGHT OF NOT MORE THAN 4 FEET ABOVE THE FLOOR.
- ALL DOORS AND WINDOW FRAMES FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5'-0" FT. THE MINIMUM NET CLEAR OPENING HEIGHT UNLESS OTHERWISE SPECIFIED SHALL BE 2'-0" FT.
- ALL DOOR THRESHOLDS SHALL BE MOUNTED TO THE SUBSLAB AND BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF.
- PROVIDE COUNTER FLASHING, WHERE REQUIRED.
INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND GABLE ENDS.
- PROVIDE 2X 4 MIN. (LOCAL) WALLS/VEALS.
SECTIONAL VALUE OF 21.0 PER CODE.
PROVIDE COUNTER FLASHING DIAGONALLY.
INFORMEDLY, STEP AND REGULATED INTO THE MORTAR.
- NOTE: ALL WINDOWS BEING REPLACED MUST HAVE:
SECTIONAL VALUE OF 21.0 PER CODE.
ALL EXISTING AND NEW DOOR GLASS TO BE TURRETTED SAFETY GLASS.
- WINDOWS AND DOORS:
ALL WINDOW AND DOOR OPENINGS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.

1. 1/12" = 4'-0"
2. REFER TO ARCHITECTURAL ELEVATION AND CIVIL ENGINEERING PLANS FOR ADDITIONAL INFORMATION.
3. REFER TO STRUCTURE DRAWINGS FOR STL. COLUMNS, BEAMS, LINTELS, 1/16" 1/8"X8" LEDGE AND ADDITIONAL STRUCTURAL INFORMATION.
4. REFER TO ELEC DRAWINGS FOR ALL LOCATIONS OF EXTERIOR LIGHTS.
5. CONFORM LOCATION OF EXTERIOR LIGHTS WITH THAT OF EACH DOWN-ROOF DISCHARGE. LOCATIONS ARE LOCATED ON THE PLUMBING DRAWINGS.
6. ALL DOWN-ROOF DISCHARGE LOCATIONS ARE LOCATED ON THE PLUMBING DRAWINGS.
- 3" DIA. COPING
- 3" DIA. COPING FOR SQUARE AND OF ACHILLE WOODEN COPING.
- 3" DIA. COPING FOR SQUARE AND OF ACHILLE WOODEN COPING.
- 3" DIA. COPING FOR SQUARE AND OF ACHILLE WOODEN COPING.
- 3" DIA. COPING FOR SQUARE AND OF ACHILLE WOODEN COPING.
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- 3" DIA. COPING FOR SQUARE AND OF ACHILLE WOODEN COPING.
- 3" DIA. COPING FOR SQUARE AND OF ACHILLE WOODEN COPING.
7. ANY MATERIAL FURNISHED FOR WATER PROOFING IN RC 4002.
8. PROVIDE WATER PROOF TO BE COMPLETED AND POSTED ON OR IN EACH DWELLING UNIT ELECTRICAL DISTRIBUTION PANELS BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE TYPES AND SPECIFICATIONS OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. 2015 ECC R401.3
9. PROVIDE WATER PROOF TO BE COMPLETED AND POSTED ON OR IN EACH DWELLING UNIT ELECTRICAL DISTRIBUTION PANELS BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE TYPES AND SPECIFICATIONS OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. 2015 ECC R401.3
10. PROVIDE WATER PROOF TO BE COMPLETED AND POSTED ON OR IN EACH DWELLING UNIT ELECTRICAL DISTRIBUTION PANELS BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE TYPES AND SPECIFICATIONS OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. 2015 ECC R401.3
11. A FURNISHMENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN EACH DWELLING UNIT ELECTRICAL DISTRIBUTION PANELS BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE TYPES AND SPECIFICATIONS OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. 2015 ECC R401.3
12. INSULATION INSTALLATION SHALL PROVIDE A CERTIFICATION LISTING THE TYPE, MANUFACTURER AND R VALUE OF INSULATION INSTALLED IN EACH ELEMENT OF THE BUILDING EXCEPT WHERE THE INSULATION INSTALLED SHALL SHOW DATE AND POST THE CERTIFICATION IN A CONSPICUOUS LOCATION IN EACH DWELLING UNIT. 2015 ECC R401.1.



CRYSTAL LOFT TOWNHOMES. CONVERSION OF EXISTING BUILDING TO 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES
214 S. 13TH AVENUE ST. CHARLES ILLINOIS 60174

OWNER:
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michaelheise@gmail.com

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY CODES AND ORDINANCES



#001-017106
EXPIRES 11.30.2020

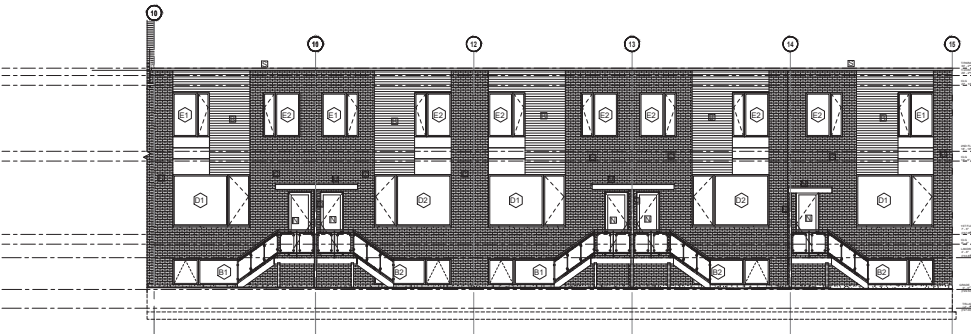
- NO. DATE DESCRIPTION
- 10.08.18 ISSUED FOR PERMIT CORRECTIONS

BY: **ELEVATIONS**
EXISTING BUILDING UNITS 1-9

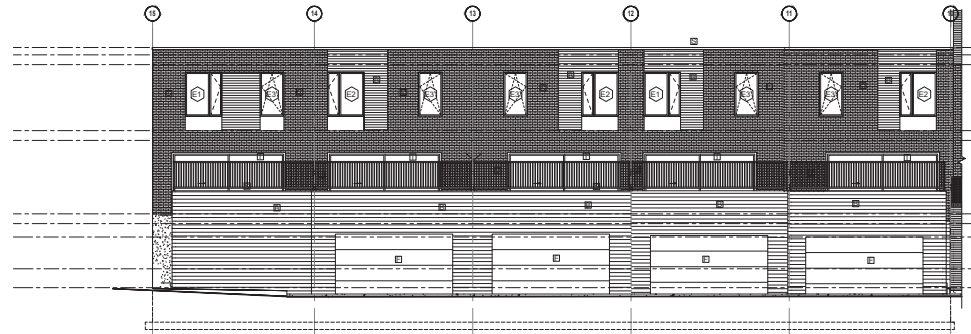
A200

PHASE 1

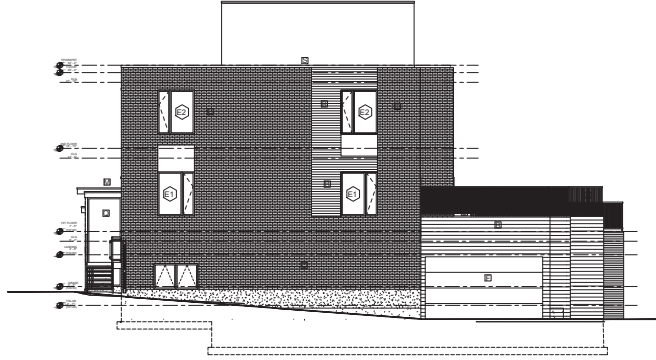
3 SOUTH BUILDING ELEVATION
scale: 1/8"=1'-0"



2 NORTH BUILDING ELEVATION
scale: 1/8"=1'-0"



1 EAST BUILDING ELEVATION
scale: 1/8"=1'-0"



KEYNOTES

- A MASONRY METAL-CLADDING BRICK TO MATCH EXISTING. ALL STONE DETAILS AND SPECIFICATIONS TO ADHERE TO THE INTERNATIONAL MASONRY INSTITUTE GUIDELINES AND REQUIREMENTS.
- F CORRUGATED METAL FINISH- 24 GAUGE COLOR- DARK BRONZE. www.bridgmetal.com/Corrugated/34-corrugated-panel INSULATION TO BE 8" BRIDGESTONE GLEASIES AND REQUIREMENTS.
- G STANDARD MASONRY UNIT- GLAZED BRICK-WHITE COLOR MASON TO FINISH SASH DAMAGED TO BE APPROVED BY MASONRY. ALL STONE SILE AND SPECIFICATIONS TO ADHERE TO THE INTERNATIONAL MASONRY INSTITUTE GUIDELINES AND REQUIREMENTS.
- H CORRUGATED METAL FINISH- 24 GAUGE COLOR- DARK BRONZE. www.bridgmetal.com/Corrugated/34-corrugated-panel INSULATION TO BE 8" BRIDGESTONE GLEASIES AND REQUIREMENTS.
- I BRIDGESTONE METALWORK FINISHING- FINISHING CERTIFICATE ON COMPANION. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR DETAILS AND INSTALLATION REQUIREMENTS. (SEE SPECIFICATIONS AND MATERIAL LEGEND FOR CONTACT INFORMATION).
- J "TOWNHOOD" INSULATED RESIDENTIAL METAL GARAGE DOOR VERIFY SIZES ON PLUMBING. COLOR- CHROME-2. VERIFY INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. WWW.TOWNHOOD.COM. OPEN- UP LETTER.
- K STEEL WEE FLANGE- SEE FRAMING DRAWINGS.
- L "TILTUP" LIFT AND SLIDE ALUMINUM FRAME GLAZING DOOR WITH INSULATED GLAZING. ALL GLAZING BRICK 2'-4" TO BE TOWNEID GLAZING.
- M "TWO" COMPOSITE DECKING USED AS RAILING W/ SPACING AT MAX. 47x1.20 PSF MINORIAL LOAD. USE CONCEALED FINGERJOINT (GLASS SHELL COLOR)- VERIFY INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. WWW.TWO.COM
- N "TWO" COMPOSITE DECKING- 100 PSF FLOOR LOADS (GLASS SHELL COLOR)- USE CONCEALED FINGERJOINT. VERIFY INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. WWW.TWO.COM
- O "TWO" COMPOSITE DECKING AND RAILINGS- USE POLYMERIZED WOOD JOISTS FOR STAIRCASE AND DECKING.
- P METAL CHIMNEY SYSTEM ALUMINUM CHIMNEY SYSTEM WITH DRAINAGE. GENERAL SIZES AS PER PLAN FOR INFO AND INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS. WWW.METALCHIMNEY.COM
- Q "TILTUP" WINE FRAME DOOR OF WINDOW WITH INSULATED GLAZING. ALL GLAZING BRICK 2'-4" TO BE TOWNEID GLAZING.
- R CORRUGATED METAL FINISH- 24 GAUGE COLOR- DARK BRONZE. www.bridgmetal.com/Corrugated/34-corrugated-panel INSULATION TO BE 8" BRIDGESTONE GLEASIES AND REQUIREMENTS.
- S BRICK AND TOWNEID AS REQUIRED. MASONRY ALL STONE DETAILS AND SPECIFICATIONS TO ADHERE TO THE INTERNATIONAL MASONRY INSTITUTE GUIDELINES AND REQUIREMENTS.
- T 2" x 1" x 1/2" x 1/2" FINES UNBRANDED GLAZING - BRICK UL.
- U 24 GAUGE METAL COPING
- V ALUMINUM SCRAPPER BOX WITH CIRCULAR ALUMINUM DOWNSPOUT AND OUTER DARK BRONZE COLOR- VERIFY INSULATION DETAILS PER MANUFACTURER'S SPECIFICATIONS
- W POLYMERIZED/PRECAST WOOD JOIST- SEE FRAMING DRAWINGS
- X INSULATED METAL WIND DOOR- SEE DOOR SCHEDULE ON FLOOR PLAN.

ELEVATION GENERAL NOTES:

- 1. TILTUP WINDOWS AND DOORS GLASS SIZES SHOWN ON ELEVATIONS.
- 2. TOWNEID GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH:
 - a. GLAZES GREATER THAN 6 FT. IN HEIGHT.
 - b. BOTTOM OF GLASS WITHIN 6" OF THE FLOOR.
- 3. WINDOW GLAZING SHALL HAVE AN ENERGY EFFICIENT RATING. WINDOW GLAZING SHALL BE PROVIDED FOR SCREENING PURPOSES OR REDUCE THE LOADS MUST BE OBTAINED FROM THE MANUFACTURER'S SPECIFICATIONS AND APPROVED BY THE ARCHITECT. ALL WINDOW GLAZING SHALL HAVE AN ENERGY EFFICIENT RATING. WINDOW GLAZING SHALL BE PROVIDED FOR SCREENING PURPOSES OR REDUCE THE LOADS MUST BE OBTAINED FROM THE MANUFACTURER'S SPECIFICATIONS AND APPROVED BY THE ARCHITECT. ALL WINDOW GLAZING SHALL HAVE AN ENERGY EFFICIENT RATING.
- 4. ALL SCREENING OR RESOLVE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5' 0". THE MINIMUM NET CLEAR OPENING HEIGHT OVERSCREEN SHALL BE 1' 0". ALL SCREENING OR RESOLVE WINDOWS FROM SLEEPING ROOMS SHALL BE 30".
- 5. ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF.

- PROVIDE COUNTER FLASHING, WHERE REQUIRED, INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND GABLES & SIA. BRN.
- PROVIDE 2x6 G. G. MIN. (LOCAL) WALLS/VERT. UNBRANDED WITH MAX. 15 MM. PROSP. FILL
- PROVIDE COUNTER FLASHING DIAGONALLY
- ADHERE MANUALLY. STEP AND REGULATED INTO THE MORTAR.

- NOTE: ALL WINDOWS BEING REPLACED MUST HAVE:
 - a. FACTORY VALUE OF 32.0 OR LESS.
 - b. ALL EXISTING AND/OR NEW DOOR GLASS TO BE TOWNEID SAFETY GLASS.
- WINDOWS AND DOORS:
 - 1. ALL WINDOW AND DOOR OPENINGS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.

PHASE 2

1. 1/2" x 1/2" x 1/2"
- REFERS TO ARCHITECTURAL ELEVATION AND CIVIL ENGINEERING PLANS FOR ADDITIONAL INFORMATION.
2. REFER TO STRUCTURE DRAWINGS FOR STL. COLUMNS, BEAMS, LINTELS, 1/2" X 1/2" X 1/2" BROOK LEDGE AND ADDITIONAL STRUCTURAL INFORMATION.
3. REFER TO ELEC DRAWINGS FOR ALL LOCATIONS OF EXTERIOR LIGHTS.
4. CONFIRM LOCATION OF BEARING STUDS WITH IN PARTITIONS WITH TRIM JUST SHIP DRAWINGS.
5. ALL DOWNSPOUT DISCHARGE LOCATIONS ARE LOCATED ON THE PLUMBING DRAWINGS.
6. CONCRETE AND MASONRY FOUNDATION DAMPROOFING SHALL BE ONE OF BELOW:
 - BITUMASTIC COATING
 - 3" FORTIFIED FOR SQUARE YARD OF ASPHALT MODIFIED CONCRETE
 - 3" COAT OF SURFACE-BONDING CEMENT COMPLYING WITH ASTM C 887.
 - 5" ANY MATERIAL FORTIFIED FOR WATER PROOFING IN IRC 408.2
7. PROVIDE SLOPE STOPPING EVERY 1200 SQ. FT. PER IRC 905.12.2
8. PROVIDE WIND ROOF PER IRC R-808
9. PROVIDE WATER PROOF COAT FLOORJOIST FOR FLOORING PLYWOOD.
10. PROVIDE SEALANT AND BACKER ROD AROUND EXTERIOR AL. DOORS AND WINDOWS.
11. A PERFORMANCE CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN EACH DWELLING UNIT ELECTRICAL DISTRIBUTION PANELS BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE PERFORMANCE R VALUES OF INSULATION INSTALLED IN CEILING, WALLS, FOUNDATION AND DUCTS OUTSIDE OF CONDITIONED SPACE. U FACTORS FOR WINDOWS AND DOORS, AND THE RESULTS FROM ANY REQUIRED DUCT AND BUILDING ENVELOPE TESTING. THE CERTIFICATE SHALL LIST THE TYPES AND SPECIFICATIONS OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. 2015 ECC R401.3
12. INSULATION INSTALLERS SHALL PROVIDE A CERTIFICATION LISTING THE TYPE, MANUFACTURER AND R VALUE OF INSULATION INSTALLED IN EACH DWELLING UNIT OF THE BUILDING INCLUDING THE INSULATION INSTALLER SHALL SIGN, DATE AND POST THE CERTIFICATION IN A CONSPICUOUS LOCATION IN EACH DWELLING UNIT. 2015 ECC R401.1.
- GENERAL NOTES:**
- 1. FLOOR (LOADING: LL = 40 PSF, DL = 15 PSF, PART = 15 PSF, TOTAL = 40 PSF)
 - 2. ROOF DECK & BALCONY (LOADING: LL = 100 PSF, DL = 20 PSF, TOTAL = 120 PSF)
 - 3. MAX. 50 PLF VERTICAL AND HORIZONTAL THRUST FOR WINDOWS.
 - 4. ALL SPINGS AND LOADS TO BE VERIFIED AND CONFIRMED BY FRAMING MATERIAL SUPPLIER CALCULATIONS AND SPECIFICATIONS.
 - 5. ROOF DECK EXISTING. MUST COMPLY WITH 10(1)-160-550(C TO D)



CRYSTAL LOFT TOWNHOME CONDOMINIUMS. CONVERSION OF EXISTING BUILDING TO 9 TOWNHOMES AND ADDITION OF 5 NEW TOWNHOMES

214 S. 13TH AVENUE
ST. CHARLES ILLINOIS
60174

OWNER:
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I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CITY CODES AND ORDINANCES



#001-017106
EXPIRES 11.30.2020

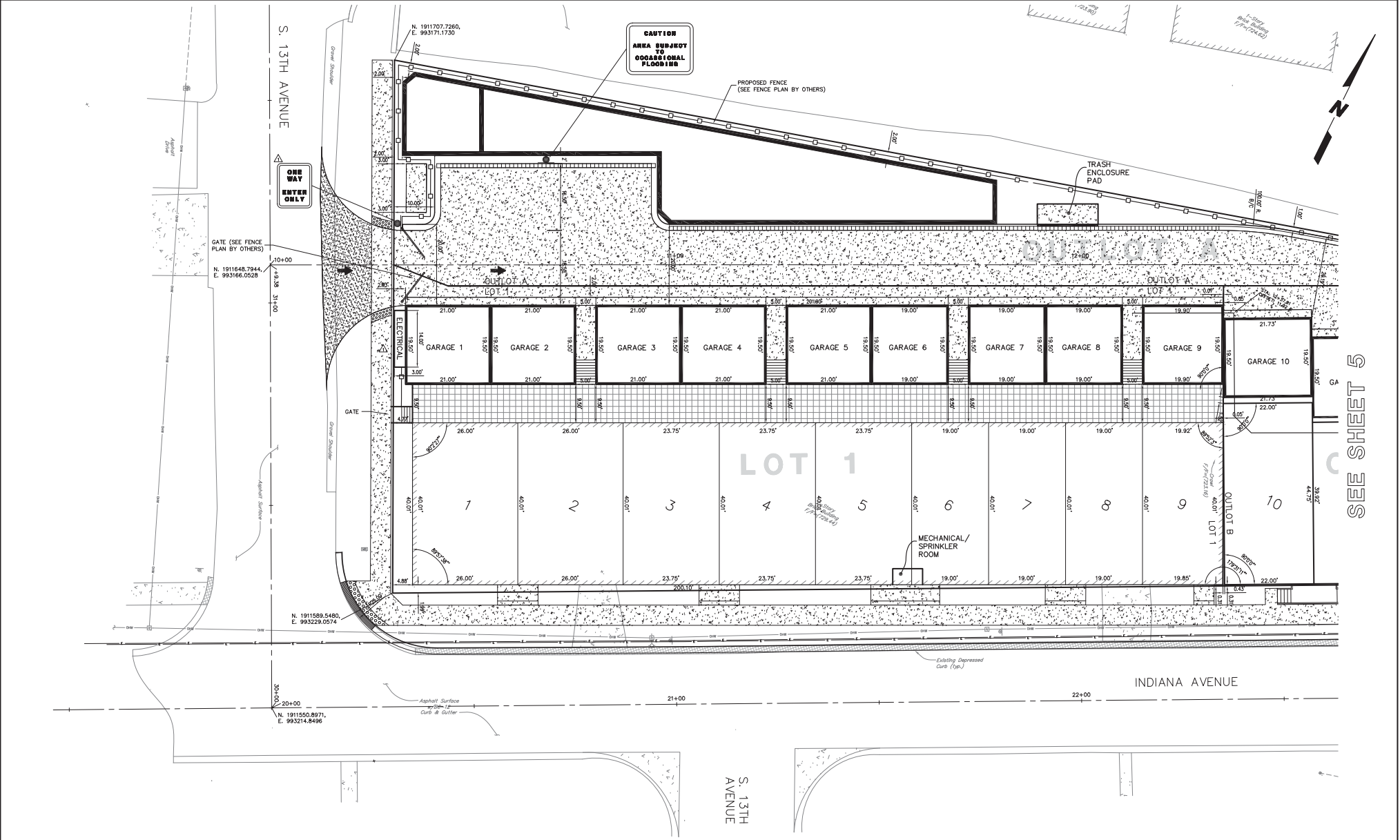
NO.	DATE	DESCRIPTION
10.08.18		ISSUED FOR PERMIT CORRECTIONS

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DATE: 11/15/2018
ELEVATIONS
NEW BUILDING UNITS 10-14

A210

PLOT FILE CREATED: 10/10/2018 11:02 AM BY HEATHER CAWNSHILL DRAWING LAST SAVED: 10/10/2018 9:28 AM BY HEATHER CAWNSHILL DRAWING PATH: P:\WORKSPACE\2018\DRAWINGS\FINAL DRAWINGS\GEOM



SEE SHEET 5

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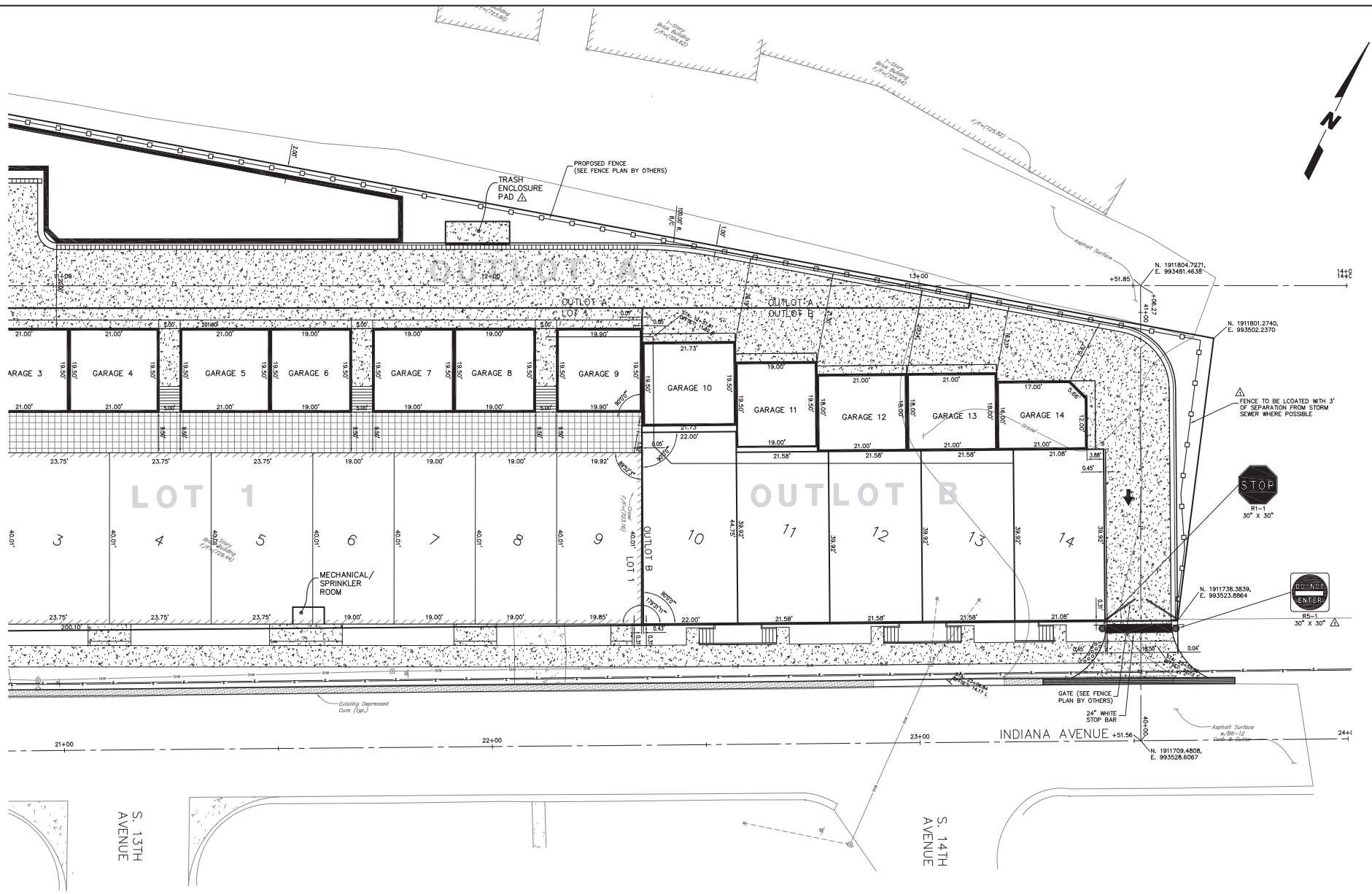
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	10-08-18/HAQ	REVISED PER CITY COMMENTS			

GEOMETRIC- STRIPING-SIGNAGE PLAN
CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: GEO DSGN. BY: RWB JOB NO.: 904.264 FLD. BK./PG.: --- SHEET NO. 04 of 26
 DIR: 904264 DRN. BY: RDS DATE: 08-13-18 SCALE: 1" = 10'

PLOT FILE CREATED: 10/10/2018 11:01 AM BY: KEATHER, CLAWSON. DRAWING LAST SAVED: 10/10/2018 9:28 AM BY: KEATHER. DRAWING PATH: P:\WORKSPACE\PROJECTS\CRAWSON\DRAWINGS\FINAL DRAFTING\GEOM.

SEE SHEET 4



PREPARED FOR:
FUNKE ARCHITECTS
 160 EAST GRAND SUITE 300
 CHICAGO ILLINOIS, 60611
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 Ph: 630.862.2100 Fax: 630.862.2199
 E-Mail: cadd@cemcon.com Website: www.cemcon.com

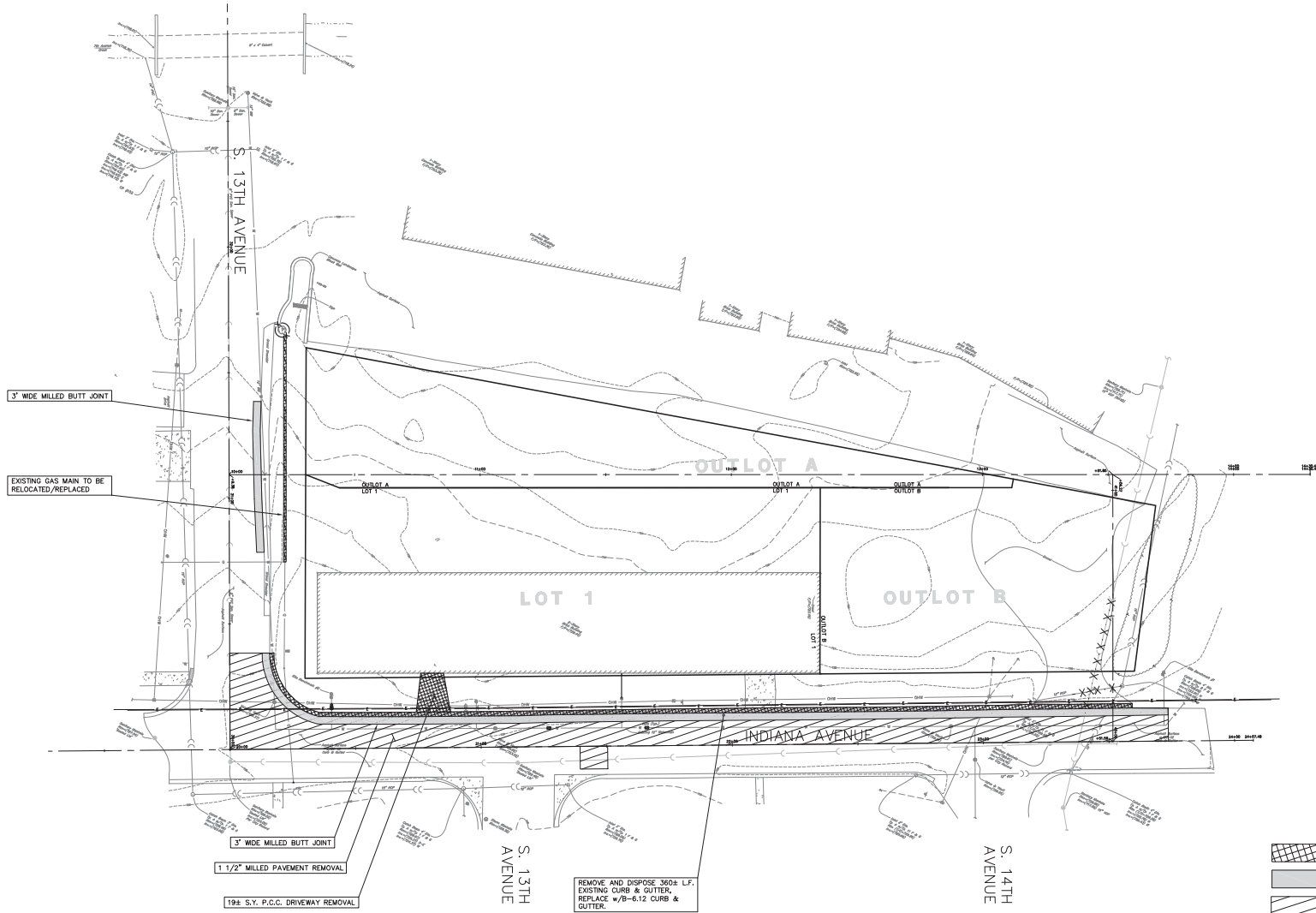
REVISIONS			
NO.	DATE	DESCRIPTION	
1	10-08-18/MAJ	REVISED PER CITY COMMENTS	

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GEOMETRIC—STRIPING—SIGNAGE PLAN
CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: GEO	DSGN. BY: RWB	JOB NO.: 904.264	FLD. BK./PG.: ---	SHEET NO.
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 10'	05 of 26

PLOT FILE CREATED: 10/20/2018 11:01 AM BY: HEATHER CLAWSON DRAWING LAST SAVED: 10/19/2018 3:08 PM BY: HEATHER DRAWING PATH: P:\304264\304264\DWG\DEMOS\CRISTAL\CRISTAL.DWG



- LEGEND**
- CONCRETE CURB AND GUTTER TO BE REMOVED
 - 2" THICK BY 3' WIDE MMA MILLED BUTT JOINT
 - 1 1/2" MMA MILLED PAVEMENT REMOVAL
 - UTILITY TO BE REMOVED
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE, WITH TREE PROTECTION FENCE, TO BE PRESERVED IN AS GOOD CONDITION. SEE LANDSCAPE PLANS FOR FURTHER INFORMATION.

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PREPARED FOR:
FUNKE ARCHITECTS
 160 EAST GRAND SUITE 300
 CHICAGO ILLINOIS, 60611
 (312) 344-1151



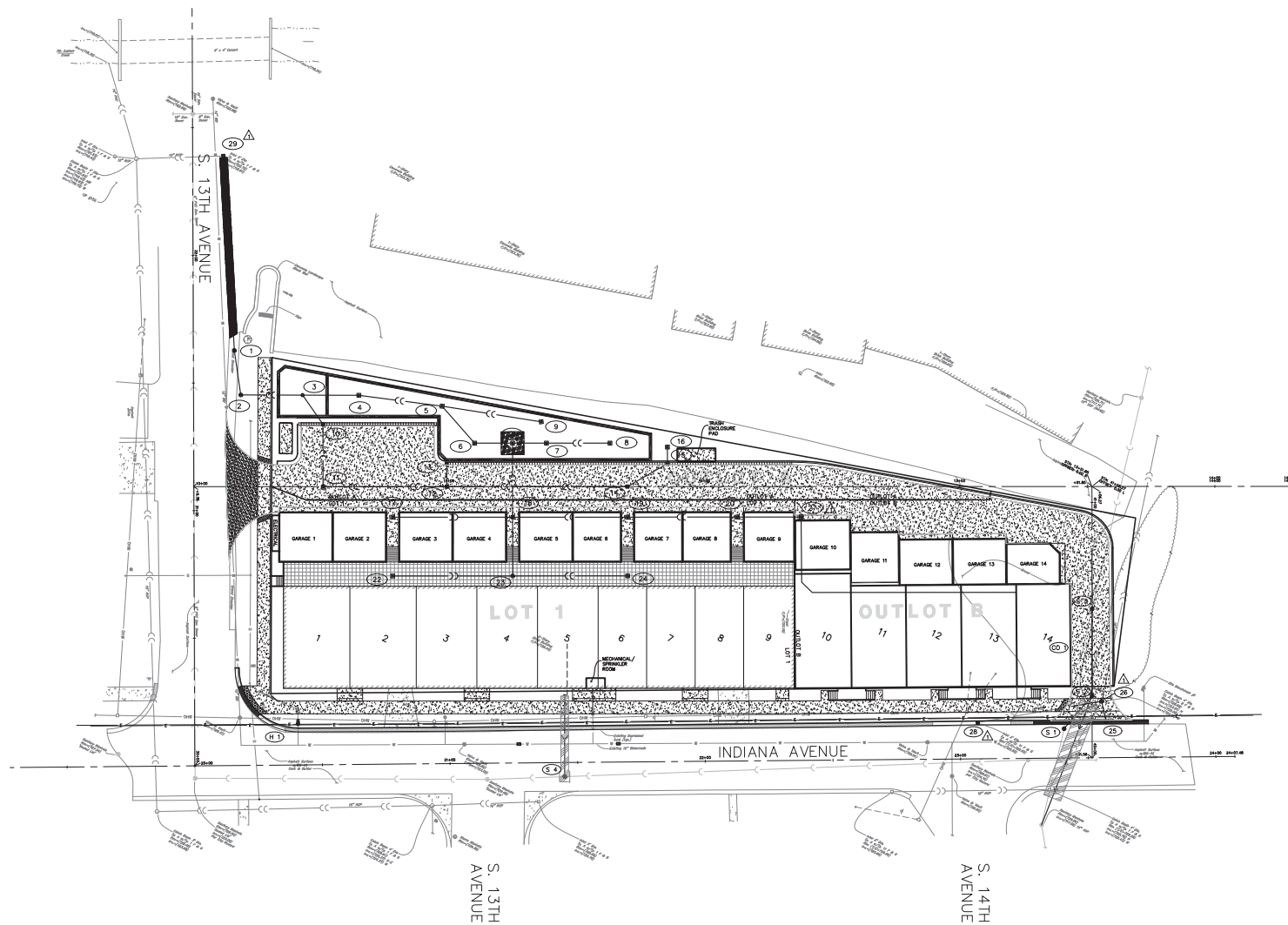
PREPARED BY:
CEMCON, Ltd.
 Consulting Engineers, Land Surveyors & Planners
 2280 White Oak Circle, Suite 100
 Aurora, Illinois 60502-9675
 Ph: 630.862.2100 Fax: 630.862.2199
 E-Mail: cadd@cemcon.com Website: www.cemcon.com

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

DEMOLITION PLAN
CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: UTILITY	DSGN. BY: RWB	JOB NO.: 904.264	FLD. BK./PG.: ---	SHEET NO. 06 of 26
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 20'	

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LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	⊙	MANHOLE
○	⊙	CATCH BASIN
○	⊙	INLET
○	⊙	CLEARCUT
⊥	⊥	SLOPE INLET BOX
⊥	⊥	HEADWALL
⊥	⊥	END SECTION
⊥	⊥	STORM SEWER
⊥	⊥	GUMM DRAIN CONDUIT
⊥	⊥	SANITARY SEWER
⊥	⊥	WATERMAIN
⊙	⊙	VALVE & BOX
⊙	⊙	WATER VALVE IN VAULT
⊙	⊙	FIRE HYDRANT
(No)	(No)	NUMBERING SYSTEM USED ON PLANS FOR DRAINAGE STRUCTURE IDENTIFICATION
(H No)	(H No)	NUMBERING SYSTEM USED ON PLANS FOR FIRE HYDRANT IDENTIFICATION
(V No)	(V No)	NUMBERING SYSTEM USED ON PLANS FOR VALVE & BOX IDENTIFICATION
(S No)	(S No)	NUMBERING SYSTEM USED ON PLANS FOR SANITARY MANHOLE IDENTIFICATION
(C No)	(C No)	NUMBERING SYSTEM USED ON PLANS FOR CLEARCUT STRUCTURE IDENTIFICATION

NOTE: ALL SANITARY SEWER SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.

ALL WATERMAIN SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.

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 160 EAST GRAND SUITE 300
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NO.		DATE	DESCRIPTION	REVISIONS	
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	10-08-18/HAJ	REVISED PER CITY COMMENTS			

OVERALL UTILITY PLAN

CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: UTILITY	DSGN. BY: RWB	JOB NO.: 904.264	FLD. BK./PG.: ---	SHEET NO. 07 of 26
DIR: 904264	DRN. BY: RDS	DATE: 08-13-18	SCALE: 1" = 20'	

FOR THE RECORD: 10/20/2015 11:50 AM BY: EARTH ENGINEER. DRAWING LAST SAVED: 10/20/2015 11:54 AM BY: EARTH ENGINEER. DRAWING DATE: 10/20/2015 11:54 AM BY: EARTH ENGINEER. DRAWING DATE: 10/20/2015 11:54 AM BY: EARTH ENGINEER.

CONSTRUCTION PERIOD	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
CONSTRUCTION PERIOD									
TEMPORARY FENCING									
STORMWATER									
SOIL PROTECT									

A. PREPARE TO MAINTAIN THE LINE/AGE
 WITH PERMANENT PROTECTION TO
 MAINTAIN AND OBTAIN THE FENCE AS
 INDICATED + 3 TOE STRAP MAINTENANCE.
B. PREPARE TO MAINTAIN THE LINE/AGE
 WITH PERMANENT PROTECTION TO
 MAINTAIN + 3 TOE STRAP MAINTENANCE.

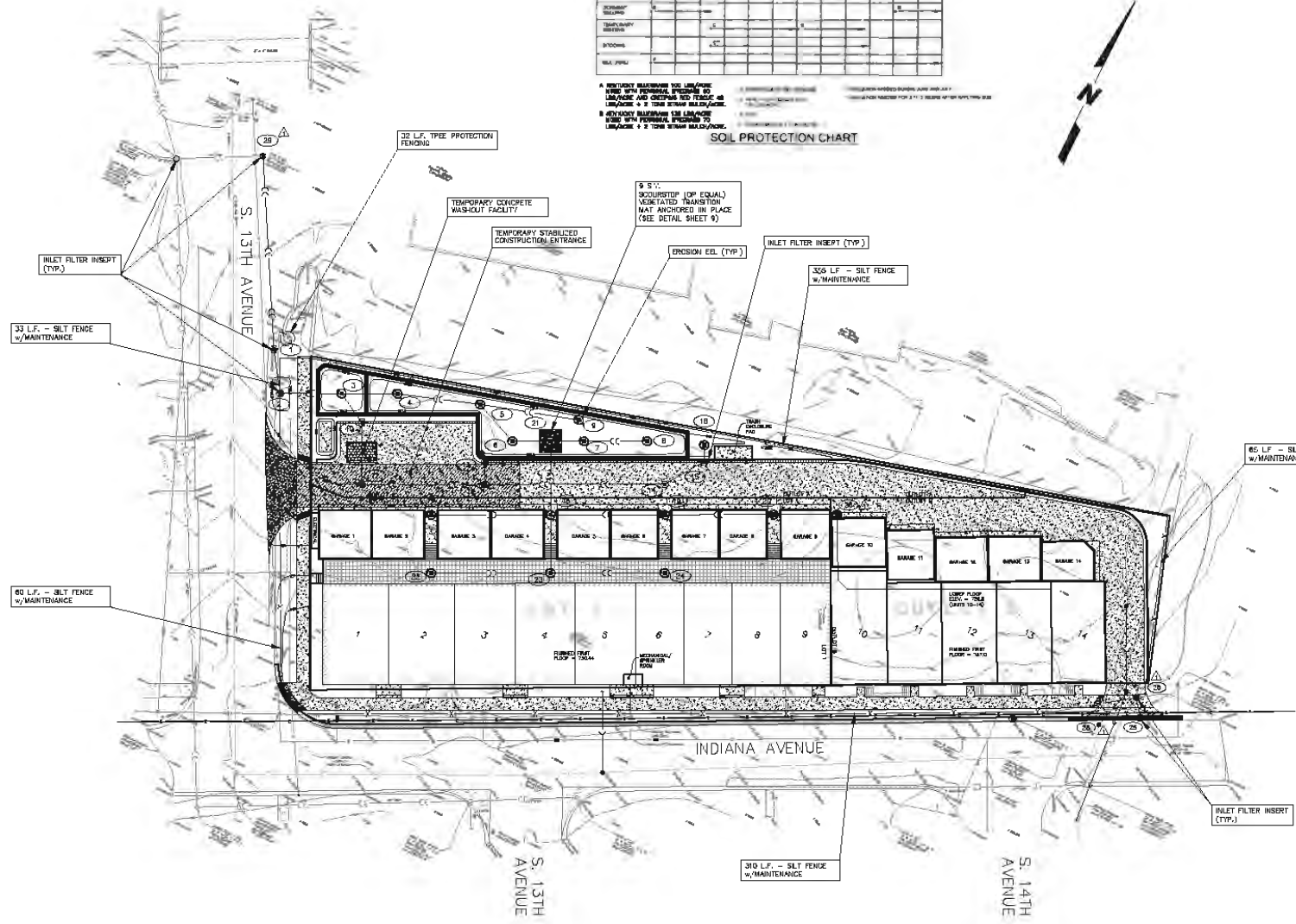
SOIL PROTECTION CHART



SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION

STANDARD:
 THE FOLLOWING PUBLICATIONS WILL BE USED AS A GUIDE FOR THE IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL.
 ILLINOIS ENVIRONMENTAL PROTECTION AGENCY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (1997)
 PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (OCT 1981)
 URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS. PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (JULY 1988)

- REQUIREMENTS:**
1. SEDIMENT AND EROSION CONTROLS SPECIFIED ON THE PLANS WILL BE FUNCTIONAL BEFORE ANY EARTHWORK OPERATIONS COMMENCE OR BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
 2. STOCKPILES OF EARTH MATERIAL WILL BE PLACED AT LOCATIONS AS INDICATED ON THE PLANS. A SILT FENCE WILL BE PLACED AROUND THE BASE OF THE STOCKPILE WHERE APPROPRIATE. STOCKPILES OF SOIL SHALL NOT BE LOCATED IN SPECIAL MANAGEMENT AREAS.
 3. SHOULD THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER EXCEED TEMPORARILY WORKABLE DURING CONSTRUCTION, THEN ADDITIONAL MEASURES TO PROTECT ADJACENT PROPERTIES AND SPECIAL MANAGEMENT AREAS CONSTRUCTION SHALL BE UNDERTAKEN.
 4. STORM SEWER INLETS SHALL BE PROTECTED BY SILT FENCE INLET PROTECTORS FOLLOWING INSTALLATION.
 5. WATER PUMPED OR OTHERWISE DEPRECIATED FROM THE SITE DURING CONSTRUCTION DEWATERING WILL BE FILTERED.
 6. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS AROUND THE TOP OF FOUNDATION.
 7. THE DESIGNATED CONSTRUCTION ACCESS ROAD WILL BE MAINTAINED WITH CONNECTION TO ADJACENT PUBLIC ROADWAY. THIS ACCESS ROAD WILL BE UTILIZED AS A VEHICLE ACCESS FROM AREAS TO PREVENT A DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ADJACENT ROADWAYS WILL BE SWEEP OR CLEANED OF SOIL MULTIMETERS OF EXCESSIVE MATERIALS AS NECESSARY BEFORE THE END OF EACH WORKDAY.
 8. ALL CONTROL MEASURES NECESSARY WILL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGH THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT EROSION CONTROL IS OPERATIONAL.
 9. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		MANHOLE CATCH BASIN
		INLET
		CLEANOUT
		INLET INLET BOX
		HEADWALL
		END SECTION
		STORM SEWER
		INLET OR MANHOLE FILTER INSET
		1/2' EROSION EEL
		ENERGY DISSIPATOR
		TRIANGULAR SILT DIKE W/MAINTENARDS
		SINGLE ROW SILT FENCE WITH MAINTENANCE
		DUAL ROW SILT FENCE WITH MAINTENANCE
		TREE TO BE REMOVED
		TREE PROTECTIVE FENCING
		STABILIZED CONSTRUCTION ENTRANCE
		SCOUR MAT
		TEMPORARY CONCRETE WASHOUT FACILITY
		OVERLAND FLOOD ROUTE

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PREPARED FOR:
FUNKE ARCHITECTS
 180 EAST GRAND SUITE 300
 CHICAGO ILLINOIS, 60611
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PREPARED BY:
CEMCON, Ltd.
 Consulting Engineers, Land Surveyors & Planners
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 Aurora, Illinois 60502-8875
 Ph: 630.862.2100 Fax: 630.862.2198
 E-Mail: eod@cemcon.com Website: www.cemcon.com

REVISIONS		
NO.	DATE	DESCRIPTION
1	10-08-15/16	REVISED PER CITY COMMENTS

STORMWATER POLLUTION PREVENTION PLAN
CRYSTAL LOFT TOWNHOME CONDOMINIUMS

FILE NAME: SOLERO DSGN. BY: RMB JOB NO.: 904.284 P.L.D. BK./Pg.: --- SHEET NO. 06 of 26
 DR: 904284 DRN. BY: RBS DATE: 08-13-16 SCALE: 1" = 20'

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, CHUCK AMENTA, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

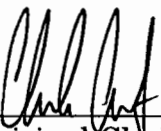
I further certify that on **November 5, 2018**, the Corporate Authorities of such municipality passed and approved Ordinance No. **2018-Z-31** entitled:

An Ordinance Granting Approval of a Final Plat of Subdivision for Crystal Loft Condominiums, Phase 1 and a Minor Change to PUD Preliminary Plan for Crystal Lofts PUD (214 S. 13th Ave.)

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. **2018-Z-31**, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on **November 12, 2018**, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this **5th** day of **November, 2018**.



Municipal Clerk

(S E A L)



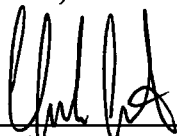
City of St. Charles, Illinois

Ordinance No. 2017-Z-21

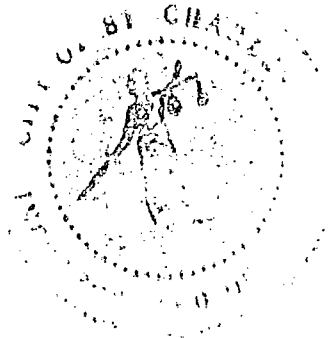
**An Ordinance Granting Approval of a Map Amendment,
Special Use for Planned Unit Development and PUD
Preliminary Plan for Crystal Lofts (214 S. 13th Ave).**

**Adopted by the
City Council
of the
City of St. Charles
December 18, 2017**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, December 27, 2017**



City Clerk



(SEAL)

City of St. Charles, Illinois
Ordinance No. 2017-Z- 21

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development, and PUD Preliminary Plan for Crystal Lofts
(214 S. 13th Ave.)**

WHEREAS, on or about October 16, 2017, Jeffrey Funke (the “Applicant”) filed petitions for 1) Map Amendment from M1 Special Manufacturing District to RM-3 General Residential District, 2) Special Use for Planned Unit Development, and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of renovating an existing building into 9 townhomes and constructing 5 additional townhomes; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about October 20, 2017 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about November 7, 2017 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan petitions on or about November 7, 2017; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about November 13, 2017; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.
2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the M1 Special Manufacturing District to RM-3

General Residential District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations, reduced copies of which are attached hereto, are hereby granted preliminary approval, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Engineering Plans, prepared by Kimley Horn, dated 12/11/17
- Landscape Plan, prepared by Kimley Horn, dated 12/11/17
- Architectural Plans, prepared by Funke Architects:
 - Elevations and Building Materials Sheets, received 10/17/17
 - Sheets A31, A32, dated 10/20/17
 - Sheets A10, A34 dated 11/21/17
- Subdivision Plat, prepared by Compass Surveying Ltd, dated 12/15/17

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the RM-3 General Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Stormwater:
 1. For portions of the site subject to the IDNR Conveyance Floodway agreement, existing regulatory FEMA floodplain, and proposed FEMA floodplain mapping, compensatory storage shall be provided in accordance with the City Code, and shall be subject to review and approval by the Director of Community & Economic Development and the Director of Public Works at the time of final engineering and stormwater permit review. A recorded covenant running with the land requiring maintenance of the compensatory storage volume shall be provided per the requirements of the City Code.
 2. The detached garages proposed on Lots 1 through 9 shall be individually permitted and constructed. Information submitted with the building permit applications shall demonstrate compliance with all applicable requirements of the City Code regarding detached structures within a floodplain. Details shall

be provided regarding anchoring of the structure, use of flood resistant material, use of water proof materials below the flood protection elevation, installation of service facilities above the flood protection elevation, construction cost, design of garage doors and flood vents, and signage and other preventative measures taken to prevent storage in area below 2 ft. above the base flood elevation. Elevation certificates shall be provided for each detached garage following the installation of the foundation and floor for approval by the Director of Community & Economic Development and the Director of Public Works prior to any additional work being completed on the structures.

3. For the attached garages proposed on Lots 10 through 14, information submitted with the building permit applications shall demonstrate compliance with all applicable requirements of the City Code regarding elevations of the structure outside of the floodplain areas. Elevation certificates shall be provided each garage following the installation of the foundation and floor for approval by the Director of Community & Economic Development and the Director of Public Works prior to any additional work being completed on the structures.
- c. Owners' Association: An owner's association shall be formed for purpose of maintaining all common elements within the development, including but limited to: the driveway parcel (Outlot A), all stormwater drainage improvements within the subdivision, and any private improvements approved to be located within City right-of-way. The association shall be responsible for enforcing the covenant over the compensatory storage area and maintaining or enforcing the maintenance of all structures or other improvements located within areas of the site subject to the IDNR Conveyance Floodway agreement, existing regulatory FEMA floodplain, proposed FEMA floodplain mapping and compensatory storage areas in accordance with final engineering plans, building permit approved plans and City Code requirements. The Declaration of Covenants establishing the owner's association and identifying all maintenance responsibilities of the association shall be provided for the review and approval by the Director of Community & Economic Development and Director of Public Works prior to the recording of the Final Plat of Subdivision.
 - d. Special Service Area: Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities (including all compensatory storage areas) and other related facilities serving the Subject Property. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other related facilities are not adequately maintained by the Owner's Association, lot owners or successors.

e. Utilities:

1. The existing overhead utility poles along the Indiana Avenue frontage of the subject property, including all attached electrical wires and equipment and all other public or private utilities attached to the poles, shall be removed and relocated below grade.
2. Utilities services to the residential units shall be provided in accordance with the requirements of the City Code, and subject to review and approval of the Director of Community & Economic Development and the Director of Public Works at the time of building permit.
3. The Sanitary Sewer located east of the building may be considered for realignment as determined by the City after an evaluation and determination of hydraulic impacts. If adverse impacts are determined and cannot be mitigated to the satisfaction of the Director of Public Works, the sanitary sewer shall not be realigned, and the building footprint shall be adjusted to provide an adequate separation from the sanitary sewer.

f. School and Park Contributions: The Park and School contributions shall be provided by the Applicant as cash in lieu of land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.

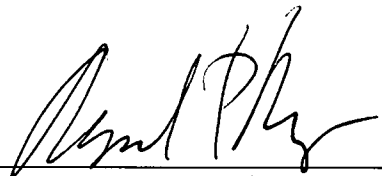
g. Inclusionary Housing: The Inclusionary Housing contribution shall be provided by the Applicant as cash in lieu of affordable units in accordance with the provisions of Title 19 of the St. Charles Municipal Code, as the same may be amended from time to time.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.


PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of December, 2017.


Raymond P. Rogina, Mayor

Attest:



Chuck Amenta, City Clerk



Vote:
Ayes: 10
Nays: 0
Absent: 0
Abstain: 0
Date: _____

APPROVED AS TO FORM:

City Attorney

DATE: _____

State of Illinois)
)
) ss.
Counties of Kane and DuPage)

Certificate

I, CHUCK AMENTA, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on December 18, 2017, the Corporate Authorities of such municipality passed and approved Ordinance No. 2017-Z-21, entitled

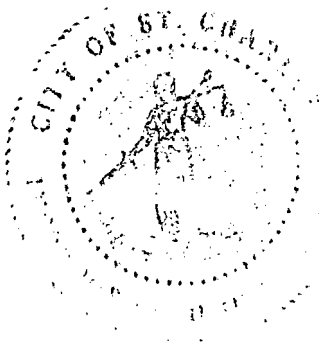
"An Ordinance Granting Approval of a Map
Amendment, Special Use for Planned Unit
Development and PUD Preliminary Plan for Crystal
Lofts (214 S. 13th Ave)."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2017-Z-21, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on December 27, 2017, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 18th day of December, 2017.

(S E A L)





Municipal Clerk

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF BLOCK 5 OF W. H. WILCOX SECOND ADDITION TO ST. CHARLES AND THAT PART OF VACATED INDIANA AVENUE, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 5; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK AND SAID WEST LINE EXTENDED 131.5 FEET TO A LINE DRAWN PARALLEL WITH AND 4 FEET SOUTHERLY OF, MEASURED AT RIGHT ANGLES THERETO THE SOUTHERLY LINE OF SAID BLOCK 5; THENCE EASTERLY ALONG SAID PARALLEL LINE AND SAID LINE EXTENDED TO THE EASTERLY LINE OF SAID BLOCK 5; THENCE NORTHERLY ALONG SAID EASTERLY LINE TO THE NORTHEAST CORNER THEREOF; THENCE NORTHERLY ALONG SAID NORTHERLY LINE 344.4 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT “B”

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The current zoning of the existing property is manufacturing M-1. The neighboring properties to the north and east are also M-1. The neighboring properties to the south and west are residential; RT-3.

2. The extent to which property values are diminished by the existing zoning restrictions.

The existing M-1 zoning prohibits the use of residential for the existing building and existing property. Economics, location, the existing building and site prohibit its existing zoning use. The building is deteriorating under the current conditions. The residential use will allow for a new use for the building and site. This proposed use will complement the existing residential to the south and west and offer a great transition to the manufacturing to the north and east of the site.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The existing building does not lend itself to a modern manufacturing facility. The building is deteriorating and in the future, walls and the roof will collapse if the building is not renovated.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The existing M-1 zoning is not suitable for this type of property. To the south and the west you have single-family homes creating zoning uses that do not complement each other. The location of the site does not lend itself to truck and manufacturing traffic. The building is not adequate for a modern manufacturing facility. The size and location prohibit the function of such a use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

The building in its current state is deteriorating and does not function as a warehouse. If the property is not re-developed the building will eventually need to be demolished to avoid collapse if left on its own.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

Currently there is a need for new housing product in the St. Charles area. The proposed residential district will allow for new residential product. The existing zoning, M-1, is

obsolete and does not allow for vehicular traffic, building size and location suitable for industrial and/or manufacturing.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

Multi-Family Residential will make for a great buffer to the commercial buildings to the north and the east. It will also blend in nicely with scale and its use to the residential zoning on the south and the west.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed zoning will facilitate residential development in the area. The renovation of the existing building and the new (5) town homes will activate Indiana Avenue.

9. The extent to which the proposed amendment creates nonconformities.

The proposed amendment will help the existing property to conform with the surrounding residential properties. The re-use of a vacant building will promote development and compliment the residential community around the site.

10. The trend of development, if any, in the general area of the property in question.

The new zoning will activate the residential development in the area. The town homes will offer amenities that will promote residential and increase property values in the neighborhood.

EXHIBIT "C"

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The new development will re-purpose an existing deteriorated building. It will also create new residential housing that will increase the values of the neighboring properties, create density and create a beautiful setting for architecture, landscape and a residential presence that will complement the street and neighborhood.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The PUD will offer the new use of an existing historic building. It will also activate a once dormant building. Relocation of power lines underground, new sidewalks, landscaping and fencing will also beautify the area.

The Heinz Crystal building has been a part of the St. Charles fabric for over 100 years. The renovation of the existing building will allow residents to enjoy its history and architecture. The new (5) town homes offer a modern design that will complement the existing building and offer design innovations not found in the market place.

The existing and new buildings will be renovated with energy-efficient materials lowering the utility costs of the future residents. The storm water management techniques are being modernized to facilitate the new development.

Coverage deviates from the code to allow for the renovation of the existing building. Factors include the existing site conditions, building size and economics restricting the development from adhering to all of the RM-3 requirements. The required Front Yard Setback, Side Yard Setbacks, Lot Width and Building coverage will deviate from the RM-3 District.

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The architecture of the Crystal Loft Townhomes incorporates a historic building that has been an economic and architectural staple in the community. The building has stood on its location for over 100 years and originally served as the leading manufacturing of crystal in the United States. The architecture will be preserved and serve as an architecturally significant structure for many years to come.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The Crystal Lofts will be relocating the existing power lines on Indiana to underground. New sidewalks and decorative fencing will surround the site on the west, north and east ends. The drainage and utilities will be improved to accommodate the new development.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The Crystal Lofts development team has been working with the City of St. Charles to produce a product that compliments the current needs in St. Charles. We have also addressed the public concerns about parking adding additional parking spaces on the north side of the property to accommodate guests.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The townhomes compliment the residential single family homes to the west and the south and act as a nice architectural transition to the industrial buildings on the east and the north.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The Crystal Lofts will be relocating the existing power lines on Indiana to underground. New sidewalks and decorative fencing will surround the site on the west, north and east ends the drainage and utilities will be improved to accommodate the new development.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The Crystal Loft Town homes will adhere to all State and local building codes

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The architecture of the Crystal Loft Townhomes incorporates a historic building that has been an economic and architectural staple in the community. The building has stood on its location for over 100 years and originally served as the leading manufacturing of crystal in the United States. The architecture will be preserved and serve as an architectural significant structure for many years to come.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed PUD conforms to all purposes and intent of the Comprehensive Plan by the renovation of an existing historic building that has been in the city of St. Charles for over 100 years. The development of new residential units in an existing warehouse maintains the character of the street. It will provide a catalyst for residential development on the east side of town. The development will create a transition from single family homes to the industrial to the east.

EXHIBIT "E"

PUD DEVIATIONS

Table 17.12-2 Residential District Bulk Requirements – RM-3 District	
Minimum Lot Area	2,363 sf. per unit based on total site area
Minimum Lot Width	18.98 ft. per townhome lot
Maximum Building Coverage	58% of total site area
Maximum Building Height	40 ft./ 3 stories
Minimum Front Yard	0 ft. along Indiana Ave.
Minimum Interior Side Yard	0 ft. for townhome lots, 10 ft. from building to east property line
Minimum Exterior Side Yard	0 ft. along 13 th Ave.
Minimum Rear Yard	0 ft. for townhome lots, 14.75 ft. from buildings to north property line
Landscape Buffer Yard	None required
Chapter 17.26 Landscaping and Screening	
Minimum percentage of a parcel that is landscaped- 17.26.060	To be provided per Preliminary Landscape Plan
Building Foundation Landscaping- 17.26.080	To be provided per Preliminary Landscape Plan
Public Street Frontage Landscaping- 17.26.090	To be provided per Preliminary Landscape Plan
Chapter 17.06 Design Review Standards & Guidelines	
Maximum number of townhomes attached in a row 17.06.050.A.4	14 townhomes units may be attached in a row



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 4d

Title:

Recommendation to Approve Amendments to Title 18 – Stormwater Management Ordinance (Extension of Project Exemptions to December 2021)

Presenter:

Monica Hawk, Development Engineer II

Meeting: Planning & Development Committee

Date: December 14, 2020

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

In June of 2019, City Council approved revisions to the City Code to adopt the 2019 updates to the Kane County Stormwater Management Ordinance. The revisions included a list of developments to be exempt from the changes to the ordinance. The exemption allowed those projects, which were under review by the City at the time of the update, to continue following the requirements of the “old” ordinance without having to redesign their plans to meet the revised ordinance. Developers of these “exempt” projects would then have the option to follow either the old or new ordinance. The list of exempt developments, along with their Stormwater permit status, is attached as Table 1.

The exemption will expire on December 31, 2020. An extension is needed for developments to continue being exempt from the changes to the ordinance. Staff recommends a 1-year extension, set to expire on December 31, 2021, for certain projects as outlined below:

- Stormwater Permit Issued/Under Construction: The exemption is no longer needed for projects where permit was issued, as is the case for five developments. These projects can be removed from the exemption list as their permits will remain valid going forward.
- Stormwater Permit/Engineering Review Complete, Pending Approval: Staff recommends extensions for developments with approved engineering that are pending administrative submittal, such as a financial guarantee. This is the case for two developments.
- Approved Project Plans: Staff recommends extensions for developments with approved Subdivision or Planned Unit Developments (PUD’s) that have not yet obtained stormwater permits, as is the case for three developments.
- Inactive Project/No plan approval: Staff does not recommend extension for developments where a PUD or a preliminary design has not been submitted for review or approved. Staff does not believe there is a basis for an extension, as is the case for Prairie Place Lofts, which was reviewed as a Concept Plan only. Staff recommends the development be removed from the exempt development list as the project is inactive since the Concept Plan review in June 2019.

Attachments (please list):

Exhibit A - Recommended Amendments to City Code Title 18 – Stormwater Management Ordinance
Table 1 - Exempt Development List and project status

Recommendation/Suggested Action (briefly explain):

Recommendation to Approve Amendments to Title 18 – Stormwater Management Ordinance

Exhibit A - STORMWATER MANAGEMENT ORDINANCE



- O. Article XV, 9-403.E is deleted in its entirety and the following inserted therefore:
The exemption for projects listed in Article XV, 9-403.F shall expire on December 31, 2021, unless an extension is granted by the oversight committee.
- P. Article XV, 9-403.F shall be appended to Article XV, 9-403 and shall read as follows:
“The following list of projects defined by Tax Assessment P.I.N. numbers or address shall be considered exempt from the changes to the Kane County Stormwater Management Ordinance at the Revision Date:
1. Crystal Lofts – 214 S. 13th Ave – 14-unit multi-family residential – PIN 0927484005
 2. Parkside Reserves - 1337 Geneva Rd – 3-unit multifamily residential – PIN 0934476002
 3. Hillcroft – 1147 Geneva Rd. – 2 lot residential – PIN 0934404024, 0934404025
 4. Pride Gas Station – 33W573 Rt. 64 – PIN 0925100036
 5. 60 S. 14th St. – 8-unit apartment – PIN 0933128026

Table 1 - Exempt Development List and project status

Exempt Developments	Permit Issued Under Construction ¹	Stormwater Permit/Engineering Review Complete, Pending Approval	Approved Project Plans	Inactive Project/No plan approval
1 Extreme Clean Car Wash – 1625 W. Main Street	x			
2 Cityview Subdivision – 895 Geneva Road	x			
3 Crystal Lofts – 214 S. 13th Ave		x ²		
4 Parkside Reserves - 1337 Geneva Rd			x	
5 Hillcroft – 1147 Geneva Rd.			x	
6 Meijer Outlots	x			
7 Brooke Toria Estates	x			
8 Pride Gas Station			x	
9 60 S. 14th St.		x		
10 Prairie Place Lofts – Lot 7 of Pheasant Run Crossing				x
11 1812 and 1818 Riverside	x			

1 - extension not needed

2 - subject to PUD extension

 Recommend for Removal
 Recommend for Extension



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4e

Title:

Discussion and feedback on the proposed First Street Plaza configurations for expanded temporary outdoor dining in 2021

Presenter:

Ciara Miller, Economic Development Planner

Meeting: Planning & Development Committee

Date: December 14, 2020

Proposed Cost: \$

Budgeted Amount: \$0

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

On November 24th, staff was notified of a request from Alter Brewing asking that the City begin reviewing the Temporary Outdoor Dining program for 2021 as soon as possible. The reason for this request is so the restaurants have time to plan for the upcoming outdoor dining season and order any necessary equipment and furniture which may take weeks to come in. Staff is seeking feedback on the redesigned configurations for the use of the City’s plazas presented as Option A (First Street Open) and Option B (First Street Closed) below.

Revised West Plaza Dining Plan - Option A (First Street Open):

Option A (see attached map and exhibits) contemplates a scenario where First Street remains open to vehicle traffic while increasing the amount of plaza space that is open to the general public. The area that restaurants can use for table service is scaled back compared to the plan that was approved for the 2020 outdoor dining season, but it is still extended beyond what was permitted pre-COVID.

- By shifting La Mesa’s outdoor dining area to the front of the building (facing First Street) it is possible to open significantly more space in the heart of the West Plaza to be utilized by the general public while still offering expanded outdoor seating for the adjacent restaurants.
- La Za Za’s is primarily occupying their private property, with the exception of the sidewalk café area that they typically install annually at the corner of Main and First Street.
- Gia Mia’s has full access to the western-most circle of the plaza but is using less of the sidewalk compared to 2020.
- As proposed McNally’s would utilize the space that is immediately adjacent to their building, a portion of which is on their private property. This configuration eliminates the issue of carrying food and drinks across the public walkway to the tables that were physically separated from their private patio area in 2020.
- Alter Brewing is given the same access to the East Plaza as they were granted in 2020, but they are not permitted to use the sidewalk in front of their building for outdoor dining in this option due to First Street being open.

Revised West Plaza Dining Plan - Option B (First Street Closed):

Option B (see attached map) presents an alternative where First Street is temporarily closed to vehicle traffic again as we did in 2020. This allows restaurants to be able to use more space than is possible in Option A. The advantage to closing First Street is that it increases pedestrian and diner safety by eliminating traffic and creating a unique, pedestrian-friendly environment and experience. However, with First Street Building 2 attracting new tenants and getting closer to full occupancy, it is necessary to consider the other businesses who would be directly impacted by the road closure that were not a factor in Summer 2020.

Even if First Street is closed, staff would prefer that sidewalks remain open for pedestrian movement. The sidewalks are too narrow to accommodate both outdoor dining and an ADA walkway, and since the sidewalks and ramps were designed to be compliant with ADA requirements, it would be preferred that we maintain them as dedicated walkways and shift any additional restaurant-specific outdoor dining area to the street (as shown in the attached Option B map).

This layout presents an opportunity for La Mesa, La Za Za's and Alter Brewing to expand their outdoor dining area and establishes a significant amount of additional space to be used by the general public. It was observed over the past outdoor dining season that the areas designated for use by the general public in the closed portion of First Street and East Plaza were widely used and popular among residents, especially on weekends and in the evening hours.

Design Standards

If the Committee is interested in establishing design standards for fencing (used to demarcate a restaurant's exclusive outdoor dining area) and table umbrellas, staff can bring back a proposal at a future meeting with suggested guidelines. It is staff's recommendation to not include design standards on features such as tables and chairs since this is a way for the restaurants to distinguish themselves from each other and incorporate an aesthetic that represents their brand.

Licensing/Permit Fees

Staff received direction at the Fall Council Retreat that the Council was generally in agreement that the City would not seek permit fees or a license-fee option until our region was in Phase 5. Staff is seeking affirmation that this is still the direction from the Council.

Next Steps:

Staff is not proposing any amendments to the previously approved Temporary Outdoor Dining Program Guidelines or Permit Application. Restaurants will still be required to submit an indemnification form that the City's Legal Counsel drafted specifically for this purpose. Additionally, restaurants utilizing public property for temporary outdoor dining are required to provide the City with a certificate of insurance demonstrating adequate coverage and listing the City as additionally insured.

Staff is seeking feedback from the Committee on the proposed use of the public plazas and First Street for expanded temporary outdoor dining Spring – Fall 2021. Based on the feedback from Committee, staff will bring back the necessary Ordinances and Resolutions required for the program to continue in 2021.

Attachments *(please list):*

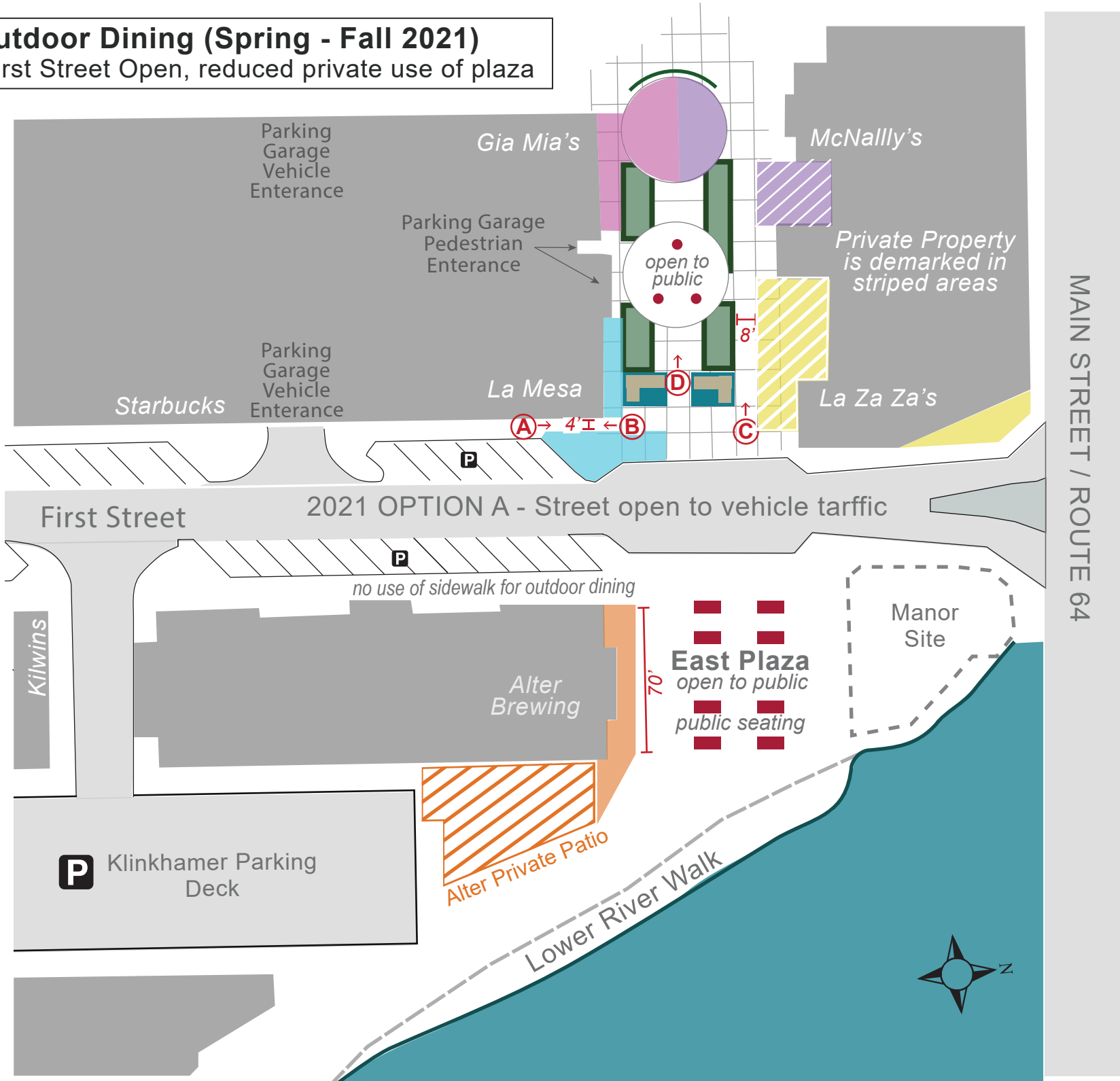
- Option A – Map
- Option B – Map
- Exhibit Images

Recommendation/Suggested Action *(briefly explain):*

Discussion and feedback on the proposed First Street Plaza configurations for expanded temporary outdoor dining in 2021

First Street Outdoor Dining (Spring - Fall 2021)
OPTION A - First Street Open, reduced private use of plaza

- Outdoor Dining Legend**
- La Za Za's
 - Alter Brewing
 - Gia Mia's
 - McNally's
 - La Mesa
 - Picnic Bench
 - 3' Round table
 - Exhibit image and direction
 - Planter Box



First Street Outdoor Dining (Spring - Fall 2021)

OPTION B - First Street Closed, additional space for public dining and restaurants in the street

Outdoor Dining Legend

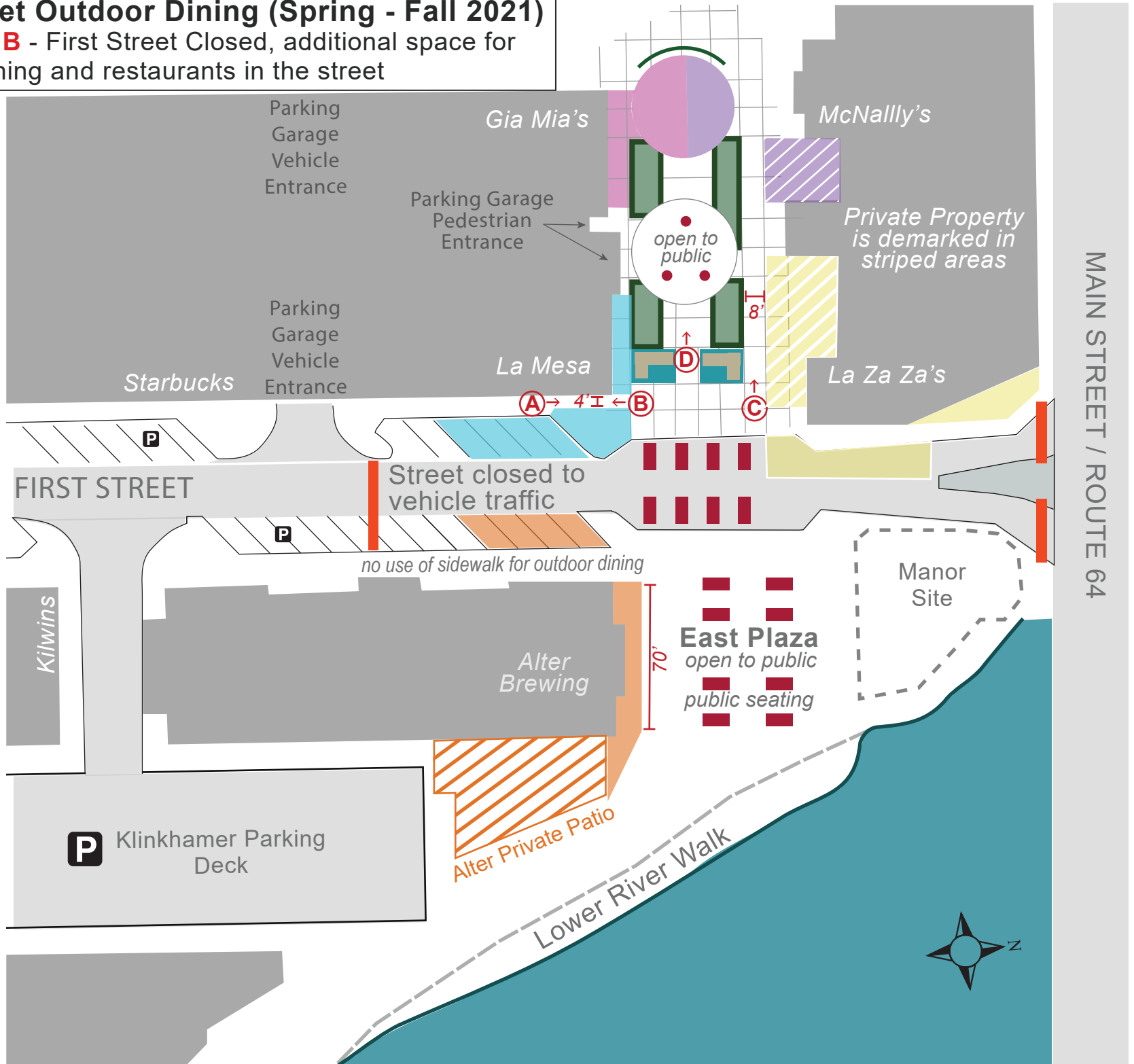
- La Za Za's
- Alter Brewing
- Gia Mia's
- McNally's
- La Mesa

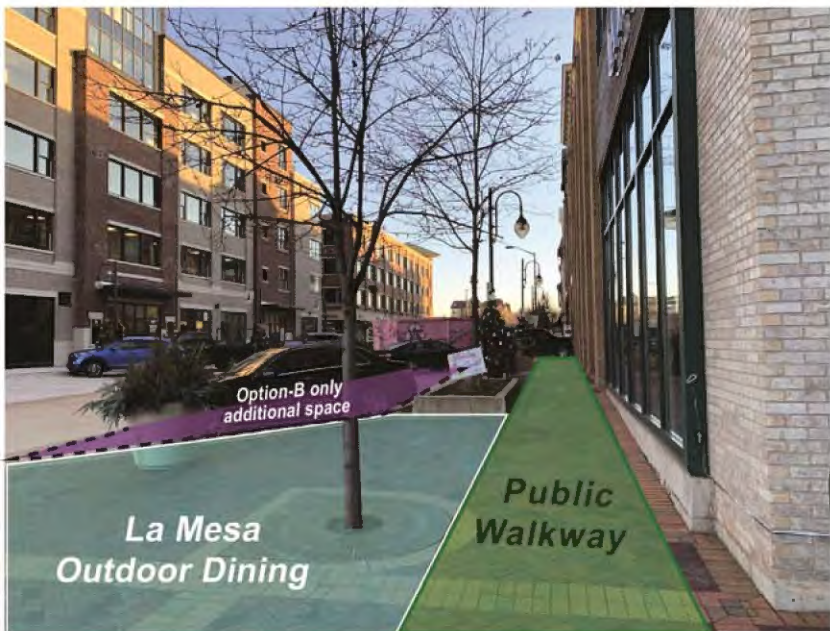
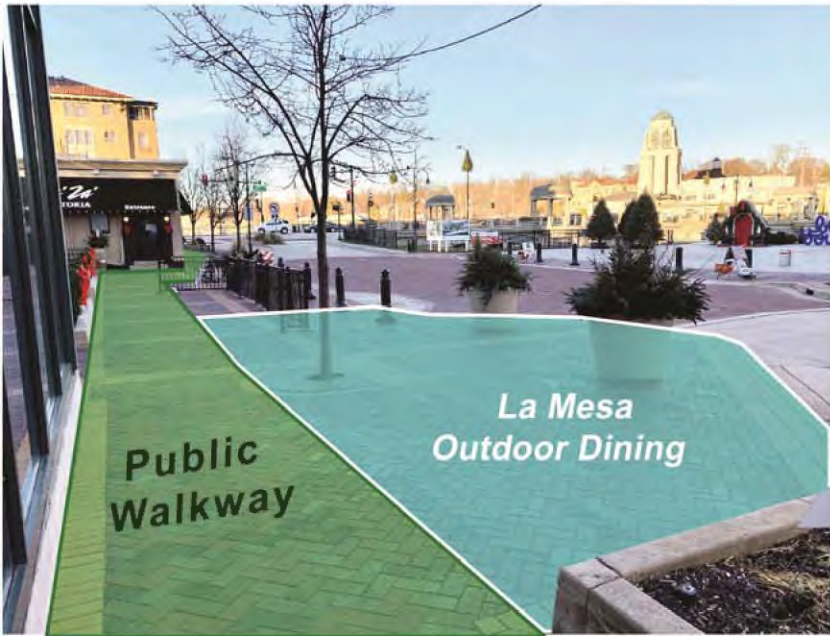
Picnic Bench

3' Round table

Exhibit image and direction

planter box







CITY OF
ST. CHARLES
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AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4f

Title:

2020 St. Charles Housing Affordability Analysis – Information Only

Presenter:

Ellen Johnson

Meeting: Planning & Development Committee

Date: December 14, 2020

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Staff has prepared the St. Charles Housing Affordability Analysis for 2020. This report is prepared on an annual basis to assess the state of housing affordability in St. Charles.

“Affordable housing” is defined as housing that has a sales price or rental amount that is within the means of a household with an income at or below 80% Area Median Income for owner-occupied units and at or below 60% Area Median Income for rental units. To be considered affordable, housing costs cannot exceed 30% of a household’s annual income.

Based on the calculations outlined in the report, a total of **21.8%** of St. Charles’ housing stock is considered affordable. 25.3% of owner-occupied units are affordable and 14% of rental units are affordable.

Overall affordability has fallen slightly from last year’s analysis, which found 23.4% of the housing stock to be affordable. Owner-occupied affordability remained almost constant from last year. Rental affordability decreased from 18% to 14% due to rising rents at a handful of apartment complexes and new construction of market-rate apartment units.

The Affordability Analysis is sometimes reviewed in conjunction with the Committee’s discussion regarding the Inclusionary Housing Fee In-lieu for the next year. However, the IHO Fee for 2021 was previously discussed by the Committee in October. The 2021 fee was set as follows:

- Multi-Family Developments: \$39,665.75 per required affordable unit (calculated as the cost of a 25% downpayment for one affordable unit)
- Townhome Developments: \$27,766.03 per required affordable unit (calculated as the cost of a 17.5% downpayment for one affordable unit)
- Single-Family Developments: \$15,866.30 per required affordable unit (calculated as the cost of a 10% downpayment for one affordable unit)

Attachments *(please list):*

2020 St. Charles Housing Affordability Analysis

Recommendation/Suggested Action *(briefly explain):*

Information Only – No action needed

Community & Economic Development
Community Development Division

Phone: (630) 377-4443



2020 St. Charles Housing Affordability Analysis
December 2020

I. BACKGROUND & PURPOSE

City staff has performed an analysis of St. Charles’ housing stock beginning in 2009 and in most years thereafter to assess the state of housing affordability in the community and to track basic housing market indicators. The analysis is also used to track compliance with the State of Illinois’ Affordable Housing Planning and Appeals Act (AHPAA) which requires communities to have a minimum affordable housing share of 10%.

For the purposes of this report and consistent with the City’s Inclusionary Housing Ordinance and AHPAA, “affordable housing” is defined as housing that has a sales price or rental amount that is within the means of a household with an income at or below 80% of the Area Median Income (AMI) for owner-occupied units and at or below 60% AMI for rental units, based on household size. To be considered affordable, housing costs cannot exceed 30% of gross annual household income.

Table 1 lists staff’s findings of St. Charles’ affordable housing share since 2009.

Table 1

	2009	2010	2011	2013	2014	2017	2018	2019
Staff’s Findings – St. Charles’ Affordable Housing Share	16.3%	16.6%	18%	25.6%	23.1%	22.3%	23.7%	23.4%

No report was completed in 2012, 2015, or 2016 due to availability of Township Assessor data.

In addition to staff’s annual affordability update, every five or so years the Illinois Housing Development Authority releases a listing of each community’s affordable housing share. This report is used by IHDA to determine compliance with the Affordable Housing Planning and Appeals Act and to identify communities with a low stock of affordable housing. Per the law, “Non-Exempt Local Governments” have less than 10% of the local housing stock that is considered affordable. These communities must adopt an Affordable Housing Plan and are subject to developer appeals to the State Housing Appeals Board. “Exempt Local Governments” have more than 10% of the local housing stock that is considered affordable. These municipalities do not need to adopt an Affordable Housing Plan and are not subject to developer appeals.

Table 2 lists IHDA’s findings of St. Charles’ affordable housing share. IHDA’s last report in 2018 found St. Charles’ housing stock to be well over 10% affordable, meaning St. Charles is in compliance with AHPAA and is considered an Exempt Local Government. IHDA is expected to release the next update in 2023.

Table 2

	2004	2013	2018
IHDA’s Findings – St. Charles’ Affordable Housing Share	16.3%	11.2%	17.1%

Staff's finding of St. Charles' affordable housing share has been higher than IHDA's determination in the years both entities have conducted analyses. The 2013 report released by IHDA reflected a different methodology to calculate each community's affordable housing share than used for the initial report in 2004. Staff has continued to use IHDA's original methodology in order to provide a consistent means of comparison. Reasons for the difference between staff's and IHDA's findings are related to the data used for the calculations, including:

- Median income: Staff uses median income adjusted for a four-person household while IHDA uses the overall area median income.
- Home prices and rents: Staff uses local Township Assessor data to determine the assessed market value of owner-occupied homes in St. Charles and actual collected rents from each apartment complex in the city. IHDA uses American Community Survey (ACS) 5-year estimates to determine home prices and rents.
- Housing unit count: Staff uses Township Assessor data for this information, while IHDA uses ACS 5-year estimates.
- Property taxes: Staff uses a formula provided by IHDA in the 2004 AHPAA report to determine the affordable owner-occupied housing price. The property tax rate is built into this formula. IHDA uses the median real estate taxes per month for all houses within St. Charles, based on ACS 5-year estimates, resulting in a monthly tax that is higher than would be expected for a house valued at a price affordable to a household at 80% AMI.

II. AFFORDABILITY IN ST. CHARLES – 2020 UPDATE

This analysis separates owner-occupied (purchased) and rental housing units and combines the results to determine the total percentage of housing in St. Charles that is considered affordable.

Affordable Owner-Occupied Home Price

In order to determine the number of affordable owner-occupied units, first the affordable home price was calculated. The affordable home price was determined by calculating the monthly mortgage payment a family of four earning 80% of the Area Median Income could afford (30% of income) and factoring in property taxes and insurance based on a formula.

Table 3 details the calculation used to determine the maximum affordable owner-occupied home price. The affordable home price of \$230,303 is up from \$225,339 in 2019. This increase is due to a 2% rise in Area Median Income.

Table 3

Chicago Metropolitan Statistical Area Median Income (four-person household) ¹	\$91,000
80% of AMI	\$72,800
30% of Annual Income	\$21,840
Affordable Monthly Payment	\$1,820
Owner-Occupied Housing Price Affordable to Family Earning 80% of AMI	\$230,303

¹ Source: IHDA's Schedule of Maximum Income Limits for Most of its Housing Programs – 7/1/2020

Affordable Rents

Affordable rents are determined by IHDA on a yearly basis. Table 4 shows the maximum rent affordable to a household earning 60% of AMI, adjusted for family size. For example, the affordable rent for a 3-bedroom unit is based upon 60% AMI for a four-person household (\$54,600). Since last year, the amount of rent considered affordable increased by \$20-40/month depending on bedroom size, again due to the increase in Area Median Income.

Table 4

Affordable Rental Units for Chicago Metro Area – 2020						
	0 Bedroom	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	5 Bedroom
Affordable Rent Limits for HH @ 60% AMI	\$955	\$1,023	\$1,228	\$1,419	\$1,584	\$1,748

Source: IHDA's 2020 Owner-Occupied and Rental Unit Affordability Charts

Affordability Findings & Analysis

St. Charles Township Assessor data was collected to determine the number of owner-occupied units that fall at or below the affordable home price of \$230,303, based on the market value assigned by the Assessor. The Assessor data used is a year behind the current calendar year to account for a full year of data. The Assessor data examined in this report is for the 2019 calendar year.

The number of affordable rental units was derived by using local rental rates collected by staff. These rates were then compared to the maximum allowed rents established by IHDA.

Table 5 breaks down the number of affordable housing units and total housing units by unit type, followed by the resulting percentage of affordable units. The total percentage of affordable units was determined by combining the owner-occupied and rental unit findings.

Table 5

Unit Type²	Affordable Units	Total Units	% Affordable
<i>Owner-Occupied Units</i>			
Single-Family	1,432	7,693	18.6%
Two-Family Duplex	7	50	14.0%
Condo	827	944	87.6%
Townhome	207	1,072	19.3%
Owner-Occupied Total	2,473	9,759	25.3%
<i>Rental Units</i>			
Rental Units	612	4,384	14.0%
COMBINED TOTAL			
Total Owner-Occupied & Rental Units	3,085	14,143	<u>21.8%</u>

² Two-unit or more conversions and single-family rentals identified in the Assessor date were added to the total number of rental units. However, staff cannot readily determine the rents charged for these units so they were only counted as part of the total rental units; none were counted as affordable.

According to the above analysis, the percentage of affordable owner-occupied units remained fairly steady at 25.5% in 2019 to 25.3% in 2020. Although the affordable home price increased from \$225,339 to \$230,303 due to a 2% rise in Area Median Income, rising market values resulted in a slight decrease in affordable owner-occupied units.

Rental affordability decreased from 18.7% in 2019 to 14% in 2020, although the 2020 percentage is still higher than 2018's value of 13.7%. The decrease in affordable rentals from 2019 to 2020 was caused by rising rents at a few apartment complexes. Most significantly, Fox Run Apartments on Walnut Dr. (fronting Randall Rd. near Rt. 64) lost 160 affordable 1-bedroom apartments due to higher rental rates. The loss in affordable rental units from this and other complexes was partially off-set by 75 new affordable units constructed at Anthony Place, the senior affordable development within Prairie Center. An additional 48 non-affordable units were added to the rental stock with completion of another market-rate apartment building at Prairie Center.

In total, **21.8%** of housing units in St. Charles are considered affordable. This is a 6.8% decrease from the 2019 finding of 23.4% affordable, and is the lowest total percentage since the 2011 Affordability Analysis.

III. ST. CHARLES HOUSING MARKET TRENDS – 2019

Township Assessor sales data was used to analyze the price of homes sold in St. Charles in 2019. Figure 1 shows the median home sale price over the past 15 years. The median sale price peaked in 2006 at \$302,000 before dropping in 2010 to a low point of \$225,000. The 2019 median sale price of \$295,000 is a \$15,600 increase compared to 2018 and is the highest since the 2006 peak, continuing the trend of rising prices seen over the past five years.

In terms of affordability, the median sale price is about \$65,000 over the affordable home price. A total of 103 of the 466 homes sold in 2019, or 22%, were under the \$230,303 affordable price. This is in keeping with last year's figures.

Figure 1

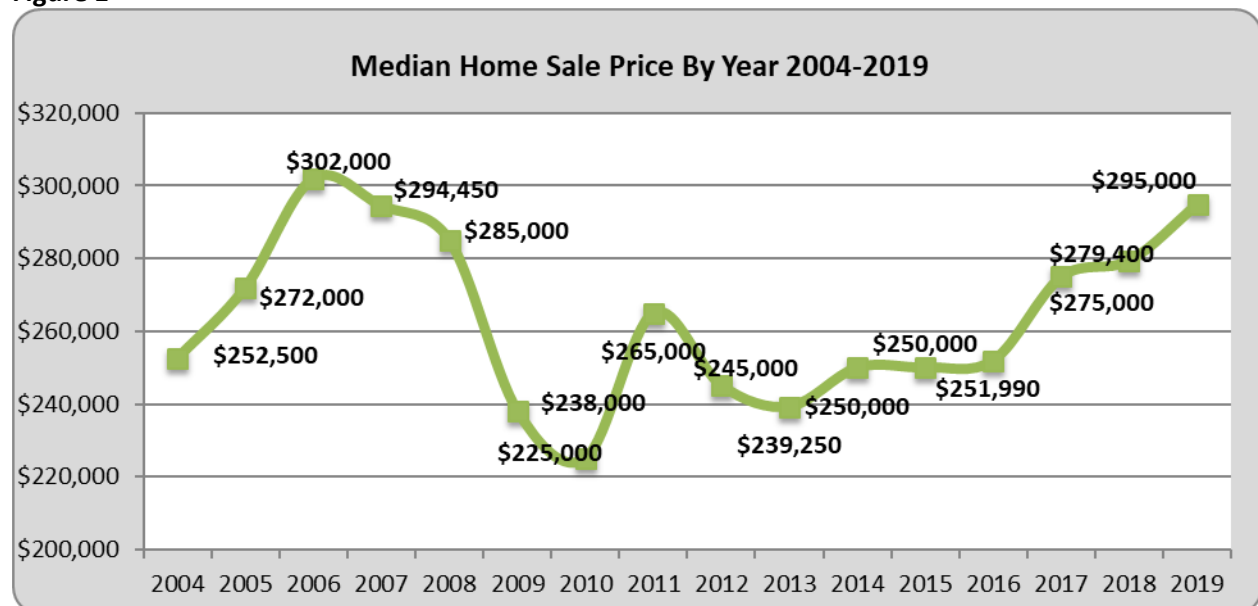
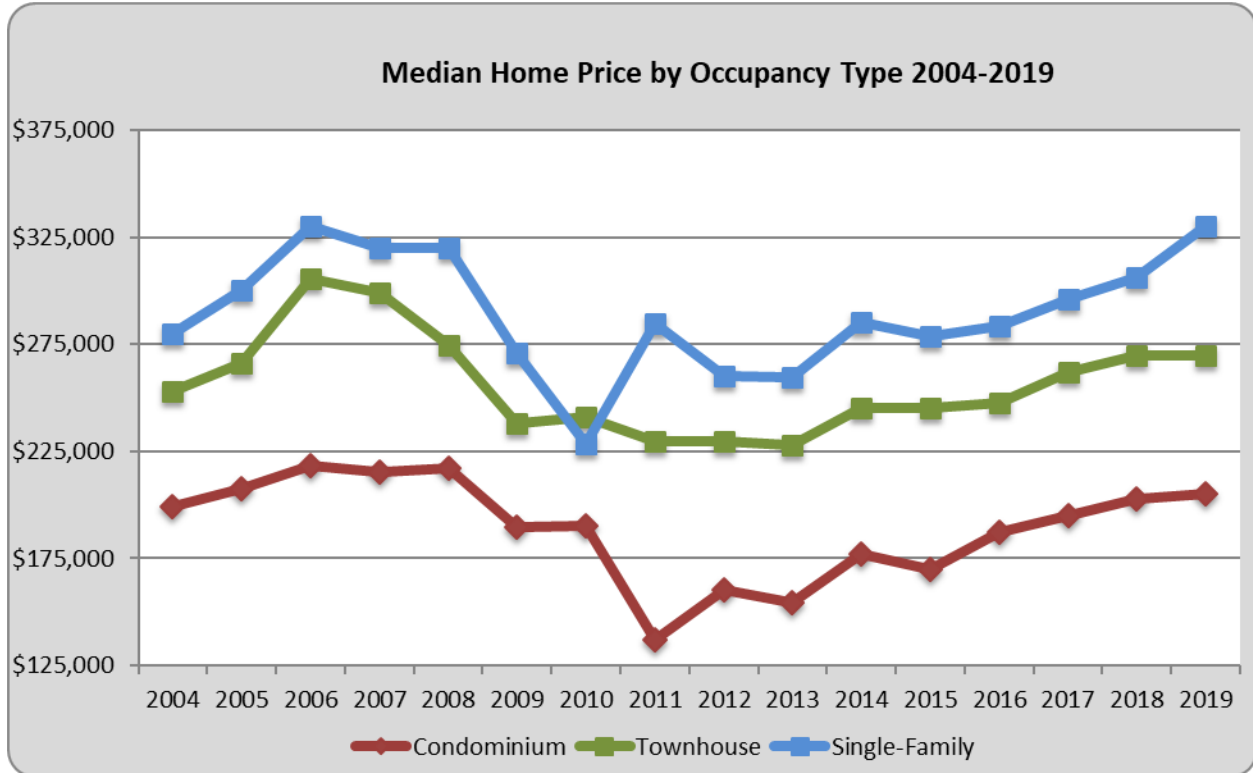


Figure 2 shows the median home sale price separated by unit type. This figure reflects a steady increase in the sale price of single-family homes, condos, and townhomes since 2015. Of the 369 single-family homes sold in 2019, 14% were under the affordable price of \$230,303, compared to 16% of townhomes and 88% of condominiums.

Figure 2



IV. CONCLUSIONS

St. Charles' affordable housing stock remains above 20% despite decreases in both owner-occupied and rental affordability over the past year. Additions to the affordable rental stock (Anthony Place) helped but did not completely off-set rising rents. Trends in rising home values and sale prices may indicate further loss of affordable owner-occupied homes in coming years, unless Area Median Income rises comparably. This may be unlikely due to the COVID-19 pandemic, the impact of which on the housing market remains to be seen. Decreases in Area Median Income as a result of the pandemic will likely result in a lower affordable home price and lower affordable rents. Whether the local housing market responds by lowering rents and home prices is unknown.