

**AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. TODD BANCROFT – CHAIRMAN
MONDAY, FEBRUARY 13, 2017 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. CALL TO ORDER

2. ROLL CALL

3. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Recommendation to approve a Minor Change to PUD Preliminary Plan for First Street Building #3- Sterling Bank.
- b. Historic Preservation Commission recommendation to approve Historic District designation for the Millington Historic District.
- c. Recommendation to approve and execute an amended Service Agreement for the Home Rehabilitation and Accessibility Loan Program.
- d. Recommendation to approve modifications to a Commercial Corridor and Downtown Business Economic Incentive Award (CCD) for 104 E. Main Street (Crazy Fox).
- e. Recommendation to approve a Minor Change to PUD Preliminary for CVS PUD Lot 2, 1601 S. 14th St.
- f. Recommendation to approve a Minor Change to PUD Preliminary Plan and Plan Commission recommendation to approve a Final Plat of Subdivision for Doran Scales, Legacy Business Center PUD Lots 8 & 9, 883-884 Enterprise Ct.
- g. Plan Commission recommendation to approval a Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing.
- h. Plan Commission recommendation to approve a Special Use for PUD and PUD Preliminary Plan for Prairie Center.

4. ADDITIONAL BUSINESS

5. EXECUTIVE SESSION


- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

6. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS.

7. ADJOURNMENT

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 3a
	Title:	Recommendation to approve a Minor Change to PUD Preliminary Plan for First Street Building #3- Sterling Bank.	
	Presenter:	Russell Colby	
Meeting: Planning & Development Committee		Date: February 13, 2017	
Proposed Cost: N/A		Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
<p>Executive Summary (<i>if not budgeted please explain</i>):</p> <p>In September 2016, the City Council approved Ordinance No. 2016-Z-18, approving a PUD Preliminary Plan for First Street Building #3. The southern portion of the building adjacent to Illinois Street is planned as bank and office uses.</p> <p>Sterling Bank, now owner of this section of the building, has submitted a Minor Change application. Sterling Bank's section of the building had been previously planned as 4 floors, with the upper floor having a two-story ceiling height. This section of the building is now planned as 5 floors. The height of the building is unchanged.</p> <p>The revised portions of the exterior building elevations are "bubbled" on the attached plans. The east, south and west elevations have been modified due to changes to the interior configuration.</p> <p>The revised elevations were reviewed by the Historic Preservation Commission on 2/2/17 and the Commission approved a Certificate of Appropriateness for the updated design. The Commission offered positive comments regarding the exterior changes.</p> <p>In addition to revised building elevations, the Minor Change would also update the Development Data information attached to the PUD ordinance to reflect the new square footages within the building.</p> <p><u>Redevelopment Agreement:</u></p> <p>The property is subject to a Redevelopment Agreement between the City and First Street Development II, LLC. An amendment to this agreement will be necessary to document the Minor Change approval.</p> <p>In response to the Minor Change proposal from Sterling Bank, First Street Development II, LLC has requested that the City consider amending the redevelopment agreement to incorporate time restrictions for the new parking deck. The intent of the restrictions would be to prevent residents and office tenants from adjacent buildings from parking within the new parking deck for the duration of the day while retail businesses are open.</p> <p>Staff is seeking direction from the Committee as to whether there is support for memorializing such parking time restrictions within the redevelopment agreement amendment.</p>			
<p>Attachments (<i>please list</i>):</p> <p>Application for Minor Change, 2016 Approved Plans, 2017 Proposed Plans, Letter from First Street Development II, LLC</p>			
<p>Recommendation/Suggested Action (<i>briefly explain</i>):</p> <p>Recommendation to approve a Minor Change to PUD Preliminary Plan for First Street Building #3- Sterling Bank, and direct staff to bring forward an amendment to the Redevelopment Agreement ("First Amendment to City of St. Charles Central Downtown Tax Increment Financing Redevelopment Agreement (First Street Project)")</p>			

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

MINOR CHANGE TO PUD APPLICATION

For City Use	
Project Name:	<u>STERLING BANK</u> First Street Redevelopment- Building #3
Project Number:	<u>2017</u> -PR- <u>003</u>
Application No.	<u>2017</u> -AP- <u>005</u>



Instructions:

A Minor Change to PUD is one that modifies an approved PUD Preliminary Plan in a manner that complies with all standards of the Special Use for PUD Ordinance applicable to the property and meets the definition of a Minor Change as contained either in Section 17.04.430 of the Zoning Ordinance or the Special Use for PUD Ordinance.

To request approval of a Minor Change, complete this application and submit it with all required attachments to the Planning Division. When the application is complete, City staff will schedule a review by the Planning and Development Committee of the City Council. The Committee's recommendation will be forwarded to the City Council for final action.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: First Street Building #3- 10 Illinois St. - Portion owned by Sterling Bank	
	Parcel Number (s): 09-34-217-012- Floors one and above in the southern 79 ft. of Lot 3	
	PUD Name: First Street Redvelopment	
2. Applicant Information:	Name <u>STERLING BANK</u>	Phone <u>630 549 0887</u>
	Address <u>360 S. 1ST STREET</u> <u>ST CHARLES IL 60174</u>	Fax <u>630 584 1589</u>
		Email <u>thomas.Rosse@Sterbank.com</u>
3. Record Owner Information:	Name <u>STERLING BANK</u>	Phone <u>SAME</u>
	Address <u>SAME</u>	Fax <u>↓</u>
		Email <u>↓</u>

Information for proposed Minor Change:

Name of PUD: First Street Redevelopment

PUD Ordinance Number: 2006-Z-29 and 2016-Z-18

Ord. or Resolution(s) that approved the current plans: 2016-Z-18

Identify Specific PUD Plans to be changed:

- ☐ Site/Engineering Plan
- ☐ Landscape Plan
- ☒ Architectural Elevations
- ☐ Signs
- ☒ Other plans: Development Data for Building #3

Description of Proposed Changes:

Modify approved Building #3 plans to include a full 5th floor for the southern bank/office portion of the building.

Revise building elevations and development data to reflect the changes.

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance (\$200)

☒ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	<u>\$1,000</u>	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☐ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **COVER LETTER:** Letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.

☐ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Please contact the Planning Division to determine if full size copies of plans are needed. For simple applications, provide one full scale plan set, three (3) 11" x 17" copies (in color if applicable), and a PDF file on CD-ROM or emailed to the Project Manager.

Plans shall include the following, depending on the scope of the proposed Minor Change:

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

STERLING BANK
Record Owner

2/6/2017
Date

[Signature]
Applicant or Authorized Agent

2/6/2017
Date

STERLING BANK

February 6, 2017

City of St. Charles
Two East Main Street
St. Charles, IL 60174

Attn: Community & Economic Development/Planning Division

Dear Sir/Madam

Sterling Bank is requesting approval of a Minor Change to PUD Preliminary Plan for First Street Building #3 (10 Illinois Street).

The proposed minor change is to take the Sterling Bank portion of Building #3 from 5 floors of Bank to 2 floors of Bank (floors 1 & 2) and the remaining 3 floors of leasable office space.

Upon review of the preliminary plans by Sterling Bank's Board of Directors, ownership has made the decision to occupy floors 1 & 2 with the option to expand into additional space as the Bank's requirements change over time with the Bank's growth.

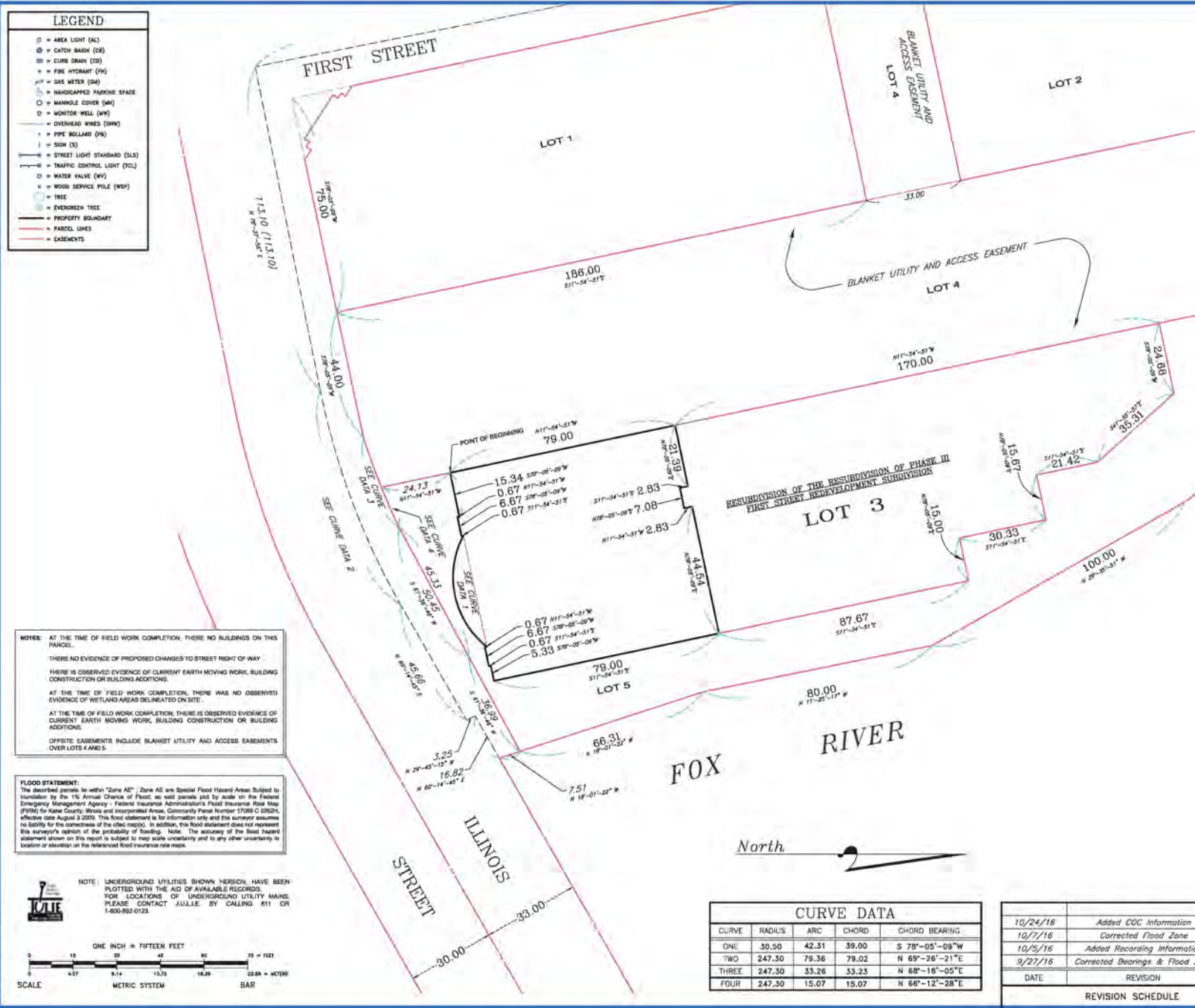
Respectfully submitted.



Thomas R Russe
Senior Vice President
Sterling Bank

LEGEND

- AREA LIGHT (AL)
- CATCH BASIN (CB)
- CURB DRAIN (CD)
- FIRE HYDRANT (FH)
- GAS METER (GM)
- HANDICAPPED PARKING SPACE
- MANHOLE COVER (MC)
- MONITOR WELL (MW)
- OVERHEAD WIRE (OW)
- PIPE BOLLARD (PB)
- SIGN (S)
- STREET LIGHT STANDARD (SL)
- TRAFFIC CONTROL LIGHT (TCL)
- WATER VALVE (WV)
- WOOD SERVICE POLE (WSP)
- YOUNG TREE
- TREE
- PROPERTY BOUNDARY
- PARCEL LINES
- EASEMENTS



ALTA/NSPS LAND TITLE SURVEY
Marchese and Sons, Inc.
land - marine - construction surveys
101 Madison Drive
Naperville, Illinois 60563
Phone: (630) 894-5580
Fax: (630) 894-8889

PROPERTY DESCRIPTION

THAT PART OF LOT THREE IN THE RESUBDIVISION OF THE RESUBDIVISION PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 4, 2016 AS DOCUMENT NO. 20160803399 AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 14, 2016 AS DOCUMENT NO. 20160803399, OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION TWENTY-SEVEN AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTY-FOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING ABOVE A VERTICAL PLANE OF 688.18 FT. (DAVID 88) BOUNDED AND DESCRIBED AS FOLLOWS, BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 3; THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 79.00 FT.; THENCE NORTH 78 DEGREES 05 MINUTES 09 SECONDS EAST, 21.39 FT.; THENCE SOUTH 11 DEGREES 54 MINUTES 51 SECONDS EAST, 2.63 FT.; THENCE NORTH 78 DEGREES 05 MINUTES 09 SECONDS EAST, 1.08 FT.; THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 2.83 FT.; THENCE NORTH 78 DEGREES 05 MINUTES 09 SECONDS EAST, 44.34 FT.; THENCE SOUTH 11 DEGREES 54 MINUTES 51 SECONDS EAST, 79.00 FT.; THENCE SOUTH 78 DEGREES 05 MINUTES 09 SECONDS WEST, 6.87 FT.; THENCE SOUTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 6.87 FT.; THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 0.87 FT. TO A POINT OF CURVE IN THE SOUTH LINE OF SAID LOT 3; THENCE SOUTHWESTERLY 42.31 FEET ON THE SOUTHERLY LINE OF SAID LOT 3, BEING A CURVED LINE CONCAVE TO THE NORTH HAVING A RADIUS OF 30.00 FEET, WITH A CHORD DISTANCE OF 39.00 FT. AND A CHORD BEARING OF SOUTH 78 DEGREES 05 MINUTES 09 SECONDS WEST; THENCE SOUTH 11 DEGREES 54 MINUTES 51 SECONDS EAST, 0.87 FT.; THENCE SOUTH 78 DEGREES 05 MINUTES 09 SECONDS WEST, 6.87 FT.; THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 0.87 FT.; THENCE SOUTH 78 DEGREES 05 MINUTES 09 SECONDS WEST, 15.34 FT., TO THE POINT OF BEGINNING, ALL IN KANE COUNTY, ILLINOIS.

CONTAINING 8645 SQUARE FEET OR 0.137 ACRES, MORE OR LESS



SHEET 1 OF 1

PNR NO.:

ADDRESS: FIRST STREET AND ILLINOIS STREET
ST. CHARLES, ILLINOIS

SCALE: ONE INCH = FIFTEEN FEET

ORDER NO: 65-14966 (Bank Parcel)

ORDERED BY: WILLIAM F. BOCHTE
ATTORNEY AT LAW

COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DIFFERENCE FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR CONTRACT, DEED, TITLE INSURANCE POLICY AND ZONING ORDINANCE. BASES OF THE BEARINGS SHOWN HEREON HAVE BEEN ASSUMED. MONUMENTS OR WITNESS POINTS WERE NOT SET AT THE CLIENT'S REQUEST.

"THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY."

STATE OF ILLINOIS
S.S.
COUNTY OF DUPAGE

TO: FIRST STREET DEVELOPMENT II, LLC,
an Illinois Limited Liability Company,
STERLING BANK, a Missouri Business Corporation and
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7A, 8, 15, 17, 18 AND 19 DETAIL A THEREOF.

DATE OF PLAT OR MAP, SEPTEMBER 20, 2016

William F. Bochte
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 0461

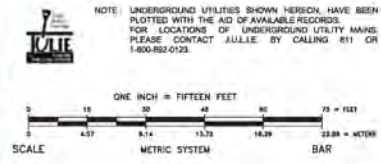
MY CURRENT LICENSE EXPIRES ON NOVEMBER 30, 2019

THE FIELD WORK WAS COMPLETED ON SEPTEMBER 15, 2016

"The Surveyor has reviewed the Public Records as well as a visual review of the site and to the best of his ability has shown the boundaries pertaining thereto. However, he does not warrant against any easements or claims of easements not shown in the public records or easements that cannot be seen by a visual inspection of the property."

CURVE DATA				
CURVE	RADIUS	ARC	CHORD	CHORD BEARING
ONE	30.50	42.31	39.00	S 78°-05'-09"W
TWO	247.30	79.36	79.02	N 69°-26'-21"E
THREE	247.30	33.26	33.23	N 68°-18'-05"E
FOUR	247.30	15.07	15.07	N 66°-12'-28"E

DATE	REVISION	MARK
10/24/16	Added CDC Information	4
10/7/16	Corrected Flood Zone	3
10/5/16	Added Recording Information	2
9/27/16	Corrected Bearings & Flood Zone	1
DATE	REVISION	MARK
REVISION SCHEDULE		



**OWNERSHIP DISCLOSURE FORM
CORPORATION**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

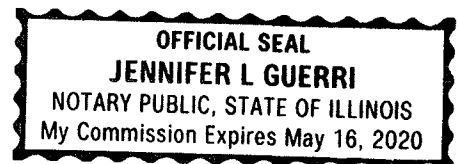
I, THOMAS R. RUSSE, being first duly sworn on oath depose and say that I am the
SENIOR VICE PRES. of STERLING BANK, an
(Illinois) (MISSOURI) Corporation and that the following persons are all of the shareholders
of 7% or more of the common stock of said Corporation:

_____	_____
_____	_____
_____	_____
_____	_____

BY: 
TITLE: SENIOR VICE PRESIDENT

Subscribed and Sworn before me this 6TH day of
FEBRUARY, 20 17.


Notary Public



STERLING BANK

February 6, 2017

City of St. Charles
Two East Main Street
St. Charles, IL 60174

Attn: Community & Economic Development/Planning Division

Dear Sir/Madam

Regarding the Ownership Disclosure Form/Corporation, as part of the Minor Change to PUD Application:
To the best of my knowledge, no shareholder of 7% or more of the common stock of Sterling Bank, has
any official role in the governance of the City of St. Charles, IL.

Respectfully submitted.



Thomas R Russe
Senior Vice President
Sterling Bank

FIRST STREET PHASE 3 DEVELOPMENT DATA
PROPOSED – ~~7/29/16~~ 2/7/17

Building No.	Type	Floor Level	Area/Units
Building 1	Parking	Basement	29 spaces
	Retail/Commercial	1 st level	11,865 sf
	Office	2 nd level	11,865 sf
	Office	3 rd level	11,865 sf
	Office	4 th level	11,865 sf
	Total Office		35,595
Total Building area			47,460 sf
Parking Deck			
	Parking	1 st level	57 spaces
	Parking	2 nd level	53 spaces
Total Parking Count			110 spaces
Building 2	Parking	Basement	27 spaces
	Retail/Commercial	1 st level	11,898 sf
	Residential	2 nd level	12,000 sf
	Residential	3 rd level	12,000 sf
	Residential	4 th level	12,000 sf
	Total Residential (12 Studio, 12 1-Bedroom, 12 2-Bedroom)		36 units
Total Building area			47,898 sf
Building 3	Parking	Basement	28 spaces
	Bank/office	1 st level	13,092 sf
	Bank/residential	2 nd level	11,573 12,542 sf
	Bank/residential	3 rd level	12,602 13,245-sf
	Bank/residential	4 th level	12,602 13,245-sf
	Residential	5 th level	8,343 13,245 sf
Total Residential (Bedroom Count TBD)		12 to 20 units	
Total Building area			58,212 65,369 sf



JULY 27, 2016 - PROGRESS SET - NOT FOR CONSTRUCTION



STATE OF ILLINOIS
ARCHITECT
REGISTRATION NUMBER
00000000

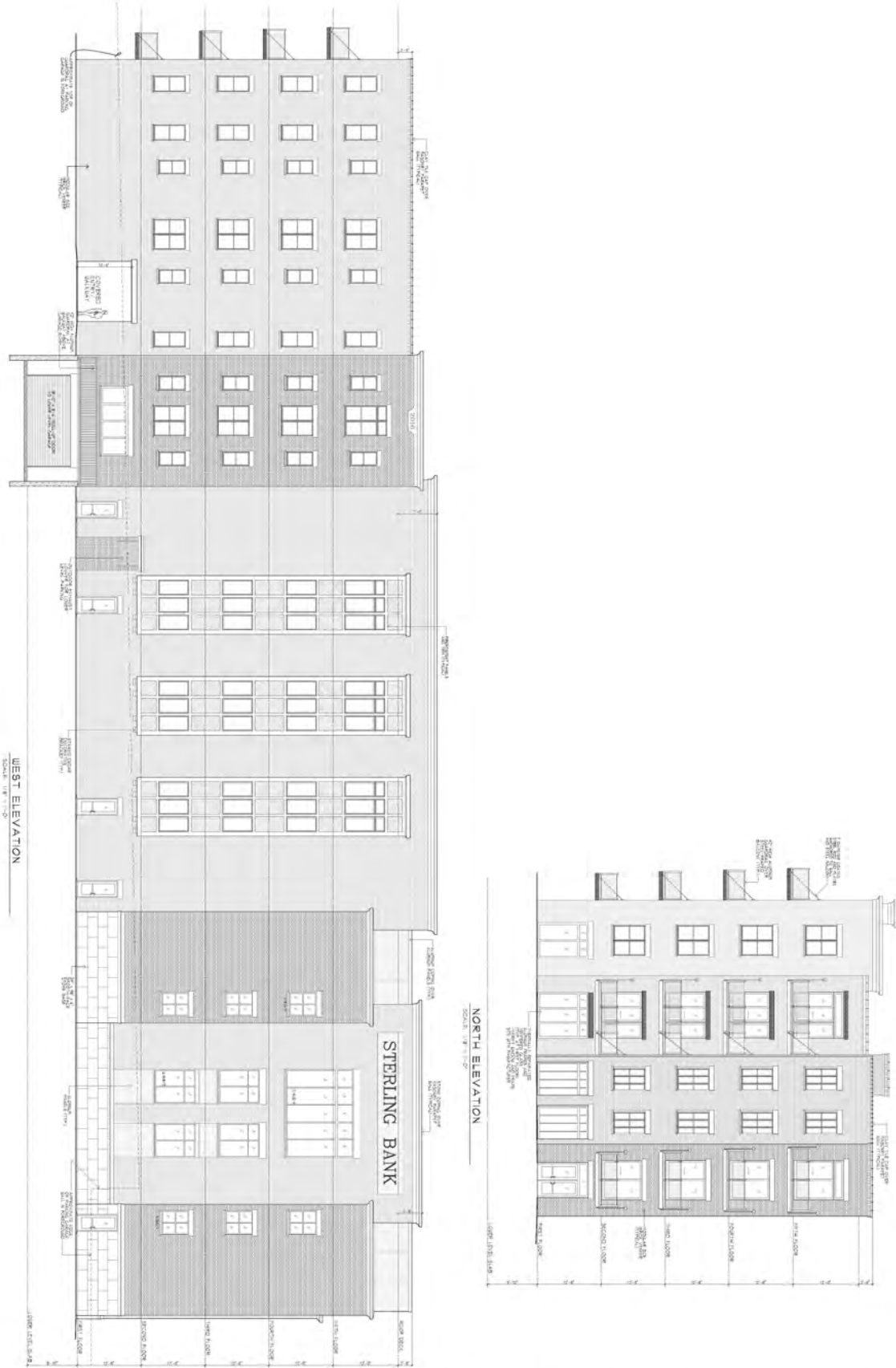
PROPOSED NEW OFFICE/CONDOMINIUMS:
FIRST STREET
ST. CHARLES, ILLINOIS 60184
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

Revisions

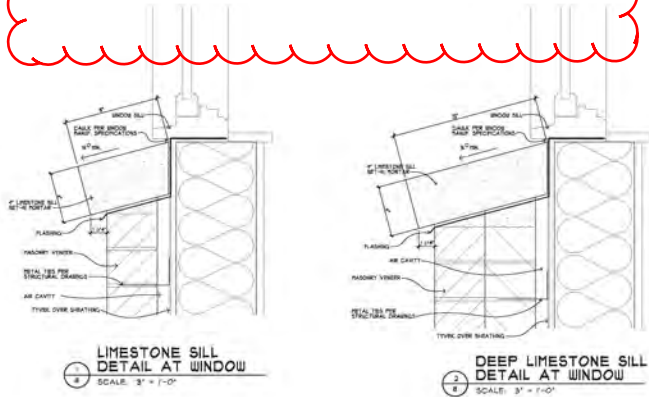
Revision
Date
By





JULY 27, 2016 - PROGRESS SET - NOT FOR CONSTRUCTION

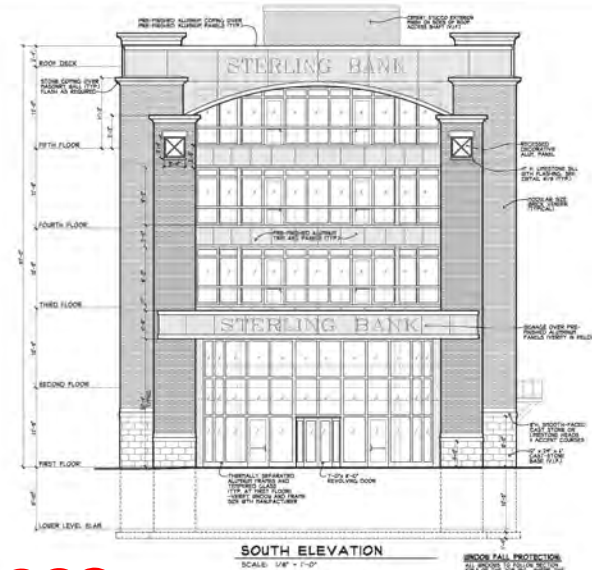
SHEET: 	COMMISION: 2606 YEAR: 2014 ORDER NO.: 1012	BLDG. 3 10' x 10'	PROPOSED NEW OFFICE/CONDOMINIUMS: FIRST STREET ST. CHARLES, ILLINOIS 60174 FIRST STREET DEVELOPMENT, LLC	17' x 10' x 10'	
	10' x 10' x 10'	10' x 10' x 10'	10' x 10' x 10'	10' x 10' x 10'	10' x 10' x 10'



NOTE:
WINDOWS ARE WEATHER SHIELD WINDOWS (WIND) VERTICALLY ADJUSTED BY HAND. IF REQUIRED, VERIFY WINDOW PANELS & GASKET PATTERNS BY OWNER AND INSTALL PER MANUFACTURER'S SPECIFICATIONS.
CONTRACTOR TO VERIFY ALL WINDOW HEIGHTS.
GLAZED PENETRATION TO PROVIDE A MAXIMUM 3/8\"

NOTE:
INSTALL ALL FLASHING & SEALANT AS REQUIRED FOR WEATHERTIGHT EXTERIOR - ALL FLASHING INSTALLATION TO FOLLOW DETAILS FROM METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (NACCA) ARCHITECTURAL SHEET METAL PANEL TOP OF FLASHING TO BE INSTALLED UNDER TYPE.

NOTE:
ALL MASONRY DETAILS TO FOLLOW RECOMMENDED PRACTICES BY THE MASONRY ADVISORY COUNCIL (MASONRY) INCLUDING FLASHING, TIES, AND EXPANSION JOINTS, JOINTS, CEMENT AND SEAL. MASONRY JOINTS TO BE 1/2\"



IRON RAIL PROTECTION
ALL FLOOR TO FLOOR EXTERIOR WALLS SHALL BE PROTECTED BY IRON RAIL SYSTEMS. THE SYSTEM SHALL BE INSTALLED TO THE EXTERIOR FACE OF THE WALL AND SHALL BE CAPABLE OF WITHSTANDING A MINIMUM OF 250 LBS. OF IMPACT.



DEC. 22, 2016 - REVISED FOR CONSTRUCTION

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3

ST. CHARLES, ILLINOIS 60114
FIRST STREET DEVELOPMENT, LLC

DATE: 12/22/2016

BLDG. 3

Revisions:
OWNER/CLIENT REV. 5-22-2016
BY: [Signature]
DATE: [Date]

Commission: 2808
Issue Date: 8-18-2016
Drawn By: [Signature]
SOUTH AND EAST ELEVATIONS

Sheet:
A8
of 4

2017 Proposed
Minor Change

DEC. 22, 2016 - REVISED FOR CONSTRUCTION

	COMMUNITY: 2804 NAME: Office at 204 PROJECT No.: 022 DATE: 01/23/2008 BY: [Signature]	BLDG. 3 20404/03/01/2008 20404/03/01/2008	PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS: FIRST STREET - BLDG. 3 ST. CHARLES, ILLINOIS 60114 FIRST STREET DEVELOPMENT, LLC	STATE OF ILLINOIS REAL ESTATE COMMISSION CHICAGO		MATERIALS: [Blank]
	REVISIONS: [Blank]	[Blank]	[Blank]	[Blank]	[Blank]	[Blank]

2015 INTERNATIONAL ENERGY CONSERVATION CODE

1. THE FOLLOWING INFORMATION IS FOR THE BUILDING OFFICIALS TO REVIEW AND APPROVE. THE BUILDING OFFICIALS SHALL REVIEW THE INFORMATION AND APPROVE THE INFORMATION AS SHOWN ON THE DRAWINGS. THE BUILDING OFFICIALS SHALL REVIEW THE INFORMATION AND APPROVE THE INFORMATION AS SHOWN ON THE DRAWINGS.
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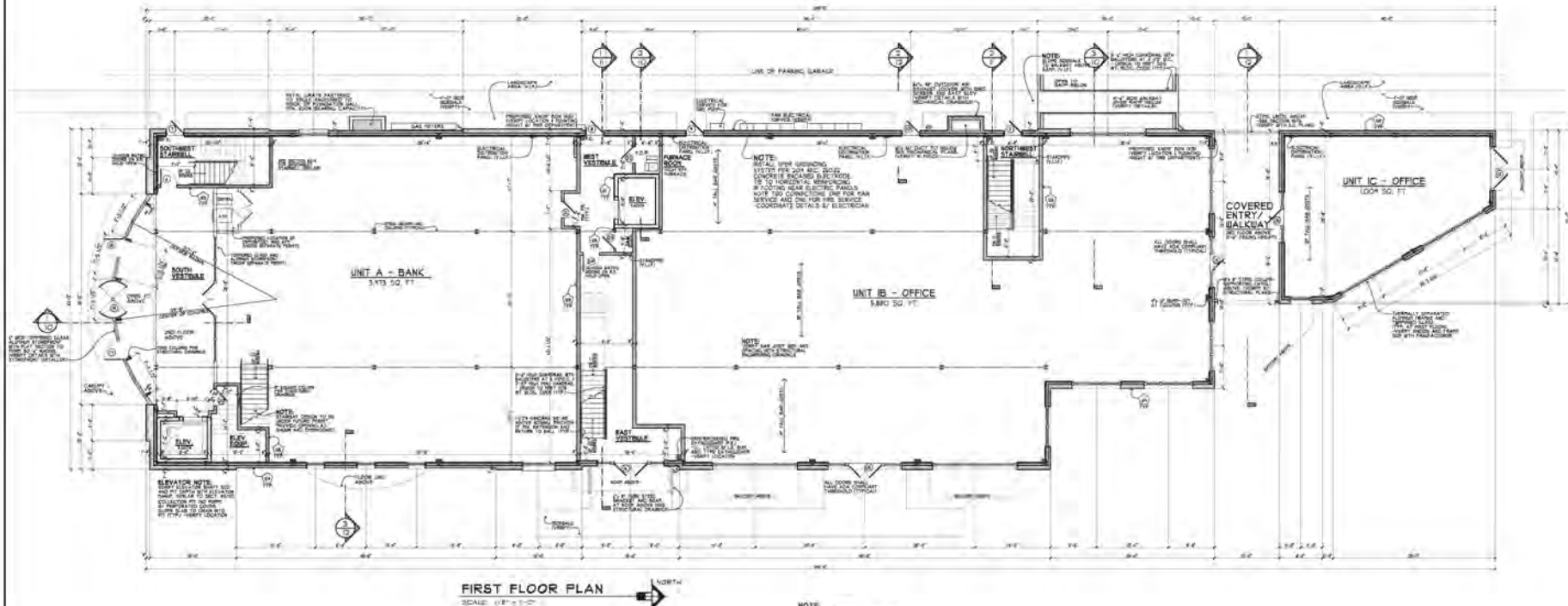
FIRST FLOOR SQUARE FOOTAGE

GROSS SQUARE FOOTAGE	13,012 S.F.
UNIT A - BANK	3,113 S.F.
UNIT B - OFFICE	3,880 S.F.
UNIT C - OFFICE	1,004 S.F.
NORTHWEST VESTIBULE	1,214 S.F.
WEST VESTIBULE	1,942 S.F.
EAST VESTIBULE	1,415 S.F.
SOUTH VESTIBULE	505 S.F.

NOTE:
SQUARE FOOTAGE IS CALCULATED FROM OUTSIDE OF EXTERIOR WALLS AND CENTER OF DOORING SALLS.

WALL TYPE KEY

1. CONCRETE WALL WITH EXTERIOR FINISH
2. CONCRETE WALL WITH INTERIOR FINISH
3. CONCRETE WALL WITH EXTERIOR FINISH AND INTERIOR FINISH
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DEC. 22, 2016 - REVISED FOR CONSTRUCTION

STATE OF ILLINOIS
OFFICE OF THE
REGISTERED PROFESSIONAL ENGINEER
AND ARCHITECT

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3
ST. CHARLES, ILLINOIS 60187
FIRST STREET DEVELOPMENT, LLC

BLDG. 3

DESIGNED BY
ARCHITECT/ENGINEER
1111 N. LEXINGTON AVE., SUITE 100
CHICAGO, ILLINOIS 60610
(312) 525-1234

CONSTRUCTION
1111 N. LEXINGTON AVE., SUITE 100
CHICAGO, ILLINOIS 60610
(312) 525-1234

DATE
11/15/2016

BY
A&B

THIRD FLOOR SQUARE FOOTAGE		
CONDO SQUARE FOOTAGE	15343 S.F.	
UNIT A - BUNK	15343 S.F.	
UNIT 28 - CONDO	15343 S.F.	
UNIT 29 - CONDO	15343 S.F.	
UNIT 30 - CONDO	15343 S.F.	
UNIT 31 - CONDO	15343 S.F.	
NORTHWEST STAIR	15343 S.F.	
ELEVATION CORRIDOR	15343 S.F.	
SOUTHWEST STAIR	15343 S.F.	

NOTE: FOOTAGE IS CALCULATED
AND LISTED IN SEPARATE SCHEDULE

SECOND FLOOR PLAN

NOTE: THIS FLOOR PLAN IS FOR
CONSTRUCTION ONLY. IT IS NOT
TO BE USED FOR ANY OTHER
PURPOSE. ANY CHANGES
SHOULD BE MADE AT RISK.

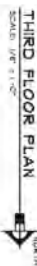
SECOND & THIRD FLOOR DOOR SCHEDULE											
DOOR NO.	TYPE	SIZE	LOCATION	DOOR NO.	TYPE	SIZE	LOCATION	DOOR NO.	TYPE	SIZE	LOCATION
1	1	3'-0" x 7'-0"	UNIT 28 - CONDO	11	1	3'-0" x 7'-0"	UNIT 29 - CONDO	21	1	3'-0" x 7'-0"	UNIT 30 - CONDO
2	1	3'-0" x 7'-0"	UNIT 29 - CONDO	12	1	3'-0" x 7'-0"	UNIT 30 - CONDO	22	1	3'-0" x 7'-0"	UNIT 31 - CONDO
3	1	3'-0" x 7'-0"	UNIT 30 - CONDO	13	1	3'-0" x 7'-0"	UNIT 31 - CONDO	23	1	3'-0" x 7'-0"	UNIT 32 - CONDO
4	1	3'-0" x 7'-0"	UNIT 31 - CONDO	14	1	3'-0" x 7'-0"	UNIT 32 - CONDO	24	1	3'-0" x 7'-0"	UNIT 33 - CONDO
5	1	3'-0" x 7'-0"	UNIT 32 - CONDO	15	1	3'-0" x 7'-0"	UNIT 33 - CONDO	25	1	3'-0" x 7'-0"	UNIT 34 - CONDO
6	1	3'-0" x 7'-0"	UNIT 33 - CONDO	16	1	3'-0" x 7'-0"	UNIT 34 - CONDO	26	1	3'-0" x 7'-0"	UNIT 35 - CONDO
7	1	3'-0" x 7'-0"	UNIT 34 - CONDO	17	1	3'-0" x 7'-0"	UNIT 35 - CONDO	27	1	3'-0" x 7'-0"	UNIT 36 - CONDO
8	1	3'-0" x 7'-0"	UNIT 35 - CONDO	18	1	3'-0" x 7'-0"	UNIT 36 - CONDO	28	1	3'-0" x 7'-0"	UNIT 37 - CONDO
9	1	3'-0" x 7'-0"	UNIT 36 - CONDO	19	1	3'-0" x 7'-0"	UNIT 37 - CONDO	29	1	3'-0" x 7'-0"	UNIT 38 - CONDO
10	1	3'-0" x 7'-0"	UNIT 37 - CONDO	20	1	3'-0" x 7'-0"	UNIT 38 - CONDO	30	1	3'-0" x 7'-0"	UNIT 39 - CONDO

WALL TYPE KEY	
1	1/2" GYPSUM BOARD
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3	1" GYPSUM BOARD
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99	49" GYPSUM BOARD
100	49 1/2" GYPSUM BOARD

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THIRD FLOOR SQUARE FOOTAGE	
DECKS, STAIRS, PORCHES	10,526 S.F.
APT. 301 - OFFICE	4,458 S.F.
APT. 302 - OFFICE	4,176 S.F.
APT. 303 - OFFICE	4,209 S.F.
APT. 304 - CONDO	1,624 S.F.
APT. 305 - CONDO	1,624 S.F.
APT. 306 - CONDO	1,624 S.F.
STORAGE CHANGEROOM	4,440 S.F.
SOUTHERLY STAIR	1,027 S.F.
NORTHERLY STAIR - NORTH ELEVATOR	134 S.F.

NOTE:
SQUARE FOOTAGE IS CALCULATED
FROM OUTSIDE OF EXTERIOR WALLS
AND CENTER OF DEMING WALLS.



NOTE:
Travel Only permit
Traveler shall not be granted access
to the building without a permit
to enter under separate permit
and the Traveler shall not be
admitted and found as restricted

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PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:

FIRST STREET - BLDG. 3

ST. CHARLES, ILLINOIS 40174

FIRST STREET DEVELOPMENT, LLC

BLDG. 3

CHUNG/CLM
REV. 0-23-0

1999

Order No. 270

1004

A)

Letter	Teeth
A	Incisors
B	Canines
C	Pre-molars
D	Molars
E	Wisdom teeth
F	Upper jaw
G	Lower jaw
H	Upper lip
I	Lower lip
J	Chin

REGISTRATION NUMBER
M 002454



FOURTH FLOOR SQUARE FOOTAGE

[illegible]

NOTE:
SQUARE FOOTAGE IS CALCULATED
FROM OUTSIDE OF EXTERIOR WALLS
AND CENTER OF DOORWAY SILLS.

FOURTH - FIFTH FLOOR DOOR SCHEDULE

[illegible]

WALL TYPE KEY

[illegible]

DEC. 22, 2016 - REVISED FOR CONSTRUCTION

PROPOSED NEW OFFICE/RESIDENTIAL CONDOMINIUMS:
FIRST STREET - BLDG. 3

ST. CHARLES, ILLINOIS 60174

FIRST STREET DEVELOPMENT, LLC

BLDG. 3

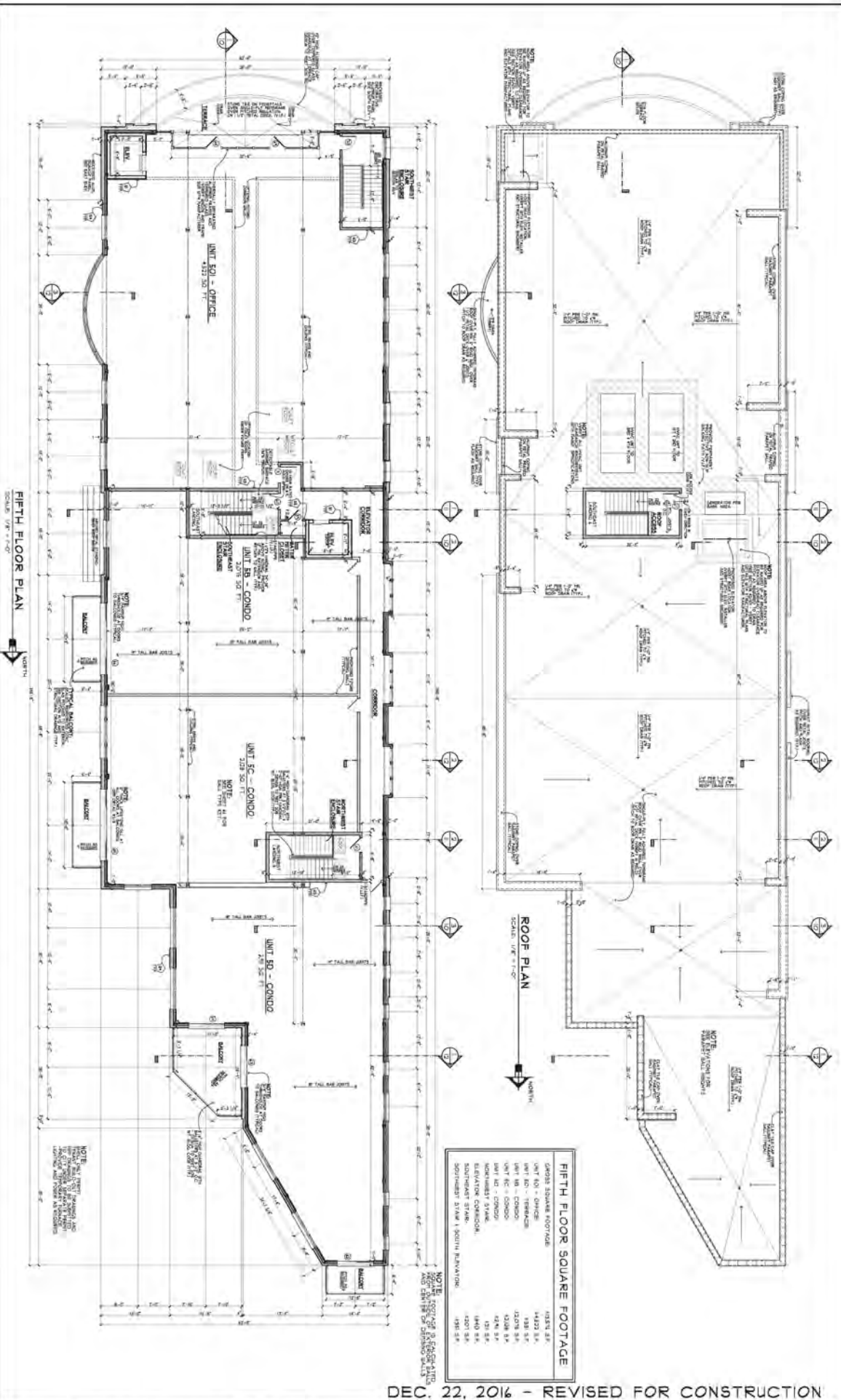
CHRYSLER/CLUB
REV 0-23-20

100

Order No. 002
ACQUITH FLOOR
P.C.A.S.

REGISTRATION NUMBER
84 007454

Fig. 5. Lattice structure



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Law Offices of
Levato & Kotche

1060 LAKE STREET • SUITE 200 • HANOVER PARK, ILLINOIS 60133
(630) 736-0300 • FAX: (630) 736-0400

Edward N. Levato
Keith J. Kotche

February 3, 2017

Ms. Rita Tungare
City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

Re: First Street RDA Amendment

Dear Ms. Tungare:

Pursuant to our recent meetings with you and Russ Colby please accept this letter as a request by First Street Development to seek the City of St. Charles Council's approval of an amendment to the RDA Agreement to restrict parking during daytime hours in the Phase III parking deck.

As discussed the concern is with office employees, other business employees, and residential users parking vehicles in the Phase III deck for prolonged periods of time thereby limiting parking for retail customers. We believe it is imperative to the success of the First Street and other downtown retail businesses that customers have convenient accessible parking.

We would be happy to entertain further discussions regarding the limitations.

Thank you in advance for your consideration.

Very truly yours,



KEITH J. KOTCHE

KJK:mks

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3b

Title:

Historic Preservation Commission recommendation to approve Historic District Designation for the Millington Historic District

Presenter:

Russell Colby

Meeting: Planning & Development Committee

Date: February 13, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: ☐**Executive Summary** *(if not budgeted please explain):*

The Historic Preservation Commission has submitted a Historic District nomination for the proposed Millington Historic District, an eight-block area west of the Central Historic District bound by State Street to the north, 5th Street to the east, Illinois Street to the south, and 7th Street to the west. The area comprises the bulk of Millington's Addition to St. Charles, which was annexed into the City in 1842.

In accordance with the Zoning Ordinance, property owners within the proposed district were notified of the nomination and public hearing, which the Historic Preservation Commission held on 1/18/17. Of a total of 51 properties, four property owners within the district expressed opposition to the nomination either in writing or at the public hearing. The Commission recommended approval of the Historic District nomination with a vote of 7-0, based on the criteria listed in the attached resolution.

If the Historic District is approved, a Certificate of Appropriateness (COA) from the Historic Preservation Commission will be required prior to issuance of a permit for construction, alteration, repair, demolition, relocation, or other material change that affects the exterior architectural appearance of structures within the District.

The Zoning Ordinance also requires COA approval for exterior alterations within the proposed Historic District while the nomination is pending City Council action; that is, between the date of the Historic Commission's recommendation regarding designation and before City Council votes on the nomination. If City Council does not act on the nomination within 60 days of the Historic Commission's recommendation, a COA shall not be required after the 60 day period. The 60 day period ends on 3/19/17.

Attachments *(please list):*

Q&A Regarding Historic Districts, Map of Property Owners Opposed to District, Correspondence, Historic Commission Resolution, Historic District Nomination, Public Hearing Transcript

Recommendation/Suggested Action *(briefly explain):*

Historic Preservation Commission Recommendation to approve Historic District designation for the Millington Historic District.

QUESTIONS REGARDING HISTORIC DISTRICTS

What is a Historic District?

A Historic District is an area of the City that has been identified as having historic or architectural character that contributes to the City's history. Buildings and structures within a Historic District are subject to the City's Historic Preservation Ordinance, Chapter 17.32 of the City Code.

The designation of a Historic District is based upon an Architectural Survey of the area. For the survey, each individual property within the proposed district has been assessed and rated based on architectural significance. (This information is included in the nomination form and can be viewed on the City's website: www.stcharlesil.gov/projects/historic-district)

If my property is within a Historic District, what is required?

Any exterior changes to properties within a Historic District must meet review criteria before a building permit is issued. The intent of the review criteria is to encourage the preservation of buildings and architectural features that contribute to the historic character of the area.

The approval is called a "COA" (Certificate of Appropriateness). A COA is required for any exterior project that normally requires a building permit, including changes to windows, doors or siding; new buildings or additions; and building demolition. (Painting and most maintenance work does not require a building permit and therefore no COA is required.)

What is the process for having a project reviewed?

Projects that require a COA are reviewed by the Historic Preservation Commission, a group of citizens appointed by the Mayor and City Council. The Commission meets twice a month.

To request a review, you can either submit a normal building permit application or contact the City and ask to be added to the next Commission meeting agenda.

The Commission reviews each project against criteria in the ordinance, which include:

1. Significance of a Site, Structure or Building (as rated in the Architectural Survey)
2. General Architectural and Aesthetic Guidelines
3. Secretary of the Interior's Standards for Rehabilitation
4. Advisory Design Guidelines prepared by the Commission

Additional documentation about your project may be requested, but there are no additional fees or forms. In most cases, a COA can be obtained within the same time frame as a building permit. This is usually two to three weeks, depending on the nature of the proposed work.

Property owners are encouraged to consult with the Commission during the planning stages of a project to determine if their proposal meets the applicable guidelines.

The review process is outlined in further detail in Section 17.32.080 of the City Code.

Are there rules against certain building materials?

No- Decisions on the use of materials in the Historic District are made on a case-by-case basis. The Commission assesses each proposal against the review standards. Factors considered include:

- The rating of the building in the Architectural Survey.
- The existing building materials and their condition.
- Whether materials are original to the building and whether they can be preserved.
- The conditions in the neighborhood, including the materials on nearby buildings.
- The details of the proposed materials including size, texture, finishing, installation, etc.

Do I need a COA for changes to a non-historic building?

Yes- Changes to non-historic buildings are evaluated to determine if there will be any detrimental impact on adjacent properties. Changes should be compatible with and maintain the existing contemporary style. The Historic Commission is required to apply the “maximum flexibility” allowed by the ordinance in its review of changes for buildings that have little historic or architectural significance.

Can I add to my existing historic building?

Yes- Additions can be made to historic buildings if they are compatible with the architectural character of the original building, and meet all zoning requirements such as building lot coverage and setbacks.

Am I required to restore my building or make it look old?

No- The Historic District does not require you to restore your building or to make improvements when you don’t have any plans to do so. If you decide to improve your property or carry out repairs, the ordinance requires the project to be consistent with the overall architectural character of the building and the district as a whole.

Will the Historic District limit how I use my property?

No- Existing zoning laws set limits on how a property can be used. The Historic District only regulates the exterior of buildings and structures, not the use of the property or interior of the building.

My property is already a designated landmark. Will the Historic District affect my property?

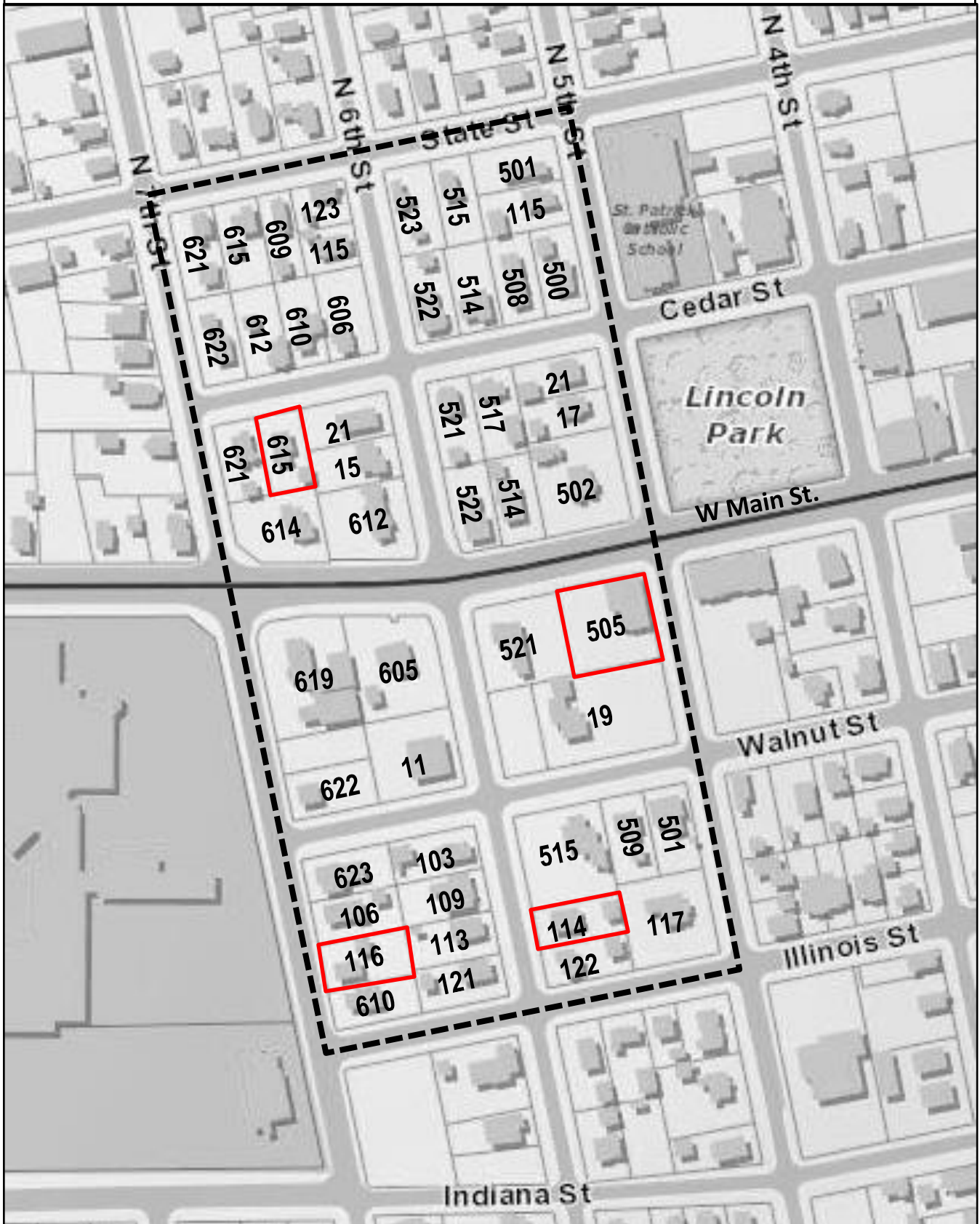
No- A number of properties within the proposed Historic District boundaries are already designated as Landmarks by the City. These properties have plaques that read “Designated Landmark” with a City of St. Charles logo. These properties are already subject to the Historic Preservation requirements, and the Historic District designation will have no additional impact.

A number of properties in the area have other types of plaques indicating a year of construction or other information. These buildings are likely not official City landmarks. If you have a question on a specific property, contact the Planning Division at (630) 377-4443.

What are the benefits of being in a Historic District?

- The Historic Preservation Commission is available to assist property owners to find resources on structural restoration and rehabilitation. In addition, the Commission will review and make informal recommendations on any proposed construction projects.
- A Historic District helps ensure that changes to properties are appropriate for the building and neighborhood and do not diminish the architectural or historical significance of a building or other structure.
- Residential properties in a Historic District may qualify for a property tax assessment freeze through a state program. Commercial properties may qualify for a tax credit through federal programs.
- Historic Districts support neighborhood stability by encouraging up-keep and maintenance of significant and contributing sites and structures. Designation promotes pride in the community and encourages residents and visitors to view the City’s past as a valuable resource.

Proposed Millington Historic District
Property Owners Who Have Expressed Opposition to Designation





Eric M. Larson & Associates

To: St Charles Historic Commission
From: Eric M Larson
Subject: Millington Historic District
Date: January 13, 2017

Eric M. Larson, MBA, CFP®
Private Wealth Advisor
CERTIFIED FINANCIAL PLANNER™
professional

Eric M. Larson & Associates
A private wealth advisory practice of
Ameriprise Financial Services, Inc.

605 W Main St
St Charles, IL 60174-1740
Tel: 630.587.2800
Fax: 630.587.2811

15 Spinning Wheel Drive
Suite 217
Hinsdale, IL 60521
eric.m.larson@ampf.com
ameripriseadvisors.com/eric.m.larson

CA Insurance #0F12230

I'm writing this letter because I am unable to attend the city planning meeting but would like to show my full support for the proposed Millington Historic District. I own two properties within that area, 522 W. Main Street, recently landmarked and 605 W. Main Street, not a significant structure.

This western gateway is incredibly important to the preserving our quaint downtown district. I feel very strongly that preserving historically significant structures in this district is incredibly important. More importantly, any future development to our western gateway needs to be overseen by the architectural integrity infused by the historic commission.

If you have any questions please contact me directly.

Eric M. Larson, President
Larson Properties Group
630.669.5101

Johnson, Ellen

From: Sheryl Emralino <sae14@sbcglobal.net>
Sent: Monday, January 16, 2017 10:13 AM
To: Johnson, Ellen
Subject: Historic Preservation Commision meeting - Millington Historic District 1/18/17

Ms. Johnson,

My husband and I are homeowners at 114 S 6th St. I'd like indicate that my husband and I are AGAINST creating the Millington Historic District. Our reasons are:

1. The 11 S 6th property is an orthodontic office.
2. The 103 S 6th property is plaqued, but renovated without commission supervision.
3. The 109 S 6th property is new construction in 2006 that completely doesn't fit with the neighborhood. The home is 3 stories tall.
4. The 113 S 6th property is a rental that has 2 apartments. The landlord has been cited multiple times for poor maintenance of the property and there is a lien on the property from the City for violations. If a Historic District was approved, the landlord would certainly do nothing - she is collecting \$1000/mo on each apartment.
5. The 121 S 6th property is a rental property with 4 units. He maintains the property well enough but hasn't changed the outside in the 12 years we have lived here. I doubt he will go to a commission for permission on altering the outside.
6. The 122 S 6th property has been under the ownership of Royal Builders for over 6 years and has been used as a rental property. They haven't performed any outdoor maintenance in those 6 years. It is up for sale yet again and they did clean the front yard of the weeds and painted the trim. Since he is a recognized builder in the neighborhood, I would have thought the property would be immaculate.
7. And lastly, 515 Walnut. Ms. Mitchell has been a wonderful neighbor and landlord of 4 apartments. She recently has fallen ill and her property is up for sale. Her property is also plaqued. I have no idea who will purchase it and their intent on use. However, given our street's track record I am not hopeful that our new neighbor will be very compliant.

I am sure that other streets in the proposed area are worthy of the designation. Our section is NOT. We have too many homes with multiple units that are in disrepair and on the Code Enforcement Officer's radar for many years.

I urge the commission to reject the Millington Historic District. On our street, I cannot see that the designation would be an asset.

Sheryl & Tony Emralino

114 S 6th Street
St. Charles, IL 60174
Cell: 630.479.0136
email: sae14@sbcglobal.net

Colby, Russell

From: Wendy Mosier <wsmosier@comcast.net>
Sent: Monday, January 16, 2017 1:32 PM
To: Colby, Russell
Subject: Millington Historic District

We support the Millington Historic District proposal.

Wendy & Fred Mosier
423 S. 7th Street

Wendy Mosier
wsmosier@comcast.net
cell phone: 630-464-5578

Colby, Russell

From: Laura Rice <lrice.provenance@gmail.com>
Sent: Wednesday, January 18, 2017 11:18 AM
To: Colby, Russell
Cc: Adam D. Gibbons
Subject: Support of proposed Millington Historic District

Mr. Russell Colby,

Unfortunately, I am not able to attend the Public Hearing scheduled to take place Wednesday, January 18. I am writing this letter to express my support for the establishment of the new Millington Historic District on the near west side of the downtown area. Our downtown area is graced with wonderful 19th and early 20th Century structures. These structures are architecturally diverse and help preserve the history of our community.

Over the past several years, we have seen several homes demolished in the Pottawatomie neighborhood. These homes, some modest in design and size, represented the early days of our city and offered a wide range of home prices for families with diverse economic circumstances. I currently live in an Historic District. I know many individuals are concerned that this designation may be limiting where home improvements are concerned. We have never felt limited in what we have been able to do to improve our home and have appreciated the guidance and input received on projects that we have presented to the Historic Preservation Commission.

I appreciate the leadership of the St. Charles Historic Preservation Commission in preserving the history and architecture of our community. It is the diversity of the architecture and families that will make our community a desirable destination for residents and businesses.

Sincerely,

Laura Rice

St. Charles Resident (201 Chestnut Avenue)

St. Charles Home Renovation Enthusiast (215 North 3rd Avenue)

Preservation Partners of the Fox Valley Volunteer Board Member (Vice President)

Colby, Russell

From: Laura Binning <laurabinning@gmail.com>
Sent: Wednesday, January 18, 2017 1:19 PM
To: Colby, Russell
Cc: Tim Binning
Subject: Historic District public hearing

Good afternoon,

In reference to the public hearing for the expansion of the Historic District in St. Charles, we are officially petitioning to be removed or exempt from the Historic District in the event the expansion is passed. Our building is brand new and we believe it does not constitute being part of the Historic District regulations.

We will try to attend tonights meeting to voice our concern.

Regards,

Laura Binning

Managing Member

MDW Properties, LLC

Direct Number [630-240-1000](tel:630-240-1000)



January 18, 2017

Mr. Russell Colby
Community and Economic Development
Planning and Development, City of St. Charles
2 E. Main St.
St. Charles, IL 60174

Dear Mr. Colby,

I am writing this letter in support of the proposed establishment of the Millington Historic District. I am a business and property owner in the proposed Millington Historic District (Kelly Orthodontics, 11 South Sixth Street).

I enthusiastically recommend this proposed district to preserve the varied and significant architecture vital to the character of St. Charles. This district is the entry way to our wonderful downtown. It would be a shame to alter this area which is so historically and culturally significant to our city.

Please let me know if you have any questions for me or require any further input. Thank you very much for your consideration.

Respectfully yours,

Dr. Daniel Kelly

11 SOUTH SIXTH STREET
ST. CHARLES, ILLINOIS 60174
630 584 9666
www.kellyorthodontics.com

Members American Association of Orthodontists





PRESERVATION PARTNERS

of the Fox Valley

Dear members of the St. Charles Historic Preservation Commission,

Thank you! This brief letter is to express my wholehearted support of your current effort to expand the historic district in St. Charles, to include the Millington area in the western portion of your city. As a member of the Preservation community, and someone interested in local history, I greatly appreciate your advocacy for the creation of the new district. Not only will you be helping to preserve irreplaceable historic structures, some of which are over 170 years old, you will also be increasing property values for the entire neighborhood, and protecting the investments of owners there. You will also be promoting education, as historic structures serve as a window to the past. As a high school history teacher and tutor, I know first-hand the benefits of seeing historic buildings in their original environment. The new historic district will also help to protect the environment, since historic districts encourage using existing resources, help keep building materials out of landfills, and discourage demolition of well-built structures. The Millington District is a rich resource for St. Charles and the entire Fox Valley, and I would love to help put together a walking tour of the area as soon as the designation is approved, so that the community can better know the wonderful architectural and historic resources that may be "right around the corner" from them. I wish that I could be there to express my support in person, but previous commitments prevent it. Again, thank you, and please know that I am willing to help your efforts in any way I can.

Sincerely,

Adam D. Gibbons
Board President, Preservation Partners of the Fox Valley

1/18/17

City of St. Charles, Illinois

Historic Preservation Commission Resolution No. 1-2017

A Resolution Recommending Approval for Historic District Designation (Millington Historic District)

WHEREAS, per Section 17.32.070 of the St. Charles Zoning Ordinance, it is the responsibility of the St. Charles Historic Preservation Commission to hold public hearing and evaluate nominations for Historic District designation and to make recommendations to the City Council regarding them; and

WHEREAS, the Historic Preservation Commission held a public hearing and has reviewed the Historic District Nomination for the Millington Historic District which encompasses an eight block area bounded by State Street, 5th Street, Illinois Street, and 7th Street, as legally described in the Historic District Nomination, and hereby finds that the proposed Historic District meets the criteria for Historic District designation listed in Section 17.32.070.C of the St. Charles Zoning Ordinance based on the historical and architectural significance as described in the following findings:

- 1. The area contains one (1) or more buildings, structures or sites meeting the criteria for landmark designation, and may also include other buildings, structures or sites which, although they may not qualify for individual landmark designation, contribute to the overall visual character of the area and to its architectural and historic significance.**

The area contains a total of 51 primary structures. An architectural survey of the area has been completed. According to the survey, 13 structures are rated as Significant and 22 structures are rated as Contributing. Of the 13 Significant structures, 5 have been designated as local historic landmarks. The remaining 8 Significant structures would qualify for landmark designation based on their architectural significance. The 22 Contributing structures may or may not qualify for individual landmark designation, however all of these structures add to the overall character and significance of the district due to their architectural and/or historical merit and compatibility with other structures within the district.

2. The area is historically, economically or culturally significant to the development of St. Charles.

The area comprises the bulk of Millington's Addition to St. Charles, which was annexed into the City in 1842; blocks 1-8 are included in the district.

Darwin Millington, born June 15, 1815, arrived to St. Charles from Ypsilanti, MI in 1837 with his father, Dr. Abel and his brother, Cicero. In 1838, Dr. Abel Millington purchased a large parcel of land on the west side of town from Gideon Young for \$8,000. The family developed and operated the first water-powdered flour mill on the west bank of the Fox River at the present-day site of the Hotel Baker. On February 1, 1840, the General Assembly enacted legislation authorizing, "Ira Minard, Reed Ferson, Bela T. Hunt, and Darwin Millington to construct, build, and continue a mill-dam across Fox River at the town of St. Charles." Darwin sold the mill to R.J. Haines around 1850. Darwin was a generous citizen, having donated the land for the West Town Park, now named Lincoln Park, as well as the adjoining land for construction of St. Patrick's Church. Darwin was also instrumental in bringing the St. Charles Branch Railroad to town in 1850.

In 1842, Darwin purchased from the US Government a quarter section of land west of and adjacent to the original town of St. Charles. The land was surveyed and subdivided into 9 blocks. The land was annexed into St. Charles on July 19, 1842 as Millington's Addition to St. Charles.

3. The area has sufficient integrity to convey the sense of a particular period in the history of the community.

A total of 35 structures are rated in the architectural survey of the area as either Significant or Contributing. The structures in the area date from 1838, with most construction occurring from the mid-1800s through the 1930s. Several architectural styles reflective of the period of construction are represented, including the National style, Greek Revival, Gothic Revival, Queen Anne, Colonial Revival, Prairie, and Craftsman.

NOW THEREFORE, be it resolved by the St. Charles Historic Preservation Commission to recommend to the City Council that the area legally described and depicted in the Historic District Nomination be designated as a Historic District, and that it be referred to as the "Millington Historic District".

Resolution No. 1-2017

Page 3

Roll Call Vote:

Ayes: Bobowiec, Malay, Gibson, Withey, Norris, Pretz, Smunt

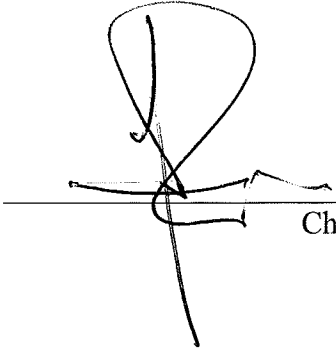
Nays:

Absent:

Abstain:

Motion Carried.

PASSED, this 18th day of January, 2017.



Chairman

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEVELOPMENT/PLANNING DIVISION PHONE: (630) 377-4443 FAX: (630) 377-4062

HISTORIC DISTRICT NOMINATION

Instructions:

To nominate an area for designation as a Historic District, complete this application and submit all required documentation to the Planning Division. Based on a review of the application by City staff and the Historic Preservation Commission, additional detailed information to support this application may be required.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.



1. Proposed District Information:	District Name: Millington Historic District	
	Description of General Location: Bounded by State Street to the north, 5th Street to the east, Illinois Street to the south, 7th Street to the west	
2. Applicant:	Name St. Charles Historic Preservation Commission	Phone (630)377-4443
	Address 2 E Main St. St. Charles, IL 60174	Fax
		Email rcolby@stcharlesil.gov
3. Legal Description of District: (attach sheets if necessary) All that part of the City of St. Charles lying within those portions of Sections 27, 28, 33 and 34, Township 40 North, Range 8 East of the Third Principal Meridian, bounded and described as follows: Beginning at the point of intersection of the centerline of State Street with the center line of Fifth Street North; thence southerly along the center line of said Fifth Street to the point of intersection of the center line of Fifth Street South with the center line of Illinois Street; thence westerly along the centerline of said Illinois Street to the point of intersection of the centerline of Illinois Street with the centerline of Seventh Street South; thence northerly along the centerline of said Seventh Street to the point of intersection of the centerline of Seventh Street North with the centerline of State Street; thence easterly along the centerline of said State Street to the point of beginning; commonly known as Blocks 1, 2, 3, 4, 5, 6, 7 and 8 of Millington's Addition to St. Charles, recorded on August 15, 1842, in Record Book 2, Page 498, in the City of St. Charles, Kane County, Illinois. (Parcel Numbers Attached)		

4. **Boundary Map:** Attach an accurate map indicating the boundary of the proposed district.
5. **Descriptive Statement:** Attach a narrative statement describing the proposed district which includes the following information:
 - a. History of the area's development and its significance to the development of St. Charles
 - b. The architectural styles represented and years of construction of the structures within the area.
 - c. The integrity of the structures within the area, highlighting any properties that are designated landmarks and those that meet the criteria for landmark designation or otherwise contribute to the overall visual character of the area and its architectural or historic significance.
 - d. Any additional reasons the area should be designated as a Historic District.
6. **Documentation on Individual Properties:** This can be in the form of architectural surveys or other documentation. A photo, date of construction, architectural style, building materials, and description of architectural features should be provided for each property. The Historic Commission will review the submitted documentation to determine if the information is sufficient.
7. **List of Parcels and Property Owners:** Provide the parcel identification number, property address, owner's name, and mailing address for all properties included in the proposed district. Use the attached form or submit on a separate sheet.
8. **Petition of Support:** A petition supporting the nomination must be signed by at least 25% of the owners of record of the properties within the proposed district. Use the attached petition form. A petition is not required if the applicant is the Historic Preservation Commission.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Applicant or Authorized Agent

12-21-2014

Date

Descriptive Statement – Millington Historic District

I. Context

The Millington Historic District constitutes eight (8) square blocks directly west of the Central Historic District. The district is bounded by State Street to the north, 5th Street to the east, Illinois Street to the south, and 7th Street to the west. The district straddles W. Main Street, with four blocks on the north side and four blocks on the south side.

The district comprises the bulk of Millington's Addition to St. Charles, which was annexed into the City in 1842; blocks 1-8 are included in the district. The actual boundary of Millington's Addition stretches an additional block to the south, to Indiana St. Some of this additional area is part of the Moody-Millington Historic District.

A total of 51 properties lie within the district. Most properties are residential, with the exception of the nine (9) fronting W. Main St. The bulk of these properties were constructed as single-family homes but have been converted for use as commercial and office space. However, these properties have retained their original character and scale and are highly visible, prominent buildings on the west river bluff that serve as a transition into the downtown area.

II. History

Darwin Millington, born June 15, 1815, arrived to St. Charles from Ypsilanti, MI in 1837 with his father, Dr. Abel and his brother, Cicero. In 1838, Dr. Abel Millington purchased a large parcel of land on the west side of town from Gideon Young for \$8,000. The family developed and operated the first water-powdered flour mill on the west bank of the Fox River at the present-day site of the Hotel Baker. On February 1, 1840, the General Assembly enacted legislation authorizing, "Ira Minard, Reed Ferson, Bela T. Hunt, and Darwin Millington to construct, build, and continue a mill-dam across Fox River at the town of St. Charles." Darwin sold the mill to R.J. Haines around 1850. Darwin was a generous citizen, having donated the land for the West Town Park, now named Lincoln Park, as well as the adjoining land for construction of St. Patrick's Church. Darwin was also instrumental in bringing the St. Charles Branch Railroad to town in 1850.

In 1842, Darwin purchased from the US Government a quarter section of land west of and adjacent to the original town of St. Charles. The land was surveyed and subdivided into 9 blocks. The land was annexed into St. Charles on July 19, 1842 as Millington's Addition to St. Charles.

Around 1843, the house now addressed as 522 W Main St. was constructed or acquired by Darwin Millington on Block 4, Lot 5 of Millington's Addition. The location was known as "Millington's Hill". The house is a designated local Historic Landmark known as the Darwin Millington Homestead.

III. Survey Information

A survey of the Near West Side was commissioned by the City of St. Charles in 2003. The properties in the proposed district are included in the survey. The survey information was updated for this nomination to reflect changes that have occurred in the district since 2003.

The structures in the district date from 1838, with most construction occurring from the mid-1800s through the 1930s. Several architectural styles reflective of the period of construction are represented, including the National style, Greek Revival, Gothic Revival, Queen Anne, Colonial Revival, Prairie Four Square, and Craftsman.

In terms of architectural significance, 13 properties are rated as Significant, 22 properties are Contributing, and 16 properties are Non-Contributing.

The following are Significant structures identified in the survey:

- 500 Cedar St.
 - Craftsman, built 1911
- 521 Cedar St.
 - Craftsman, built 1925
- 522 Cedar St. (Landmark; see Section IV)
 - Colonial Revival, built circa 1912
- 606 Cedar St. (Landmark; see Section IV)
 - National, built circa 1837
- 621 Cedar St.
 - Shingle, built 1925
- 502 W Main St.
 - Queen Anne, built 1891
- 521 W Main St. (Landmark; see Section IV)
 - Gothic Revival, built 1866
- 522 W Main St. (Landmark; see Section IV)
 - Greek Revival, built circa 1843
- 612 W Main St.
 - Queen Anne, built 1894
- 619 W Main St.
 - Colonial Revival, built circa 1900
- 515 Walnut St.
 - Greek Revival, built 1875
- 19 S 5th St. (Landmark; see Section IV)
 - Greek Revival, built circa 1859
- 123 N. 6th St.
 - Queen Anne, built 1915

IV. Landmarks

Five (5) locally designated Historic Landmarks are located within the district:

1. Thomas Hanson Home – 522 Cedar St.
Built circa 1912
Colonial Revival
Designated 2000
The property was originally purchased in 1905 by Otto Frellsen, proprietor of the White Front Hotel. He and his partner William Drecher also owned a bowling alley and billiard

hall located on West Third St. The home was built between 1905 and 1912. The home was sold in 1912 to Thomas M. Hanson, who owned and operated Hanson Groceries.

2. Young-Marsden House – 606 Cedar St.

Built circa 1837

National style

Designated 2008

The house was most likely built by Gideon Young, who owned much of the property west of the Fox River. He is responsible for layout out the original boundaries of the west side of St. Charles. In 1838, Dr. Abel Millington purchased the entire property and began construction of a flour mill where Carroll Towers now stands. The house appears to be one of the first homes in St. Charles. The house shows signs of being part of the Underground Railroad, as there appear to be sleeping berths in the basement along with a well and tunnel that lead into the basement. Many early settlers to St. Charles were abolitionists and the community as known to be a stop on the Underground Railroad route. The property was sold to Roger Marsden in 1852. Marsden was a shoe and boot maker and owned a business with partner Thomas Metcalf. The home remained in the Marsden family through the turn of the 20th century.

3. Darwin Millington Homestead – 522 W. Main St.

Built circa 1843

National style with Greek Revival Influences

Designated 2016

Darwin Millington and his father, Dr. Abel Millington, constructed the first water powered flour mill on the Fox River. Darwin donated the land on which the old St. Patrick's Church was constructed, as well as land for the West Town Park, now named Lincoln Park. Darwin was also instrumental in bringing the St. Charles Branch Railroad to town in 1850.

4. Haines House – 521 W. Main St.

Built 1866

National style with Gothic Revival influences

Designated 2015

Charles Haines inherited the home from his father, Robert. Charles Haines served as the sixth mayor of St. Charles from 1889-1891. He funded construction of the Charles Haines School (demolished in 1956) and donated the land on which the Haines and Thomason middle schools now sit.

5. Dr. J.K. Lewis House – 19 S. 5th St.

Built circa 1859

Greek Revival

Designated 1998

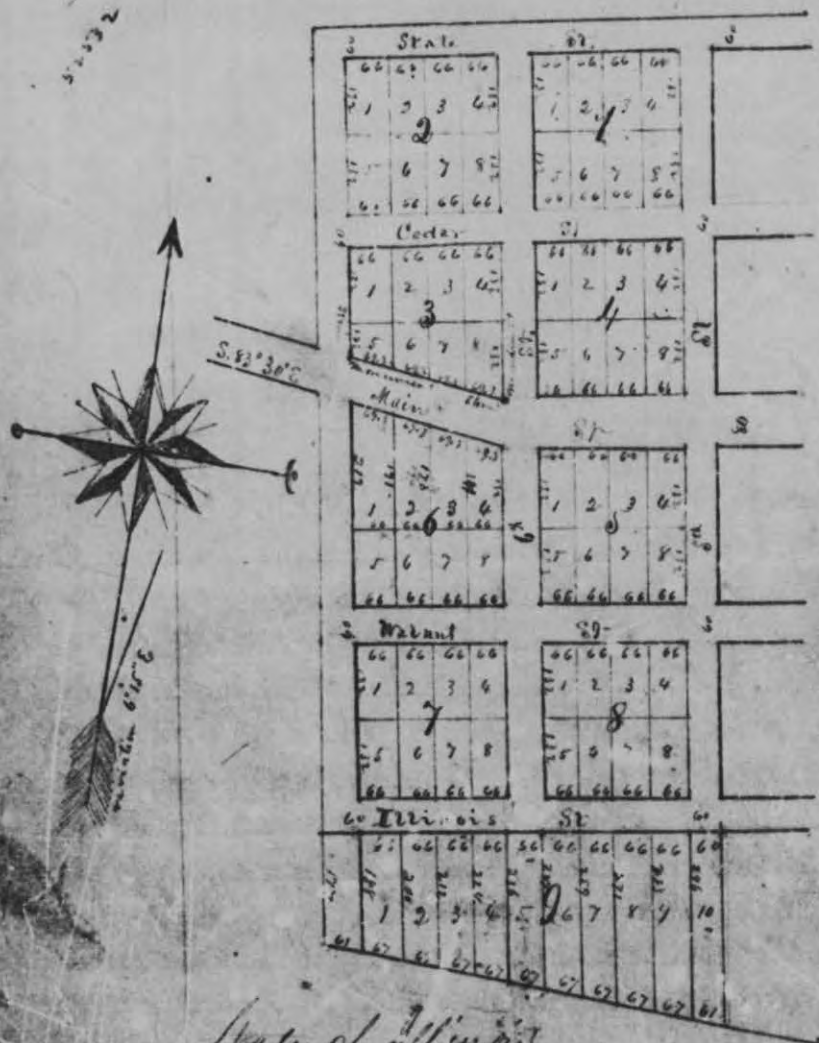
The house is considered to be the only true example of the Greek Revival style in St. Charles. Dr. Lewis was the first and third mayor of St. Charles and practiced medicine in St. Charles un 1892. His daughter Genevieve served as the City's first librarian. Dr. Lewis sold the home in 1862 to Catherine Easter. The property was sold to Winfield F. Osgood in 1863. Mr. Osgood was an important local merchant and owner of the Osgood Building located at 11-15 E. Main St.

V. Attachments

- Millington's Addition to St. Charles Plat of Subdivision
- District Map with Architectural Survey Information

MILLINGTON'S

Addition. Do
St Charles.



I do hereby certify that I have surveyed Millington's addition to the Town of Saint Charles in the County of Kane in the State of Illinois and that this map is a correct representation of the streets, blocks and lots in said addition

John B. Creston
Supt for P. J. Wagner
County Surveyor for
Kane County Illinois

July 19th 1842

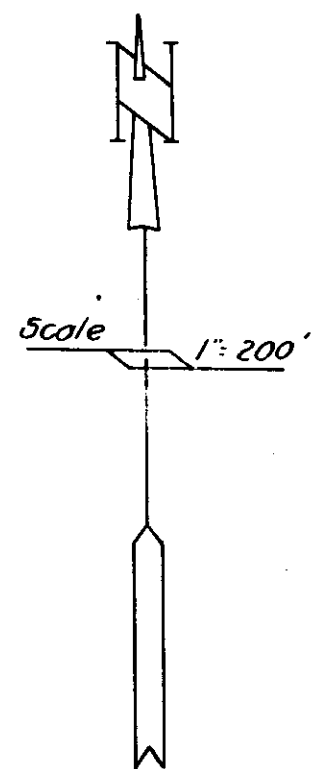
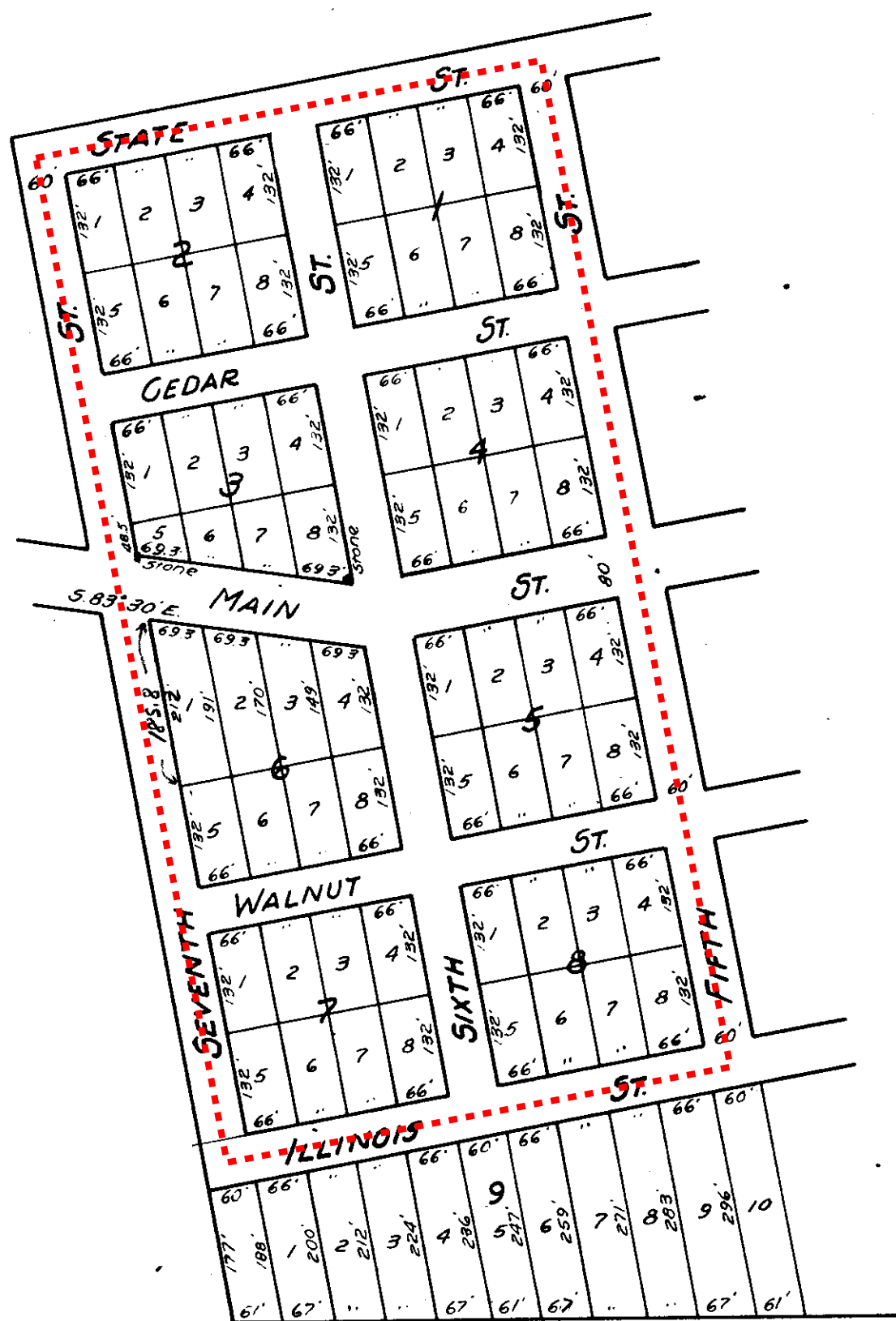
State of Illinois
Kane county J. Leonard Howard a Justice
of the Peace in and for the said county of the State
aforesaid, Do hereby certify that Darwin Chittlingham
is personally known, appeared before me this day
in person and acknowledged himself to be proprietor
of the addition to the Town of St Charles as above
described and platted and that the said addition
was laid off agreeable to the within plat shown under
my hand and seal at my office in St Charles in the
County aforesaid this Friday first day of July A.D. 1842
J. Leonard Howard

Filed August 15th 1842 at 9 o'clock A.M. Justice

J. F. King
J. F. King

This Indenture, 4th
year of our said
Sovereign, John & Kin
King of St. Charles
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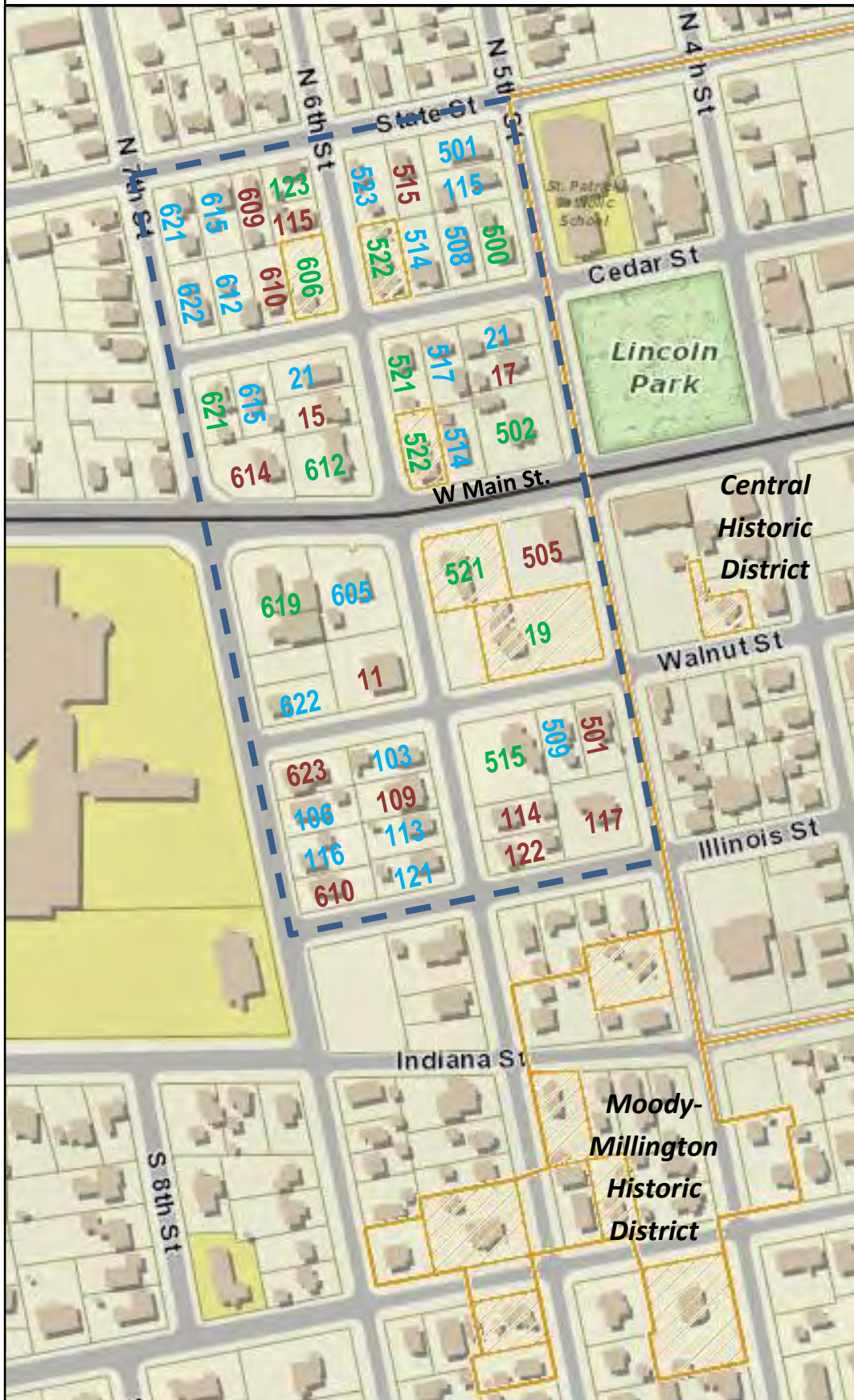
MILLINGTON'S ADDITION TO ST. CHARLES



FILED - AUGUST 15, 1842
RECORD BOOK 2 PAGE 498

JOHN B. PRESTON
SURVEYOR

Millington Historic District Architectural Survey Information



- District Boundary
 - Existing Historic District
 - Historic Landmark
- Architectural Significance Rating:
- Significant (13)
 - Contributing (22)
 - Non-Contributing (16)

Survey information taken from the Near West Side Survey conducted in 2003 and updated as necessary in 2016



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 501 State Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☒ Contributing
☐ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Colonial Revival/Cape Cod</u>	Exterior Walls (Current):	<u>Cedar shingle</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Cedar single</u>
Date of Construction:	<u>1930</u>	Foundation:	<u>Concrete block/Concrete @ garage</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Side gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple rectangle</u>	Window Material/Type:	<u>Alum/Wd/double hung</u>

ARCHITECTURAL FEATURES: There is a small dormer on the front of the house near the entrance. A small cupola was installed over the garage.

ALTERATIONS: This house was moved to this site in 1966 from the site of the Coca Cola plant. The foundation was built onsite using standard CMU and then the house was moved. The garage was built onsite on a concrete foundation.



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

ST. CHARLES HISTORIC PRESERVATION COMMISSION

501 State Street - Continuation Sheet

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

Albert Regole built this house on the site of the Coca Cola plant

Current owner

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE:

COUNTY:

LOCAL:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 515 State Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: National
Architectural Features: _____
Date of Construction: 1925
Source: Township Assessor's Office
Overall Plan Configuration: Simple/Rectangle

Exterior Walls (Current): Clapboard
Exterior Walls (Original): Clapboard
Foundation: Concrete
Roof Type/Material: Front gable/Asphalt shingle
Window Material/Type: Alum/double hung

ARCHITECTURAL FEATURES: Round classical columns support the full width front porch.

ALTERATIONS: A one story addition was made to the rear of the house that is somewhat sympathetic with the original house. A 2 story addition was also put on the rear of the house and is not sympathetic with the original style. A flat roofed garage addition is also not sympathetic to the original. The soffits have been boxed in with aluminum.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 523 State Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☒ Contributing
☐ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Folk Victorian</u>	Exterior Walls (Current):	<u>Brick/Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Brick</u>
Date of Construction:	<u>1910</u>	Foundation:	<u>Parged masonry</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Front gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple/rectangle</u>	Window Material/Type:	<u>Alum/Double hung</u>

ARCHITECTURAL FEATURES: The front porch runs the full width and its roof is supported by turned columns. It is simply detailed overall lacking the fine detailing commonly associated with the style.

ALTERATIONS: The additions to the rear are sided with aluminum. It appears that there have been 2 additions.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 609 State Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☐ Contributing
- ☒ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☐ Good
- ☒ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>National</u>	Exterior Walls (Current):	<u>Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1915</u>	Foundation:	<u>Parged masonry/concrete</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Cross gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Compound/mass</u>	Window Material/Type:	<u>Aluminum/Double hung</u>

ARCHITECTURAL FEATURES: The original house has been transformed through additions and modifications that make it difficult to see what the original style really was. The front gable end dominates the street elevation. A pair of double hung windows is all that remains of the original design elements apparent from the street.

ALTERATIONS: A 2 story addition to the west side sits on a concrete foundation. A 1 story addition to the south side is somewhat sympathetic with the massing of the original house. A large picture window was installed at the ground floor front elevation replacing the original windows/door.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 615 State Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☒ Contributing
☐ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Folk Victorian</u>	Exterior Walls (Current):	<u>Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1910</u>	Foundation:	<u>Parged masonry</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Front gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple rectangle</u>	Window Material/Type:	<u>Wood/Alum/double hung</u>

ARCHITECTURAL FEATURES: The side porch and entrance features some ornate wood detailing and brackets. Relates well in scale and proportion to the neighborhood buildings of the same era.

ALTERATIONS: Aluminum siding on the main part of the house was installed at the same time that a 1 story addition was made to the south side. The addition has a flat roof and window sizes that are not in keeping with the original. A one story addition to the west side that has a gabled roof is more in style with the original. All of the house is covered with aluminum – soffits, fascia, and siding.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 621 State Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>National</u>	Exterior Walls (Current):	<u>Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1910</u>	Foundation:	<u>Parged masonry</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Cross gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple – orig.</u>	Window Material/Type:	<u>Aluminum/Double hung</u>

ARCHITECTURAL FEATURES: Square columns support the front porch's hipped roof while the porch rail is supported by turned balusters. The ceiling of the porch is bead board.

ALTERATIONS: This house has been aluminized. The front porch has been recently remodeled in keeping with the style of the house. A one story addition to the south side has a hipped roof and therefore is not in keeping with the original style.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 500 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Craftsman Bungalow

Architectural Features: _____

Date of Construction: 1911

Source: Township Assessors Office

Overall Plan Configuration: Simple - massed

Exterior Walls (Current): Brick

Exterior Walls (Original): Brick

Foundation: Concrete

Roof Type/Material: Side gable/Asphalt

Window Material/Type: Alum/Wd/Double hung

ARCHITECTURAL FEATURES: The large centered roof dormer and the closed in front porch are prominent features of the front elevation. The windows on the dormer feature a 3:1 pattern and an arched head. Stepped wooden brackets support the wide eaves on the side elevations as well as the dormer. Square brick columns support the roof of the all season porch. As this house is sited on a corner, the entrance is on the protected side (west) of the house.

ALTERATIONS:



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ARCHITECTURAL SURVEY

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ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 508 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Queen Anne</u>	Exterior Walls (Current):	<u>Aluminum on wood frame</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard on wood frame</u>
Date of Construction:	<u>1910</u>	Foundation:	<u>Concrete</u>
Source:	<u>Township Assessors Office</u>	Roof Type/Material:	<u>Hipped w/lower cross gables</u>
Overall Plan Configuration:	<u>Simple - massed</u>	Window Material/Type:	<u>Alum/Double hung</u>

ARCHITECTURAL FEATURES: The roofs are steep and the house has typical massing for this style. The full width front porch is the prominent architectural feature of the front elevation. The paired double hung windows located on the 2F of the front gable are narrow and have no muntins.

ALTERATIONS: There is an addition to the rear of the house that has a shallow pitched roof and an elevated wooden deck. These additions are non-sympathetic to the original house. The windows feature a 3:1 muntin pattern. All of the aluminum trim, windows, and siding are new.



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ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 514 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>National</u>	Exterior Walls (Current):	<u>Clapboard</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1910</u>	Foundation:	<u>Parged masonry</u>
Source:	<u>Township Assessors Office</u>	Roof Type/Material:	<u>Front gable/Asphalt</u>
Overall Plan Configuration:	<u>Simple - rectangle</u>	Window Material/Type:	<u>Alum/Double hung</u>

ARCHITECTURAL FEATURES: A moderate roof slope and heavy frieze suggest some relation to the Greek revival style. There is also a simple classic wood molding profile at the head of the windows. The full width front porch is closed in for four season use.

ALTERATIONS: An addition to the rear of the house is sympathetic to the original featuring the same siding and a gable roof. The west side of the house has been extended for a two-bay garage and second floor expansion. The center gable above the garage mimics the gable front of the original house. The siding is consistent with the original.



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ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 517 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Queen Anne</u>	Exterior Walls (Current):	<u>Aluminum/Wd Shingles</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard/Wd Shingles</u>
Date of Construction:	<u>1915</u>	Foundation:	<u>Textured CMU</u>
Source:	<u>Township Assessors Office</u>	Roof Type/Material:	<u>Hipped w/ lower cross gables/ Asphalt Shingles</u>
Overall Plan Configuration:	<u>Simple w/Irregularities</u>	Window Material/Type:	<u>Vinyl/Dbl Hung</u>

ARCHITECTURAL FEATURES: Elements of the original house that remain visible, aside from the overall massing, are the wood shingles in the gable ends and the entry porch. The house is somewhat unusual in that its side is oriented to the street with the entry & porch facing the side yard. Columns support the shed styled roof with a small gable form placed over the entry. The two-story bay element on the north elevation is the most important visual element of the street façade.

ALTERATIONS: The siding has been replaced with aluminum and the windows have been replaced with vinyl. A small sun-porch located on the street elevation at the northeast corner of the house has been enclosed. The porch columns rest on stone



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ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 521 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Craftsman

Architectural Features: _____

Date of Construction: 1925

Source: Township Assessors Office

Overall Plan Configuration: Simple square

Exterior Walls (Current): Brick

Exterior Walls (Original): Brick

Foundation: Concrete

Roof Type/Material: Hipped/Asphalt shingle

Window Material/Type: Alum/Wd/Dbf Hung

ARCHITECTURAL FEATURES: There is a single hipped dormer located on the front side of the house roof. The full width front porch is the dominant architectural feature. Simple square brick columns support the roof of the porch. The double hung windows feature a 4:1 muntin pattern. All of the windows are used in pairs or groups of three.

ALTERATIONS: The soffits are boxed in aluminum. There is a small mudroom vestibule added to the rear of the house that is sheathed with dryvit and has a prefab greenhouse window unit. The porch appears to have been closed in subsequent to the initial construction and the entrance moved to the outer wall. Low brick side-walls were recently added at the front stairs.



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ST. CHARLES, ILLINOIS

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Primary Structure

ADDRESS 522 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- ☒ Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Colonial Revival</u>	Exterior Walls (Current):	<u>Brick</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Brick</u>
Date of Construction:	<u>Circa 1912</u>	Foundation:	<u>Brick/Concrete</u>
Source:	<u>Landmark Nomination</u>	Roof Type/Material:	<u>Hipped/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple square</u>	Window Material/Type:	<u>Wd Trim/Alum/Dbf Hung</u>

ARCHITECTURAL FEATURES: Hipped dormers are placed on the front and side elevations of the roof. The hipped roof flares at the eaves. Wooden Doric columns, with bases on the porch deck, support the roof of the porch. The columns are more of a Colonial Revival reference than a Prairie style detail. A plain wooden railing with square balusters encircles the porch. The stone belt course that marks the first floor line also separates two brick colors emphasizing the horizontal line of the house. These features, along with the wide roof overhangs, are commonly used design elements of the style. The single story bay window on the west side features open brick corners. Most of the windows have stone lintels and sills.



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MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

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Continuation Sheet

ALTERATIONS: A wooden two-story porch with a shed roof was added to the rear of the house. Its design and detailing are inconsistent with the original design.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

REPRESENTATION IN EXISTING SURVEYS:

FEDERAL:

STATE:

COUNTY:

LOCAL:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 606 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- Significant
- ☐ Contributing
- ☐ Non-Contributing
- Potential for Individual National Register Designation

BUILDING CONDITION

- Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	National	Exterior Walls (Current):	Limestone, wood clapboard (addition)
Architectural Features:		Exterior Walls (Original):	Limestone
Date of Construction:	Circa 1837 Orig.	Foundation:	Stone / Orig., Conc. / Adds
Source:	Landmark Nomination	Roof Type/Material:	Side gable/Asphalt Shingle
Overall Plan Configuration:	Simple rectangle – Orig.	Window Material/Type:	Wood/Dbl Hung

ARCHITECTURAL FEATURES: The original portion of the house is constructed of limestone. This house has narrow eaves and shallow roof slope. The lack of windows on the second floor of the front elevation is odd as is the window arrangement on the side elevation.



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ST. CHARLES, ILLINOIS

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606 Cedar Street - Continuation Sheet

ALTERATIONS: The two-story addition to the rear does not relate to the original architecture in any way. A small one-story addition featuring an octagonal window was made to the west side of the house.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

REPRESENTATION IN EXISTING SURVEYS:

FEDERAL:

STATE:

COUNTY:

LOCAL:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 610 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Modern/Colonial Revival</u>	Exterior Walls (Current):	<u>Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Aluminum</u>
Date of Construction:	<u>1978</u>	Foundation:	<u>Concrete</u>
Source:	<u>Township Assessors Office</u>	Roof Type/Material:	<u>Side Gable/Asphalt Shingle</u>
Overall Plan Configuration:	<u>Compound - L</u>	Window Material/Type:	<u>Aluminum/Asphalt Shingle</u>

ARCHITECTURAL FEATURES: The two-car garage dominates the street elevation. It does not relate to the main part of the house. The roof slope is shallow and the overhangs are narrow. A large three-part picture window is an important element of the front façade.

ALTERATIONS:



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ST. CHARLES, ILLINOIS
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Primary Structure

ADDRESS 612 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: <u>National</u>	Exterior Walls (Current): <u>Stucco on masonry</u>
Architectural Features: _____	Exterior Walls (Original): <u>Masonry</u>
Date of Construction: <u>1860</u>	Foundation: _____
Source: <u>Township Assessors Office</u>	Roof Type/Material: <u>Side gable/Asphalt shingle</u>
Overall Plan Configuration: <u>Simple – Rectangle (orig)</u>	Window Material/Type: <u>Alum/Dbl Hung</u>

ARCHITECTURAL FEATURES: This house appears to be related stylistically to the house located up the street at 606 Cedar. The first floor of this house is raised off grade and consequently has steps and a small raised porch at the front door. The roof pitch is shallow and the eaves are narrow. There are exposed rafter tails at the eaves. Two small windows with short head heights are placed on the front elevation at the eave. The windows sills of the original house are articulated. Two square columns support a small gable roofed front porch.



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ST. CHARLES, ILLINOIS

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612 Cedar Street - Continuation Sheet

ALTERATIONS: Two additions to the north side of the house have been made. The first is two-stories with a broad gabled roof and is sheathed in a wavy-patterned Masonite siding. The second is a single -story with a shed roof and is also sided with the wavy Masonite. Neither addition relates to the original design.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

REPRESENTATION IN EXISTING SURVEYS:

FEDERAL:

STATE:

COUNTY:

LOCAL:



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ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 615 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☒ Contributing
☐ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Colonial Revival/Cape Cod</u>	Exterior Walls (Current):	<u>Clapboard</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1925</u>	Foundation:	<u>Concrete</u>
Source:	<u>Township Assessors Office</u>	Roof Type/Material:	<u>Side Gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple Rectangle</u>	Window Material/Type:	<u>Wd Trim/Alum/DbI Hung</u>

ARCHITECTURAL FEATURES: The broad front roof plane flares to cover the porch. 4 square wooden columns originally supported the porch roof. A large shed roofed dormer is placed symmetrically on the front roof. The front door is centered on the front elevation too.

ALTERATIONS: The front porch has been screened in and low clapboard sided walls have been added.



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MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

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Survey Updated: Dec. 2016

Primary Structure

ADDRESS 621 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Shingle Style</u>	Exterior Walls (Current):	<u>Clapboard/Wood shingles</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1925</u>	Foundation:	<u>Concrete</u>
Source:	<u>Township Assessors Office</u>	Roof Type/Material:	<u>Hipped Side Gable / Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple Square</u>	Window Material/Type:	<u>Wd trim/Alum/ Dbl Hung</u>

ARCHITECTURAL FEATURES: This house possesses a charming street scale. The placement of the ½ tower on the corner relates well to the corner lot. The hip on gable roof gently flares over the porch. Square columns support the porch roof. A shed-roofed dormer is placed over the porch. The floor lines are clearly defined with wood trim. The upper story is covered with wood fish-scale shingles. The scale of this small house is manipulated by being located on an elevated lot with a raised first floor.

ALTERATIONS: A one-story addition to the rear of the house is sympathetic to the original featuring the same siding, double-hung windows, and hipped roof.



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Primary Structure

ADDRESS 622 Cedar Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	Craftsman Bungalow	Exterior Walls (Current):	Clapboard w/brick front porch
Architectural Features:		Exterior Walls (Original):	Clapboard
Date of Construction:	1925	Foundation:	Parged masonry – Orig.
Source:	Township Assessors Office	Roof Type/Material:	Hipped Side gable/ Asphalt Shingle
Overall Plan Configuration:	Simple rectangle	Window Material/Type:	Alum/Dbf Hung

ARCHITECTURAL FEATURES: The overall character of the house is Craftsman even though there are few details to further support the style. There is an absence of wood details at the open eaves.....no exposed rafter tails or brackets.

ALTERATIONS: The brick appears to have been added when the front porch was closed in. There is a large 2-story addition to the rear that has a gable roof and detailing similar to the original house. The addition has a concrete foundation.



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ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
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Primary Structure

ADDRESS 502 West Main Street



ARCHITECTURAL SIGNIFICANCE

► **Significant**

- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

► **Excellent**

- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Victorian – Queen Anne

Architectural Features: _____

Date of Construction: 1891 (1898)

Source: St. Charles of Illinois
By David A. Badger

Overall Plan Configuration: Compound/Irregular

Exterior Walls (Current): Wood clapboard on a wood frame

Exterior Walls (Original): Wood clapboard on a wood frame

Foundation: Stone

Roof Type/Material: Hipped with cross gables

Window Material/Type: Wood/Double hung

ARCHITECTURAL FEATURES: This is an elaborately detailed example of the style. A system of ornamental wood trim is used throughout the house. All of the window and door openings are trimmed in a similar manner. A two-story corner tower is the most visible architectural detail. It relates well to the corner site and the adjacent city park. Elaborate spindle-work decorates the gable ends. Spindle-work detailing is used on the porches located on the east and west sides of the house.



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
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Continuation Sheet

Secondary Structure

ADDRESS 502 West Main Street



ALTERATIONS: A non-contributing brick wall has been constructed in front of the carriage house.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Terrence A. Ryan lived here in the early 1900's. He moved here from Ireland in 1853. Mr. Ryan was a schoolteacher in his early working career and by 1876 was an attorney involved in real estate. He is responsible for Moline Malleable locating here in 1893.

Peter S. & Gertrude Nichol, owners of P.S. Nichol Lumber Co. lived here in the 1930's.

Source St. Charles of Illinois by David A. Badger

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE: Yes

COUNTY:

LOCAL: Yes



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
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ST. CHARLES HISTORIC PRESERVATION COMMISSION

Primary Structure

ADDRESS 505 West Main Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
☐ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: <u>Commercial</u>	Exterior Walls (Current): <u>Cement board, stone veneer</u>
Architectural Features: _____	Exterior Walls (Original): _____
Date of Construction: <u>2016</u> <u>1950 (orig. foundation)</u>	Foundation: <u>Concrete</u>
Source: <u>Township Assessor's Office</u>	Roof Type/Material: <u>Hipped/Asphalt shingle</u>
Overall Plan Configuration: <u>Simple</u>	Window Material/Type: <u>Alum Fixed sash</u>

ARCHITECTURAL FEATURES: New construction on top of 1950 foundation. The structure reflects a mixture of elements from various architectural styles. The corner entrance is covered by a three-story protruding stone veneer tower. Large cantilevered windows are prominent on the north elevation. The roofline features a bracketed cornice.



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ARCHITECTURAL SURVEY
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ST. CHARLES, ILLINOIS
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Primary Structure

ADDRESS 514 West Main Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☐ Good
- ☒ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Prairie Style 4 square</u>	Exterior Walls (Current):	<u>Stucco on masonry</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Stucco on masonry</u>
Date of Construction:	<u>1925</u>	Foundation:	<u></u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Hipped/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple 4 square</u>	Window Material/Type:	<u>Alum/Casements/Db'l. hung</u>

ARCHITECTURAL FEATURES: This house exhibits some of the typical features of the style in the roof form and its' broad eaves. The windows on the 2F are banded together in the Prairie Style fashion.

ALTERATIONS: A screened in front porch runs the full width of the house. Its' walls are brick and the detailing does not match the rest of the house.



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ST. CHARLES, ILLINOIS

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Primary Structure

ADDRESS 521 West Main Street



ARCHITECTURAL SIGNIFICANCE

- ☒ Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☒ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Gothic Revival
Architectural Features: _____
Date of Construction: 1890
Source: Township Assessor's Office
Overall Plan Configuration: Compound asymmetrical

Exterior Walls (Current): Brick
Exterior Walls (Original): Brick
Foundation: Stone
Roof Type/Material: Cross gabled/Asphalt shingles
Window Material/Type: Alum/Wood/Double hung

ARCHITECTURAL FEATURES: This house is sited high up the hill west and overlooking the downtown. It has an impressive façade as a result. The detailing of the brick walls is relatively plain, but it has large stone lintels. The walls extend into the gables without a break meeting the open eaves and exposed rafter ends. This gives the house the lofty feeling associated with the gothic style. The porch at the entry has flat arches supported by square posts and includes a delicately detailed railing.

ALTERATIONS: A large 2 story addition was put onto the rear of the house that was relatively sympathetic to the original. The addition used the same materials, roof pitch, and detailing as the original house. There is also a non-sympathetic 1 story addition to the west side sheathed in clapboard. The windows are 6:1 pattern and the roofing is black asphalt shingles. Another 1 story addition to the rear has a flat roof deck & an exit from the 2F and is also sheathed in clapboard.



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521 West Main Street - Continuation Sheet

HISTORIC INFORMATION:

ARCHITECT: Unknown
Source

BUILDER: Unknown
Source

ASSOCIATED EVENTS, PEOPLE & DATES: This was the home of Charles H. Haines and his widowed mother Harriet. Charles was the Mayor of St. Charles from 1889-1891. He owned the Colson building and was a silent partner of J.F. Colson. Charles was one of the largest real estate owners in St. Charles at the time. He was President of the school board for 17 years and donated land for one of the school buildings.
Source St. Charles of Illinois by Donald A. Badger, Heritage Center

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:
STATE: YES
COUNTY:
LOCAL: YES.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 522 West Main Street



ARCHITECTURAL SIGNIFICANCE

- Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Greek Revival

Architectural Features: _____

Date of Construction: 1850

Source: Township Assessor's Office

Overall Plan Configuration: Simple w/ additions

Exterior Walls (Current): Brick

Exterior Walls (Original): Brick

Foundation: Stone

Roof Type/Material: Front gable/Asphalt shingle

Window Material/Type: Wood/Dbl. Hung. Some Alum dbl. hung at 2F

ARCHITECTURAL FEATURES: There are brick jack arches over the windows, which have stone sills. Full height classic columns support the wrap - around front porch and a small pediment emphasizes the entrance. The eaves are accented with a wide band of trim.

ALTERATIONS: A large addition to the rear of the house features frieze band windows and a simple gable roof like the original



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

522 West Main Street - Continuation Sheet

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Darwin and Miranda a. Millington donated land to the Congregational Catholic Church and for the West Side Park.

Source

Wall Plaque

REPRESENTATION IN EXISTING SURVEYS:

FEDERAL:

STATE:

COUNTY:

LOCAL:

Yes



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 605 West Main Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: National

Architectural Features: _____

Date of Construction: 1873

Source: Township Assessor's Office

Overall Plan Configuration: Compound

Exterior Walls (Current): Aluminum

Exterior Walls (Original): Clapboard

Foundation: Concrete

Roof Type/Material: Cross gable/Asphalt shingle

Window Material/Type: Alum/Wd. Double hung

ARCHITECTURAL FEATURES: This is an unusual front elevation featuring two front porches that are supported by shallow arches springing from simple full height square column. Classically detailed fluted pilasters flank both of the front entrances.

ALTERATIONS: The addition to the rear is one story and has a roof that has a shallower pitch than the main house. The aluminum siding is typically horizontal, but is vertical at the addition. There is another addition that has a shed roof that is accessed by an exterior site built wooden stair. This addition has horizontal aluminum siding. There is currently a commercial tenant occupying the building.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 612 West Main Street



ARCHITECTURAL SIGNIFICANCE

- Significant
☐ Contributing
☐ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- Excellent
☐ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Queen Anne
Architectural Features: _____
Date of Construction: 1894
Source: Township Assessor's Office
Overall Plan Configuration: Simple rectangle

Exterior Walls (Current): Wood clapboard with decorative wood shingles.
Exterior Walls (Original): Wood clapboard with decorative wood shingles
Foundation: Stone
Roof Type/Material: Hipped with lower cross gables.
Window Material/Type: Vinyl /Dbl. hung , fixed

ARCHITECTURAL FEATURES: This house features a hipped roof with lower cross gables. The entry has a small gabled porch with square columns. The front gable is a dominant feature of the asymmetrical front elevation. This feature also has a large arched tripartite window and cut away corners and imbricated shingles under the gable.

ALTERATIONS:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003
Survey Updated: Dec. 2016

612 West Main Street - Continuation Sheet

HISTORIC INFORMATION:

ARCHITECT: George Barber
Source St. Charles Historical Society Landmark Application April 1992

BUILDER: Unknown
Source

ASSOCIATED EVENTS, PEOPLE & DATES: John and Anna Colson purchased the property in 1891 and built sometime shortly thereafter. John was a prominent businessman who started his career as a clerk in the employ of L.C. Ward & Co. He later started a business in partnership with Charles A. Anderson & Charles Haines that became known as J.F. Colson & Co.
Source St. Charles Historical Society Landmark Application April 1992

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:
STATE: YES
COUNTY:
LOCAL: YES. Applied for Local Landmark Status in 1992.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 614 West Main Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☐ Contributing
- ☒ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☐ Good
- ☒ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Queen Anne</u>	Exterior Walls (Current):	<u>Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1900</u>	Foundation:	<u>Stone(orig), Conc.@ additions</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Cross gable/asphalt shingle</u>
Overall Plan Configuration:	<u>Compound - mass</u>	Window Material/Type:	<u>Alum/DbI. hung</u>

ARCHITECTURAL FEATURES: The front gable has cut away corners as if it once had some Victorian detailing. The west side gable has a curious hipped gable that is out of place with the rest of the house.

ALTERATIONS: The wrap around front porch has been recently redone using wolmanized lumber and does not relate well to the rest of the house. All of the detailing that this house once might have had is completely concealed by all of the aluminum. There is an addition at the rear that has a slightly lower gable roof than the main roof. A rear porch was added at some point using plain CMU as a foundation. This is currently a commercial occupancy.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 619 West Main Street



ARCHITECTURAL SIGNIFICANCE

- ☒ Significant
☐ Contributing
☐ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Colonial Revival</u>	Exterior Walls (Current):	<u>Brick</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Brick</u>
Date of Construction:	<u>1900</u>	Foundation:	<u>Stone(orig.), Conc.(Additions)</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Hipped/Wood shingle (orig.)</u>
Overall Plan Configuration:	<u>Simple w/ additions</u>	Window Material/Type:	<u>Alum/Wd./Dbl. hung</u>

ARCHITECTURAL FEATURES: This is a large imposing façade accentuated by being elevated above the street level and by being located on a very prominent site. The roof is a simple hip with a long ridgeline and is articulated with large triangular roof dormers on the north, east, and west elevations. The east and west dormers crown a two story brick projection serving to break up what could have been an uneventful façade. The top of the stone foundation stops vertically at the first floor line and adds visual interest and character to the massive looking house.



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
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ST. CHARLES HISTORIC PRESERVATION COMMISSION

619 West Main Street - Continuation Sheet

ALTERATIONS: The front porch is an important element of the front façade and has recently been rebuilt using modern materials. The detailing is good and the design appears to be compatible with the main house. Several additions have been made to the west, south, and east sides of the original house. None of these are sympathetic with the original design in any way. There is no sense of scale, material, or detail references in any of these additions. An adjacent one - story house is connected to the main house at the rear.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

This is sometimes referred to as the Nelson House. Dr. Nelson, a psychologist, ran a school here in the 1940's. Marshall Field's son was among those who resided here during its operation.

Source

Owner

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE:

COUNTY:

LOCAL:

Yes



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Secondary Structure

ADDRESS 619 West Main Street



ARCHITECTURAL SIGNIFICANCE

- ☒ Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☐ Good
- ☒ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: <u>Colonial revival</u>	Exterior Walls (Current): <u>Clapboard</u>
Architectural Features: _____	Exterior Walls (Original): <u>Clapboard</u>
Date of Construction: <u>1890 est.</u>	Foundation: <u>Stone?</u>
Source: <u>Owner</u>	Roof Type/Material: <u>Hipped/Wood shingle</u>
Overall Plan Configuration: <u>Simple square</u>	Window Material/Type: <u>Wood</u>

ARCHITECTURAL FEATURES: The hipped pyramidal roof together with the lone eyebrow dormer and hayloft doors has an eccentrically interesting overall appearance.

ALTERATIONS: This appears to have been a barn that was adaptively reused as a garage. Overhead garage doors have replaced the original doors and are not sympathetic with the original barn design.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 501 Walnut Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Folk eclectic</u>	Exterior Walls (Current):	<u>The garage is alum/brick and the house is clapboard/brick.</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard/brick.</u>
Date of Construction:	<u>1940</u>	Foundation:	<u>Concrete</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Hipped with a lower side gable/asphalt shingle/flat with built-up roofing</u>
Overall Plan Configuration:	<u>Compound</u>	Window Material/Type:	<u>Alum/dbl. hung</u>

ARCHITECTURAL FEATURES:

The main body of the house features a porch that wraps around the north and east sides. 4x4 posts with no special details support it. The front of the house features a small round window centered over the front door (east elevation).



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
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ST. CHARLES HISTORIC PRESERVATION COMMISSION

Continuation Sheet

ALTERATIONS: The garage addition on the west side of the house has a flat roof and is poorly proportioned to the rest of the house. A small addition to the south side has a hipped roof. The link between the garage and the main body of the house has a lower gabled roof. All of the siding, colors, and detailing appear to be compatible...though the garage is sided in aluminum and the main house is sided in brick and clapboard.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE:

COUNTY:

LOCAL:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 509 Walnut Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: English Cottage

Exterior Walls (Current): Clapboard

Architectural Features: _____

Exterior Walls (Original): Clapboard

Date of Construction: 1932

Foundation: Concrete

Source: Township Assessor's Office

Roof Type/Material: Cross-Gable/asphalt

Overall Plan Configuration: Compound - L

Window Material/Type: Aluminum/Double hung

ARCHITECTURAL FEATURES: Charming front entry porch that features an arched soffit supported by nicely detailed square columns. The railing is also nicely detailed. The steeply sloped roof adds to the character of this house – the slope exceeds 12:12. The main roof wraps around the sides and breaking down the scale of those facades and adding interest. Multiple front gables also add to the charm of the façade. The windows feature a 6:1 muntin pattern.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

509 Walnut Street - Continuation Sheet

ALTERATIONS: It appears that the front porch was added at a later date.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

REPRESENTATION IN EXISTING SURVEYS:

FEDERAL:

STATE:

COUNTY:

LOCAL:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 515 Walnut Street



ARCHITECTURAL SIGNIFICANCE

- ☒ Significant
☐ Contributing
☐ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Greek Revival
Architectural Features: _____
Date of Construction: 1875
Source: Township Assessor's Office
Overall Plan Configuration: Compound Irregular

Exterior Walls (Current): Brick
Exterior Walls (Original): Brick
Foundation: Stone
Roof Type/Material: Cross gable/Asphalt
Window Material/Type: Wood/Double hung

ARCHITECTURAL FEATURES: A large front gable dominates the front of the house. A heavy frieze band located at the roof line is broken at the front elevation. There is a prominent entrance detailed in the classical tradition in wood. Stone lintels and sills are typical around the house. The window pattern is 6:6.



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
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ST. CHARLES HISTORIC PRESERVATION COMMISSION

515 Walnut St. - Continuation Sheet

ALTERATIONS: The original roof was undoubtedly wood shakes or shingles. There have been several additions constructed with both brick and clapboard exteriors. Some of the additions are 1 story adding to the rambling character of the house. Some of the 1 story elements have flat roofs.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE:

YES

COUNTY:

LOCAL:

There is a local landmark plaque located at the front door, however, there is no documentation to that effect. The plaque that this is known as the Elisha Freeman house.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 622 Walnut Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☐ Good
- ☐ Fair
- ☒ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Folk Victorian

Architectural Features: _____

Date of Construction: 1900

Source: Township Assessor's Office

Overall Plan Configuration: Compound L

Exterior Walls (Current): Clapboard

Exterior Walls (Original): Clapboard

Foundation: Parged Masonry

Roof Type/Material: Cross gable/Asphalt

Window Material/Type: Aluminum/Double hung

ARCHITECTURAL FEATURES: The front gable has distinct vertical proportions & steep roof slope. There is a partial width front porch that has a shed type roof that is supported by turned columns. All of the windows have simple wood trim. The siding has relatively wide trim @ the eaves and corners. There is a small rear entry that retains the detail character of the front porch. The eaves are open by are soffited in line w/ the roof slope.

ALTERATIONS: This roof probably had wood shakes or shingles originally.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: Dec. 2016

Primary Structure

ADDRESS 623 Walnut Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
☐ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	Neoelectic	Exterior Walls (Current):	
Architectural Features:		Exterior Walls (Original):	Clapboard
Date of Construction:	2007	Foundation:	Concrete
Source:	Township Assessor	Roof Type/Material:	Hipped/Asphalt
Overall Plan Configuration:	Compound	Window Material/Type:	Material unknown/Casement

ARCHITECTURAL FEATURES: Large two-story structure with a steeply pitched, cross-hipped roof and attached, side-loaded garage. The offset two-story front entry porch is the dominant architectural feature.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003
Updated: Dec. 2016

Primary Structure

ADDRESS 610 Illinois Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
☐ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Cape Cod</u>	Exterior Walls (Current):	<u>Vinyl on wood frame</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Vinyl on wood frame</u>
Date of Construction:	<u>1988</u>	Foundation:	<u>Concrete</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Side gable/Asphalt</u>
Overall Plan Configuration:	<u>Simple rectangle</u>	Window Material/Type:	<u>Aluminum/double hung</u>

ARCHITECTURAL FEATURES: This is new construction. It is a simply detailed interpretation of the original Colonial style. The proportion of the roof to the main body of the house is incorrect, as the slope is not steep enough. The roof dormers are oversized and are out of proportion. This Cape Cod is oversimplified and lacks any of the classic detailing that is commonly part of this style.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 115 North 5th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Queen Anne</u>	Exterior Walls (Current):	<u>Composition shingle</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1900</u>	Foundation:	<u>Parged masonry</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Cross gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple rectangle</u>	Window Material/Type:	<u>Wd trimmed/Alum/Dbf Hung</u>

ARCHITECTURAL FEATURES: It appears that the front porch was remodeled at some time, as the detailing does not match the side porch. The side porch still retains the original spindle work and turned columns while a single square column supports the front porch and the rail is comprised of square balusters. The front stairs are constructed of wood and has a wrought iron handrail.



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
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ST. CHARLES HISTORIC PRESERVATION COMMISSION

115 North 5th Street - Continuation Sheet

ALTERATIONS: The original Victorian era details were removed when the house was resided with the composition shingle siding. The eaves are open and are sheathed with aluminum. The front entry doors are aluminum.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE:

COUNTY:

LOCAL: YES



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

ST. CHARLES HISTORIC PRESERVATION COMMISSION

Primary Structure

ADDRESS 117 South 5th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Eclectic</u>	Exterior Walls (Current):	<u>Brick/Alum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1930</u>	Foundation:	<u>Concrete</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Cross gable/Asphalt Shingle</u>
Overall Plan Configuration:	<u>Compound w/ Additions</u>	Window Material/Type:	<u>Wd trim/Alum/Dbl Hung</u>

ARCHITECTURAL FEATURES: This is currently a multi-family residence with an address of 500 W. Indiana on the side entrance. The 1 ½ story portico over the 5th Street entrance is the dominant architectural feature. Here large disproportionate square columns support a gabled roof. The gable end is cut out in an almost Post Modern manner expressing no particular stylistic reference. An elaborated surround adds emphasis and interest to what appears to be the main entry. The overall impression is Colonial revival but a lack of appropriate details precludes classification as such.

ALTERATIONS: The original house was a modest structure that is now completely hidden by numerous additions and modifications.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Updated: Dec. 2016

Primary Structure

ADDRESS 17 North 5th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☐ Contributing
- ☒ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Craftsman</u>	Exterior Walls (Current):	<u>Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1920</u>	Foundation:	<u>Textured CMU</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Hipped/Asphalt Shingle</u>
Overall Plan Configuration:	<u>4 square</u>	Window Material/Type:	<u>Aluminum/DbI Hung</u>

ARCHITECTURAL FEATURES: The eaves of the roof are narrow and ungracious for the scale of the roof and home. A 2 – story bay on the south side articulates the mass of the walls and the roofline. The hipped roof dormer centered on the front of the of the house is another distinguishing feature.

ALTERATIONS: The front porch has been closed in. The windows of the porch do not currently match the rest of the house as the proportions of the openings do not match nor do the muntin patterns. The porch foundation is skirted with a wooden lattice while the deck is accessed by a CIP concrete stoop and a wrought iron railing.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 19 South Fifth Street



ARCHITECTURAL SIGNIFICANCE

► **Significant**

- ☐ Contributing
☐ Non-Contributing

► **Designated on the National Historic Register**

BUILDING CONDITION

► **Excellent**

- ☐ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Greek Revival
Architectural Features: _____

Date of Construction: 1859
Source: Heritage Center

Overall Plan Configuration: L Shape

Exterior Walls (Current): Wood clapboard / wood frame
Exterior Walls (Original): Wood clapboard / wood frame
Foundation: Stone

Roof Type/Material: Gabled / asphalt shingles

Window Material/Type: Wood / Double hung

ARCHITECTURAL FEATURES: Features a large 2 story gabled portico supported by stylized Greek Doric columns. There is a 2nd story balcony supported by the portico columns. The portico is designed in the Greek temple form. The house is sited on a hill, also typical of Greek temple planning. The window surrounds exhibit typically simple Greek detailing. The house is sided with narrow wood clapboards with a 5" exposure.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

19 South Fifth Street - Continuation Sheet

ALTERATIONS: There was a second floor section added over the dining room and parlor. The conservatory off the dining room and the closet off the first floor SE bedroom are also later additions. John A. Brown, who purchased the property in 1885, added French doors to the second floor porch during an extensive interior remodeling. In 2005, a two-story addition was connected to the original structure by a one-story wing. The addition is set back from the original structure and has a lower roof pitch, allowing the original elevation to retain its prominence. Window size and pattern, materials, and architectural style match the original structure, but the details are more simplified.

HISTORIC INFORMATION:

ARCHITECT: Unknown
Source

BUILDER: Unknown
Source

ASSOCIATED EVENTS, PEOPLE & DATES: Dr. James K. Lewis, the first mayor of St. Charles, built the house in 1859. Dr. Lewis served as mayor from 1875 –1883. He practiced medicine, after his tenure as mayor, until 1892. He also dealt in real estate. He died in 1907.

Source Heritage Center

REPRESENTATION IN EXISTING SURVEYS:

FEDERAL: YES

STATE: YES

COUNTY:

LOCAL: YES



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Updated: Dec. 2016

Primary Structure

ADDRESS 21 North 5th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Prairie</u>	Exterior Walls (Current):	<u>Stucco/Clapboard</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Stucco/Clapboard</u>
Date of Construction:	<u></u>	Foundation:	<u>Stucco over masonry</u>
Source:	<u></u>	Roof Type/Material:	<u>Hipped/Asphalt Shingle</u>
Overall Plan Configuration:	<u>4 square</u>	Window Material/Type:	<u>Wd trimmed/Alum/Dbl Hung</u>

ARCHITECTURAL FEATURES: The broad eaves and the horizontal trim dividing the ground floor and the second floor are characteristic of the style. Stucco covers the entire house while broad clapboards cover the porch. Columns that start at grade level support the hipped roof of the porch. The bottoms of the porch edge beams are subtly sloped creating an arched effect. The front stoop was rebuilt.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003
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21 North 5th Street - Continuation Sheet

ALTERATIONS: The eaves are boxed in aluminum. A porch and deck are additions that are not sympathetic with the original architectural style. The front stoop is CIP concrete with a wrought iron railing. The original stucco covering the front porch has been replaced with clapboard.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

The Colonial Ice Cream Anderson family is associated with this house. Simon Anderson had the house built in 1909 for his wife Lily. Simon founded the family business in 1901. The house featured one of the first three car garages in town.

Source

Current owner (Chad & Michele Daley)/Tom Anderson

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE:

COUNTY:

LOCAL:

YES



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 15 North 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
☐ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Cape Cod
Architectural Features: _____
Date of Construction: 1995
Source: Township Assessor's Office
Overall Plan Configuration: Compound "L"

Exterior Walls (Current): Clapboard
Exterior Walls (Original): Clapboard
Foundation: Concrete
Roof Type/Material: Cross gable/Asphalt shingle
Window Material/Type: Alum/Dbl hung/Casement

ARCHITECTURAL FEATURES: This is a 1½ story Cape Cod framed home. The garage "L" component of the plan is not part of the original historical style. The skylight and the small gabled entry cover are also inconsistent with the original style.

ALTERATIONS:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 21 North 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☒ Contributing
☐ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
☒ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	Craftsman Bungalow	Exterior Walls (Current):	Clapboard
Architectural Features:		Exterior Walls (Original):	Clapboard
Date of Construction:	1925	Foundation:	Concrete
Source:	Township Assessor's Office	Roof Type/Material:	Side gable/Asphalt shingle
Overall Plan Configuration:	Simple rectangle	Window Material/Type:	Wd trimmed/Alum inserts/ Double Hung

ARCHITECTURAL FEATURES: This is a very deep house from front to back. The large roof is articulated by the typical details of the style. Wood roof brackets support the wide overhangs, exposed rafter tails are seen at the open eaves, both support soffits sheathed with wooden boards. A small 1-car garage is tucked underneath the front porch. The front entrance is off center and the original wooden front door can be seen from the outside of the porch.



ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

ST. CHARLES HISTORIC PRESERVATION COMMISSION

21 North 6th Street - Continuation Sheet

ALTERATIONS: The front porch is closed in a manner sympathetic with the original design. The window openings are trimmed exactly the same as the rest of the windows in the house. There appears to be a small 1-story addition that was added to the north side of the house as a modest room extension. It has a shed roof and blends well with the rest of the house. Another screened porch was added to the rear of the house. It blends well with the rest of the house but has a hipped roof that is tucked under the rear eave of the main roof.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE:

COUNTY:

LOCAL:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003
Survey Updated: 2016

Primary Structure

ADDRESS 115 North Sixth Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☐ Contributing
- ☒ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☐ Good
- ☒ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Craftsman</u>	Exterior Walls (Current):	<u>Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard/Wd shingles</u>
Date of Construction:	<u>1923</u>	Foundation:	<u>Textured CMU</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Front gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple rectangle</u>	Window Material/Type:	<u>Alum/Dbf Hung</u>

ARCHITECTURAL FEATURES: A full-width front porch dominates the front façade. The front gable features a group of three windows that are still trimmed in wood. The gable end is covered with wood shingles.

ALTERATIONS: A one-story addition with a gabled roof was made to the rear of the house. The front porch has been closed in.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 123 North Sixth Street



ARCHITECTURAL SIGNIFICANCE

- ☒ Significant
- ☐ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Queen Anne

Architectural Features: _____

Date of Construction: 1915

Source: Township Assessor's Office

Overall Plan Configuration: Simple rectangle w/ addition

Exterior Walls (Current): Clapboard/Wd. shingles

Exterior Walls (Original): Clapboard/Wd. shingles

Foundation: Parged masonry

Roof Type/Material: Cross gable/Asphalt shingle

Window Material/Type: Wood trim/Dbl hung/some Aluminum inserts

ARCHITECTURAL FEATURES: The flat arched cut out of the front gable end is a distinctive detail. It is decorated with wood shingles. A small entry porch is covered by a long sweep of the main roof slope. Both of these features are somewhat characteristic of the Shingle or the Queen Anne styles. A relatively deep frieze board trims the wall/eave juncture. Almost all of the windows feature a crown molding at the head. The original front door is still in place inside the porch. There is a small one-story bay window on the south elevation.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003
Survey Updated: Dec. 2016

Continuation Sheet

ALTERATIONS: The front entry porch has been closed in. A two-story addition was made to the rear of the house. The detailing and materials match the original structure.

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

**REPRESENTATION IN EXISTING
SURVEYS:**

FEDERAL:

STATE:

COUNTY:

LOCAL:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

Primary Structure

ADDRESS 11 South 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
☐ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Commercial modern/Post Modern</u>	Exterior Walls (Current):	<u>EIFS/Brick</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>EIFS/Brick</u>
Date of Construction:	<u>1989</u>	Foundation:	<u>Concrete</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Cross gable with flat areas Asphalt shingle/BUR</u>
Overall Plan Configuration:	<u>Simple rectangle</u>	Window Material/Type:	<u>Aluminum/Fixed</u>

ARCHITECTURAL FEATURES: : Large fixed windows befitting the occupancy are arguably the most important elements of the façade. These windows emphasize the recesses of the colonnaded overhang. The smooth EIFS wall planes are decorated with Post Modern details. The broad horizontal band intended to tie elements of the façade together actually gives the impression of the roof as a floating mass that hovers over the ground floor.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 103 South 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>National</u>	Exterior Walls (Current):	<u>Stucco</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard?</u>
Date of Construction:	<u>1896</u>	Foundation:	<u>Parged masonry</u>
Source:	<u>Landmark Application</u>	Roof Type/Material:	<u>Cross gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple "T"</u>	Window Material/Type:	<u>Wood/Dbf. Hung – There are Some alum. inserts</u>

ARCHITECTURAL FEATURES: Smooth wall surfaces define crisp edges of the façade and angles of the roof. There are few details of note. Small attic windows punctuated the gable ends at the top, while 3:1 muntin patterns are typical around the house. There are a few removable storms still in use around the house.

ALTERATIONS: The front porch has been closed in and has an aluminum front door. A 1 story addition to the rear features a balcony on the roof of the ground floor accessed through an aluminum door from the second floor. It is built on a brick foundation. The stucco was applied to the house in 1910.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

106 South 6th Street - Continuation Sheet

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

C.P. Swanson

Landmark Application

ASSOCIATED EVENTS, PEOPLE & DATES:

This house was originally built for Randall G. and Ida Lockett

William Lockett, a well known St. Charles artist, was their son. Ida's grandmother Joanna Garner, was a runaway slave and was given a federal land grant under the free slave bill. The land included the lot on which this house resides. William Lockett resided in this house, until his death in 1978.

Source

Landmark Application

REPRESENTATION IN EXISTING SURVEYS:

FEDERAL:

STATE:

COUNTY:

LOCAL:

YES

YES



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY
MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: Dec. 2016

Primary Structure

ADDRESS 109 South 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
☐ Contributing
☒ Non-Contributing
☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
☐ Good
☐ Fair
☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Neoclectic

Architectural Features: _____

Date of Construction: 2006
Source: Township Assessor

Overall Plan Configuration: Compound

Exterior Walls (Current): _____

Exterior Walls (Original): Clapboard

Foundation: Concrete

Roof Type/Material: Hipped w/cross gables/
Asphalt shingle

Window Material/Type: Vinyl

ARCHITECTURAL FEATURES:

The multiple front gables, two of which have cornice returns, are the most prominent features of the front elevation, along with the protruding garage "L". A small front entrance porch is supported by a shed roof overhang and gable form over the front door.



ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT
ST. CHARLES, ILLINOIS
Date of Survey: 2003

ST. CHARLES HISTORIC PRESERVATION COMMISSION

Primary Structure

ADDRESS 113 South 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>Craftsman</u>	Exterior Walls (Current):	<u>Aluminum siding</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1910</u>	Foundation:	<u>Conc./Orig: Txt CMU/Porch</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Hipped/Asphalt shingle</u>
Overall Plan Configuration:	<u>4 Square</u>	Window Material/Type:	<u>Alum/DbI Hung</u>

ARCHITECTURAL FEATURES: There are few, if any, trim details of note. There is leaded glass in the upper sashes of the second floor double hung windows. The soffits are boxed in aluminum.

ALTERATIONS: Aluminum soffits, siding, and windows were changes to the original materials. The front porch was added later. The foundation is textured concrete masonry, unlike the original concrete foundation. The windows of the porch room feature a 3:1 muntin pattern unlike the original windows.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 114 South 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☐ Contributing
- ☒ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	Craftsman bungalow – orig.	Exterior Walls (Current):	Brick front/Alum siding @
			Sides & rear
Architectural Features:		Exterior Walls (Original):	Clapboard
Date of Construction:	1930	Foundation:	Concrete
Source:	Township Assessor's Office	Roof Type/Material:	Side gable/Asphalt shingle
Overall Plan Configuration:	Simple rectangle	Window Material/Type:	Wd/DbI Hung, some Alum
			Inserts, some Removable
			storms

ARCHITECTURAL FEATURES: This house appears to be symmetrical at first glance, but is not. The entry is off center and the windows to the right and left of the entry are different. It appears that this could have been a Craftsman bungalow at one time judging from the overhangs and massing. The roof dormer on the front elevation is also somewhat typical of the style.

ALTERATIONS: Any original wood details that might have been are gone. A brick veneer was added to the front and wrapped around to what was probably the back of the front porch. The soffits are open and covered with plywood. The front



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Updated: Dec. 2016

Primary Structure

ADDRESS 121 South 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Craftsman

Architectural Features: _____

Date of Construction: 1910

Source: Township Assessor's Office

Overall Plan Configuration: 4 Square

Exterior Walls (Current): Aluminum

Exterior Walls (Original): Clapboard

Foundation: Txt. CMU

Roof Type/Material: Hipped/Asphalt Shingle

Window Material/Type: Alum/Dbf Hung

ARCHITECTURAL FEATURES: The eaves are relatively wide and are boxed in aluminum. A large hipped roof dormer is centered on the front on the front elevation. The front porch is full width and features paired windows that flank each side of the entrance.

ALTERATIONS: The front porch has been closed in. The entire house has been covered in aluminum siding, soffits, windows, and front door. There is a large 2-story addition at the rear of the house that is covered with a shed roof that is not sympathetic with the original design. The front stoop is cast in place concrete and has a wrought iron handrail.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 122 South 6th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☐ Contributing
- ☒ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>National</u>	Exterior Walls (Current):	<u>Aluminum</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1925</u>	Foundation:	<u>Brick veneer over ?</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Cross gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Compound w/ additions</u>	Window Material/Type:	<u>Wd trimmed/Alum inserts/ Dbl Hung. Some of the orig. Wd Dbl. Hungs still in opgs.</u>

ARCHITECTURAL FEATURES: A 1 story bay window is a prominent feature of the south elevation of this simply designed house that features few interesting details. The entrance is off center and relatively inconspicuous.

ALTERATIONS: A 1 story addition to the north side of the house is not sympathetic to the original design. A 2 story bare wood addition was made to the rear of the house. A shed roof covers a second floor balcony. Neither the materials or design are sympathetic with the original design. A small front porch was closed in and is used an entry vestibule that has an alum. door.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 106 South 7th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☐ Excellent
- ☒ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type: Craftsman

Architectural Features: _____

Date of Construction: 1910

Source: Township Assessor's Office

Overall Plan Configuration: Simple rectangle

Exterior Walls (Current): Aluminum

Exterior Walls (Original): Clapboard

Foundation: Textured CMU

Roof Type/Material: Front gable w/ cross gabled
dormers/Asphalt Shingle

Window Material/Type: Alum/Double hung

ARCHITECTURAL FEATURES: The fish scale shingles used on the front gable and the roof dormers are the featured detail of the house. This imbrication may have been added as it is used in an unusual manner. There is a small pediment placed over the front entry that serves a functional role in diverting water as well as a decorative role.

ALTERATIONS: This house has been aluminized. The original siding has been replaced and aluminum windows and trim has replaced the original wood. There is a one story addition featuring a hipped roof to the rear of the house that has a concrete foundation. The string of three windows on the front gable has been replaced with a fixed single pane. The front door and

sidelights have been replaced and are inappropriate for the style of architecture.



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Continuation Sheet

HISTORIC INFORMATION:

ARCHITECT:

Source

BUILDER:

Source

ASSOCIATED EVENTS, PEOPLE & DATES:

Source

REPRESENTATION IN EXISTING SURVEYS:

FEDERAL:

STATE:

COUNTY:

LOCAL:



ST. CHARLES HISTORIC PRESERVATION COMMISSION

ARCHITECTURAL SURVEY

MILLINGTON HISTORIC DISTRICT

ST. CHARLES, ILLINOIS

Date of Survey: 2003

Survey Updated: Dec. 2016

Primary Structure

ADDRESS 116 South 7th Street



ARCHITECTURAL SIGNIFICANCE

- ☐ Significant
- ☒ Contributing
- ☐ Non-Contributing
- ☐ Potential for Individual National Register Designation

BUILDING CONDITION

- ☒ Excellent
- ☐ Good
- ☐ Fair
- ☐ Poor

ARCHITECTURAL INFORMATION

Architectural Style/Type:	<u>National</u>	Exterior Walls (Current):	<u>Synthetic solid board</u>
Architectural Features:	<u></u>	Exterior Walls (Original):	<u>Clapboard</u>
Date of Construction:	<u>1920</u>	Foundation:	<u>Textured CMU</u>
Source:	<u>Township Assessor's Office</u>	Roof Type/Material:	<u>Front gable/Asphalt shingle</u>
Overall Plan Configuration:	<u>Simple rectangle</u>	Window Material/Type:	<u>Vinyl/Double hung</u>

ARCHITECTURAL FEATURES: This roof is relatively steep – approximately 12:12. The front gable features a pair of windows. The south elevation of the roof has a shed dormer that may have been added later.

ALTERATIONS: The front porch was closed in to make a 3 or 4 season room. The siding, windows, front door and soffits have been changed. There is a small porch that was added to the rear of the house. A shed dormer has been added on the north elevation.



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Transcript of Hearing

Date: January 18, 2017

Case: St. Charles Historic Preservation

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BEFORE THE HISTORIC PRESERVATION COMMISSION
OF THE CITY OF ST. CHARLES

-----x

In Re: :
Eligibility for Historic :
District Designation: :
Millington Historic :
District :

-----x

HEARING
St. Charles, Illinois 60174
Wednesday, January 18, 2017
7:04 p.m.

Job No.: 131556
Pages: 1 - 56
Reported by: Joanne E. Ely, CSR, RPR

1 HEARING, held at the location of:

2
3 ST. CHARLES CITY HALL

4 2 East Main Street

5 St. Charles, Illinois 60174

6 (630) 377-4400
7
8
9
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11
12

13 Before Joanne E. Ely, a Certified Shorthand
14 Reporter, and a Notary Public in and for the State
15 of Illinois.
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Transcript of Hearing
Conducted on January 18, 2017

3

1 PRESENT:

2 FREDERICK NORRIS, JR., Chairman

3 STEPHEN GIBSON, Vice Chairman

4 CRAIG BOBOWIEC, Member

5 KIM MALAY, Member

6 PHILLIP KESSLER, Member

7 THOMAS PRETZ, Member

8 DR. STEVEN SMUNT, Member

9 ALSO PRESENT:

10 RUSSELL COLBY, Planning Division Manager

11 ELLEN JOHNSON, Planner

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1 P R O C E E D I N G S

2 CHAIRMAN NORRIS: Item No. 6, the public
3 hearing is now open regarding the eligibility for
4 the historic district designation for the Millington
5 Historic District. Before I get started, I'm going
6 to explain the purpose of the public hearing and the
7 procedures we will follow.

8 The purpose of this hearing is for the
9 Historic Commission to gather information regarding
10 the extent to which the Historic District
11 nominations meet the criteria provided in the
12 Historic Preservation ordinance.

13 There are three ordinance criteria:

14 One, the area contains one or more
15 buildings, structures, or sites meeting the criteria
16 for landmark designation, and may also include other
17 buildings, structures, or sites which, although they
18 may not qualify for individual landmark designation,
19 contribute to the overall visual character of the
20 area and to its architectural or the historical
21 significance.

22 Two, the area is historically, economically,
23 or culturally significant to the development of
24 St. Charles.

1 Three, the area has significant integrity to
2 convey the sense of a particular period in the
3 history of the community.

4 After all the information is gathered, the
5 Historic Commission will then make a recommendation
6 to the City Council regarding the nomination.

7 Regarding the procedures for public
8 hearings, the Commission members may ask questions
9 if they have any. After that, I will open the floor
10 to questions from the members of the audience.

11 After all the questions have been asked, I
12 will open the floor to anyone wishing to provide
13 testimony in both support and in opposition of the
14 nomination.

15 Only one person may speak at a time. When
16 you wish to speak, please come to the lectern and
17 speak into the microphone. State your name,
18 spell it, and state your address for the record.
19 The court reporter is here reporting the meeting.

20 Testimony should be kept brief and should be
21 on the basis of facts and specific reasons for
22 review. Commission members may ask questions of the
23 person giving the testimony.

24 Anyone who wishes to give testimony must be

1 sworn in. If you wish to speak tonight, please
2 stand and raise your right hand.

3 (Witnesses sworn.)

4 CHAIRMAN NORRIS: After all the testimony
5 has been taken, the Historic Commission will close
6 the public hearing. After that, they will decide
7 and vote on the nomination. The Historic Commission
8 will provide a recommendation as to whether the
9 nomination meets the ordinance criteria.

10 The recommendation will be forwarded on to
11 the Planning and Development Committee of the City
12 Council for review and then the City Council.

13 The City Council makes the final decision as
14 to whether -- the approval of the historic district
15 nomination.

16 Mr. Gibson, would you read Item No. 2.

17 VICE CHAIRMAN GIBSON: The item before us
18 tonight is eligibility for historic district
19 designation to the Millington Historic District.
20 This nomination was submitted on December 21st,
21 2016, at the direction of the Historic Preservation
22 Commission.

23 Notice of public hearing was published in
24 the Daily Herald on December 31st, 2016, and all

1 property owners within the proposed district
2 were notified by mail.

3 The proposed district constitutes eight
4 square blocks directly west of the Central Historic
5 District. The district is bounded by State Street
6 to the north, 5th Street to the east, Illinois
7 Street to the south, and 7th Street to the west. 51
8 properties are included in the district.

9 The district comprises the bulk of
10 Millington's Addition to St. Charles, which was
11 annexed into the City in 1842. An architectural
12 survey of the area has been conducted. A total of
13 13 structures are rated as significant, 22
14 structures are rated as contributing, and 16
15 structures are rated as noncontributing. Five local
16 historic landmarks are included within the district.

17 We have received a few letters and e-mails
18 regarding the nomination, I will list these items
19 for the record as exhibits.

20 Exhibit A, a letter dated 1/13/17 from Eric
21 M. Larson, owner of 605 West Main Street and 522
22 West Main Street, expressing his support of the
23 nomination.

24 Exhibit B, an e-mail dated 1/16/17 from

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1 Sheryl and Tony Emralino, 114 South 6th Street,
2 expressing opposition to the nomination.

3 Exhibit C, an e-mail dated 1/16/17 from
4 Wendy and Fred Mosier, 423 South 7th Street,
5 expressing support for the nomination.

6 Exhibit D, an e-mail dated 1/18/17 from
7 Laura Rice, 201 Chestnut Avenue, expressing support
8 for the nomination.

9 Exhibit E, an e-mail dated 1/18/17 from
10 Laura Binning, 505 West Main Street, expressing
11 opposition to the nomination.

12 Exhibit F, a letter dated 1/18/17 from
13 Dr. Daniel Kelly, 11 South 6th Street, expressing
14 support for the nomination.

15 Exhibit G, a letter dated 1/18/17 from Adam
16 D. Gibbons, Preservation Partners of Fox Valley,
17 expressing support for the nomination.

18 CHAIRMAN NORRIS: Thank you.

19 I will now take questions from the
20 Commission members. Any questions? Steve?

21 MEMBER SMUNT: I have no questions.

22 CHAIRMAN NORRIS: Okay. If there are no
23 further questions from the Commission, I will then
24 take questions from the audience.

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1 Again, if you wish to speak, please come up
2 to the lectern and speak into the microphone.

3 MR. BINNING: Hi.

4 CHAIRMAN NORRIS: And your name?

5 MR. BINNING: My name is Tim Binning,
6 B-i-n-n-i-n-g. I represent MDW Properties at 505
7 West Main Street.

8 We would just ask -- we've got the new
9 building. We're getting ready to occupy it in about
10 two weeks. We would just ask to be either exempt or
11 left out of the -- we're not opposed to the historic
12 district per se, just our building is obviously
13 brand new, so we wouldn't want to be subject to
14 approvals from the historic district committee.

15 CHAIRMAN NORRIS: Russ, that's a question?

16 MR. BINNING: For the record.

17 MR. COLBY: Yes. This is a statement for
18 the record.

19 CHAIRMAN NORRIS: Okay.

20 MR. COLBY: The request will be made part of
21 the public record that will be forwarded to the City
22 Council.

23 CHAIRMAN NORRIS: In this portion, we're
24 just asking questions.

1 MR. BINNING: Okay. Thank you.

2 CHAIRMAN NORRIS: Any other questions? The
3 next portion will be testimony. This is just for
4 questions.

5 MR. ELSNER: Andrew Elsner, and it's 116
6 South 7th Street.

7 CHAIRMAN NORRIS: Can you spell your name
8 too?

9 MR. ELSNER: Yes. E-l-s-n-e-r.

10 My question following that statement is is
11 it possible to be exempt if this is passed, or is it
12 all inclusive?

13 CHAIRMAN NORRIS: That's a question for the
14 statement. Okay.

15 MEMBER SMUNT: I'd like to answer that.

16 CHAIRMAN NORRIS: Please.

17 MEMBER SMUNT: We have a proposed boundary,
18 and you were informed about that, and you live
19 within that boundary.

20 After testimony is given, I mean, we'll have
21 a discussion. If there is a valid, logical argument
22 for your property to be excluded from the district,
23 we could table our proposal and possibly amend the
24 boundaries. So that is -- that's always a

1 possibility.

2 There is not an exemption, so to speak, but
3 we can rebound or do a re-boundary. That is our
4 option. And so we're basically here to learn about
5 you and your concerns, and hopefully, I answered
6 your question.

7 MR. ELSNER: You did. Thank you.

8 MEMBER SMUNT: Sure.

9 CHAIRMAN NORRIS: Are there any other
10 questions before we move on to testimony?

11 Please.

12 MR. MENDEL: My name is Steve Mendel,
13 M-e-n-d-e-l. I have two properties in the district.
14 One is 117 South 5th Street. One is 515 State
15 Street.

16 117 South 5th Street, I'm in the process of
17 plans -- having plans drawn up because it's a double
18 lot. This house sits in the middle of the lot, and
19 I was going to tear it down and possibly build two
20 houses. I was wondering how this would affect my
21 plans continuing on if this was passed.

22 CHAIRMAN NORRIS: Sure. After the
23 nomination, it goes to the City Council, and it's
24 their decision to either accept it or reject it.

1 There will be a date on that; and after that date, I
2 believe that will be the start of the historic
3 district.

4 So if you were going to go in right away, it
5 would probably be pretty good. If it was going to
6 go in in the future, then it probably would go in
7 front of the Historic Preservation Commission.

8 MEMBER MALAY: Can I answer that too? There
9 is a process. So we would actually review your
10 plans --

11 MR. MENDEL: Okay.

12 MEMBER MALAY: -- and determine whether or
13 not it was appropriate or it wasn't appropriate and
14 what solutions we could possibly come up with.

15 So yes, you would be under our review; and
16 depending on the whole situation, you know, we try
17 to work that out, you know, to make it work for
18 everybody.

19 MR. MENDEL: You stated -- I don't remember
20 the three categories exactly. One was
21 noncontributing structure for architectural --

22 CHAIRMAN NORRIS: It's contributing,
23 significant, and noncontributing, depending on what
24 your structure is classified right now. Certainly,

1 the contributing is a real sensitive issue, and a
2 noncontributing structure is not a sensitive issue.

3 MR. MENDEL: Can you tell me where these two
4 houses fall in that category?

5 MEMBER SMUNT: Your property on South 5th is
6 noncontributing; and therefore, the most liberal
7 interpretation of the ordinance will be applied. In
8 other words, it's -- if you were to propose a
9 teardown, we're not necessarily going to stand in
10 your way of doing that; but we would be very much
11 interested in what you propose to put in place
12 of it.

13 And we would hope that the architecture of
14 your new design would be compatible and not have any
15 negative impact on adjacent properties. So
16 therefore, we're quite flexible when it comes to a
17 redevelopment such as yours.

18 MR. MENDEL: Can you give me a yes or no I
19 can tear it down or not tonight or --

20 MEMBER SMUNT: I can't give you that because
21 you're -- well, I would not be able to do that at
22 this time, during this hearing.

23 Now, the other property on -- what was your
24 second?

1 MR. MENDEL: That was 515 State. I assume
2 that's probably under the same category.

3 MEMBER BOBOWIEC: Yeah, it is.

4 MEMBER SMUNT: It's a noncontributing
5 structure. So noncontributing structures have the
6 most variables, allowances to what can be done and
7 how strict of a review process there is -- they
8 undergo.

9 That's often under the condition that we
10 would -- that there would be a historic district
11 vote on that. Right now that doesn't exist. We
12 have no review of your existing properties as they
13 stand today.

14 MEMBER MALAY: Well, and I think -- I'll
15 just clarify. One of the reasons why we can't say
16 yes or no right off the bat is because we need to
17 know what's going in its place. We need to make
18 sure that what is replacing that building is
19 appropriate for the area.

20 MR. MENDEL: There has been a few new houses
21 built in this thing, so as long as I conformed and
22 made them look somewhat similar, then it could be
23 rebuilt.

24 MEMBER MALAY: You know, again, we can't

1 really say absolutely yes.

2 MEMBER SMUNT: The Historic Preservation
3 Ordinance has a section on neighborhoods and
4 streetscapes, and it talks about wanting the fronts
5 of the home to be pretty much the same setback,
6 approximately within 10 percent of variation of each
7 other. That's one example of compatibility or
8 blending.

9 Let's say, like, there's three different
10 styles of homes in your specific neighborhood where
11 you want to rebuild; and if you chose to pick one of
12 those styles, even though it's a new home, that
13 would be a compatible style because it exists in the
14 surrounding neighborhood.

15 So those are just some generic examples that
16 I'm trying to put forth to kind of help answer the
17 question.

18 MEMBER MALAY: And to kind of give you --
19 earlier this evening, we approved a new home. So I
20 mean, we're definitely open to it, you know.

21 MR. MENDEL: In a historic district.

22 MEMBER MALAY: In the district. That's what
23 he was here for, to build a new home in the
24 district.

1 MR. MENDEL: Okay. All right. I think
2 you've answered my question as best you can. Thank
3 you.

4 MEMBER MALAY: Thank you.

5 CHAIRMAN NORRIS: Please.

6 MR. MURRAY: Hi, good evening. Jace Murray
7 with Murray Commercial. Our firm currently
8 represents the property at 619 West Main Street.

9 CHAIRMAN NORRIS: Spell it for the court
10 reporter.

11 MR. MURRAY: J-a-c-e Murray, M-u-r-r-a-y.

12 Just a general question. When the general
13 historic district was boundaried back whenever that
14 was boundaried, why was this area not included back
15 in that time frame, and what's bringing us to the
16 front today?

17 CHAIRMAN NORRIS: Sure. It's called the
18 Central Historic District.

19 Steve.

20 MEMBER SMUNT: The actual original historic
21 district that was proposed followed the boundary of
22 the original town of St. Charles. So we went with
23 the historical boundary as a starting point.

24 MR. MURRAY: Sure. And what year was that

1 done?

2 MEMBER SMUNT: Around --

3 MEMBER MALAY: 1995.

4 MEMBER SMUNT: -- '95, 1995, approximately
5 in that time frame.

6 And since then, we've had about 40-some
7 landmarks designated. We have another historic
8 district in the southwest of our central district
9 called Moody-Millington District.

10 And now before you is the Moody -- I'm
11 sorry -- the Millington Historic District, which is
12 basically two blocks further to the west of the
13 original Central Historic District.

14 There was a feeling that it is our west
15 gateway into our downtown, and our City has invested
16 millions of dollars, not only City money but also
17 reinvestment by private investors.

18 And we feel that -- most of the
19 commissioners, I think all the commissioners, and
20 many of the people we have been in communication
21 with have voiced concerns about a desire to maintain
22 the integrity of the historical downtown, and that
23 west gateway has become a significant component of
24 that, and we're hoping that that becomes a component

1 of our district.

2 MR. MURRAY: Very good. I appreciate the
3 comment. Thank you.

4 CHAIRMAN NORRIS: Sure. Any other questions
5 from the audience?

6 (No response.)

7 CHAIRMAN NORRIS: Seeing none, I'd like to
8 go to the next portion. This item is called the
9 testimony.

10 Is there anybody who wishes to give
11 testimony to this nomination?

12 MR. MARINACCIO: Good evening. My name is
13 Lee Marinaccio, M-a-r-i-n-a-c-c-i-o.

14 MEMBER PRETZ: Can you give us your address?

15 MR. MARINACCIO: My address is 213 South 5th
16 Street in St. Charles.

17 Katie, who is here now, and I have been
18 residents of the community for a long time. We have
19 enjoyed our stay in the community. We actually
20 thought that this would be a great place for us to
21 raise our children because of the various eclectic
22 nature of the homes in the community, the wonderful
23 character that exists in St. Charles, and it drove
24 us to this community because we felt it was

1 different than a lot of flat little suburbs that
2 exist throughout the Chicagoland area.

3 It was a great place for us to raise our
4 children. It gave us an opportunity for them to
5 learn about historic homes, to learn about values
6 that exist in our community, and we think that part
7 of that -- all of that is important in raising
8 families.

9 This new historic preservation district that
10 you're proposing in my estimation is a wonderful
11 thing for our community. It will be the gateway --
12 I think that word was already used -- to the west of
13 our community. People who come in from the west are
14 going to see these historic homes and see the
15 wonderful character that exists in the community
16 firsthand, if we are able to preserve the
17 significant architecture and structures that exist.

18 There are many significant architectural
19 features along Main Street that I am fearful will no
20 longer be here if we don't have the kind of Historic
21 Preservation Commission and this historic district
22 to preserve the character of our community.

23 I think that it's important for our future
24 generations to have an opportunity to see the kind

1 of character that built our community, the years
2 that have been put into it by our founding fathers
3 and by many people such as yourselves to try to make
4 this a great place to live.

5 If we can continue to do that, this will be
6 good for the rest of our future generations. I
7 think the Millington subdivision that you're talking
8 about making into a historic preservation district
9 will give us that opportunity.

10 I strongly urge the Commission and our
11 community to consider following this recommendation,
12 and I support it wholeheartedly. Thank you.

13 CHAIRMAN NORRIS: Thank you.

14 Any other testimony? Please.

15 MS. AMUNDSON: Good evening. My name is
16 Jhennifer Amundson. I spell Jhennifer,
17 J-h-e-n-n-i-f-e-r Amundson, A-m-u-n-d-s-o-n. I live
18 at 500 Cedar Street and have done so for the last
19 16 years.

20 I grew up outside of Elgin, outside of
21 St. Charles in Elgin Township, but because of the
22 way the districts are drawn, I went to St. Charles
23 East before it was East. My children go to East
24 now. So I'm a long-time St. Charles person even

1 though we did go away for a long time for our
2 education.

3 In that education, I pursued my PhD in the
4 history of architecture. So I come to you on the
5 one hand as a long-time resident with a very
6 emotional response to this proposal; but then at the
7 same time, my professional life has been geared
8 towards exactly the kinds of things that you are
9 proposing with this move, and I'm honored to teach
10 at Judson University where I'm also the dean of
11 school of design architecture.

12 I am very strongly in support of this
13 proposal as an extension of the historic protection
14 and encouragement in our town, as the last speaker I
15 think very beautifully put, the importance of
16 maintaining the heritage of our architecture for
17 future generations.

18 And it's not just a matter -- as I think an
19 earlier approach to historic preservation, as you
20 know, were geared towards specific monuments, you
21 know, big fancy churches and town halls; and now we
22 have a much broader and more fair view of what
23 historic preservation ought to be, number one,
24 really encompassing large districts to present a

1 fuller view of what a community is.

2 And, of course, by doing so, you're bringing
3 in a great variety of residential types that tell
4 the story of what St. Charles has always been, a
5 great variety of different kinds of people coming to
6 this town and that we hope to, of course, continue
7 into the future.

8 And I know that -- so on the one hand,
9 there's an emotional appeal to this proposal; but
10 then also, again, the professional recognition that
11 this kind of approach to designation within a
12 downtown area residential or business district is
13 simply good business, of course.

14 It was just last week I saw one more listing
15 by a Chicago magazine online that cited St. Charles
16 with Naperville and Geneva as the three places in
17 the suburbs that are worth leaving the city to go
18 look at and spend some time in.

19 It's not just because of the beauty of the
20 river and the great restaurants. It's because of
21 the physical quality of this place that draws people
22 in for the festivals that we -- that are so
23 successful here, for weekend visits, and, of course,
24 just simply bringing people back home as kids go off

1 to college.

2 And it's proven too in plenty of research
3 that cities that have very strong identifiable
4 architectural and urbanistic personalities are
5 better for business. They have a great character.
6 They draw business. They draw customers.

7 And so they're good for the bottom line, but
8 I, you know, again, as a long-time resident, would
9 say even more importantly, they're great for us and
10 the community spirit within this town. So I'm very
11 much in support of the proposal, and I hope that you
12 will be able to pursue it. Thanks very much.

13 CHAIRMAN NORRIS: Thank you.

14 Please.

15 MR. SCHWENDNER: My name is Lee Schwendner,
16 S-c-h-w-e-n-d-n-e-r. I live at 615 Cedar Street.

17 My comments will be a lot more -- I have
18 more simple thoughts on this, but they're very -- I
19 feel very strongly about it. I've lived at that
20 address for 30 years, and I think the people that
21 are most affected by this proposal are the people
22 that own their homes there, have invested their
23 money in those homes over the years, and I don't see
24 any compelling benefit to the homeowners there from

1 this proposal.

2 I do see detriments. In my mind, the
3 restrictions, additional restrictions that come upon
4 making improvements to your property; and also I
5 would have the concern that at some point in the
6 future, should I want to try and sell my house, that
7 being in the historic district might limit the pool
8 of people that would be interested in purchasing a
9 home in that area and thereby affect the values.

10 So based on that, I object to the proposal.

11 MEMBER MALAY: May I ask what you think that
12 the detriment would be?

13 MR. SCHWENDNER: Well, instead of just
14 applying for a building permit, I would have to
15 submit for the certificate of appropriateness, and I
16 kind of heard the discussion going on with somebody
17 else's property with the earlier part of this
18 meeting. I guess I just don't see the need for
19 that. It just seems to me like another layer of
20 bureaucracy that's not necessary.

21 CHAIRMAN NORRIS: Thank you.

22 MR. AMUNDSON: I'll throw in my two cents
23 worth. I'm David Amundson, A-m-u-n-d-s-o-n, 500
24 Cedar Street. I wasn't actually planning on saying

1 anything tonight, but I'll throw in two cents here.

2 In response to what you were just saying,
3 I've seen in the past, reports, studies that show
4 that houses in historic districts actually
5 appreciate at a faster rate than houses not in
6 historic districts.

7 And if you think of your house as a finite,
8 limited quantity, there is a limited number of
9 houses built, say, before World War II; and they're
10 being reduced regularly. They get demolished.
11 They're becoming a rarer and rarer commodity, and
12 people want them. We, when we went hunting for a
13 house, specifically targeted only homes built before
14 World War II.

15 Yeah. You have a limited commodity that
16 people want, and historic districts are generally a
17 good thing. I think there's enough people like us
18 who will be drawn to an area and want to buy your
19 house. So I think it actually adds value. And you
20 all could do a better job of selling that just
21 universally.

22 So yeah, that's -- I'm in favor of it on one
23 hand; and on the other hand, though, I have some
24 reservations like you do because, you know, the

1 thought of, okay, I want to build a fence next
2 summer. Okay. Am I going to have to come in front
3 of you to get a fence permit and have you tell me
4 that you want my fence a little bit differently than
5 I do, and if I lived somewhere else, I wouldn't have
6 to worry about that.

7 So I have some hesitation, not quite fully
8 onboard about the oversight, but I like the general
9 overall thrust of let's not just level it and turn
10 everything into McMansions because I don't want that
11 to happen in my neighborhood.

12 I would like to see better, more proactive
13 something, ordinances from the City, if need be, to
14 control EARS, to control FARs, to control things,
15 that we don't get 50-foot high houses sandwiched in,
16 you know, shoulder-to-shoulder to 22-foot high
17 houses, and that seems to be what's happening.

18 Our code doesn't seem to really control
19 sensitivity all that well. We're getting maybe
20 McMansions with lipstick on them that, you know,
21 they're still not all that good. I think we can do
22 better in terms of appropriateness and fit.

23 I also have some -- and I don't think it's
24 written in the ordinance yet, but ordinances can be

1 modified. One of my hesitations is, well, what if
2 some years from now, you decide you want to judge
3 paint color or something like that. No, please
4 don't do that.

5 And also the idea too that, you know, if
6 there was a house built in 1880, and in 1910
7 somebody wanted to put an addition on it, they did
8 whatever they stinking well pleased. But now we
9 tend to think of it as, Oh, your house was built in
10 1880, so the addition you put on it has to only be
11 appropriate to 1880.

12 And I think there needs to be a little more
13 latitude to allow good design without being
14 stylistically in constraints and just chaining stuff
15 to something that never existed. You know, they
16 didn't care what color they painted their house in
17 1920, even if it was painted something different in
18 1875. And I don't know why we get so hung up on
19 creating -- trying to recreate this past that maybe
20 never existed. And I know you don't do that now,
21 but that's one of my hesitations.

22 So I'm not as enthusiastic as my wife, I
23 think; but conceptually I'm behind it, and in part
24 because I want to keep what we have, and I don't

1 want it to turn into name your favorite suburb to
2 the east that's been, you know, eaten alive and
3 completely rebuilt to the point that it's not
4 recognizable anymore.

5 So yes, asterisk. Thank you.

6 CHAIRMAN NORRIS: Thank you.

7 We're still in the portion of this hearing
8 in regards to the testimony. I'd love to respond
9 back but not in this portion.

10 Any other testimony? Does anyone else wish
11 to speak on this nomination?

12 (No response.)

13 CHAIRMAN NORRIS: Steve, if you could speak
14 about the guidelines to the state statutes and what
15 we follow.

16 MEMBER SMUNT: As far as it applies to the
17 certificate of appropriateness?

18 CHAIRMAN NORRIS: Right, right.

19 MEMBER SMUNT: You alluded to our ordinance.
20 In our ordinance, there's a set of -- there's
21 guidelines, and we're guided to act under those
22 guidelines.

23 And we developed a booklet, I'm not sure how
24 many pages, called "Design Guidelines for Historical

1 Buildings" specific to St. Charles to give
2 homeowners some direction and let them know what
3 latitude they can take with their improvements to
4 their properties.

5 And it's a great resource to, hopefully,
6 answer some of the questions in the gray area. You
7 brought up issues in the gray area, a painting
8 color, painting the house. Yes, it's not regulated,
9 but some historic districts do regulate color. We
10 don't, but we still give advice on color selection
11 if someone wants it, but it's not a mandatory issue.

12 The thing about -- you brought up another
13 issue is, let's say, the 1880 house, and then
14 someone put an addition on it in 1910, and then now,
15 you, as the homeowner today, wants to tear off that
16 addition and wants to put a bigger addition on it,
17 and how we might be overzealous in our application
18 of the ordinance, perhaps.

19 I think we want to see the size, scale, and
20 proportion. You don't want to see a big McMansion
21 built on the rear of a small house, but we don't
22 want to be overly burdensome when it comes to the
23 stylistic features on an addition. An addition
24 could be much simpler.

1 We actually want the addition to be
2 differentiated from the original structure. The
3 original structure should be preserved as much as
4 possible, and the additions can be sympathetic to
5 it, but they don't have to be duplicates. They
6 don't have every -- the same level of detail going
7 forward.

8 There could be a lot of flexibility if
9 someone wants to propose an addition to their house,
10 and we're quite lenient in that respect. But we do
11 like the size and scale issues. We do not want one
12 neighborhood to have a negative impact on the rest
13 of the block because of an oversize,
14 out-of-proportion addition or a new construction,
15 for that matter.

16 So I hope that kind of helps you because you
17 brought up some questions and several issues, and I
18 hope that helps.

19 VICE CHAIRMAN GIBSON: I'm one of the junior
20 members on this Board. I've been on the Commission
21 for a couple of years, and I have to say it is
22 unfortunate that we can't do a better job of
23 publicizing.

24 I don't think it would be a very good TV

1 show if every second Wednesday, there was an
2 hour-long special that talked about historic
3 preservation; but I would say this, most people
4 don't even run into a situation until they're ready
5 to make a change in their house and they find out
6 they have to do a certificate of appropriateness.

7 But my experience in the couple years I've
8 been involved with this is very few people come to
9 see us and talk to us about their house that leave
10 not being satisfied with the process. And I know
11 you have to kind of take that at face value. I'm
12 just telling you that.

13 But I would encourage anybody who wants to
14 come any time, we're every other Wednesday, the
15 first and third Wednesday, and see the process; and,
16 hopefully, before you have to go through the process
17 if your house ends up being inside a historic
18 district. But I would say most of what we're
19 interested in is exactly what Commissioner Smunt
20 said, fit and finish of the house. The scale and
21 size of the house matches the neighborhood.

22 Like I think you indicated, if there was no
23 control in 1910, there were all sorts of changes
24 that were made. Well, that's part of the character

1 of the neighborhood in and of itself. So the
2 changes that you might want to make to the house
3 would be absolutely perfect with that.

4 Another thing we don't worry about so much
5 is that part of the house we don't see from the
6 street. Once you're away from the part that's going
7 to affect your neighbors and other people's values,
8 we're not quite as strict on that.

9 So I think there's a lot of things -- and
10 that's why it's important that you understand it
11 isn't just a checklist that we go through from the
12 top and if you come out on the bottom, you get your
13 certificate. It's a discussion.

14 And in a lot of cases, even though you talk
15 about fences, we've had some discussion on fences,
16 and it's different even then what we thought we were
17 going to approve when we went into it. The
18 discussion starts one way, and we end up the other
19 way. So it isn't necessarily cookie-cutter
20 responses, and it isn't necessarily the idea that
21 nothing can change because that wouldn't work.

22 CHAIRMAN NORRIS: Kim.

23 MEMBER MALAY: A little bit too on the
24 history. We were trying to get an ordinance

1 approved, a historic preservation ordinance approved
2 since the -- and it took the teardown of Farnsworth
3 mansion back in the early '90s to make it a
4 Commission and an ordinance happen.

5 So we were losing very significant
6 resources, and so the preservation ordinance was put
7 in place to make sure that that didn't continue and
8 that we were able to keep what brings us all here
9 and it helps us stay here, that charm, that historic
10 charm that St. Charles has. And reserving that
11 history is very important.

12 Now, we've had an ordinance in place for
13 over 20 years now, and you've heard very little
14 controversy, if really any, about the Commission and
15 what they've done. We've done a very good job of
16 working with the residents within that district --
17 in those districts and making sure that everybody
18 comes out getting what they need to get
19 accomplished.

20 So we really do sit down with you, we listen
21 to what you have to say, and we work with you to be
22 able to make what you need happen.

23 And to your point about additions and stuff,
24 actually 606 Cedar Street is a really good -- I

1 mean, it's right down the street from you. That's a
2 really good example of what we were able to
3 accomplish. That house had an addition on it. We
4 let them take it off and put on a pretty sizeable
5 addition.

6 You know, what it means to be in a district,
7 yes, you'll have to come before us when you do
8 exterior work, and that's not even everything.
9 Obviously, paint we won't regulate. We had a big
10 situation years ago where people wanted us to
11 regulate paint, and we said no, because the state
12 recommended we do it. So we don't want to touch
13 that. As Steve said, we'll recommend if you want
14 some recommendations. But we try to be very, I
15 think, you know, approachable and work with you on
16 this.

17 And, you know, what it doesn't mean is it
18 doesn't mean that we're going to tell you what the
19 exterior -- or the interior of your home, what you
20 can do and not do in there. We have no regulation
21 on the inside. It's strictly exterior. It doesn't
22 mean you can't put on a porch. It doesn't mean you
23 can't put on a deck. It doesn't mean you can't
24 build a fence, you know, or change windows. All

1 those type of things we'll look at, but we --
2 obviously, there's been a lot of work done in the
3 district over 20 years.

4 So we're definitely here to be more of a
5 resource even for you. You know, that's what we're
6 really trying to accomplish, just protect what
7 St. Charles stands for. To protect its integrity,
8 its character, and its heritage.

9 CHAIRMAN NORRIS: Tom.

10 MEMBER PRETZ: Yes. I would like to direct
11 this to 615 Cedar and your COA concerns, certificate
12 of appropriateness, and COA is not a bad
13 three-letter word. It really is a partnership.

14 The group up here, we have to think in terms
15 of anything that you want to do with your house, you
16 have to follow City code. So you have all of the
17 City codes and that that guide you on what you can
18 and can't do.

19 The only additional step -- and our meetings
20 are twice a month. The only additional step is that
21 it requires you to have a permit if you're having,
22 you know, a change that requires it. The City will
23 then say you need to come for your COA prior, and
24 then they release the permit to you.

1 Our group is really a partnership with you.
2 We provide and give guidance for the size, the
3 scale, as well as the style; and contrary to what
4 people may think when they have a developer or a
5 contractor that they're utilizing is that the
6 sensitivity towards style and these three elements
7 may not be there.

8 So our job is to help you, the owner of the
9 home, and guide you so that you can, in fact, put in
10 something that is complementary to your building as
11 well as beneficial to your neighborhood, your
12 neighbors and that.

13 Our job really is to send you out with a yes
14 on your request, and that's really what we do, and I
15 think we have had more than -- in the 20 years more
16 than a thousand COAs.

17 MEMBER MALAY: At least.

18 MEMBER PRETZ: And we're still counting I
19 think for that. So we want to send you out with a
20 yes. We want to send you out with satisfaction. We
21 go back and forth in our discussion during that
22 portion of our meeting on a given night, where you
23 do your presentation and then what your intentions
24 are. We discuss back and forth, come to a

1 conclusion and that is -- fits what you want to do.

2 But it just helps as a guide, and that's all
3 we do is we want to make sure that when you leave,
4 you're happy; that when you are finished and go,
5 Wow, this is fantastic, whatever project that you
6 have and life continues; and so that's what we do.
7 It's not a bureaucracy as it is more of a helping
8 facility to you when you have a project.

9 I hope that helps a little bit to
10 understand.

11 MR. SCHWENDNER: Can I make an additional
12 comment?

13 CHAIRMAN NORRIS: Please.

14 MR. SCHWENDNER: You know, yeah, I'm not
15 disagreeing with what you're saying at all; but, you
16 know, looking back over 30 years of living there, at
17 least in the residential section, you know, not
18 speaking of Main Street but up and down Cedar
19 Street, you know, even without this ordinance, I
20 haven't seen any big teardowns, and I haven't seen
21 any additions or improvements to homes down Cedar
22 Street that were inappropriate to the neighborhood
23 or detracted from the character of the neighborhood.
24 It seems to be doing fine, you know, without an

1 ordinance. That's all.

2 CHAIRMAN NORRIS: Kim.

3 MEMBER MALAY: Just so you know, at 606
4 Cedar Street, there was actually some, you know,
5 people that were interested in purchasing and
6 tearing that down which could have been a big loss.

7 MR. SCHWENDNER: But wasn't that house
8 already designated as a --

9 MEMBER MALAY: It was.

10 MR. SCHWENDNER: -- historic landmark.

11 MEMBER MALAY: Right. It was.

12 THE WITNESS: So that's a site for --

13 MEMBER MALAY: There was a protection that
14 allowed us to be able to stop that.

15 MR. SCHWENDNER: That's a different
16 situation than this case.

17 MEMBER MALAY: But, again, if there was no
18 protection, we wouldn't have had anything to be able
19 to save that, and that's what the district does too.

20 MR. SCHWENDNER: Okay.

21 CHAIRMAN NORRIS: In regards to Tom's
22 comment, we had a thousand permits. We are a branch
23 of the City Council. If something is not decided
24 correctly, you can always take it up to the City

1 Council. I have been here since '95, and I think
2 we've had only two cases that actually had to go up
3 to that next step. We've always been able to work
4 it out with the committee and work it out with the
5 owners.

6 Russ, if I could put you on the spot.

7 MR. COLBY: Sure.

8 CHAIRMAN NORRIS: Something that we do in
9 the central district here, we have a facade
10 improvement program. Can you talk about that, and
11 then also being reimbursed on the residential.

12 MR. COLBY: Yes. Currently, the City has a
13 facade improvement grant program that exists with
14 exterior renovations to commercial properties that
15 are located in the downtown historic district.

16 And the Historic Commission has discussed at
17 least conceptually the possibility of expanding that
18 program to also include residential properties for
19 situations where there will be some improvement made
20 that would be consistent with historic preservation
21 guidelines. So, for example, removing inappropriate
22 materials from the building or restoring a building
23 on the exterior, that could be a grant that assists
24 with funding that.

1 It's only been discussed at a conceptual
2 level by the Historic Commission, and it will need
3 to be reviewed by the City Council going forward,
4 but it's a topic that's being discussed potentially
5 for the next program year, which would begin in May.

6 CHAIRMAN NORRIS: With the facade
7 improvement program, that started in '98? 99?

8 MEMBER MALAY: '95.

9 CHAIRMAN NORRIS: '95 also. And with that
10 we helped the City Council to designate money that's
11 like 50 cents on the dollar, where if they're going
12 to put an improvement on the front elevation, they
13 come to the committee and work with them; and if it
14 meets the criteria, then the City helps on that
15 portion of the improvement on the outside.

16 So that could help. Again, it's not with
17 residential, but it's something that is being
18 broached and maybe further on it is something that's
19 going to help the committee working with the
20 neighborhood.

21 Craig, any comments?

22 MEMBER BOBOWIEC: Just to the fact that I
23 think a lot of people when they think the Historic
24 Commission are afraid that there's a lot of

1 materials that you may not be allowed to put on your
2 house. I mean, we have allowed decking, pond, like
3 artificial ornamentation, like, that's up there, the
4 crown moldings and stuff on houses.

5 I mean, we've come a long way. I've been on
6 this, I think, 19 years. When I started, that was
7 just an absolute no-no; but we have, you know, moved
8 with the times. We have looked at stuff. We have
9 investigated stuff.

10 I mean, we're pretty open-minded. I mean,
11 if this ordinance passes, I'm going to have two more
12 properties in this new historic district that I'm
13 going to personally have to have reviewed and I --
14 you know, I've been doing this a long time; and just
15 from my own perspective, I don't have a lot of fears
16 because I know how these people work.

17 We get so many people that come before us
18 that really don't have a great eye of designing and
19 knowing what they really want to do to their homes,
20 and we welcome people just to come in, just -- you
21 know, and at the end of a meeting, we'll sit there
22 and bounce ideas. Tell us what you want to do, and
23 we're there to advise you, give you ideas to make
24 your project the best that it absolutely can be and

1 to work with you.

2 I mean, you know, some cities, you know,
3 have a bad rap of being like the preservation Nazis.
4 And, you know, in the 19 or 20 years I've been here,
5 that's one thing we have always prided ourselves in
6 is to not have that kind of, you know, attitude
7 towards people. And like I think it was Steve that
8 said, you know, most people when they're all done,
9 they kind of compliment us that we've actually
10 helped them make their projects even better than
11 they originally came in and thought they were going
12 to be.

13 So, I mean, you've got to trust us on that;
14 but, again, in all these years, we have had very few
15 controversial issues that the City Council has even
16 had to hear us. So, I mean, we've really worked
17 well with the community, and that's our goal. I
18 mean, we all live in the neighborhoods.

19 I mean, several of the commissioners have
20 homes in the district already or they own landmark
21 homes. So, I mean, we're living it with you. So, I
22 mean, you know, I mean, we're not expecting you to
23 do anything that we're not even, you know, putting
24 upon ourselves in our own way too, so.

1 CHAIRMAN NORRIS: Thank you, Craig.

2 Our newest member, comments?

3 MEMBER KESSLER: I'll keep my comments
4 brief. Yes, I am the newest member, just a few
5 weeks; but I've lived in the community for many
6 years, and I've lived in an old home that I've
7 renovated myself. As Mr. Schwendner, I believe, was
8 saying that it was outside of the jurisdiction of
9 this group, but I did it with the historic aspect in
10 mind.

11 But I fully believe in the mission here, and
12 that's why I agreed to join this volunteer group.
13 Because over the years I've learned that, as some
14 other people have also said, the appeal of the
15 architectural character of our community can have a
16 real economic impact. I think that's very
17 important, and that's why I support the mission.

18 CHAIRMAN NORRIS: Thank you. Does anyone
19 else have anything to say or comments or thoughts in
20 regards to our nomination?

21 MEMBER MALAY: You know, you guys are
22 obviously -- we're sitting at this table kind of
23 looking down on you, and it's kind of intimidating,
24 I suppose. Our normal meetings are not like this at

1 all. We're actually in the committee room. We
2 actually sit around a table with you. You're part
3 of our group, and we sit down and we talk. So
4 that's another aspect. You know, just so you
5 understand, it's not this formal by any stretch, so.

6 MEMBER SMUNT: I have a question for that
7 gentleman. You were the first person to speak, and
8 you asked about an exemption.

9 MR. ELSNER: Yes.

10 MEMBER SMUNT: What was your address again?

11 MR. ELSNER: 116 South 7th Street.

12 MEMBER SMUNT: 116. Okay. I wanted to just
13 get an idea of what your house -- when we had an
14 architectural survey, whether it was considered
15 contributing or noncontributing.

16 MR. ELSNER: It was in the middle. I think
17 I had a bay window that was contributing.

18 MEMBER SMUNT: Is this it?

19 MR. ELSNER: I can't see that from here. It
20 was just 116 South 7th Street.

21 MEMBER SMUNT: It was newly sided and all
22 that.

23 MR. ELSNER: Yes. It was newly renovated.

24 MEMBER SMUNT: Yeah. I mean, we consider --

1 it's a nice little job. So we actually reviewed the
2 survey information at our last meeting.

3 You brought up the value of your house for
4 the noncontributing rating, the contributing rating.
5 You've actually brought it back to what the house --
6 closer to what the house probably looked like when
7 it was first built. You should be very proud of
8 yourself that you took this upon yourself to do. No
9 review or you didn't come to us for any review
10 process.

11 I was just kind of curious as to why you
12 want to be exempt from the district when you put
13 such -- you followed the guideline without even
14 knowing it.

15 MR. ELSNER: Actually, I just purchased the
16 house. So I didn't actually do any work.

17 MEMBER SMUNT: Okay. Okay.

18 MR. ELSNER: So my hesitation to becoming
19 part of the Historic District is the increase in
20 property value is going to make it harder to sell at
21 some point down the road because it's going to limit
22 the buyers on the property.

23 Property taxes are going to increase as well
24 if the property increases, and then it is going to

1 be difficult and more of a strenuous process to
2 obtain a permit to do any work on the house. And
3 then there's going to be an increased cost of
4 improvements because we have to follow certain
5 stipulations. Where it could be cheaper to do it
6 myself, I'm going to have to hire somebody else to
7 do it to follow the rules and regulations that are
8 going to be in place.

9 Other hesitations I have are you all seem
10 very liberal in what you're saying as far as
11 improvements you'll grant, but one day you're not
12 going to be on the Board. Somebody else is going to
13 take your spot that's not going to be as liberal;
14 and if that's the case, I am stuck with whatever
15 they say.

16 So this isn't going to go into effect and
17 then possibly take me out one day from being under
18 these rules and regulations. It's ongoing, whereas
19 right now you say you'll help people with looking
20 into design. Why put these other rules in place
21 when I can come to you now and say help me as it is.

22 I don't understand why you should put more
23 on everybody. There's processes in place if you
24 think your house is historically significant to go

1 ahead and have your house added to the register. Go
2 ahead and do it that way if that's what you think,
3 but making everybody within a certain area be
4 subject to these new rules and regulations that are
5 being placed, it's just not fair.

6 I just bought the house, and it wasn't in
7 the historic district, and now it's going to be
8 possibly. It just doesn't make sense.

9 MEMBER SMUNT: Just out of curiosity, have
10 you had a chance to look at the guideline book or
11 read the ordinance?

12 THE WITNESS: I have, yes.

13 MEMBER SMUNT: Did you look at the guideline
14 book?

15 MR. ELSNER: I have looked at the ordinance
16 itself, yes.

17 MEMBER SMUNT: Because, I mean, there's a
18 lot of things that -- a lot of good resources that
19 we've put out, we've developed over the last 20-some
20 years as a Commission that are designed to help
21 homeowners who may elect to want to change their
22 properties so that the review process that we go
23 through with those property owners is simplified and
24 nonthreatening. You seem to be threatened by it.

1 MR. ELSNER: Well, the process right now I
2 don't have to follow any of those rules in your rule
3 book. I can do as I feel fit as long as it fits the
4 codes that Tom discussed earlier. If this goes into
5 effect, I have to follow an additional rule book on
6 top of the codes. So that's my objection.

7 MEMBER SMUNT: I see.

8 MR. ELSNER: I'm the homeowner. I bought
9 the house. I pay taxes on the house. I should be
10 able to do what I like to the house.

11 MEMBER SMUNT: Okay. Thank you.

12 MEMBER PRETZ: I just have a little bit in
13 response to your statements. You mentioned about
14 the labor, that you would have to hire somebody to
15 do the labor. We don't dictate how the labor is
16 done for whatever improvement or changes that you're
17 making on your home. That is strictly up to you
18 following the guidelines and whatever codes that are
19 in place by the City. So we don't dictate that in
20 any way.

21 And the other thing is that there is a
22 distinction between a district, so the historic
23 district and a landmarked home. A landmarked home
24 is a fully recognized site that is recognized by the

1 City itself, and there are benefits to that at the
2 state level for any improvements and things like
3 that that you do. So you can always go online at
4 the State of Illinois and take a look at what tax
5 benefits exist for landmarked homes.

6 But that distinction of just, again, being
7 within the district is purely to help with size, the
8 shape, and the style of your home. It helps give
9 guidance to you and an additional review session in
10 there to help you with that. Again, it's for the
11 benefit of not only you, the homeowner, but also to
12 the neighbors that surround you, the neighborhood
13 itself.

14 CHAIRMAN NORRIS: Thank you, Tom.

15 Anybody else wish to speak on the
16 nomination?

17 (No response.)

18 CHAIRMAN NORRIS: Seeing none, I'd like to
19 entertain a motion.

20 MEMBER MALAY: Motion to approve.

21 CHAIRMAN NORRIS: To close the hearing.

22 MEMBER MALAY: Yes, to close the hearing,
23 sorry.

24 MEMBER SMUNT: I'll second.

1 CHAIRMAN NORRIS: Any other discussion? All
2 those in favor?

3 (Ayes heard.)

4 CHAIRMAN NORRIS: Any opposed?

5 (No response.)

6 CHAIRMAN NORRIS: The meeting is closed.

7 Thank you. We're going to go on to the next
8 item, Item No. 7.

9 MEMBER PRETZ: For the people that are
10 getting up -- excuse me -- we're going into the
11 meeting portion. That was just the motion to close
12 the public hearing.

13 CHAIRMAN NORRIS: Thank you.

14 VICE CHAIRMAN GIBSON: You can stick around
15 for the rest of the meeting.

16 MEMBER MALAY: We'll discuss whether or not
17 to move forward with the recommendation or not.

18 CHAIRMAN NORRIS: Okay. Item No. 7 is
19 eligibility for the historic district designation
20 for the Millington Historic District.

21 Steve, I'll entertain a motion.

22 MEMBER SMUNT: I would just like to make a
23 comment at this time. I think all the people that
24 spoke here today brought up some very good,

1 important issues, and I know you feel passionate
2 about the issues, and you spoke up, and we did our
3 best to try and address those issues to hopefully
4 get you to like us better.

5 We realize that some of you will never buy
6 the argument that, you know, we're going to make it
7 easy for you. We are. I will admit that having to
8 obtain a certificate of appropriateness is another
9 layer of government. But we feel it's essential for
10 us to carry forward the preservation of our historic
11 resources in the city, and the evidence is supported
12 that historic districts do command a higher resale
13 value for its properties.

14 It doesn't cause your taxes to go up either.
15 Now, I know you laugh, that you could say it's an
16 arguable issue; but we do have evidence that
17 supports a good return on your investment if you are
18 in a historic district versus what it would be
19 outside of one.

20 So those arguments go on every year, and
21 they've been going on for decades. There have been
22 studies out there, the national register, I should
23 say national --

24 MEMBER PRETZ: National Trust.

1 MEMBER SMUNT: National Trust. Thank you.
2 Had done studies and put that argument to rest --
3 hopefully, put that argument to rest, and it keeps
4 on coming up.

5 There is a tax freeze available for
6 homeowners. If you were to invest 25 percent of
7 your appraised value of your house into historic
8 preservation, remodeling, addition, whatever you
9 want to call it, the State of Illinois will grant a
10 tax freeze on your property taxes for eight years,
11 with a four-year increase after that. So it freezes
12 the taxes at the current level.

13 So that is a perk. I took advantage of it.
14 I own a historical home, and then my tax rate
15 dropped, unfortunately, and so my taxes never went
16 up anyway. But I took advantage of it, and it was a
17 great deal that the state offers that is available.

18 For commercial properties, it's a tax
19 credit. So there are some tax advantages to being
20 within a history district or to be a designated
21 landmark.

22 So in summary, I heard a lot of positive
23 things said about moving forward with this historic
24 district. The arguments against it were of a very

1 personal nature. The arguments for it were of a
2 more community nature. And I tend to think that we
3 as a Commission tend to want to see positive changes
4 in this community for the greater good of all.

5 So I would support us moving forward with
6 the nomination.

7 So I would move forward with the nomination
8 here to recommend the City Council approve the
9 historic district nomination submitted by our
10 Commission and received by the City on
11 December 21st, 2016, for the Millington Historic
12 District.

13 MEMBER MALAY: Motion to second.

14 CHAIRMAN NORRIS: Any other discussion?

15 MEMBER SMUNT: And I have a prepared
16 printout with a little more detail of that
17 nomination. Do you want me to read it now?

18 CHAIRMAN NORRIS: Please.

19 MEMBER PRETZ: Go ahead and read it.

20 MEMBER SMUNT: Okay. This is based on
21 findings that the district meets the following
22 criteria, and it's substantiated in the historic
23 district nomination.

24 The area contains several structures that

1 meet the criteria for landmark designation, and also
2 includes other structures which, although they may
3 not qualify for individual landmark designation,
4 they contribute to the overall visual character of
5 the area and to its architectural and historic
6 significance.

7 The area is historically significant to the
8 development of St. Charles.

9 And the area has sufficient integrity to
10 convey the sense of a particular period in the
11 history of this community, specifically the period
12 from the mid-1800s to the 1930s.

13 So I'll give that to Chairman Norris.

14 CHAIRMAN NORRIS: Thank you.

15 MEMBER SMUNT: My motion is to move forward.

16 CHAIRMAN NORRIS: Kim.

17 MEMBER MALAY: Second.

18 CHAIRMAN NORRIS: Any other discussion?

19 (No response.)

20 CHAIRMAN NORRIS: All those in favor?

21 (Ayes heard.)

22 CHAIRMAN NORRIS: Any opposed?

23 (No response.)

24 CHAIRMAN NORRIS: Motion carries.

1 Item No. 8 --

2 MR. COLBY: Before we move forward, if I
3 could just state this on the record. The Historic
4 Commission's recommendation is forwarded to the City
5 Council. This proposal will next be discussed by
6 the City Council's Planning and Development
7 Committee at their meeting on Monday, February
8 the 13th. So they will be reviewing the Historic
9 Commission's recommendation at that meeting.

10 MEMBER PRETZ: Russ, for that February 13th
11 meeting, will that be -- I know that there's another
12 item that is going to be on the agenda that night.
13 For the sake of the audience, will that be something
14 that will be first or second?

15 MR. COLBY: The agenda has not been set yet,
16 so I can't say at this time.

17 MEMBER PRETZ: Okay.

18 MR. COLBY: But there will be an agenda
19 posted on the City's website the Friday prior to
20 that meeting which will list the agenda order and
21 where that item falls on that agenda.

22 MEMBER PRETZ: Thank you.

23 CHAIRMAN NORRIS: Thank you.

24 (Off the record at 8:06 p.m.)

CERTIFICATE OF SHORTHAND REPORTER

I, Joanne E. Ely, Certified Shorthand
Reporter No. 84-4169, CSR, RPR, and a Notary Public
in and for the County of Kane, State of Illinois,
the officer before whom the foregoing proceedings
were taken, do certify that the foregoing transcript
is a true and correct record of the proceedings,
that said proceedings were taken by me
stenographically and thereafter reduced to
typewriting under my supervision, and that I am
neither counsel for, related to, nor employed by any
of the parties to this case and have no interest,
financial or otherwise, in its outcome.

IN WITNESS WHEREOF, I have hereunto set my
hand and affixed my notarial seal this 27th day of
January, 2017.

My commission expires: May 16, 2020

Joanne E. Ely



Notary Public in and for the
State of Illinois

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3c

Title:

Recommendation to approve and execute an amended Service Agreement for the Home Rehabilitation and Accessibility Loan Program

Presenter:

Ellen Johnson

Meeting: Planning & Development Committee

Date: February 13, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: ☐**Executive Summary** *(if not budgeted please explain):*

P&D Committee discussed and recommended approval of two Housing Commission recommendations regarding housing programs at the 1/9/17 meeting. The first was creation of a new First-Time Homebuyer Downpayment Assistance Program. The second was an amendment to the existing Home Rehabilitation Loan Program to remove the single-family only restriction and open the program to townhome and condo units, as well as change the program name to, "Home Rehabilitation and Accessibility Loan Program" to highlight the fact that the program can be used to fund accessibility modifications for physically disabled persons.

The Home Rehabilitation Program is currently administered for the City by Community Contacts, Inc., a non-profit housing provider based in Elgin. Staff has amended the Service Agreement to reflect the changes to the program previously recommended for approval. Community Contacts is agreeable to the amended Service Agreement.

Discussions are ongoing regarding the Service Agreement for the First-Time Homebuyer Downpayment Assistance Program. This agreement will be brought to the Committee for consideration when it is ready.

Attachments *(please list):*

Staff Memo from 1/9/17; Service Agreement for the Home Rehabilitation and Accessibility Loan Program

Recommendation/Suggested Action *(briefly explain):*

Recommendation to Approve and Execute an Amended Service Agreement for the Home Rehabilitation and Accessibility Loan Program

Community and Economic Development
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



STAFF MEMO

TO: Chairman Todd Bancroft
And the Members of the Planning and Development Committee

FROM: Ellen Johnson, Planner

RE: Proposed Downpayment Assistance Program & Amendment to the Single-Family Home Rehabilitation Loan Program

DATE: January 3, 2017

The Housing Commission has provided two recommendations for the Committee's consideration regarding use of affordable housing fee in-lieu contributions into the City's Housing Trust Fund, in accordance with Ch. 3.50 of the City Code, "Housing Trust Fund". The first is creation of a new First-Time Homebuyer Downpayment Assistance Program and the second is an amendment to the existing Single-Family Home Rehabilitation Loan Program.

I. RECENT HOUSING COMMISSION ACTIVITY

a. Community Land Trust

The P&D Committee last discussed a housing-related program in March 2016 when creation of a Community Land Trust (CLT) was under consideration. At that time, the four communities that partnered on the *Homes for a Changing Region* plan adopted in 2014 – St. Charles, Geneva, Batavia, and North Aurora – were considering working together to create a CLT as recommended in the *Homes* plan. A CLT is an organization that provides affordable housing to a community. At the March P&D Committee meeting, housing policy consultant Betsy Lassar presented a proposed "exploratory process" to look into the feasibility of creating a Fox Valley CLT. Committee members expressed interest in the CLT concept and the proposed exploratory study, but needed to know if the other three communities would also be participating in the feasibility study before making a recommendation to proceed.

Geneva, Batavia, and North Aurora all decided not to pursue the CLT for a variety of reasons, including funding concerns, both for the feasibility study and the future CLT, and lack of political support. The Housing Commission determined that it would not be practical for St. Charles to pursue the CLT on its own. Creating the CLT would require establishment of a stand-alone nonprofit organization and long-term funding sources, which would be difficult for a community of St. Charles' size to take on alone.

b. Purchase/Rehab/Resale Program

The Housing Commission instead decided to look into creating a purchase/rehab/resale program, whereby the City would purchase distressed properties, rehab them, and sell them to income-eligible homebuyers. This is the type of activity the CLT may have taken on. The Commission felt that creating a purchase/rehab/resale program would be a simpler option for the City while still providing the benefit of improving distressed housing stock and providing affordable housing.

Staff conducted research on the purchase/rehab/resale program concept, including speaking to the Kane County Office of Community Reinvestment, which has a Foreclosure Redevelopment Program similar to what the Housing Commission had in mind for St. Charles. The County advised that foreclosed homes available for purchase in St. Charles are in short supply, and those that are available are selling for twice as much as they were a year or so ago, and sell very quickly. Due to these changes in the foreclosure market, the County is moving away from this type of program.

The Housing Commission felt that creating a purchase/rehab/resale program at this time would be attempting to work against market forces. Purchasing a home in today's market, rehabbing it, and selling it at an affordable price would quickly drain the Housing Trust Fund resources. The Commission plans to revisit this idea in the future as the market allows.

II. PROPOSED FIRST-TIME HOMEBUYER DOWNPAYMENT ASSISTANCE PROGRAM

At the suggestion of Kane County, the Housing Commission looked into creating a downpayment assistance program instead of a purchase/rehab/resale program as another way to make housing affordable to income-eligible families. The idea behind this type of program is that a home which would otherwise be unattainable to a family can be made affordable through providing downpayment assistance. This type of program both removes the downpayment barrier to homeownership, as well as lowers the monthly mortgage payment. The assistance would be in the form of a 0% interest loan, so the funds would return to the Housing Trust Fund upon sale of the home.

a. Existing Kane County Program

Kane County offers downpayment assistance to income-eligible homebuyers, for which St. Charles buyers can apply. The following is a summary of Kane County's First-Time Homebuyer Program:

- \$10,000 in downpayment and closing cost assistance.
- Zero interest, deferred-payment loan; repaid upon sale or transfer of deed.
- First-time homebuyers only (cannot have owned a home in the past three years).
- Annual household income cannot exceed 80% AMI based on household size.
- Buyers must complete a homebuyer education course.
- Buyers must contribute at least 1% of the purchase price.
- Buyers must have lived or worked in the Kane-Elgin Consortium Area for at least 1 year.
- Open to single-family homes, townhomes, and condominiums.
- Homes must pass inspection.

b. Proposed City Program

The Commission determined that the best use of the City's limited resources would be to piggyback on Kane County's First-Time Homebuyer Program, similar to how the City's existing Home Rehab Loan Program is structured. The County's program offers up to \$10,000 per household. An additional \$10,000 will be offered through the City's program for homes purchased in St. Charles if additional downpayment assistance is needed to make purchase of a home affordable for the prospective buyer. The assistance will be in the form of a zero percent interest, deferred payment loan, due back to the City upon sale or transfer of deed. The program is targeted to households at or below 80% Area Median Income (AMI).

Staff has prepared a Program Description (see attached). Applicants will initially apply for Kane County's program, and then apply for additional funds from the City's program if additional assistance is needed. Only homes to be purchased in St. Charles will be eligible for the City's program. Other than the St. Charles location requirement, the edibility requirements match those of the Kane County program (listed above), since applicants will first need to be approved for the County's program.

Like for the City's existing Home Rehab Loan Program, the intent is for a third-party service organization to administer the program for the City. The third-party organization's role would include processing applications, determining eligibility, performing inspections of the home to be purchased, providing homebuyer education classes, and executing the required legal documents.

Staff has reached out to three non-profit housing providers in the area to solicit interest in administering the program. Neighborhood Housing Services of the Fox Valley (NHS) is an Elgin-based non-profit housing service provider that administers the County's First-Time Homebuyer Program. It is logical for NHS to provide this service to the City as well, since applicants will first need to apply to the County's program and would then be working with the same organization when applying for the City's program. NHS has expressed enthusiasm for working with the City on this program. Community Contacts, Inc. which administers the City's Home Rehab Loan Program, declined to provide a proposal and stated they feel it would be most appropriate to work with NHS since they administer the County's program. Joseph Corporation also did not provide a proposal. Based on these responses, staff has been discussing program administration with NHS. These discussions are ongoing, but should not impact the parameters of the program itself. NHS would receive an administration fee of 1% of the total mortgage loan.

III. AMENDMENT TO SINGLE-FAMILY HOME REHABILITATION LOAN PROGRAM

The Housing Commission also discussed a desire to help senior citizens safely remain in their homes by providing financial assistance for making accessibility modifications such as doorway widening, walk-in showers, ramps, and lowered countertops. The City's existing Single-Family Home Rehabilitation Loan Program, which helps income-eligible homeowners make necessary repairs to their homes, already covers "Improvements and modifications for physically disabled persons". This program is available to income-eligible owners of single-family homes, including seniors.

The Commission has recommended the program be opened up to owner-occupied townhome and condominium units, as well, which may provide opportunities for more senior citizens to be

eligible for the program. The City's current program is supplemental to Kane County's Home Rehab Program. Kane County's program is not restricted to single-family homes.

Staff has amended the Program Description for the Single-Family Home Rehab Loan Program (see attached). The program is now called the Home Rehabilitation and Accessibility Loan Program to highlight the potential to fund accessibility improvements. The language has been changed where necessary to reflect the fact that it is no longer restricted to single-family homes. Under "Eligible Improvements", examples of modifications for disabled persons have been added in order to better communicate that the program may be used for accessibility improvements. The rest of the program remains as-is. The program will continue to be used as a supplemental program to Kane County's program, with up to \$10,000 available per household in the form of a zero percent interest, deferred payment loan.

This program is administered for the City by Community Contacts, Inc., a non-profit housing provider based in Elgin. Staff has spoken with Community Contacts and they are agreeable to the changes to the program.

IV. HOUSING COMMISSION RECOMMENDATION

At its 11/17/16 meeting, Housing Commission unanimously recommended approval of the Program Description for a new First-Time Homebuyer Downpayment Assistance Program and the amended Program Description for the Home Rehabilitation and Accessibility Loan Program.

If P&D Committee provides a positive recommendation on these Program Descriptions, staff will work with NHS to prepare the Service Agreement for the First-Time Homebuyer Downpayment Assistance Program. Staff will also work with Community Contacts on an amended Service Agreement to reflect the changes to the Home Rehabilitation and Accessibility Loan Program.

Staff anticipates the Service Agreements will be brought forward at the February P&D Committee meeting.

V. ATTACHMENTS

- Program Description: First-Time Homebuyer Downpayment Assistance Program
- Amended Program Description: Home Rehabilitation and Accessibility Loan Program (changes marked in red)

DRAFT REVISED PROGRAM DESCRIPTION: HOME REHAB LOAN PROGRAM

Jan. 2017

[Changes from 2010 Program Description marked in red]

THE CITY OF ST. CHARLES SUPPLEMENTAL ~~SINGLE FAMILY DETACHED~~ HOME REHABILITATION **AND ACCESSIBILITY LOAN PROGRAM**

PROGRAM OVERVIEW

The City of St. Charles is committed to preserving and maintaining its affordable housing stock. In response to this commitment, the City is initiating a ~~single family detached~~ home rehabilitation program. This program offers no interest loans to qualified households to maintain the quality of the affordable housing stock and help distressed homeowners in need. Funding for this program will be provided from the City of St. Charles Housing Trust Fund.

Program Name	Program Description	Available Funds	Type of Loan
Supplemental Single Family Detached Home Rehabilitation and Accessibility Loan Program (the "Program")	Homeowners will apply to Community Contacts, Inc. for a loan through the City's Program. This loan will only be available to those properties located within the City of St. Charles' corporate limits. The Program is intended to be supplemental to Kane County's Single Family Detached Home Rehabilitation Loan Program; therefore, applicants must initially apply through the Kane County program. Loans through the City's Program will be considered in the following circumstances: (i) the cost of the Eligible Improvement(s) exceeds the maximum amount paid by Kane County or (ii) the homeowner has project costs that are not eligible for reimbursement through Kane County's program, but are Eligible Improvements.	Maximum of \$10,000 per household	0% Interest deferred loan with repayment at the time of sale or transfer of deed.

ELIGIBLE IMPROVEMENTS

- Improvements and modifications for physically disabled persons, **including but not limited to: grab bars and railings; motorized chair lifts; doorway widening; walk-in showers; accessible toilets; shower seats; ramps; bed rails; and lowered countertops.**
- Repairs/improvements to mechanical, heating, plumbing, structural, and electrical systems.
- Exterior painting.
- Improvements to building security.
- Termite damage repair.
- Drainage improvements.
- Yard clean-up.
- Repairs or replacement of roofing.
- Insulation.
- Exterior work that will improve overall neighborhood appearance.
- Windows in need of repair or replacement.

INELIGIBLE IMPROVEMENTS

- Additions/upgrades to existing structure or component parts, i.e. window upgrades (Bay Window), room additions, etc. (except to provide access to persons with disabilities).
- Purchase or repair of furnishings.
- Purchase of land/real property.
- Construction/repair of swimming pools or hot tubs.
- Appliances
- Improvements to common elements of association owned or managed property.

RESIDENTIAL REHABILITATION PRIORITIES

The following priority system will be used to classify rehabilitation work needed for each property. The following priority system is in descending order of priority. Category A represents the highest priority items, and Category D represents items of lowest priority.

Category A - Health & Safety items

Category A consists of code violations and repair of the major systems that threaten the health and safety of the resident (e.g., basic structural, mechanical, electrical, heating and/or plumbing systems).

Category B - Incipient Code Violations

These items include those elements of the structure which are not in violation of the code but appear to be in a condition that will deteriorate into a code violation if left uncorrected (e.g., hot water heater or boiler of 30 or 40 years of age which may have given some minor problem in the recent past). If sufficient dollars are available to address more than the Category A items, then Category B improvements shall be undertaken to the extent of financial feasibility.

Category C - Energy Conservation Items

These items are directly related to the conservation of energy by upgrading the dwelling's thermal protection such as new windows, new doors, and insulation which may be undertaken if sufficient dollars have been available to address Category A and B items.

Category D - General Property Improvements

These work items constitute improvements which can be made to the property, but are not vital to health and safety of the resident. Examples could include yard maintenance, exterior painting, air conditioning, improvements and modifications for physically disabled persons. These items can be considered property improvements after Categories A through C have been addressed and subject to staff approval.

ELIGIBILITY

The following criteria will determine applicant eligibility:

1. Income: The annual gross household income of the applicant household may not exceed the income limits established below.
2. Location: The subject property must be within the City of St. Charles corporate limits.
3. Home Value: The value of the applicant's home may not exceed \$271,050.
4. Type of Unit: The unit must be an owner-occupied residential property. ~~single-family detached residential property.~~
5. Ownership: The person receiving the loan must live within the dwelling unit, and not rent this unit to other persons.

INCOME LIMITS

To be eligible for a deferred loan with repayment at the sale of the property the following income criteria will apply:

The annual gross household income cannot exceed the most recent income limits for a household at 80% Area Median Income based on household size, as published by the Illinois Housing Development Authority (source: <http://www.ihda.org>). The Household Valuation Limitation is set at the most recent FHA Mortgage Limit for Kane County (source: <https://entp.hud.gov/idapp/html/hicostlook.cfm>). The below chart uses 2016 income limits published by IHDA and 2016 Household Value Limitation from HUD.

Owner Occupied Affordability Chart For Chicago Metro Area 80% of Average Area Median Income								
	1 Person	2 Person	3 Person	4 Person	5 Person	6 Person	7 Person	8 Person
2016 Income Limits (80% AMI)	\$43,050	\$49,200	55,350	\$61,500	\$66,450	\$71,350	\$76,300	\$81,200
Household Value Limitation	\$ 271,050							

~~Please Note: The above chart uses 2009 income limits published by the Illinois Housing and Development Authority (Source: <http://www.ihda.org>). The Household Valuation Limitation is set to the FHA Mortgage Limit for the City of St. Charles (Source: <https://entp.hud.gov/idapp/html/hicostlook.cfm>).~~

3RD PARTY VENDOR DUTIES

1. The applicants will apply directly to the 3rd Party Vendor.
2. The 3rd Party Vendor will process all applications and review income eligibility.
3. The 3rd Party Vendor will perform onsite inspections of ~~single-family detached~~ home.
4. The 3rd Party Vendor will create the scope of work for all necessary repairs.
5. The 3rd Party Vendor will verify ownership of the property in the form of a title insurance policy.
6. The 3rd Party Vendor will send the application, Application information and Information Disclosure (Exhibit E) to City Staff for review and approval once steps 1 through 4 have been completed. No work involving St. Charles Housing Trust Fund money shall begin until the City approves the application.
7. The 3rd Party Vendor will bid the work to 3 separate contractors.
8. The 3rd Party Vendor will award the contract to the lowest responsible bidder and will supervise the work.
9. Prior to commencing work on a project, the 3rd Party Vendor will obtain a promissory note and mortgage agreement, in forms acceptable to the City, from the property owner. The mortgage shall be recorded in the Recorder's Office of the county where the property is located simultaneously with the disbursement of funds by the City.
10. The 3rd Party Vendor will ensure that all work is complete and inspected and approved by the City of St. Charles Building and Code Enforcement Division.
11. Once the work is complete the 3rd Party Vendor will submit lien waivers, cost affidavits, and such other documentation, as the City requires, to the City Staff to receive repayment.

12. City Staff will review Disbursement Request and issue reimbursement for Eligible Improvements and an administrative fee of 10% and all fees associated with recording of the mortgage lien and Title Search to the 3rd Party Vendor. No payment shall be made until the 3rd Party Vendor delivers an ALTA Loan Policy of Title Insurance in favor of the City for the amount of the reimbursement.
13. The 3rd Party Vendor will process any repayments of the mortgage lien on behalf of the City, and send this repayment to the City.

3rd PARTY VENDORS

SERVICE AGREEMENT BETWEEN THE CITY OF ST. CHARLES, ILLINOIS AND COMMUNITY CONTACTS, INC.

THIS AGREEMENT is entered into this _____ day of _____, 20__ by and between the City of St. Charles, Kane and DuPage Counties, Illinois, an Illinois municipal corporation (hereinafter “City”) and Community Contacts, Inc., an Illinois not-for-profit corporation (hereinafter “3rd Party Vendor”).

WHEREAS, the City is a home rule unit as provided in Article VII, Section 6 of the Illinois Constitution, and this Agreement is entered into as an exercise of its powers and performance of its functions pertaining to its government and affairs, as well as the authority provided by Article VII, Section 10 of the Illinois Constitution, 5 ILCS 220/1, *et seq.* and 310 ILCS 67/25; and

WHEREAS, the City, in Chapter 3.50 of the St. Charles Municipal Code, has established a Housing Trust Fund to provide sustainable financial resources to address the Affordable Housing needs of Eligible Households in St. Charles by preserving and producing Affordable Housing, providing housing-related financial support and services to Eligible Households, and providing financial support for not-for-profit organizations that actively address the Affordable Housing needs of Eligible Households; and

WHEREAS, on April 1, 2010 the City entered into a Service Agreement between the City of St. Charles and Community Contacts, Inc. (hereinafter “2010 Agreement”); and

WHEREAS, the 2010 Agreement stated the City’s desire to utilize a portion of the Housing Trust Fund to provide owner-occupied housing rehabilitation services to Eligible Households within the City; and

WHEREAS, the City wishes to continue to utilize a portion of the Housing Trust Fund to provide housing rehabilitation services to Eligible Households within the City, but wishes to provide said services for other types of owner-occupied dwelling units and not solely to owner-occupied single-family dwelling units; and

WHEREAS, the City wishes to continue to engage the services of the 3rd Party Vendor to deliver said services.

NOW, THEREFORE, IT IS HEREBY AGREED AS FOLLOWS:

I. 3rd Party Vendor Services. In consideration of the premises, terms and conditions set forth herein, the 3rd Party Vendor shall devote sufficient energies for the provision of a Home Rehabilitation and Accessibility Loan Program to those areas within the City of St. Charles designated by the City Council. Such services shall include the following:

- A. Perform all the duties listed in Exhibit A attached hereto and incorporated herein.
- B. Ensure that all applicants meet the eligibility requirements listed in Exhibit A.
- C. Maintain adequate records and provide for regular inspection by City Staff as detailed within this Agreement.

II. Use of Housing Trust Fund. In consideration of the aforementioned services the City shall reimburse the 3rd Party Vendor an amount not to exceed \$10,000 per household from the Housing Trust Fund for the purposes of individual home repair projects as described herein, for Community Contacts beginning February 20, 2017 and ending at the discretion of the City Council, under the following conditions:

- A. Funds provided herein shall be used specifically in the manner described in Exhibit A. Each application shall include a description of the project, a schedule for completing the tasks, and a project budget.
- B. To be eligible, homeowners must meet the established income guidelines established in Exhibit A.
- C. Home value shall not exceed the criteria established in Exhibit A.

In addition to reimbursing the 3rd Party Vendor for such costs, the City shall pay the 3rd Party Vendor an administrative fee of ten percent (10%), per project.

III. Ineligible Improvements. No Housing Trust Fund money shall be used for any item listed in Exhibit A as an Ineligible Improvement.

IV. Compliance with Codes. Any rehabilitation of property or improvement of property shall comply with all relevant provisions of the City of St. Charles Municipal Code, including, but not limited to, the Building Code.

V. Disbursement of Funds. Upon completion of the all the items listed as 3rd Party Vendor duties in Exhibit A, the 3rd Party Vendor shall submit a Request for Disbursement of Funds in the form attached hereto and incorporated herein as Exhibit B. Disbursement is subject to the following terms and conditions:

- A. Disbursement of funds to the 3rd Party Vendor will follow after verification of work completion, the St. Charles Building and Code Enforcement Division has completed a final inspection and approved all work, the contractors have been paid and submitted all necessary lien waivers, and a mortgage agreement, in a

form acceptable to the City, in the amount of the Eligible Improvements has been recorded with the appropriate County Recorder of Deeds. In addition, no disbursement shall be made until the 3rd Party Vendor delivers an ALTA Loan Policy of Title Insurance in favor of the City for the amount of the reimbursement. The City may, in its discretion, subordinate the mortgage on the property pursuant to the guidelines attached hereto and incorporated herein as Exhibit C.

- B. The 3rd Party Vendor will be paid 10% of the total cost of Eligible Improvements, up to a maximum amount of \$10,000 per household. In consideration of the work performed hereunder, the City will reimburse the 3rd Party Vendor with Housing Trust Funds available under this Agreement for Eligible Improvements described in Exhibit A that have been approved by City staff, as well as the administrative fee described above. Submission of a Request for Disbursement shall be accompanied by the appropriate receipts, invoices, canceled checks, lien waivers and/or other such other documentation required by the City. Advance disbursements of Housing Trust Funds are not permitted under this Agreement.
- C. The 3rd Party Vendor will be reimbursed no more than thirty (30) days after a complete Request for Disbursement, along with all required documentation, has been submitted to the City.

VI. Other Program Requirements.

A. Non-Discrimination and Equal Opportunity

In carrying out this Agreement, the 3rd Party Vendor shall not discriminate against any employee or applicant for employment because of race, color, religion, sex, age, familial status, handicap, or national origin. The 3rd Party Vendor shall take the necessary steps to ensure that applicants for employment are employed, and that employees are treated during employment, without regard to their race, color, religion, sex, age, familial status, handicap or national origin. Such action shall include, but not be limited to the following: employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The 3rd Party Vendor shall post in conspicuous places, available to employees and applicants for employment, notices to be provided by the government setting forth the provisions of this non-discrimination clause. The 3rd Party Vendor, upon execution of this Agreement, shall agree that all qualified candidates will receive consideration for employment without regard to race, color, religion, sex, age, familial status, handicap, or national origin.

B. Disclosure Requirements

The 3rd Party Vendor shall maintain and disclose accurate, current, and complete financial results of all activities performed under this Agreement, in accordance with generally accepted business practices. If the 3rd Party Vendor's accounting records are maintained on a cash basis, the 3rd Party Vendor shall develop information of accounts payable and accounts receivable through an analysis of the documents in the file, or on the basis of its best estimates.

C. Drug-Free Workplace

The 3rd Party Vendor will (or will continue to) provide a drug-free workplace by:

1. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the 3rd Party Vendor's workplace and specifying the actions that will be taken against employees for violation of such prohibition;
2. Establishing an ongoing drug-free awareness program to inform employees about:
 - a. The dangers of drug abuse in the workplace;
 - b. The 3rd Party Vendor policy of maintaining a drug-free workplace;
 - c. Any available drug counseling, rehabilitation, and employee assistance programs; and
 - d. The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
3. Making it a requirement that each employee to be engaged in the performance of work under this Agreement be given a copy of the statement required by subparagraph 1.
4. Notifying the employee in the statement required by subparagraph 1 that, as a condition of employment, the employee will:
 - a. Abide by the terms of the statement; and
 - b. Notify the 3rd Party Vendor in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;
5. Notifying the City in writing, within ten calendar days after receiving notice under subparagraph 4(b) from an employee or otherwise receiving actual notice of such conviction;
6. Taking on of the following actions, within 30 calendar days of receiving notice under subparagraph 4(b), with respect to any employee who is so convicted:

- a. Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, as amended; or
 - b. Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;
7. Make good faith effort to continue to maintain a drug-free workplace through implementation of subparagraphs 1, 2, 3, 4, 5, and 6.

D. Conflict of Interest

The 3rd Party Vendor agrees that no member of any governing body of any locality in which the 3rd Party Vendor is situated, and no public official of such locality or localities who exercises any function or responsibility with respect to this Agreement during his/her tenure, or for one (1) year thereafter, shall have any interest, direct or indirect, in any contract or subcontract, or the proceeds thereof, for work to be performed in connection with the services performed under this Agreement.

E. Employees not Eligible

No person in the employment of the 3rd Party Vendor or contractors used for rehabilitation work shall be eligible to benefit from the City's program administered by this Agreement.

VI. Records, Inspections, Retention, and Reports:

A. Records

The 3rd Party Vendor shall maintain such records and accounts, including:

1. Applications
2. Reasons for approval/disapproval of applications
3. Records demonstrating compliance with the income determination requirements Exhibit A
4. Project Budgets
5. Contracts
6. Contractor's affidavit, material costs, and payments to contractors.
7. Building Permits/Inspections.
8. Recorded Mortgage
9. Any other records as are deemed necessary by the City to assure a proper accounting and monitoring of all Housing Trust Funds.

In the event the City determines that the 3rd Party Vendor is not adequately maintaining such records, the City may terminate this Agreement as specified herein.

B. Inspections

With respect to all matters covered by this Agreement, records will be made available for examination, audit, inspection, or copying purposes at any time during normal business hours and as often as the City deems necessary. The 3rd Party Vendor will permit same to be examined and excerpts or transcriptions made or duplicated from such records, and audits made of all contracts, invoices, materials, records of personnel, and of employment and other data relating to all matters covered by this Agreement. The City's right of inspection and audit shall pertain likewise with reference to any audits made by any other agency, whether local, State, or Federal. Failure to provide access to records will be considered default of this Agreement.

C. Retention

The 3rd Party Vendor shall retain all records and supporting documentation applicable to this Agreement for the most recent five (5) year period, except as provided below:

1. For homeownership housing projects, records shall be retained for five (5) years after the project completion date, except for mortgage lien documentation, which must be retained until the debt is paid in full.
2. Written agreements must be retained for five (5) years after the agreement terminates.
3. If any litigation, claim, negotiation, audit, monitoring, inspection or other action has been started before the expiration of the required record retention period, records must be retained until completion of the action and resolution of all issues which arise from it, or until the end of the required period, whichever is later.

D. Reports

If requested by the City, the 3rd Party Vendor shall submit to the City performance reports on no more than a quarterly basis in substantially the form attached hereto and incorporated herein as Exhibit D.

VII. Insurance and Bonding. The 3rd Party Vendor shall carry sufficient insurance coverage to protect the improvements financed through the City's program from loss due to theft, fraud, and/or physical damage, and as a minimum shall purchase a blanket fidelity bond covering all employees in an amount equal to payments from the City. The 3rd Party Vendor

shall ensure that Workers' Compensation Insurance coverage is provided for all employees involved in the performance of work under this Agreement.

VIII. Evaluation. The City shall be responsible for monitoring and evaluating all aspects of the services provided by the 3rd Party Vendor under this Agreement. The City shall have access to and be able to make copies and transcriptions of such records as may be necessary in the determination of the City to accomplish this evaluation. In order to properly monitor and evaluate the 3rd Party Vendor's performance under this Agreement, the City shall make on-site inspections as often as it deems necessary. Failure by the 3rd Party Vendor to assist the City in this effort, including allowing the City to conduct on-site inspections and have access to the 3rd Party Vendor's records, shall constitute a default and result in the termination of this Agreement.

IX. Indemnification. The 3rd Party Vendor shall indemnify, defend, and hold harmless the City, its officers, employees and agents, from and against any and all liability, injury, loss, claims, damages, costs, attorneys' fees, and expenses of any kind or nature, which the City, its officers, employees and agents may sustain, suffer, or incur or be required to pay, including reasonable attorney's fees, arising from the execution or implementation of this Agreement, including, but not limited to, the following:

- A. The loss of any monies paid to the 3rd Party Vendor;
- B. Fraud, defalcation, or dishonesty on the part of any person representing, employed by, contracted, or subcontracted by the 3rd Party Vendor;
- C. Any act, omission, wrongdoing, misconduct, want of care or skill, negligence, or default on the part of the 3rd Party Vendor or any of its contractors, subcontractors, sub-subcontractors, material/men, suppliers, and laborers in the execution or performance of this Agreement; or
- D. Any judgment, regardless of whether such judgment is covered by the insurance required under this Agreement.

X. Assignability. The 3rd Party Vendor may not assign or transfer any of its rights, duties, or obligations under this Agreement without the City's express written consent. The 3rd Party Vendor may, however, subcontract the development, construction, and/or rehabilitation of housing units to properly licensed contractors.

XI. Cumulative Remedies/Successors and Assigns. The rights and remedies herein expressed are cumulative and not exclusive of any other rights, which the City may otherwise have at law or in equity. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective successors and assigns.

XII. Jurisdiction/Interpretation. This Agreement shall be construed and interpreted in accordance with the laws of the State of Illinois. Venue shall be in Kane County, Illinois. In the event any legal proceeding arises as a result of the performance of this Agreement, the 3rd Party Vendor waives any and all right it may have to a jury trial.

XIII. Survival of Provisions. All provisions of this Agreement intended to survive or to be performed subsequent to the end of the period of this Agreement shall survive the termination of this Agreement.

XIV. Notices. The City and the 3rd Party Vendor agree that all notices required herein shall be in writing and delivered by mail or hand delivered to the following representatives:

City: Rita Tungare, Director of Community and Economic Development
City of St. Charles Community and Economic Development
Department
2 E. Main Street
St. Charles, IL 60174

3rd Party Vendor: Lowell Tosch, Executive Director
Community Contacts, Inc.
100 South Hawthorne Street
Elgin IL 60123

XV. Relationship of the Parties/Disclaimer. The 3rd Party Vendor agrees not to enter into any relationship, contractual or otherwise, which will subject the City to any liability. The 3rd Party Vendor agrees that it is an independent agency contracting with the City to provide the services set forth in this Agreement, and has no authority to bind the City in any matter. Nothing contained in this Agreement nor any act of the City shall be deemed or construed by any of the parties, or by third persons, to create any relationship of third party beneficiary, or of principal or agent, or of limited or general partnership, or of joint venture, or of any association or relationship involving the City or the 3rd Party Vendor.

XVI. Termination of Agreement. In addition to all other remedies available, in the event of a default by either party under this Agreement, the other party may elect to terminate the Agreement by serving thirty (30) days written notice upon the other party.

XVII. Integration. This Agreement, together with all Exhibits and attachments hereto, constitutes the entire understanding and agreement made by and between the parties hereto. This Agreement integrates all of the terms and conditions mentioned herein or incidental hereto, and supersedes all negotiations or previous agreements between the parties with respect to all or any part of the subject matter hereof.

XVIII. Amendments. Any amendment to this Agreement shall be effective only if evidenced by a written instrument executed by the parties hereto.

XIX. Governing Law. The laws of the State of Illinois shall govern the interpretation and enforcement of this Agreement.

XX. Paragraph Headings. The paragraph headings and references are for the convenience of the parties and are not intended to limit, vary, define or expand the terms and provisions contained in this Agreement, and shall not be used to interpret or construe the terms and provisions of this Agreement.

XXI. Counterparts. This Agreement may be executed in several counterparts, each of which shall be an original and all of which shall constitute but one and the same Agreement.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties hereto have set their hands and seals as of the date and year first written above.

CITY OF ST. CHARLES, an Illinois
municipal corporation

By: _____
Mayor

ATTEST:

City Clerk

COMMUNITY CONTACTS, INC., an Illinois not-
for-profit corporation

By: _____

ATTEST:

Secretary

Exhibit A**THE CITY OF ST. CHARLES SUPPLEMENTAL HOME REHABILITATION AND ACCESSIBILITY LOAN PROGRAM****PROGRAM OVERVIEW**

The City of St. Charles is committed to preserving and maintaining its affordable housing stock. In response to this commitment, the City is initiating a home rehabilitation program. This program offers no interest loans to qualified households to maintain the quality of the affordable housing stock and help distressed homeowners in need. Funding for this program will be provided from the City of St. Charles Housing Trust Fund.

Program Name	Program Description	Available Funds	Type of Loan
Supplemental Home Rehabilitation and Accessibility Loan Program (the "Program")	Homeowners will apply to Community Contacts, Inc. for a loan through the City's Program. This loan will only be available to those properties located within the City of St. Charles' corporate limits. The Program is intended to be supplemental to Kane County's Home Rehabilitation Loan Program; therefore, applicants must initially apply through the Kane County program. Loans through the City's Program will be considered in the following circumstances: (i) the cost of the Eligible Improvement(s) exceeds the maximum amount paid by Kane County or (ii) the homeowner has project costs that are not eligible for reimbursement through Kane County's program, but are Eligible Improvements.	Maximum of \$10,000 per household	0% Interest deferred loan with repayment at the time of sale or transfer of deed.

ELIGIBLE IMPROVEMENTS

- Improvements and modifications for physically disabled persons, including but not limited to: grab bars and railings; motorized chair lifts; doorway widening; walk-in showers; accessible toilets; shower seats; ramps; bed rails; and lowered countertops.
- Repairs/improvements to mechanical, heating, plumbing, structural, and electrical systems.
- Exterior painting.
- Improvements to building security.
- Termite damage repair.
- Drainage improvements.
- Yard clean-up.
- Repairs or replacement of roofing.
- Insulation.
- Exterior work that will improve overall neighborhood appearance.
- Windows in need of repair or replacement.

INELIGIBLE IMPROVEMENTS

- Additions/upgrades to existing structure or component parts, i.e. window upgrades (Bay Window), room additions, etc. (except to provide access to persons with disabilities).
- Purchase or repair of furnishings.
- Purchase of land/real property.
- Construction/repair of swimming pools or hot tubs.
- Appliances
- Improvements to common elements of association owned or managed property.

RESIDENTIAL REHABILITATION PRIORITIES

The following priority system will be used to classify rehabilitation work needed for each property. The following priority system is in descending order of priority. Category A represents the highest priority items, and Category D represents items of lowest priority.

Category A - Health & Safety items

Category A consists of code violations and repair of the major systems that threaten the health and safety of the resident (e.g., basic structural, mechanical, electrical, heating and/or plumbing systems).

Category B - Incipient Code Violations

These items include those elements of the structure which are not in violation of the code but appear to be in a condition that will deteriorate into a code violation if left uncorrected (e.g., hot water heater or boiler of 30 or 40 years of age which may have given some minor problem in the recent past). If sufficient dollars are available to address more than the Category A items, then Category B improvements shall be undertaken to the extent of financial feasibility.

Category C - Energy Conservation Items

These items are directly related to the conservation of energy by upgrading the dwelling's thermal protection such as new windows, new doors, and insulation which may be undertaken if sufficient dollars have been available to address Category A and B items.

Category D - General Property Improvements

These work items constitute improvements which can be made to the property, but are not vital to health and safety of the resident. Examples could include yard maintenance, exterior painting, air conditioning, improvements and modifications for physically disabled persons. These items can be considered property improvements after Categories A through C have been addressed and subject to staff approval.

ELIGIBILITY

The following criteria will determine applicant eligibility:

1. Income: The annual gross household income of the applicant household may not exceed the income limits established below.
2. Location: The subject property must be within the City of St. Charles corporate limits.
3. Home Value: The value of the applicant's home may not exceed \$271,050.
4. Type of Unit: The unit must be an owner-occupied residential property.
5. Ownership: The person receiving the loan must live within the dwelling unit, and not rent this unit to other persons.

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INCOME LIMITS

To be eligible for a deferred loan with repayment at the sale of the property the following income criteria will apply:

The annual gross household income cannot exceed the most recent income limits for a household at 80% Area Median Income based on household size, as published by the Illinois Housing Development Authority (source: <http://www.ihda.org>). The Household Valuation Limitation is set at the most recent FHA Mortgage Limit for Kane County (source: <https://entp.hud.gov/idapp/html/hicostlook.cfm>). The below chart uses 2016 income limits published by IHDA and 2016 Household Value Limitation from HUD.

Owner Occupied Affordability Chart For Chicago Metro Area 80% of Area Median Income								
	1 Person	2 Person	3 Person	4 Person	5 Person	6 Person	7 Person	8 Person
2016 Income Limits (80% AMI)	\$43,050	\$49,200	55,350	\$61,500	\$66,450	\$71,350	\$76,300	\$81,200
Household Value Limitation	\$ 271,050							

3RD PARTY VENDOR DUTIES

1. The applicants will apply directly to the 3rd Party Vendor.
2. The 3rd Party Vendor will process all applications and review income eligibility.
3. The 3rd Party Vendor will perform onsite inspections of home.
4. The 3rd Party Vendor will create the scope of work for all necessary repairs.
5. The 3rd Party Vendor will verify ownership of the property in the form of a title insurance policy.
6. The 3rd Party Vendor will send the application, Application information and Information Disclosure (Exhibit E) to City Staff for review and approval once steps 1 through 4 have been completed. No work involving St. Charles Housing Trust Fund money shall begin until the City approves the application.
7. The 3rd Party Vendor will bid the work to 3 separate contractors.
8. The 3rd Party Vendor will award the contract to the lowest responsible bidder and will supervise the work.
9. Prior to commencing work on a project, the 3rd Party Vendor will obtain a promissory note and mortgage agreement, in forms acceptable to the City, from the property owner. The mortgage shall be recorded in the Recorder's Office of the county where the property is located simultaneously with the disbursement of funds by the City.
10. The 3rd Party Vendor will ensure that all work is complete and inspected and approved by the City of St. Charles Building and Code Enforcement Division.
11. Once the work is complete the 3rd Party Vendor will submit lien waivers, cost affidavits, and such other documentation, as the City requires, to the City Staff to receive repayment.
12. City Staff will review Disbursement Request and issue reimbursement for Eligible Improvements and an administrative fee of 10% and all fees associated with recording of the mortgage lien and Title Search to the 3rd Party Vendor. No payment shall be made until the 3rd Party Vendor

Page 14 of 20

delivers an ALTA Loan Policy of Title Insurance in favor of the City for the amount of the reimbursement.

13. The 3rd Party Vendor will process any repayments of the mortgage lien on behalf of the City, and send this repayment to the City.

Exhibit B

**CITY OF ST. CHARLES SUPPLEMENTAL HOME REHABILITATION AND ACCESSIBILITY
LOAN PROGRAM**

DISBURSEMENT REQUEST

SECTION I: REQUEST FOR PAYMENT

3rd Party Vendor Name: Community Contacts, Inc.

Project Name: Affordable Housing Rehabilitation Loan Program

Dollar Amount Requested: \$ _____ Payment Request # _____

SECTION II: CERTIFICATION

I, the undersigned representative of the 3rd Party Vendor, certify that this Request for Payment has been prepared in accordance with the terms and conditions of the Agreement between City of St. Charles and the 3rd Party Vendor. I also certify that the amount of this Request for Payment is not in excess of the funding necessary to satisfy current project expenses.

Date Received:

Date Approved:

Approved By:

Payment Date:

Check Number(s):

Signature of 3rd Party Vendor Representative

Title

Date: _____

HOUSING REHABILITATION SUMMARY FORM			
HOUSEHOLD INFORMATION:			
Homeowner's Last Name:			
Street Address:			
City, State, Zip:			
Property Type:		Number of Bedrooms: 0 1 2 3 4 5	
Is the property insured by FHA? YES NO		After-Rehab Value of Property: \$	
Household Type: SINGLE NON-ELDERLY ELDERLY SINGLE-PARENT TWO PARENTS OTHER			
Applicant Income		Household Size: 1 2 3 4 5 6 7 8	
Race (check one): <input type="checkbox"/> White <input type="checkbox"/> Black/African Amer. <input type="checkbox"/> Asian <input type="checkbox"/> Amer. Indian/Alaskan Native <input type="checkbox"/> Native Hawaiian/Other Pacific Islander <input type="checkbox"/> Amer. Indian/Alaskan Native & White <input type="checkbox"/> Asian & White <input type="checkbox"/> Black/African Amer. & White <input type="checkbox"/> Amer. Indian/Alaskan Native & Black/African Amer. <input type="checkbox"/> Other Multi-Racial			
REHABILITATION INFORMATION:			
Type of Expense	Amount	Performance Measurement Questions	
Rehabilitation Hard Costs (Briefly Describe Improvements)		Was the unit brought up to local Code? <input type="checkbox"/> YES <input type="checkbox"/> NO	Were accessibility improvements made to the unit? <input type="checkbox"/> YES <input type="checkbox"/> NO
Soft Costs Title Search Recording Fee			
Project Delivery Costs (Up to ___% of above costs)			
Grand Total			
CONTRACTOR INFORMATION:			
Company Name:			
Street Address:			
City, State, Zip:			
Employer Identification Number: _____ - _____			

Exhibit C

CITY OF ST. CHARLES SUPPLEMENTAL HOME REHABILITATION AND ACCESSIBILITY LOAN PROGRAM

Subordination Guidelines

The City may, in its sole discretion, subordinate loans issued for housing rehabilitation assistance under its Home Rehabilitation and Accessibility Loan Program. Such subordinations, however, must comply with the following guidelines:

1. The borrower may not take any cash out. (The payment of credit card debt is considered cash.)
2. The borrower may roll into the new first mortgage only reasonable and customary closing costs associated with the refinancing. (This does not include points paid to buy-down the interest rate, but does include expenses such as the appraisal, credit report, and title charges.)
3. The new first mortgage principal balance cannot exceed the original first mortgage existing principal.
4. The borrower may refinance into a 15-year mortgage provided that they have the capacity to handle the additional payment. (Such situations will be reviewed on a case-by-case basis.)
5. The borrower must refinance into a fixed-rate mortgage.
6. The first mortgage lender must escrow taxes and insurance, if the lender had been doing so prior to refinancing.
7. The City will not subordinate to home equity or reverse mortgage loans.
8. The City will subordinate to home improvement loans if the homeowner provides written documentation of the improvement to the City's satisfaction.

Exhibit D

**THE CITY OF ST. CHARLES HOME REHABILITATION AND ACCESSIBILITY LOAN
PROGRAM**

Performance Report

Complete and submit this report to the City of St. Charles Community Development Department as requested for activity since the last Performance Report.

3rd Party Vendor Name: Community Contacts, Inc.

Project Name: Affordable Housing Rehabilitation Program

Date of this Report: _____

Project Manager: Lowell Tosch, Executive Director Phone No.: 847-697-8800, ext. 300

1. Summarize the activities regarding this program since the last Performance Report.
2. Explain any deviations from the program schedule and corrective actions taken.
3. Describe any marketing your organization has implemented regarding this program. List and attach any media coverage your organization received regarding this program.

Exhibit E**Application Information Sheet and Information Disclosure Statement**

HOUSING REHABILITATION SUMMARY FORM	
HOUSEHOLD INFORMATION:	
Homeowner's Last Name: Street Address: City, State, Zip:	
Property Type:	Number of Bedrooms: 0 1 2 3 4 5
Is the property insured by FHA? YES NO	
Household Type: SINGLE NON-ELDERLY ELDERLY SINGLE-PARENT TWO PARENTS OTHER	
Applicant Income	Household Size: 1 2 3 4 5 6 7 8
REHABILITATION INFORMATION:	
Expected Renovation	Project Repair /Cost Amount

Information Disclosure

Affiant(s) hereby authorize(s) City of St. Charles., or its designated agent to obtain and receive all records and information pertaining to eligibility for the rehabilitation program, including employment, income (including IRS returns), credit, residency, and banking information from all persons, companies or firms holding or having access to such information.

This authorization hereby gives City of St. Charles, the right to request all information that can be obtained from any person, company or firm on any matter referred to above. It also gives City of St. Charles, the right to provide information about affiant(s) eligibility and status with any State, Federal, Local agency providing funding for the rehabilitation program. I (we) agree to have no claim for defamation, violation of privacy, or otherwise against any person or firm or corporation by reason of any statement or information released by them to Community Contacts Inc., for the purposes of the program. The term of this authorization shall commence on the date of signature and be in force for a period of two (2) years.

Signature _____

Signature Date: _____

(The above Space For Recorder's Use Only)

MORTGAGE AGREEMENT
(City of St. Charles Home Rehabilitation Loan Up to 80% of AMI)

THIS MORTGAGE AGREEMENT ("the Agreement"), dated as of the _____ day of _____, 20__, by and between _____ (the "Owner(s)") and the **CITY OF ST. CHARLES, ILLINOIS**, (the "Sponsor") having its principal office at 2 E. Main Street St. Charles, Illinois 60174

WITNESSETH:

WHEREAS, the Owner is the holder of legal title to certain real estate on which a single-family residence (the "Residence") is located, with a street address of _____, St. Charles, Illinois (the "Property"). The Property is legally described in **Exhibit A** attached hereto and by this reference made a part hereof; and

WHEREAS, the Sponsor has agreed to make a zero interest loan to the Owner, as evidenced by that certain Note dated as of the date hereof in the amount of _____ (\$_____) (the "Loan") to be used with such other monies as Owner may provide, if any, to rehabilitate the Property; and

WHEREAS, the funds constituting the Loan have been paid to Community Contacts, Inc. to reimburse it for costs it paid on behalf of the Owner in connection with the rehabilitation of the Property; and

WHEREAS, as an inducement to the Sponsor to make the Loan, the Owner has agreed to enter into this Agreement in accordance with the terms, conditions and covenants set forth below.

NOW, THEREFORE, the parties hereto covenant and agree as follows;

1. **Incorporation.** The foregoing recitals are made a part of this Agreement as fully and with the same force and effect as repeated herein at length.

2. Restrictions. As a condition of the Loan, the Owner(s) agree to repay the Loan to the Sponsor if (a) a sale, conveyance or transfer of the Property occurs, other than a transfer as may be approved by the Sponsor in its sole discretion, or (b) the Property is no longer the principal residence of the Owner. When either of the preceding events occurs, the full amount of \$ _____ will be immediately due and payable without the necessity of written notice by the Sponsor or Community Contacts, Inc. No interest or other charges will be made and the payment of the aforementioned \$ _____ shall constitute full payment of the Loan.

3. Maintenance of the Property. The Owner(s) shall:

- (a) Keep the Property and Residence in good condition and repair, without waste, and free from mechanic's liens or claims for lien not expressly subordinated to the lien hereof.
- (b) Pay, when due, any indebtedness which may be secured by a lien or charge on the Property superior to the lien hereof, and upon request exhibit satisfactory evidence of the discharge of such prior lien to Sponsor.
- (c) Pay before any penalty attaches all general taxes, and shall pay special taxes, special assessments, water charges, sewer service charges, electric utility charges, and other charges against the Property when due.
- (d) Keep all buildings and improvements now or hereafter situated on the Property insured against loss or damage by fire, lightning, windstorm and, where required by law, flood damage, under policies providing for payment by the insurance companies of moneys sufficient either to pay the cost of replacing or repairing the same or to pay in full the Loan.

4. Violation of Agreement by Owner(s). Upon violation of any of the provisions of Section 3, Community Contacts, Inc. or the Sponsor shall give written notice thereof to the Owner by registered or certified mail, addressed to the address of the Property, or such other designated by the Owner. If such violation is not cured within such time as the Sponsor in its sole discretion permits, but not less than thirty (30) days after such notice, the Sponsor may declare a default under this Agreement effective on the date of such declaration of default and written notice thereof to the Owner. Upon such default the Sponsor may:

- (a) Declare the Loan immediately due and payable; and/or
- (b) Exercise such other rights or remedies as may be available to the Sponsor hereunder, at law or in equity. The Sponsor's remedies are cumulative and the exercise of one shall not be deemed an election of remedies, nor foreclose the exercise of the Sponsor's other remedies.

5. Repayment. **Community Contact, Inc.** will be responsible for the processing of, and is the primary contact, for repayment of this Agreement/Loan.

6. Amendment. This Agreement shall not be altered or amended except in writing signed by the parties hereto.

7. Partial Invalidity. The invalidity of any clause, part of provision of this Agreement shall not affect the validity of the remaining portions thereof.

8. Gender. The use of the plural in this Agreement shall include the singular; the singular shall include the plural; and the use of any gender shall be deemed to include all genders.

9. Captions. The captions used in this Agreement are inserted only as a matter of convenience and for reference and in no way define, limit or describe the scope or the intent of the Agreement.

10. **WAIVER OF JURY TRIAL. THE PARTIES WAIVE TRIAL BY JURY IN ANY ACTION, PROCEEDING OR COUNTERCLAIM BROUGHT BY EITHER OF THE PARTIES HERETO AGAINST THE OTHER ON ANY MATTER WHATSOEVER ARISING OUT OF IN ANY WAY CONNECTED WITH THE LOAN OR THIS AGREEMENT.**

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed on the day and year above first written.

OWNER:

SIGNATURE

SIGNATURE

PRINT NAME

PRINT NAME

CITY OF ST. CHARLES:

Mayor

Attest:

City Clerk

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid,
DO HEREBY CERTIFY THAT _____ and _____
who are personally known to me to be the same person(s) whose name(s) subscribed to
the foregoing instrument, appeared before me this day in person and acknowledged that
he/she/they signed and delivered the said instrument as their free and voluntary act, for
the uses and purposes therein set forth.

GIVEN under my hand and official seal this _____ day of _____, 20__

Notary Public

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, the undersigned, a Notary Public, in and for said County, in the State aforesaid,
DO HEREBY CERTIFY that Don DeWitte, Mayor of the City of St. Charles, and Nancy
Garrison, City Clerk of the City of St. Charles, personally known to me to be the same
persons whose names are subscribed to the foregoing instrument, respectively appeared
before me this day in person and acknowledged that they signed and delivered said
instrument as their own free and voluntary act, and as the free and voluntary act of said
City, for the uses and purposes therein set forth; and said City Clerk then and there
acknowledged that she, as custodian of the corporate seal of the City of St. Charles, did
affix the corporate seal of said City to said instrument, as her own free and voluntary act
and as the free and voluntary act of said City, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____, 20__.

Notary Public

EXHIBIT A
LEGAL DESCRIPTION

**THIS INSTRUMENT WAS
PREPARED BY AND AFTER**

Property Index

**# _____
RECORDING RETURN TO:**

Community Contacts, Inc.
100 South Hawthorne
Elgin, Illinois 60123
Attn.: Lowell Tosch

Property Address

_____, Illinois

PROMISSORY NOTE

U.S. \$ _____, 20 ____

FOR VALUE RECEIVED, the undersigned (the "Owner") covenants and promise(s) to pay to the order of CITY OF ST CHARLES, ILLINOIS (the "Sponsor"), the principal sum of _____ and No/100 Dollars (\$ _____). Absent the occurrence of certain events (the "Mortgage Events") set forth in Paragraphs 2 and 3 of that certain Mortgage Agreement dated _____, 20____ between Sponsor and Owner and incorporated herein by this reference (the "Mortgage Agreement"), no principal payments shall be due or payable. Upon the occurrence of a Mortgage Event, this Note shall become due and payable according to the terms set forth in the Mortgage Agreement.

If suit is brought to collect the sums due under this Note, the Sponsor shall be entitled to collect all reasonable costs and expenses of suit, including, but not limited to, reasonable attorneys' fees.

Presentment, notice of dishonor, and protest are hereby waived by all makers, sureties, guarantors and endorsers hereof. This Note shall be the joint and several obligation of all makers, sureties, guarantors and endorsers, and shall be binding upon them and their successors and assigns.

Any notice to Owner(s) provided for in this Note shall be given as set forth in the Mortgage Agreement.

This Note is governed by the Mortgage Agreement and evidences money borrowed by the Owner(s) for the rehabilitation of the property described in the Mortgage Agreement.

(signature of homeowner)

_____, Illinois
Property address

(signature of homeowner)

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3d

Title:

Recommendation to Approve Modifications to a Commercial Corridor and Downtown Business Economic Incentive Award (CCD) for 104 E. Main Street (Crazy Fox)

Presenter:

Matthew O'Rourke

Meeting: Planning & Development Committee

Date: February 13, 2017

Proposed Cost: \$20,250.45

Budgeted Amount: \$20,250.45

Not Budgeted: ☐**Executive Summary** (*if not budgeted please explain*):

On October 17, 2016 the City Council approved a Tier 2 CCD award for Peter Zaikowski, owner of the building located at 104 E. Main Street and proprietor of the Crazy Fox Bar and Grille. The eligible improvements and costs that were approved are as follows:

- New rough plumbing to supply water and sewer to the kitchen and equipment and installation of a new water heater - \$13,830.00
- Required upgrades to the fire alarm and fire sprinkler systems - \$3,570.87
- New duct work to properly vent basement refrigeration and water heater - \$7,600.00
- Installation of and repair of outdated electrical systems and emergency exit lighting - \$3,500.00
- New vent/duct work for required HUD in the remodeled kitchen - \$12,000.00

Update Regarding Installed Improvements:

The \$13,830.00 plumbing portion of the modifications included the installation of new rough plumbing to supply water and sewer to the kitchen and equipment and a new commercial water heater. However, once construction began, and the original kitchen equipment was removed, City staff informed Mr. Zaikowski of additional plumbing modifications required by the plumbing code. These additional items included:

- Installing a new 75-gallon grease trap under the kitchen floor
- Installation of new floor drains to the vegetable and three compartment sinks.
- Connecting the new sinks underneath the kitchen floor to the new grease trap

Based on these additional costs, the original plumbing estimate increased from \$13,830.00 up to \$16,045.00. The original estimate also included the installation of a new water heater for \$8,225.00. However, Mr. Zaikowski was not able to install this new water heater due to the increased costs of the grease trap and additional plumbing modifications. The new plumbing cost of \$16,045.00 does not include the water heater.

Staff is presenting this item to the Planning & Development Committee to incorporate these changes into the final payout of the CCD award. Specifically, that Mr. Zaikowski can receive the total portion (\$20,250.45) of matching funds as per the original agreement. Essentially, this is similar to approving a change order based on the conditions discovered during the construction process. In this instance, the \$4,112.50 of City matching funds allocated to the water heater will go towards the additional required plumbing upgrades. This request will not increase the City's maximum cost of \$20,250.45 per the original agreement.

Attachments (*please list*):

Original Commercial Corridor and Downtown Business Incentive Award Agreement

Invoice for Paid Plumbing Costs

Table: Checklist for Eligible Improvements & Reimbursements (Post Completion of Work)

Recommendation/Suggested Action (*briefly explain*):

Recommendation to Approve Modifications to a Commercial Corridor and Downtown Business Economic Incentive Award for 104 E. Main Street (Crazy Fox)

Checklist for Eligible Improvements & Reimbursements (Post Completion of Work)

104 E. Main Street – Pete Zaikowski

Interior Improvements				
Improvement Item	Estimated Cost	Work Completed (Yes/No)	Money Spent per Final Submittal	Amount Eligible to be Reimbursed (50% of budgeted amount)
Cap old plumbing Fixtures, sewer jetting, Install rough plumbing for Sinks and equipment kitchen and Bar, new sump pump.	\$ 5,605.00	Yes	\$ 16,045.00	Pending Council Revisions to the grant application
Install new Commercial Water Heater	\$ 8,225.00	No	Not installed Due to extra Plumbing Costs	\$ 0.00
Install new 4.5 gallon Ansul system	\$ 3,570.87	Yes	\$ 3,570.87	\$ 1,785.44
Install Evaporator assembly in basement and necessary ventilation and electrical supply	\$ 7,600.00	Yes	\$ 5,700.00	\$ 2,850.00
Repair, Service, and replace exiting emergency lighting, exits signs, cap exposed electrical outlets, and connect basement lights and walk-in cooler lights.	\$ 3,500.00	Yes	\$ 4,500.00	\$ 1,750.00 (50% of budgeted \$3,500)
Install new Hood ventilation and motor	\$12,000.00	Yes	\$ 12,000.00	\$ 6,000.00
Totals	\$ 40,500.87		\$41,815.00	(Up to) \$ 20,250.45

Invoice

J L Wagner Plumbing & Piping Inc.
P.O. Box 3117
St. Charles, IL 60174-9098
(630) 584-1181

JLWAGNER
PLUMBING & PIPING, INC.
"The Name You've Trusted Since 1917"

The Crazy Fox
104 E Main Street
Saint Charles, IL 60174

Invoice Number: 0014800-IN
Invoice Date: 11/30/2016
Customer Number: CRAZYFO
Customer P.O.:
Job Number: 18895C

Ship VIA:

Terms: Due on Receipt

Item Code	Description	UM	Quantity	Price	Amount
	Plumbing work to install new grease trap and install owner supplied kitchen equipment and lavatories				
T / A	Total Amount Due		1.000	16,045.000	16,045.00

PAID
CHK NO. 123456789
DATE 12/01/16

Net Invoice:	16,045.00
Fuel Surcharge	\$0.00
Sales Tax:	0.00
Invoice Total:	16,045.00

Refer to:	
Minutes	10-17-16
Page	

City of St. Charles

Commercial Corridor and Downtown Business Economic Incentive Award Agreement

104 E. Main Street

Peter Zilkowski (Crazy Fox Restaurant)

THIS AGREEMENT, entered into this 17th day of October, 2016, between the City of St. Charles, Illinois (hereinafter referred to as "CITY") and the following designated APPLICANT, to wit:

APPLICANT Name: **Peter Zilkowski**

Address of Property to be Improved: **104 E. Main Street**

PIN Number(s): **09-27-386-004**

Property Owner's Name: **Peter Zilkowski**

WITNESSETH:

WHEREAS, the CITY has established a **Commercial Corridor and Downtown Business Economic Incentive Award Program** to provide matching grants for permanent Building Improvements within the Commercial Corridor and Downtown Business Economic Incentive Program Boundary Area of the CITY as described in Exhibit I; and

WHEREAS, Peter Zilkowski, APPLICANT(S), desires to install related Building Improvements to the above-described property that are eligible for reimbursement under the Commercial Corridor and Downtown Business Economic Incentive Award; and

WHEREAS, said Commercial Corridor and Downtown Business Economic Incentive Program is administered by the CITY and is funded from the general fund for the purposes of improving the commercial building stock along the major commercial corridor and downtown area of the CITY and preventing blight and deterioration; and

WHEREAS, the above-described property for which the APPLICANT seeks a grant is located within the area eligible for participation in the Commercial Corridor and Downtown Business Economic Incentive Award Program.

NOW, THEREFORE, in consideration of the mutual covenants and agreements obtained

herein, the CITY and the APPLICANT do hereby agree as follows:

SECTION 1: The APPLICANT understands and agrees that only the cost of eligible Building Improvements located on the parcels with the following PIN(s) 09-27-386-004, shall be considered reimbursable as described in Exhibit II. The CITY will reimburse the APPLICANT up to 50% of the cost of labor, materials and equipment necessary to install Building Improvements in accordance with the approved plans, specifications and cost estimates attached hereto as Exhibit "II" (the "Eligible Building Improvements Cost Estimate"), but in no event more than the maximum amounts as defined below:

Building Improvements cost: \$40,500.87 City's Share @ 50% up to a maximum of \$20,250.44

Labor by the APPLICANT ("sweat equity") is not a reimbursable expense. All Building Improvements shall be installed in accordance with approved building permit plans, subject to minor revisions as may be approved by a representative of the CITY due to field conditions not known at the time of design, and similar circumstances beyond the APPLICANT's control.

SECTION 2: The Director of Community & Economic Development, or designee, shall inspect the Building Improvements installed pursuant to this Agreement and shall include any required permit inspections by the CITY. All work that is not in conformance with the approved plans and specifications shall be remedied by the APPLICANT and deficient or improper work shall be replaced and made to comply with the approved plans and specifications and the terms of this Agreement.

SECTION 3: Upon completion of the Building Improvements and upon their final inspection and approval by the Director of Community & Economic Development, or designee, the APPLICANT shall submit to the CITY a properly executed and notarized contractor statement showing the full cost of the Building Improvements as well as each separate component amount due to the contractor and each and every subcontractor involved in furnishing labor, materials or equipment in the work. In addition, the APPLICANT shall submit to the CITY proof of payment of

the contract cost pursuant to the contractor's statement and final lien waivers from all contractors and subcontractors. The CITY shall, within thirty (30) days of receipt of the contractor's statement, proof of payment and lien waivers, and "before" and "after" pictures of the property, reimburse the APPLICANT for the 50% of the actual construction and materials cost or the maximum amount specified in this Agreement, whichever is less.

At its sole discretion, CITY may reimburse APPLICANT in two payments. The first reimbursement may be made only

- 1) Upon completion of Building Improvements representing 40% or more of the maximum reimbursement specified in Section 1 hereof and,
- 2) Upon receipt by CITY of the all invoices, contractor's statements, proof of payment and notarized final lien waivers for the completed Building Improvements and,
- 3) Upon a determination by the Director of Community & Economic Development, or designee, that the remainder of the Building Improvements are expected to be delayed for thirty days or more following completion of the initial work due to weather, availability of materials, or other circumstances beyond the control of the APPLICANT. The second, final reimbursement payment shall be made by CITY only upon submittal of all necessary documents as described herein.

SECTION 4: All Building Improvements must be completed within 270 days after the approval of this Agreement. Extensions may be approved by the Director of Community & Economic Development, prior to the expiration of the said 270 days. Projects which have not received an extension and have not been completed within 270 days will not receive funding.

SECTION 5: If the APPLICANT or his contractor fails to complete the Building Improvements provided for herein in conformity with the approved plans and specifications and the terms of this Agreement, then upon written notice being given by the Director of Community & Economic Development to the APPLICANT, by certified mail to the address listed above, this Agreement shall terminate and the financial obligation on the part of the CITY shall cease and become null and void.

SECTION 6: Upon completion of the Building Improvements pursuant to this Agreement

and for a period of five (5) years thereafter, the APPLICANT shall be responsible for properly maintaining such Building Improvements in finished form and without change or alteration thereto, as provided in this Agreement, and for the said period of five (5) years following completion of the construction thereof, the APPLICANT shall not enter into any Agreement or contract or take any other steps to alter, change or remove such Building Improvements, or the approved design thereof, nor shall APPLICANT undertake any other changes, by contract or otherwise, to the Building Improvements provided for in this Agreement unless such changes are first approved by the Director of Community & Economic Development, Designee, or City Council, whichever the case may be. Such approval shall not be unreasonably withheld if the proposed changes do not substantially alter the original design concept of the Building Improvements as specified in the plans, design drawings and specifications approved pursuant to this Agreement.

In the event that any of the Building Improvements are removed during the term of this agreement the APPLICANT and/or the Owner shall repay the CITY all grant funds received pursuant to this Agreement and shall pay any costs and fees including reasonable attorney's fees incurred by the CITY to collect said grant funds. The amount of repayment required to be paid by the APPLICANT and the OWNER shall be reduced by 20% for every full year that this Agreement has been in effect at the time of the required repayment.

If within the 5-year maintenance period improvement is damaged by automobiles, wildlife, acts of nature, or stolen or any other cause, the APPLICANT shall install and pay for replacements.

In the event of inadequate maintenance, the CITY shall give the owner reasonable notice of conditions to be corrected. In the event that substandard maintenance still exists after thirty (30) days, OWNER shall repay the CITY all grant funds received pursuant to this Agreement and pay all costs and fees, including attorney fees, of any legal action taken to enforce the maintenance of the Building Improvements.

SECTION 7: The APPLICANT covenants and agrees to indemnify and hold harmless the CITY and its officials, officers, employees and agents from and against, any and all losses, claims, damages, liabilities or expenses, of every conceivable kind, character and nature whatsoever arising out of, resulting from or in any way connected with directly or indirectly with the Commercial Corridor and Downtown Business Economic Incentive Award(s) which are the subject of this

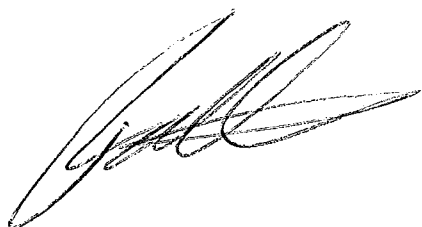
Agreement. The APPLICANT further covenants and agrees to pay for or reimburse the CITY and its officials, officers, employees and agents for any and all costs, reasonable attorneys' fees, liabilities or expenses incurred in connection with investigating, defending against or otherwise in connection with any such losses, claims, damages, liabilities, or causes of action. The CITY shall have the right to select legal counsel and to approve any settlement in connection with such losses, claims, damages, liabilities, or causes of action. The provisions of this section shall survive the completion of said building improvement(s).

SECTION 8: Nothing herein is intended to limit, restrict or prohibit the APPLICANT from undertaking any other work in or about the subject premises, which is unrelated to the Building Improvements provided for in this Agreement.

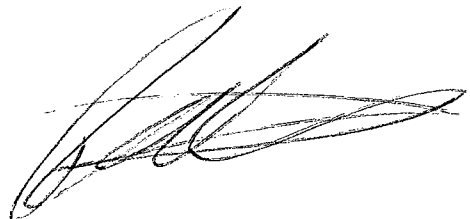
SECTION 9: This Agreement shall be binding upon the CITY and upon the APPLICANT and its successors and assigns with respect to the property on which the Building Improvements are installed, for a period of five (5) years from and after the date of completion and approval of the building improvement provided for herein. It shall be the responsibility of the APPLICANT to inform subsequent owners and lessees of the provisions of this Agreement.

IN WITNESS THEREOF, the parties hereto have executed this Agreement on the date first appearing above.

APPLICANT



PROPERTY OWNER
(if different from APPLICANT)



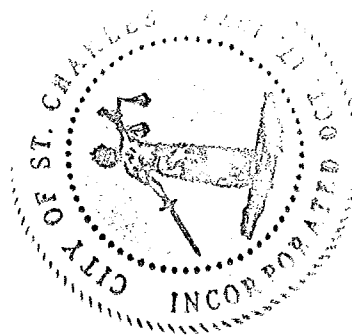
CITY OF ST. CHARLES:

[Signature]

Mayor or Director of Community & Economic Development

ATTEST:

[Signature]
City Clerk



Applicant contact information:

Phone: _____

Fax: _____

Email: _____

Property Owner's information, if different than applicant:

Phone: _____

Fax: _____

Email: _____

Exhibit I

Map of the Downtown Economic Incentive Program Eligible Properties Boundary

i



City of St. Charles, Illinois

City of St. Charles, Illinois
1000 North Main Street, Suite 200
St. Charles, Illinois 60154-1000
Phone: 630.584.1000 Fax: 630.584.1001

Precision GIS

RAYMOND REGINA Mayor
MARK KOENIG City Administrator

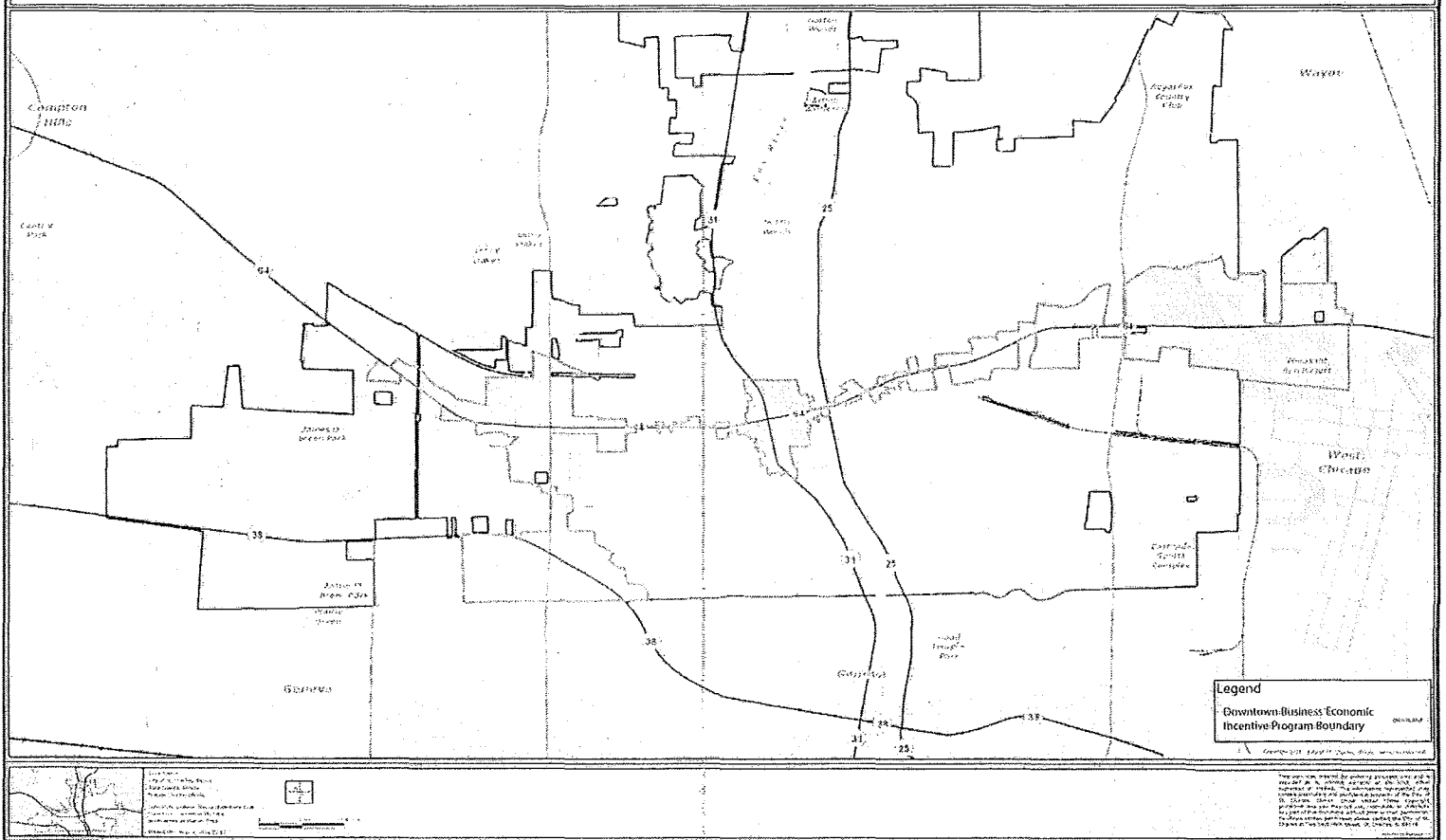


Exhibit II

Eligible Building Improvements Cost Estimate

JL Wagner Plumbing	13,830.00
Fox Vally	3,570.87
Deluxe HVAC	7,600.00
RC Electrical	3,500.00
Construction by Tony	12,000.00
Total	40,500.87

PROPOSAL

JL Wagner Plumbing and Piping, Inc.
920 Cedar Ave Suite 4b
P.O. Box 3117
St. Charles, IL 60174-9098
P:630-584-1181 F:630-584-2783

No. 080916-01
Date: 8/9/2016
Sheet No.

Proposal Submitted To:

Name Pete Szaikowski
Street 104 E Main Street
City St. Charles State: IL
Phone 630.513.7312

Work to be Performed at:

Street 104 E Main Street
City: St. Charles State IL
Date of Plans Arch

We hereby propose to furnish the materials and perform the labor necessary for the completion of plumbing work per jobsite and visit and discussion with tenant. (Budget Only)

Phase 1

Cap existing lines at old 3 compartment sink
Replace missing stops at bar
Check for leaks on lines and repair as needed
Check 3 toilets and urinal and repair valves as needed

Budget \$750.00

Phase 2

Install owner supplied 3 compartment sink
Install owner supplied sink behind bar
Install owner supplied ice machine with filter
Install owner supplied 2 lavatories

Budget \$4,075.00

Phase 3

New Sump pump and check valve
Filter for existing housing
Furnish and Install AO Smith BTR – 197 commercial water heater (\$7,550 included in Budget below)

Budget \$8,225.00

Phase 4

Furnish and Install new water softener complete

No price – need more info

Sewer Jetting

of service – each additional hour \$250.00)

Budget \$780.00 (2 hours

Notes: There are no backflow preventers onsite at this time – City May require some

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum

Base Bid Dollars \$See Above

with payments as follows:

Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond your control. Owner to carry fire, tornado, and other necessary insurance upon above work. Work-Men Compensation and Public Liability Insurance on above work to be taken out by:

Respectfully submitted: J.L. Wagner Plumbing and Piping, Inc

Per:

Note-This proposal may be withdrawn by us if not accepted within 30 days

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date _____

Signature _____

total 13,830



ONE COMPANY DOES IT ALL

Fire Alarm • 24-Hour Monitoring • Fire and Safety Products • Security • Engineered Fire Suppression • Sprinkler Service
2730 Pinnacle Drive • Elgin, IL 60124-7943 • 847-695-5990 • Fax 847-695-3699 • www.foxvalleyfire.com

July 21st, 2016

Attn: Peter Zaikowski
104 E Main Street
St. Charles, Illinois
Via Email: peterz@westchicago.org

Dear Peter,

Fox Valley Fire & Safety is please to submit our proposal for the installation of a 4.5 gallon Ansul R-102 wet chemical fire suppression system for the protection of your kitchen hood and appliances. Based on the information that you have provided me, please find below what Fox Valley Fire & Safety proposes.

Fox Valley Fire & Safety will supply all Ansul R-102 equipment including, control automan, tanks, wet chemical agent, expellant cartridge, nozzles, detectors, fusible links, remote pull station, mechanical gas valve of 2" or smaller, alarm initiating switch, microswitch, pipe/fittings, and non-union labor to install a 4.5-gallon Ansul R-102 wet chemical fire suppression system to protect the exhaust hood and cooking appliances.

Investment Required	\$ 3,193.67
Test with Fire Department	\$ 185.00
Sales Tax	\$ 192.20
Total	\$ 3,570.87

Exclusions: union labor, fire alarm labor, electrical labor, installation of exhaust hood/ductwork, installation of gas valve

Please sign, date and return this proposal to my attention at your earliest opportunity. Upon receipt of your approval we can begin to engineer drawings for submittal into the Village of Sandwich.

Pete, we appreciate the opportunity to quote the above mentioned work. I look forward to partnering with you on this project and appreciate your careful consideration. Please contact me if you have any questions or if I may be of further assistance.



Deluxe HVAC/R Business and Home Services

1133 South Second St, St Charles IL 60174 (630) 377-2257

Service Ticket: DR-0008512

Sep 23, 2016

Customer: Pete Z

New Restaurant
104 East Main Street
Saint Charles, IL 60174
630-512-7312

Bill to: Pete Z

New Restaurant
104 East Main Street
Saint Charles, IL 60174
630-512-7312

Technicians: Tony Passaglia

Notes:

We propose to install new Trenton, Pre-assembled Evaporator assembly including new thermostat, solenoid valve and expansion valve and new Trenton roof-mounted condensing unit.

We will install evaporator in basement cooler on the ceiling near the South-West corner of the cooler blowing Eastward. We will pipe the refrigeration line-set from the evaporator, through the cooler's West wall, to a point North and West of the cooler, to a point along the South side of existing chimney, penetrating 1st floor, 2nd floor and roof remaining along the South side of the chimney, ending at the new condensing unit. We will mount the condensing unit on equipment rails on the South side of the chimney on the roof. All of the described work we be completed according to industry common practices and local codes.. After installing equipment we will run, check and adjust to ensure reliability and efficiency.

DeLuxe HVAC/R, Inc. will provide all Manufacturer warranty descriptions and instructions for registration.

All above described work to be completed by DeLuxe HVAC/R Inc. for the amount of \$5700.00. The customer will remit the total amount in 2 payments. The deposit (\$4200.00) is due when accepting this estimate. The remaining balance (\$1500.00) is due as soon as the equipment is installed and ready to be run. If some condition exists that prevents us from starting the equipment at that point a 5% hold-out of the remaining balance will be allowed until the conditions have been remedied and the final run-and-check can be performed.

DeLuxe HVAC/R Inc. has and will maintain at least \$1,000,000.00 liability insurance and workman's compensation.

Respectfully Submitted: Anthony W. Passaglia Accepted: _____ date _____

_____ Initial for Option #1: Full Ke2Therm monitoring and control package: \$850.00, Prepaid with deposit

☒ Initial for Option #2: Electrical supply to evaporator and Condensing unit: \$1900.00, Prepaid with deposit

Base Charge represents initial travel and first hour diagnosis/repair labor

Make checks payable to: Deluxe HVAC/R, 1133 South Second St, St Charles IL 60174 (630) 377-2257

*Misc: Any specific part pricing includes Parts, Parts Warranty, Handling, Sourcing, and all related charges. Sales tax does not apply as above described work has been offered as an all inclusive Parts and Labor service and as such is not subject to any additional retail sales tax. Parts/Labor breakdown does not represent any actual parts sale but is provided only as a convenience to the customer for the sole purpose of justifying the final total dollar amount.

90 DAYS PARTS GUARANTEE - 30 DAY LABOR GUARANTEE * NO GUARANTEE ON CUSTOMER PURCHASED PART * TERMS - C.O.D. 2% MONTHLY FINANCE CHARGE WILL BE ADDED TO BALANCE AFTER 60 DAYS. * CUSTOMER SHALL ASSUME ALL LEGAL FEES DUE TO FAILURE OF PAYMENT.

Conditions of Repair Order:

Add to secure payment of the amount aforesaid and interest, the undersigned and each of them does hereby, jointly, generally and irrevocably, authorized any attorney of any Court of Record to appear for the undersigned, or any of them, if any such court in term time or vacation, at any time after maturity and confess judgment without process against a undersigned, or any of them, in favor of the payee or the holder of this note, for such amount as may appear to be paid or owing hereon, together with costs and reasonable attorney fees and to waive the release all errors which may intervene in any such proceeding, and to consent to immediate execution upon any such judgment and at any execution that may be issued on any such judgment may be immediately levied upon and satisfied out of any personal property of the undersigned, or any of them, and to waive all right to the undersigned, or any of them, to have personal property also taken levied upon to satisfy and such execution, hereby ratifying and confirming all that said attorney may do by virtue hereof. If this note is signed by more than one person, they shall be liable jointly and generally hereunder, but the words "jointly" and "severally" as used in this note shall be disregarded in case it is used by a corporation or by only one person.

Authorized Signature _____

Date 9-20-16

Copyright 2014 Deluxe HVAC/R, Inc.

5,700
1,900

7,600 total

Initial Here _____

RC ELECTRICAL LLC

RC Electrical LLC

The only choice for all your electrical needs

Roy Cantu Jr
Owner
224-239-6443

rcelectrical.llc@gmail.com

Proposal Submitted To:

Work To Be Performed At:

Peter Zaikowski
1-630-512-7312
peterzaikowski@gmail.com

Crazy Fox Bar & Grill
104 E. Main St
St. Charles, ILL 60174

We hereby propose to furnish all materials and labor to complete the following:

Service Electrical as follows:

Repair exit signs and emergency lighting

Add two outdoor emergency lighting on sidewalk (per fire department)

Add filler plates to existing electrical panel in back room

Fix lights hanging in back room

Cap all exposed electrical outlets

Verify and tag all kitchen area outlets as needed

Verify and tag all bar area outlets as needed

Connect basement lights and walk-in cooler lights

Exclusions: Any permits, bonds or fee's that may be charged by the City of St. Charles

Any changes in specifications that alter the cost of labor and materials, must be approved in writing by

Roy Cantu


Peter Zaikowski agrees to pay the sum of 3,500 for the above-described work.

Payment shall be made according to the following schedule:

\$1,500.00 down payment - balance due on completion

Acceptance of Proposal

Peter Zaikowski

 9-20-16

CONSTRUCTION BY TONY

PROPOSAL

1450 Plmouth Lane #602
Elgin, IL. 60123
Office: 847-323-6173
jtonybarajas@yahoo.com

Proposal NO. 160806
DATE August 6, 2016
CUSTOMER ID
EXPIRATION DATE

TO PETER
PETEZ@WESTCHICAGO.ORG

Job CRAZY FOX BAR & GRILL
ST CHARLES, IL

SALESPERSON	JOB	PAYMENT TERMS	DUE DATE
	RESTAURANT BAR		

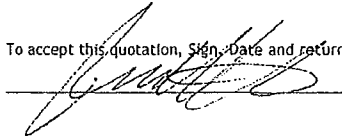
QUANTITY	DESCRIPTION	UNIT PRICE	LINE TOTAL
	EXHAUST		
	HOOD/MOTOR/ CONDUIT		12,000.00
	CHAIR RAIL- MASONRY PANELING		1,400.00
	RESTROOM		
	RESTROOM TILE		3,500.00
	RESTROOM VANITIES (INSTALL ONLY)		175.00
	RESTROOM MIRRORS		175.00
	RESTROOM WALL DIVIDERS		4,000.00
	FRP - PREPARATION ROOM		4,275.00
	BAR - TOP SURFACE		1,200.00
	CROWN MOLDING		1,400.00

Prepared by: *JB*

This is a quotation on the goods and services named above only, and is subject to change in the case of unforeseen circumstances.

SUBTOTAL	
Arch./Admin. Fees	
TOTAL	\$ 28,125.00

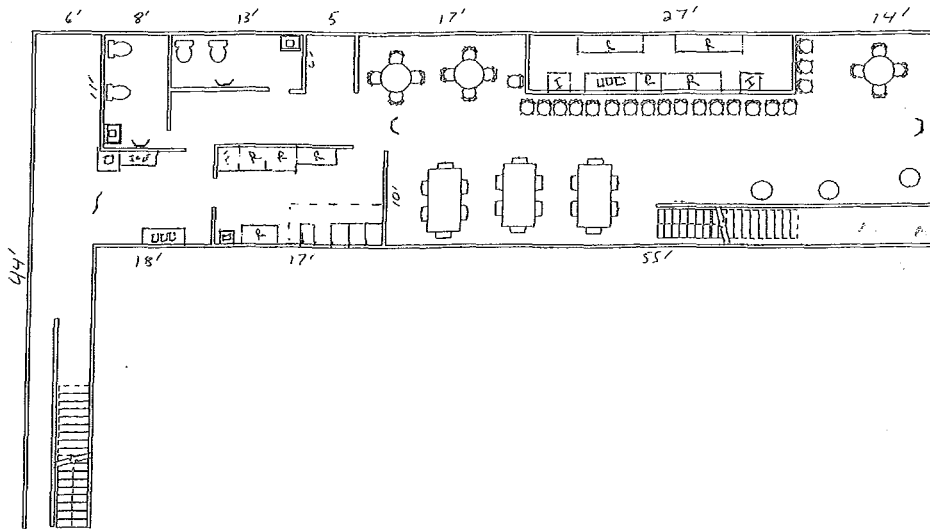
To accept this quotation, Sign, Date and return:

 8-8-2016

THANK YOU FOR YOUR BUSINESS!

ventilation
only/not
equipment
foi grant
only

not
included
in grant



North River Side Road

Main Street

No Modifications to Electric
No Modifications to Plumbing

Furniture and equipment added

Exit lights with emergency lights
Emergency lights

Replace old Hood
Install new fire ansil system

Replace Sump Pump
Replace Hot water heater

FINAL WAIVER OF LIEN

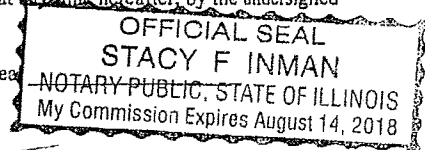
STATE OF ILLINOIS)
)SS
COUNTY OF)
TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by Crazy Fox LLC
to furnish Plumbing
for the premises known as The Crazy Fox
of which Crazy Fox LLC is the owner.

The undersigned, for and in consideration of Sixteen Thousand, Forty Five and 0/100

(\$ 16,045.00) Dollars, and other good and valuable consideration, the receipt whereof is hereby acknowledged, do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor services, material, fixtures, apparatus or machinery heretofore furnished, or which may be furnished at any time hereafter, by the undersigned for the above-describe premises.

Given under Stacy F Inman hand December 1, 2016 and seal
this 1st day of December 20 16



Signature and Seal: [Signature]

NOTE: All waivers must be for the full amount paid. If waiver is for a corporation, corporate name should be used, corporate seal affixed and title of officer signing waiver should be set forth; if waiver is for a partnership, the partnership name should be used, partner should sign and designate himself as partner.

CONTRACTOR'S AFFIDAVIT

STATE OF ILLINOIS)
)SS
 COUNTY OF)
 TO WHOM IT MAY CONCERN:

THE undersigned, being duly sworn, deposes and says that he is John L. Wagner
President of the J.L. Wagner Plumbing & Piping, Inc.
 who is the contractor for the Crazy Fox LLC work on the property
 located at 104 E. Main St. St. Charles IL 60174
 owned by Crazy Fox LLC

That the total amount of the contract including extras is \$ 16,045.00 on which he or she has received payment of
 \$ 0.00 prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that
 there is no claim either legal or equitable to defect the validity of said waivers. That the following are the names of all parties who have
 furnished material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for
 material entering into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor
 and material required to complete said work according to plans and specifications:

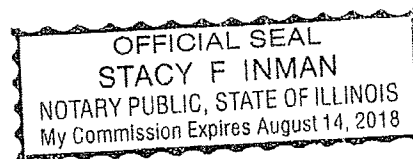
NAMES	WHAT FOR	CONTRACT PRICE	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
JL. Wagner Plumbing	Labor	11,700.00	0.00	11,700.00	0.00
JL. Wagner Plumbing & Piping	Material	4,345.00	0.00	4,345.00	0.00
All Materials taken from fully paid Stock					
TOTAL LABOR AND MATERIAL TO COMPLETE		16,045.00	0.00	16,045.00	0.00

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to nay person for material, labor or
 other work of any kind done or to be done upon or in connection with said work other than above stated.

Signature: [Signature] Date: December 1, 2014

Subscribed and sworn to before me this 1st day of December, 200 16.

[Signature]
 NOTARY PUBLIC



SWORN STATEMENT FOR CONTRACTOR AND SUBCONTRACTOR TO OWNER

STATE OF ILLINOIS)
) SS
COUNTY OF)

The affiant, John L. Wagner (name) being first sworn on oath, deposes that he is
President (position) of J.L. Wagner Plumbing & Piping, Inc (name of firm)
being the contractor for Crazy Fox LLC (owner of premises)
to furnish labor and materials for work on the property located at 104 E. Main St. St. Charles, IL (address of
premises) and performed Plumbing
(describe improvements)

on said property. Affiant further deposes that the following persons have been contracted with, and have furnished, or are furnishing and preparing materials for, and have or are doing labor on said improvements; that there is due and to become due them respectively, the amount set opposite their name for materials or labor as described; and that this statement is a full, true and complete statement of all such persons, the amounts paid and the amounts due or to become due to each.

Name/Address	Kind of Work	Amount of Contract	Retention (Incl. Current)	Net Previously Paid	Net Amount This Payment	Balance to Complete
J.L. Wagner Plumbing	Labor	11,700.00		0.00	11,700.00	0.00
J.L. Wagner Plumbing	Material	4,345.00		0.00	4,345.00	0.00

Amount of Original Contract	\$ 16,045.00	Work Completed to Date	\$ 16,045.00
Extras to Contract	\$ 0.00	Less % Retained	\$ 0.00
Total Contract & Extras	\$ 16,045.00	Net Amount Earned	\$ 16,045.00
Credits to Contract	\$ 0.00	Net Previously Paid	\$ 0.00
Balance to Become Due	\$ 0.00 (including Retention)		

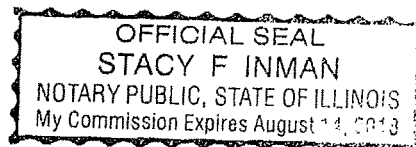
I agree to furnish Waivers of Lien for all materials under my contract when demanded.

Signed John L. Wagner Position President

Subscribed and sworn to before me this 1st day of December 1, 2016

Stacy F. Inman Notary Public

The above sworn statement should be obtained by the owner before each and every payment.



SWORN STATEMENT FOR CONTRACTOR AND SUBCONTRACTOR TO OWNER

STATE OF ILLINOIS)
) SS
COUNTY OF)

The affiant, Alan Whale (name) being first sworn on oath, deposes that he is
Treasurer (position) of FOX VALLEY FIRE SAFETY (name of firm)
being the contractor for _____ (owner of premises)

to furnish labor and materials for work on the property located at 1042 main st St Charles, IL (address of
premises) and performed Installation of 45-gallon Ansul
R-100 wet chemical fire suppression system (describe improvements)

on said property. Affiant further deposes that the following persons have been contracted with, and have furnished,
or are furnishing and preparing materials for, and have or are doing labor on said improvements; that there is due
and to become due them respectively, the amount set opposite their name for materials or labor as described; and
that this statement is a full, true and complete statement of all such persons, the amounts paid and the amounts due
or to become due to each.

Name/Address	Kind of Work	Amount of Contract	Retention (Incl. Current)	Net Previously Paid	Net Amount This Payment	Balance to Complete
FOX VALLEY FIRE SAFETY 2730 Pinnacle Dr Evan, IL 60124	Ansul install	3570.87		0	3570.87	0
	Ansul install	3570.87		0	3570.87	0

Amount of Original Contract \$ 3570.87 Work Completed to Date \$ 3570.87
Extras to Contract \$ 0.00 Less % Retained \$ 0.00
Total Contract & Extras \$ 0.00 Net Amount Earned \$ 0.00
Credits to Contract \$ 0.00 Net Previously Paid \$ 0.00
Balance to Become Due \$ 3570.87 (including Retention)

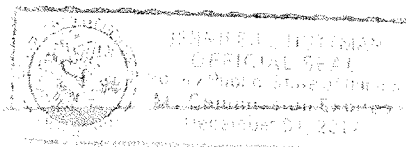
I agree to furnish Waivers of Lien for all materials under my contract when demanded.

Signed Alan Whale Position Treasurer

Subscribed and sworn to before me this 16TH day of December, 2016

Jennifer L. Hitt
Notary Public

The above sworn statement should be obtained by the owner before each and every payment.



CONTRACTOR'S AFFIDAVIT

STATE OF ILLINOIS)
COUNTY OF)SS
TO WHOM IT MAY CONCERN:

THE undersigned, being duly sworn, deposes and says that he is Alan Whale
Treasurer of the Fox Valley Fire & Safety
who is the contractor for the 104 East main Street work on the property
located at 104 E main St St. Charles, IL 60174
owned by _____

That the total amount of the contract including extras is \$ 3570.87 on which he or she has received payment of
\$ 0.00 prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that
there is no claim either legal or equitable to defect the validity of said waivers. That the following are the names of all parties who have
furnished material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for
material entering into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor
and material required to complete said work according to plans and specifications:

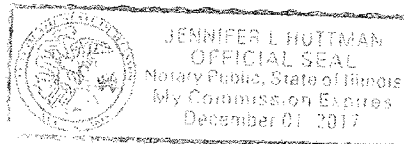
NAMES	WHAT FOR	CONTRACT PRICE	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
All materials are from fully paid stock and delivered to the job site by our own trucks		3570.87		3570.87	0
All labor is paid to date					
TOTAL LABOR AND MATERIAL TO COMPLETE		3570.87		3570.87	0

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to any person for material, labor or other work of any kind done or to be done upon or in connection with said work other than above stated.

Signature: Alan Whale Date: 12/16/2016

Subscribed and sworn to before me this 16TH day of December, 20016.

Jennifer L. Huttman
NOTARY PUBLIC



FINAL WAIVER OF LIEN

STATE OF ILLINOIS)
)SS
COUNTY OF)
TO WHOM IT MAY CONCERN:

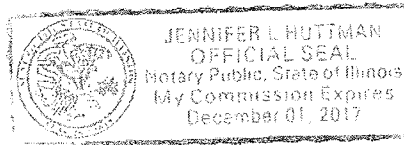
WHEREAS the undersigned has been employed by 104 East Main Street
to furnish Ansul R-102 Wet Chemical Fire Suppression
for the premises known as 104 E main St St Charles, IL 60174
of which _____ is the owner.

The undersigned, for and in consideration of Three thousand five hundred seventy dollars and eighty seven
(\$ 3570.87) Dollars, and other good and valuable consideration, the receipt whereof is hereby acknowledged,
do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics'
liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or
machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor
services, material, fixtures, apparatus or machinery heretofore furnished, or which may be furnished at any time hereafter, by the undersigned
for the above-describe premises.

Given under my hand _____ and seal _____
this 10TH day of December, 2016
Signature and Seal: [Signature]

NOTE: All waivers must be for the full amount paid. If waiver is for a corporation, corporate name should be used, corporate seal affixed and
title of officer signing waiver should be set forth; if waiver is for a partnership, the partnership name should be used, partner should sign and
designate himself as partner.

[Signature]



FINAL WAIVER OF LIEN

STATE OF ILLINOIS)
COUNTY OF KANE)SS

TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by Construction by Tong inc
to furnish Kitchen Hood / Exhaust / motor / conduit
for the premises known as CRAZY FOX LLC
of which PETE ZAIKOWSKI is the owner.

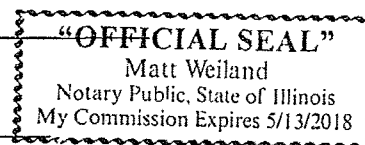
The undersigned, for and in consideration of TOTAL AMOUNT DUE

(\$ 12,000) Dollars, and other good and valuable consideration, the receipt whereof is hereby acknowledged, do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor services, material, fixtures, apparatus or machinery heretofore furnished, or which may be furnished at any time hereafter, by the undersigned for the above-describe premises.

Given under _____ hand _____ and seal _____

this 29th day of November, 2016.

Signature and Seal: _____



NOTE: All waivers must be for the full amount paid. If waiver is for a corporation, corporate name should be used, corporate seal affixed and title of officer signing waiver should be set forth; if waiver is for a partnership, the partnership name should be used, partner should sign and designate himself as partner.

CONTRACTOR'S AFFIDAVIT

STATE OF ILLINOIS)
)SS
COUNTY OF KANE)
TO WHOM IT MAY CONCERN:

THE undersigned, being duly sworn, deposes and says that he is JOSE A. BARAKAT
RESIDENT of the Construction by Tony Inc
who is the contractor for the CRAZY FOX LLC work on the property
located at 1001 E MAIN ST ST CHARLES IL 60174
owned by PETE ZAIKOWSKI.

That the total amount of the contract including extras is \$ 12,000 on which he or she has received payment of
\$ 12,000 prior to this payment. That all waivers are true, correct and genuine and delivered unconditionally and that
there is no claim either legal or equitable to defect the validity of said waivers. That the following are the names of all parties who have
furnished material or labor, or both, for said work and all parties having contracts or sub contracts for specific portions of said work or for
material entering into the construction thereof and the amount due or to become due to each, and that the items mentioned include all labor
and material required to complete said work according to plans and specifications:

NAMES	WHAT FOR	CONTRACT PRICE	AMOUNT PAID	THIS PAYMENT	BALANCE DUE
CHILANO WOODS	KITCHEN WOOD	12,000	0	12,000	0
TOTAL LABOR AND MATERIAL TO COMPLETE					

That there are no other contracts for said work outstanding, and that there is nothing due or to become due to nay person for material, labor or
other work of any kind done or to be done upon or in connection with said work other than above stated.

Signature: Joe A. Barakat Date: 11/29/16
Subscribed and sworn to before me this 29th day of November, 2016.

Matt Weiland
NOTARY PUBLIC



SWORN STATEMENT FOR CONTRACTOR AND SUBCONTRACTOR TO OWNER

STATE OF ILLINOIS)
COUNTY OF KANE)SS

The affiant, JOSE A. BARAJAS (name) being first sworn on oath, deposes that he is
PRESIDENT (position) of Construction by Tony, Inc (name of firm)
being the contractor for Crazy Fox LLC (owner of premises)
to furnish labor and materials for work on the property located at 104 E MAIN ST (address of
premises) and performed installed Kitchen Hood / Exhaust
motor / conduit (describe improvements)

on said property. Affiant further deposes that the following persons have been contracted with, and have furnished, or are furnishing and preparing materials for, and have or are doing labor on said improvements; that there is due and to become due them respectively, the amount set opposite their name for materials or labor as described; and that this statement is a full, true and complete statement of all such persons, the amounts paid and the amounts due or to become due to each.

Name/Address	Kind of Work	Amount of Contract	Retention (Incl. Current)	Net Previously Paid	Net Amount This Payment	Balance to Complete
CHILANZO WOODZ	KITCHEN HOOD	12,000	0	10,000	2,000	0

Amount of Original Contract \$ 12,000 Work Completed to Date \$ _____
Extras to Contract \$ _____ Less _____ % Retained \$ _____
Total Contract & Extras \$ _____ Net Amount Earned \$ _____
Credits to Contract \$ _____ Net Previously Paid \$ _____
Balance to Become Due \$ 12,000 (including Retention)

I agree to furnish Waivers of Lien for all materials under my contract when demanded.

Signed Joe A. Barajas Position PRESIDENT

Subscribed and sworn to before me this 29th day of November, 2016



Matt Weiland Notary Public

The above sworn statement should be obtained by the owner before each and every payment.

SWORN STATEMENT FOR CONTRACTOR AND SUBCONTRACTOR TO OWNER

STATE OF ILLINOIS)
) SS
 COUNTY OF KANE)

The affiant, _____ (name) being first sworn on oath, deposes that he is
OWNER (position) of RC Electrical (name of firm)
 being the contractor for Crazy Fox LLC (owner of premises)
 to furnish labor and materials for work on the property located at 104 E MAIN ST (address of
 premises) and performed Repair exit signs + Emergency lighting
fill electrical panel connect HVAC unit on roof (describe improvements)

on said property. Affiant further deposes that the following persons have been contracted with, and have furnished, or are furnishing and preparing materials for, and have or are doing labor on said improvements; that there is due and to become due them respectively, the amount set opposite their name for materials or labor as described; and that this statement is a full, true and complete statement of all such persons, the amounts paid and the amounts due or to become due to each.

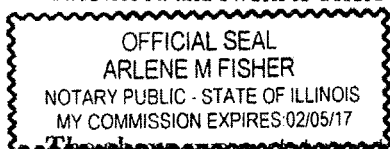
Name/Address	Kind of Work	Amount of Contract	Retention (Incl. Current)	Net Previously Paid	Net Amount This Payment	Balance to Complete

Amount of Original Contract \$ 5,400 Work Completed to Date \$ _____
 Extras to Contract \$ _____ Less _____ % Retained \$ _____
 Total Contract & Extras \$ _____ Net Amount Earned \$ _____
 Credits to Contract \$ _____ Net Previously Paid \$ _____
 Balance to Become Due \$ 5,400 (including Retention)

I agree to furnish Waivers of Lien for all materials under my contract when demanded.

Signed R. C. Q. Position President

Subscribed and sworn to before me this 7th day of December, 2016



Arlene M. Fisher Notary Public

The above sworn statement should be obtained by the owner before each and every payment.

FINAL WAIVER OF LIEN

STATE OF ILLINOIS)
)SS
COUNTY OF KANE)
TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by RC ELECTRICAL LLC
to furnish REPAIR EXIT SIGNS + EMERGENCY LIGHTING. Fill electric panel Repair open outlets
for the premises known as CRAZY FOX LLC & connect electric to HVAC unit
of which PETE ZAIKOWSKI is the owner.

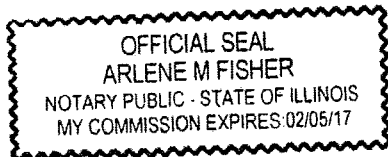
The undersigned, for and in consideration of _____

(\$ 5,400) Dollars, and other good and valuable consideration, the receipt whereof is hereby acknowledged, do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor services, material, fixtures, apparatus or machinery heretofore furnished, or which may be furnished at any time hereafter, by the undersigned for the above-describe premises.

Given under _____ hand _____ and seal RC ELECTRICAL LLC
this 7th day of December, 2019
Signature and Seal: Arlene M. Fisher (President)

NOTE: All waivers must be for the full amount paid. If waiver is for a corporation, corporate name should be used, corporate seal affixed and title of officer signing waiver should be set forth; if waiver is for a partnership, the partnership name should be used, partner should sign and designate himself as partner.

Arlene M. Fisher



SWORN STATEMENT FOR CONTRACTOR AND SUBCONTRACTOR TO OWNER

STATE OF ILLINOIS)
) SS
COUNTY OF Kane)

The affiant, Robyn Lyn Chione (name) being first sworn on oath, deposes that he is
Administrative Asst. (position) of Deluxe Refrigeration (name of firm)
being the contractor for Crazy Fox, LLC (owner of premises)

to furnish labor and materials for work on the property located at 104 E. Main St. (address of
premises) and performed installed pre-assembled evaporator

assembly, solenoid and expansion valves, thermostat (describe improvements) and new vent top condensing unit
on said property. Affiant further deposes that the following persons have been contracted with, and have furnished,
or are furnishing and preparing materials for, and have or are doing labor on said improvements; that there is due
and to become due them respectively, the amount set opposite their name for materials or labor as described; and
that this statement is a full, true and complete statement of all such persons, the amounts paid and the amounts due
or to become due to each.

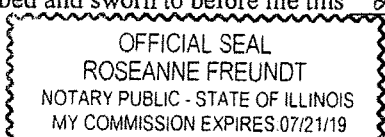
Name/Address	Kind of Work	Amount of Contract	Retention (Incl. Current)	Net Previously Paid	Net Amount This Payment	Balance to Complete

Amount of Original Contract \$ 5,700.00 Work Completed to Date \$ _____
Extras to Contract \$ _____ Less _____ % Retained \$ _____
Total Contract & Extras \$ _____ Net Amount Earned \$ _____
Credits to Contract \$ _____ Net Previously Paid \$ _____
Balance to Become Due \$ 5,700.00 (including Retention)

I agree to furnish Waivers of Lien for all materials under my contract when demanded.

Signed Robyn Chione Position Administrative Asst.

Subscribed and sworn to before me this 27th day of OCTOBER, 2016



Roseanne Freundt Notary Public

The above sworn statement should be obtained by the owner before each and every payment.

FINAL WAIVER OF LIEN

STATE OF ILLINOIS)
)SS
COUNTY OF)

TO WHOM IT MAY CONCERN:

WHEREAS the undersigned has been employed by Deluxe Refrigeration

to furnish Evaporator Assembly including thermostat, Solenoid valve, expansion valve, new

for the premises known as Crazy Fox, LLC

of which Pete Zairowski is the owner.

Trenton roof-mounted
condensing
unit

The undersigned, for and in consideration of total amount due

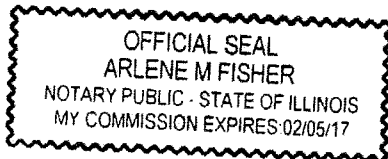
(\$ 5,100.00) Dollars, and other good and valuable consideration, the receipt whereof is hereby acknowledged, do(es) hereby waive and release any and all lien or claim of, or right to, lien, under the statutes of the State of Illinois, relating to mechanics' liens, with respect to and on said above-described premises, and the improvements thereon, and on the material, fixtures, apparatus or machinery furnished, and on the moneys, funds or other considerations due or to become due from the owner, on account of all labor services, material, fixtures, apparatus or machinery heretofore furnished, or which may be furnished at any time hereafter, by the undersigned for the above-describe premises.


Given under 7 hand _____ and seal Deluxe Refrigeration
this October 7th day of 21, 2016

Signature and Seal: Robyn Chione, Deluxe Refrigeration

NOTE: All waivers must be for the full amount paid. If waiver is for a corporation, corporate name should be used, corporate seal affixed and title of officer signing waiver should be set forth; if waiver is for a partnership, the partnership name should be used, partner should sign and designate himself as partner.

Arleen M. Fisher



	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 3e
	Title:	Recommendation to approve a Minor Change to PUD Preliminary Plan for CVS PUD Lot 2 – 1601 S. 14 th St.	
	Presenter:	Ellen Johnson	
Meeting: Planning & Development Committee		Date: February 13, 2017	
Proposed Cost: N/A		Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
Executive Summary (<i>if not budgeted please explain</i>): <p>Louis Morelli, applicant, is proposing to develop a restaurant on the vacant lot next to the new CVS store at the corner of Lincoln Hwy. and S. 14th St. Development of the property was approved under the CVS PUD, Ordinance 2015-Z-16. The CVS PUD includes the CVS parcel (Lot 1) and the subject property (Lot 2). A single-story, 4,620 sf retail building was approved for Lot 2.</p> <p>The applicant is proposing to modify the PUD Preliminary Plan for Lot 2, including changes to the site plan, landscape plan, and building elevations, in order to accommodate development of a restaurant on the property. Approval of a Minor Change to PUD Preliminary Plan is required to permit the proposed changes.</p> <p>The site plan is substantially similar to the PUD Preliminary Plan, although the proposed building is smaller (2,777 sf) and modifications have been made to the parking lot, including an additional row parking along the west side of the building. The total parking count for Lot 2 will increase from 19 to 28 spaces. The site plan meets all applicable requirements of the CVS PUD Ordinance and the Zoning Ordinance.</p> <p>The building elevations meet all requirements of the Design Review chapter of the Zoning Ordinance.</p> <p>A landscape plan has not been submitted but will be required at the time of building permit. A condition should be placed upon approval that landscaping be provided which substantially conforms to the number and types of plantings as shown on the PUD Preliminary Plan. The applicant is agreeable to this condition.</p>			
Attachments (<i>please list</i>): Application for Minor Change; Plan documents; Site Plan, Landscape Plan, and Building Elevations approved under Ordinance No. 2015-Z-16			
Recommendation/Suggested Action (<i>briefly explain</i>): Recommendation to approve a Minor Change to PUD Preliminary Plan for CVS PUD Lot 2, 1601 S. 14 th St., with a condition that landscaping be provided which substantially conforms to the number and types of plantings as shown on the approved PUD Preliminary Plan.			

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

MINOR CHANGE TO PUD APPLICATION

For City Use

Project Name: CVS PUD Lot 2
Project Number: 2017 -PR-001
Application No. 2017 -AP-001



Instructions:

A Minor Change to PUD is one that modifies an approved PUD Preliminary Plan in a manner that complies with all standards of the Special Use for PUD Ordinance applicable to the property and meets the definition of a Minor Change as contained either in Section 17.04.430 of the Zoning Ordinance or the Special Use for PUD Ordinance.

To request approval of a Minor Change, complete this application and submit it with all required attachments to the Planning Division. When the application is complete, City staff will schedule a review by the Planning and Development Committee of the City Council. The Committee's recommendation will be forwarded to the City Council for final action.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 1601 S. 14th St. St. Charles, IL 60175	
	Parcel Number (s): 09-33-329-054	
	PUD Name: CVS PUD Ordinance #2015-Z-16	
2. Applicant Information:	Name Louis J. Morelli	Phone 630-377-7500
	Address 2902 Lincoln Hwy. St. Charles, IL 60175	Fax 630-377-7502
		Email morelli@morellicounsel.com
3. Record Owner Information:	Name 1500 Lincoln Highway, LLC, a limited liability company	Phone 847-542-5993
	Address 719 Shady Avenue Geneva, IL 60134	Fax N/A
		Email richbrolly@keatingresources.com

Information for proposed Minor Change:

Name of PUD: CVS PUD

PUD Ordinance Number: 2015-Z-16

Ord. or Resolution(s) that approved the current plans: 2015-Z-16

Identify Specific PUD Plans to be changed:

- ☒ Site/Engineering Plan
☒ Landscape Plan
☒ Architectural Elevations
☐ Signs
☐ Other plans: _____

Description of Proposed Changes:

Allow restaurant instead of retail and reduce size of building from 4,610 sq ft to 2277 sq ft

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$200)

☒ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☐ **COVER LETTER:** Letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Please contact the Planning Division to determine if full size copies of plans are needed. For simple applications, provide one full scale plan set, three (3) 11" x 17" copies (in color if applicable), and a PDF file on CD-ROM or emailed to the Project Manager.

Plans shall include the following, depending on the scope of the proposed Minor Change:

- ☒ Site Plan indicating location of proposed change.
- ☒ For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- ☒ For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- ☐ For changes to landscaping, show approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- ☐ Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner

Date

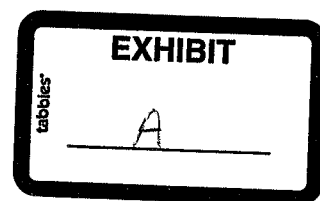
Applicant or Authorized Agent

Date

LEGAL DESCRIPTION

1601 S. 14TH St.

LOT 2 IN CVS #10660, ST. CHARLES, ILLINOIS SUBDIVISION OF THE SOUTHWEST
QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED
FEBRUARY 19, 2016 AS DOCUMENT 2016K008076, IN KANE COUNTY, ILLINOIS.



January 18, 2017

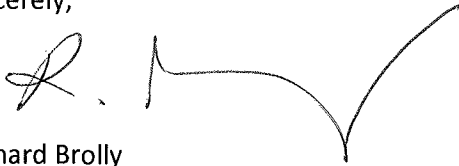
City of St. Charles
Two East Main Street
St. Charles, Illinois 60174

Re: Letter of Authorization from 1500 Lincoln Highway LLC ("Owner") the Owner of 1601 S. 14th Street, St. Charles, Illinois ("Property").

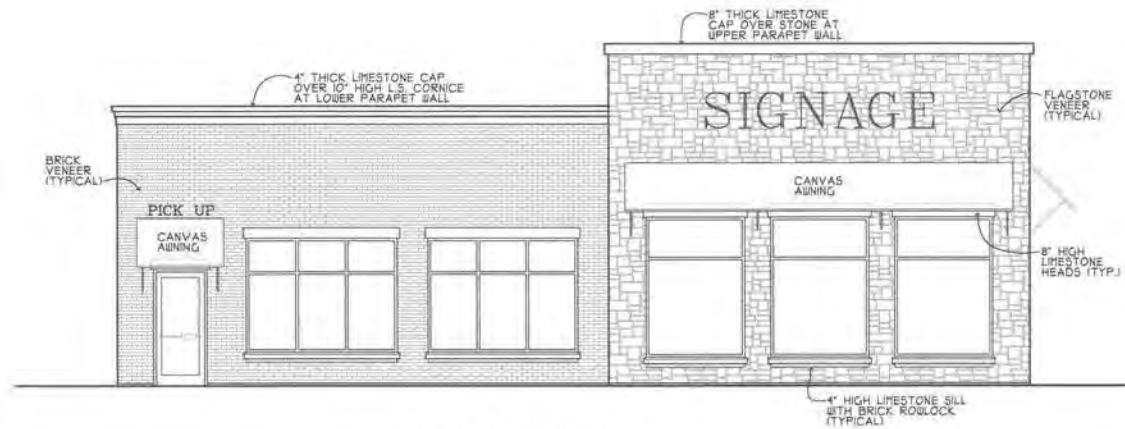
To whom it may concern:

The Owner of the Property hereby authorizes Louis Morelli, the contract purchaser of the Property ("Purchaser") to pursue a Minor Change to PUD Application on the Property, provided that the final enactment of the modification is contingent upon Purchaser's closing on the acquisition of the Property. If you have any questions, please do not hesitate to contact me at richbrolly@keatingresources.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Brolly', with a long, sweeping horizontal stroke extending to the right.

Richard Brolly
Authorized Signatory



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

JAN. 18, 2017 - DESIGN DEVELOPMENT



PROPOSED BUILDING AT:
1500 LINCOLN HIGHWAY
ST. CHARLES, ILLINOIS 62254
LOUIS & DANI MORELLI

PLOTTED: 1/18/2017

Revisions

Commission: 2544
Issue Date:
Drawn By: CDZ
SOUTH, WEST
ELEVATIONS

Sheet:
1
of 2



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

FEB. 7, 2017 - DESIGN DEVELOPMENT



PROPOSED BUILDING AT:
1500 LINCOLN HIGHWAY
ST. CHARLES, ILLINOIS 60114
LOUIS & DANI MORELLI

PLOTTED: 2/1/2017

Revisions:

Commission:	2014
Issue Date:	
Drawn By:	CDP
North & East Elevations	

Sheet:
2
of 2



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

LANDSCAPE CALCULATIONS

INTERIOR PARKING LOT LANDSCAPE

10% OF INTERIOR PARKING AREA REQUIRED
 47,027 SF INTERIOR PARKING AREA
 4,703 SF INTERIOR LANDSCAPE REQUIRED
 3,584 SF INTERIOR LANDSCAPE PROVIDED

REQUIRED INTERIOR SHADE TREES

422 SF / 24' x 30'
 30 SHADE TREES REQUIRED
 7 SHADE TREES PROVIDED

PUBLIC STREET FRONTAGE & PARKING LOT LANDSCAPING

REQUIRED TREES = 1 SHADE, EVERGREEN OR ORNAMENTAL TREE REQUIRED
 FOR EVERY 50 LF OF PUBLIC STREET FRONTAGE

LINCOLN HWY / I. RT. 58 FRONTAGE = 386 LF

8 TREES REQUIRED

8 TREES PROVIDED

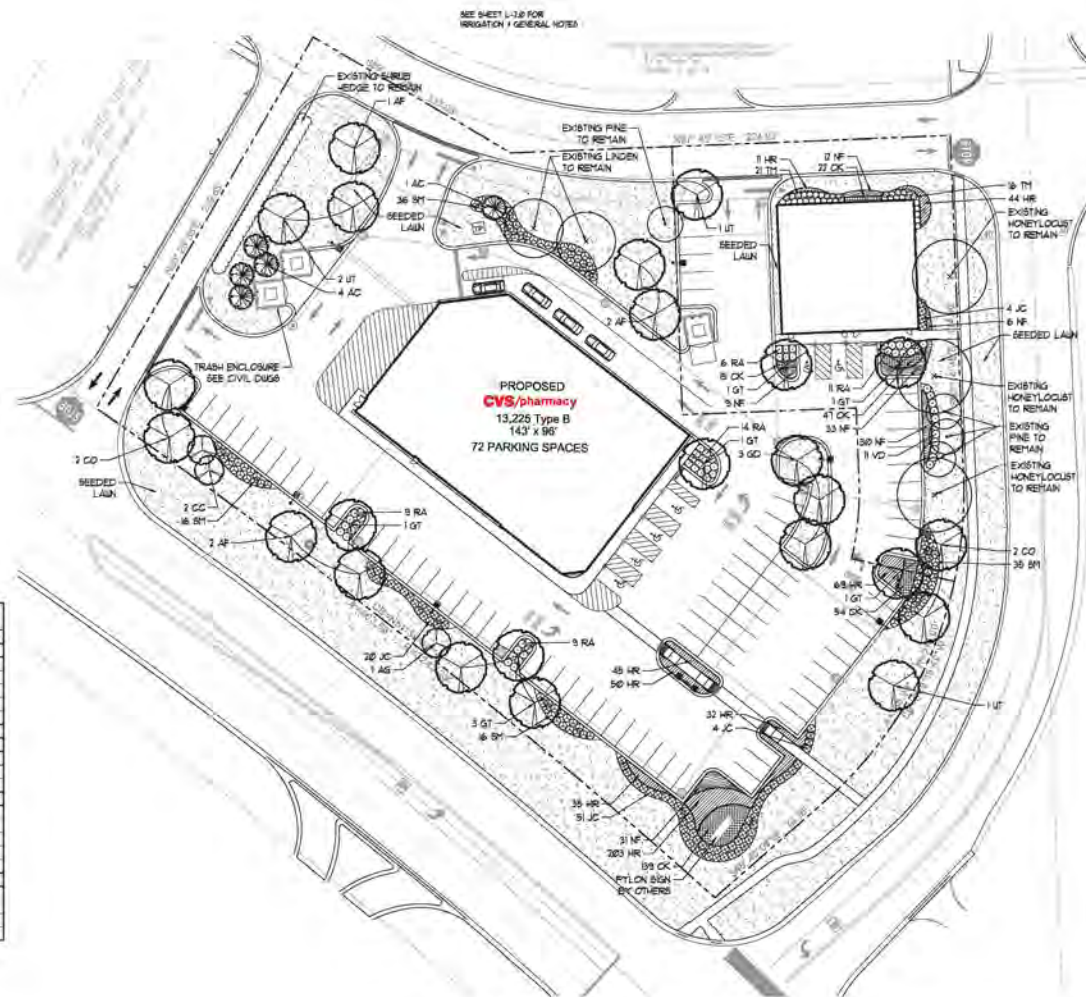
6.5TH STREET FRONTAGE = 46 LF

5 TREES REQUIRED

5 TREES PROVIDED (3 PROPOSED, 2 EXISTING)

PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
DECIDUOUS TREES - SINGLE STEM						
AP	ACER X FREEMANT 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	25" CAL.	B&B	5	BRANCHED UP 6'
CO	CELTIS OCCIDENTALIS	HICKBERRY	15" CAL.	B&B	4	BRANCHED UP 6'
	GYMNOCALDIUM DIOICA	KENTUCKY CORNETREE	25" CAL.	B&B	3	BRANCHED UP 6'
	GLEDITSIA 'TRACANTHOS NERITIS' SKYLINE	SKYLINE HONEYLOCUST	25" CAL.	B&B	6	BRANCHED UP 6'
	ULMUS X 'PORTON GLOSSY'	TRIUMPH ELM	75" CAL.	B&B	4	BRANCHED UP 6'
EVERGREEN TREES						
	ABIES CONCOLOR	WHITE FIR	6' HT.	B&B	5	
ORNAMENTAL TREES						
	'AURELANCHER' X G. 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	6' HT.	B&B	1	CLUMP FORM
	CERCIS CANADENSIS	REDBUD	6' HT.	B&B	2	
DECIDUOUS AND EVERGREEN SHRUBS						
	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24" HT. x 6" D.	B&B/CONT.	75	
	RHUS AROMATICA 'SRO-LOU'	GRD LOU SUMAC	3 GAL.	B&B/CONT.	45	
	STRINGIA 'METER' 'PAL SIN'	DWARF KOREAN LILAC	36" HT. x 6" D.	B&B/CONT.	103	
	TAXUS X 'MEDIA 'TAUNTON'	TAUNTON YEW	24" HT. x 6" D.	B&B/CONT.	37	
	VIBURNUM DENTATUM 'CHRISTOP'	BLUE HURR VIBURNUM	36" HT. x 6" D.	B&B/CONT.	5	
PERENNIALS						
	HEPEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	CONT.	488	SPACED 18" O.C.
	HEPEROCALLIS 'LITTLE WINE CUP'	LITTLE WINE CUP DAYLILY	1 GAL.	CONT.	271	EVENLY MIXED
	CALAMAGOSTIS A. KARL 'FOENSTER'	FEATHER REED GRASS	1 GAL.	CONT.	57	
	HEPETA x 'FAASSENT'	FAASSENT CATPANT	1 GAL.	CONT.	57	



1 LANDSCAPE PLAN
 SCALE: 1"=30'-0"

STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION
 DIVISION OF LANDSCAPE ARCHITECTURE
 W. WEINBACH & PARTNERS, LTD.
 53 W. Jackson Blvd.
 Suite 250
 Chicago, IL 60604
 312.427.3588
 www.dwpd.com



DANIEL WEINBACH
 &
 PARTNERS, LTD.
 Landscape Architects

53 W. Jackson Blvd.
 Suite 250
 Chicago, IL 60604
 312.427.3588
 www.dwpd.com

Revisions

6

7

6

5

4

3. ISSUED FOR REVIEW 09/04/15

2. ISSUED FOR REVIEW 07/07/15

1. CITY SUBMITTAL 07/06/15

Project

CVS
 PHARMACY

LINCOLN HWY / I. RT. 58 & 15TH STREET
 ST. CHARLES, IL 62205

Sheet Title

LANDSCAPE
 PLAN

Date: 07/28/15 Project No.: DWP-15-143

Scale: AS NOTED Sheet No.:

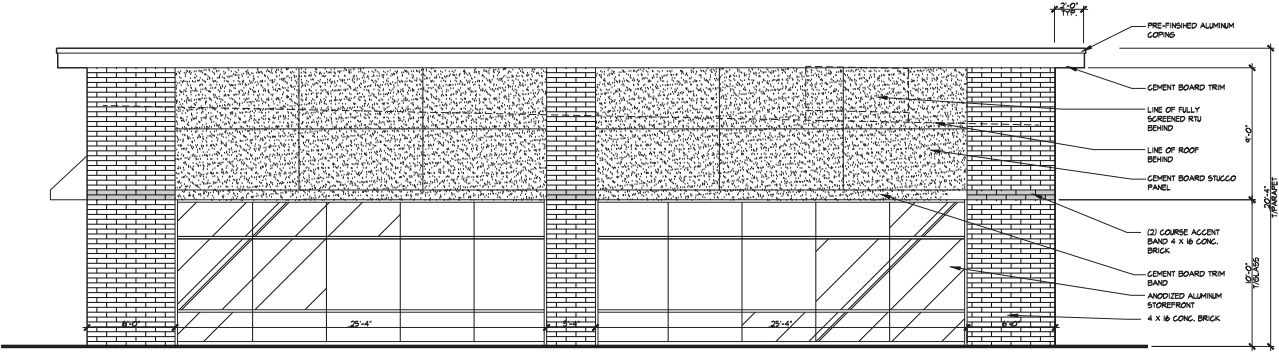
Drawn By: ES L-1.0

Approved: WS

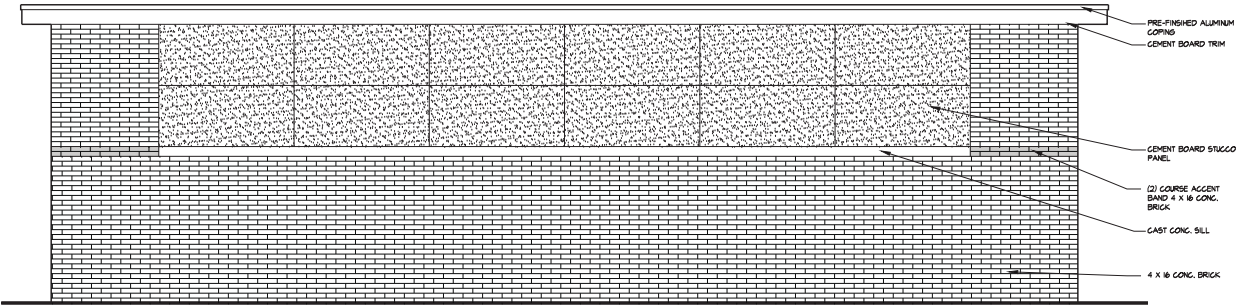
Previously Approved Building Elevations



1 SOUTH ELEVATION (FACING LINCOLN HWY / RTE 38)
SCALE: 1/4" = 1'-0"



2 EAST / WEST ELEVATION (FACING 14TH ST. SHOWN)
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION (FACING VANDERBILT DR.)
SCALE: 1/4" = 1'-0"

SORCE ARCHITECTURE



OUTLOT BUILDING
1500 LINCOLN HWY / IL RTE 38
ST. CHARLES, ILLINOIS

REVISIONS	
NO.	DESCRIPTION
1	REVISED CITY SUBMITTAL
2	REV. CITY SUBMITTAL

PROJECT #	0513
DRAWN BY	KL
CHECKED BY	RPS
START DATE	06.01.2015

SHEET TITLE: OUTLOT ELEVATIONS

SHEET NUMBER: A1

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3f

Title:

Recommendation to approve a Minor Change to PUD Preliminary Plan and Plan Commission recommendation to approve a Final Plat of Subdivision for Doran Scales, Legacy Business Center PUD Lots 8 & 9, 883-884 Enterprise Ct.

Presenter:

Ellen Johnson

Meeting: Planning & Development Committee

Date: February 13, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: ☐**Executive Summary** *(if not budgeted please explain):*

The subject property constitutes Lots 8 and 9 in the Legacy Business Center PUD. Development of the Legacy Business Center was approved under Ordinance No. 2006-Z-3.

Mark Podl of Doran Scales, applicant, is proposing to consolidate Lots 8 and 9 into a single lot. The lot will be developed with a single-story, 33,000 sf building for Doran Scales and another tenant.

A Final Plat of Subdivision has been submitted showing consolidation of Lots 8 and 9. All utility easements and access to the lot off of Enterprise Ct. will remain unchanged.

A Minor Change to PUD Preliminary Plan application has also been submitted requesting changes to the approved site plan, landscape plan, and building elevations. The approved PUD Preliminary Plan shows a building on each of the subject lots. The proposed building has a similar footprint as if the two buildings originally planned were pushed together. The landscape plan is in substantial conformance with the approved landscape plan. The building design is in keeping with the materials and general design of the existing buildings in Legacy.

Staff has provided the applicant with review comments that will need to be addressed prior to City Council action.

Plan Commission Review

Plan Commission reviewed the Final Plat on 2/7/17 and voted 8-0 to recommend approval subject to resolution of outstanding staff comments. Per the Zoning Ordinance, the Minor Change to PUD application does not require Plan Commission review.

Attachments *(please list):*

Plan Commission Resolution, Staff Report, Applications for Minor Change and Final Plat, Plans, Landscape Plan approved under Ordinance No. 2006-Z-3

Recommendation/Suggested Action *(briefly explain):*

Recommendation to approve a Minor Change to PUD Preliminary Plan and Plan Commission recommendation to approve a Final Plat of Subdivision for Doran Scales, Legacy Business Center PUD Lots 8 & 9, 883-884 Enterprise Ct., subject to resolution of outstanding staff comments.

City of St. Charles, Illinois
Plan Commission Resolution No. 2-2017

**A Resolution Recommending Approval of a Final Plat of Subdivision for
Doran Scales, Legacy Business Center Lots 8 and 9, 883-884 Enterprise Ct.**

Passed by Plan Commission on February 7, 2017

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review Final Plats of Subdivision; and

WHEREAS, the Plan Commission has reviewed the Final Plat of Subdivision for Doran Scales, Legacy Business Center Lots 8 and 9, 883-884 Enterprise Ct. received 1/24/2017; and

WHEREAS, the Plan Commission finds the Final Plat of Subdivision to be in conformance with the requirements of Title 16 of the City Code entitled, "Subdivisions and Land Improvement".

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of the Final Plat of Subdivision for Doran Scales, Legacy Business Center Lots 8 and 9, 883-884 Enterprise Ct. received 1/24/2017; contingent upon the resolution of all staff comments prior to City Council action.

Voice Vote:

Ayes: Wallace, Kessler, Holderfield, Schuetz, Frio, Pretz, Spruth, Macklin-Purdy

Nays: Doyle

Absent:

Motion Carried 8-0

PASSED, this 7th day of February 2017.

Chairman
St. Charles Plan Commission

Community & Economic Development
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



Staff Report

TO: Chairman Todd Bancroft
And the Members of the Planning and Development Committee

FROM: Ellen Johnson, Planner

RE: Legacy Business Center Lots 8 & 9 – Final Plat of Subdivision & Minor Change to PUD Preliminary Plan

DATE: February 10, 2017

I. APPLICATION INFORMATION:

Project Name: Legacy Lots 8 & 9 – Doran Scales

Applicant: Mark Podl

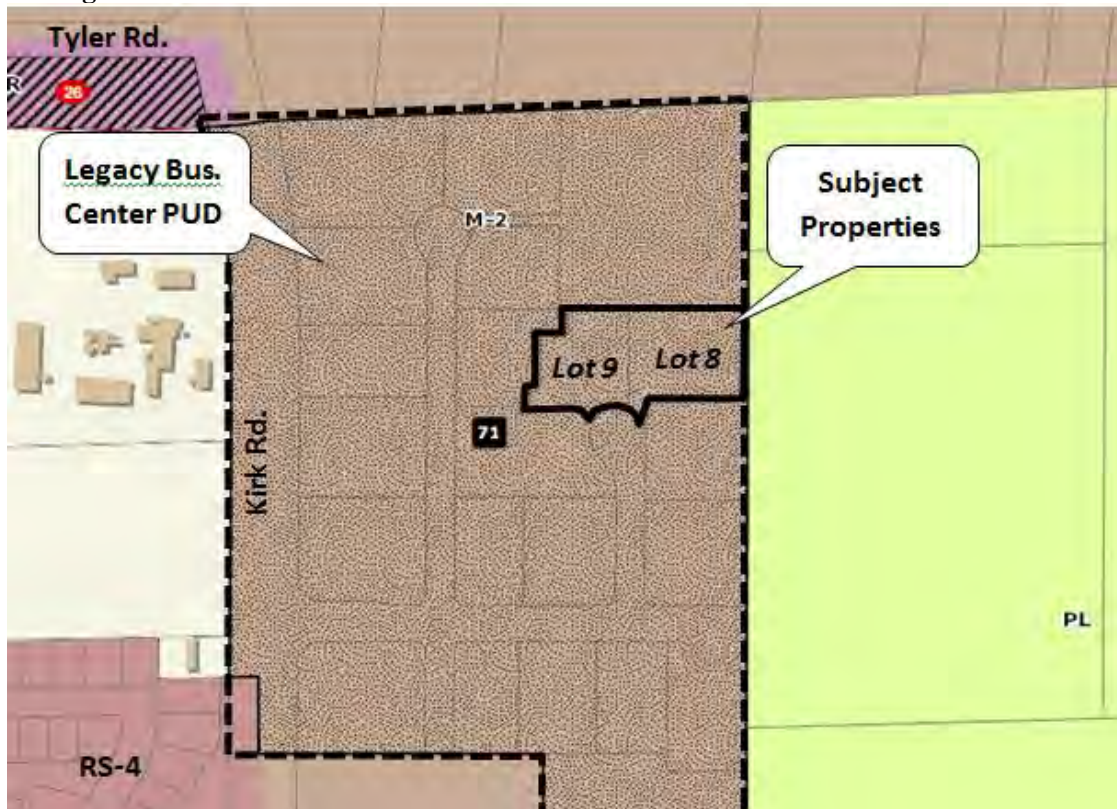
Purpose: Final Plat of Subdivision and Minor Change to PUD Preliminary Plan approval

General Information:		
Site Information		
Location	Legacy Business Center Lots 8 & 9, 883-884 Enterprise Ct.	
Acres	2.233 acres (97,282 sf)	
Applications:	Final Plat of Subdivision (Minor Subdivision) Minor Change to PUD Preliminary Plan	
Applicable City Code Sections and PUD Ordinance	Title 16, Subdivisions and Land Improvement Title 17, Chapter 17.16 Office/Research, Manufacturing and Public Lands Districts Ordinance No. 2006-Z-3 "An Ordinance Amending the Zoning Map and Granting a Special Use as a Planned Unit Development for the Legacy Business Center of St. Charles PUD"	
Existing Conditions		
Land Use	Vacant	
Zoning	M-2 Limited Manufacturing (PUD)	
Zoning Summary		
North	M-2 Limited Manufacturing (PUD)	Vacant
East	PL Public Land	STC Park District East Side Sports Complex
South	M-2 Limited Manufacturing (PUD)	Vacant and industrial building
West	M-2 Limited Manufacturing (PUD)	Industrial building
Comprehensive Plan Designation		
Industrial /Business Park		

Aerial



Zoning



II. OVERVIEW

A. PROPERTY HISTORY

The Legacy Business Center is an industrial park on the east side of Kirk Rd., adjacent to the East Side Sports Complex. Development of the Legacy Business Center was approved in 2006 under Ordinance No. 2006-Z-3 “An Ordinance Amending the Zoning Map and Granting a Special Use as a Planned Unit Development for the Legacy Business Center of St. Charles PUD”. The Final Plat of Subdivision for the Legacy Business Center was also approved in 2006.

The subject property constitutes Lots 8 and 9 in the Legacy Business Center. The approved PUD Preliminary Plan for the property showed a single building on each lot.

B. PROPOSAL

Mark Podl of Doran Scales, a company specializing in the manufacture of industrial scales, is proposing to consolidate Lots 8 and 9 into a single lot. The lot will be developed with a single-story, 33,000 sf building for Doran Scales and another tenant. The building has a similar footprint as if the two buildings originally planned for the subject property were pushed together.

The following Zoning Applications have been submitted in support of this project:

1. **Final Plat (Minor Subdivision)** to consolidate Lots 8 and 9 into a single lot.
2. **Minor Change to PUD** to make changes to the approved PUD Preliminary Plan for the property, including the site plan, landscape plan, and building elevations.

III. ANALYSIS

A. FINAL PLAT

The Final Plat indicates consolidation of Lots 8 and 9 into one lot, proposed Lot 1 (2.233 acres/97,282 sf). All existing utility easements will remain. Access to the lot will also remain unchanged.

Staff has a number of relatively minor comments that will need to be addressed on the Final Plat prior to City Council action:

- a. Sanitary sewer exists along the south property line of Lot 8, however no utility easement exists in this area. A 20 ft. public utility easement should be established over the public portion of the sanitary sewer on the site.
- b. There are two 10 ft. utility easements along the east property line of Lot 8, per the Legacy Business Center plat. Only one of these easements is labeled; label the other with the document number of the Legacy plat.
- c. The access easement provisions on Sheet 2 should be removed since this is a single lot subdivision.
- d. Change the Director of Community Development certificate to, Director of Community and Economic Development.

- e. Add the Mortgagee's certificate.

B. ZONING STANDARDS

A site plan has been provided in support of the Minor Change to PUD application. The proposed site layout is similar to the layout approved for Lots 8 and 9 in the PUD Preliminary Plan, with similar siting of the building, parking areas, and landscape areas. Staff has reviewed the site plan for conformance with the PUD Ordinance and applicable provisions of the underlying M-2 zoning district. The proposal conforms to all zoning requirements.

	Legacy PUD / M-2 District	Proposed Lot 1 (Combined Lots 8 & 9)
Min. Lot Area	None	97,282 sf
Min. Lot Width	None	508 ft.
FAR for PUD	.30 for PUD (Approx. 33,000 sf of building area planned for Lots 8 & 9)	33,000 sf building
Max. Building Height	35 ft.	34'3"
Min. Front Yard	25 ft.	89 ft.
Min. Side Yard	2 ft.	64 ft. (east side) 15 ft. (west side)
Min. Rear Yard	2 ft.	6 ft.
Parking Requirement	1 per 1,000 sf	50 spaces (33 required)

C. LANDSCAPING

The submitted landscape plan is in substantial conformance with the amount and location of plantings as approved on the PUD Preliminary Plan. Staff has provided the applicant with the following comments which will need to be addressed prior to City Council action:

- a. The landscape plan approved for the business park under the Legacy PUD Ordinance shows a row of shade trees along the entire eastern boundary of the development. At least 3 additional shade trees should be added along the east property line. (See comment #2.c above)
- b. Show the location of the freestanding sign, if a sign is planned for the site. Landscaping is needed around the base of the sign, extending out at least 3 ft. on all sides.

D. BUILDING DESIGN

The Legacy PUD Ordinance provides a rendering of the intended design for the industrial buildings in the development. The proposed building materials are similar to the materials used on the existing buildings and the scale and proportions are also in general conformance with the intended building design. Staff has provided the applicant with the following comments which will need to be addressed prior to City Council action:

- a. Note the material of the projections on the south elevation around the front windows.
- b. Note the material of the canopies.
- c. There should be greater variation between the height of the building and the lower portions above the front doors in order to further accentuate the building entrance.
- d. Note the wall colors that will be used. Similar colors as the existing buildings in the business park should be used. The darker buff color used on other buildings in the park should be used around the building entrance.
- e. Show the location of intended wall signs.

In addition, the City is aware that the Legacy owner's association conducts architectural review of new buildings within the development. The association will need to approve the proposed building design.

IV. PLAN COMMISSION RECOMMENDATION

Plan Commission reviewed the Final Plat on 2/7/17 and voted 8-0 to recommend approval subject to resolution of all outstanding staff comments. Per the Zoning Ordinance, the Minor Change to PUD Preliminary Plan application does not require Plan Commission review or recommendation.

V. ATTACHMENTS

- Applications for Final Plat and Minor Change to PUD, received 1/24/17
- Plat of Consolidation (Final Plat); dated 12/8/16
- Plans for Minor Change to PUD
 - Site Plan; dated 1/23/17
 - Landscape Plan; dated 9/28/16
 - Building Elevations; dated 9/12/16
- Landscape Plan approved under Ordinance 2006-Z-3

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

MINOR SUBDIVISION – FINAL PLAT APPLICATION

For City Use

Project Name: Legacy Bus. Center - Lots 8+9
Project Number: 2017 -PR- 002
Application Number: 2017 -AP- 003



Per City Code Section 16.04.04, a Minor Subdivision must meet the following criteria:

1) Compliance with subdivision design standards in the City Code; 2) No more than 4 lots; 3) No public utility extensions or new streets are required to serve the subdivision; 4) no stormwater detention is required to serve the subdivision; 5) all lots meet minimum zoning standards.

Complete this application and submit it with all required attachments to the Planning Division. When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Lots 8 & 9 - Enterprise Court, St. Charles, IL 60174	
	Parcel Number (s): Lot 8 - 09-36-327-006 / Lot 9 - 09-36-327-005	
	Proposed Subdivision Name: Legacy Business Center of St. Charles PUD	
2. Applicant Information:	Name Mark W. Podl	Phone 630-879-1200
	Address 1315 Paramount Parkway Batavia, IL 60510	Fax
		Email MarkP@doranscales.com
3. Record Owner Information:	Name D&M Legacy, LLC	Phone 630-879-1200
	Address 1315 Paramount Parkway Batavia, IL 60510	Fax
		Email MarkP@doranscales.com

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

✓ APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

✓ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

✓ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

✓ PROOF OF OWNERSHIP:

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

✓ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

✓ SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the plat.

□ PARK AND SCHOOL LAND/CASH WORKSHEETS:

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

□ INCLUSIONARY HOUSING SUMMARY:

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

□ COPIES OF THIRD PARTY PERMIT/APPROVALS

- Kane County DOT and/or IDOT signature on Final Plat (if applicable)

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



Record Owner



Date



Date

Applicant or Authorized Agent

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

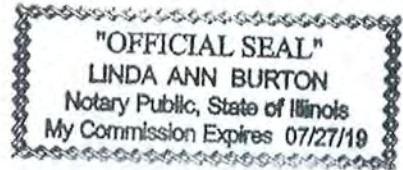
I, Mark Pohl, being first duly sworn on oath depose and say that I am
Manager of D&M Legacy, LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>Mark Pohl</u>	_____
<u>Dave Schwarz</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: M.P., Manager

Subscribed and Sworn before me this 1/5/2017 day of
_____, 20 17.

Linda Ann Burton
Notary Public



CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

MINOR CHANGE TO PUD APPLICATION

For City Use

Project Name: Legacy Bus. Center - Lots 8 & 9
Project Number: 2017 -PR- 002
Application No. 2017 -AP- 002



Instructions:

A Minor Change to PUD is one that modifies an approved PUD Preliminary Plan in a manner that complies with all standards of the Special Use for PUD Ordinance applicable to the property and meets the definition of a Minor Change as contained either in Section 17.04.430 of the Zoning Ordinance or the Special Use for PUD Ordinance.

To request approval of a Minor Change, complete this application and submit it with all required attachments to the Planning Division. When the application is complete, City staff will schedule a review by the Planning and Development Committee of the City Council. The Committee's recommendation will be forwarded to the City Council for final action.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Lots 8 & 9 - Exchange Court, St. Charles, IL 60174	
	Parcel Number (s): Lot 8 - 09-36-327-006 / Lot 9 - 09-36-327-005	
	PUD Name: Legacy Business Center of St. Charles PUD	
2. Applicant Information:	Name Mark W. Podl	Phone 630-879-1200
	Address 1315 Paramount Parkway Batavia, IL 60510	Fax
		Email MarkP@doranscales.com
3. Record Owner Information:	Name D&M Legacy, LLC	Phone 630-879-1200
	Address 1315 Paramount Parkway Batavia, IL 60510	Fax
		Email MarkP@doranscales.com

Information for proposed Minor Change:

Name of PUD: Legacy Business Center of St. Charles PUD

PUD Ordinance Number: Ordinance No. 2006-Z-3

Ord. or Resolution(s) that approved the current plans: Ordinance No. 2006-Z-3

Identify Specific PUD Plans to be changed:

- ☒ Site/Engineering Plan
- ☒ Landscape Plan
- ☒ Architectural Elevations
- ☐ Signs
- ☐ Other plans: _____

Description of Proposed Changes:

Construction of a single two tenant building over existing Lots 8 and Lots 9 of Legacy Business Center.

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$200)

☒ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	<u>\$2,000</u>	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

✓ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

✓ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

✓ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

✓ **COVER LETTER:** Letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.

✓ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Please contact the Planning Division to determine if full size copies of plans are needed. For simple applications, provide one full scale plan set, three (3) 11" x 17" copies (in color if applicable), and a PDF file on CD-ROM or emailed to the Project Manager.

Plans shall include the following, depending on the scope of the proposed Minor Change:

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner

Date

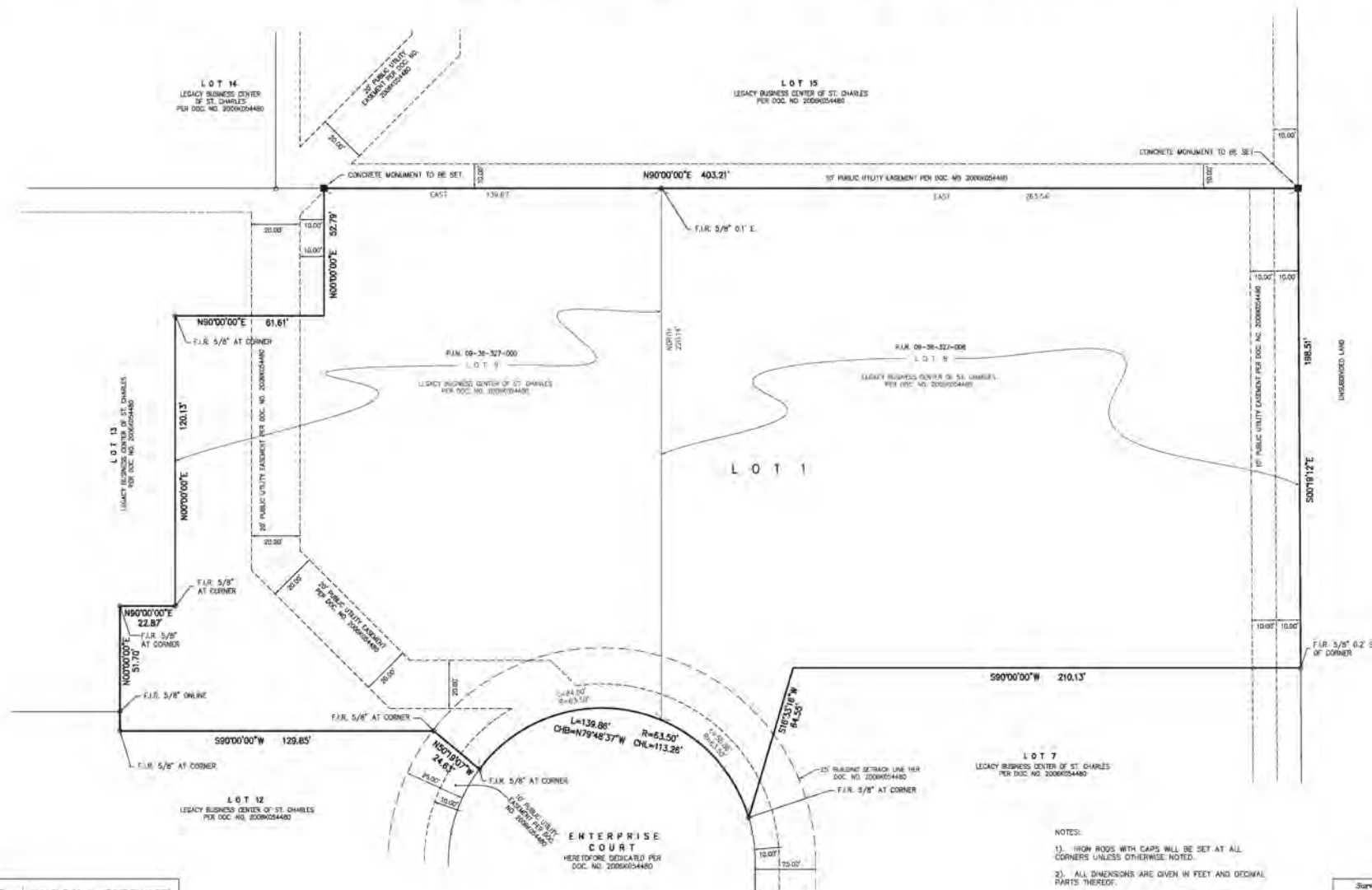
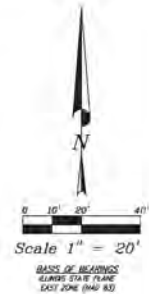
Applicant or Authorized Agent

Date

P.L.N. NUMBERS:
08-36-327-006 (FOR UNDERLYING LOT 8)
09-36-327-005 (FOR UNDERLYING LOT 9)

DORAN SCALES - PLAT OF CONSOLIDATION

BEING A RESUBDIVISION OF LOTS 8 AND 9 OF THE LEGACY BUSINESS CENTER OF ST. CHARLES SUBDIVISION, PART OF THE SOUTHWEST AND NORTHWEST QUARTERS OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED MAY 18, 2006 AS DOCUMENT NUMBER 2006K054480.



- NOTES:
- 1). HIGH RODS WITH CAPS WILL BE SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 - 2). ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
 - 3). LAND AREA OF LOT 1 = 97,282 SQUARE FEET OR 2.233 ACRES MORE OR LESS.



Survey No.	D024g
Ordered By:	DOAN SCALES
Description:	PLAT OF CONSOLIDATION
Date Prepared:	DECEMBER 6, 2016
Scale:	1" = 20'
Drawn By:	NEV/JB

SHEET 1 OF 2

PLAN NUMBERS:
09-36-327-006 (FOR UNDERLYING LOT 8)
09-36-327-005 (FOR UNDERLYING LOT 9)

DORAN SCALES - PLAT OF CONSOLIDATION

BEING A RESUBDIVISION OF LOTS 8 AND 9 OF THE LEGACY BUSINESS CENTER OF ST. CHARLES SUBDIVISION, PART OF THE SOUTHWEST AND NORTHWEST QUARTERS OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED MAY 18, 2006 AS DOCUMENT NUMBER 2006K0544480.

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT AND HAS CAUSED THE SAME TO BE SURVEYED, RESUBDIVIDED, PLATTED, AND RECORDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

PURSUANT TO SECTION 1.005 OF THE PLAT ACT, 765 ILCS 205, THIS DOCUMENT SHALL SERVE AS THE NOTARIZED STATEMENT CONCERNING THE SCHOOL DISTRICT STATEMENT TO BE SUBMITTED SIMULTANEOUSLY WITH THE FINAL PLAT OF RESUBDIVISION DORAN SCALES, IN KANE COUNTY, ILLINOIS.

TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT(S) IN WHICH THE TRACT OF LAND LIES, IS IN THE FOLLOWING DISTRICT(S):

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

DATED THIS ____ DAY OF ____, 201__.

OWNER ADDRESS:

BY: _____

BY: _____

NOTARY CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ OF _____ CORPORATION,

AND _____ OF SAID CORPORATION, PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSIGNED TO THE FOREGOING INSTRUMENT AS SUCH _____ AND _____

IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION FOR THE USES AND PURPOSES THEREIN SET FORTH, AND CAUSED THE CORPORATE SEAL OF SAID CORPORATION TO BE AFFIXED THEREON AS THEIR OWN FREE AND VOLUNTARY ACT, AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION FOR THE USES AND PURPOSES SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF ____, 201__.

BY: _____ NOTARY PUBLIC _____ COMMISSION EXPIRES _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

APPROVED THIS ____ DAY OF ____, 201__ A.D.

CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

APPROVED AND ADOPTED THIS ____ DAY OF ____, A.D. 201__.

CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS.

BY: _____ MAYOR

ATTEST: _____ CITY CLERK

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT THE CITY OF ST. CHARLES, THIS ____ DAY OF ____, A.D. 201__.

BY: _____ COLLECTOR OF SPECIAL ASSESSMENTS

DIRECTOR OF COMMUNITY DEVELOPMENT

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, _____ DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DATED AT THE CITY OF ST. CHARLES.

THIS ____ DAY OF ____, A.D. 201__.

DIRECTOR OF COMMUNITY DEVELOPMENT

CERTIFICATE OF COUNTY CLERK

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, _____ COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT TAXES, NO UNPAID FORFEITED TAXES, NO UNPAID CURRENT GENERAL TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS.

THIS ____ DAY OF ____, IN THE YEAR 201__ A.D.

BY: _____ COUNTY CLERK

ACCESS EASEMENT PROVISIONS

A NON-EXCLUSIVE PERMANENT ACCESS EASEMENT IS HEREBY GRANTED AND RESERVED FOR THE BENEFIT AND USE OF LOT 2 HEREON OVER, UPON AND ACROSS THAT AREA SHOWN ON LOT 1 FOR ACCESS BY VEHICULAR AND PEDESTRIAN TRAFFIC TO AND FROM LOT 2 AND 3C, ADJOINING RIGHT OF WAY FOR ENTERPRISE COURT.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT I, TIMOTHY D. WOLFE, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003535, HAVE SURVEYED AND RESUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOTS 8 AND 9 OF THE LEGACY BUSINESS CENTER OF ST. CHARLES SUBDIVISION, PART OF THE SOUTHWEST AND NORTHWEST QUARTERS OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED MAY 18, 2006 AS DOCUMENT NUMBER 2006K0544480.

DIVIDING THE SAME INTO LOTS AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND RESUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

ACCORDING TO A SCALED INTERPRETATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 14-03030 (HAVING A MAP NUMBER OF 17080C0270) FOR KANE COUNTY, ILLINOIS, AND INCORPORATED AREAS, THE SUBJECT TRACT FALLS WITHIN PANEL NUMBER 17080C0270. ACCORDING TO THIS MAP INDEX SHEET WHICH HAS A MAP REVISION DATE OF JULY 17, 2012, PANEL NUMBER 17080C0270 WAS NOT PROVIDED, NO SPECIAL FLOOD HAZARD AREAS EXIST.

GIVEN UNDER MY HAND AND SEAL AT DOWNERS GROVE, ILLINOIS, THIS 8TH DAY OF DECEMBER, 2019.

TIMOTHY D. WOLFE
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003535
JACOB & HEFNER ASSOCIATES, INC.
MY LICENSE EXPIRES NOVEMBER 30, 2018

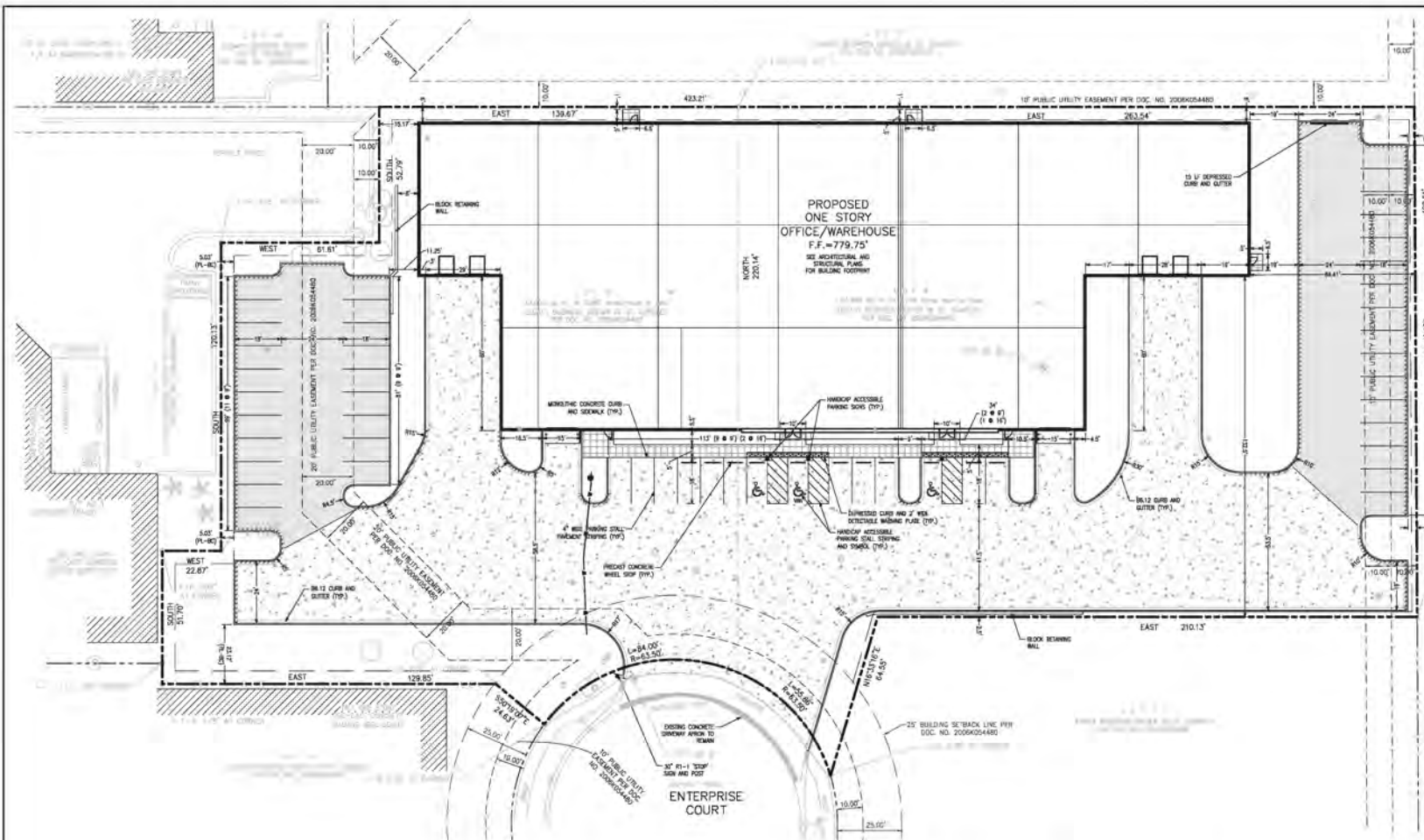


Survey No.:	D024g
Ordered By:	DORAN SCALES
Description:	PLAT OF CONSOLIDATION
Date Prepared:	DECEMBER 6, 2016
Scale:	1" = 20'
Drawn By:	NEB/JS

SHEET 2 OF 2



RETURN RECORDED MYLAR TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174



PAVEMENT HATCH LEGEND:

	ASPHALT PAVEMENT
	2" HMA SURFACE COURSE, MIX D, NSD
	2-1/4" HMA BINDER COURSE, R, 19.5, NSD
	8" CA-6 CRUSHED STONE
	COMPACTED SUBGRADE, 90% MODIFIED PROCTOR
	HEAVY DUTY CONCRETE PAVEMENT
	7" PORTLAND CEMENT CONCRETE
	4000 PSI, A/C
	5" CA-6 CRUSHED STONE
	COMPACTED SUBGRADE, 90% MODIFIED PROCTOR
	CONCRETE SIDEWALK
	5" PORTLAND CEMENT CONCRETE
	4000 PSI, A/C
	4" CA-6 CRUSHED STONE
	COMPACTED SUBGRADE, 90% MODIFIED PROCTOR

CURB LEGEND:

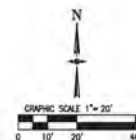
	6x12 CURB AND GUTTER
	INVERSE PITCH 6x12 CURB AND GUTTER
	DEPRESSED CURB AND GUTTER

GEOMETRIC NOTES:

- ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB OR OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB RADIUS ARE 4' UNLESS OTHERWISE NOTED.
- ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLAN FOR PROPOSED TREE AND PLANTING REQUIREMENTS.

SITE PARKING SUMMARY TABLE:

TOTAL PARKING PROVIDED:	50 STALLS
STANDARD PARKING:	47 STALLS
HANDICAP ACCESSIBLE PARKING:	3 STALLS



SITE PLAN

DORAN SCALES

LEGACY BUSINESS CENTER LOTS 8 & 9

ST. CHARLES, ILLINOIS

JACOB & HEFFNER
ASSOCIATES

1919 S. Highland Avenue, Suite 200, Lombard, IL 60148
PH: (630) 261-1100, FAX: (630) 261-1101
www.jacobandheffner.com



D524q

1"=20'

SP1

No.	Description	Date
1	Minor PUD Amendment	1/23/17



PERFORATED PLANTING DETAIL

CONTROLLING TREE MAINTENANCE

- [illegible]

PREMIUM BLUEGRASS MIX 4-5 LBS PER 1,000 SQ. FT.
20% MIDNIGHT KENTUCKY BLUEGRASS
20% DENIM KENTUCKY BLUEGRASS
20% LANGARA KENTUCKY BLUEGRASS
20% BLUESTAR KENTUCKY BLUEGRASS
10% PRIZM PERENNIAL RYEGRASS
10% SUNSHINE PERENNIAL RYEGRASS

DORAN SCALES
LEGACY BUSINESS CENTER, LOTS 8 &
ST. CHARLES, ILLINOIS

Date 09.28.16

Scale 1/8"=1'

3000	
------	--

5744

L-2.0

1

Dowden Landscape Design
P.O. Box 415, Libertyville, IL 60048
Phone: (847) 352-1254
Email: doudennassoc@tbcglobal.net

LANDSCAPE PLAN

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3g

Title:

Plan Commission recommendation to approve a Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing

Presenter:

Ellen Johnson

Meeting: Planning & Development Committee

Date: February 13, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: ☐**Executive Summary** *(if not budgeted please explain):*

The subject property is Lot 7 of the Pheasant Run Crossing subdivision, located north of E. Main St. at Pheasant Run Drive. The property is a vacant, 10.96 acre parcel directly west of Hilton Garden Inn.

A Map Amendment to rezone the southern portion of the property to the O/R Office/Research District for a Silverado Senior Living facility and a Preliminary Plat of Subdivision showing division of the property into two lots were approved last summer under Ordinance No. 2016-Z-16.

Perry Devlin of Silverado Senior Living has applied for Final Plat of Subdivision approval. Lot 7 will be subdivided into two lots:

- Lot 7A (3.998 acres) for Silverado, directly west of Hilton Garden Inn.
- Lot 7B (6.963 acres) for future development, behind Lot 7A with a 50 ft. wide portion reaching south to the private drive.
- A single access point off the private drive will provide access to both lots, with a cross access easement over Lot 7A and Lot 7B for their mutual benefit.

The Final Plat is in substantial conformance with the approved Preliminary Plat. Staff has provided the applicant with review comments that will need to be addressed prior to City Council action.

Plan Commission Review

Plan Commission reviewed the Final Plat on 2/7/17 and voted 8-0 to recommend approval subject to resolution of outstanding staff comments.

Attachments *(please list):*

Plan Commission Resolution, Staff Report, Application for Final Plat, Final Plat & Engineering Plans

Recommendation/Suggested Action *(briefly explain):*

Plan Commission recommendation to approve a Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing, subject to resolution of outstanding staff comments.

City of St. Charles, Illinois
Plan Commission Resolution No. 3-2017

**A Resolution Recommending Approval of a Final Plat of Subdivision for
Silverado Senior Living, Lot 7 Pheasant Run Crossing**

Passed by Plan Commission on February 7, 2017

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review Final Plats of Subdivision; and

WHEREAS, the Plan Commission has reviewed the Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing received 1/26/2017; and

WHEREAS, the Plan Commission finds the Final Plat of Subdivision to be in conformance with the requirements of Title 16 of the City Code entitled, "Subdivisions and Land Improvement".

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of the Final Plat of Subdivision for Silverado Senior Living, Lot 7 Pheasant Run Crossing received 1/26/2017; contingent upon the resolution of all staff comments prior to City Council action.

Voice Vote:

Ayes: Wallace, Kessler, Holderfield, Schuetz, Frio, Pretz, Spruth, Macklin-Purdy

Nays: Doyle

Absent:

Motion Carried 8-0

PASSED, this 7th day of February 2017.

Chairman
St. Charles Plan Commission

Community & Economic Development
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



Staff Report

TO: Chairman Todd Bancroft
And the Members of the Planning and Development Committee

FROM: Ellen Johnson, Planner

RE: Silverado Senior Living, Lot 7 Pheasant Run Crossing

DATE: February 10, 2017

I. APPLICATION INFORMATION:

Project Name: Silverado – Pheasant Run Crossing

Applicant: Perry Devlin, Silverado

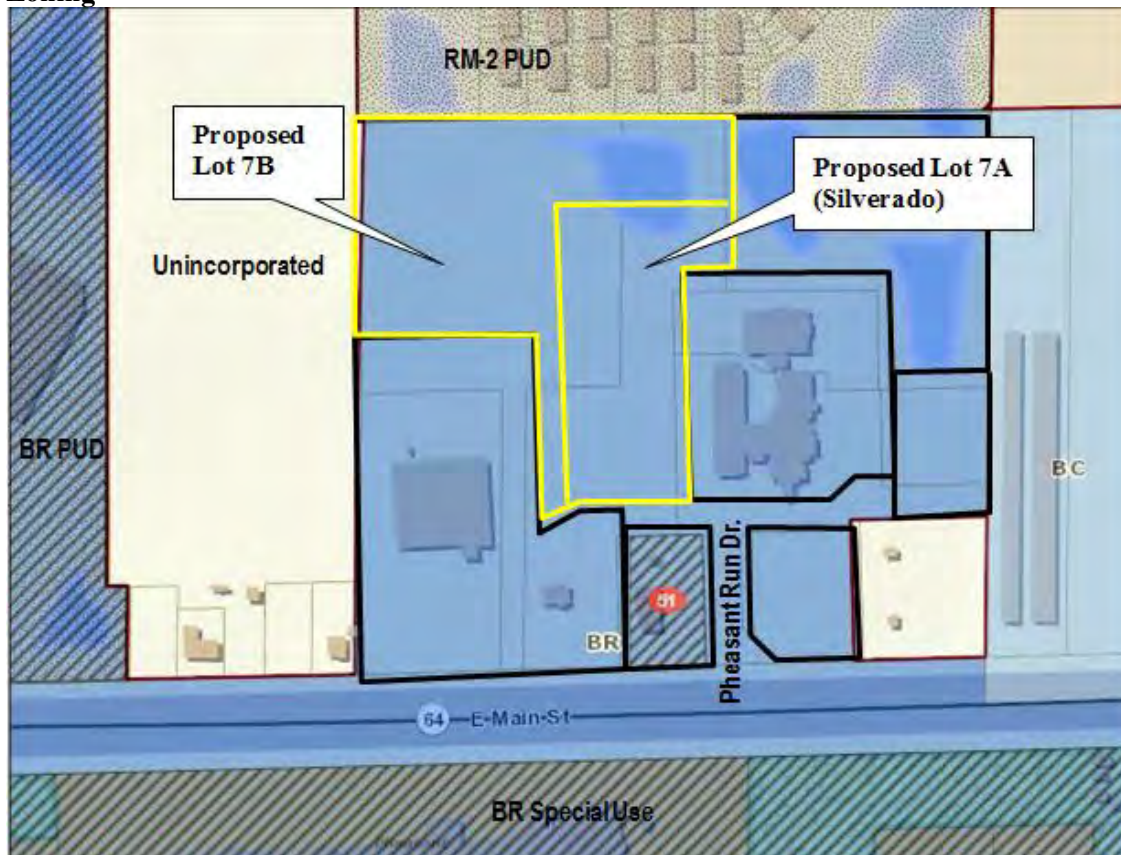
Purpose: Final Plat of Subdivision approval

General Information:		
Site Information		
Location	Lot 7 Pheasant Run Crossing, east of Volkswagen Dealership and west of Hilton Garden Inn	
Acres	10.96 acres (477,475 sf)	
Applications:	Final Plat of Subdivision	
Applicable City Code Sections	Title 17, Chapter 17.16 Office/Research, Manufacturing and Public Lands Districts Title 16 Subdivisions and Land Improvement	
Existing Conditions		
Land Use	Vacant	
Zoning	O/R Office/Research (proposed Lot 7A); BR Regional Business (proposed Lot 7B)	
Zoning Summary		
North	RM-2 Medium Density Multi-Family Residential (PUD)	Pheasant Run Crossing townhomes
East	BR Regional Business District	Hilton Garden Inn
South	BR Regional Business District	Vacant, Culver's
West	BR Regional Business District	Volkswagen Dealership
Comprehensive Plan Designation		
Corridor/Regional Commercial		

Aerial



Zoning



II. BACKGROUND

A. PROPERTY HISTORY

The subject property is part of a group of commercial properties located north of E. Main St. at Pheasant Run Drive. These properties were originally annexed into the City in the 1960s as part of the Pheasant Run Resort.

In July 2015 the City approved a Final Plat of Subdivision for Pheasant Run Crossing, which consolidated and resubdivided the properties into a single subdivision with shared access. New lots were created for the existing buildings including Culver's, the former DuPage Expo Center (now Fox Valley Volkswagen), and Hilton Garden Inn. New building lots for future development were also created. Lot 7, a 10.96 acre parcel, was created directly west of Hilton Garden Inn.

In August 2016, a Map Amendment rezoning the southern portion of Lot 7 to the O/R Office/Research District to accommodate a Silverado Senior Living facility was approved, along with a Preliminary Plat of Subdivision showing division of the property into two lots; one for Silverado and one for a future development. The Map Amendment and Preliminary Plat were approved under Ordinance No. 2016-Z-16, "An Ordinance Granting Approval of a Map Amendment and Preliminary Plat of Subdivision for Lot 7 Pheasant Run Crossing (Silverado Senior Living)".

B. PROPOSAL

Perry Devlin of Silverado Senior Living has applied for Final Plat of Subdivision approval. Lot 7 will be subdivided into two lots:

- Lot 7A (3.998 acres) for Silverado, directly west of Hilton Garden Inn.
- Lot 7B (6.963 acres) for future development, behind Lot 7A with a 50 ft. wide portion reaching south to the private drive.
- A single access point off the private drive will provide access to both lots, with a cross access easement over Lot 7A and Lot 7B for their mutual benefit.

Final Engineering plans have been submitted as required for the Final Plat of Subdivision application.

III. ANALYSIS

A. FINAL PLAT

A Final Plat of Subdivision has been submitted showing division of Lot 7 of Pheasant Run Crossing into two lots. Lot 7A (174,161 sf / 3.998 acres) will encompass the Silverado development and Lot 7B (303,314 sf / 6.963 acres) will remain available for future development.

The Plat is conformance with the Preliminary Plat of Subdivision approved under Ordinance No. 2016-Z-16. The following review comments which are relatively minor have been provided to the applicant and will need to be addressed prior to City Council action:

- a. The legal description under the title should reference that this is a resubdivision of Lot 7 in Pheasant Run Crossing.
- b. The notes listed on Sheet 2 should reference Sheet 3, not Sheet 4.
- c. The sidewalk easement should not be granted to the City; it will be a privately owned and maintained sidewalk. The easement should be granted for the benefit of Lot 7B so pedestrians can cross Lot 7A. As such, it is suggested to extend the easement over the existing sidewalk along the Lot 7A frontage.
- d. The County Clerk certificate should state County of DuPage instead of Kane.
- e. The Certificate as to Special Assessments certificate should state County of DuPage instead of Kane.

B. ZONING STANDARDS

A site plan has been submitted for Lot 7A (Silverado) as part of the engineering plans required for the Final Plat of Subdivision. The table below compares the bulk requirements of the O/R district with the site plan. The proposal conforms to all zoning requirements.

	O-R District	Proposed Lot 7A (Silverado)
Min. Lot Area	20,000 sf	174,161 sf
Min. Lot Width	100 ft.	271 ft.
Max. Building Coverage	50%	25%
Max. Building Height	60 ft.	TBD
Building Setbacks:		
<i>Front</i>	30 ft.	130 ft. (to canopy)
<i>Interior Side</i>	10 ft.	21 ft. (east side) 10 ft. (west side)
<i>Rear</i>	30 ft.	40 ft.
Parking Setbacks:		
<i>Front</i>	30 ft.	31 ft.
<i>Interior Side</i>	0 ft.	10 ft. (east side) 4 ft. (west side)
<i>Rear</i>	0 ft.	5 ft.
Landscape Buffer Yard	30 ft. along lot line abutting residential zoning	Not required
Parking Requirement	0.25 spaces per unit	77 spaces (23 required)
Parking Stall Dimensions	9 x 18 ft. (9 x 16 with 2 ft. overhang where stalls abut green space)	9 x 18.5 ft.

Lot 7B is zoned BR Regional Business District. Future development will need to conform to the bulk requirements applicable to BR district. The lot meets the basic requirements of the BR district, as shown in the table below:

	BR District	Proposed Lot 2
Min. Lot Area	1 acre	6.96 acres
Min. Lot Width	None	50 ft.

C. LANDSCAPE PLAN

A landscape plan has been submitted for the Silverado lot (Lot 7A). The table below compares the plan to the requirements of Ch. 17.26 Landscaping and Screening. The plan is deficient in two areas.

Category	Zoning Ordinance Standard	Proposed (Lot 7A, Silverado)
Overall Landscape Area	15%	40.4%
Interior Parking Lot Landscape Area	10%	13.2%
Building Foundation Landscaping		
<i>Front wall (public entrance)</i>	75% of wall length	85%
<i>Remaining walls</i>	50% of wall length	69%
<i>Width of planting beds</i>	8 ft.	8 ft.
<i>Foundation trees</i>	2 trees per 50 ft. of wall	11 trees (44 trees required)
Interior Parking Lot Shade Trees	# of required trees = area of required interior parking lot landscaping / 160	17 trees (25 trees required)

The following landscape plan review comments have been provided to the applicant and will need to be addressed prior to City Council action:

- Along the building foundation, a total of 2 trees are required per 50 lineal feet of building wall. A total of 44 trees are required, and only 11 are provided. An additional 33 trees are required.
- A total of 25 shade trees are required within the interior of the parking lot; only 17 trees are provided. This number includes trees around the parking lot. An additional 8 shade trees are required within or directly around the parking lot.
- The trees shown along the west property line that are identified as to be planted in the future are in conflict with the utility easement. Per the easement provisions, trees are not permitted within the easement. In addition, landscaping has already been installed on the Volkswagen lot along the common property line with Lot 7A.
- The retaining wall at the rear of the Silverado lot is over 4 ft. in height. Retaining walls over 4 ft. in height require a terrace or stepping back of the wall to allow for a planting area. The terrace shall be between 1/3 and 1/2 of the total retaining wall height, as measured from the base of the wall. The planting area shall be no less than 2 ft. in width and shall be planted with a combination of turf, shrubs and perennials. These planting areas should be added to the landscape plan.

D. BUILDING DESIGN

Building elevations will be reviewed at the time of building permit. The building will be subject to the Design Review requirements of Section 17.06.030 Standards and Guidelines – BL, BC, BR, and O/R Districts.

E. ENGINEERING REVIEW

Final Engineering plans have been submitted as required for Final Plat approval. Engineering review is ongoing. The applicant will be provided with detailed engineering review comments following that review.

IV. PLAN COMMISSION RECOMMENDATION

Plan Commission reviewed the Final Plat on 2/7/17 and voted 8-0 to recommend approval subject to resolution of all outstanding staff comments.

V. ATTACHMENTS

- Application for Final Plat; received 1/26/17
- Final Plat of Subdivision; dated 1/13/17
- Engineering Plans; dated 1/23/17

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

FINAL PLAT OF SUBDIVISION APPLICATION

For City Use

Project Name: Silverado St. Charles

Project Number: 2016 -PR- 008

Application Number: 2017 -AP- 004



To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.

When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Part of Lot 7, Pheasant Run Subdivision	
	Parcel Number (s): Part of 01-30-102-037	
	Proposed Subdivision Name: Silverado St. Charles	
2. Applicant Information:	Name: Perry Devlin	Phone: 949-930-3050
	Address: 6400 Oak Canyon, Suite 200 Irvine, Ca 92618	Fax: 949- 240-7270
		Email: pjdevlin@silveradocare.com
3. Record Owner Information:	Name: Silverado St. Charles, LLC	Phone: 939-930-3050
	Address: 6400 Oak Canyon, Suite 200 Irvine, Ca. 92618	Fax: 949-240-7270
		Email: pjdevlin@silveradocare.com

Please check the type of application:

☒ **Subdivision:**

- ☒ Preliminary Subdivision Plat was previously approved by the City
☐ Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)

☐ **Planned Unit Development (PUD):**

- ☐ PUD Preliminary Plan was previously approved by the City
☐ Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
☐ PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ **APPLICATION FEE:**

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

☒ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ **PROOF OF OWNERSHIP and DISCLOSURE:**

Submit one of the following:

- a) A current title policy report; or
b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

✕ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

✕ SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the plat.

✕ FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

✕ ENGINEER's COST ESTIMATE SPREADSHEET:

See attached form.

✕ STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)

✕ STORMWATER REPORT

❑ FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

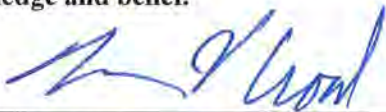
A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.

❑ COPIES OF THIRD PARTY PERMIT/APPROVALS

- Illinois EPA Water Pollution Control Permit for sanitary sewer extension

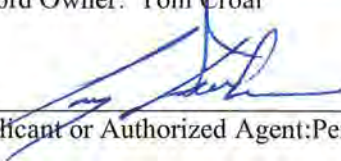
- Illinois EPA Division of Public Water Supplies Permit for water mains
 - Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
 - IDNR Office of Water Resources Permit (for work in flood plain)
 - Wetlands Permit from Army Corps of Engineers
 - Kane County DOT and/or IDOT signature on Final Plat (if applicable)
 - Offsite easements and right of way necessary to construct the required Land Improvements
- ☐ **PARK AND SCHOOL LAND/CASH WORKSHEETS:** For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.
- ☐ **INCLUSIONARY HOUSING SUMMARY:** For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



Record Owner: Tom Croal

January 20, 2017
Date



Applicant or Authorized Agent: Perry Devlin

January 20, 2017
Date

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Thomas V. Croal, being first duly sworn on oath depose and say that I am
Manager of _____, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

Silverado Senior Living Holdings, Inc. 100%

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this _____ day of
_____, 20 _____.

See attached

Notary Public

FINAL PLAT OF SUBDIVISION OF SILVERADO OF ST. CHARLES

BEING A PART OF SECTION NORTHWEST QUARTER OF
SECTION 30, TOWNSHIP 40 NORTH,
RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN DUPAGE COUNTY, ILLINOIS.

SHEET 1 OF 3



VICINITY MAP

SITE LOCATION

PLEASE RETURN THE RECORDED MEASUREMENT TO:
CITY OF ST. CHARLES
110 MAIN STREET
ST. CHARLES, IL 60174

TOTAL AREA OF SUBDIVISION

10.961 ACRES
(MORE OR LESS)

PARCEL INDEX NUMBER

01-30-102-037
ST. CHARLES, ILLINOIS



50 25 0 50
SCALE: 1 INCH = 50 FEET

AREA TABLE

LOT 2A: 174,161± SQ. FT. (3.998± ACRES)
LOT 7B: 303,314± SQ. FT. (6.963± ACRES)

NOTES

3/4" HIGH IRON PIPE OR OTHER PERMANENT SURVEY MARKS SET AT ALL LOT CORNERS AND POINTS OF CURVATURE UNLESS OTHERWISE NOTED.
ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL FRACTIONS THEREOF.
DIMENSIONS SHOWN ALONG CURVES ARE ARC DISTANCES.
ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED (SEE SHEET 2).
P.U. & D.E. - INDICATES PUBLIC UTILITY AND DRAINAGE EASEMENT HEREBY GRANTED. SEE SHEET 2 FOR DETAILS AND SHEET 3 FOR EASEMENT PROVISIONS.
P.U.E. - INDICATES PUBLIC UTILITY EASEMENT HEREBY GRANTED. SEE SHEET 2 FOR DETAILS AND SHEET 3 FOR EASEMENT PROVISIONS.
S.E. - INDICATES PUBLIC SEWER EASEMENT HEREBY GRANTED. SEE SHEET 2 FOR DETAILS AND SHEET 3 FOR EASEMENT PROVISIONS.
THE BEARINGS SHOWN ARE BASED ON THE RECORD SUBDIVISION PLAT REFERENCED ON THIS PLAT HEREIN.
F.L.P. = FOUND IRON PIPE (N AS SHOWN)

LEGEND

- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
- LOT LINE/PROPERTY LINE (Thin Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE (Dashed Line)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Line)
- EXISTING EASEMENT LINE (Dotted & Dashed Line)
- NET CONCRETE MONUMENT



NORTH AVENUE

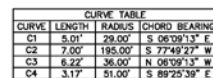
PREPARED FOR:
SILVERADO ST. CHARLES
2400 DAY CAMPION DRIVE, SUITE 200
ST. CHARLES, IL 60174
(708) 930-3050



CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Drive, Suite 100, Aurora, Illinois
60002-9675 Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com
DISC NO.: 800002 FILE NAME: SUBPLAT
DRAWN BY: A/B FLD. BK. / PG. NO.: 767
COMPLETION DATE: 01-13-17 JOB NO.: 800.002

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PERMANENT ACCESS EASEMENT
R2016-125428

LOT 7B

LOT 7A

L=18.72

SOUTHWEST CORNER
OF LOT 7A

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OWNER'S & SCHOOL DISTRICT CERTIFICATE - LOT 7A

STATE OF) S.S.
COUNTY OF)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

BY: SILVERADO ST. CHARLES, LLC A DELAWARE LIMITED LIABILITY COMPANY

ADDRESS: 5400 OAK CANYON DRIVE
SUITE #200
IRVINE CALIFORNIA

DATED THIS _____ DAY OF _____ A.D. 20____

(SIGNATURE)

(TITLE)

NOTARY CERTIFICATE

STATE OF) S.S.
COUNTY OF)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____ A.D. 20____ AT _____ ILLINOIS.

NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE - LOT 7A

STATE OF) S.S.
COUNTY OF)

THIS IS TO CERTIFY THAT DMH-DAYTON, INC., AS MORTGAGEE UNDER THE MORTGAGE DATED NOVEMBER 8, 2016 AND RECORDED ON NOVEMBER 15, 2016 AS DOCUMENT NUMBER R2016-126430, HEREBY CONSENTS TO RECORDING OF THE PLAT AS HEREON SHOWN.

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____ A.D. 20____

BY: _____ ATTEST: _____

TITLE: _____ TITLE: _____

STATE OF) S.S.
COUNTY OF)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____ A.D. 20____ AT _____ ILLINOIS.

NOTARY PUBLIC

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY & ECONOMIC DEVELOPMENT, CITY OF ST. CHARLES

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____ A.D. 20____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____ A.D. 20____

CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED THIS _____ DAY OF _____ A.D. 20____

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS

MAYOR

ATTEST: CITY CLERK

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT I, PETER A. BLAESER, ILLINOIS LAND SURVEYOR NO. 3072, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 7 IN PHEASANT RUN CROSSING, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF LOT 1 (ACCORDING TO THE GOVERNMENT SURVEY) OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 19, 2015 AS DOCUMENT R2015-092580, IN DU PAGE COUNTY, ILLINOIS.

FURTHER, THIS PLAT HAS BEEN PREPARED BY AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND THAT THE PLAT HEREON DRAWS IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION.

IT IS FURTHER CERTIFIED THAT THE PROPERTY SHOWN HEREON LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF ST. CHARLES, WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

IT IS FURTHER CERTIFIED THAT, TO THE BEST OF OUR KNOWLEDGE, ALL REGULATIONS ENACTED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____ ILLINOIS, THIS _____ DAY OF _____ A.D. 2017.

PETER A. BLAESER
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2018
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2017

OWNER'S & SCHOOL DISTRICT CERTIFICATE - LOT 7B

STATE OF) S.S.
COUNTY OF)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

BY: AMERICAN LODGING CORP., A DELAWARE LIMITED LIABILITY COMPANY

ADDRESS: _____

DATED THIS _____ DAY OF _____ A.D. 20____

(SIGNATURE)

(TITLE)

NOTARY CERTIFICATE

STATE OF) S.S.
COUNTY OF)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____ A.D. 20____ AT _____ ILLINOIS.

NOTARY PUBLIC

MORTGAGEE'S CERTIFICATE - LOT 7B

STATE OF) S.S.
COUNTY OF)

THIS IS TO CERTIFY THAT THE PRIVATE BANK & TRUST COMPANY, AS MORTGAGEE UNDER THE MORTGAGE RECORDED DATED JANUARY 29, 2015 AND RECORDED ON FEBRUARY 24, 2015 AS DOCUMENT NUMBER R2015-017244, HEREBY CONSENTS TO RECORDING OF THE PLAT AS HEREON SHOWN.

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____ A.D. 20____

BY: _____ ATTEST: _____

TITLE: _____ TITLE: _____

STATE OF) S.S.
COUNTY OF)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____ A.D. 20____ AT _____ ILLINOIS.

NOTARY PUBLIC

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____ A.D. 20____

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT _____ ILLINOIS, THIS _____ DAY OF _____ A.D. 20____

COUNTY CLERK

DU PAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF DU PAGE)

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS, ON _____ DAY OF _____ A.D. _____ AT _____ O'CLOCK _____ M.

RECORDER OF DEEDS

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE CITY OF ST. CHARLES, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 17043C0107H DATED DECEMBER 16, 2004.

PETER A. BLAESER
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2018
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2017

SHEET 3 OF 3

PUBLIC UTILITY EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS COLLECTIVELY REFERRED TO AS "GRANTEES", IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, THE RIGHT IS ALSO HEREBY GRANTED TO SAID GRANTEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS. IN THE EVENT UTILITY MAINTENANCE IS PERFORMED WITHIN THE UTILITY EASEMENT, THE CITY OF ST. CHARLES WILL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, PAVING, FENCES, SIDEWALKS, CURBS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS, UTILITY INSTALLATIONS, OTHER THAN THOSE MANDED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE, UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERNING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS, UTILITY INSTALLATIONS, OTHER THAN THOSE MANDED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEES IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEES SHALL HAVE NO OBLIGATION TO RESTORE TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PUBLIC SIDEWALK EASEMENT PROVISIONS

A PERMANENT PUBLIC SIDEWALK EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES, ITS SUCCESSORS AND ASSIGNS OVER THE AREA(S) MARKED "S.E." ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, AND REPAIR THE PUBLIC SIDEWALK WITHIN THE SUBJECT EASEMENT AREA TOGETHER WITH ANY AND ALL NECESSARY STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY OVER, UPON, ALONG AND THROUGH SAID INDICATED EASEMENT TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS ACROSS THE PROPERTY FOR PEDESTRIAN TRAFFIC AND FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK, THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE PUBLIC SIDEWALKS. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR LAWNS AND LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

EASEMENT RELEASE ACKNOWLEDGEMENT

CITY OF ST. CHARLES

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

RELEASE THAT PART OF THE STORMWATER MANAGEMENT & PUBLIC UTILITY EASEMENT SHOWN HEREON APPROVED AND ACCEPTED.

THIS _____ DAY OF _____ A.D. 20____

BY: _____

TITLE: _____

NICOR CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

RELEASE THAT PART OF THE PUBLIC UTILITY EASEMENT SHOWN HEREON APPROVED AND ACCEPTED.

THIS _____ DAY OF _____ A.D. 20____

BY: _____

TITLE: _____

COMCAST CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

RELEASE THAT PART OF THE PUBLIC UTILITY EASEMENT SHOWN HEREON APPROVED AND ACCEPTED.

THIS _____ DAY OF _____ A.D. 20____

BY: _____

TITLE: _____

AT & T CERTIFICATE

STATE OF ILLINOIS) S.S.
COUNTY OF KANE)

RELEASE THAT PART OF THE PUBLIC UTILITY EASEMENT SHOWN HEREON APPROVED AND ACCEPTED.

THIS _____ DAY OF _____ A.D. 20____

BY: _____

TITLE: _____

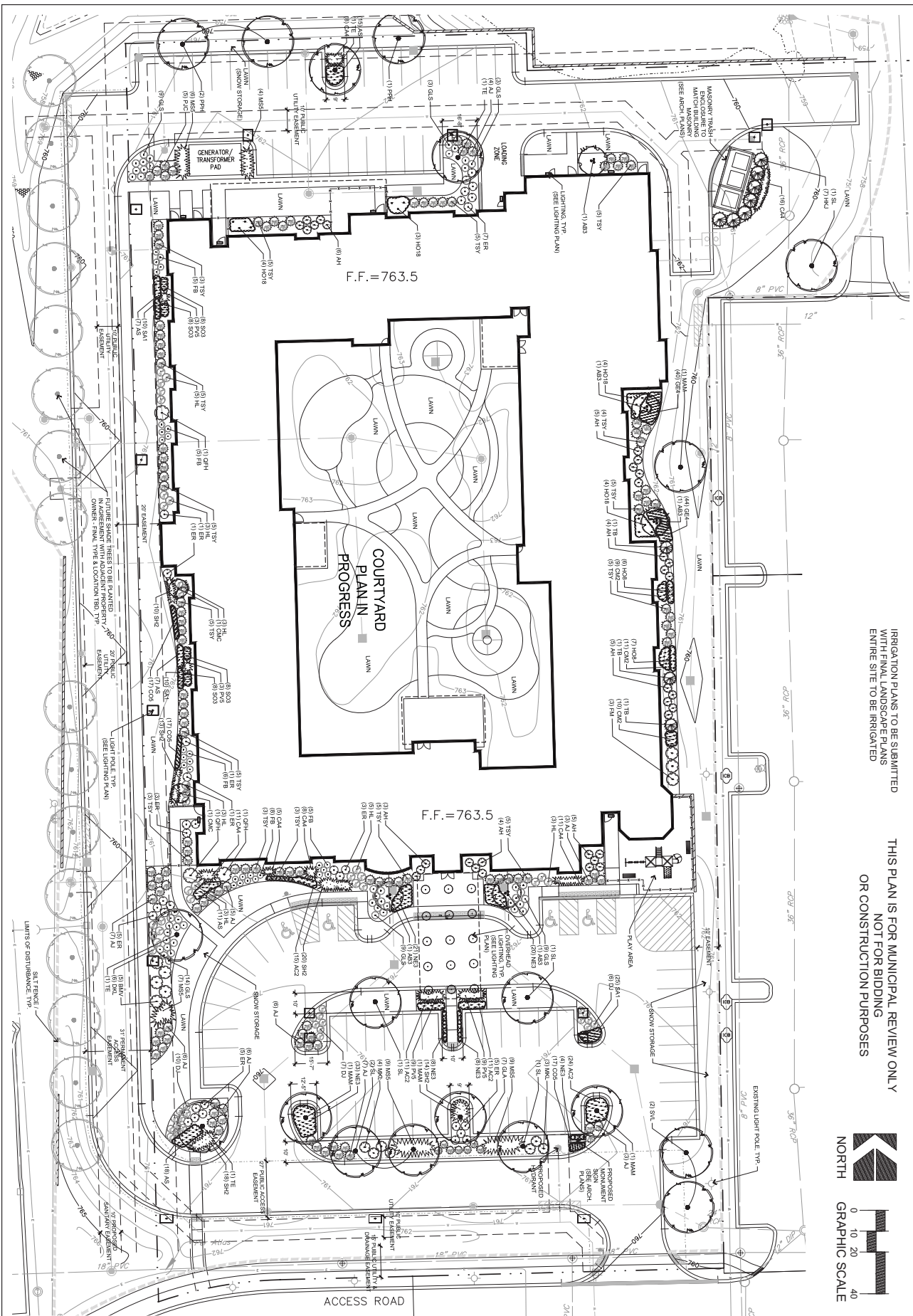
PREPARED BY:

CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9676 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO: 800002 FILE NAME: SUBPLAT
DRAWN BY: A.B. FLD. BK. / PG. NO: 767
COMPLETION DATE: 01-13-17 JOB NO: 800.002

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IRRIGATION PLANS TO BE SUBMITTED
WITH FINAL LANDSCAPE PLANS
ENTIRE SITE TO BE IRRIGATED

THIS PLAN IS FOR MUNICIPAL REVIEW ONLY
NOT FOR BIDDING
OR CONSTRUCTION PURPOSES



GRAPHIC SCALE

SILVERADO SENIOR LIVING
ST. CHARLES, ILLINOIS

LANDSCAPE PLAN

R.A. Smith National

*Beyond Surveying
and Engineering*

www.rasmithnational.com

[illegible]

© COPYRIGHT 2017
R.A. Smith National, Inc.
DATE: 01/20/2017
SCALE: 1" = 20'
JOB NO. 3160540
PROJECT MANAGER:
TOM MORITSEN, AIA, RLA
DESIGNED BY: AJS
CHECKED BY: TJM
SHEET NUMBER
L100

SITE CALCULATIONS

Total site area = 174,161.54 SF (4.0 Acres)
Required Landscaped Area = 20%
Provided Landscaped area = 70,408.15 SF (1.62 Acres) or 40.4%

BUILDING FOUNDATION CALCULATIONS

Total length of building foundation = 1100 LF

Required Trees: 2 trees per every 50 LF = $\frac{1100}{50} = 22 \times 2 = 44$ Trees
Provided Trees: 11 trees

Required Shrubs / Perennials / Ornamental Grasses: 20 per every 50 LF = $\frac{1100}{50} = 22 \times 20 = 440$ plants
Provided Shrubs / Perennials / Ornamental Grasses: 594 plants

INTERIOR PARKING LOT LANDSCAPING CALCULATIONS

South Parking Lot Area = 28,785 SF
North Parking Lot Area = 11,259 SF
Total Parking Lot Area = 40,044 SF

Required Interior Lot Landscaped Area = 10% (4,044 SF)
Provided Interior Lot Landscaped Area = 13.2%
(See calcs below)

South Interior Lot Landscaped Area = 4,059 SF
North Interior Lot Landscaped Area = 1,245 SF
Total Interior Lot Landscaped Area = 5,304 SF or 13.2 %

Required Parking Lot Trees = 4,044 / 160 = 25 Trees
Provided Parking Lot Trees = 13 Trees (4 additional trees adjacent to the parking lot)

PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AB3	5	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	7 HT	B&B	Clump, min. 3 stems
CMC	2	Cameo Crab Apple	Malus x 'Cameo' TM	2 1/2" CAL	B&B	Full, matching heads
HKJ	7	Hicks 46 Juniper	Juniperus chinensis 'Hicks 46'	6' HT	B&B	Semi-sheared, fully branched to ground
MAM	4	Marmo Freeman Maple	Acer freemanii 'Marmo'	3" CAL	B&B	Full, matching heads
PPH	3	Prairie Pride Hackberry	Celtis occidentalis 'Prairie Pride'	3" CAL	B&B	Full, matching heads
SL	6	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	3" CAL	B&B	Full, matching heads
SVL	2	Sterling Linden	Tilia tomentosa 'Sterling'	3" CAL	B&B	Full, matching heads
TB	3	Techito Arctostaphylos	Thujia occidentalis 'Ball John'	5' HT	B&B	
TE	4	Triumph Elm	Ulmus x 'Morton Glossy' TM	3" CAL	B&B	Full, matching heads
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AR1	32	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	24" HT	CONT.	
AJ	47	Arcadia Juniper	Juniperus sabina 'Arcadia'	18" SPD	CONT.	
BMV	5	Blue Muffin Arrowwood	Viburnum dentatum 'Blue Muffin'	3' HT	B&B	
DJ	23	Jewel Bush Honeysuckle	Diervilla lonicera 'Jewel'	24" HT	CONT.	
DKL	6	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	24" HT	CONT.	
ER	32	Rudy Haag Burning Bush	Euonymus alatus 'Rudy Haag'	36" HT	B&B	
FB	29	Beaver Creek Fothergilla	Fothergilla gardenii 'Beaver Creek'	24" HT	CONT.	
FM	3	Large Fothergilla	Fothergilla major	24" HT	CONT.	
GLA	7	Globe Arborvitae	Thuja occidentalis 'Globose'	18" SPD	CONT.	
GLS	47	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" HT	CONT.	
HL	25	Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	24" HT	CONT.	
MKL	7	Miss Kim Lilac	Syringa patula 'Miss Kim'	24" HT	CONT.	
PJC	5	Kalley Compact Pfitzer Juniper	Juniperus chinensis 'Kalley's Compact'	18" SPD	CONT.	
QFH	3	Quick Fire Hydrangea	Hydrangea paniculata 'Quick Fire'	24" HT	CONT.	
TSY	71	Tautou Yew	Taxus x media 'Tauntini'	18" SPD	CONT.	
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA4	59	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	POT	24" Spacing
MS5	35	Grazella Silver Grass	Miscanthus sinensis 'Grazella'	1 GAL	POT	42" Spacing
PV5	24	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'	1 GAL	POT	30" Spacing
SH2	75	Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 GAL	POT	18" Spacing
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AC2	61	Connotation Gold Yarrow	Achillea filipendula 'Connotation Gold'	4 1/2"	POT	24" Spacing
AS	58	Saucy Seduction Yarrow	Achillea millefolium 'Saucy Seduction'	4 1/2"	POT	24" Spacing
CM2	30	White Pearl Snakeplant	Cimicifuga simplex 'White Pearl'	4 1/2"	POT	24" Spacing
CO5	51	Zagreb Coreopsis	Coreopsis verticillata 'Zagreb'	4 1/2"	POT	15" Spacing
GE4	84	Rozanne Cranebill	Geranium x 'Rozanne' TM	4 1/2"	POT	18" Spacing
HO18	15	Empress Wu Hosta	Hosta x 'Empress Wu'	4 1/2"	POT	48" Spacing
HO8	13	Blue Angel Hosta	Hosta x 'Blue Angel'	4 1/2"	POT	24" Spacing
NE3	94	Walkers Low Catmint	Nepeta x faasseni 'Walkers Low'	4 1/2"	POT	24" Spacing
SA1	45	Cardonna Perennial Salvia	Salvia nemorosa 'Cardonna'	4 1/2"	POT	18" Spacing
SO3	32	Fireworks Goldenrod	Solidago rugosa 'Fireworks'	4 1/2"	POT	18" Spacing

DESCRIPTION

DATE

R.A. Smith National
Beyond Surveying
and Engineering
www.ra-smithnational.com

SILVERADO SENIOR LIVING
ST. CHARLES, ILLINOIS

LANDSCAPE PLAN
PLANT LIST & CALCULATIONS

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R.A. Smith National, Inc.
DATE: 01/20/2017
SCALE: 1" = 20'
JOB NO. 3160540
PROJECT MANAGER:
TOM MORTENSEN, ASLA, PLA
DESIGNED BY: ALS
CHECKED BY: TJM

SHEET NUMBER
L101

THIS PLAN IS FOR MUNICIPAL REVIEW ONLY
NOT FOR BIDDING
OR CONSTRUCTION PURPOSES

FINAL SITE DEVELOPMENT PLANS FOR **SILVERADO ST. CHARLES** ST. CHARLES, ILLINOIS WATERMAIN-SANITARY SEWER-STREET-STREET LIGHTING AND DRAINAGE IMPROVEMENTS

EXISTING	PROPOSED	DESCRIPTION
		MANHOLE
		CATCH BASIN
		INLET
		CLEANOUT
		SLOPE INLET BOX
		HEADWALL
		END SECTION
		STORM SEWER
		SANITARY SEWER
		WATERMAIN
		VALVE & BOX
		WATER VALVE IN VAULT
		FIRE HYDRANT
		CONTOURS
		ELEVATIONS
		STREET LIGHT
		WATERMAIN PROTECTION
		SILT FENCE INLET PROTECTOR
		TEMPORARY SILT FENCE
		SILT FENCE DITCH CHECK
		RIP-RAP
		OVERFLOW ROUTE

PROJECT
LOCATION



LOCATION MAP



BENCH MARKS

REFERENCE MARKS

- STATION STC 17 - ALUMINUM DISC IN CYLINDER AT THE NORTHWEST CORNER OF DUNHAM ROAD AND FOR CHASE BOULEVARD.
ELEVATION = 752.85 (NAVD 88)
- STATION STC 18 - ALUMINUM DISC IN CYLINDER ON WEST SIDE OF 38TH AVENUE APPROXIMATELY 200 FEET SOUTH OF INTERSECTION OF ILLINOIS ROUTE 64 AND 38TH AVENUE.
ELEVATION = 752.35 (NAVD 88)
- STATION STC 06 - ALUMINUM DISC IN CYLINDER ON WEST SIDE OF DUNHAM ROAD APPROXIMATELY 360 FEET NORTH OF THE INTERSECTION OF ILLINOIS ROUTE 64 AND DUNHAM ROAD.
ELEVATION = 770.033 (NAVD 88)

SITE REFERENCE MARKS

- OP100 - CROSS CUT IN CURB LINE @ THIRD STALL SOUTH OF NORTHWEST CORNER OF PARKING LOT OF HILTON GARDEN INN LOCATED AT 4070 EAST MAIN STREET ST. CHARLES IL.
ELEVATION = 750.22(NAVD 88)
- OP103 - CROSS CUT IN CURB LINE @ NORTHEAST CORNER OF PARKING LOT OF VOLKSWAGEN DEALERSHIP, NORTH OF NORTH AVENUE AND WEST OF HILTON GARDEN INN LOCATED AT 4070 EAST MAIN STREET ST. CHARLES IL.
ELEVATION = 765.82(NAVD 88)

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- STORMWATER POLLUTION PREVENTION PLAN
- STORMWATER POLLUTION PREVENTION PLAN NOTES
- STORMWATER POLLUTION PREVENTION PLAN DETAILS
- DRAINAGE AND GRADING PLAN
- SANITARY SEWER AND WATERMAIN PLAN
- SANITARY SEWER PROFILES
- PHOTOMETRIC PLAN
- PHOTOMETRIC DETAILS
- OVERALL EASEMENT PLAN
- SANITARY SEWER AND WATERMAIN DETAILS
- DRAINAGE STRUCTURE DETAILS

PROFESSIONAL ENGINEER'S CERTIFICATION

STATE OF ILLINOIS) SS.
COUNTY OF DU PAGE)

I, MICHAEL E. KEITH, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS TECHNICAL SUBMISSION WAS PREPARED ON BEHALF OF SILVERADO ST. CHARLES, LLC, BY CEMCON, LTD. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS ____ DAY OF ____, A.D., 2017.

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 068-068723
MY LICENSE EXPIRES ON NOVEMBER 30, 2017.

PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-022637
EXPIRES APRIL 30, 2017.

NOTE: UNLESS THIS DOCUMENT BEARS THE ORIGINAL SIGNATURE AND IMPRESSED SEAL OF THE DESIGN PROFESSIONAL ENGINEER, IT IS NOT A VALID TECHNICAL SUBMISSION.

FOR UNDERGROUND UTILITY
LOCATIONS, CALL
J.U.L.I.E.
TOLL FREE
TEL. 1-800-892-0123 or 811

DATE: _____
RELEASED FOR PLAN REVIEW AND PERMIT
PROCESSING ONLY.
IF USED FOR BIDDING PURPOSES, THOSE PARTIES
CONCERNED SHALL BE ADVISED THAT REVISIONS
MAY BE REQUIRED PRIOR TO PLAN APPROVAL.
NOT ISSUED FOR CONSTRUCTION UNTIL APPROVED BY THE
CITY OF ST. CHARLES AND PERMITTED AS REQUIRED.

PREPARED FOR:
SILVERADO ST. CHARLES, LLC
6400 OAK CANYON DRIVE, SUITE 200
IRVINE, CA 92618
(949) 930-3050



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REVISIONS

NO.	DATE	DESCRIPTION	BY	DATE	REVISION

JOB NO. 800.002
COMPLETION DATE :
01-23-2017
SHEET 1 OF 22

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

GENERAL

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ST. CHARLES STANDARDS AND WITH THE CURRENT EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", APPLICABLE WHEN REFERENCED.
2. IN THE EVENT OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATIONS AND THE CITY OF ST. CHARLES SPECIFICATIONS AND DETAILS, THE CITY OF ST. CHARLES SPECIFICATIONS AND DETAILS (SEE BELOW) SHOULD BE FOLLOWED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK IS STARTED. ALL UTILITIES MUST BE STAKED PRIOR TO CONSTRUCTION.
5. IF THE ENGINEER IS RETAINED FOR CONSTRUCTION STAKING SERVICES, THE ENGINEER WILL BE GIVEN SEVENTY-TWO (72) HOURS NOTICE FOR ANY STAKING THAT IS TO BE DONE. IF ENGINEER IS CONTRACTED BY OWNER OR CONTRACTOR FOR CONSTRUCTION STAKING SERVICES, EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO CONTRACTOR NEGLIGENCE SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
6. THE CONTRACTOR SHALL INFORM THE MUNICIPAL BEFORE WORK COMMENCES ON EACH CATEGORY OF CONSTRUCTION, I.E. WATERMAIN, SANITARY, STREET AND DRAINAGE IMPROVEMENT. A FORTY EIGHT (48) HOUR NOTICE SHALL BE GIVEN FOR ANY ITEM THAT REQUIRES FINAL TESTING AND INSPECTION SUCH AS WATERMANS OR SANITARY SEWERS.
7. THE CONTRACTOR RESPONSIBLE FOR WATERMAIN CONSTRUCTION, SANITARY SEWER CONSTRUCTION AND DRAINAGE IMPROVEMENTS (UNDERGROUND WORK) SHALL DISPOSE OF ALL SURPLUS MATERIALS ON THE SITE AS DIRECTED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID WORK SHALL BE INCIDENTAL TO THE OTHER ITEMS OF CONSTRUCTION.
8. AFTER CONSTRUCTION STAKING IS PERFORMED, BUT PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE OWNER'S REPRESENTATIVE TO ANY ERRORS OR DISCREPANCIES WHICH MAY BE SUSPECTED IN LINES AND GRADES WHICH ARE ESTABLISHED BY THE OWNER, AND SHALL NOT PROCEED WITH THE WORK UNTIL ANY LINES AND GRADES WHICH ARE BELIEVED TO BE IN ERROR HAVE BEEN VERIFIED OR CORRECTED BY THE OWNER'S REPRESENTATIVE.
9. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE TO PLACE ON GRADE AND COORDINATE WITH OTHER CONTRACTORS ALL UNDERGROUND STRUCTURE FRAMES SUCH AS CATCH BASINS, INLETS, MANHOLES, HYDRANTS, BUFFALO BOXES, VALVES, ETC. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO OTHER ITEMS OF CONSTRUCTION.
10. CONTRACTORS SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS ON A DAILY BASIS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS (INCLUDING UTILITY LOCATIONS) PRIOR TO THE INSTALLATION OR FABRICATION OF ANY MATERIALS. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.

EARTHWORK, GRADING AND PAVING

1. WORK UNDER THIS SECTION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.
 - B. CLEARING AND REMOVAL OF ALL UNDESIRABLE TREES AND OTHER VEGETATION GROWTH WITHIN THE CONSTRUCTION AREA. TREE REMOVAL SHALL BE DESIGNATED BY THE OWNER AND SHALL BE KEPT TO A MINIMUM.
 - C. STRIPPING OF TOPSOIL FROM ALL STREET, DRIVEWAY, PARKING LOT, RIGHT-OF-WAY, BUILDING PAD AND OTHER DESIGNATED STRUCTURAL AREAS.
 - D. STOCKPILING OF TOPSOIL AT LOCATIONS AS DIRECTED BY THE OWNER. TOPSOIL STOCKPILED FOR FUTURE USE SHALL BE RELATIVELY FREE FROM LARGE ROOTS, STICKS, WEEDS, BRUSH, STONES LARGER THAN ONE (1) INCH DIAMETER, OR OTHER LITTER AND WASTE PRODUCTS INCLUDING EXTRANEOUS MATERIALS NOT CONDUCTIVE TO PLANT GROWTH. TOPSOIL SHALL BE STOCKPILED IN SUCH A MANNER AS TO ELIMINATE ANY REHANDLING OR DOUBLE MOVEMENTS BY THE CONTRACTOR. FAILURE TO PROPERLY SEQUENCE THE STOCKPILING OPERATIONS SHALL NOT CONSTITUTE A CLAIM FOR ADDITIONAL COMPENSATION. NO MATERIAL SHALL BE STOCKPILED IN FRONT YARDS, OVERLAND DRAINAGE CHANNELS (FLOOD ROUTING AREAS), IN PROPOSED UTILITY LOCATIONS, IN UTILITY EASEMENTS OR IN THE RIGHT-OF-WAY.
 - E. REMOVAL OF UNSUITABLE MATERIALS AS SPECIFIED FROM ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
 - F. STRUCTURAL CUT AND STRUCTURAL FILL WITH COMPACTION WITHIN ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
 - G. EXCAVATION AND GRADING OF THE OPEN SPACE, AND/OR YARD AREAS PER PLAN INCLUDING CONSTRUCTION OF BERMS, ETC.
 - H. PLACEMENT AND COMPACTION OF STRUCTURAL MATERIAL TO THE DESIGN SUBGRADE ELEVATIONS AS REQUIRED BY THE STANDARDS AND DETAILS ON THE CONSTRUCTION PLANS. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT AND/OR TOPSOIL REPLACEMENT THICKNESS MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.
 - I. IF REQUIRED, BORROW PIT EXCAVATION OF STRUCTURAL MATERIAL AND RETILL OF PIT WITH NON-STRUCTURAL MATERIAL.
 - J. PLACEMENT AND COMPACTION OF NON-STRUCTURAL FILLS.
 - K. MOVEMENT AND COMPACTION OF SPOT MATERIAL FROM THE CONSTRUCTION OF UNDERGROUND UTILITIES.
 - L. BACKFILLING OF CURBS AND/OR PAVEMENT AND SIDEWALK AFTER INSTALLATION OF SAME BY THE PAVING CONTRACTOR.
 - M. FINAL SHAPING AND TRIMMING TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN IN THESE PLANS; AND TOPSOIL PLACEMENT TO DESIGN FINISHED GRADE ELEVATIONS.
2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SHALL NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES. THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL GUTTER FLAPS AND PAVEMENTS ARE PITCHED PROPERLY TO ACHIEVE THIS DRAINAGE PATTERN.
3. MATERIALS TESTING, IF REQUIRED BY THE MUNICIPALITY, SHALL BE PROVIDED BY THE CONTRACTOR. THIS ITEM WILL NOT BE PAID FOR SEPARATELY BUT INCLUDED IN THE VARIOUS ITEMS OF WORK.
4. DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL INSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. SITE DRAINAGE MAY BE ACHIEVED BY EROSION, PUMPING OR ANY OTHER ACCEPTABLE METHOD. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIAL CREATED AS A RESULT THEREOF.

EARTHWORK, GRADING AND PAVING (CONT'D)

5. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
6. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UTILITY REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER. NO UNDERCUT SHALL BE PERFORMED WITHOUT AUTHORIZATION FROM OWNER AND ASSIGNMENT OF AN TWO NUMBER.
7. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE FLOODING OF STORM WATER. ALL AREAS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
8. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED UNLESS OTHERWISE NOTED.
9. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL, UNIFORM LAYERS SO THAT THE COMPACTION THICKNESS IS APPROXIMATELY SIX INCHES (6"). IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT GREATER THICKNESSES, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.
10. EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, PARKING LOT AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-THREE PERCENT (93%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER.
11. THE SURFACE VEGETATION, TOPSOIL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHOULD BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE SOILS RUN DEEPER THAN ONE INCH UNDER THE CONSTRUCTION EQUIPMENT OR IF THE MOISTURE CONTENT EXCEEDS THAT NEEDED FOR PROPER COMPACTION, THE SOIL SHALL BE SCARIFIED, DRIED AND RECOMPACTED TO THE REQUIRED SPECIFICATIONS (SEE SECTION 301.03 OF THE DOT SPECIFICATIONS).
12. COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND YARD/OPEN SPACE AREAS SHALL BE WITHIN A TOLERANCE OF PLUS OR MINUS ONE-TENTH OF A FOOT (0.1') OF DESIGN SUBGRADE ELEVATIONS.
13. THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE ENGINEER AND SOILS ENGINEER. ANY UNDERCUT AND REPLACE NECESSARY WILL BE MEASURED FOR PAVEMENT AT THE CONTRACT UNIT PRICE.
14. THE CONTRACTOR SHALL PROVIDE STABLE SUB GRADE FOR ALL STREET PAVEMENT IN ACCORDANCE WITH DOT SECTIONS 204, 205 AND 207 OF THE STANDARD SPECIFICATIONS. WHERE RECOMMENDED BY OWNER/DEVELOPERS GEOTECHNICAL CONSULTANT, CONTRACTOR SHALL UNDERCUT AND BACKFILL OR LIME STABILIZE SUB GRADE SOILS IN ACCORDANCE WITH SECTION 1012.

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CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

SILVERADO ST. CHARLES

FILE NAME: GENNOTES	DSGN. BY: MSK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO. 02 of 22
DIR: 800002	DRN. BY: BCD/JCC	DATE: 01-23-2017	SCALE: 1" = N.T.S.	

PREPARED FOR:
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6400 OAK CANYON DRIVE, SUITE 200
IRVINE, CA 92618
(949) 930-3050



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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

PLOT FILE CREATED: 1/23/2017 10:48 AM BY: JET CERNA - DRAWING LAST SAVED: 1/23/2017 2:54 PM BY: JET CERNA

SANITARY SEWER, STORM SEWER, WATERMAIN (CON'T.)

SANITARY SEWER, STORM SEWER, WATERMAIN (CON'T.)

26. ALL PUBLIC SANITARY SEWERS TWELVE (12") OR LESS IN DIAMETER WILL BE AIR TESTED BY THE DEVELOPER, AT HIS EXPENSE, UNDER THE CLOSE SUPERVISION OF THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE. ONE COPY OF THE REPORT SHALL BE SUBMITTED TO THE ENGINEER. AIR TESTING OF THE SEWER WILL BE ALLOWED IF IT CAN BE SHOWN AT THE TIME OF THE TEST THAT THE WATER IN THE SEWER IS NOT FROM THE POT. ALL TESTING WILL BE DONE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS FOR SEWERS AND OTHER CONSTRUCTION IN ILLINOIS' CURRENT EDITION.
27. CONNECTION TO EXISTING STORM SEWER STRUCTURES SHALL BE DONE BY CURING THE EXISTING SEWER AND RISING THE SAME TO THE SAME LEVEL AS THE NEW SEWER.
28. ALL TWELVE (12") STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM-C-76 (CLASS IV). ALL FIFTEEN (15") PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM-C-76 (CLASS II MINIMUM). ALL SEWER LINES MUST BE AIR TESTED IN ACCORDANCE TO ASTM C-643 REQUIRMENTS.
29. ALL SEWER LINES MUST BE CAPED AND ABANDONED IN ACCORDANCE WITH COUNTY HEALTH STANDARDS.
30. ALL SANITARY SEWER SHALL BE TESTED IN ACCORDANCE WITH SECTION 10.0 OF THE STANDARD SPECIFICATIONS FOR SEWERS AND OTHER CONSTRUCTION IN ILLINOIS. IN ADDITION, ALL MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM-2244-83.
- PROTECTION OF WATERMAIN AND WATER SERVICE LINES**
- WATERMAINS AND WATER SERVICE LINES SHALL BE PROTECTED FROM DAMAGE BY THE SEWER, STORM OR SANITARY SEWER. THE SEWER SHALL BE SEWER CONNECTIONS AND DRAINS AS FOLLOWS:
- A) WATERMAINS:
- 1) HORIZONTAL SEPARATION:
- THE WATERMAIN SHALL BE LAY AT LEAST TEN FEET HORIZONTALLY FROM THE CENTER OF THE SEWER, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
- 2) WATERMAINS MAY BE LAY CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
- 1) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
- 2) THE WATERMAIN IS NOT AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER;
- 3) THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN A TRENCH UNDERSTRENGTHENED EARTH SHELL LOCATED TO THE SEWER.
- 3) BOTH: THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SUMP-ON OR MECHANICAL DUCTILE IRON PIPE. THE WATERMAIN SHALL BE 12" MINIMUM. THE DRAIN OR SEWER SHALL BE 8" MINIMUM. THE WATERMAIN SHALL BE PRESURE TESTED TO THE MAXIMUM EXPECTED SURFACE DRAIN OR BACKFLOW.
- 2) VERTICAL SEPARATION:
- A) A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS AT LEAST 18 INCHES ABOVE THE INVERT OF THE SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. VERTICAL SEPARATION SHALL BE MAINTAINED FOR THE ENTIRE LENGTH OF THE WATERMAIN. THE WATERMAIN SHALL BE LAY HORIZONTALLY AT ANY SEWER OR DRAIN CROSSING. THE WATERMAIN SHALL BE LAY ABOVE THE SEWER TO BE CROSSED WITH JOINTS EQUIVALENT TO THE JOINTS IN THE SEWER.
- B) THE DRAIN OR SEWER SHALL BE RECONSTRUCTED OR MECHANICAL JOINT CAST ON DUCTILE IRON PIPE. THE WATERMAIN SHALL BE PRESURE TESTED TO THE MAXIMUM EXPECTED SURFACE WATERMAIN QUALITY PNEUMATIC PIPE AND PRESURE-OR SEWER SHALL BE PRESURE TESTED TO THE MAXIMUM EXPECTED SURFACE WATERMAIN QUALITY PNEUMATIC PIPE CONFORMING TO THE STANDARD SPECIFICATIONS FOR SEWERS AND OTHER CONSTRUCTION IN ILLINOIS FOR A DISTANCE OF 10 FEET EACH SIDE OF THE CROSSING.
- 3) IT IS POSSIBLE TO OBTAIN THE PROPER SEPARATION AS DESCRIBED IN (A) ABOVE.
- 4) THE WATERMAIN PASSES UNDER A SEWER.

- c) A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE WATER MAIN AND THE INVERT OF THE SEWER MAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. THE SEWER SHALL BE PROTECTED BY A MINIMUM OF 18 INCHES OF CONCRETE LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.
 - d) CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING LINES TO THE NEARLATE DISTANCE FROM THE WATERMAIN TO THE CENTER OF GRAVITY OF THE CROSSING.
 - e) WHENEVER WATERMAIN QUALITY PVC 20 IN 28 PIPE IS REQUIRED, THE PIPE SHALL CONFORM TO ASTM D-2941 WITH JOINTS CONFORMING TO ASTM D-1319 FOR A MINIMUM OF 10 FEET EITHER SIDE OF THE CROSSING.
- 8) WATER SERVICE LINES:
- 1) THE HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER SERVICE LINES AND ALL STORM SEWER, SANITARY SEWER, COMBINED SEWERS OR ANY DRAIN OR SEWER SEPARATION CONSTRUCTION SHALL BE SAME AS WATER MAIN SEPARATION DESCRIBED IN (A) ABOVE.
 - 2) WATER PIPE DESCRIBED IN (A) ABOVE SHALL BE USED FOR SEWER SERVICE LINES. THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION CANNOT BE MAINTAINED.
 - 3) SPECIAL CONDITIONS – ALTERNATE SOLUTIONS SHALL BE REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES, GEOLOGICAL OR EXISTING STRUCTURAL CONDITIONS MAKE IT UNDESIRABLE TO COMPLY WITH THE ABOVE REQUIREMENTS AND ECONOMICALLY IMPRACTICAL. ALTERNATE SOLUTIONS WILL BE APPROVED PROVIDED THAT THE ALTERNATE SOLUTION IS STRUCTURALLY EQUIVALENT TO APPROVED WATERMAIN MATERIAL IS PROPOSED.
- 9) WATERMANS SHALL BE SEPARATED FROM SEPTIC TANKS, DISPOSAL FIELDS AND DEFEASE DRAIN BY A MINIMUM OF 25 FEET.
- 10) WATERMANS AND WATER SERVICE LINES SHALL BE PROTECTED AGAINST ENTRANCE OF HYDROCARBONS THROUGH DIFFUSION THROUGH ANY MATERIAL.

A) WATER AND SEWER REGULATIONS

- [illegible]

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

SILVERADO ST. CHARLES

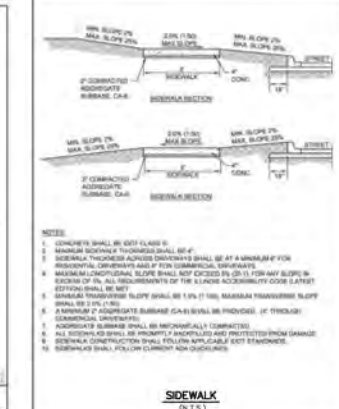
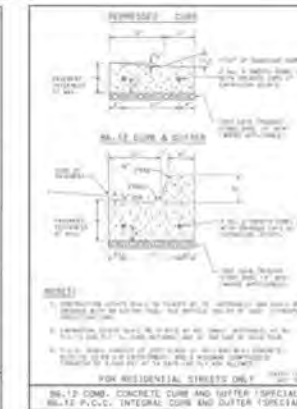
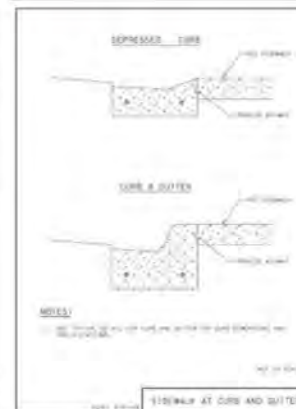
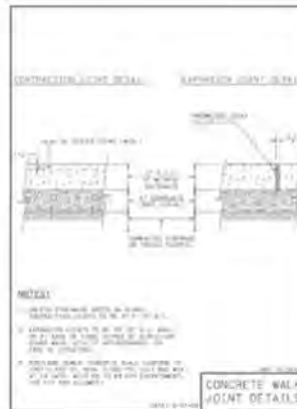
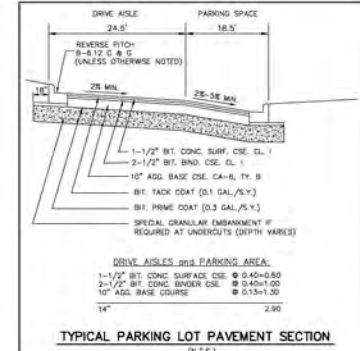
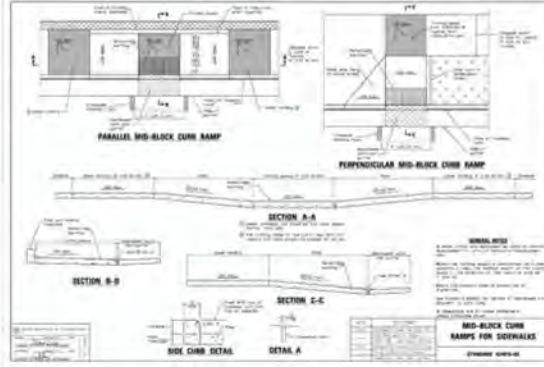
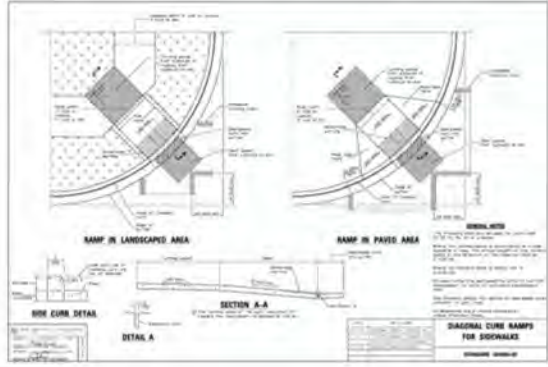
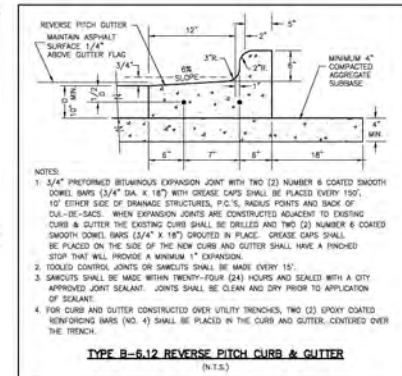
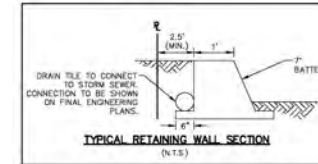
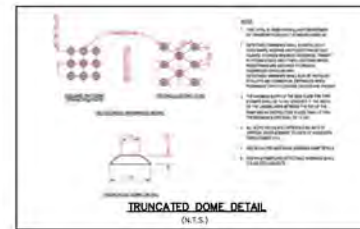
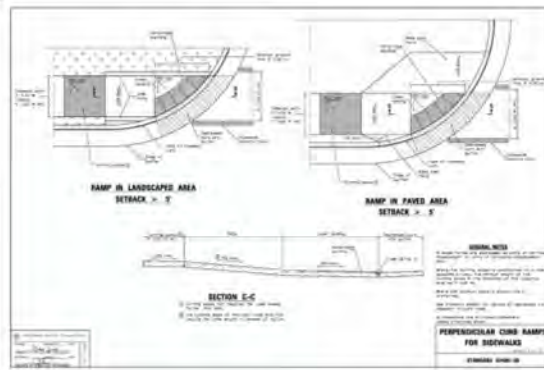
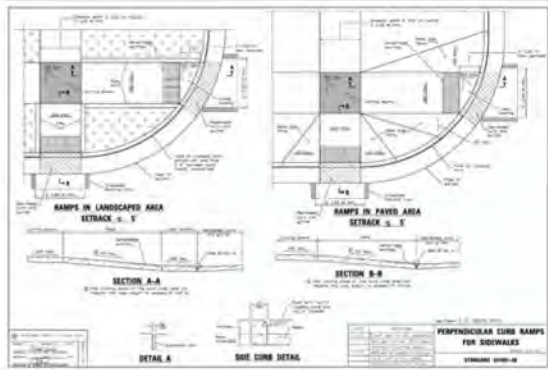
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DIR: 800002	DRN. BY: BCD/JGC	DATE: 01-23-2017	SCALE: 1" = N.T.S.	

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IRVINE, CA 92618
(949) 930-3050



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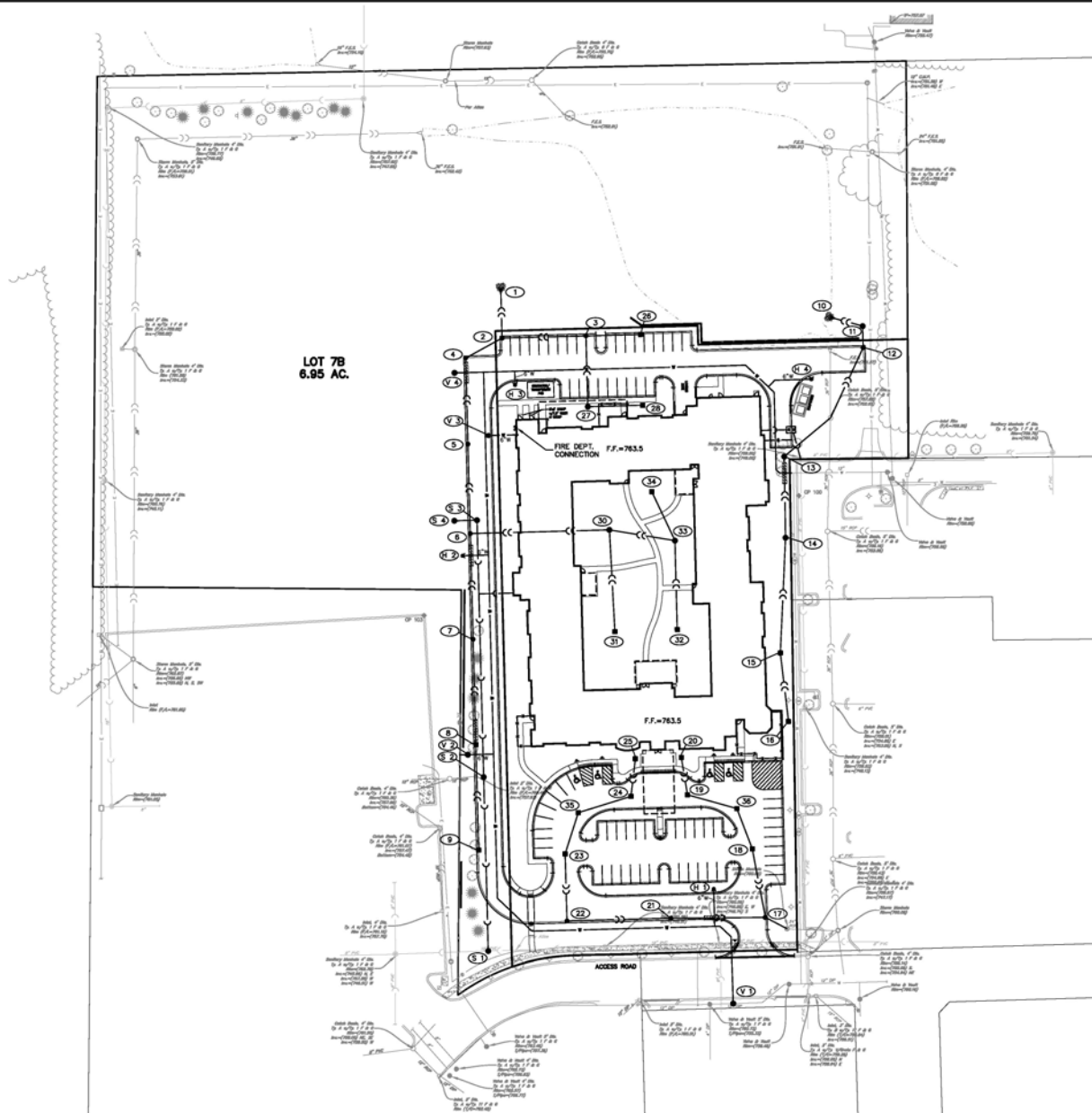
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E-Mail: cedd@cemcon.com Website: www.cemcon.com

NO. DATE DESCRIPTION			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

STREET PAVEMENT DESIGN AND DETAILS
SILVERADO ST. CHARLES

FILE NAME: DETAILS	DSGN. BY: MSK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 04 of 22
DIR: 800002	DRN. BY: BCD/ACC	DATE: 01-23-2017	SCALE: 1" = N.T.S.	

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LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		MANHOLE
		CATCH BASIN
		INLET
		END SECTION
		STORM SEWER
		WATERMAIN
		VALVE & BOX
		WATER VALVE IN VAULT
		FIRE HYDRANT
		SANITARY SEWER
		LUMINAIRE
		NUMBERING SYSTEM USED ON PLANS FOR DRAINAGE STRUCTURE IDENTIFICATION
		NUMBERING SYSTEM USED ON PLANS FOR FIRE HYDRANT IDENTIFICATION
		NUMBERING SYSTEM USED ON PLANS FOR VALVE VAULT IDENTIFICATION
		NUMBERING SYSTEM USED ON PLANS FOR SANITARY MANHOLE IDENTIFICATION

NOTE: ALL SANITARY SEWER SHALL BE 8 INCH DIA.
UNLESS OTHERWISE NOTED.
ALL WATERMAIN SHALL BE 12 INCH DIA.
UNLESS OTHERWISE NOTED.
SEE SHEET 19 FOR EASEMENTS.

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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

OVERALL UTILITY PLAN
SILVERADO ST. CHARLES

FILE NAME: UTILITY	DSON. BY: MBK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 08 of 22
DWG: 800002	DRN. BY: BCD/JSC	DATE: 01-23-2017	SCALE: 1" = 50'	

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DITCH CHECK w/COARSE
AGGREGATE (Typ.)

1170s L.F. - SILT FENCE
w/MAINTENANCE

LOT 7B
6.95 AC.

STORMWATER MANAGEMENT FACILITY
N.W.L. = 751.91
H.W.L. = 756.77
EXISTING STORAGE = 6.24 AC.-FT.
REQUIRED EXPANSION = 1.75 AC.-FT.
(FOR SITE ONLY - 4.00 AC. x 0.38 AC.-FT.=1.52 AC.-FT.)
(FOR ACCESS DRIVE - 0.60 AC. x 0.38 AC.-FT.=0.23 AC.-FT.)
TOTAL STORAGE REQUIRED = 7.99 AC.-FT.
TOTAL STORAGE PROVIDED = 8.00 AC.-FT.

CATCH-ALL INLET PROTECTOR
OR APPROVED EQUAL (Typ.)

F.F.=763.5

SEE SHEET 10

LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
○	●	CATCH BASIN
○	●	INLET
○	●	CLEANOUT
○	●	END SECTION
○	●	STORM SEWER
○	●	ROOF DRAIN CONDUIT
○	●	INLET PROTECTOR
○	●	SILT FENCE DITCH CHECK
○	●	DITCH CHECK WITH COARSE AGGREGATE
○	●	LIMITS OF DISTURBANCE
○	●	SILT FENCE WITH MAINTENANCE
○	●	RIP-RAP
○	●	TREE PROTECTIVE FENCING
○	●	TREE REMOVAL
○	●	AREAS TO BE STABILIZED WITH EROSION CONTROL BLANKET
○	●	PROBABLE TOPSOIL STOCKPILE LOCATIONS
○	●	CONCRETE WASHOUT AREA
○	●	NUMBERING SYSTEM USED ON PLANS FOR DRAINAGE STRUCTURE IDENTIFICATION

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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

STORMWATER POLLUTION PREVENTION PLAN SILVERADO ST. CHARLES

FILE NAME: SILERO	DSGN. BY: MSK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 09 of 22
DIR: 800002	DRN. BY: BCD/ADC	DATE: 01-23-2017	SCALE: 1" = 30'	

+

Round, hexagonal, beveled, or flat type curb stones



Mar-Mac Manufacturing Co., Inc.

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 10014 W 42nd Ave.
 New York, NY 10014
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Generally, the four sets of questions are grouped, and the four dimensions are more grouped. They may also be separated. The grouping is explained in the following table.

GUIDELINES FOR CONSTRUCTION RISK

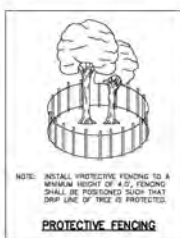
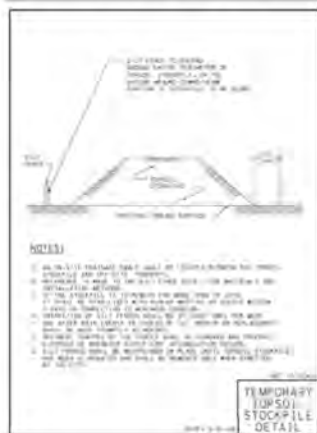
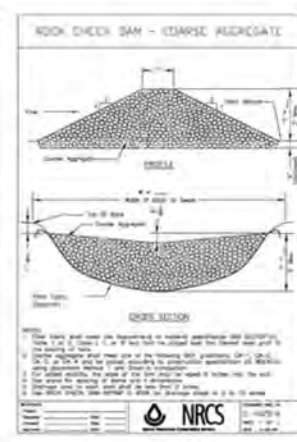
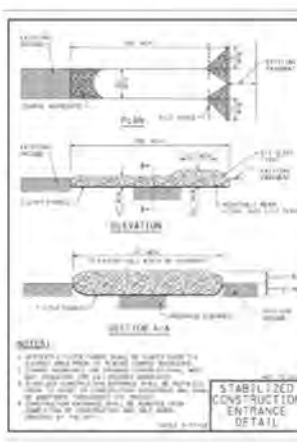
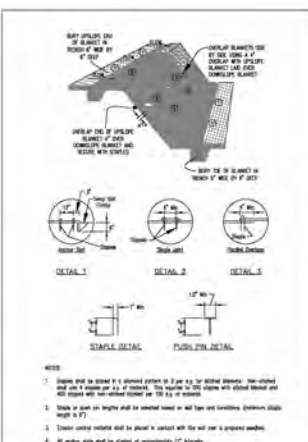
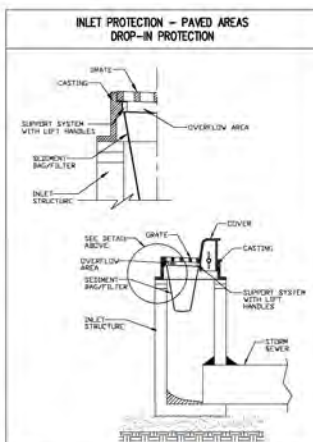
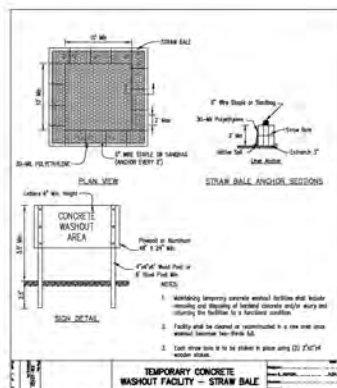
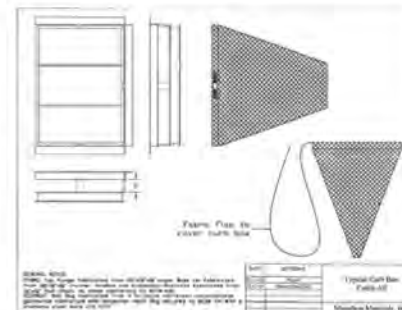
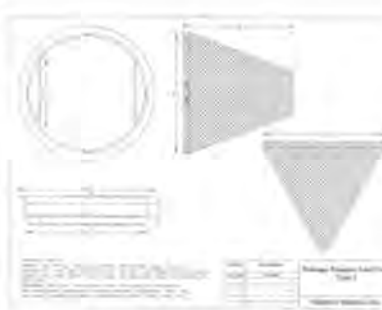
1. Answer to *bag* is true every 2 units. Class, created.
2. Impact to *bag* every time class is loaded/unloading 1 or more points. Class, is created.
3. Answer to *bag* if it has a value is 1.
4. Returns the *bag* if 2 answers (should be true) are same.

Suggested Answer:
 1000-5000

Typically, the C-1000 is mounted at a point serving little structural need. The shape and frequency of mounting required is generally less than for *l*-actin.

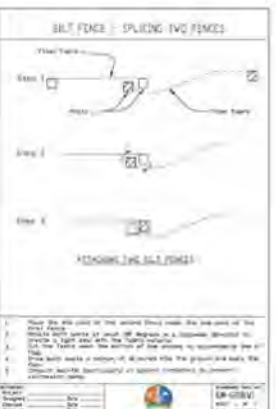
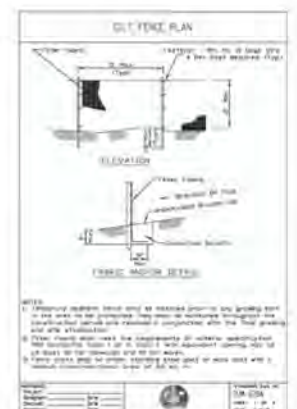
GUIDELINES FOR PARKING LOTS & MAINTENANCE YARDS

- Inspect the bag at least once per month. (1/3 point, if needed)
- Inspect the bag every four hours if rainfall totaling more than one inch occurs. (2/3 point, if needed)
- Withdraw the bag every 15 minutes. Make at least 10 bag withdrawal measurements.
- Register the bag after dry, wet, or frozen, or on wet/dry split.
- Withdraw the bag if it falls a third or less.
- Withdraw the bag if it remains clean for more than one season.

[illegible]

<p>A KENTUCKY BLUEGRASS 100 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 80 LBS/ACRE AND CLOVERING RED FESCUE 40 LBS/ACRE + 2 TONS STRAW MULCH/ACRE</p> <p>B KENTUCKY BLUEGRASS 125 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 70 LBS/ACRE + 2 TONS STRAW MULCH/ACRE</p>	<p>C SWEET GALE SEE LANGUAGE</p> <p>D HYPERICUM GYPSALAE SEE FOLI LANGUAGE</p> <p>E WILD</p> <p>F REEFER MULCH 2 TONNAGE/ACRE</p>	<p>G BUCKWHEAT HYPERICUM GYPSALAE 200 LBS/ACRE + 2 TONS STRAW MULCH/ACRE</p> <p>H 2 TONS STRAW MULCH/ACRE</p>
--	---	---

SOIL PROTECTION CHART



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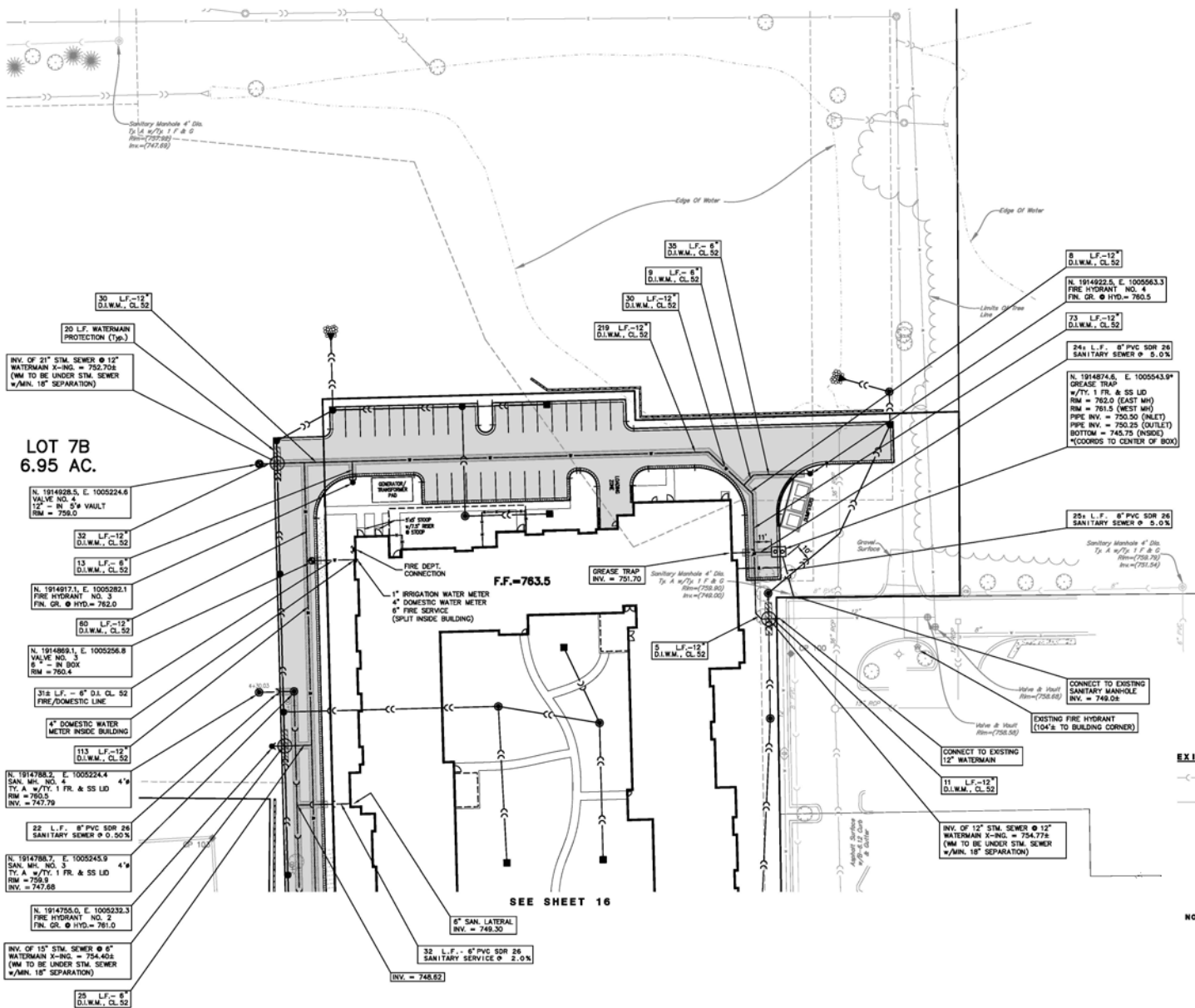


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E-Mail: cmr@cemcon.com Website: www.cemcon.com

[illegible]STORMWATER POLLUTION PREVENTION PLAN DETAILS
SILVERADO ST. CHARLES

FILE NAME: SOILERO	DSGN. BY: MBK	JOB NO.: B00.002	FLD. BK./PG.: ---	SHEET NO. 12 of 22
DIR: 800002	DRN. BY: BCD/JCC	DATE: 01-23-2017	SCALE: 1" = N.T.S.	

FILE NAME: GRADE	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO.
DIN: 800002	DRN. BY: BCD/JCC	DATE: 01-23-2017	SCALE: 1" = 30'	13 of 22



LOT 7B
6.95 AC.

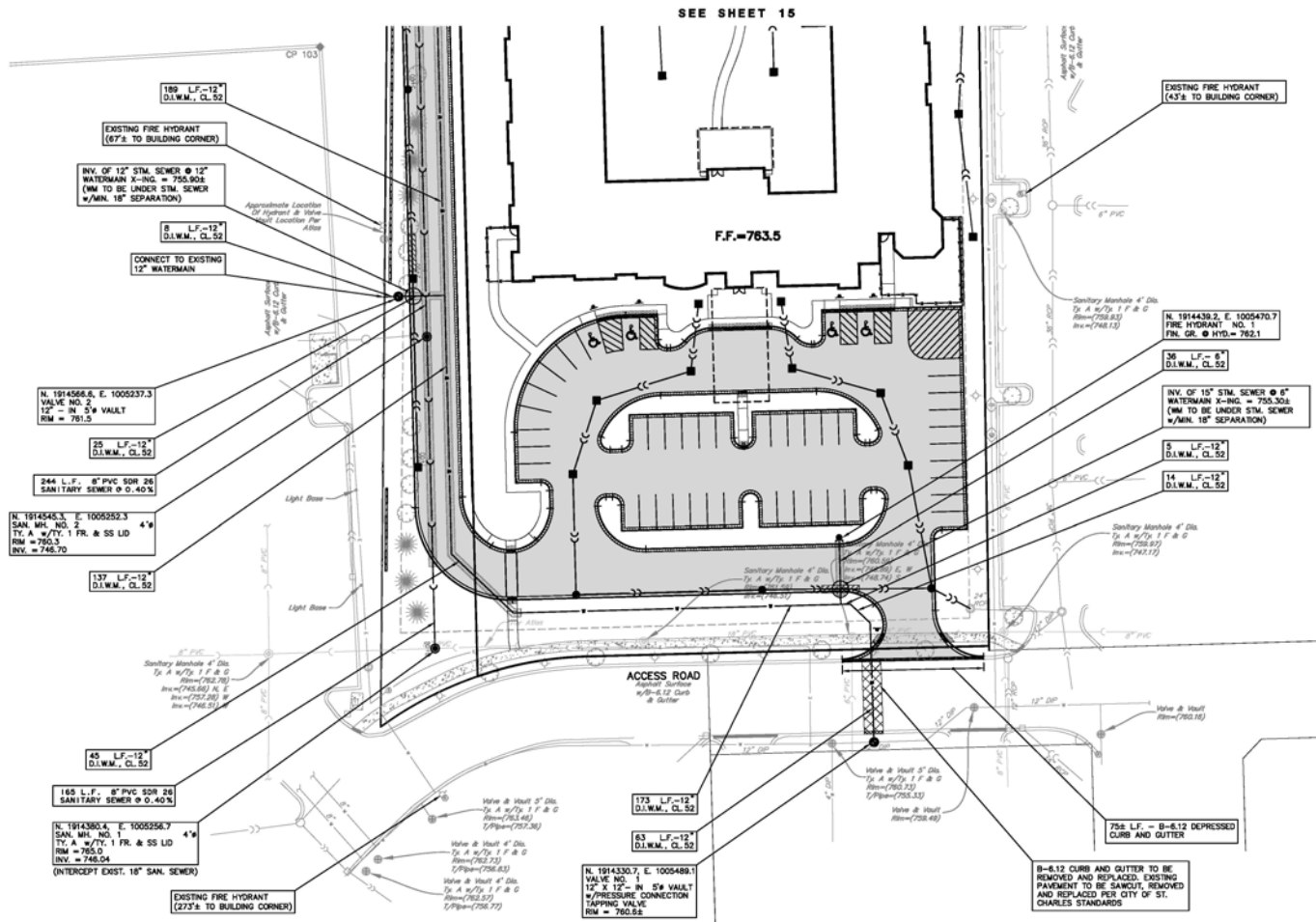
SEE SHEET 16

LEGEND

EXISTING	PROPOSED	DESCRIPTION
—	—	SANITARY SEWER
—	—	SANITARY MANHOLE
—	—	WATERMAIN
—	—	VALVE & BOX
—	—	WATER VALVE IN VAULT
—	—	FIRE HYDRANT
—	—	NUMBERING SYSTEM USED ON PLANS FOR FIRE HYDRANT IDENTIFICATION
—	—	NUMBERING SYSTEM USED ON PLANS FOR VALVE FAULT IDENTIFICATION
—	—	NUMBERING SYSTEM USED ON PLANS FOR SANITARY MANHOLE IDENTIFICATION

NOTE: ALL SANITARY SEWER SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.
ALL WATERMAIN SHALL BE 12 INCH DIA. UNLESS OTHERWISE NOTED.
SEE SHEET 19 FOR EASEMENT LAYOUT.
SEE SHEET 17 FOR UTILITIES CROSSING SANITARY SEWER PIPES.

FILE CREATED: 1/23/2017 10:48 AM BY: JET GIBALA DRAWING LAST SAVED: 1/23/2017 10:06 AM BY: JET DRAWING DATA: P:\20050525\CHS\JG\JG\SSW\PLAN SANITARY SEWER.DWG



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER
		SANITARY MANHOLE
		WATERMAIN
		VALVE & BOX
		WATER VALVE IN VAULT
		FIRE HYDRANT
		NUMBERING SYSTEM USED ON PLANS FOR FIRE HYDRANT IDENTIFICATION
		NUMBERING SYSTEM USED ON PLANS FOR VALVE VAULT IDENTIFICATION
		NUMBERING SYSTEM USED ON PLANS FOR SANITARY MANHOLE IDENTIFICATION

NOTE: ALL SANITARY SEWER SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.
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SEE SHEET 19 FOR EASEMENT LAYOUT.
SEE SHEET 17 FOR UTILITIES CROSSING SANITARY SEWER PIPES.

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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

SANITARY SEWER AND WATERMAIN PLAN SILVERADO ST. CHARLES

FILE NAME: SANWAT	DSGN. BY: MSK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 16 of 22
DIR: 800002	DRN. BY: BCD/JCC	DATE: 01-23-2017	SCALE: 1" = 30'	



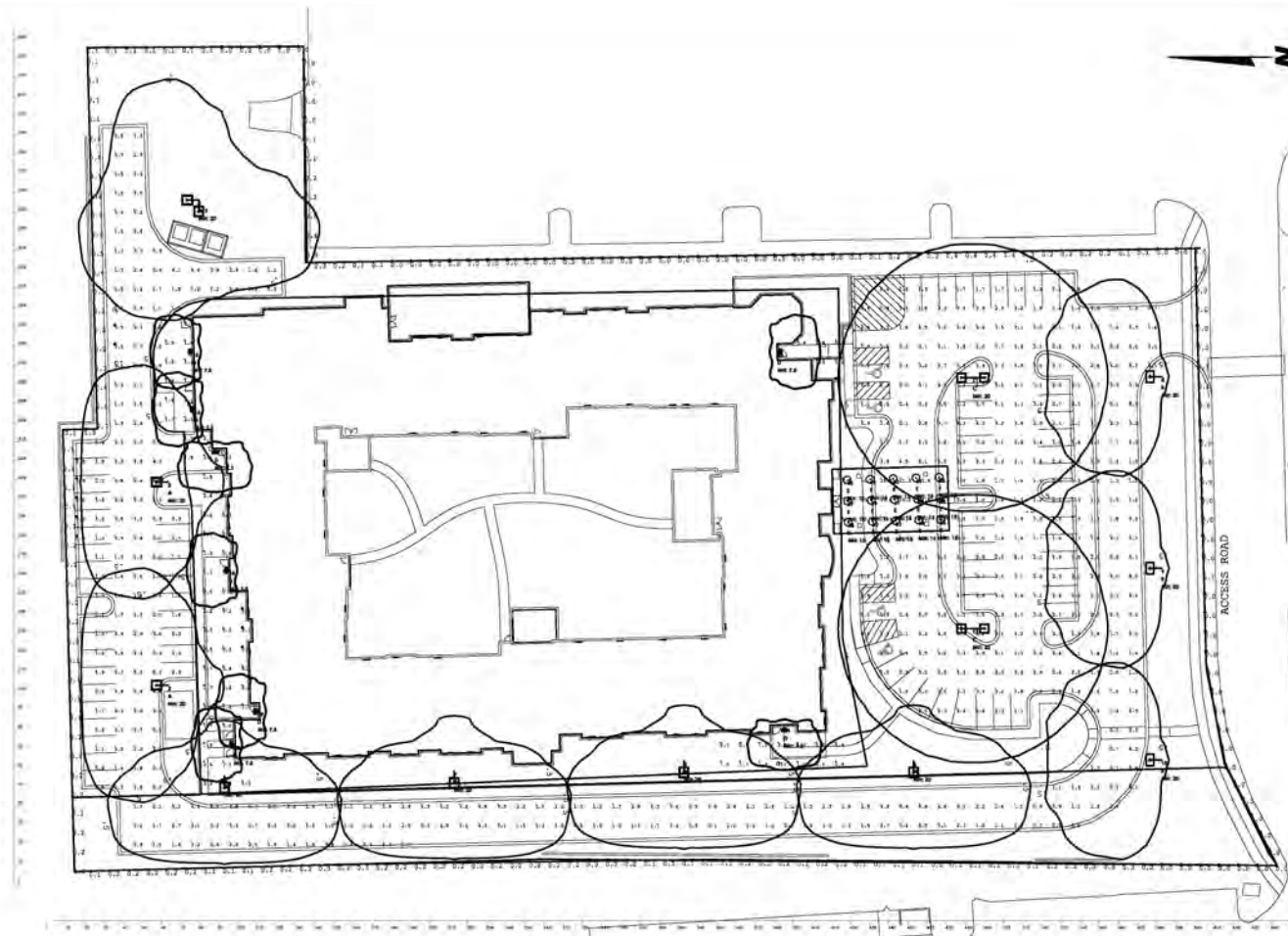
SCALE: 1"=30'H., 5"V.

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[illegible]

FILE NAME: SANWAT	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ----	SHEET NO. 17 of 22
DIR: 8000002	DRN. BY: BCD/JGC	DATE: 01-23-2017	SCALE: 1" = 30'H., 5'V.	

Construction Summary									
Location	Item	Unit	Quantity	Unit Price	Total Price	Notes	Material	Quantity	Unit Price
1.0	Excavate	CY	100	10.00	1000.00				
1.1	Backfill	CY	100	10.00	1000.00				
1.2	Gravel	CY	100	10.00	1000.00				
1.3	Asphalt	CY	100	10.00	1000.00				
1.4	Concrete	CY	100	10.00	1000.00				
1.5	Rebar	LB	100	10.00	1000.00				
1.6	Formwork	SF	100	10.00	1000.00				
1.7	Paint	Gal	100	10.00	1000.00				
1.8	Landscaping	Hour	100	10.00	1000.00				
1.9	Lighting	Hour	100	10.00	1000.00				
1.10	Security	Hour	100	10.00	1000.00				
1.11	Signage	Hour	100	10.00	1000.00				
1.12	Training	Hour	100	10.00	1000.00				
1.13	Testing	Hour	100	10.00	1000.00				
1.14	Inspection	Hour	100	10.00	1000.00				
1.15	Permitting	Hour	100	10.00	1000.00				
1.16	Design	Hour	100	10.00	1000.00				
1.17	Construction	Hour	100	10.00	1000.00				
1.18	Operation	Hour	100	10.00	1000.00				
1.19	Maintenance	Hour	100	10.00	1000.00				
1.20	Disposal	Hour	100	10.00	1000.00				



Construction Summary									
Location	Item	Unit	Quantity	Unit Price	Total Price	Notes	Material	Quantity	Unit Price
1.0	Excavate	CY	100	10.00	1000.00				
1.1	Backfill	CY	100	10.00	1000.00				
1.2	Gravel	CY	100	10.00	1000.00				
1.3	Asphalt	CY	100	10.00	1000.00				
1.4	Concrete	CY	100	10.00	1000.00				
1.5	Rebar	LB	100	10.00	1000.00				
1.6	Formwork	SF	100	10.00	1000.00				
1.7	Paint	Gal	100	10.00	1000.00				
1.8	Landscaping	Hour	100	10.00	1000.00				
1.9	Lighting	Hour	100	10.00	1000.00				
1.10	Security	Hour	100	10.00	1000.00				
1.11	Signage	Hour	100	10.00	1000.00				
1.12	Training	Hour	100	10.00	1000.00				
1.13	Testing	Hour	100	10.00	1000.00				
1.14	Inspection	Hour	100	10.00	1000.00				
1.15	Permitting	Hour	100	10.00	1000.00				
1.16	Design	Hour	100	10.00	1000.00				
1.17	Construction	Hour	100	10.00	1000.00				
1.18	Operation	Hour	100	10.00	1000.00				
1.19	Maintenance	Hour	100	10.00	1000.00				
1.20	Disposal	Hour	100	10.00	1000.00				

Construction Summary									
Location	Item	Unit	Quantity	Unit Price	Total Price	Notes	Material	Quantity	Unit Price
1.0	Excavate	CY	100	10.00	1000.00				
1.1	Backfill	CY	100	10.00	1000.00				
1.2	Gravel	CY	100	10.00	1000.00				
1.3	Asphalt	CY	100	10.00	1000.00				
1.4	Concrete	CY	100	10.00	1000.00				
1.5	Rebar	LB	100	10.00	1000.00				
1.6	Formwork	SF	100	10.00	1000.00				
1.7	Paint	Gal	100	10.00	1000.00				
1.8	Landscaping	Hour	100	10.00	1000.00				
1.9	Lighting	Hour	100	10.00	1000.00				
1.10	Security	Hour	100	10.00	1000.00				
1.11	Signage	Hour	100	10.00	1000.00				
1.12	Training	Hour	100	10.00	1000.00				
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1.17	Construction	Hour	100	10.00	1000.00				
1.18	Operation	Hour	100	10.00	1000.00				
1.19	Maintenance	Hour	100	10.00	1000.00				
1.20	Disposal	Hour	100	10.00	1000.00				

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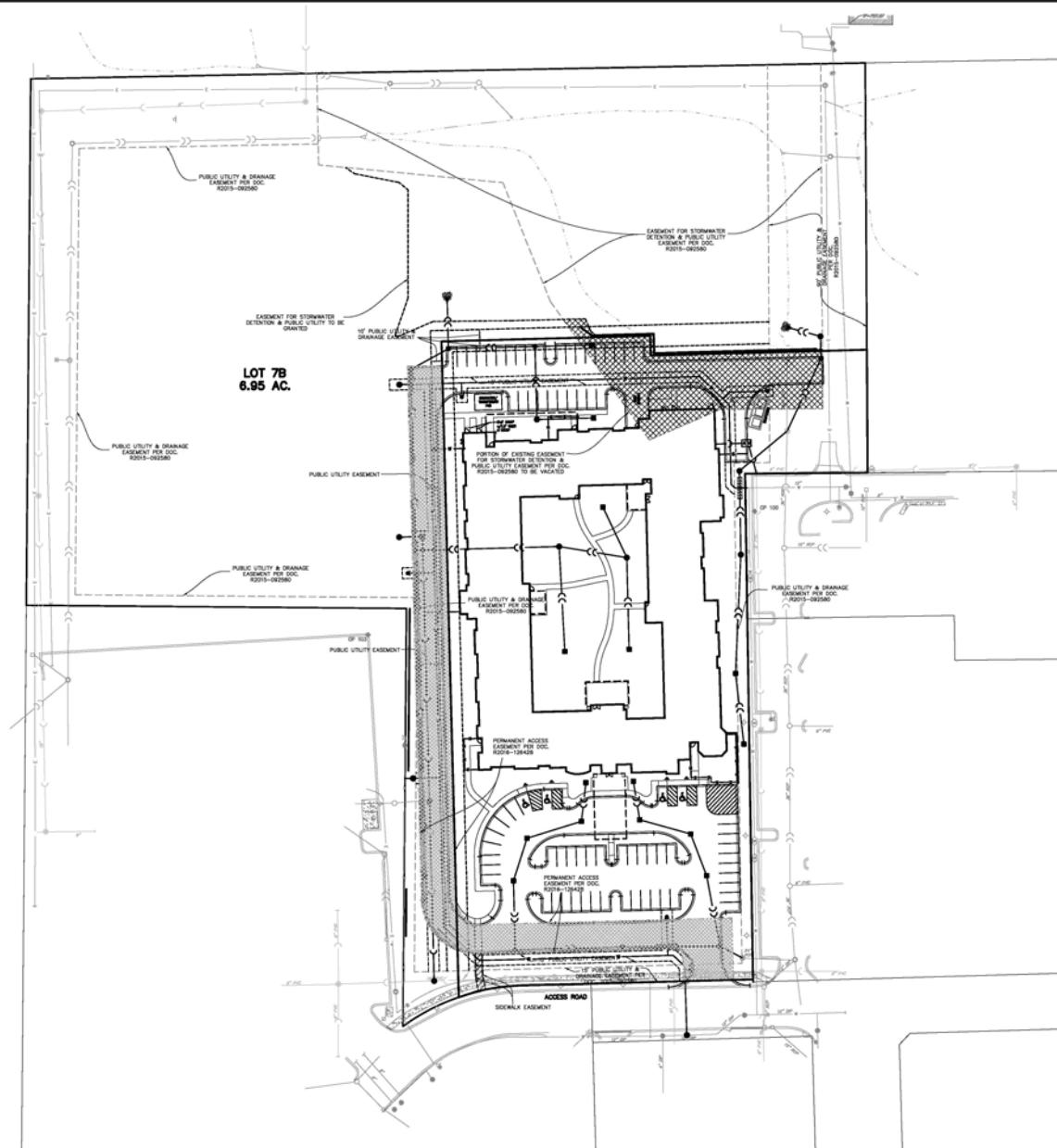
























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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

PHOTOMETRIC PLAN					
SILVERADO ST. CHARLES					
FILE NAME: DETAILS	DSGN. BY: MSK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 18 of 22	
DR: 800002	DRN. BY: BCD/ACC	DATE: 01-23-2017	SCALE: 1" = 30'		

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LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		MANHOLE
		CATCH BASIN
		INLET
		END SECTION
		STORM SEWER
		WATERMAIN
		VALVE & BOX
		WATER VALVE IN VAULT
		FIRE HYDRANT
		SANITARY SEWER
		LUMINAIRE

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PREPARED FOR:
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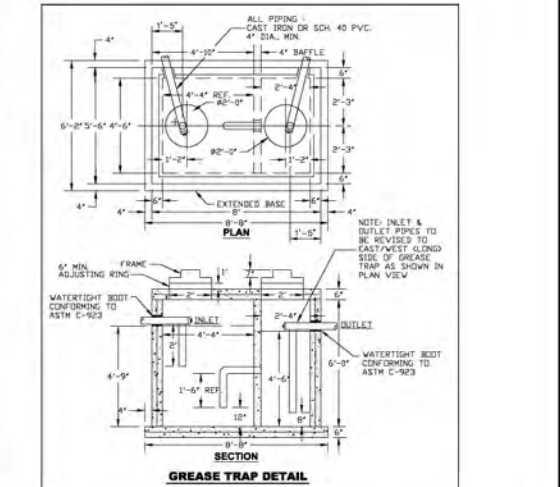
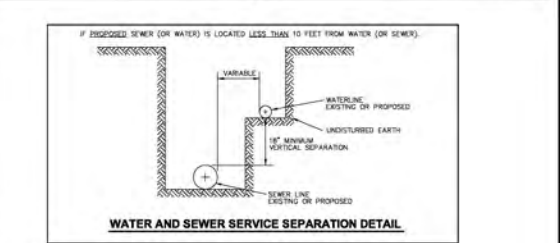
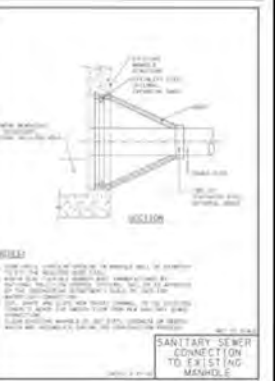


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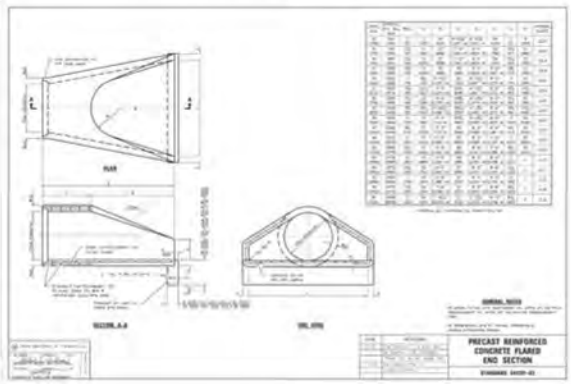
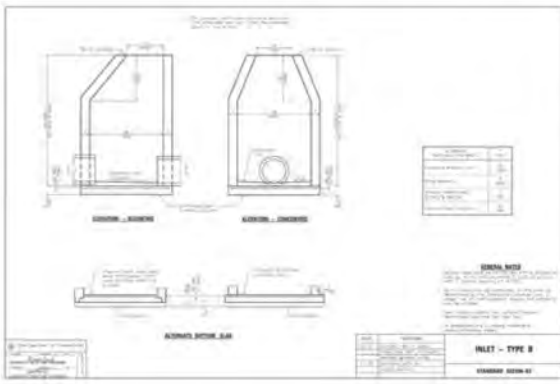
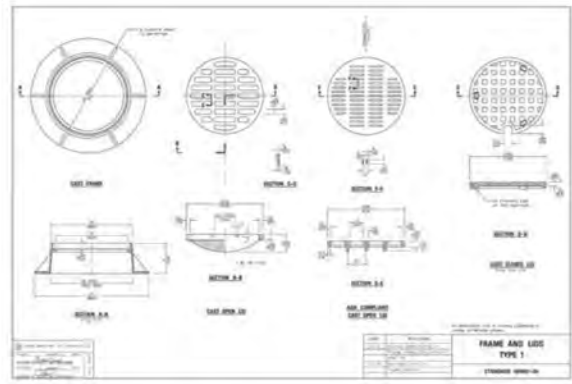
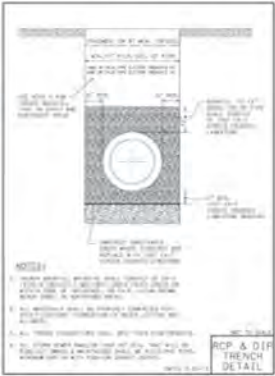
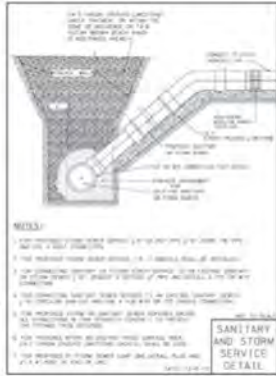
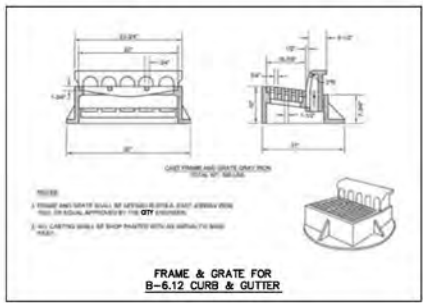
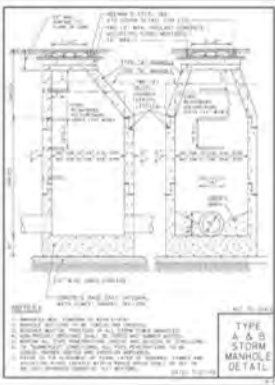
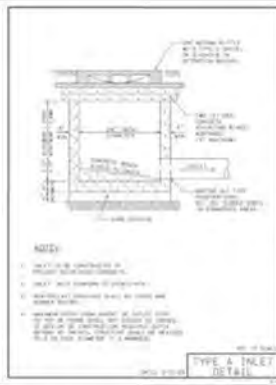
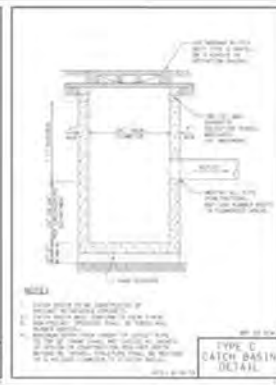
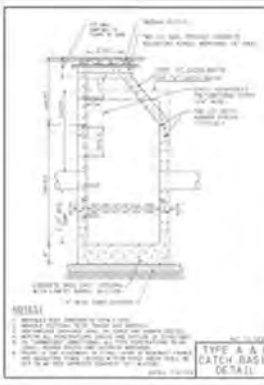
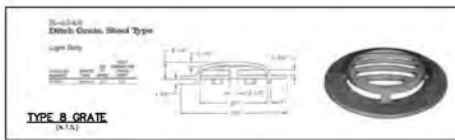
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OVERALL EASEMENT PLAN
SILVERADO ST. CHARLES

FILE NAME: UTILITY	DSGN. BY: MBK	JOB NO.: 800.002	FLD. BK./PG.: ---	SHEET NO. 20 of 22
DIR: 800002	DRN. BY: BCD/JGC	DATE: 01-23-2017	SCALE: 1" = 50'	



PLT FILE CREATED: 7/23/2017 10:48 AM BY: JAY GIBLIN, DRAWING LAST SAVED: 7/23/2017 10:30 AM BY: JAY GIBLIN, DRAWING PLOT IN: C:\WORKSPACE\ENCL\DRAWINGS\PLT, PLOT DEVICE: TALENTS



PREPARED FOR:
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REVISIONS			
NO.	DATE	DESCRIPTION	

DRAINAGE STRUCTURE DETAILS				
SILVERADO ST. CHARLES				
FILE NAME: DETAILS	DSGN. BY: MSK	JOB NO.: 800.002	F.L.D. BK./PG.: ---	SHEET NO. 22 OF 22
DIR: 800002	DRN. BY: BCD/ACC	DATE: 01-23-2017	SCALE: 1" = N.T.S.	

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3h

Title:

Plan Commission recommendation to approve a Special Use for PUD and PUD Preliminary Plan for Prairie Center.

Presenter:

Russell Colby

Meeting: Planning & Development Committee

Date: February 13, 2017

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: ☐**Executive Summary** (if not budgeted please explain):**Background:**

Shodeen Group, LLC has filed applications for approval of a Planned Unit Development (PUD) for the Prairie Center project, a redevelopment of the former St. Charles Mall property located north of IL Rt. 38/Lincoln Highway, south of Prairie Street, and east of Randall Road.

A Concept Plan application for the project was reviewed by the City in January 2016. The PUD plan has similar land uses to the Concept Plan, including commercial uses along Rt. 38, an area of mixed use buildings, and an area of residential buildings. The plan includes:

- 670 residential units (including 61 affordable “bonus” units)
- A range from 83,000 to 116,000 square feet of commercial uses (depending on whether certain buildings are constructed as mixed use and not residential only)

(A separate application requesting residential rezoning to the RM-3 General Residential District has also been filed. The intent of this application is to request residential zoning of a portion of the property in the event that the applicant chooses to withdraw the PUD applications during the review process or after, if the project is denied. At this time, the applicant has requested that the City review the PUD applications first, and not take any action to schedule review of the Map Amendment application.)

Review Process:

Engineering Studies: In March 2016, the P&D Committee reviewed proposals for engineering studies to be conducted for the project (traffic study, sanitary sewer analysis, and watermain modeling). The City controlled the scope of each study and the applicant provided a deposit to the City which covered the full cost of the studies. These studies were completed and presented to the Plan Commission as a part of the public hearing. Regarding the traffic study, IDOT has provided comments and the City’s traffic consultant, HLR, is currently preparing a response.

Affordable Housing: On 11/17/16, the Housing Commission reviewed and recommended approval of the applicant’s request for a variance to the Inclusionary Housing Ordinance requirement to permit the required affordable units to be located within one or more buildings (as opposed to being distributed throughout the site). The applicant represented that they are working with an affordable senior housing developer.

Plan Commission review: The Plan Commission conducted public hearings regarding the PUD on 10/18/16, 12/6/16, and 1/10/17. On 1/17/17, the Plan Commission recommended approval of the project, subject to conditions relating to:

- Building architecture, to encourage greater variation in building design, particularly where two buildings could be attached together, as shown on the site plan. (During the public hearing, the architecture was changed to the Prairie style at the request of the Plan Commission.)
- Phasing, to require that the north-south boulevard be substantially installed with the first phase of the project.

The Plan Commission resolution with their findings and conditions is attached.

Other Items:

Staff Preliminary Plan Review: Revised engineering and architectural plans were submitted on 2/3/17. It appears that most of the outstanding plan review comments have been resolved.

Park District: The applicant and staff have engaged in discussions with the St. Charles Park District regarding a park site donation within the project. The Site Plan shows a park site located adjacent to the on-site detention basin. The Park District has expressed an interest in accepting a park site donation at this location, but this has not been finalized. The most recent letter from the Park District is attached.

PUD ordinance: Staff and the applicant are engaging in discussions regarding the PUD ordinance for the project. The attached memo summarizes the key provisions of the draft PUD Ordinance. The developer's proposal for utility connection fee credits remains unresolved.

Attachments (please list):

Plan Commission Resolution regarding PUD, Housing Commission Resolution regarding Affordable Unit Location Variance, Staff Memo regarding PUD Ordinance, Staff Analysis Memo, Applications, Plans, Excerpts of Engineering Studies

Complete engineering studies, with all appendices, and all public hearing exhibits are posted on the project website: www.stcharlesil.gov/projects/prairie-center

Recommendation/Suggested Action (briefly explain):

Plan Commission recommendation to approve a Special Use for PUD and PUD Preliminary Plan for Prairie Center.

City of St. Charles, Illinois
Plan Commission Resolution No. 1-2017

**A Resolution Recommending Approval of Applications for
Special Use for PUD and PUD Preliminary Plan for Prairie Center
(former St. Charles Mall site) (Shodeen Group, LLC)**

Passed by Plan Commission January 17, 2017

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Planned Unit Development (PUD) and PUD Preliminary Plan; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the petitions for a Special Use for PUD and PUD Preliminary Plan for Prairie Center (former St. Charles Mall site) (Shodeen Group, LLC) and;

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**

Resolution 1-2017

- 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The proposed Special Use for PUD meets the above criteria in that it will establish a creative, mixed-use residential and commercial site which is for both pedestrian and vehicular movement, promotes physical activity and social interaction, encourages a mixed land use, establishes a high-quality of residential units, and encourages the redevelopment of this long-vacant and obsolete site.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. Conforming to the requirements would inhibit creative design that serves community goals,**

or

- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public areas, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

Resolution 1-2017

The proposed Special Use for PUD provides community amenities beyond those required by the ordinance, such as high-quality residential rental; provides superior landscaping and buffering; provides high-quality architectural design; provides an efficient building and site design; provides accessible dwelling units, and will conform with the affordable housing standards of the City of St. Charles.

iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The proposed Special Use for PUD will provide much-needed high-quality, mixed use residential and commercial development in St. Charles, and the additional residents will serve to support the City's business districts.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

A traffic study conducted by Hampton, Lenzini and Renwick, Inc., dated January 3, 2017, revealed existing concerns within the study area, particularly along Randall Road and along the east end of Prairie Street. While the Prairie Center development-related traffic is expected to contribute to these concerns, the analyses show that these problems will not be avoided by preventing the development.

Modelling of the proposed sanitary sewer routing showed that at pre-development, three of the pipe segments are currently over capacity during a 10-year storm design event. The proposed Prairie Center sewer flows will cause an additional two pipe segments to be over capacity during that same event. These pipes are not drastically over capacity but will require upsizing at some point in the future.

The Plan Commission concludes that there are infrastructure deficiencies pertaining to roads and sanitary sewers. However, the proposed development does not have a greater impact on said infrastructure than alternative development concepts that assume full development of the site with land uses that conform to existing zoning. Furthermore, the proposed development does not alter or intensify the mitigation requirements for said infrastructure deficiencies.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the

Resolution 1-2017

purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed Special Use for PUD will not be injurious to the use or enjoyment of other properties in the immediate vicinity and will, instead, augment and help to increase the property values of the same.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed Special Use for PUD will not impede the normal and orderly development and improvement of surrounding properties.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed Special Use for PUD will not be detrimental to or endanger the public health, safety, comfort or general welfare of the community.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use for PUD will conform to all existing Federal, State and local legislation and regulation except to the extent expressly modified by the PUD.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The Subject property has been vacant and underutilized for many years, and does not contribute sufficiently to the City's tax base. The proposed Special Use for PUD will allowed this property to be placed into economically beneficially use for the City and its residents.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed Special Use for PUD conforms to the purposes and intents of the Comprehensive Plan.

Resolution 1-2017

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a Special Use for PUD and PUD Preliminary Plan for Prairie Center (former St. Charles Mall site) (Shodeen Group, LLC), based upon the above Criteria for Planned Unit Developments, contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

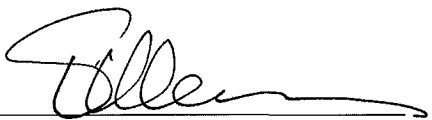
Ayes: Wallace, Macklin-Purdy, Kessler, Pretz, Doyle, Holderfield, Frio

Nays: None

Absent: Schuetz, Spruth

Motion carried: 7-0

PASSED, this 17th day of January 2017.



Chairman
St. Charles Plan Commission

City of St. Charles, Illinois
Housing Commission Resolution No. 1-2016

**A Resolution Recommending Approval of a Variance Regarding the Location of
Affordable Units for the Prairie Center Project**

Passed by Housing Commission November 17, 2016

WHEREAS, it is the responsibility of the St. Charles Housing Commission to review requests for variances under Section 19.02.100 entitled “Location, Phasing and Design” of Title 19 entitled “Inclusionary Housing” of the St. Charles Municipal Code (the Inclusionary Housing Ordinance); and

WHEREAS, the Housing Commission reviewed a request submitted by Shodeen Group, LLC, dated 10/6/2016, for a variance from Section 19.02.100.A entitled “Location of Affordable Units” to allow the required Affordable Units in the Prairie Center Project to be provided in one or more buildings instead of being dispersed among the Market-Rate Dwelling Units as required by said Section 19.02.100.A; and

WHEREAS, the Housing Commission finds the requested variance will further affordable housing opportunities to an equal or greater extent than will compliance with the requirement regarding the location of Affordable Units.

NOW, THEREFORE, be it resolved by the St. Charles Housing Commission to recommend to City Council approval of a variance from Section 19.02.100.A entitled “Location of Affordable Units” for the Prairie Center Project.

Roll Call Vote:

Ayes: Glenn, Eakins, Hansen, Goettel, Hall, Pierog

Nays: Amundson

Abstain: Payleitner

Absent None

Motion carried: 6-1

PASSED, this 17th day of November 2016.

Chairman
St. Charles Housing Commission

Community & Economic Development
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



STAFF MEMO

TO: Chairman Todd Bancroft
And the Members of the Planning & Development Committee

FROM: Russell Colby, Planning Division Manager

CC: Mark Koenen, City Administrator
Chris Minick, Director of Finance
Peter Suhr, Director of Public Works
Rita Tungare, Director of Community & Economic Development

RE: Prairie Center – **PUD Ordinance Status**

DATE: February 10, 2017

The applicant provided a PUD ordinance draft to staff to review. Staff and the applicant have been engaged in discussions regarding the draft.

The following is a summary of significant items in the Ordinance draft. Items that are not resolved through negotiations between the developer and staff are highlighted in **RED**.

Zoning-related items

- **Plan Changes:** Standards for review and approval of plan changes have been drafted specifically for the project (Major- requires public hearing and ordinance amendment, Minor- Require Committee approval only, Administrative- requires staff review only). See the attached ordinance excerpt.
- **Parking requirement:** Parking deviation of 15% to the total required parking count will be granted per the PUD ordinance, with the ability for the requirement to be further reduced administratively in the future based on changing demand or other supporting data.
- **Inclusionary Housing:** Variance to permit all of the affordable units to be located in one or more buildings, as opposed to distributed throughout the site. The developer has represented that they are working with a senior housing developer to provide the affordable units. However, the location variance as requested by the developer and recommended for approval by the Housing Commission would apply to any type of affordable units, not just a senior development. The City Council has the authority to decide whether to grant this variance along with any conditions.
- **Optional “mixed use” buildings:** Ability for the developer to eliminate commercial use in the “optional” mixed use buildings (B1, B2, B3). There is no process or timeline specified for elimination of the optional “mixed use”, but this could be addressed in the PUD ordinance.

- **Subdivision platting:** The property is to be platted as a single lot, and may be later divided into lots for individual buildings. (This is commonly permitted in the City's commercial PUDs)
- **Phasing:** No specific phasing plan has been proposed, rather the developer is requesting the ability to phase the building construction based on market conditions. Through discussion with staff and the Plan Commission recommendation, the following items are proposed to be required with the first phase of the development:
 - Rerouting of the sanitary sewer from the site to 14th St/Rt. 38 per the engineering plans.
 - Installation of the on-site stormwater detention basin.
 - Installation of the north-south boulevard (except for the northernmost portion, which may be delayed while buildings C3 and B2 are constructed)

Utilities and Infrastructure related items

- **Off-site road improvements:** The following road improvements would be required to be completed by the developer at 50% build out of the total square footage of the project (either residential or non-residential):
 - Modification of the traffic signal at the Rt. 38 entrance to add southbound and northbound left turning phases (as recommended in the Traffic Study)
 - Any Rt. 38 improvements required by the Illinois Department of Transportation (which may include new traffic signal equipment and right-turn lanes into the site)
 - Re-optimization of the traffic signal system along Randall Road and Rt. 38, as required by the Kane County Department of Transportation.
- **Contribution for off-site Sanitary Sewer Capacity Improvements:**
 - The City has requested that the developer provide a contribution for off-site sanitary sewer capacity improvements that will benefit the Prairie Center project. Two improvements are identified: An improvement completed in by the City in 1999 along Gray Street and Elm Street, and future improvements identified in the Sanitary Sewer Analysis for Prairie Center located along Elm Street, Roosevelt Street and Illinois Rt. 31.
 - The developer's contribution is calculated based upon the "new" sanitary sewer flow coming from the proposed development (not including the estimated "old" flow from the previous St. Charles Mall development).
 - Contribution for 1999 Gray Street Improvement:
 - Completed in 1999 for \$470,000
 - Prairie Center "new flow" percentage: 2.7%
 - 2.7% of \$470,000 = \$12,716 (in 2017 dollars = **\$18,317**)
 - To be paid at the time of the first building permit
 - Contribution for Future Elm/Roosevelt/Rt. 31 Improvement
 - Estimated 2017 cost: \$1,947,311
 - Prairie Center "new flow" percentage: 1.4%
 - 1.4% of \$1,947,311 = **\$27,407**
 - 50% paid at time of first building permit, 50% paid 5 years after approval of the PUD ordinance.
- **Water and Sanitary Sewer Connection Fee Credits: UNRESOLVED WITH DEVELOPER**
 - The developer has requested a utility connection fee credit for the previous buildings constructed on the site (the demolished St. Charles Mall and existing former Burger King and Colonial buildings).
 - The City typically provides a connection fee credit for demolished buildings that are replaced with new development. However, the City has not been receiving utility service

payments for the former mall since it was demolished in 2000-2002. A utility payment includes both payment for usage charges and payment into a capital replacement fund for the utility. During the past 17 years, the former mall building has not been paying into the capital replacement fund. Therefore, staff believes that the property is not entitled to a full credit for connection fees paid when the property was constructed in 1979.

- For purpose of discussion with the developer, staff has calculated the following connection fee amounts:

▪ Estimated connection fee for Old Mall paid in 1979:	\$105,121
▪ Value of 1979 connection fee for Old Mall in 2017 dollars:	\$347,518
▪ Connection fee for Old Mall at 2017 rates:	\$435,595

Staff suggested credit: 50% of \$347,518: \$173,759

- For reference, the projected water and sewer connection fees for the entire Prairie Center project, at 2017 fee rates, are projected as follows:

▪ Prairie Center commercial uses:	\$323,348
▪ Prairie Center residential uses:	\$1,521,100
▪ <i>Total for entire project:</i>	<i>\$1,844,448</i>

- **Electric Equipment Credit: UNRESOLVED WITH DEVELOPER**

- The developer has required a credit for the existing electrical equipment that was installed at the site for the former mall. The credit would be calculated based on the replacement value of the equipment, minus the salvage value of the equipment.
- Similar to the water and sanitary sewer credit discussion, staff is recommending that any credit be reduced based upon the fact that the electric service has not been active at the site since approximately 2000. Therefore, staff is recommending a reduction of the credit based upon the number of years the equipment was not being utilized, as a portion of the expected life of the equipment.
- Staff is currently preparing estimates for these amounts.

- **TIF Reimbursement for Utility Improvements**

- The Prairie Center property is located in a Tax Increment Financing (TIF) District that was created in 2000 and will expire in tax levy year 2023, which is collected in calendar year 2024. According to the City's Finance Department, as of April 30, 2016, the TIF district has a bond balance of \$1,305,000. For the City's current fiscal year (FY 2016-2017), the debt service on the bond is approximately \$222,050. Of this amount, the TIF District will pay approximately \$124,379 and the City's General Fund will subsidize the remaining \$97,671.
- The developer has requested reimbursement for utility improvements for the project. The PUD ordinance draft identifies that any TIF increment generated from the site will be utilized in the following order:
 - 1. Repayment of amounts the City has advanced for prior shortfalls of incremental TIF revenue and debt service payments
 - 2. To retire the St Charles Mall TIF bonds as they come due
 - 3. Reimburse the developer for an aggregate 50% of the following:
 - Off-site Sanitary Sewer Capacity Improvements identified above (50% of \$45,724 = \$22,862)
 - Other off-site sanitary sewer improvements for Prairie Center- which would include the re-routing of the existing sewers from the site to the sewer at 14th St. and Rt. 38, which will be constructed by the developer

with the first phase of the development. (The cost of this work has not been determined.)

- **The revenue generated would depend on how fast the project is constructed. Based on the limited number of years remaining in the life of the TIF district and the unknown phasing and build out time line, it is not known how much new TIF revenue will be generated.**

Excerpts from draft PUD ordinance for Prairie Center

3. Future changes to any one or more of the Approved Preliminary PUD Plans may be reviewed and approved in accordance the procedures contained in Title 17 of the St. Charles Municipal Code, Section 17.04.430, "Changes in Planned Unit Developments", but with the following modifications to said Section 17.04.430 for purposes of Prairie Centre PUD only, to wit:

(a) **"Major Changes"** shall mean changes of the following magnitude to the Approved Preliminary PUD Plans. A Major Change shall require approval of an amendment to this PUD Ordinance following a public hearing (but not a new concept review, unless the essential "mixed use" nature of the Prairie Centre Project is proposed to be changed). Without limiting the foregoing, "Major Changes" expressly include the following types of changes:

- (i) A reduction in the acreage of open space or common open space by 10% or more.
- (ii) An increase in the total number of dwelling units within the PUD above 670 units.
- (iii) A change in the types of dwelling units from attached multi-family to detached single family.
- (iv) A reduction by 30% or more in number of parking spaces below the number of parking spaces otherwise required by the methodology in **Exhibit "F"**, said Exhibit being attached hereto and made a part hereof.
- (v) An increase to 30% or more in the percentage credit for shared parking as otherwise allowed in **Exhibit "F"** attached hereto.
- (vi) An expansion by 10% or more of any building footprint (other than by reason of the combination of 2 buildings into 1).
- (vii) Any modifications to the provisions of this PUD ordinance, including the provisions listed in the Departures and Deviations and Other Approvals and Agreements exhibits, not otherwise allowed as a Minor Change or an Authorized Administrative Change.

(b) **"Minor Changes"** shall mean changes that are not defined above as "Major Changes" or as changes subject to administrative authorization below, and which do not change the concept or intent of the PUD herein approved.

(c) **"Authorized Administrative Changes"** for the Prairie Centre PUD include changes which are not Major Changes or Minor Changes as defined above. Without limiting the foregoing, Authorized Administrative Changes expressly include the following types of changes:

- (i) A reduction by 5% or less in the acreage of open space or common open space
- (ii) A reduction of 15% or less in the number of parking spaces below the number of parking spaces otherwise required by the methodology in Exhibit F attached hereto
- (iii) An increase from 15% to less than 30% in the percentage credit for shared parking as otherwise allowed in **Exhibit "F"** attached hereto.
- (iv) An expansion of any building footprint (other than by reason of the combination of 2 buildings into 1) by 5% or less.
- (v) Any changes to the exterior architecture that, in the discretion of City Staff, do not materially detract from or diminish the essential style or quality of the building architecture as originally approved herein
- (vi) Any changes to landscaping that, in the discretion of City Staff, do not materially detract from or diminish the essential style or quality of the landscape plan as originally approved herein
- (vii) Any changes to building footprint location and/drive aisle location in excess of 25 feet.
- (viii) The installation of all signs within the development, within the requirements established herein.

Exhibit “E”

PUD Standards-Departures and Deviations and Other Approvals

Uses

1. The total number of residential dwelling units may include up to 609 market-rate dwelling units plus affordable dwelling units equal to 10% of the number of market-rate dwelling units, such that if 609 market-rate dwelling units are built, an additional 61 affordable dwelling units shall be required, for a total of 670 dwelling units in total.
2. First floor multi-family residential shall be permitted in all of the buildings shown on the PUD Site Plan except for (i) those abutting State Route 38, labelled as Retail/Restaurant buildings A, B1, B2, C1, C2 and D, and (ii) those buildings labeled Mixed Use D1, D2 and D3.
3. Multi-family residential units may be established on the second and higher floors of all buildings shown on the PUD Plan except for buildings abutting State Route 38, and labelled as “Retail / Restaurant buildings A, B1, B2, C1, C2 and D”.
4. Senior “independent living” and Affordable Housing Units facilities shall be permitted where residential use is permitted herein, with Affordable Housing Units to be constructed as provided in the Affordable Housing Agreement to be entered into between the City and the Applicant.
5. Private outdoor recreation to accommodate a private swimming pool and other water-features as shown on the PUD Site Plan shall be allowed. Also, swimming pools and exercise facilities are permitted within any building.
6. Multi-family dwellings shall be permitted either as apartment buildings for rent and/or condominium buildings for sale.
7. Drive-Through Facilities shall be permitted uses for buildings abutting State Route 38, labelled as Retail/Restaurant buildings A, B1, B2, C1, C2 or D, subject to the requirements applicable to Drive-Through Facilities in the Municipal Code.
8. The Developer may include or exclude first floor commercial space within one or more of Mixed Use Buildings B1, B2, and/or B3 all at the discretion of the Developer based upon market demand for additional commercial space or lack thereof. Any of such buildings constructed without provision for commercial space on the ground level may be constructed as a 100% “residential” building, in the same style and scale as other all-residential buildings otherwise permitted by the PUD Plan (such as building D1) may be constructed.

Permitted Changes to the PUD Site Plan

9. The combination (connection) of two or more buildings shown on the PUD Site Plan at any one or more of their floors into one building, or the separation of any one building shown on the PUD Plan into two buildings, shall be permitted.
10. The Developer may increase or decrease in the number of retail buildings and associated square footage with respect to those buildings shown on the PUD Site Plan as abutting Illinois State Route 38 (now labeled as Retail/Restaurant buildings A, B1, B2, C1, C2 or D), it being agreed and understood that the number of buildings, and associated square footage may be increased or decreased as the market may demand at the discretion of the Developer, provided, however, that residential may not be included in any of these buildings abutting State Route 38. Additionally, drive-through facilities shall be permitted uses for any of these buildings A, B1, B2, C1, C2 or D, subject to compliance with the requirements applicable to drive-through facilities in the Municipal Code

Subdivision and Phasing

11. The Prairie Centre PUD will be initially platted and developed as a one-lot subdivision, with multiple buildings on this single lot as shown on the PUD Site Plan. No internal streets (whether public or private) need be established within the one-lot subdivision but, instead, a permanent blanket cross-access easement shall be established over the entire subdivision as shown on the Preliminary Plat of Subdivision. The blanket cross-access easement shall provide access between all buildings to the adjacent public streets of Illinois State Route 38 on the south, and Prairie Street on the north, and to the east and west property lines

at locations where cross access connections to adjacent properties are shown on the PUD Site Plan. Such blanket cross-access easement shall not include areas where buildings are to be constructed as shown on the approved PUD Site Plan.

12. The single-lot may, at the discretion of the Owner/Developer, later be resubdivided into one or more additional lots (each an “**Additional Lot**”), and such resubdivision shall be deemed a change subject to Administrative Change to the PUD; provided, however, that the plat of resubdivision, itself, shall require processing and approval as provided in Title 16 of the St. Charles Municipal Code. As to any one or more Lots created by the initial plat of subdivision of any plats of resubdivision that may be established with respect to the Prairie Centre Project, the following shall apply:
 - a. No internal streets (whether public or private) need be established within the one-lot subdivision but, provided a blanket cross access easement over the entire site has been established.
 - b. There shall be no restriction requiring not more than one principal building per lot;
 - c. There shall be no minimum lot area;
 - d. There will be no minimum lot width;
 - e. There will be no maximum building coverage area;
 - f. There will be no maximum gross floor area per building provided that each building footprint shall be in substantial accordance with the PUD Site Plan (subject, however, to the provision that buildings shown on the PUD Site Plan may be connected or divided.)
13. There shall be no maximum block length.
14. Lots need not be rectangular in shape.
15. Double-frontage lots abutting internal access easements shall be permitted as shown on the Approved PUD Site Plan.
16. No perimeter utility easement shall be required with respect to any lot or Additional Lot provided a blanket utility easement has been provided, as shown on the Preliminary Plat of Subdivision. Such blanket easement shall not include areas where buildings are to be constructed as shown on the approved PUD Site Plan.
17. Notwithstanding the provisions of Section 16.04.120 of the Municipal Code, the Developer shall be entitled to construct in phases the Prairie Centre Project as approved by the Approved Preliminary PUD Plans, with such phased construction of buildings to be based on market demand. In connection with such phased construction and build-out, the Developer shall only be required to construct, and bond for (and to provide a completion guaranty with respect to) the public improvements and other Land Improvements contemplated by the Approved Preliminary PUD Plans which, in the reasonable judgment of the City’s engineer, are required to (i) support the buildings being constructed and / or (ii) to assure the safety of the occupants of said buildings.
18. Irrespective of the order in which buildings are constructed, the Developer shall construct, and bond for (and to provide a completion guaranty with respect to) the following improvements contemplated by the Approved Preliminary PUD Plans concurrent with the first phase of construction:
 - a. Disconnection of the sanitary sewer at the property line of the Covington Court Subdivision and construction of a new sanitary sewer line connecting the sanitary sewer system located on the site to an existing sanitary sewer located along Illinois State Route 38 near 14th Street, all as depicted on the Preliminary Engineering Plans.
 - b. Installation of the on-site stormwater detention basin as depicted on the Preliminary Engineering Plans. Installation of the stormwater detention system may be phased provided that at each phase, the developer can demonstrate that the project is in compliance with the requirements of the City’s Stormwater Management Ordinance, Title 18 of the Municipal Code. The total detention volume within the off-site 14th Street detention basin shall be based upon the actual volume as determined by survey information.
 - c. Installation of the north-south boulevard from Illinois State Route 38 to Prairie Street as shown on the PUD Site Plan. Installation of the section located between Prairie Street and the roundabout may be deferred in order to accommodate construction of Residential Buildings C3 and B2.

Setbacks

19. There will be no parking or building setbacks from interior lot lines.
20. The setbacks from the Prairie Street right-of-way and the Illinois State right-of-way shall be as follows:
 - a. 10 feet building setback from Prairie Street;
 - b. 25 feet building setback from Route 38
 - c. 0 feet parking setback from Prairie Street if on-street parking is provided, otherwise 10 feet

- d. 25 foot parking setback from Route 38
- 21. Only side yard requirements shall be from the east and west outside property lines on the entire project, as follows:
 - a. 10 feet building setback for residential Building F1 from the east property line, otherwise 15 feet along the east property line;
 - b. 15 feet building setback along the north east property line (for residential Buildings F2 and C2);
 - c. 10 feet building setback line from the west property line with respect to Retail Restaurant A, otherwise 15 feet along the west property line
 - d. 0 parking setback from both the east and west outside project lot lines.

Landscaping

- 22. No Landscape Buffer Yard, as defined in the Municipal Code, shall be required anywhere within the Project.
- 23. Landscaping for the Project shall be deemed satisfied by the landscaping shown in the Approved Preliminary PUD Site Plans, subject to the following:
 - a. Notwithstanding the provisions of Section 17.26.080 of the Municipal Code, building foundation landscaping would not be required along mixed-use buildings and retail/residential buildings, but shall be provided along residential buildings where shown on the Approved Preliminary PUD Site Plans.
 - b. Notwithstanding the provisions of Section 17.26.090.A of the Municipal Code, public street frontage landscaping would not be required along Prairie Street (but would be required along Illinois Route 38).
 - c. Notwithstanding the provisions of Section 17.26.090.C of the Municipal Code, the landscape plans which are submitted as part of the approved Preliminary PUD Plans shall satisfy/replace the 10% internal landscape area requirement contained in the Municipal Code.

Building Design

- 24. The maximum building height for a mixed-use building with a flat roof and a residential building with a pitched roof shall be 52 feet in height, and the maximum height for the retail buildings that abut Illinois State Route 38 shall be 40 feet in height. Mixed use buildings with a pitched roof may be up to 64 feet in height.
- 25. Building architecture deviations and departures are approved as follows:
 - a. The residential and mixed-use building architecture is approved notwithstanding the requirements of Section 17.06.030.A.1 of the Municipal Code;
 - b. Architecture for the retail/restaurant buildings shall be submitted for review as a PUD Preliminary Plan under Section 17.04.410.F of the Municipal Code.
- 26. The use of the following exterior building materials is hereby permitted: masonry; precast; glass; cement fiber siding and trim; aluminum fascia; aluminum soffits; aluminum gutters; aluminum storefront; vinyl windows.
- 27. For any Mixed Use or Residential buildings that are connected together as depicted on the PUD Site Plan, in order to reduce the apparent mass and monotony of the buildings, the connection between the buildings shall 1) be set back from the adjacent front and rear elevations for a sufficient distance to provide a clear visual break in the wall plane of the building and 2) incorporate design elements that contrast from the design of the remainder of the elevation. Examples of contrasting elements include varying façade materials or patterns, fenestration, or rooflines.

Signs

- 28. Signage shall be permitted per Exhibit "H" and shall be reviewed as an Authorized Administrative Change.

Parking

- 29. A parking deviation is hereby approved so as to provide for the calculation of required parking spaces using the methodology and "Spaces Required" for each type of use as shown on Exhibit F attached hereto (with the parking spaces required though the use of Exhibit F being called the "PUD Parking Requirements"). At the time of each building permit application by the Developer, the City shall require that the Developer have (or to then put) in place only the parking spaces required to serve (i) the previously built buildings and (ii) those new buildings as to which the building permit pertains. Although the Approved Preliminary PUD

Plans show that the project could provide as many as 1,426 parking spaces (on and below grade), the Developer shall only be required to provide the number of parking spaces equal to that number produced by calculation made pursuant to the methodology contained in Exhibit “F”, and then only incrementally as necessary to serve the project as the PUD project is being incrementally constructed. Notwithstanding the foregoing, the City may hereafter allow (as an Authorized Administrative Change) an increase in the “Reduction for Shared Parking” showing on Exhibit “F” (with a corresponding reduction in the PUD Parking Requirements) if the Developer can establish to the reasonable satisfaction of the City’s administration that less on-site parking is necessary due to any of the following: (i) ride sharing arrangements; (ii) the advent and common use of driverless cars; (iii) additional public transportation being provided in the area; (iv) demonstration by the Developer that historic parking requirements within the Prairie Centre Project have been less than projected; and / or (v) other factors not previously considered and deemed persuasive by the City’s administration.

Exhibit “F” Parking Calculations

PRAIRIE CENTRE PARKING ANALYSIS*

Required Parking						
<u>Use</u>	<u>Qty*</u>	<u>Unit</u>	<u>Spaces Required</u>	<u>per</u>	<u>unit</u>	<u>Line Total Required</u>
Residential 1 Bedroom	280	Unit	1.2		Unit	336.00
Residential 2 Bedroom	315	Unit	1.7		Unit	535.50
Senior Independent Living	<u>75</u>	Unit	0.25		Unit	18.75
Sub-Total	670	Units				
Personal services (salon)	20,000	GSF	3	1000	GSF	60.00
Health and fitness	5,000	GSF	5	1000	GSF	25.00
Retail, indoor recreation, amuse	52,000	GSF	4	1000	GSF	208.00
Medical, dental, office	6,000	GSF	4	1000	GSF	24.00
Coffee or Tea Room	6,000	GSF	5	1000	GSF	30.00
						331.5
Restaurant, Tavern/bar	<u>33,150</u>	GSF	10	1000	GSF	
Sub-Total	120,318	GSF				1568.75
15% Reduction for Shared Parking						-235.31
Required Parking						1333
*Use actual quantities						

Exhibit “G” Sign Requirements

Type	Number/Location	Setback from ROW	Maximum Area	Maximum Height	Other requirements
Development Identification Sign	Two at central entrance from Rt. 38 One at each other entrance from a public street One at each public street entrance, (2 signs on Prairie St., 4 on Rt. 38)	5 ft.	Area 75 sf	8 ft.	Monument sign only, cannot be internally lit, must display development name and/or logo only
Shopping Center Signs	Two permitted along Rt. 38	10 ft.	1 st sign: 225 sf 2 nd sign: 100 sf	1 st sign: 30 ft. 2 nd sign: 15 ft.	
Freestanding Signs for Retail/Restaurant Buildings	One per building	10 ft.	50 sf.	8 ft.	Monument sign only
Wall Signs	Mixed Use buildings: One per business on each wall/frontage of the business Retail/Restaurant Buildings: -For single tenant buildings, 1 per wall -For multi-tenant buildings, 1 per business on each wall/frontage of the business		1.5 sf times the linear width of the wall		
Awnings/Canopies	1 per business on each wall/frontage of the business		Lettering = 1 sf per linear ft. frontage of awning/canopy		Awnings shall be made of cloth. Backlit awnings are prohibited.
Projecting Signs	1 per business		18 sf		Maximum 4 ft. projection from wall
Banners on freestanding poles	Permitted on all light poles	5 ft.	18 sf		

Community & Economic Development Planning Division

Phone: (630) 377-4443

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ST. CHARLES
SINCE 1834

STAFF ANALYSIS MEMO

TO: Chairman Todd Bancroft
And the Members of the Planning & Development Committee

CC: Rita Tungare, Director of Community & Economic Development
John McGuirk, City Attorney

FROM: Russell Colby, Planning Division Manager

RE: Prairie Center PUD

DATE: February 7, 2017

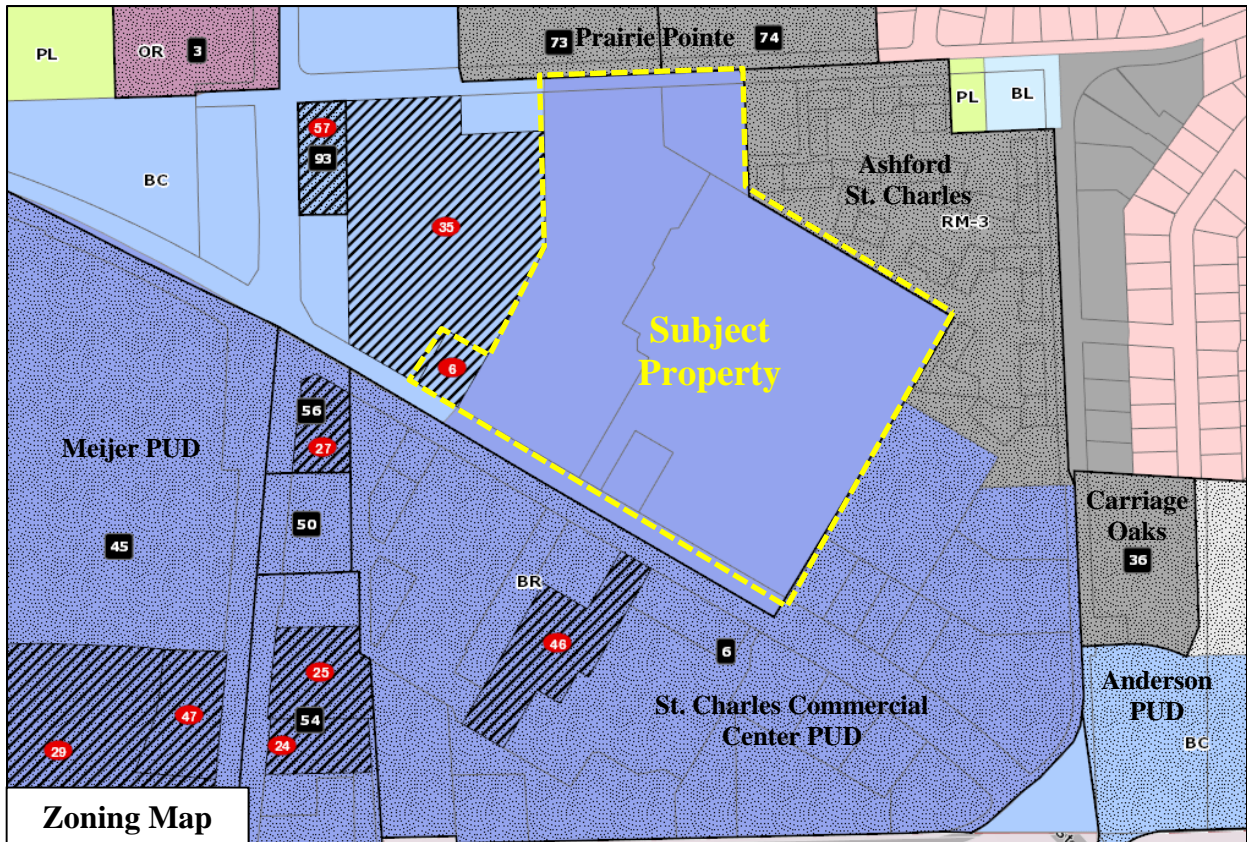
I. APPLICATION INFORMATION:

Project Name: Prairie Center

Applicant: Shodeen Group, LLC

Purpose: Planned Unit Development (PUD) approval for mixed-use redevelopment of former St. Charles Mall property

General Information:		
Site Information		
Location	North of IL Rt. 38/ Lincoln Hwy., south of Prairie St., east of Randall Rd.	
Acres	27 acres	
Applications	Special Use for PUD, PUD Preliminary Plan	
Applicable Code	17.04 Administration	
Sections	17.14 Business and Mixed Use Districts	
Existing Conditions		
Land Use	Vacant	
Zoning	BR Regional Business District BC Community Business District - SU (former Burger King property)	
Zoning Summary		
North	RM-3 General Residential Dist. - PUD	Prairie Pointe Apartments (formerly Wessel Ct) Ashford St. Charles Apts. (formerly Covington)
East	BR Regional Business Dist. – PUD RM-3 General Residential Dist. - PUD	St. Charles Commercial Ctr.-Binny's, Jiffy Lube Ashford St. Charles Apts. (formerly Covington)
South	BR Regional Business Dist. – PUD	Tri-City Shopping Center
West	BC Community Business Dist. - SU	Jewel-Osco store with Drive-Through Retail strip on Prairie St.
Comprehensive Plan Designation		
Corridor/Regional Commercial and Potential Mixed Use (located in West Gateway Sub Area)		



II. BACKGROUND / SITE HISTORY

The subject property is a 26.48-acre site comprised of:

- The former St. Charles Mall property
- Outlot parcels around the former St. Charles Mall property (former Burger King and former Colonial Café fronting Lincoln Hwy.; undeveloped outlot parcel fronting on Prairie Street)

Development History of the Site

St. Charles Mall

- 1980 – St. Charles Mall opens at the site. The mall consisted of a 290,000 square foot shopping center that included Spiess and K-Mart stores as main anchors.
- 1993 – Mall tenants began vacating the property.
- 1996 – Last tenant leaves and the St. Charles Mall closed.

Auto Mall proposal & TIF District

- 2000 – TIF District established. (The TIF district will expire in 2023.)
- 2002 – City entered a Redevelopment Agreement to facilitate the construction of an Auto Mall at the site. Zoning approval for an auto mall was granted.
- 2003 – Mall building was demolished.
- The Auto Mall project did not move forward.

Towne Centre Proposal

- 2007 – Shodeen submitted a Concept Plan for review of a mixed-use development with approximately 1,000 residential units and 250,000 square feet of commercial space. The proposal included 3 parking decks with approximately 2,000 parking spaces and multi-story buildings of up to 8 stories tall.
- 2008 – Shodeen filed formal zoning applications for the approval of the Towne Centre project. Applications included creation of a new mixed-use zoning district, rezoning of the entire property to the mixed use district, and PUD approval. The residential unit count was 777 units.
- Project was reviewed over 9 Plan Commission public hearings from Dec. 2008 to April 2010. The residential unit count was reduced to 675 units prior to the conclusion of the hearings.
- April-May 2010:
 - Plan Commission recommended approval of the project.
 - Planning & Development Committee recommended denial of the project.
 - City Council voted to deny the application to create the new mixed use zoning district, and therefore the rest of the zoning applications were dismissed.

Prairie Center Proposal

- May 2015 – Shodeen held a neighborhood meeting regarding the Prairie Center proposal.
- October 2015 – Shodeen submitted a Concept Plan Application for Prairie Center. The Concept Plan includes both a PUD Concept Plan and an Alternative Site Plan. The Alternate Site Plan would require only a rezoning request, with no PUD needed.
- November 2015 – Shodeen held a second neighborhood meeting.
- January 2016 – The Concept Plan Application was reviewed by the Plan Commission and Planning & Development Committee.

III. PROPOSAL

PUD Application

Shodeen Group, LLC has submitted two applications requesting approval of a Planned Unit Development (PUD) for the Prairie Center project:

- **Special Use for Planned Unit Development (PUD)** to establish zoning and development standards for the project. The PUD approval would grant deviations to the underlying BR Regional Business District zoning. The deviations necessary for the project are related to: Permitted and special uses (to allow residential use), bulk requirements for buildings, building design requirements, landscaping requirements and off-street parking requirements. (These items are as discussed in the “Zoning Review” section of this memo.)
- **PUD Preliminary Plan** requesting approval of the overall site layout, preliminary engineering plans, partial building architectural elevations, and a partial landscape plan.

The proposal has similar land uses to the Concept Plan reviewed in January 2016, including commercial uses along Rt. 38, an area of mixed use buildings, and an area of residential buildings. The site plan and street layout has been modified based on comments received during the Concept Plan review.

Three building (B1, B2 and B3) are shown as mixed use buildings, but the applicant has requested the ability to eliminate the commercial uses within those buildings in response to market demand.

Development Data Summary		
	PUD Site Plan	If Building B1, B2, B3 are residential only, not mixed use
Commercial square footage (in mixed use bldgs.)	83,328 sf	49,920 sf
Retail/Restaurant square footage (in outlot buildings)	33,150 sf	33,150 sf
Residential units	670 units	670 units
Gross Residential Density	24.8 dwelling units per acre	24.8 dwelling units per acre

Map Amendment Application

A separate application requesting residential rezoning to the RM-3 General Residential District has also been filed. The intent of this application is to request residential zoning of a portion of the property in the event that the applicant chooses to withdraw the PUD applications during the review process (or after, if the project is denied).

At this time, the applicant has requested that the City review the PUD applications first, and not take any action to schedule review of the Map Amendment application.

The Map Amendment application is not part of the current public hearing. The Map Amendment application would require a separate public hearing to be scheduled at a future date.

Development under a PUD vs. straight zoning (without a PUD)

With a PUD, the scope of the City's review during the public hearing and approval process is greater and more information is required at the time of the initial application. Plan submittals with a PUD application include a Subdivision Plat, Preliminary Engineering Plans, Preliminary Landscape Plans, and Building Architectural Elevations. PUDs also provide the City more discretion to negotiate a greater level of amenities or other public benefits than would otherwise be required by the minimum City Code zoning and subdivision standards.

With a Map Amendment (rezoning), the scope of review during the public hearing and approval process is limited to the change in zoning classification. No information regarding the development of the property is required. Subsequent to the granting of zoning, a property owner is entitled to request subdivision of the property (if desired, or if required based upon the development plan) and building permits, subject to conformance with the minimum code requirements of the City.

IV. COMPREHENSIVE PLAN

The City adopted the current Comprehensive Plan in 2013. The City undertook an extensive planning and public engagement process to develop the Comprehensive Plan. Over a two-year period, the City hosted numerous public meeting, workshops and open houses.

During the planning process, a significant amount of discussion was devoted to three key focus areas. These focus areas are included as Sub Area plans within the plan document. The subject property and adjacent Randall Road corridor are part of the West Gateway Sub Area.

Two chapters of the Comprehensive Plan include multiple references to the future development of the subject property:

- [Chapter 4- Land Use Plan](#)
- [Chapter 8- West Gateway Sub Area Plan](#)

The sections below references policies and recommendations which are directly applicable to the development of the subject property. These sections are provided below for reference and it is recommended to review the entire chapters of the plan for additional context.

Chapter 4- Land Use Plan

Future Land Use Map (p.40) designates the site as “Corridor/Regional Commercial.”

Areas designated as Corridor/Regional Commercial are intended to accommodate larger shopping centers and developments that serve a more regional function, capitalizing on traffic volumes along the City's busy streets and drawing on a customer base that extends beyond the City limits. These areas are appropriate for “big box” stores, national retailers, and regional malls or a “critical mass” of multiple stores and large shared parking areas. Commercial service uses can also have an appropriate place in corridor/regional commercial areas, but must be compatible with adjacent and nearby retail and commercial shopping areas and be located as to not occupy prime retail locations.

Residential Areas Framework Plan (p.45):

Area “G”: These two redevelopment sites [Charlestowne Mall and former St. Charles Mall site] have potential to develop with a mix of uses. The City should work with the property owners to explore mixed use development on these sites provided the development can assist in meeting other community objectives.

Mixed Use Outside of Downtown (p.47)

The Land Use Plan identifies both the Charlestowne Mall site in the City’s East Gateway and the Old St. Charles Mall site in the West Gateway as Corridor/Regional Commercial areas. However, both of these sites have potential for Mixed Use development, and similar to Downtown, each could foster a pedestrian-oriented mixed use node, with a mix of retail, restaurant, entertainment, recreation, and residential uses. This dynamic mix of uses in close proximity to major arterial streets has the potential not only to create a vibrant and inviting destination but also serve as a catalyst for needed investment in these important areas of the City. Building orientation in the area should have a strong orientation to major streets and careful consideration should be given to its impact on adjacent residential areas. Additionally, residential uses/ development within these mixed use areas should refer to the Residential Areas Framework Plan for additional considerations and recommendations. In these areas, it is important to maintain a healthy balance of users.

Commercial Area Policies (p. 48)

Continue to work with property owners and community members to finalize an acceptable development for the former St. Charles Mall Site.

This 30-acre site may represent the most significant redevelopment opportunity within the Randall Road corridor. Despite great potential, the opposition voiced by some members of the St. Charles community to past development proposals has highlighted the need for a clear vision for this site. Throughout the outreach exercises conducted as part of the Comprehensive Plan, the citizenry remained split on appropriate uses for the site. Chapter 8 – Subarea Plans provides three development alternatives for the site, however the ultimate solution may be an even different concept altogether. Currently the vacant site is impacting the commercial vitality of the area and negatively impacting nearby sites. What is desired by many residents may not be economically feasible, which is likely the primary reason the site remains vacant.

Chapter 8- Sub Area Plans

The Subject Property is located within the West Gateway Subarea. Goals and Objectives (p. 94) are listed below:

Subarea Goals

The West Gateway subarea provides unique opportunities within a specific context of a corridor capable of competing with other commercial areas of the City, including Downtown. These opportunities and goals are not meant to create competition with Downtown; rather, they strive to complement each other. The overall vision for the subarea includes the following elements:

- *An economically competitive corridor that capitalizes on its unique advantages and regional position and complements downtown.*
- *Redevelopment and repositioning to include the next generation of regional development and services.*
- *An attractive environment that is distinguishable from adjacent communities and respectful of surrounding neighborhoods.*
- *A multi-use area that provides a balance in and ease of access between residential, commercial, and retail activities.*

Subarea Objectives

- *Improvement of the appearance of the Randall Road Corridor and the identity of the St. Charles community through installation of streetscaping, wayfinding, and gateway elements.*
- *Enhancement of the character of both existing and new development through on-site landscaping, attractive building design and materials, and more consistent signage regulation.*
- *Improved mobility and access throughout the corridor, including between adjacent development sites or blocks.*
- *Comprehensive bicycle, pedestrian, and transit access through infrastructure and technology improvements.*
- *Preservation of surrounding neighborhoods through the use of screening and buffering from commercial development.*
- ***Redevelopment of the St. Charles Mall site with activities and a character that complement Randall Road and maintain an appropriate relationship with adjacent neighborhoods.***
- *Creation of market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.*
- *A transitioning land use pattern that is supportive of Bus Rapid Transit (BRT) along Randall Road.*
- *Achieve balance by promoting connections between the Downtown and the West Gateway area without competing with the Downtown.*

West Gateway Sub Area Plan Catalyst Sites (p.97)

The Subject Property is identified as Catalyst Site “J” and includes a small portion of Site H.

The Prairie Center Concept Plan site area is shown in the yellow dashed box.

Three different redevelopment alternatives for Sites H, I, and J are shown on p. 98.



- **Site J:** This 30-acre site may represent the most significant redevelopment opportunity within the Randall Road corridor. Despite great potential, the opposition voiced by some members of the St. Charles community to the St. Charles Towne Centre proposal highlights the complexity and sensitivity of the site’s future development. Throughout the outreach process, residents voiced different ideas for the site, underscoring the fact that the community remains split on the best use of the site. On the following page, this Plan presents 3 different alternatives for the site’s redevelopment. It is important to note that the final development option should be market viable. Due to the significance and complexity of this site, any redevelopment proposal should be subject to the Planned Unit Development approval process.
- **Site H:** The Jewel-Osco is an active grocery store providing nearby residents with access to daily necessities. Situated between the old St. Charles Mall site and Randall Road, the store is a neighborhood commercial use located on a regional commercial corridor. Through either a land-swap or incorporating the site into the larger redevelopment of the St. Charles Mall, the grocery use could be located further east with strong orientation to Lincoln Highway/IL 38, allowing the Randall Road frontage to develop more intensely, maximizing its location along the regional corridor.
- **Site I:** The Tri-City Center is a neighborhood scaled shopping center with strong orientation to Lincoln Highway and limited visibility from Randall Road. The mall has struggled to stay competitive and is characterized by excessive vacancies. Redevelopment of the site should explore repositioning the site towards Randall Road, which averages 39,000 cars per day (Lincoln Highway averages only 17,000). Redevelopment of the site should also explore improving the site’s visibility and access to Randall Road by acquiring and eliminating some of the existing outlot buildings.

St. Charles Mall (Site H, I and J) Redevelopment Alternatives (p.98)

Three different redevelopment land use plan alternatives are depicted on this page, along with a list of considerations applying to each alternative.

Page 98 of the Comprehensive Plan is included on the next page, with the boundaries of the Prairie Center Concept Plan site area identified.

St. Charles Mall (Site H, I and J) Redevelopment Alternatives



Regional Repositioning

This concept illustrates how the redevelopment area can be repositioned to better capitalize on Randall Road as a regional commercial corridor. By relocating both the Jewel-Osco, along with portions of the Tri-City Center to front Lincoln Highway, deeper development parcels can be created that front on Randall Road. These new lots would utilize existing Randall Road development as out lots, and could accommodate regional big-box development, however consideration should be given to taking some of this development offline to improve exposure and access to Randall Road. Other small-format development could be developed along the Lincoln Highway frontage to serve nearby residents and patrons from throughout the region traveling along or shopping within the Randall Road corridor.

Considerations

- » Can accommodate regional commercial development and big-box, as well as other regional uses such as entertainment, educational facilities, etc.
- » Preserves much of the existing out-lot development fronting on Randall Road
- » Represents no significant deviation from current Randall Road development pattern or function
- » Relocates local retail and services
- » Adds no unique character elements to Randall Road corridor
- » Competing with established retail areas on Randall Road
- » Will require additional assembly and/or cooperation with other property owners
- » Provides adequate parking, appropriately screened and landscaped to appear subtle and discreet from surrounding neighborhoods



West Neighborhood Center

This alternative concept preserves much of the existing development along Randall Road and recognizes the limited commercial potential of the mall site should this occur. The Tri-City Center remains, hopeful that the Mall site's redevelopment will foster more synergy along the corridor. The eastern portions of both the mall site and the Tri-City Center site would be redeveloped as a series of mixed use or multi-family/townhouse nodes that provide local retail and services along Lincoln Highway. Densities and housing types should be mindful of market viability, reflecting the need for more aging and affluent households. Both residential and commercial areas should feature attractive pedestrian environments as well as appropriate transitions to surrounding neighborhoods. Redevelopment should be sensitive to differences in building height to avoid harsh transitions.

Considerations

- » Preserves existing development commercial development
- » Creates the small opportunity for a unique "Main Street" environment
- » Provides the opportunity for new residential units creating a potential customer base for businesses
- » Does not take full advantage of the prominence of Randall Road as a regional commercial corridor
- » Tri-City revitalization may be dependent on the success of the Mall redevelopment
- » Does not require site assembly or participation of other property owners



Comprehensive Mixed Use Center

This alternative concept illustrates a redevelopment effort coordinated between both the old mall site and the Tri-City Center site. Randall Road remains fronted with existing shallow-lot retail, while Lincoln Highway/IL Route 38 consists of mixed use development. Interior portions of each block could accommodate a number of uses, while peripheral edges of the redevelopment area accommodate multi-family/townhouse development that transitions to surrounding neighborhoods. Redevelopment should be sensitive to differences in building height as to avoid inappropriate transitions. Open space establishes a framework throughout the site and provides a unique amenity.

Considerations

- » Offers the greatest potential to alter the character of the Randall Road and Lincoln Highway corridors
- » Integrates a variety of uses that may be more responsive to changing market trends
- » Provides the opportunity to fully integrate infrastructure and open space systems into development
- » Represents a comprehensive master planned development concept that can be difficult to effectively implement
- » Replaces a majority of the existing investment in the development area
- » Requires policy and regulatory changes to foster implementation
- » Will require additional assembly and/or cooperation with other property owners
- » Allows residential uses above commercial uses, but not stand-alone multi-family buildings
- » Promotes multi-family products and amenities that foster owner occupied units, such as covered parking, high quality finishes, integrated recreation, etc.

Concept Legend

- Regionally-Oriented Retail
- Locally-Oriented Retail
- Mixed Use
- Office/Secondary Commercial
- Single Family Attached/Multi-Family
- Integrated Open Space

Potential Redevelopment Models

Single Family Attached/Multi-Family



Local Retail



Mixed Use



Integrated Open Space



V. ZONING

The subject property is zoned BR Regional Business District (except for the former Burger King parcel, zoned BC Community Business).

BR District Purpose Statement, Section 17.14.010 C.

The purpose of the BR Regional Business District is to provide locations along Strategic Regional Arterial corridors for shopping centers and business uses that draw patrons from St. Charles, surrounding communities and the broader region. The BR District consists primarily of large-scale development that has the potential to generate significant automobile traffic. It should be designed in a coordinated manner with an interconnected street network that is consistent with the City's Comprehensive Plan. Uncoordinated, piecemeal development of small parcels that do not fit into a larger context are discouraged in the BR District. Compatible land uses, access, traffic circulation, stormwater management and natural features, all should be integrated into an overall development plan. Because this district is primarily at high visibility locations, quality building architecture, landscaping and other site improvements are required to ensure superior aesthetic and functional quality.

Development Potential Under existing BR Regional Business Zoning

The BR district permits a wide range of physical development forms and commercial land uses, including intensive retail uses (restaurants, stores, home improvement centers, shopping malls), automobile-oriented uses (gas stations, auto service and sales establishments), and miscellaneous specialized facilities (hospital, university, indoor recreation facilities).

Zoning Review of PUD Plan

Certain zoning deviations are required as a part of the PUD proposal. The table below compares the BR zoning requirements vs. the proposed PUD plan. Deviations necessary through the PUD are in ***bold italics***:

Zoning Uses and Bulk Requirements		
	BR zoning requirement	Proposed per PUD Plan
Permitted and Special Uses	Per Table 17.14-1 of the Zoning Ordinance	Per Table 17.14-1, <i>plus "Dwelling, Multi-Family" as a permitted use where shown on the PUD Plans</i>
Minimum Lot Area	1 acre	27 acres- Single zoning lot for the entire development; <i>No requirement for each building to meet the requirements of a principal building on a lot</i> (17.22.010.A)
Minimum Lot Width	None	574.5 ft. (along Prairie St.) 1218 ft. (along Route 38)
Maximum Building Coverage	30%	24%
Maximum Gross Floor Area per Building	None	Up to 55,872 for mixed use buildings Up to 66,650 for residential buildings
Maximum Building height	40 ft.	<i>52 ft. for mixed use buildings</i> <i>51.5 ft. for residential buildings</i>
Setbacks along public streets	20 ft. for buildings, parking	<i>Prairie Street: 10 ft. building setback</i> <i>Route 38: 25 ft. for buildings & parking</i>

Side yards (east and west property line)	15 ft. for buildings 0 ft. for parking	<i>10 ft. at east property line (Residential F1)</i> <i>10 ft. at west property line (Retail/Rest. A)</i> 0 ft. for parking
Landscape buffer yard	40 ft. adjacent to residential zoning	<i>No landscape buffer provided.</i>

PARKING

Parking for the project is provided both below buildings and at grade, both along the private streets within the development and within parking lots.

The applicant has provided a list of assumed commercial use square footages. This information was used to calculate the total parking requirement per the Zoning Ordinance. Based on this information, the PUD plans show an actual parking count deviation of 11%

The applicant has requested a 15% deviation through the PUD, to be calculated based on the actual uses as the project is constructed.

Use Category	Parking Requirement	Units or Square footage	Parking Required
Residential:			
1 bedroom: 1.2 spaces per du (280 units)	1.2 per du	280 units	336
2 bedroom: 1.7 spaces per du (315 units)	1.7 per du	315 units	535.5
Independent Living: 0.25 space per du (75 units)	0.25 per du	75 units	18.75
Restaurant or Tavern/Bar	10 per 1,000 sf	33,150 sf	331.5
Other Commercial Uses:			
Personal Services	3 per 1,000 sf	20,000 sf	60
Health/Fitness	5 per 1,000 sf	5,000 sf	25
Retail/Indoor Recreation & Amusement	4 per 1,000 sf	52,000 sf	208
Medical/Dental Clinic	4 per 1,000 sf	6,000 sf	24
Coffee or Tea Room	5 per 1,000 sf	6,000 sf	30
Total required:			1,569 spaces
<u>Provided per the PUD Plan:</u>			
Enclosed (cover spaces under buildings)		670 spaces (1 space per residential unit)	
At grade, in parking lots and along streets		728 spaces (Shared between all uses)	
Total Provided:		1,398 spaces	
Deficiency:		171 spaces	
Total Deviation per Plans:		11%	
Deviation requested through PUD:		15%	

- The actual parking requirement for commercial uses that occupy the square footage could be higher (more restaurant) or lower (with general office use instead of retail use, for example). The actual residential parking requirements could be lower if more senior housing units are provided.
- The Zoning Ordinance provides for the approval of Shared Parking for multi-use developments:
“The same off-street parking spaces may be shared between two (2) or more separate uses on the same lot, but only to the extent that the demand for such spaces by the separate uses will not occur at the same hours during the same days of the week. No shared parking shall be approved unless the Director of Community Development makes a finding that the use of shared parking spaces will not occur at the same hours during the same days of the week, based upon the type of uses and their hours of operation.”
- The applicant has submitted documentation in support of up to a 25% deviation from the parking requirements based on shared parking. However, through the PUD, the applicant is requesting only a 15% deviation. A letter has been submitted listing the factors supporting the shared parking. In summary, those factors include:
 - A percentage of residential and commercial space anticipated to be vacant at any given time.
 - Walkability across the site reducing the need for parking spaces for all customers (given the distances, pedestrian network, and mix of land uses).
 - Potential for age-restricted residential units (which have a lower parking demand)
 - Different peak parking demands for the different uses that are sharing the at-grade parking.
 - The availability of surplus parking at the adjacent Jewel property (which is owned by the applicant).

BUILDING ARCHITECTURE

Architectural Elevations have been submitted showing the typical Residential Building and Mixed Use Building architecture. Drawings have not been submitted for the Retail/Restaurant buildings. The Retail/Restaurant elevations will be reviewed as the part of a future PUD Preliminary Plan submittal.

The development is subject to the Design Review Standards and Guidelines for buildings located in the BR Regional Business District, Section 17.06.030 of the Zoning Ordinance.

The elevation drawings for the Residential and Mixed-Use building appear to comply with all of the standards, except for the following:

- 17.06.030.A.1: *Building façades over one-hundred (100) feet in length shall incorporate wall projections or recesses a minimum of three (3) feet in depth, extending over twenty percent (20%) of the façade.*

Architectural elevations have not been submitted for the rear of the Residential and Mixed-Use buildings, however based on the building and site layout, the rear elevations are expected to be similar in design to the front elevations.

LANDSCAPING

A schematic landscaping plan has been submitted, with details for planting layouts around each of the different building types (Mixed Use, Residential and Retail/Restaurant).

The landscaping requirements in the Zoning Ordinance are written to apply to individual lots, with a building and/or parking lot located entirely within the lot. The proposed site plan integrates buildings, parking lots and streets together on the same lot, which makes direct application of the landscaping requirements unclear.

At the time of building permit, a Final Landscape Plan will need to be provided for each area of the site to be developed. These plans will need to comply with the schematic preliminary landscape plan.

Staff is proposing that the landscaping requirements of Zoning Ordinance Chapter 17.26 be applied as follows:

- *Building Foundation landscaping* (17.26.080) would apply around all residential buildings, but would not be required along the Mixed Use Buildings and Retail/Restaurant buildings (as these have been designed with pedestrian access and wider sidewalks along each building).
- *Public Street Frontage landscaping* (17.26.090.A) would apply to the Illinois Route 38 frontage, but not along Prairie Street, since this frontage has been designed with pedestrian access and wider sidewalks. (If Residential buildings are constructed along Prairie Street instead of mixed use buildings, then Building Foundation landscaping would be provided in this location.
- *Interior Parking Lot landscaping* (17.26.090.C) would be required per the landscape plan. (The 10% landscape area requirement would not apply, as it is unclear how you would designate streets vs. parking aisles vs. parking lots).

VI. ENGINEERING

Preliminary Engineering Review

Revised Preliminary Engineering Plans were submitted for a technical review by staff. Most outstanding review comments are technical in nature and are not expected to result in further changes to the site plan.

The City commissioned utility studies on the project, including a traffic impact study, sanitary sewer evaluation, and water system modeling. The studies are included in the meeting packet materials. The City controlled the scope of each study and the applicant provided a deposit to the City which covered the full cost of the studies.

For more information regarding the engineering review, see the attached memo from Chris Bong, Development Engineering Division Manager.

Fire Department Review

The Fire Department has completed their review of the site plan. The plan as drawn is acceptable for Fire Department access. Compliance with the Fire Code for each building will be determined during Final Engineering and Building Permit review.

Project Phasing

The applicant has not provided building phasing plan, but rather has proposed that buildings be constructed based upon market demand. Based on this information, it is unknown what building or what portion of the project would be constructed first. Additionally, the applicant has requested to install the engineering public improvements incrementally as each building is constructed.

The City's PUD and Subdivision process requires that at the time of Final Plat approval, Final Engineering Plans are to be provided depicting all required public improvements within the subdivision. Prior to the signing of the Final Plat of Subdivision by the City, a Financial Guarantee for the subdivision improvements is to be submitted, and those improvements are to be installed within two years after the recording of the Final Plat. The procedure is listed in the PUD Final Plans and Final Engineering Procedures (City Code Section 17.04.410.E) and within the Procedures chapter of the City's Subdivision Code, Chapter 16.04.

The proposal to allow the engineering improvements to be phased as necessary as buildings are constructed deviates from the procedure outlined in the City Code. Therefore, this request constitutes a deviation as a part of the Special Use for PUD application.

VII. SCHOOL AND PARK DISTRICT

The project will be required to comply with Dedications Chapter of the City's Subdivision Code (Chapter 16.10). This chapter requires either a land donation or an equivalent cash contribution to the School and Park districts based on population generation formulas in the City Code.

The applicant has submitted a Land-Cash Worksheet. Plans and the worksheets have been forwarded to the School and Park Districts for comment.

The applicant and staff have engaged in discussions with the St. Charles Park District regarding a park site within the project. The Park District has expressed an interest in the open space area located adjacent to the detention basin. The revised plans include this park site.

Discussions between the applicant and the Park District regarding this potential park site dedication are ongoing and a plan has not been finalized. A letter from the Park District is included in the packet.

VIII. INCLUSIONARY HOUSING

The City's Inclusionary Housing Ordinance, Title 19 of the City Code, requires either the provision of affordable units within new residential projects, or payment of a fee-in-lieu for units. The City Council can decide whether to accept units or a fee for a given project.

Per the City’s Inclusionary Housing Ordinance, “Affordable Housing” is defined as housing that is within the means of households at 80% Area Median Income (AMI) for ownership units and 60% AMI for rental units, adjusted for household size. In order to be considered affordable, housing costs cannot make up more than 30% of a household’s annual income.

For example, the 2015 maximum rent and income limits:

Household Size	Income Limit	Bedrooms	Maximum Rent
1 to 2 person	\$36,480	1	\$855
3 or more person	\$41,040	2	\$1,026

The applicant has submitted the required Inclusionary Housing Worksheet indicating that the requirements will be met by providing 10% of the units within the development as affordable units.

The affordable housing proposal contemplates a “Density Bonus” of 61 units in addition to 609 market rate units, for a total of 670 units.

Housing Commission Recommendation regarding Location Variance

The applicant has requested a variance under Section 19.02.100, “Location, Phasing and Design,” to allow for the affordable units to be constructed in one or more buildings, as opposed to being distributed throughout the site.

On 11/17/16, the Housing Commission reviewed and recommended approval of the applicant’s request for a variance to allow for the affordable units to be constructed in one or more buildings, as opposed to being distributed throughout the site. The applicant has represented that they are currently working with an affordable senior housing developer.

IX. TAX INCREMENT FINANCING (TIF) DISTRICT

The property is located in a Tax Increment Financing (TIF) District that was created in 2000 and will expire in tax levy year 2023 which is collected in calendar year 2024.

According to the City’s Finance Department, as of April 30, 2016, the TIF district has a bond balance of \$1,305,000. For the City’s current fiscal year (FY 2016-2017), the debt service on the bond is approximately \$222,050. Of this amount, the TIF District will pay approximately \$124,379 and the City’s General Fund will subsidize the remaining \$97,671.

The City Council entered into a Redevelopment Agreement in 2002 for the purpose of constructing an auto mall on the property.

X. SUGGESTED ACTION

Staff has found the application materials to be complete. Upon resolution of outstanding staff comments, the proposal has the ability to meet City Code requirements.

**Community & Economic Development
Development Engineering Division**

Phone: (630) 443-3677

Fax: (630) 377-4062



Memo

Date: January 6, 2017

To: Russell Colby

From: Chris Bong, P.E.

RE: Prairie Centre Preliminary Engineering Update

Since the previous update memo the developer has proposed to increase the total unit count from 609 to 670. As a result, the engineering studies needed to be updated to reflect the increased unit count. The studies have been updated and staff has reviewed the latest preliminary engineering plans and associated engineering studies.

The preliminary engineering plans are not fully approved; however, they appear feasible and we see no reason to delay Plan Commission discussion. Below is a summary of the status of the engineering elements.

Stormwater

The developer proposes to build an onsite detention pond and also upgrade the existing developer-owned detention pond on 14th Street. The developer is required to comply with the Stormwater Ordinance including analyzing pre- and post-development flow rates, which will result in a decrease in downstream stormwater flows. Preliminary analysis shows that there are no significant adverse impacts downstream and the latest preliminary plans provide the adequate stormwater capacity to comply with the ordinance.

Traffic

The HLR traffic impact study revealed existing concerns within the study area, particularly along Randall Road and Prairie Street. While the Prairie Centre development related traffic is expected to contribute to these concerns, the analyses show that the problems will exist with or without the subject development. In summary, the HLR study recommended few traffic improvements as a direct result of this development.

KDOT and IDOT were provided copies of the study for review and we have received comments from both (see attached). The most notable comment that differs from the HLR study was from IDOT in that they are recommending a westbound right-turn lane along IL Rt. 38 at the mall entrances. The IDOT comments were received late last week so the engineer/developer has not yet drafted a response to IDOT.

Regarding the additional residential units, the study has been updated by HLR and the increases in traffic due to the additional 61 units were not notable. It should be added that the version of the study IDOT and KDOT reviewed did not include the additional units. The study will need to be resubmitted to those agencies for an updated review along with a response to their comments.

Sanitary System

The existing sanitary sewer network serving the parcel is tributary to a collector sewer flowing east along Fellows Street and then south along Seventh Court to Gray Street. The Fellows Street collector sewer serves the neighborhood known as the Davis School area and has had a history of sanitary sewer backups during large rainfall events. The developer is proposing an alternate route for the sanitary flow from Prairie Centre that will divert development flows away from the Fellows Street collector sewer to the Gray Street collector sewer.

Modeling of the proposed sewer routing showed that at pre-development 3 of the pipe segments are currently over capacity during a 10-year storm design event. The proposed Prairie Centre sewer flows will cause an additional 2 pipe segments to be over capacity during that same event. These pipes are not drastically over capacity but will require upsizing at some point in the future. The study contemplates a future project to upsize the older pipe segments at the far downstream end of this collector sewer.

The study was revised to incorporate the additional 61 units and the results were not notable.

Water System

Water modeling indicates that on a preliminary basis, necessary fire flows will be available at the proposed buildings and fire hydrants. The model will need to be updated based on the final building program and watermain layout prior to final City Council approval.

KANE COUNTY

DIVISION of TRANSPORTATION

Carl Schoedel, P.E.
Director of Transportation
County Engineer



41W011 Burlington Road
St. Charles, IL 60175
Phone: (630) 584-1170
Fax: (630) 584-5265

October 6, 2016

Mr. Chris Bong
City of St. Charles
Two East Main Street
St. Charles, IL 60174

[VIA EMAIL]

RE: Prairie Centre Traffic Impact Study
Randall Road & IL Route 38 (NE Quadrant)
(Old St. Charles Mall Site)

Dear Chris:

Thank you for the opportunity to review the Traffic Impact Study for the proposed Prairie Centre site, dated 8-17-16, prepared by HLR. While the proposed development does not have any direct access to a County highway, there will be traffic loading onto Randall Road nearby (a County highway). We have completed our review and offer the following comments:

1. We concur with the study's findings regarding the project's characteristics including traffic generations, trip distribution, and traffic assignments. The 15% internal capture rate assumption between the on-site residential uses with the restaurants and retail is reasonable. We also concur with their findings regarding pass-by traffic characteristics for the development. It should be noted that the adjacent commercial development on the south side of IL Route 38 will also attract internal trips, which was not assumed in the traffic study. This traffic pattern is evident from a review of 2016 existing traffic volumes between the two commercial developments north and south of IL 38.
2. The study indicates that a significant amount of site-generated trips will use Randall Road & IL Route 38. As the site develops, vehicle progression (signal timing) along these two Strategic Regional Arterials will need adjustments to handle the additional traffic loading. Once a majority of the site is developed, KDOT recommends the developer conduct a re-optimization study of the adjacent traffic signals which are all on an interconnected system. Specifically, the intersections of Randall/Oak, Randall/Prairie, Randall/38, Randall/Bricher, 38/West Mall Entrance, and 38/Bricher/14th Street should be included in the optimization. KDOT can work with the City on a logical timeframe for when this optimization would occur.

If you have any questions, contact me at 630-584-1171.

Sincerely,

Kurt E. Nika, P.E.
Chief of Traffic Operations & Permitting

Cc: Alex Garbe, HLR (via email)
File



Illinois Department of Transportation

Office of Highways Project Implementation / Region 1 / District 1
201 West Center Court / Schaumburg, Illinois 60196-1096

PERMITS

Location: IL 38 (Roosevelt Rd.) and Randall Road (NEC)
Municipality: City of St. Charles, Kane County
Re: Prairie Center Redevelopment
Reference No.: 045-72782

December 29, 2016

Mr. Chris Bong, P.E.
City Engineer
City of St. Charles
Two East Main Street
St. Charles, IL 60174

Dear Mr. Bong:

We have completed our review of the Traffic Impact Study (TIS) for the subject location. Our comments are marked on the enclosed TIS, which must be returned with your next submittal, and are detailed below:

PROGRAMMING – GEOMETRICS COMMENTS

See enclosed comments & markups

TRAFFIC PROGRAMS – STUDIES COMMENTS

1. At the intersection of Randall Road and Prairie Street, an exclusive northbound to eastbound right-turn lane is warranted for existing as well as Year 2026 Build and No Build Conditions. The capacity analyses do not reflect an exclusive northbound right-turn lane along Randall Road at Prairie Street. Is an exclusive right-turn lane proposed as part of the future Kane County Add-Lane project along Randall Road?
2. It is unclear in the capacity analyses what heavy vehicle percentages were used for primary traffic along the major routes such as Randall Road as well as IL Route 38. Reprint capacity reports to show percentage of heavy vehicles at the 4 signalized intersections analyzed in the study.
3. Along IL Route 38 between Randall Road and the West Mall Access, the through volumes for the various peak hours analyzed in the TIS do not balance. With only 2 limited access (Right-In/Right-Out) driveways between these 2 signalized intersections, the through volumes along the State highway should balance better. Revise all appropriate exhibits accordingly.
4. Along Randall Road between IL Route 38 and Prairie Street, the through volumes for the various peak hours analyzed in the TIS do not balance. With no access driveways between these 2 signalized intersections, the through traffic volumes along the Kane County highway should balance better. Revise all exhibits accordingly.


5. The development's impact to the intersection of IL Route 38 and West Mall Access needs to be mitigated. The development is increasing the eastbound left-turn volume by a factor of 20 in the AM peak, a factor of 9 in the PM peak, and a factor of 10 in the Saturday peak hour. At the same time, the development is increasing westbound through and right-turning traffic by 17% in the AM, 6.6% in the PM peak, and 10% in the Saturday peak hour over existing conditions. In addition to the proposed 3-lane southbound approach (left-turn lane, through lane and exclusive right-turn lane) with minor approach left-turn phasing, additional capacity along IL Route 38 needs to be provided. An exclusive westbound right-turn lane needs to be developed along IL Route 38 at the West Mall Access. The existing bus stop and shelter will need to be shifted to the north in conjunction with the new right-turn lane. The existing traffic signal should also be brought up to current standards to provide a traffic signal head per travel lane. Pedestrian accommodations, at West Mall Access, should also be upgraded to current ADA standards (LED countdown pedestrian signals with push buttons, detectable pads, ramps, etc.).
6. The Department concurs with the recommendation to add an exclusive northbound to eastbound right-turn lane on Bricher Road at IL Route 38. If the improvement is not a part of this new development, is the City of Saint Charles proposing to do this project via a highway permit or as a local roads project?
7. Submit three (3) copies of the revised Traffic Impact Study accordingly for continued review; concurrently, submit three (3) copies of an Intersection Design Study (IDS) for IL Route 38 at West Mall Access. Include in the appendix, the IDS for IL Route 38 at Randall Road as well as Randall Road at Prairie Street, from the Kane County Highway Department.

Please revise your TIS in accordance with the above comments and resubmit three (3) revised TIS reports and four (4) full size copies of IDS sheets for all intersections along with a written disposition to all comments to continue the review process.

If you have any questions regarding this matter, please contact Jonathan Karabowicz at (847) 705-4149.

Very truly yours,

John A. Fortmann, P.E.
Region One Engineer

By: 

Thomas G. Gallenbach, P.E.
Traffic Permit Engineer

Traffic Permits – TIS Review

To: Heaven-Baum/Gallenbach/Karabowicz (Traffic/Permits)
From: Harmet/Baczek/Salley/Prola/Perry (Programming/Geometrics Studies Unit)
Subject: St. Charles Prairie Centre Development
Illinois Route 38 (Roosevelt Road) and Randal Road (NEC)
City of St. Charles, Kane County | Reference No. 045-72782
Current: December 8, 2016
Previous: N/A

The Geometrics Studies Unit (GSU) has completed its review of the Traffic Impact Study (TIS) submitted for the subject project. All comments should be incorporated or properly disposed of prior to Geometric Approval.

General Comments:

1. Please revise the ITE code labeled for CVS Pharmacy on page 6 of the TIS.
2. Please balance the traffic volumes in Exhibits 3, 4, 8 and 9.
3. This development should provide two exclusive right turn lanes on Illinois Route 38 at its intersection with East and West Mall Entrances. The GSU recommends providing a westbound right-turn lane with no taper into the East Mall Entrance from the access drive provided between "Brown Chicken" and "Hot Springs Spas". For the West Mall Entrance the GSU recommends providing a westbound right-turn lane with a 200-ft taper and 185-ft of storage per BDE Figure 36-3.I. Please coordinate the relocation of the existing bus stop in the northeast corner of the intersection with Pace.
4. Crosswalks should be provided across Illinois Route 38 at the intersection of West Mall Entrance by this development. Pedestrian push buttons along with countdown timers should be provided at this intersection's traffic signals as well by the development.
5. Please include an Intersection Design Study with the next submittal for the intersection of Illinois Route 38 and West Mall Entrance.
6. Please provide either a side-path or a sidewalk along the frontage of this development to Illinois Route 38.
7. ADA details for impacted and/or proposed curb ramps should be included in the next submittal on separate plan sheets. Please follow the enclosed ADA Detail Template prepared by IDOT District One for all proposed curb ramps within the project limits. An ADA Statement of Maximum Extent Practicable (MEP) Form (BDE 3101) needs to be submitted for approval for design element(s) within a Pedestrian Access Route (P.A.R.) that are not in conformance with ADA requirements.
8. Please address all other markups.
9. Please return markups with next submittal.
10. Please include a disposition of comments with the next submittal.

Should there be any questions regarding these comments or should additional guidance be necessary, please contact Mr. Jason Salley at (847) 705-4085 or Ms. Evelina Perry at (847) 221-3073.



ST. CHARLES PARK DISTRICT

101 South Second Street • St. Charles, IL 60174 • Ph: 630-584-1055 • Fax: 630-584-1396 • stcparks.org

December 27, 2016

Mr. Russell Colby
Planning Division Manager
City of St. Charles
Community Development Department
2 East Main Street
St. Charles, IL 60174

RE: Concept Plan for Prairie Centre and Open Space

Dear Russell:

The St. Charles Park District has reviewed the concept plans for Prairie Centre, specifically for the purpose of evaluating the opportunities for public open space and recreational amenities. We are exploring concepts that meet the goals of the Park District and community while being sensitive to the high density and real estate available for this purpose.

As stated in a previous letter, the first priority is to ensure that the recreational needs of the residents are accommodated in the development. This could mean a combination of public areas (park, playground, greenspace) owned and operated by the St. Charles Park District and private amenities (fitness center, pool, tot lot) provided by developer and maintained by an HOA. The Park District does not wish to assume any responsibility for the pond or accept the surface area as park land dedication.

The area behind "Residential B2" is the focus of a park land donation. The size and shape of the greenspace in this area changes based on B1's designation of Residential or Mixed Use as there are increased parking requirements for Mixed Use. In the latest plan, B1 is confirmed Mixed Use and in turn, the surface area of the detention has grown to the north and east, reducing some square footage of the high and dry parcel that was of interest to the Park District. This new plan also shows increased greenspace on the south side of the detention. This is a positive improvement to the overall site plan, but the result could be the added detention to the north. While we understand storm water mitigation is expensive, perhaps this one small area, designated below, could be considered to have a non-traditional approach applied, such as underground storage. Another idea to reduce the narrow detention pool in the north east corner would be to reduce the storm water by that equal amount elsewhere in the development where appropriate. This would increase the amount of open space for the residents and the opportunity for recreational amenities.



We look forward to continued discussions on incorporating public open space and parkland in the Prairie Centre development. As always, feel free to contact me with any questions.

Sincerely,

A handwritten signature in black ink that reads "Laura M. Rudow". The script is fluid and cursive, with the first letters of each word being capitalized and prominent.

Laura Rudow, Superintendent of Parks and Planning
ST. CHARLES PARK DISTRICT

Cc: Holly Cabel, Director
Park District Board of Commissioners

December 21, 2016

Russ Colby, Planning Director
City of St. Charles
2 E. Main Street
St. Charles, IL 60174

Re: Prairie Center (Former St. Charles Mall Site)
Proposed Prairie Center Project: Application number 2016 AP 026 and
2016 AP 027 (the "PUD Petition")
Applicant: Shodeen Group, L.L.C.
Owner: Towne Centre Equities, LLC

Dear Mr. Colby:

Following are the questions taken from the transcript of the Public Hearing conducted before the Plan Commission on 12-06-16 along with a response to each question. For additional information and context of the question, we have identified the speaker raising the question. Further, we request, that this response also be included in the Public Record as an exhibit so that we do not have to read it aloud at the next public hearing.

COMMENT:

MEMBER PRETZ: *I'll save the other one for the next meeting.*

And it has to deal with the -- your response to the comprehensive plan request that I said, which I do appreciate you doing. One line in there -- I'm not sure what I'm not sure what page it was on, but it's the paragraph -- and I'll read the paragraph. It's the paragraph right above page 86, line 18 to 23. They're all important, all of these different factors, but I think the more you can provide as far as how your development, your project, fits the overall City plan is a benefit to you. And I would also recommend that, in the next meeting -- not today unless you want to -- that you go through those points because there may be some areas that, as you present those points -- and, hopefully, the other Commissioners agree with me. But as you go through that, if there are clarifications that are needed or additions or some corrections, whatever, I think it's for your benefit to have all of those brought up in detail in the minutes of our public hearings. And that would be my recommendation to you.

RESPONSE:

We appreciate this comment and have followed your recommendation. The following response is lengthy as we wanted to document the numerous locations where the submitted plan is consistent with the Comprehensive Plan.

The City of St. Charles 2013 Comprehensive Plan ("Comprehensive Plan") provides a variety of goals and objectives relative to broad categories ranging from City-wide land uses to site specific analysis. Rather than address the general goals and objectives applicable to residential and mixed uses, this discussion will focus on how the Prairie

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Center Development complies with the City's specific vision for the Prairie Center Development property.

I. Chapter 1. Introduction and Background.

A. The City of St. Charles Mission Statement:

"Preserve our heritage, foster opportunity, build community, and enhance quality of life for all." See Comprehensive Plan, page 1.

The proposed Prairie Center Development embodies the broad goals of the St. Charles Mission statement as adopted by the Comprehensive Plan. Specifically, Prairie Center is the most economically viable redevelopment proposal for the "Old St. Charles Mall" site, which honors its commercial history and proximity to the vital Randall and Route 38 corridors. Within the site itself, the site plan is designed to foster a strong sense of community within the context of the greater City of St. Charles area by providing a high quality, livable neighborhood for residents and businesses alike.

B. Purpose of the Comprehensive Plan

"...At the most basic level, the Comprehensive Plan is intended to direct orderly growth and change as well as maintain and enhance the livability of the City. The Comprehensive Plan provides a vision for the future to describe an ideal St. Charles, based on community input and consensus, to ensure that quality of life remains high..." See Comprehensive Plan, page 4.

Prairie Center represents the type of orderly and high quality growth anticipated by the Comprehensive Plan. Although the site is challenging and the topic of much discussion, all members of the St. Charles community recognize the site will be developed at some point. The Prairie Center proposal is sensitive to this reality and represents the highest and best use of the property – a lively, creative, and livable neighborhood where the quality of life is high.

C. Use of the Comprehensive Plan

"...[The Comprehensive Plan] guides the creation or amendment of City regulations as well as individual actions and investments. For example, the Plan provides policy direction on annexing property, changing zoning, reviewing development and redevelopment projects, and identifying public infrastructure improvements.

The Comprehensive Plan establishes the "ground rules" for private improvement in the community. It is intended to be used by the City Council, Plan Commission, other boards, commissions, and agencies, and City staff to review and evaluate development proposals, to ensure projects are consistent with the long-term planning objectives of the community. The Plan also provides direction to assist in undertaking public improvements, ensuring the City is prepared to meet the challenges of the future and continue to efficiently and effectively allocate its resources.

Finally, the Plan serves as an important marketing tool to promote the City's unique assets and advantages. As a marketing tool, the Plan can spur desirable development and redevelopment throughout the community, in the growth areas, within the downtown area, or along aging commercial corridors." See Comprehensive Plan, page 4.

As will be discussed throughout this document, Prairie Center is built around the City's vision for the site as depicted in the Comprehensive Plan. The proposal creatively integrates the values of the plan together with economic and market realities to resolve site challenges.

D. Community Profile.

Among other things, the Comprehensive Plan recognizes the changing nature of the City's residential demographics:

"Housing Market Implications

The City of St. Charles is projected to experience continuing growth in the older more affluent age/income cohorts. Younger (25 to 34 year old) households are also projected to increase. Both of these groups are typically the primary market for multi-family and single family attached housing, both for-sale and rental. These units include condominiums, townhomes, row homes, and apartments. On the other end of the spectrum, the City is also projected to experience a moderate increase in some of the lower household income sectors over the next several years. While the increase is not large, officials should continue to monitor the availability of quality affordable housing dispersed throughout the City.

Overall, the St. Charles housing market has been stable in comparison to the larger regional and national market. This should continue to have a positive impact in attracting reinvestment and buyers of all product types." See Comprehensive Plan, page 5.

Prairie Center incorporates housing for younger and senior households together with affordable housing in an upscale and economically feasible development.

E. Past Plans and Studies.

- 2000 Downtown Strategy Plan
- 2002 River Corridor Master Plan
- 2003 St. Charles Bicycle and Pedestrian Facilities Plan
- 2007 Economic Development Plan
- 2007 Applied Composites Area Plan
- 2008 Strategic Plan
- 2010 Transit Circulator Study
- 2011 Park District Comprehensive Master Plan
- Kane County 2040 Plan
- CMAP's Go To 2040

In this section, the Comprehensive Plan cites numerous past and current plans and studies as part of the existing conditions report. It should be noted that Prairie Center complies with, among other things, the 2010 Circulator Study and Kane County 2040 Plan. The Kane County 2040 plan promotes housing near the Randall Road corridor that is accessible to public transportation; Prairie Center is located adjacent to the corridor and will have two (2) bus stops. The 2010 Circulator Study identifies the Prairie Center site

as part of the transit circulator, and serves the same through the creation of jobs, residences, and facilities accessible by public transportation.

F. Retail Market Analysis

“Retail Market

Market Areas

The potential for commercial development at any given location is influenced by several factors, including local and regional demand for goods and services, the health of commercial districts, the location of surrounding commercial nodes, and the consumer spending patterns of the area’s population.

For the purposes of this analysis, separate retail market areas have been defined for the communities three major commercial areas: Downtown St. Charles, Randall Road, and Charlestowne Mall. These retail market areas represent the geography from which St. Charles businesses will draw the majority of their customers and is used in estimating potential demand for retail goods and services. The Charlestowne Mall area and Randall Road corridor have larger market areas that reflect their larger regional draw while the downtown has a smaller market area which primarily relies on local residents.” See Comprehensive Plan, page 6.

Clearly, there is strong local and regional demand for commercial redevelopment at the Prairie Center site with a particular emphasis on the regional market accessible via Randall Road and Route 38. Accordingly, Prairie Center incorporates retail and other commercial space to meet the demands and enhance the City’s tax base.

G. Retail Gap Analysis.

The Comprehensive Plan identifies several areas of the City where the demand for retail services exceeds the supply, resulting in a so called “gap”.

“Randall Road – 15 Minute Drive

For households within a 15 minute drive of the Randall Road corridor, it is estimated that there is an unmet retail demand of nearly \$290 million. The 63,398 households within the market area contribute to a retail demand of approximately \$2.5 billion, while the supply is only \$2.2 billion. This equates to an unmet demand of more than \$4,500 per household.” See Comprehensive Plan, page 7.

The Prairie Center Development will help reduce the retail gap by providing much needed retail space near the Randall Road corridor which is accessible to residents of Prairie Center and the City as whole. The mixed uses of Prairie Center will balance economic opportunities in goods, services, and employment in the City.

H. Community Outreach.

It is important to note that the proposed development plans were tendered to the City and discussed as part of the west subarea workshop. See e.g. Comprehensive Plan, page 11. We have worked hard with the community to craft a plan that both reflects market conditions and fits with the vision of the Comprehensive Plan.

II. Chapter 2. Vision.

A. In 2028...

The Comprehensive Plan contains a vision for the City in the year 2028, which includes, in pertinent part:

"...The City has been successful in capturing development that has transformed portions of the community into strong and sustainable areas...The former St. Charles Mall site has been redeveloped with viable uses that are an asset to surrounding neighborhoods...an attractive "front door" to St. Charles that offers great opportunities for living, working, playing and shopping. Randall Road continues to be a critical regional corridor with growth that serves St. Charles and surrounding communities. Development on Randall Road has been modernized to respond to new market needs...created a strong local tax base, broadened the range of local goods and services, and strengthened the regional image of the City.

New housing provides increased options for those who want close access to regional commercial goods and services. Multi-family housing development, with a higher proportion of owner-occupied units, contributes to the great character and image of the community. All neighborhoods share a common goal of strengthening local character through high quality housing, easy connections and mobility to surrounding amenities, and a pride in the assets that help establish the identity of St. Charles...Residents of all ages are accommodated by a variety of housing types that allow long-time residents to age in place. High-quality schools, parks, and local services provide the opportunity for residents to be life-long citizens of St. Charles and have become the foundation of a community filled with pride and self-identity..." See Comprehensive Plan, page 17.

Prairie Center is part of the City's vision for 2028. The mix of residential and commercial uses creates an economically strong and sustainable neighborhood in which residents are able to live, work, play, and shop. Proximity to adjacent neighborhoods, public transportation, and the Randall Road and Route 38 corridors combine with attractive design elements to create an attractive gateway into the western portion of the City. Much needed retail space will enhance the local tax base and host a variety of goods and services. Senior and other housing types will allow long-time residents to age in place, remaining independent and close to their families in the St. Charles area.

III. Chapter 3. Goals and Objectives.

A. Residential Areas-Goal 1.

"Goal 1

Maintain the City's image and desirability as a great place to live by preserving and enhancing the diversity, quality, character, safety, affordability, and appeal of residential neighborhoods.

Objectives

- 1. Promote residential development and redevelopment of a variety of housing and dwelling unit types and densities in accordance with the Land Use Plan, and ensure the Zoning Ordinance and other regulatory tools are updated appropriately.*
- 2. Work with home owners associations and property management companies to enforce property maintenance requirements in private residential developments.*
- 3. Strictly enforce buffering, landscaping, screening and lighting requirements of adjacent commercial areas to minimize the negative impacts of commercial development on residential uses.*
- 4. Discourage "cut through" commercial traffic on local streets through signage, enforcement, traffic calming and other measures that focus vehicles on streets designated to carry through-traffic." See Comprehensive Plan, Page 22.*

Prairie Center will enhance St. Charles' reputation as a great place to live, work, shop, and play, by offering a variety of retail and other commercial uses in a walkable, pedestrian friendly neighborhood setting. Moreover, Prairie Center will be affordable for younger families and senior residents seeking affordable housing. Every effort has been undertaken to integrate Prairie Center as a transition from adjacent land uses to create a harmony or synergy; on the one hand, Prairie Center buffers residential neighborhoods from the traffic and intensity of the Randall and Route 38 corridors. Conversely, Prairie Center connects residents and adjacent residential neighborhoods with high quality commercial spaces on the property.

B. Residential Areas-Goal 3.

"Goal 3

Develop new housing that is representative of the local character and take advantage of the local goods and services the City offers.

Objectives

- 1. Consistently administer and enforce residential development regulations, including compliance with setbacks, height, tree preservation, stormwater, bulk, density and other development regulations.*
- 2. Consistently administer and enforce residential construction regulations, including construction hours, fencing, trash and debris, parking, and other construction related activities that can impact nearby properties.*
- 3. Develop a Residential Design & Pattern Book and Manual to ensure that new and infill residential construction (including infill and teardown construction) and additions are of an appropriate scale and character to surrounding architecture.*
- 4. Amend development policies to ensure that new neighborhoods include basic pedestrian infrastructure and open space allowances." See Comprehensive Plan, page 22.*

Prairie Center is the type of new and innovative housing development to showcase the character of St. Charles. The design emphasizes pedestrian movement and open space while offering residential and commercial opportunities for local businesses.

C. Residential Areas-Goal 4.

"Goal 4

Enable residents to be life-long citizens by adopting an "aging in place" approach to development, maintenance, and related services.

Objectives

1. *Explore the creation of a property maintenance program to assist residents, particularly seniors, with affordable lawn cutting and snow removal services.*
2. *Promote the economic importance, and support the provision of, a variety of housing types (such as single-family, multi-family and senior housing) and economic choices (owner-occupied and rental) within the City that meet the specific needs of elderly residents, including accessibility, single-story units, multi-sensory technologies, etc., and help sustain a high quality of independent living.*
3. *Maintain the existing affordable housing stock so that long-term residents and workers can afford to live in St. Charles." See Comprehensive Plan, page 22.*

Prairie Center allows City residents to age in place by offering a full spectrum of housing, ranging from entry-level apartments to senior living. Existing City residents will be able to "downsize" to more affordable housing on site, serviced by underground parking and elevators. With commercial uses on the property, seniors will not have to rely on their automobiles.

D. Commercial & Office Areas-Goal 1.

"Goal 1

Develop attractive and highly functional retail and commercial areas that are market responsive, create a diverse tax base, and serve the needs of the City's residents and, in some areas, a larger regional market.

Objectives

1. *Maintain a range of retail and service activities throughout the City.*
2. *Build upon the existing commercial zoning district structure to define and designate more specific functional roles for the various commercial areas within the City distinguished by developments with local, community, and/or regional service markets.*
3. *Fully implement and enforce design standards expressed in the Design Review Standards and Guidelines (Chapter 17.06 of the Zoning Ordinance) and Corridor Improvement Program.*
4. *Ensure that new commercial development and redevelopment is designed in scale with, and complementary to, existing adjacent development that aligns with the vision for future character.*
5. *New or expanded parking structures should be designed to complement the architecture and urban form of the surrounding area.*
6. *Ensure that all new, improved, and existing commercial developments are effectively screened and buffered from adjacent residential uses.*

7. *Ensure that all retail, office, and service commercial activities are logically organized by use and concentrated within or near areas of similar or compatible uses.*
8. *Recognize, support and encourage the catalytic role of new campuses and buildings of higher education in appropriate locations within the City.*
9. *Recognize, support and encourage the catalytic role of medical services in appropriate locations within the City.*
10. *Where applicable, require the design of new commercial developments to incorporate public amenities such as parks, plazas, arcades and connections to existing or proposed trails.*
11. *Integrate existing programs, such as the Downtown Façade Improvement Program and Corridor Improvement Grant Program, with potential new funding sources to assist businesses and property owners with façade improvements, landscaping, parking improvements, and modernization of aging structures and facilities.*
12. *Continue to evaluate the costs and benefits of using incentives and other techniques to initiate redevelopment of key opportunity sites.*
13. *Initiate programs to encourage the improvement and rehabilitation of older commercial buildings and areas which are, or are becoming, functionally obsolete including improvements to infrastructure, technologies, functionality, access, and operational footprints.*
14. *Implement a more systematic and proactive property maintenance and code enforcement process in commercial areas of the City.” See Comprehensive Plan, page 23.*

The mixed use of Prairie Center is obviously highly functional because it brings a range of commercial uses closer to residential development. At this time, we anticipate a range of commercial uses from small local businesses to medium or larger sized businesses for a regional draw.

E. Commercial & Office Areas-Goal 2.

“Goal 2

Enhance the economic viability, productivity, appearance and function of the City’s commercial corridors, including Randall Road, Main Street, Lincoln Highway, and Kirk Road.

Objectives

1. *Promote a healthy and mutually reinforcing mix of commercial, retail, and service uses along key corridors within the City including Randall Road, Main Street, Lincoln Highway, and Kirk Road.*
2. *Utilize a “character node” approach by requiring high-quality development along Randall Road and Main Street at key intersections with other arterial or collector streets that serve as the “front door” into the primary commercial corridors.*
3. *Establish design and improvement standards for commercial areas to guide the scale, appearance, orientation, and overall character of new development.*
4. *Encourage appropriate signage along corridors to ensure safe traffic movements into, out of, and through commercial areas.*
5. *Encourage large shopping centers or corporate campuses and office development to enhance the image of major corridors by orienting attractive facades, high-quality signage, and decorative landscaping towards the primary street frontage.*

6. *Review and update signage ordinances being flexible to the desire and necessity of business identification but mindful of its potential to block views, create visual clutter and detract from the appearance of the City and its commercial areas.*
7. *Promote the relocation of certain types of incompatible businesses that generate externalities related to aesthetics, access, noise, light or other nuisances to more appropriate places instead of the highly visible locations along major corridors.*
8. *Develop and install a streetscape program consisting of elements that strengthen the unified theme of the commercial areas such as benches, bus shelters, trash cans, streetlights, medians, way finding signage and other amenities.*
9. *Work cooperatively with IDOT and KDOT to facilitate desired improvements within their right-of-way including improved landscaping, lighting, and gateway signage.*
10. *Encourage the integration of transit infrastructure, facilities and technologies into the public right-of-way, private street networks, and major structures or destinations.*
11. *Identify underperforming and underutilized parcels and sites, such as the southeast corner of Main Street and Kirk Road, and work with property owners and developers to promote their redevelopment, encouraging parcel assembly where appropriate.*
12. *Promote the modernization and/or redevelopment of the Charlestowne Mall and other outdated commercial sites.*
13. *Promote coordinated and shared vehicle access to commercial properties along the City's commercial corridors and remove redundant and unnecessary curb cuts to improve traffic flow and vehicular and pedestrian safety.*
14. *Consider adopting parking capacity maximums that preserve the character of commercial development and reduce storm water runoff.*
15. *Encourage shared parking programs and policies in commercial areas wherever possible." See Comprehensive Plan, page 23.*

The Prairie Center development is the most economically viable, productive, and attractive development proposal for the site in many years. In the absence of a development like Prairie Center, it is highly likely that the property will remain vacant and underutilized for years and decades to come. This is a unique opportunity to develop a challenging site in accordance with the City's Comprehensive Plan to provide a truly mixed use development.

F. Economic Development-Goal 1.

"Goal 1

Prioritize improvements to existing areas and developments including adaptive reuse and redevelopment.

Objectives

1. *Build on and continue to implement the 2007 Economic Development Plan as a basis for strengthening retail, service, office, and industrial uses through St. Charles.*
2. *Where appropriate, consider using incentives such as Tax Increment Financing as a means of fostering redevelopment in Downtown, the Charlestowne Mall site, and other areas of the City identified as priority investment locations.*

3. *Promote the use of tax credit incentives and other grant programs to fund renovation and expansion.*
4. *Identify resources for the maintenance of the City's physical facilities including buildings, properties, and infrastructure. Consider implementing green infrastructure throughout the public realm to reduce long-term maintenance costs and attract additional funding and support.*
5. *Identify additional small business assistance programs to stabilize and improve conditions for existing businesses.*
6. *Renovate or redevelop aging shopping centers and commercial areas, such as the Charlestowne Mall, in order to maximize their contribution to the City's tax base.*
7. *Enhance the appearance of commercial districts to attract businesses and customers, particularly Downtown and Randall Road.*
8. *Improve commercial building design and development controls by developing and utilizing Design and Development Guidelines and other tools.*
9. *Accommodate renovation and redevelopment through an expedient, yet thorough permitting process.*
10. *Ensure that new development pays its fair share of public facilities and service costs, which are attributable to the demand for additional facilities or services." See Comprehensive Plan, page 26.*

Prairie Center will strengthen the City's inventory of retail, service, and office uses by offering a unique, walkable, accessible, and diverse setting that is attractive to many businesses. No TIF or other incentives will be used to redevelop the site and build the tax base. Obviously, the quality of the Prairie Center development will enhance the appearance of the Randall Road and Lincoln Highway corridors, transforming a virtually abandoned site to a bustling neighborhood. Finally, Prairie Center will pay its fair share of public facilities and service costs.

G. Economic Development-Goal 2.

Goal 2

Work with the City's economic development partners to maintain and strengthen a diverse tax base through the attraction, retention, and expansion of businesses in the City.

Objectives

1. *Support the St. Charles Chamber of Commerce, Convention and Visitor's Bureau and the Downtown St. Charles Partnership and other non-profit organizations who share similar goals in their efforts to attract, market, and promote local businesses.*
2. *Support the need for the St. Charles Chamber of Commerce, Convention and Visitor's Bureau, and the Downtown St. Charles Partnership to evolve based on their unique combination of successes and new challenges.*
3. *Coordinate with the St. Charles Chamber of Commerce and Downtown St. Charles Partnership to organize a task force whose mission is to identify opportunities to reduce the cost of doing business in St. Charles in order to enhance the City's competitiveness.*
4. *Continue to market St. Charles as a community of diverse businesses whose presence enhances the community's reputation as a place to live and work.*

5. *Promote the City's commercial corridors and Downtown through joint marketing efforts, community events, and district identification signage.*
6. *Develop and implement a strategic marketing and recruitment plan for targeted businesses types.*
7. *Coordinate planning and economic development activities in a manner which provides regular opportunities for contact between business and development interests within the City.*
8. *Seek an appropriate mix of retail, commercial service, office, and industrial uses throughout the City.*
9. *Maximize retail sales tax-generating uses, where appropriate, by concentrating retailers in Downtown and the City's commercial corridors.*
10. *Seek opportunities for new employment growth through the retention and expansion of existing employers. See Comprehensive Plan, page 26.*

As an economic development partner, we have worked with the City of St. Charles to craft an economically viable redevelopment of the site that is sensitive to community. The Prairie Center development represents the culmination of this effort to provide an appropriate and diverse mix of residential, retail, office, and other commercial uses.

IV. Chapter 4. Land Use Plan.

A. Residential Land Use:

"These two redevelopment sites have the potential to develop with a mix of uses. The City should work with property owners to explore mixed use development on these sites provided the development can assist in meeting other community objectives." See Comprehensive Plan, page 45.

As more fully set forth herein, the Prairie Center Development will creatively integrate a variety of commercial and residential uses to meet the objectives of the St. Charles Comprehensive Plan.

B. Residential Recommendations.

"Recommendations

Detached single family homes are the most common type of residential use within St. Charles. While this is often the most desirable use for a given area, the City should ensure that housing options continue serve the diverse population of the St. Charles community. In particular, development that meets the specific needs of elderly residents, ranging from multi-family units to independent living, should be encouraged to allow residents to age in place. Where multi-family developments are suggested, the City should work to make sure they occur in a more coordinated and organized fashion.

The City should investigate new methods to improve the conditions of all residential neighborhoods, including maintenance programs and incentives for developing vacant properties, while continuing to enforce building and design codes, regulations, and standards." See Comprehensive Plan, page 38.

Due to the size of the site, Prairie Center is able to coordinate and organize the development of much needed high quality multi-family development. Rather than a piecemeal redevelopment of the site with disparate owners and users, the City has the tremendous opportunity to work with one developer to establish a unified design aesthetic and philosophy to serve the City's diverse needs. As discussed elsewhere, elderly residents will be served by the development.

C. Commercial Recommendations.

"Recommendations

Most of the commercial uses in St. Charles are clustered within the Plan's four subareas: West Gateway, East Gateway, Downtown, and Main Street. Specific recommendations for each of these subareas are presented in Chapter 9.

In general, the City should promote a mix of commercial uses that are compatible and consistent with the vision for each commercial district. This can be done through multiple methods including zoning revisions, relocation incentives, development incentives, and others. Potential catalyst projects that could stimulate further redevelopment should be given priority. The City should ensure adequate parking is conveniently available to businesses, possibly by facilitating shared parking scenarios. Site access should be improved not only for vehicles by managing traffic using signal coordination, signal timing, and physical roadway alterations, but also for pedestrians by connecting commercial and residential areas with a complete sidewalk network. The City should enforce standards for design, site configuration, landscaping, buffering and screening, and signage for all commercial development. Comp. Plan page 39.

As fully set forth in this document, it is abundantly clear that the Prairie Center development satisfies the City's vision for the site, the region, and the zoning district. Moreover, the development will serve as a catalytic project, encouraging development of other underutilized sites in the Randall Road and Lincoln Highway corridors. We will provide ample parking for residents and business alike, conveniently serviced by sidewalks and in the case of underground parking, elevators.

D. Mixed use.

"Mixed Use

Mixed use areas should be characterized by uses and development patterns that provide a vibrant, safe, attractive, and "walkable" pedestrian environment. Mixed use areas should have strong pedestrian orientation and seek to create a more interesting and engaging pedestrian experience, accommodating pedestrian generating uses on the ground floor, and other uses above. Mixed use areas should provide a balance of uses unique to each site based on its location. Retail, entertainment, and dining uses are ideally suited for the ground floor with residential, educational, medical and/or office uses located on the upper floors. The primary objective is to provide an appropriate and compact mix of uses to foster an active and interesting district. Parking in the mixed use areas should be provided on-street, or in subtly located parking garages or parking lots. Although the Land Use Plan designates only Downtown St. Charles as a Mixed Use area, the Commercial Area Framework Plan identifies other locations where Mixed Use development could occur." Comp Plan, page 39.

E. Commercial Areas Policies:

The Commercial Areas Policies expand on the general concepts set-forth in the Comprehensive Plan:

“Continue to work with property owners and community members to finalize an acceptable development for the former St. Charles Mall Site.

This 30-acre site may represent the most significant redevelopment opportunity within the Randall Road corridor. Despite great potential, the opposition voiced by some members of the St. Charles community to past development proposals has highlighted the need for a clear vision for this site. Throughout the outreach exercises conducted as part of the Comprehensive Plan, the citizenry remained split on appropriate uses for the site. Chapter 8 – Subarea Plans provides three development alternatives for the site, however the ultimate solution may be an even different concept altogether. Currently the vacant site is impacting the commercial vitality of the area and negatively impacting nearby sites. What is desired by many residents may not be economically feasible, which is likely the primary reason the site remains vacant.” See Comprehensive Plan, page 48.

The Comprehensive Plan clearly recognizes the challenge of an economically feasible development of the site in light of community opposition. Despite the apparent split in community opinion, the Prairie Center Development complies with the varied facets of the Comprehensive Plan relative to the site.

F. St. Charles Commercial Areas Framework Plan:

“Mixed Use Outside of Downtown

The Land Use Plan identifies both the Charlestowne Mall site in the City’s East Gateway and the Old St. Charles Mall site in the West Gateway as Corridor/Regional Commercial areas. However, both of these sites have potential for Mixed Use development, and similar to Downtown, each could foster a pedestrian-oriented mixed use node, with a mix of retail, restaurant, entertainment, recreation, and residential uses. This dynamic mix of uses in close proximity to major arterial streets has the potential not only to create a vibrant and inviting destination but also serve as a catalyst for needed investment in these important areas of the City. Building orientation in the area should have a strong orientation to major streets and careful consideration should be given to its impact on adjacent residential areas. Additionally, residential uses/development within these mixed use areas should refer to the Residential Areas Framework Plan for additional considerations and recommendations. In these areas, it is important to maintain a healthy balance of users.” See Comprehensive Plan, page 47.

The Prairie Center Development is tailored to the City’s vision for mixed uses outside of the downtown area. The twenty-seven (27) acre site will incorporate an economically viable mix of residential, retail, restaurant, office, and open space uses within a walkable, pedestrian friendly environment. Proposed amenities such as underground parking, common open space, connecting sidewalks, and a clubhouse with a swimming pool make Prairie Center a vibrant and inviting place to live, work, and play. The development’s proximity to the vital Randall Road and Illinois 38 corridors make the site attractive for a

healthy balance of users from first-time tenants to seniors who want to live near their families in the greater St. Charles area.

G. Residential Areas Framework Plan.

The St. Charles Commercial Areas Framework Plan contemplates integration of residential uses in mixed-use commercial areas, and expressly references the *Residential Areas Framework Plan* for additional consideration and recommendations. The Prairie Center Development conforms to the multi-family, mixed use, and senior housing components of the Residential Areas Framework Plan as outlined below.

"Multi-Family

Multi-family residential structures contain multiple housing units, are usually stacked vertically and attached horizontally, and typically have common hallways and other amenities. Examples of multi-family residential developments include apartments, condominiums, and senior housing. Most multi-family developments within the City are located in, or near, areas of intense commercial development with access to goods, services and the transportation network. In addition to areas designated Multi-Family Residential, the land use plan also provides for multi-family units within the Mixed Use land use designation." See Comprehensive Plan, page 42.

The Prairie Center Development incorporates six-hundred nine market rate apartments and sixty-one affordable apartments for traditional and senior housing. Apartments will be dispersed in three or four story buildings of a "stacked flat" floor plan, served by common hallways and elevators, precisely as contemplated by the City's Residential Areas Framework.

"Mixed Use

The Land Use Plan for St. Charles includes a designation for Mixed Use within the Downtown. Mixed Use areas should be characterized by uses and development patterns that provide a vibrant, safe, attractive, and "walkable" pedestrian environment. This includes active commercial uses on the ground floor, and opportunities for multi-family residential units on upper floors. Although the Land Use Plan designates only Downtown St. Charles as a Mixed Use area, the Residential Areas Framework Plan identifies other locations where Mixed Use development could occur, including the former St. Charles Mall Site along IL Route 38 and the current Charlestowne Mall site on the City's east side." See Comprehensive Plan, page 42.

The Prairie Center Development site plan encourages pedestrian traffic between residences, open space and recreational facilities like the community clubhouse and pool, and a variety of first-floor commercial uses via connecting sidewalks. Design elements are intended to promote physical activity, convenience, and social interactions among residents and members of the businesses community. These features serve to make the mix of uses in Prairie Center more harmonious and integrated.

"Senior Housing

Senior Housing is an essential component of the City's residential offerings and should be appropriately accommodated in select locations. The notion of "aging in place" is

important, as it allows residents to remain in the City as they progress through the different stages of life. Although the Residential Areas Plan does not call out specific locations for senior housing, the Plan does recognize the importance of developing additional senior housing within the community to accommodate the City's existing and future senior population.

In general, senior housing can be in the form of single-family detached, attached, or multi-family dwellings. As locations are considered for accommodating senior housing development, preference should be given to proximity of transit, goods, and services. The ability to walk to restaurants, shops, transit, recreation, entertainment, and services is often important to seniors as it reduces their dependence on the automobile for daily needs. Given issues of proximity, areas within or near the Downtown, Randall Road, or near the intersection of Kirk Road and Main Street should be considered ideal for senior housing." See Comprehensive Plan, page 42.

The Prairie Center Development fully integrates the City's vision for senior housing in St. Charles. As the senior population continues to grow, Prairie Center will serve the full panoply of seniors. Existing residents can downsize to a more affordable and supportive environment; new residents can move closer to family in town. Onsite commercial uses will permit seniors to safely and easily walk rather than rely on automobiles. Seniors will have access to public transportation by virtue of a bus shelter located on the property and adjacent to Illinois 38.

V. Chapter 8. Subareas Plans.

A. Sub-Area Plans.

The Prairie Center Development site is located within the "West Gateway Subarea" and identified as Site J. The Comprehensive Plan defines certain goals and objectives for the subarea as follows:

"Subarea Goals

The West Gateway subarea provides unique opportunities within a specific context of a corridor capable of competing with other commercial areas of the City, including Downtown. These opportunities and goals are not meant to create competition with Downtown; rather, they strive to complement each other. The overall vision for the subarea includes the following elements:

- *An economically competitive corridor that capitalizes on its unique advantages and regional position and complements downtown.*
- *Redevelopment and repositioning to include the next generation of regional development and services.*
- *An attractive environment that is distinguishable from adjacent communities and respectful of surrounding neighborhoods.*
- *A multi-use area that provides a balance in and ease of access between residential, commercial, and retail activities.*

Subarea Objectives

- *Improvement of the appearance of the Randall Road Corridor and the identity of the St. Charles community through installation of streetscaping, wayfinding, and gateway elements.*
- *Enhancement of the character of both existing and new development through on-site landscaping, attractive building design and materials, and more consistent signage regulation.*
- *Improved mobility and access throughout the corridor, including between adjacent development sites or blocks.*
- *Comprehensive bicycle, pedestrian, and transit access through infrastructure and technology improvements.*
- *Preservation of surrounding neighborhoods through the use of screening and buffering from commercial development.*
- ***Redevelopment of the St. Charles Mall site with activities and a character that complement Randall Road and maintain an appropriate relationship with adjacent neighborhoods.***
- *Creation of market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.*
- *A transitioning land use pattern that is supportive of Bus Rapid Transit (BRT) along Randall Road.*
- *Achieve balance by promoting connections between the Downtown and the West Gateway area without competing with the Downtown.” See Comprehensive Plan, page 94.*

The Comprehensive Plan identifies the Prairie Center Development property as a “catalyst site”, a property that could have a “catalytic impact” on the surrounding area.

“Site J

This 30-acre site may represent the most significant redevelopment opportunity within the Randall Road corridor. Despite great potential, the opposition voiced by some members of the St. Charles community to the St. Charles Towne Centre proposal highlights the complexity and sensitivity of the site’s future development. Throughout the outreach process, residents voiced different ideas for the site, underscoring the fact that the community remains split on the best use of the site. On the following page, this Plan presents 3 different alternatives for the site’s redevelopment. It is important to note that the final development option should be market viable. Due to the significance and complexity of this site, any redevelopment proposal should be subject to the Planned Unit Development approval process.” See Comprehensive Plan, page 97.

The ShoDeen Group respects the concerns of the St. Charles community regarding the site and has endeavored to address all reasonable and legally justifiable concerns. The proposed development strikes a balance in favor of compliance with City land use regulations and the Comprehensive Plan while developing a project that is economically viable, necessary, and attractive for the community.

B. West Neighborhood Center.

Chapter 8 of the Comprehensive Plan envisions three different redevelopment alternatives for the general area of the Prairie Center Development, which include adjacent properties not subject to Shodeen's proposal. The Prairie Center Development is most like the alternative designed "West Neighborhood Center".

"West Neighborhood Center"

This alternative concept preserves much of the existing development along Randall Road and recognizes the limited commercial potential of the mall site should this occur. The Tri-City Center remains, hopeful that the Mall site's redevelopment will foster more synergy along the corridor. The eastern portions of both the mall site and the Tri-City Center site would be redeveloped as a series of mixed use or multi-family/townhouse nodes that provide local retail and services along Lincoln Highway. Densities and housing types should be mindful of market viability, reflecting the need for more aging and affluent households. Both residential and commercial areas should feature attractive pedestrian environments as well as appropriate transitions to surrounding neighborhoods. Redevelopment should be sensitive to differences in building height to avoid harsh transitions.

Considerations

- *Preserves existing development commercial development*
- *Creates the small opportunity for a unique "Main Street" environment*
- *Provides the opportunity for new residential units creating a potential customer base for businesses*
- *Does not take full advantage of the prominence of Randall Road as a regional commercial corridor*
- *Tri-City revitalization may be dependent on the success of the Mall redevelopment*
- *Does not require site assembly or participation of other property owners" See Comprehensive Plan, page 98.*

While the physical layout of the Prairie Center Development is not identical to the *West Neighborhood Center* alternative, the proposed development incorporates all elements of the particular vision: office/service, local retail, restaurants, and residential uses in an attractive, walkable, and economically viable manner. The proposed site plan itself utilizes a creative approach to site improvements, efficient use of land, adequate public utilities and street improvements, while remaining true to the City's vision for the West Neighborhood Center alternative for Shodeen's part of Site J. Prairie Center will serve as a natural buffer between the Randall Road and Illinois 38 corridors and the existing residential neighborhoods. In addition, Prairie Center will encourage development of adjacent properties and enhance the City's tax base by putting a historically underutilized site into productive and viable uses.

VI. Chapter 9. Culture and identity plan.

"Recommendations"

To the greatest extent possible, physical access to open spaces and trails along the Fox River should be established or maintained.

High-quality design should ensure that development along the river is attractive, and that critical viewsheds are preserved for all to enjoy.

Existing or potential new environmental impacts should be mitigated through on-site filtering of stormwater before discharge into the river, preservation of adjacent trees and native plantings that reduce erosion, and the prohibition of uses that negatively impact the river corridor through air/water quality impacts, noise, access to sunlight, etc.

New neighborhood development or local infill should respect the surrounding context in the design of street networks, infrastructure, housing stock, and other built elements. Infill development should strive to reflect the context in terms of site design, massing and scale, and architectural design. New neighborhoods should be designed to integrate local site characteristics, such as existing trees, unique topography, local building materials, etc. In all areas of the City, efforts should be made to preserve the tree canopy and other character-defining elements.

Commercial development should integrate high-quality design and construction with an emphasis on site design, building orientation, architecture, and building materials. The City should continue to enforce Design Guidelines and offer the Façade Improvement Program in Downtown, and consider implementing a similar program elsewhere in the City.

A comprehensive streetscape program should be explored for the City's key corridors and gateway areas. This streetscape plan should integrate green infrastructure, local branding, pedestrian and bicycle-scale use, locally-inspired art and craft, and other elements that have been discussed elsewhere in this document. Although streetscape elements may and should vary in different locations, the overall themes and performance characteristics should be consistent.

The City should continue to explore opportunities for public art throughout the community at both City-wide and local levels. Community gateways could include artwork that announces entry to the City, while significant open spaces or event locations could include public artwork that reflects City-wide values or vision. Local public art could be installed throughout neighborhoods to reinforce St. Charles' identity as a mosaic of unique neighborhoods within the larger context of a community.

The City should require and enforce the use of buffering techniques, such as setbacks, landscaping, fencing, and berms, where they can limit the impact of surrounding development. These techniques can mitigate nuisances such as noise, light, or building scale." See Comprehensive Plan, page 112.

As an infill development, Prairie Center respects the surrounding residential and commercial contexts by screening and transition from residential to commercial uses. At the same time, Prairie Center accommodates traffic generated by residents and businesses alike, providing much needed high-quality housing options while not otherwise overburdening City infrastructure.

VII. Chapter 10. Design guidelines.

A. Gateway & Corridor Design Guidelines

"These guidelines and development policies apply to all primary gateway areas and all major commercial corridors. They are intended to foster attractive and appropriate commercial development and redevelopment that is mindful of the fact that these areas were primarily designed with a vehicular orientation. Today, however, it is recognized that this approach is deficient and that even auto-oriented corridors should provide a safe and attractive pedestrian and bicycle circulation network with appropriate amenities. Commercial development within the commercial corridors will contribute significantly to the overall image and character of the City as perceived by motorists passing through the City as well as those shopping, dining, or visiting the area." See Comprehensive Plan, page 132.

As an integral part of a gateway area, Prairie Center is mindful of its place in the image and character of the City. To that end, Prairie Center carefully contemplates and incorporates the design guidelines set forth in the Comprehensive Plan.

B. Building Scale & Design

"A multiple-story architectural element, such as a clock tower, spire, or bell tower, may be appropriate as a design "highlight" at key locations along the corridor.

Distinguishing architectural features are encouraged, such as decorative cornices, columns, reliefs, and other façade ornamentation and detailing.

Covered walkways and colonnades are encouraged along the fronts of the buildings to create a pedestrian orientation.

Architectural details should be visible from the street. Buildings should not be setback so far as to diminish the aesthetic impact of the building on passing pedestrians and motorists. Buildings should be attractive at both a pedestrian and vehicular scale.

Buildings can have either a pitched or flat roof, but rooflines should complement the overall design and architecture of the building. Rooflines and parapets should look complete when viewed from all sides of the building.

Rooftop-mounted equipment and vents should be screened from view along all sides of a building. Rooftop screening should be incorporated into the overall design of the building and be an integral part of the architecture.

Dumpster enclosures should be of materials and incorporate design elements that complement the primary structure. Dumpster enclosures should be well landscaped and located at the rear or sides of buildings so as to be unseen from the public street or primary building entry." See Comprehensive Plan, page 132.

The Prairie Center development complies with the building scale and design guidelines by carefully incorporating architectural features to be impactful from adjacent streets and the site itself. Rooflines, rooftop equipment and dumpsters are attractively and efficiently designed.

C. Building Placement & Orientation.

"Buildings should have a strong visual and physical relationship to the corridor to enhance the identity and pedestrian orientation of the corridor. Buildings should be attractive at both a pedestrian and vehicular scale.

Although the corridor is primarily oriented to the automobile, commercial buildings should have a strong pedestrian orientation with display windows, attractive detailing, and convenient and "hospitable" entrances.

The East and West Gateway areas are characterized by large building setbacks, side yards, and surface parking lots. Where this exists a street frontage should be maintained through the use of low-profile landscaping and decorative walls or fencing.

All buildings should "front" the corridor wherever possible. When front doors do not face these primary streets, display windows or distinctive facade treatments should be provided along the visible public road frontages.

Long, blank facades along the corridor should be avoided. Articulation and covered walkways, such as arcades, are encouraged along the fronts of multi-tenant commercial buildings to create interest and a "pedestrian-friendly" orientation.

All service entrances, dumpsters, loading facilities, and outdoor storage should be located at the rear of buildings. They should be screened from view along sidewalks and roadways through the use of decorative screening, masonry walls, and/or evergreen plantings.

Any business permitted to have a "drive-thru" facility should be sited so that drive-thru lanes and pickup windows are not prominently featured. Any canopies over drive-thru windows or lanes should match the material and architectural character of the primary building.

Any outdoor seating areas, such as those provided by restaurants or cafés, should be well landscaped and incorporated into the overall site design. Outdoor seating areas should be set back and screened from parking areas and driving aisles.

Awnings and canopies could be used to provide weather protection and to add visual interest at the street level. They should be integrated into the façade and be in character with the architectural style of the building. Arched or rounded awnings should be discouraged, unless they are compatible with and appropriate to the architectural style of a building. Internally illuminated or back lit awnings and canopies, shingle and mansard canopies, and plastic awnings should not be permitted.

Buildings should be used to frame outdoor plaza or seating areas in order to create attractive and pedestrian-oriented seasonal spaces.

Architectural massing elements, such as turrets, chamfered corners, or articulated facades, should be used to define important public spaces or prominent locations throughout gateway areas, such as pedestrian shopping areas or gateway intersections.” See Comprehensive Plan, page 133.

Prairie Center has a strong pedestrian orientation utilizing sidewalks and public spaces, while remaining related to adjacent streets. The site is appropriately landscaped to fit naturally within the context of adjacent residential and commercial uses.

D. Building Materials & Colors

“The use of appropriate building materials is a key to compatible new development and rehabilitation of existing structures. Quality materials should be used on all sides of the building, providing an attractive “360 degree” appearance.

New commercial and industrial buildings should be constructed primarily of traditional masonry building materials such as brick or stone. These materials should be used on all sides of the building. Recommended accent materials include stone, simulated stone, terra cotta, and wood or metal trim.

“Exterior insulation finish systems” (EIFS) should not be permitted as a primary building material. Stucco, consisting of 3-coat Portland Cement, should be used instead. Rough sawed wood, aluminum siding, and plastic or metal panels are discouraged within the gateway commercial areas.

The predominant colors for new buildings should consist of earth tones. While the natural brick and stone colors should predominate, contrasting and complementary colors should also be used to accent building components, highlight architectural elements and to help distinguish St. Charles’ gateways.

Damaged and deteriorated exterior building materials should be repaired or replaced.” See Comprehensive Plan, page 133.

All buildings in the Prairie Center development will have an appropriate and uniform color palate based in earth tones, and employ the same building materials to foster a unique but appealing sense of place.

E. Transit, Bike & Pedestrian Mobility

“Development sites should provide a continuous sidewalk and/or bike path along both sides of the street.

Development should provide a clearly marked and continuous pedestrian path from public sidewalks within the right-of-way to building entrances.

Sidewalks and multi-use paths should be sited and designed so that they provide adequate buffering from vehicular traffic on roadways.

Circulation plans should minimize conflict points between pedestrian and vehicles and ensure visible and accessible cross walks are installed where conflicts occur.

Development should provide on-site bicycle parking and/or storage at an appropriate ratio to vehicular parking.

Where appropriate, development should integrate on-site transit facilities and amenities, and account for and designate on-site circulation routes for transit vehicles or private shuttles." See Comprehensive Plan, page 133.

Prairie Center carefully incorporates pedestrian facilities as design elements, ranging from sidewalks along streets and water features, to convenient access to ground level and underground parking facilities.

F. Lighting

"Lighting helps promote safe and secure parking and pedestrian areas, and it can also serve to enhance the appearance of a property.

Lighting should be used to illuminate entries, signage, displays, and pedestrian and parking areas, as well as to highlight significant architectural elements.

Front and rear building entries should be adequately lit for overall security and visibility.

Building lighting should be subtle and understated. Light fixtures should be designed and oriented to produce minimal glare and spillover onto nearby properties.

Down-lighting should be encouraged on all commercial buildings; spot-lighting should be limited to major features and key landmarks, including gateway entry features.

Incandescent lighting creates a warm atmosphere and should be encouraged. If neon lighting is used, colors should be compatible with and complement the façade of the building. High pressure sodium (orange lighting), or a diffused, soft white light is also encouraged. Metal halide lighting should be avoided. Excessive lighting should be avoided to reduce light pollution.

Most exterior lighting should be concealed to provide indirect illumination. Where concealment is not practical, light fixtures should be compatible with building architecture.

Parking lots should be retrofitted to create a more pedestrian scale and minimize light pollution and glare. This can be accomplished by using shorter lighting standards (12'-18') to help establish pedestrian environments within individual developments. Taller light standards (25'-40') and flood lighting should be avoided.

Light poles and standards with an historic or traditional design should be used for all parking lots, walkways and pedestrian areas.

Bollard lighting can be appropriate as accent lighting and could be used in pedestrian seating areas and to highlight pedestrian walkways and crossings in parking lots.” See Comprehensive Plan, page 134.

All lighting installed in Prairie Center will encourage safety while avoiding light pollution.

G. Vehicular Access and Storage

“Development should create logical linkages to surrounding areas by extending existing street grid patterns and incorporating on-site streets wherever possible.

Adequate parking is essential within gateway areas, however, excessive parking can be detrimental to its aesthetic. Within St. Charles’ gateways, parking lots should be designed and located so that they are safe, attractive and efficient.

Parking areas of no more than 60 feet in depth should be located between the building and the public rights-of-way. This depth will be sufficient to accommodate a single driving aisle with 90° parking on both sides. Additional parking areas can be provided adjacent to the building on interior portions of the lot.

The number of curb cuts along corridors should be minimized, adjacent parking lots should be connected, and access points should be unified. Development should either create new internal streets or take advantage of existing ones, and all parking areas should be accessible from cross streets whenever possible to prevent cars from having to use primary streets to access adjacent lots.

All parking areas should be paved or bricked, striped and have surfaces in good condition. The use of pervious brick paver systems is encouraged.

Parking lots should be screened from view along sidewalks and roadways through the combined use of free forming berms, low masonry walls, hedge plantings, and shrubs.

Parking lots should have curbed perimeters and curbed landscaped islands. Clearly marked pedestrian pathways should be provided within the interior of parking areas to avoid large expanses of asphalt and to enhance pedestrian safety.

Parking lot landscaping should include “landscape islands” at a suitable ratio to provide visual relief from large fields of parking. Landscape islands should consist of canopy trees, attractive groundcover, and/or decorative bushes.

All parking lots should be designed for proper drainage and should consider the use of best management practices, including bioswales, to store and filter runoff.

Parking lots that are used during evening hours should be adequately illuminated.

Whenever possible, parking lots should be shared between multiple stores and businesses to allow for a more efficient lot layout and to minimize curb cuts. Cross access between adjacent parking lots should also be encouraged.” See Comprehensive Plan, page 134.

Prairie Center will accommodate a variety of parking types to serve each use on the property, considering all applicable design guidelines and regulations.

H. Landscaping and Site Improvements

“A local Fox Valley aesthetic should be reinforced through the use of native/adapted trees, shrubs, vines, perennial grasses and forbs as appropriate for the context, habitat, and conditions of a particular site. The use of these plants, along with adapted cultivars and non-native companion plants is encouraged for all ornamentally planted spaces. Low-input turf should be used and maintained with minimal water and chemical use where appropriate for use and context.

Planters and landscaped areas should buffer parking and service areas. Plantings should consist of low evergreen and/or deciduous shrubs planted in conjunction with low-growing annual or perennial plants and groundcover. Large expanses of exposed mulch are to be avoided.

A landscaped buffer at least five to eight feet in width should be provided around the perimeter of surface parking lots. Perimeter landscape plantings will include a continuous hedge accented by trees and ground cover but should not obstruct tenant signage and views to buildings and site features.

In conjunction with landscaping, decorative fencing is encouraged to delineate and screen parking and service facilities, outdoor storage areas, etc. Low-profile, decorative wrought iron fencing or masonry walls are recommended. Chain link fencing should not be permitted.

All landscaping should be maintained in a healthy and attractive condition. Maintenance programs should be established as part of new development approvals to ensure that private landscaping is adequately cared for and that its value is retained over time. Internal irrigation systems are preferred and encouraged.

Where site size or configuration does not allow for the minimum five-foot perimeter landscaping, vertical landscaping elements should be employed to provide an effective screen between parking lots and the public right-of-way.

Locations of high visibility such as entrances, signage locations, etc. are good opportunities to integrate naturalistic, ornamental perennial plantings that reinforce the local St. Charles character.

Trees, shrubs, walls/fences, “living” or green walls, and/or vining structures should be used to screen intense commercial or other potentially conflicting land uses from

residential properties. Visual screening, sound attenuation, and locally authentic, aesthetic beauty are all important considerations.

All landscaping within and adjacent to the public right-of-way should be compatible with existing plant materials in the area and be composed of native and salt tolerant species." See Comprehensive Plan, page 135.

All landscaping, screening, and other site improvements will comply with the vision of the comprehensive plan and applicable City regulations.

I. Business Signage

"Exterior building signs should be limited to business identification and description; exterior advertising signs should not be permitted. The size, material, color, and shape of building signs should complement the architectural style and scale of the building.

Wall-mounted signs are encouraged, although signage should not project above the cornice line or be mounted on the roof of a building.

Raised, individual letters mounted directly on the building, as well as signs that use light colors for lettering and darker colors for backgrounds, are preferred. Box signs should be prohibited.

When a building contains multiple ground-floor tenants, signage for all businesses should be compatible in design and consistent in placement.

Street numbers should be prominently displayed at the main entrance to every business and be clearly visible from the street.

Free-standing signage within the corridors should be limited to low-profile monument signs for multi-tenant commercial properties. Monument signs should be attractively landscaped and constructed of traditional building materials similar to the primary building on the site.

The letters of a monument sign should be internally illuminated with a white light source. External illumination may be appropriate for a natural metal or engraved stone monument sign. Excessive light and light pollution should be avoided.

"Gateway" signage and design features at key locations along the corridors are encouraged. Gateway treatments may include special signage, landscaping, and/or lighting. Where necessary, private development sites should accommodate gateway elements or incorporate prominent architectural features that demonstrate the importance of a certain location.

The size of signs should complement façade proportions, and should be constructed from the appropriate scale of the building.

The design and color of the sign should complement the architectural style of the building, and be integrated as a component of the building's facade.

Internal illumination is preferred for building mounted signs. Externally lighted signs may also be acceptable if they are compatible with other architectural components.

Pole signs, pylon signs, and billboards should be prohibited and the City should actively work towards amortizing and removing existing non-conforming signs. See Comprehensive Plan, page 135.

As Prairie Center is developed and utilized in the years to come, it is anticipated that business signage will evolve to satisfy the needs of users in compliance with the comprehensive plan and applicable City regulations. Nonetheless, signage at the site will remain unified and consistent throughout.

VIII. Chapter 11. Implementation.

A. The City's role.

"For the Comprehensive Plan to be successful, it must be based on support and participation between the City, other public agencies, various neighborhood groups and organizations, the local business community, property owners, developers, and residents. The City should be the leader in promoting cooperation and collaboration with these and other community stakeholders to implement the Comprehensive Plan." See Comprehensive Plan, page 139.

As discussed throughout this document, we have worked hard with the City of St. Charles and the community during the development of the comprehensive plan itself and the design of the Prairie Center project to bring a quality development to the City. We look forward to continued cooperation and collaboration with the City and its residents.

B. Cooperation.

"...For the Comprehensive Plan to be successful, however, it must be based on a strong partnership between the City, other public agencies, various neighborhood groups and organizations, the local business community, and the private sector.

The City should be the leader in promoting the cooperation and collaboration needed to implement the new Comprehensive Plan. The City's partners should include:

Other governmental and service districts such as the school district, park district, Kane County, private utility companies, the Illinois Department of Transportation (IDOT), the Forest Preserve District of Kane County, etc;

Builders and developers, who should be encouraged to undertake improvements and new construction that conform to the Plan and enhance the overall quality and character of the community; and,

The St. Charles community, since all residents and neighborhood groups should be encouraged to participate in the on-going planning process, and all should be given the opportunity to voice their opinions on improvement and development decisions within the community." See Comprehensive Plan, page 140.

As discussed above, we look forward to working with the City to transform an underutilized and difficult to develop site to a productive and economically viable asset to the City of St. Charles.

COMMENT:

MS. BELL-LASOTA: *Resubdividing and selling to developers sounds like a really great idea if that is what you imagine will market the retail and we'll finally get some mixed-use retail. However, my question would be, would the developers be held to be consistent with the PUD and would they build the buildings? Or would the Shodeen Group build the buildings that would then be purchased by these developers? Who would be the builder and how can we protect the project to continue that narrative over time? How can we ensure the appearance is consistent with the vision and spirit of the PUD?*

RESPONSE: The final approved zoning and development rights run with the land and not with the developer. Thus any future land owner will need to comply with the zoning in place unless that owner and the Village agree to again change the zoning on the property.

COMMENT:

MS. BELL-LASOTA...*the Shodeen Group made the statement that the Plan Commission is not charged with the responsibility to review or comment on the affordable housing ordinance. What will that appearance be? What will the livability be?*

RESPONSE:

The final approved zoning will have architectural controls in place for all buildings. As stated above, the zoning runs with the land.

COMMENT:

MEMBER PRETZ...*And it deals with page 32, line 24, page 33, line 1 and 2, of your response to the questions. That was "So what phase were you intending in the next plan," et cetera, et cetera. I would like more detail of how the project is going to roll out.*

RESPONSE: The construction is going to be market driven. Once we have approval from City Council, we can then truly market this new development opportunity. As previously discussed, the construction of buildings labeled Mixed Use-B1, Mixed Use-B2, Mixed Use-B3 need to be deferred in order to determine if there is demand for the additional commercial space that might be placed in these buildings. We have already started receiving inquiries relative to some commercial space as well as to the residential portions within the development.

We believe that this document answers most if not all of the questions raised. We will make ourselves available to discuss any of these questions in further detail at the next public hearing.

Sincerely,

Towne Centre Equities, LLC

By: Towne Centre Management, LLC, its Manager

By:



David A. Patzelt, a Manager

**Application Information from 12/6/16 Plan Commission meeting
packet**

December 1, 2016

Russ Colby, Planning Director
City of St. Charles
2 E. Main Street
St. Charles, IL 60174

Re: Prairie Center (Former St. Charles Mall Site)
Proposed Prairie Center Project: Application number 2016 AP 026 and
2016 AP 027 (the "**PUD Petition**")
Applicant: Shodeen Group, L.L.C.
Owner: Towne Centre Equities, LLC

Dear Mr. Colby:

Following are the questions taken from the transcript of the Public Hearing conducted before the Plan Commission on 10-18-16 along with a response to each question. For additional information and context of the question, we have identified the page number and line number that the question was taken from.

Page 32 Line 2-3

What is the pavement treatment that you anticipate there?

Response:

The intent is to have either colored and/or stamped asphalt or other paving product or treatment to distinguish and enhance the intersections and the pedestrian crossings. Thus, on the PUD Plan we have colored this area differently than the pavement field.

Page 32 Line 24, Page 33 Line 1-2

So what phase were you intending on the next plan? How were you intending to phase it, phase the development?

Response:

The construction of the buildings will be market driven. After PUD approval, if marketing efforts produce demand for commercial space in a mixed use building, that particular building would be the first built. If, instead, residential is first demanded, then residential will be the first building. Then, generally buildings around the first building will be the next constructed.

Page 33 – Line 22-23

Where do you envision first floor retail?

Response:

In buildings identified as "mixed use." The Retail will face both sides of the buildings.

Page 34 – Line 1-4

Could you comment on those areas first that you see as being definitely mixed use or where you would prioritize mixed use?

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Response:

We believe that the buildings identified on the plans as Mixed Use D1, D2 and D3, which are immediately north of the outlots along Route 38, will be the first mixed use buildings to be occupied. However construction of the various products will be market driven, and thus requires flexibility in the order in which the Developer elects to build its building to meet market demand.

Buildings identified as Mixed Use B1, B2 and B3 are "optional mixed use." Meaning that if the demand for the retail/office in the commercial portion of the mixed use buildings does not develop, these buildings will be "residential only".

Page 35 – line 7- 12

So the mixed use building B-1 right in the middle that John has been pointing to, this one, as are these two, would be market driven in the sense of the retail component. So if there were a demand for retail here, we would put it here.

Response:

As stated in response to Page 34 Line 1-4 above, Mixed Use buildings D1, D2 and D3 will be mixed use. Buildings identified as Mixed Use B1, B2 and B3 are "optional mixed use." If Mixed Use D1, D2, and D3 are fully occupied and there is more demand, we will consider more retail/office in mixed use buildings B1, B2, and B3.

Page 35 Line 23-24 and Page 36 Line 1-4

D1, D2, D3, south-facing facades, that is, facing 38. The north facing parts of those buildings, are you anticipating that those would also be first floor retail facing north or would those be residential entrances?

Response:

Yes

Page 36 Line 20-22

Member Doyle: Okay, that is helpful. It would be the same unit throughout the full north-south length of the building most likely?

Response:

No not necessarily. It will be commercial facing north and south but the same tenant may not extend all the way through from the north side to the south side. You could have a tenant that only faces north or only faces south. But, when you drive around the buildings, all of the sides will appear to be a front of the building.

Page 37 Line 9-12

Do you consider the possibility of that space being used for a plaza or for outdoor dining and, therefore possibly having those entrances to the garage located elsewhere?

Response:

Yes we have considered many outdoor spaces up against the buildings for plazas or outdoor dining. But you need to keep in mind the length of ramp needed to get under the building for underground parking. Maximum slope is about 10% so in order to drop 10' down you need a ramp of about 100' long.

Page 37 Line 19-24 Page 38 Line 1

One of the reasons that the ramping is here is because we simply haven't the real estate to be able to use – we've got to get down for a mixed use building. You know, the residential buildings we can lift out of the ground a little bit and cheat. So our finished floor is above grade basically.

Response:

The residential parking level floor is about 5' below the street grade. The mixed use parking level is about 10' below the street grade. Both ramps have a maximum slope of about 10%. Thus the length of the ramp for the residential buildings is about 50'. The length of the ramp for the mixed use buildings is about 100'.

Page 39 Line 15-21

I want to confirm. You said that the residential buildings, they are all three-story buildings, not four-story buildings? Mr. Talty: They are three-story buildings, yes. Member Doyle: Okay, I thought that I saw that.

Response:

Residential buildings are 3 floors of residential on top of one underground parking level. The parking level floor is approximately 5' below the street elevation with about 4' above street level, but mostly concealed by bermed-up dirt.

Mixed use buildings are 3 residential floors on top of one street level of commercial on top of on underground parking level. The parking level floor is about 10' below the street grade. The commercial level is approximately level with the street.

Page 40 Line 4, Line 7-11

Mr. Talty: You're proposing – I noticed in the Staff packet the estimated parking requirements, there's about a 10 to 12 percent deviation depending on which plan, and the City has a provision for shared parking requests.

Response:

There are two issues being discussed here. One on why we show two parking demands and the second issue involves "Shared Parking."

Parking Demand: There is a difference between parking demand because one of the plans excludes the optional mixed use buildings and the second plan includes the optional mixed use. With the additional optional mixed use, there is a higher demand of parking thus we provide more parking spaces.

Shared Parking: City ordinances permit the developer to seek a reduction in parking supply based on submitting justification for factors such as shared parking. The shared parking concept involves practices such as someone parking and going to multiple uses. As an example, parking at your apartment and walking to a restaurant. You in essence only occupied one space. It also involves the concept of different peak demand for different uses occurs at different times of the day. City staff has agreed that a 15% reduction in parking may be applied to our total parking demand based on shared parking.

Page 41 Line 22-24

Member Doyle: Okay. Then, also I think I read that you expect that overflow parking would utilize the parking on the south side of the Jewel.

Response:

We have not written this or stated this.

Page 42 Line 21-22

Comments from the Fire Department regarding access for aerial trucks.

Response:

The Fire Department will most likely have an updated review letter based on the revised engineering submittal.

Page 44 Line 24, Page 45 Line 1-4

If that becomes a problem, one option is to flip this diagonal parking so that the diagonal parking is on the park side and the drive aisle is on the building side, bringing now the aerial apparatus closer to the building.

Response:

We have eliminated the diagonal parking in front of the residential buildings B2, D3, D4, D5, and E1 and brought the building closer to the road thus eliminating this issue. The Fire Department will most likely have an updated review letter at the next public hearing.

Page 45 Line 22-24

For Staff, will we have a representative from the Fire Department here in December or will we have written resolution of any questions.

Response:

The Fire Department will most likely have an updated review letter before the next meeting based on the revised engineering submittal.

Page 47 Line 7 Page 48 Line 9-12

Member Holderfield: The characteristics of the prairie style in terms of the exterior of a building emphasizes the horizontal, which would be a plus when we're dealing with height...

Response:

We understand and have no objections to the request to incorporate more prairie style design features such as:

1. Reducing the pitch of the pitched roofs
2. Larger overhangs on the roofs
3. Arches over the entry doors
4. Prairie style fixtures
5. Prairie style plantings such as grasses

We request the Plan Commission take a vote on this topic so that one uniform recommendation to the City Council is made by the entire Plan Commission.

Page 51 Line 2-3

Is that you would have open prairie influence of green spaces

Page 51 Line 17-18

I'm going to call that Wright Boulevard

Response:

We have no objection to calling the north/south boulevard Wright Way. Again, we request that the Plan Commission incorporate this in to their recommendation if that is the desire of the entire Plan Commission.

Page 57 Line 2-6

What will be the condition of the site? Will the developer treat the 27 acres as you roll out the first building or will you leave the asphalt, the potholes, the blight intact as you build out these buildings?

Response:

The entire site will not be improved at one time. As buildings are built, the site will be improved around the buildings, for access, ingress and egress around those buildings.

Page 57 Line 13-19

I do see that you will have 10% affordable units...and you have requested that all of the units be in one building. Which building will that be? Have you made a determination of which building that will be? Might it be the residential adjacent to the Jewel?

Response: In accordance with the City Ordinance, we have made a written application to, and appeared before the Housing Commission, which is charged with the review of affordable housing. They have voted and approved our request. Please note that the Plan Commission is not charged with the responsibility to review or comment on affordable housing.

Page 58 Line 21

Will you be building affordable units or will you be giving the City fee in lieu?

Response:

In accordance with the City Ordinance, we have made a written application to, and appeared before the Housing Commission, which is charged with the review of affordable housing. They have voted and approved our request. Please note that the Plan Commission is not charged with the responsibility to review or comment on affordable housing.

Page 59 Line 1-8

The density bonus that says that for every affordable unit that's constructed, you will be allowed one bonus dwelling unit permitted for each affordable unit, not to exceed 120 percent of the base density. My question for the developer: That would be basically not to exceed 20 percent of the 609 units.

Response:

We believe the speaker is not accurately quoting the Affordable Housing ordinance. The Housing Commission is the City body appointed by the City Council to make recommendations on the developer's affordable housing application. Please note that the Plan Commission is not charged with the responsibility to review or comment on the affordable housing ordinance. The Housing Commission has received and approved the Developers Plan required to meet the City Ordinance.

For further clarification, the PUD Petition proposes a total of 609 non-“affordable” dwelling units (the “**Base Dwelling Units**”). In addition to the Base Dwelling Units, the Owner or its successor shall cause provide 10% thereof (61 units) to be affordable dwelling units (“**Affordable Dwelling Units**”) as required by Title 19 of the Municipal Code, subject to the following:

- (a) For each Affordable Dwelling Unit provided, the Owner shall be entitled to one bonus dwelling unit (thus increasing the number of Base Dwelling Units to 670 if 61 Affordable Dwelling Units are constructed, hereafter the “**Maximum Dwelling Units**”).

- (b) The Affordable Dwelling Units shall be located and constructed as provided in the correspondence dated November 16, 2016 approved by the Housing Commission.

Page 59 Line 12-15

How are you going to define the park space? It will be private park, correct, not an agreement with the Park District, or have you determined that yet?

Response:

The St. Charles Park District was offered land and participation in the development. They have not decided exactly what they would like to do or not do.

Page 59 Line 18-19

Will it have amenities? Will it simply be green space?

Response:

The plans illustrate and indicate typical improvements to the park areas.

Page 62 Line 20-22

I don't know that I'd want to go swimming there. I don't know that I'd want to take my kids swimming there.

Response:

This pool is a private pool for residents within the development. If you do not reside within the development and are not a guest of a resident, then you will not be invited to swim at the pool.

Page 63 Line 14-18

Then we were told that we can't do the ramps on the ends of the buildings, but yet I look and see mixed use in Building D1 has a ramp on the end of the building. So apparently the engineering can work.

Response:

As stated above, the residential parking level floor is about 5' below the street grade. The mixed use parking level is about 10' below the street grade. Both ramps have a maximum slope of about 10%. Thus the length of the ramp for the residential buildings is about 50'. The length of the ramp for the mixed use buildings is about 100'.

Page 63 Line 23-24 Page 64 Line 1

I think it's absolutely a huge mistake to put all the affordable housing in one building.

Response:

In accordance with the City Ordinance, we have made a written application to, and appeared before the Housing Commission, which is charged with the review of affordable housing. Our plan is to MEET THE CITY ORDINANCE with a one deviation, namely that the units be permitted to be located together. The Housing Commission has reviewed, conducted a public meeting, voted and approved this request. That plan is public information through the Housing Commissions meeting minutes. Please note that the Plan Commission is not charged with the responsibility to review or comment on affordable housing.

Page 67 Line 11-14

So I would like you to consider pulling all of that mixed use down and putting it all together so that we really do have a nice shopping area and having it flow.

Response:

We have reviewed this concept and have concluded that it cannot be accommodated. Any increase in commercial space drives an increase in parking. We are unable to provide additional parking and have provided the maximum commercial space that we are capable of supporting.

Page 70 Line 5-10

Also, questions on traffic with the addition of mixed use areas, as the Prairie Street and 7th Street four-way stop is really backed up already about 6:15. So concern about additional traffic along Prairie Street, which is pretty dense right now.

Response:

A Traffic Impact Analysis has been completed by the City's Traffic Engineer and is available for review at City Hall and will be presented at the next Public Hearing.

Page 72 Line 4-6

Has there been any thought in redirecting (traffic) to go into where the street is on the other side, Vanderbilt Street?

Response: Yes, we tried this while completing land studies and found that the grid pattern is more efficient and that the motoring public would be better able to negotiate the development and retail components if they were in a grid like pattern.

Page 76 Line 23-24 Page 77 Line 1-8

Maybe converting the north end of B1 into really a centerpiece sort of structure. I think the D1, D2 there really needs to be serious consideration into converting them into something that's more retail oriented and possibly, even across the street from mixed use B-1, bringing a mirroring use instead of having just the ends of residential units across the street.

Response:

We have maximized our commercial space and cannot increase this use due to our inability to provide additional parking. Also, we are sensitive to the concern of not overly competing with central business district merchants.

Page 78 Line 9-14

By bringing in more retail, I'm not suggesting that you reduce the number of residential units. I would suggest going up with a couple of buildings to maintain the level of residential density but adding retail density that's going to be retail density.

Response:

We appreciate your comment and position that the residential density is not an issue. We have maximized our commercial space and cannot increase this use due to our inability to provide additional parking.

Page 80 Line 2-4

Where ever you are in this area, you're looking at the back of Jewel

Response:

We understand and agree and our plans show we are providing landscaping to screen the back side of Jewel as much as possible.

Page 81 Line 4-7

So I guess the large parking lot I'm not crazy about. I would much rather have it either be more mixed use, more open space. By "open Spec," I'm not saying a field, you know usable.

Response:

We have been working on this with the Park District and City Staff to determine if we can increase the open space within the development as well as provide some Public Park Space. We expect to have more information at the next public hearing on this topic.

Page 82 Line 21-24 Page 83 Line 1-4

It's hard for me to tell exactly where all the walkways are, but how have you integrated that? And what was your plan in terms of the pedestrian friendly environment? And is that walkway around the detention pond? And how would one get easily from the north to the south on foot?

Response:

We have changed the line weight and shading on the most recent Engineering Plan to better illustrate the pedestrian connectivity. As an example, please review sheet 2 of 22.

Page 85 Line 20-24

My questions to you is: Taking a look at that Comprehensive Plan and bumping that up against your proposal here, would you list for me all of the aspects that are supporting our Comprehensive Plan for this particular area?

Response: The PUD Project conforms to the Comprehensive Plan of the City. The Comprehensive Plan identifies this area as the West Gateway Sub-Area, and allows for at least six different types of uses in this sub-area, all intermixed in a variety of ways. These uses include regionally oriented retail uses, locally oriented retail uses, mixed use office/secondary commercial uses, single family attached uses, and multi-family uses, together with integrated open space.

First, the Comprehensive Plan calls for the area (the former St. Charles Mall site) to be developed as a “Neighborhood Center” including new residential units to form a potential customer base for businesses. The Plan allows for a series of mixed-use and/or multi-family townhome nodes to be developed. Residential and commercial uses should feature pedestrian environments and appropriate transitions to surrounding neighborhoods. Especially, a strong pedestrian orientation should be developed in this sub-area, connecting the residential districts to the retail, entertainment, and dining uses, and public transportation on Lincoln Highway and Randall Road. This should form a compact mix of uses to foster an active and interesting district overall.

A second alternative is for development of this sub-area as a “Comprehensive Mixed Use Center” which would include residential uses, and a residential uses above ground-floor commercial uses, in a PUD for the area. The Plan specifically calls for use of open space as a unique amenity in such a development.

Prairie Center draws from the alternatives and incorporates the uses in a refined and marketable way. The proposed PUD Project would create pedestrian nodes of development, with nearby mixed use residential and commercial uses, available by walkways for pedestrian access. There would be additional commercial uses along the IL 38 arterial corridor, available also by vehicular access. The mixed uses in this development would form an overall compact area fostering an active and interesting district.

More specifically, in a more bullet point detail, following in bold text we identify specify goals and chapters of the Comprehensive Plan where the Development complies:

Chapter 3 entitled “**Goals and Objectives of the Comprehensive Plan**” states the following:

Transportation and Circulation

*** Goal 2 - Provide a coordinated transportation network for pedestrians and bicyclists in order to connect them to employment, shopping and recreational areas.**

The Developer of Prairie Centre has coordinated pedestrians, bicyclists, motor vehicles as well as with the provider of the Public Transportation Service (Pace). A complete pedestrian system throughout the commercial and residential areas is provided as well as links to the existing systems. Bicycle racks and parking areas are provided. A Public Bus stop is being relocated at the front entry intersection of this development with Route 38 and Wright Way as well as a second bus stop located at Prairie and Randall Road. The City’s Bus Circulator Plan identifies this property as one of the circulator stops.

*** Objective 2 - Where appropriate, encourage new development/ redevelopment to include connections and amenities for pedestrians, bicyclists and commuters**

The Development complies with this.

*** Goal 3 - Establish a high-quality public transit system as a vital part of St. Charles's transportation network.**

The Development improves the current bus stop and will add riders to the system.

*** Objective 1 - Ensure that levels of public transit service are maintained and enhanced throughout the City.**

The Development complies with this as stated above.

*** Objective 2 - Coordinate with transit providers to align land use policies to provide the greatest possible level of access to areas best served by regional and local bus transit.**

The Development land uses aligns with the existing public transportation system and will bring future residents adjacent to the transportation system.

*** Objective 5 - Work with area employers and businesses to promote and implement traffic demand management and reduction techniques including the use of public transit, carpooling, walking and bicycling.**

With the Development so close to the public transportation system, not only will future residents of the development \ be encouraged to use the system, but other users of the system will be able to commute to the jobs and shopping generated in the mixed use areas of the Development.

Infrastructure and Development

*** Goal – Maintain high-quality, environmentally friendly, and efficient infrastructure systems and networks through regular investment and maintenance to meet the changing needs of the City today and in the future.**

The Development will improve existing infrastructure and is planned as a very efficient use of this existing infrastructure network by putting more users on an existing system makes any system operate more efficiently. The Development meets this requirement for additional investment in both housing and commercial uses for the changing need.

*** Objective 13 - Review and evaluate new development and retrofit/redevelopment proposals to ensure pedestrian mobility and amenities are included and prioritized.**

This Development supports pedestrian mobility, and its amenities (open space and retail) have been included and prioritized.

Chapter 8 entitled “West Gateway Subarea Plan”

*** Subarea Objective - Comprehensive bicycle, pedestrian, and transit access through infrastructure and technology improvements.**

As stated above, this Development contains these items

West Gateway Improvement Plan identifies a sidewalk gap along the frontage of the property.

We have worked with City staff to link the sidewalk internal to the Development with sidewalks on its perimeter.

*** In addition to being accessible by car, the corridor should be safe and welcoming to pedestrians. The City should ensure a complete pedestrian network exists within the Western Gateway, installing sidewalks in identified gaps**

As stated above, we have worked with City staff to link the sidewalk internal to the Development with sidewalks on its perimeter of the West Gateway area.

We believe that the above clearly illustrates many of the areas where the Development complies with the Comprehensive Plan. Certainly there are many more areas. Should you feel that more are needed, please don't hesitate to ask.

Page 86 Line 18-23

So I wanted just to suggest that maybe you have an interactive pool, whether it be a reflective pool or whether it be some kind of a low-profile fountain that you walk into.

Response: As stated earlier, the swimming pool is a private pool for residents of the Development and their guests. The fountain shown on the plan south of the pool could be interactive fountain enjoyed by the public at large.

Page 87 Line 24 Page 88 Line 1-7

If you look on mixed use D3 and residential D2, what the illustration shows is basically sort of a U where the building continues in a north-south fashion to create a bridge there, and the exact configuration of the building is not as much a priority for me whether it's a U or whether it makes an L to bridge the space between it.

Response: We appreciate the creativity and thought put in to this idea. We are concerned that traffic must move through this area so that it is not a dead end. We are certainly open to allowing the buildings to be perhaps "L" shaped with a drive aisle between the two "L's." An even perhaps the second floor carry over the roadway. We suggest that if the Plan Commission likes this concept that the Plan Commission have a condition "encouraging the developer" to create this idea as part of their motion when they approve the plan.

Page 90

DAP NOTE: "Pace Bus Flip Bus Stop..."

Pace has responded back with their review of the development plan. Pace comments are as follows:

"Ezekiel and I have reviewed the plans for the proposed redevelopment and have the below comments.

Thank you for the opportunity to review and comment on the Site Plan for the Prairie Centre development in St. Charles.

Pace currently operates Route 801 both eastbound and westbound along IL 38 in front of the proposed development. Route 801 provides weekday and Saturday service between Elgin and Geneva, serving businesses along IL 38 and Randall Road, the Elgin Terminal, South Elgin, and the Geneva Metra Station. Certain trips also serve the Kane County Judicial Center. Buses generally operate weekdays between 5:30 am and 6:30 pm with hourly buses during the AM and PM rush hours and 2-hour service during the midday. On Saturdays, buses operate between 8:30 am and 4:30 pm with 2-hour service.

This development is also within the service area of Route 592, the St. Charles-Geneva Call-n-Ride. This service offers reservation based, curb to curb shared rides service within a designated service area.

There are Pace bus stops on both sides of IL 38 at the signalized entrance to the site. The westbound stop on the north side of IL 38 is located on the near-side of the intersection and consists of sidewalk from the intersection, a concrete pad, and a bus shelter. The eastbound stop on the south side is also near-side and consists of just a pad. Current data shows little activity at these stops, most likely due to the vacant land use on the north side of the road. With the proposed Prairie Centre development, activity at the bus stops is expected to increase.

The existing traffic signals at the site entrance include pedestrian signals for the north and west legs of the intersection. The sidewalk ramps do not appear to be ADA compliant nor are there cross walks.

There is no sidewalk along the IL 38 frontage of the property.

Pace offers the following recommendations for the development.

- 1. Provide sidewalk along the frontage of the property within the IL 38 right-of-way to improve access to the transit stop.*
- 2. Provide sidewalk along the entrance road and the sidewalk in the IL 38 ROW to provide connections between the development and the transit stop.*
- 3. Provide sidewalk connections between the site and the sidewalk in the IL 38 ROW at locations other than the main entrance road to improve pedestrian access to the site and the transit stop.*
- 4. Provide ADA compliant sidewalk ramps and crosswalks at the intersection.*

These 4 improvements will improve pedestrian access to and from the transit stop by providing residents and users of the development an ADA compliant Pedestrian Access Route and will be in harmony with the goals and objectives of the Comprehensive Plan.

Pace also requests the Development consider relocating the westbound bus stop and shelter to the west (far) side of intersection. The benefits of a far-side stop include:

- § Eliminates conflicts with right turning vehicles who may try to drive around stopped bus*
- § Provides additional right turn capacity for traffic by not blocking right turn movements*
- § Eliminates potential sight line encroachments through the shelter.*
- § Red light will facilitate bus reentry into travel lane if necessary.*
- § Pedestrians cross in the back of the bus, eliminating conflict between bus and pedestrian.*
- § If a right turn lane is proposed:*

- * Shelter will conflict with the widening.*
- * Pace prefers not to stop in turn lanes due to safety conflicts with right turning traffic and thru traffic generally does not let the buses to reenter into the thru lane.*

*Rick Willman, P.E.
Transportation Engineer
Pace Suburban Bus
550 W. Algonquin Road
Arlington Heights, IL 60005*

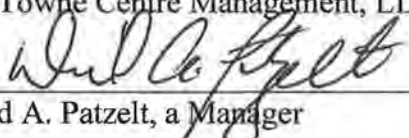
We believe that this document answers most if not all of the questions raised. We will make ourselves available to discuss any of these questions in further detail at the next public hearing.

Sincerely,

Towne Centre Equities, LLC

By: Towne Centre Management, LLC, its Manager

By:



David A. Patzelt, a Manager

November 16, 2016

Russell Colby
City of St. Charles
2 East Main St. Charles Illinois 60174

Re: St. Charles Prairie Centre
Compliance with St. Charles Inclusionary Housing Ordinance

Dear Russ,

As a follow-up to our correspondence dated September 26, 2016 and October 6, 2016, relative to the City of St. Charles Inclusionary Housing Ordinance, Chapter 19.02, and specifically, Section 19.02.130, please accept this correspondence and the attached worksheet as the information describing how the St. Charles Prairie Centre Residential Development ("Prairie Centre") will comply with the mandatory requirements of Chapter 19.02.

Prairie Centre will comply with Chapter 19.02 by providing sixty-one (61) Affordable Units within the development as required by 19.02.060 and as more fully set forth below. As we intend to comply with the required number of Affordable Units, we will **not** request the City Council permit the payment of a fee in lieu of said units **or** otherwise approve an Alternative Housing Plan.

Pursuant to Section 19.02.130, we offer the following specific information detailing how Prairie Centre will comply with the requirements of your Inclusionary Housing Ordinance:

Section 19.02.130(1):

a. Number: Prairie Centre will provide sixty-one (61) Affordable Units in addition to the six hundred nine (609) proposed Market Rate Dwelling Units to be constructed. Pursuant to Section 19.02.080, the proposed Affordable Units are subject to a density bonus.

While Prairie Centre is currently planned as a "rental" community, market demand may shift to "for sale" housing, thus we request flexibility to offer the Affordable Units as either "for sale" or "for lease".

b. Pricing: The anticipated pricing of the proposed Affordable

SHODEEN

17 North First Street
Geneva, Illinois 60134

phone 630.232.8570
facsimile 630.232.7895

www.shodeen.com

Units, either for sale or for lease, will be in accordance with Section 19.02.110.

c. Schedule: The proposed Units will be constructed in accordance with the Inclusionary Housing Ordinance, specifically section 19.02.100.B, wherein it states that as we build up to fifty percent (50%) of the proposed Market Rate Units (304), we must also build at least thirty percent (30%) or eighteen (18) of the total Affordable Units. The eighteen (18) Units would be built in the same ratio as the three hundred-four (304) Units are built. Thus, if one hundred (100) of the three hundred-four (304) Market Rate Units are built, at least thirty-three percent (33%)($100/304=33\%$) of the eighteen (18) Affordable Units will be constructed. Then as we build between 50% and 75% (305 - 457 Units) of the Market-Rate Units, we must build at least 60% (37 Units) of the total Affordable Units. Then as we build between 75% and 100% (458 - 605 Units) of the Market-Rate Units, we must build 100% (61 Units) of the total Affordable Units.

Section 19.02.130(2):

Section 19.02.100(A) requires that the Affordable Units shall be dispersed among the Market Rate Dwelling Units. We are requesting a variance to this requirement to allow us to offer Affordable Units that traditionally need to be grouped together, such as in a senior living facility or if tax credit housing is provided. If the Affordable Units are grouped, the exterior appearance of the relevant building(s) will be architecturally consistent with all other buildings located within Prairie Center.

Section 19.02.130(3):

No marketing plan for the Affordable Units has been developed at this time. The Market Rate marketing plan will be provided no later than when a marketing plan is provided for the Market Rate Dwelling Units.

Section 19.02.130(4):

No proposed fee in lieu of providing the Affordable Units is being requested thus this section does not apply.

Section 19.02.130(5):

No Alternative Affordable Housing Plan is being submitted or requested thus this section does not apply.

Be advised that we will be seeking External Funding Sources to fund the Affordable Units including grants, tax credits, and/or any other applicable funding mechanism each year that the project is under construction. These funds would be used to fund construction of on-site Affordable Units.

Finally, as requested please find the completed Inclusionary Housing Summary worksheet attached hereto.

Sincerely,

A handwritten signature in blue ink, appearing to read "David A. Patzelt", written in a cursive style.

David Patzelt
President

INCLUSIONARY HOUSING SUMMARY

Name of Development

St. Charles Prairie Centre

Date Submitted:

11-16-16

Prepared by:

David Patzelt



Background:

St. Charles Municipal Code Title 19 "Inclusionary Housing", requires developers of new residential developments to provide a proportionate share of affordable housing units within the development, or to pay a fee in-lieu of providing affordable housing units. Developers may also provide a mix of affordable housing units and fee in-lieu.

Affordable housing is defined as housing that has a sales price or rental amount that is within the means of a household with income at or below 80% Area Median Income (AMI) for for-sale units and at or below 60% AMI for rental units, adjusted for household size. See Title 19 for complete definitions.

The maximum price of affordable for-sale units and affordable rental units required by Title 19 shall be no greater than the affordable purchase price and affordable rent established annually by the Illinois Housing Development Authority (IHDA). Contact the Planning Division for the most recent affordable prices from IHDA.

Submission Requirements:

Submit information describing how the residential development will comply with the requirements of Title 19, "Inclusionary Housing". Use this worksheet to calculate the number of required affordable units to be incorporated within the residential development, or the required fee in-lieu payment.

If the development will include affordable units, submit the following additional information:

- The number of market-rate and affordable for-sale and rental units to be constructed, including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of affordable units and market-rate units, and their exterior appearance, materials, and finishes.

Affordable Unit Requirement Calculation

Unit Count Range	# of Units Proposed in Development		% of Affordable Units Required		# of Affordable Units Required
1 to 15 Units	N.A.	X	5%	=	N.A.
More than 15 Units	609	X	10%	=	61

Fee In-Lieu Payment Calculation

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
	0	X	\$72,819.50	=	0

BAZOSFREEMAN

Bazos, Freeman, Schuster & Braithwaite, LLC



December 2, 2016

Via e-mail to: rcolby@stcharlesil.gov

Mr. Russell Colby, Planning Division Manager
City of St. Charles
2 E. Main Street
St. Charles, IL 60174

Peter C. Bazos
Bradley T. Freeman
Mark Schuster
J. William Braithwaite
Jonathan S. Pope
Aaron H. Reinke

Christopher S. Nudo
of counsel

Writer's Contact:
pbazos@bazosfreeman.com
847-742-8800 x2030

Re: Proposed Prairie Center Project: Application number 2016 AP 026 and 2016 AP 027 (the "PUD Petition")

Applicant: Shodeen Group, L.L.C.

Owner: Towne Centre Equities, LLC

Dear Mr. Colby:

As we discussed this morning, the PUD Petition seeks approval of the PUD Plan for Prairie Center as attached to the PUD Petition. The PUD Plan is evolving through the public hearing process. Also, the PUD Petition seeks approval of various deviations and departures from certain standard requirements of the Municipal Code. The departures and deviations are (i) those that have been (and continue to be) identified by Staff in its report and / or by the Petitioner in its PUD Petition and testimony, and (ii) to the extent not covered in foregoing clause (i), those additional departures and deviations that are otherwise part and parcel of, and discernible from, the PUD Plan.

As we move into the second evening of the continuing public hearing on the PUD Petition, I thought it might be helpful to the Plan Commission if I were to herein summarize some of the less obvious departures / deviations that the current PUD Plan contemplates. By way of background, the PUD Petition proposes that, initially, the Prairie Center PUD project (the "Project") will be platted as a 1-lot subdivision, with access from Lincoln Highway (Rt. 38) on the South, Prairie Street on the North, and cross access to the Jewel parcel to the West. The initial single lot in the Prairie Center Subdivision is likely going to be re-subdivided in the future into 2 or more lots ("Lots"), as buyers for portions of the Project are found. As such:

1. The Prairie Center Subdivision will have no internal public or private streets. Instead, access to Rt. 38 and to Prairie Street to and from all Lots will be via cross-access easements.

1250 Larkin Avenue #100 Elgin, IL 60123
847-742-8800 (o) 847-742-9777 (fx)

www.bazosfreeman.com

2. There will be no minimum or maximum lot size.
3. There will be no maximum building coverage with respect to any Lot. (The PUD Plan itself shows overall building coverage on a Project-wide basis.)
4. The maximum building heights will be as presented as part of the building elevations at the public hearing.
5. There will be no interior minimum front, rear or side yard building or parking set-backs.
6. The building and parking set-backs and yards from the outer perimeter of the Prairie Center Project will be as depicted in the PUD Plan.
7. There will be no perimeter utility easements required around the perimeters of the Lots except as approved as part of the initial 1-lot subdivision final engineering plans.
8. Landscaping (and buffering) shall be satisfied by the landscaping shown on the originally approved PUD Plan.
9. Although the PUD Plan shows a total of 16 Residential Buildings, that number may be increased (by way of separating one or more Residential Buildings into two) or reduced (by combining / connecting one or more Residential Buildings into one), provided that neither of these actions shall increase the number of Maximum Dwelling Units (as that term is defined in item 10 below).
10. The PUD Petition proposes a total of 609 market-rate dwelling units (the "**Base Dwelling Units**"). However, pursuant to the provisions of Title 19 of the Municipal Code, the City is requiring that 61 units be made "affordable" (the "**Affordable Dwelling Units**"). As such, pursuant to Title 19, and as approved by the City's Housing Commission, the owner / developer shall be entitled 60 Bonus Units, which will increase the total number of units to 670 (hereafter the "**Maximum Dwelling Units**").

As noted, as the public hearing progresses, additional departures / deviations may be (i) identified by Staff or the Petitioner and / or (ii) become apparent from the evolving PUD Plan.

Best regards,


Peter Bazos

Cc: David Patzelt

Application Information from 10/18/16 Plan Commission meeting packet

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use

Project Name:

Prairie Center

Project Number:

2015 -PR- 025

Application Number:

2016 -AP- 026

Received Date
RECEIVED
St. Charles, IL

AUG 08 2016

CDD
Planning Division

To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: North of IL Rt. 38, East of Randall Road	
	Parcel Number (s): 09-33-302-010, 09-33-302-011, 09-33-302-014; 09-33-302-015 09-33-329-009	
	Proposed Name: Prairie Center	
2. Applicant Information:	Name Shodeen Group, L.L.C.	Phone 630-444-0777
	Address 77 N First Street Geneva, IL 60134	Fax 630-232-4520
		Email dave@shodeen.com
3. Record Owner Information:	Name Towne Centre Equities, L.L.C.	Phone 630-444-8252
	Address 77 N First Street Geneva, IL 60134	Fax 630-232-4520
		Email dave@shodeen.com

Please check the type of application:

- ☒ **Special Use for Planned Unit Development - PUD Name:** Prairie Centre
- ☒ New PUD
- ☐ Amendment to existing PUD- Ordinance #: _____
- ☐ PUD Preliminary Plan filed concurrently
- ☐ **Other Special Use (from list in the Zoning Ordinance):** _____
- ☐ Newly established Special Use
- ☐ Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: West Gateway Sub-Area

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR

What is the property currently used for? Vacant

If the proposed Special Use is approved, what improvements or construction are planned?

Commercial along Lincoln Highway; mixed-use business/residential immediately north of the commercial use; and then primarily residential (with some mixed-use business/residential) further to the north, all as shown on the attached Site Plan.

For Special Use Amendments only:

Why is the proposed change necessary?

What are the proposed amendments? (Attach proposed language if necessary)

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☐ APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

☒ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ PROOF OF OWNERSHIP and DISCLOSURE:

- ☒ (a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper**☒ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

☒ LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

☐ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☒ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☒ **TRAFFIC STUDY:** If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:


1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Town Centre Equities, LLC

By: Towne Centre Management, LLC, its Manager

By: 
Name: David A. Patzelt, a Manager

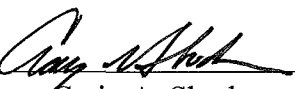
August 3, 2016
Date

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

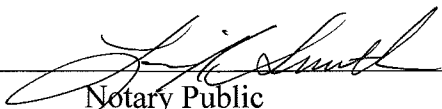
STATE OF ILLINOIS)
) SS.
KANE COUNTY)

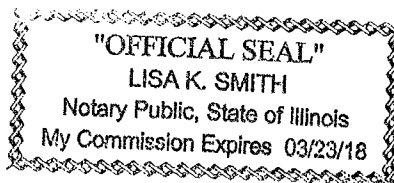
I, Craig A. Shodeen, being first duly sworn on oath depose and say that I am a Manager of Towne Centre Management, L.L.C., a Delaware limited liability company, the Manager of Towne Centre Equities, L.L.C., a Delaware limited liability company ("Owner"), and that the following are all of the members of the said L.L.C.:

Wennlund Farm, L.L.C.
Towne Centre Management, L.L.C.
Koranda Capital Partners, L.P.
St. Charles Towne Centre, L.L.C.
RJF Towne Centre, L.L.C.
Kili, L.L.C.
Silver Glen Capital, L.L.C.

By: , a Manager
 Craig A. Shodeen

Subscribed and Sworn to before me this 3rd day of August, 2016.


Notary Public



**LEGAL DESCRIPTION
PRAIRIE CENTER**

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF JOE KEIM'S RANDALL ROAD SUBDIVISION, ST. CHARLES TOWNSHIP, KANE COUNTY, ILLINOIS; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF ILLINOIS STATE ROUTE NO. 38, 222.0 FEET FOR THE POINT OF BEGINNING; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 178.0 FEET; THENCE SOUTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 132.0 FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 172.0 FEET; THENCE NORTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 9.0 FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 163.92 FEET TO A LINE DRAWN PARALLEL WITH AND 560.0 FEET EASTERLY OF THE EAST LINE OF SAID SUBDIVISION (MEASURED ALONG THE CENTER LINE OF PRAIRIE STREET); THENCE NORTHERLY PARALLEL WITH SAID EAST LINE 447.67 FEET TO A POINT THAT IS 40.0 FEET SOUTHERLY OF THE CENTER LINE (MEASURED AT RIGHT ANGLES THERETO) OF PRAIRIE STREET; THENCE EASTERLY PARALLEL WITH SAID CENTER LINE 574.54 FEET TO A LINE DRAWN PARALLEL WITH AND 1134.54 FEET EASTERLY OF SAID EAST LINE (MEASURED ALONG SAID CENTER LINE); THENCE SOUTHERLY PARALLEL WITH SAID EAST LINE 321.03 FEET TO A LINE DRAWN PARALLEL WITH AND 935.0 FEET NORTHEASTERLY OF SAID NORTHEASTERLY LINE (MEASURED AT RIGHT ANGLES THERETO) OF ILLINOIS STATE ROUTE NO. 38; THENCE SOUTHEASTERLY PARALLEL WITH SAID NORTHEASTERLY LINE 677.64 FEET TO A LINE DRAWN AT RIGHT ANGLES TO SAID NORTHEASTERLY LINE FROM A POINT ON SAID NORTHEASTERLY LINE THAT IS 1218.0 FEET SOUTHEASTERLY OF THE POINT OF BEGINNING (MEASURED ALONG SAID NORTHEASTERLY LINE); THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 935.0 FEET TO SAID NORTHEASTERLY LINE; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY LINE 1218.0 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.



As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

Prairie Center
PUD Name

August 3, 2016
Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed Special Use for PUD meets the above criteria in that it will establish a creative, mixed-use residential and commercial site which is for both pedestrian and vehicular movement, promotes physical activity and social interaction, encourages a mixed land use, and establishes a high-quality of residential units, encourages the redevelopment of this long-vacant and obsolete site.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The proposed Special Use for PUD provides community amenities beyond those required by the ordinance, such as high-quality residential rental; provides superior landscaping and buffering; provides high-quality architectural design; provides an efficient building and site design; provides accessible dwelling units, and will conform with the affordable housing standards of the City of St. Charles.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

- A. Public Convenience:** The Special Use will serve the public convenience at the proposed location.

The proposed Special Use for PUD will provide much-needed high-quality rental housing in St. Charles and the additional residence will serve to support the City's business district.

- B. Sufficient Infrastructure:** That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

There are adequate utilities, roads and other infrastructure to serve the proposed PUD.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed Special Use for PUD will not be injurious to the use or enjoyment of other properties in the immediate vicinity and will, instead, augment and help to increase the property values of same.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed Special Use for PUD will not impede the normal and orderly development and improvement of surrounding properties.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed Special Use for PUD will not be detrimental to or endanger the public health, safety, comfort or general welfare of the community.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use for PUD will conform to all existing Federal, State and local legislation and regulation except to the extent expressly modified by the PUD.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The Subject property has been vacant and underutilized for many years, and does not contribute sufficiently to the City's tax base. The proposed Special Use for PUD will allowed this property to be placed into economically beneficially use for the City and its residence.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed Special Use for PUD conforms to the purposes and intents of the Comprehensive Plan.

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use

Project Name:

Prairie Center

Project Number:

2015 -PR- 025

Application Number:

2016 -AP- 027

RECEIVED
Received Date
St. Charles, IL

AUG 08 2016

CDD
Planning Division

To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: North of IL Rt 38, East of Randall Road	
	Parcel Number (s): 09-33-302-010, 09-33-302-011, 09-033-302-014; 09-33-302-015 09-33-329-009	
	Proposed PUD Name: Prairie Center	
2. Applicant Information:	Name Shodeen Group, L.L.C.	Phone 630-444-0777
	Address 77 N First Street Geneva, IL 60134	Fax 630-232-4520
		Email dave@shodeen.com
3. Record Owner Information:	Name Towne Centre Equities, L.L.C.	Phone 630-444-8252
	Address 77 N First Street Geneva, IL 60134	Fax 630-232-4520
		Email dave@shodeen.com

Please check the type of application:

- ☒ **New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
☐ **Existing PUD-Planned Unit Development**
☐ PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- ☐ Proposed lot has already been platted and a new subdivision is not required.
☒ New subdivision of property required:
☐ Final Plat of Subdivision Application filed concurrently
☒ Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

☒ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

☒ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

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Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermain, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ SKETCH PLAN FOR LATER PHASES OF PUD:

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

☒ **ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

☐ **TREE PRESERVATION PLAN:** *N/A*

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

☒ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

☒ **STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

☐ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:** *N/A*

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

☐ **PUBLIC BENEFITS, DEPARTURES FROM CODE:** *N/A*

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

☐ **SCHEDULE:** Construction schedule indicating: *N/A*

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

☒ **PARK AND SCHOOL LAND/CASH WORKSHEETS**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

☒ **INCLUSIONARY HOUSING SUMMARY**

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Town Centre Equities, LLC

By: Towne Centre Management, LLC, its Manager

By: 

Name: David A. Patzelt, a Manager

August 3, 2016

City of St. Charles Land/Cash Worksheet
Instructions: Enter unit counts in yellow boxes; blue boxes automatically calculate required land donation & cash contribution

Dwelling Type/Bedroom Count		# of Units	Park	Est. Park Pop.	Elem.	Est. Pop.	Middle School	Est. Pop.	High School	Est. Pop.
Detached Single Family										
	3 bedroom	0	2.899	0	0.369	0	0.173	0	0.184	0
	4 bedroom	0	3.764	0	0.53	0	0.298	0	0.36	0
	5 bedroom	0	3.77	0	0.345	0	0.248	0	0.3	0
Attached Single Family (Townhomes)										
	1 bedroom	0	1.193	0	0	0	0	0	0	0
	2 bedroom	0	1.99	0	0.088	0	0.048	0	0.038	0
	3 bedroom	0	2.392	0	0.234	0	0.058	0	0.059	0
	4 bedroom	0	3.145	0	0.322	0	0.154	0	0.173	0
Multi Family (Condo/Apartment)										
	Efficiency	0	1.294	0	0	0	0	0	0	0
	1 bedroom	287	1.758	504.546	0.002	0.574	0.001	0.287	0.001	0.287
	2 bedroom	322	1.914	616.308	0.086	27.692	0.042	13.524	0.046	14.812
	3 bedroom	0	3.053	0	0.234	0	0.123	0	0.118	0
Estimated Population		609		1120.854		28.266		13.811		15.099
Park Acreage @ 10 acres per 1,000 population				11.20854	acres					
Park Land Dedication				0	acres					
Park Cash in Lieu @ \$240,500 per acre				\$2,695,653.87						
Elementary School Acreage @ .025 acres per student						0.70665				
Middle School Acreage @ .0389 acres per student							0.5372479			
High School Acreage @ .072 acres per student										1.087128
Total School Acreage				2.3310259						
Total School Cash in Lieu @ \$240,500 per acre				\$560,611.73						

1 1/2 Mile Jurisdiction Park Cash in Lieu
\$1,961,494.50

(Not for development within City of St. Charles)

1 1/2 Mile Jurisdiction School Cash in Lieu
\$407,929.53

(Not for development within City of St. Charles)

 RECEIVED
St. Charles, IL

AUG 24 2016

 CDD
Planning Division

October 11, 2016

Mark Koenen, City Administrator
City of St. Charles
2 E. Main Street
St. Charles, IL 60174

Peter C. Bazos
Bradley T. Freeman
Mark Schuster
J. William Braithwaite
Jonathan S. Pope
Aaron H. Reinke

—
Christopher S. Nudo
of counsel

Writer's Contact:
pbazos@bazosfreeman.com
847-742-8800 x2030

Re: Proposed Prairie Center Project: Application numbers 2016 AP 025 (the "Map Amendment Petition") and 2016 AP 026 and 2016 AP 027 (collectively the "PUD Petition")

Dear Mr. Koenen:

As you know, our clients have filed the above-referenced Map Amendment Petition and the PUD Petition (collectively, the "Petitions"). Subsequently, the City Staff sent our client a certain "Application Completeness Review Letter" dated August 15, 2016 (the "Completeness Review Letter"). This letter is intended to respond to certain issues raised in the Completeness Review Letter, and to amend the Petitions in the manner described below:

A. As to Section 1 of the Completeness Review Letter, please let this correspondence serve as an amendment to all of the filings made by our client under application numbers 2016 AP 025, 2016 AP 026, and 2016 AP 027, so as to add an additional tax parcel identification number that was inadvertently omitted, namely 09-33-302-015. (The legal description of the land covered by this missing PIN was already included in the Petitions.)

B. As to Section 3(c) of the Completeness Review Letter, please let this correspondence serve as an amendment to the Map Amendment Petition so as to correct the legal description for the property for which the map amendment is sought to that legal description attached hereto as **Exhibit A** (the "Map Amendment Legal Description").

C. As to Section 5(e) of the Completeness Review Letter, and relative to the PUD Petition, attached hereto as **Exhibit B** is a document that constitutes the Petitioner's statement of public benefit as to the requested PUD and the departures requested as a part thereof.

D. As to Section 5(f) of the Completeness Review Letter, and relative to the PUD Petition, attached hereto as Exhibit C is a document that constitutes the Petitioner's response to Staff's request for a development schedule as to the proposed PUD project.

E. As to Section 6 of the Completeness Review Letter, Section 17.04.420 of the City Code, there are various recording and construction commencement requirements pertaining to PUDs, with special requirements for those PUDs that involve phasing. We ask you to confirm (or correct) our understandings as to the application of Section 17.04.420 to the Prairie Center Project:

1. The proposed Prairie Center PUD is, as currently submitted, a single-lot, single-phase project.

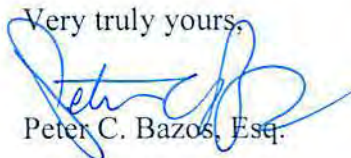
2. If the City Council approves the special use for the Preliminary PUD, then the applicant has two (2) years to gain approval of and to record the final PUD, subject to the Council's right to extend this time limit on a year-by-year basis.

3. If the applicant does record a final PUD plat within the time period required in #2 above, then this applies to the entire Prairie Center project (which, again, is a single-phase, single lot project). As such, even if all buildings contemplated by the Prairie Center PUD are not commenced within the 5-year period described in the second paragraph of Section 17.04.420, the Prairie Center PUD would nevertheless remain valid and in force.

4. Because the Prairie Center PUD is a single-phase / single lot PUD, commencement of the construction of at least one (1) building anywhere within the project will satisfy the construction commencement requirements of Section 17.04.420 B for the entire project, his allowing the remaining buildings to be built in accordance with the Applicant's construction schedule, without risk of loss of the approved PUD.

5. As buildings are incrementally built within this single-lot PUD, only those utilities required to serve the buildings being built would be required. (In other words, the required engineering improvements could be phased to match the phased construction of the buildings within the PUD.)

Mr. Koenen, we would greatly appreciate receiving from you and/or your Staff an acknowledgement that this correspondence (and the attachments hereto) are accepted by the City as an amendment to the previously-filed Petitions to the extent set forth hereon. Thank you.

Very truly yours,

 Peter C. Bazos, Esq.

PCB/awy
 CC: John M. McGuirk, Esq.
 Russell Colby
 David Patzelt
 Mark Schuster, Esq.

1250 Larkin Avenue #100 Elgin, IL 60123
 847-742-8800 (o) 847-742-9777 (fx)

www.sbfklaw.com

BAZOSFREEMAN

Bazos, Freeman, Schuster & Braithwaite, LLC

EXHIBIT A MAP AMENDMENT LEGAL DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF JOE KEIM'S RANDALL ROAD SUBDIVISION, ST. CHARLES TOWNSHIP, KANE COUNTY, ILLINOIS; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF ILLINOIS STATE ROUTE NO. 38, A DISTANCE OF 222.0 FEET FOR THE POINT OF BEGINNING; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 178.0 FEET; THENCE SOUTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 132.0 FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 172.0 FEET; THENCE NORTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 9.0 FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 163.92 FEET TO A LINE DRAWN PARALLEL WITH AND 560.0 FEET EASTERLY OF THE EAST LINE OF SAID SUBDIVISION (MEASURED ALONG THE CENTER LINE OF PRAIRIE STREET); THENCE NORTHERLY PARALLEL WITH SAID EAST LINE 447.67 FEET TO A POINT THAT IS 40.0 FEET SOUTHERLY OF THE CENTER LINE (MEASURED AT RIGHT ANGLES THERETO) OF PRAIRIE STREET; THENCE EASTERLY PARALLEL WITH SAID CENTER LINE 574.54 FEET TO A LINE DRAWN PARALLEL WITH AND 1134.54 FEET EASTERLY OF SAID EAST LINE (MEASURED ALONG SAID CENTER LINE); THENCE SOUTHERLY PARALLEL WITH SAID EAST LINE 321.03 FEET TO A LINE DRAWN PARALLEL WITH AND 935.0 FEET NORTHEASTERLY OF SAID NORTHEASTERLY LINE (MEASURED AT RIGHT ANGLES THERETO) OF ILLINOIS STATE ROUTE NO. 38; THENCE SOUTHEASTERLY PARALLEL WITH SAID NORTHEASTERLY LINE 677.64 FEET TO A LINE DRAWN AT RIGHT ANGLES TO SAID NORTHEASTERLY LINE FROM A POINT ON SAID NORTHEASTERLY LINE THAT IS 1218.0 FEET SOUTHEASTERLY OF THE POINT OF BEGINNING (MEASURED ALONG SAID NORTHEASTERLY LINE); THENCE SOUTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE 935.0 FEET TO SAID NORTHEASTERLY LINE; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY LINE 1218.0 FEET TO THE POINT OF BEGINNING;

EXCEPT THE SOUTHWESTERLY 205.00 FEET, AS MEASURED AT RIGHT ANGLES TO THE SOUTHWESTERLY LINE THEREOF (SAID SOUTHWESTERLY LINE ALSO BEING THE NORTHEASTERLY LINE OF ILLINOIS STATE ROUTE NO. 38);

IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

BAZOSFREEMAN

Bazos, Freeman, Schuster & Braithwaite, LLC

EXHIBIT B STATEMENT OF PUBLIC BENEFIT

APPLICANT'S STATEMENT OF PUD PUBLIC BENEFITS

To: City of St. Charles

Re: Applications 2016AP026 and 2016AP027

The undersigned, Shodeen Group, L.L.C., being the Applicant under the above-referenced Petitions, does hereby state that the requested Planned Unit Development ("PUD"), while not strictly conforming to the underlying BR zoning classification of the Subject Property, contains requested departures and relief from the minimum requirements applicable to said underlying zoning district (collectively "**Departures**") that are needed in order to (a) promote a creative design that better serves the community goals and (b) otherwise eliminate development standards that are impractical for the development for the Subject Property. The Applicant further states that the proposed PUD will provide benefits to the community that would outweigh benefits the community would enjoy from the development of the Subject Property in strict conformance to the underlying zoning classification in the following respects:

1. The PUD will provide community amenities such as recreational areas and heavily landscaped lawns and private sitting areas beyond those required by the underlying zoning ordinance.
2. The PUD will preserve open space and promote natural beauty by providing substantial amounts of underground parking that is not otherwise required by the underlying zoning ordinance.
3. The PUD will provide superior landscaping and buffering of the project beyond what is otherwise required by the underlying zoning ordinance.
4. The PUD calls for the construction of buildings that are much more up-scale in design on their exterior, and which contain interior amenities (such underground parking and elevators) that go beyond what is otherwise required by the underlying zoning ordinance.
5. The residential units to be constructed within the PUD will provide heightened accessibility for residents of all ages (including seniors) by reason of the buildings including elevators as well as underground parking beyond that which is required by the Americans with Disabilities Act or other applicable codes.



6. The PUD will provide dwelling units which meet the City's affordability standards as set forth in the City's codes and ordinances.
7. The PUD will provide a mixed-use project including both residential and commercial/retail, which will bring about the development of an otherwise fallow piece of land within the City and will also provide commercial services not only to the residents of the Subject Property, but also to nearby residents within the community, all without materially detracting from the commercial viability of the central business district of the City.

Respectfully submitted,
Shodeen Group, L.L.C.

By: _____
David A. Patzelt
Title: _____

BAZOSFREEMAN

Bazos, Freeman, Schuster & Braithwaite, LLC

EXHIBIT C PUD DEVELOPMENT SCHEDULE

1. Commencement of at least one (1) building within the approved PUD will occur within two (2) years of the City's approval of the Final PUD.
2. Subsequent buildings within the approved PUD will be commenced and completed as the market for such buildings may demand.

August 23, 2016

Russell Colby
City of St. Charles
2 East Main
St. Charles IL 60174

Re: Shared Parking

Dear Russ:

The City of St. Charles Ordinance 17.24.040 allows for the reduction in parking requirement based on the concept of "shared parking" wherein the people within one vehicle may use two (2) or more uses within a land area during the same vehicular trip. This is clearly evident in parts of the City especially where you have mixed use zoning and where people are walking between uses. Planners and Engineers typically use *generic* parking standards that apply to general land use categories such as residential, office and retail. These *generic* standards have been developed by professional organizations such as the Institute of Transportation Engineers (ITE) and are unconstrained and unadjusted values, which generally reflect the maximum supply that could be needed. This ITE conservative data is used by planners and allows them to err on the side of caution but has serious drawbacks. Much of this data has been used in the suburban areas of Chicago, including most communities in Kane County. It is based on low-density, single user developments with limited transportation choices, and no walkability. Providing this *generic* parking standard in outlying greenfield areas is less burdensome because of the availability of land for the parking lots. This philosophy has led to the overbuilt parking lots as seen along the Randall Road corridor. Every day of the week, at any hour of the day, you can drive the corridor and find a plethora of available vacant parking spaces. Providing this parking, in the same ratios as in the greenfield areas, is a significant expense and deterrent to infill development. Community planners cannot ignore planning issues and strategies such as smart growth principles, shared parking, walkability, and public transportation in the infill developments when analyzing and determining parking requirements. Parking in infill and mixed use developments is more complex as found by The United States Environmental Protection Agency (USEPA), the Institute for Transportation and Development Policy (ITDP) as well as Victoria Transport Policy Institute (VTPI) who all have further studied and evaluated parking demand and parking management.

Urban Land Institute (ULI), ITE, ITDP, VTPI and other entities have published reports and data on proper parking management. This includes Shared Parking, Second Edition by ULI, Parking Management, strategies, evaluation and planning, by Todd Litman of VTI, Shared Parking, by ITDP as well as Smart Growth Alternatives to Minimum Parking Requirements by Christopher V. Forinash, U.S. EPA.

The Urban Land Institute and the International Council of Shopping Centers work that was published in Shared parking, Second Edition uses independent surveys as well as other

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information provided in other documents to provide a comprehensive collection of parking data, particularly for mixed use developments such as the proposed project, to dramatically and justifiably reduce the ITE parking requirements. By evaluating peak demands as well as shared coefficients, these entities encourage the reduction in parking supply in mixed use developments such as the proposed Prairie Centre Development.

In November of 2013 VTPI found;

"Paradigm Shift

Parking planning is undergoing a paradigm shift, a fundamental change in how a problem is perceived and solutions evaluated. The old paradigm assumes that parking should be abundant and free at most destinations. It strives to maximize supply and minim price. The old paradigm assumes that parking lots should almost never fill, that parking facility costs should be incorporated into the costs of buildings or subsidized by governments, and that every destination should satisfy its own parking needs.

The new paradigm strives to provide optimal parking supply and price. It considers too much supply as harmful as too little, and prices that are too low as harmful as those that are too high. The new paradigm strives to use parking facilities efficiently. It considers full lots to be acceptable...It emphasizes sharing of parking facilities between different destinations. It favors charging parking facility costs directly to the users, and providing financial rewards to people who reduce their parking demand.

The old paradigm tends to resist change...The new paradigm recognizes that transport and land use conditions evolve so parking planning practices need frequent adjustment.

The old paradigm results in predict and provide planning, in which past trends are extrapolated to predict future demand, which planners then try to satisfy. This often creates a self-fulfilling prophecy, since abundant parking supply increases vehicle use and urban sprawl, causing parking demand and parking supply to ratchet further upward...

It is important to define parking problems carefully. For example, if people complain about a parking problem, it is important to determine exactly what type of problem, and where, when and to whom it occurs."

ITDP reported in their "What is shared parking?" report;

"Shared parking can reduce parking requirements by 20 – 40%, creating positive economic, social and environmental benefits....Outdated local ordinances can inhibit the possibility of applying shared parking to an area. To successfully implement new parking standards, it is necessary to mitigate any standing barriers to a shared parking initiative.

1. Understand the actual parking demand in a neighborhood...

Understand current parking supply versus what is being used...

Determine who is paying for current parking such as land owners or users...

2. Eliminate minimum parking standards

Minimum parking standards based on land uses lead to an over-supply of parking...

3. Change zoning laws and encouraging shared parking arrangements

Zoning laws can be changed to allow or encourage shared parking in existing areas with clustered businesses...

4. Educate owners and tenants on bundled parking and the associated costs

By unbundling the price of parking, people will be more likely to choose other transportation options in lieu of driving...

5. Promote public transportation and walkability through coordinated investment

Investment in sidewalks, cycling infrastructure, bus services and aesthetics of the area will improve overall access and reduce driving.

Roundtrip car sharing programs will reduced car ownership and therefore parking demand.

The documents entitled A Practical Method for Developing Context-Sensitive Residential Parking Standards by Matthew R. Cuddy, Assessing Alternative Approaches to Setting Parking Requirements by Joshua Engel-Yan in the ITE Journal, as well as Land Use Impacts on Transport: How Land Use Factors affect Travel by Todd Litman provide us with the following table of Parking Requirement Adjustment Factors.

More Accurate and Flexible Standards

More accurate and flexible standards means that parking requirements at a particular location are adjusted to account for factors such as those in Table 4 (Cuddy 2007; Engel-Yan and Passmore 2010; Litman 2009).

Table 4 Parking Requirement Adjustment Factors

Factor	Description	Typical Adjustments
Geographic Location	Vehicle ownership and use rates in an area.	Adjust parking requirements to reflect variations identified in census and travel survey data.
Residential Density	Number of residents or housing units per acre/hectare.	Reduce requirements 1% for each resident per acre: Reduce requirements 15% where there are 15 residents per acre, and 30% if there are 30 residents per acre.
Employment Density	Number of employees per acre.	Reduce requirements 10-15% in areas with 50 or more employees per gross acre.
Land Use Mix	Range of land uses located within convenient walking distance.	Reduce requirements 5-10% in mixed-use developments. Additional reductions with shared parking.
Transit Accessibility	Nearby transit service frequency and quality.	Reduce requirements 10% for housing and employment within ¼ mile of frequent bus service, and 20% for housing and employment within ¼ mile of a rail transit station.
Carsharing	Whether a carsharing service is located nearby.	Reduce residential requirements 5-10% if a carsharing service is located nearby, or reduce 4-8 parking spaces for each carshare vehicle in a residential building.
Walkability	Walking environment quality.	Reduce requirements 5-15% in walkable communities, and more if walkability allow more shared and off-site parking.
Demographics	Age and physical ability of residents or commuters.	Reduce requirements 20-40% for housing for young (under 30) elderly (over 65) or disabled people.
Income	Average income of residents or commuters.	Reduce requirements 10-20% for the 20% lowest income households, and 20-30% for the lowest 10%.
Housing Tenure	Whether housing are owned or rented.	Reduce requirements 20-40% for rental versus owner occupied housing.
Pricing	Parking that is priced, unbundled or cashed out.	Reduce requirements 10-30% for cost-recovery pricing (i.e., parking priced to pay the full cost of parking facilities).
Unbundling Parking	Parking sold or rented separately from building space.	Unbundling parking typically reduces vehicle ownership and parking demand 10-20%.
Parking & Mobility Management	Parking and mobility management programs are implemented at a site.	Reduce requirements 10-40% at worksites with effective parking and mobility management programs.
Design Hour	Number of allowable annual hours a parking facility may fill.	Reduce requirements 10-20% if a 10 th annual design hour is replaced by a 30 th annual peak hour. Requires overflow plan.
Contingency-Based Planning	Use lower-bound requirements, and implement additional strategies if needed.	Reduce requirements 10-30%, and more if a comprehensive parking management program is implemented.

This table summarizes various factors that affect parking demand and optimal parking supply.

Neighboring City of Batavia, contracted with Rich and Associates to complete a parking analysis for their mixed use downtown area. Within that study, Rich and Associates concluded that Rich & Associates believes there is a shared parking factor that should be applied. They then compared that factor to other similar Chicago suburban communities for comparison to better reflect how those communities parking numbers compared to Batavia as. Following is a copy of this comparison chart.

Comparable Cities Calculated Requirements

Land-Use	Batavia		Values from Previous Rich & Associates Studies									
	Zoning	Shared Use Model	Bowmer's Grove	Westmont	Berwyn	Wilmette	Libertyville	Winnetka	Des Plaines	Min	Max	Average
Retail	4.00	3.20	2.40	2.22	2.35	2.35	2.35	2.65	2.35	2.22	2.65	2.38
Restaurant	10.00	8.24	4.50	6.00	9.00	9.00	6.25	5.50	9.00	4.50	9.00	7.04
Office	4.00	3.23	1.42	2.56	2.85	2.85	2.20	2.93	2.85	1.42	2.93	2.52
Personal Svce	5.00	5.02	2.40	2.72	1.40	1.40	7.95	NA	1.40	1.40	7.95	2.88
Government	4.00	3.23	3.10	2.85	NA	2.90	3.00	2.00	NA	2.00	3.10	2.77
Health Club (Recreation)	6.67	6.77	2.11	NA	NA	0.85	NA	NA	NA	0.85	2.11	1.48
Religious Institution	10.00	1.00	NA	0.30	NA	0.30	NA	0.60	NA	0.30	0.60	0.40
Instructional Service	5.00	4.24	NA	NA	NA	NA	NA	NA	NA	0.00	0.00	NA
Residential	1.50	1.12	NA	1.50	1.00	NA	1.25	1.50	1.00	1.00	1.50	1.25
Mfg (Light Assembly)	2.00	1.70	NA	NA	NA	0.40	NA	NA	NA	0.40	0.40	0.40

Locally, in November of 2008, a Chicago metropolitan traffic engineering firm by the name of Metro Transportation Group, Inc.(Metro) prepared a Parking Demand Analysis for Shodeen and the City of St. Charles relating to mixed use development. Within that report, Metro stated;

"The calculation of parking demand typically involves the application of peak demand ratios to commons measures of development size such as 1,000 square feet of leasable space and the number of residential. To the resulting peak parking demand, a number of adjustments are then made to account for seasonal and time of date variations as well as variables such as mode split and user type. For mixed use developments...shared parking concepts can be utilized to account for land uses which have non-current peak parking demand (office and residential as an example) and/or captive market users who are patrons of more than one land use. By accounting for shared trip making and collective utilization of a common parking area, a more appropriate parking supply can be developed. Together, these factors can reduce the parking supply that would otherwise be required if all the peak rates were simply totaled."

This study concluded with;

*"The use of shared parking techniques to more accurately determine the true parking demands associated with a development as large and diverse as Towne Centre is consistent with standard engineering practices. The application of these principles results in a savings of nearly **30 percent** when compared with each land uses' unadjusted parking demand."*

Prairie Centre

Prairie Centre as designed is a mixed use, walkable development. General practice is to use 1000' to ¼ mile walkable for share parking. Attached is an exhibit illustrating that generally the entire Prairie Centre site lies within this ¼ mile spacing. Thus the entire site is walkable and all of the parking spaces can be shared. Prairie Centre mixed use is sized to accommodate the service, recreational and shopping needs for the residents of Prairie Centre and the surrounding area. This would include the higher density residential neighborhoods that abut it. It is reasonable to assume that people will walk from those developments to Prairie Centre. However, no discounting of these abutting parking spaces is accounted for. The Prairie Centre Parking Analysis lists the City of St. Charles Parking un-adjusted Requirements for each proposed use, as well as, a vacancy factor and a Shared Parking Reduction Factor. These factors are reasonable and should be accepted. (Refer to Parking Analysis on the drawing set)

The current City of St. Charles parking requirements (un-adjusted) per the zoning ordinance states that the required off-street parking for:

Multi-Dwellings: Studio, efficiency & One-Bedroom Dwelling Units shall be 1.2 spaces per unit, Two-Bedroom Dwelling Units shall be 1.7 spaces per unit.

Independent Living Units: 0.5 spaces per Dwelling Unit

Office Use: 4 spaces per 1,000 sf

Restaurant Use: 10 spaces per 1,000 sf

Retail Sales Use: 4 spaces per 1,000 sf

Rather than reduce land use to meet City Requirements, based on the ordinance and the facts noted above, a Shared Parking analysis along with Smart Growth Alternatives to these parking requirements should be applied. Applying these types of principles can and should reduce the required land use parking areas by creating a "Shared Parking reduction."

The following is a list of potential scenarios that should be considered as discounts to reduce the required minimum parking requirements.

Discount 1:

The Prairie Centre Residential Vacancy will always be something less than 100%. This could be as a result of an actual vacancy in the unit or as a result of the occupants out of town. As a result, we are requesting that a credit be issued to reflect this unintended consequence. Although we have underground garage parking for the residents, the amount of outside surface parking spaces will also be available. A reduction of at least 5% should be considered for this.

Discount 2:

The Prairie Centre Commercial Vacancy will always be something less than 100%. The percent of unoccupied rental office, retail, and restaurant space and more importantly,

unused parking spaces will be available. As a result there will always be at least a 5% vacancy of parking spaces.

Discount 3:

The Prairie Centre development utilizes Smart Growth Principles and Design Guidelines for Walkable Communities. The streets are designed with the pedestrian in mind; walkable and useable streets by allowing on-street parking, seating areas, street trees and planters create a unique experience. Locating parking areas on-street, behind, and under buildings are essential in creating a walkable community. Should the overall block length exceed 300 feet, Prairie Centre offers mid-block cross walks or open space areas. Design Guidelines for Walkable Communities prepared by Kevin McNally, explains the principles and most importantly the benefits of walkable communities. Here is an excerpt: "Generally, residents of an area typically have a walking threshold of ¼ mile, or a 5-minute, radius from their homes, meaning anything outside of this area is not within comfortable walking distance (Urban Design Principles)." "By creating destinations within the 5 minute radius of housing, the streets become more lively and active because people have less need to use an automobile to travel to and from stores, entertainment, and recreation areas." The Prairie Center Development embodies these same principles by offering walkable streets, walkable block length, park areas, direct access to public transit (Existing Bus Stop along Rt. 38), office, shops, restaurants and more importantly, parking areas located throughout development-on-street, behind building, and under buildings. The idea of Shared Parking is evident with this type of development and as a result, should be considered for a reduction of parking spaces. The entire development is walkable-mostly under the ¼ mile walking threshold. A 10% reduction in the required parking spaces is requested.

Discount 4:

The Prairie Centre development anticipates it may include a portion of Age targeted and/or Senior Housing, specifically independent living apartments. The City of St. Charles parking requirements for this use, we can reduce parking to 0.50 spaces per unit. Stephan B. Corcoran presented at the Institute of Transportation Engineers a Senior Housing Trip Generation and Parking Demand Characteristics. This document describes senior housing types, factors affecting trip generation and parking, daily traffic generation and peak-hour generation rates. In addition, the document compares 9 local senior developments and generates a peak parking rate of 0.40 parking spaces per unit. Here is an excerpt from this analysis: *"The peak parking demand at most senior facilities occurred midday with an average peak demand of 0.40 vehicles per dwelling unit for residents, employees and visitors. Mother's Day is the highest parking day of the year with many facilities short of spaces for that one day."* Thus we request if the Age Targeted/senior Living/Independently Living is utilized, that a parking factor of 0.40 spaces per unit be required.

Discount 5:

On November, of 2008, Metro Transportation Group conducted a parking demand and shared parking analyses for the proposed Prairie Centre Mixed Use Development. The Methodology behind this analysis was review the individual peak demands for individual land uses. Metro Transportation concluded that the use of shared parking techniques, as outlined above, to more accurately determine true parking demands results in a savings of 30% when compared with each land uses' unadjusted parking demand. An additional 10% shared parking ratio should be applied.

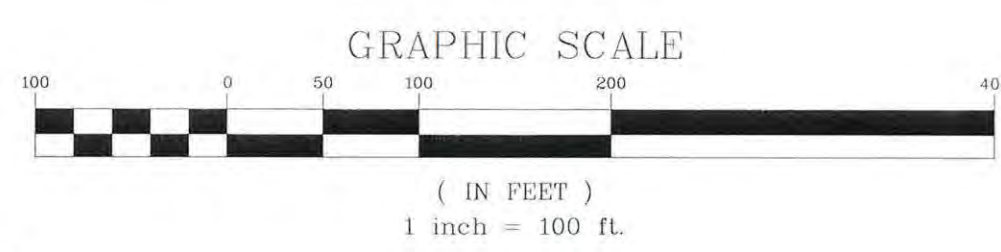
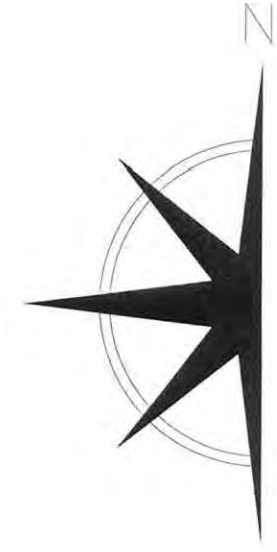
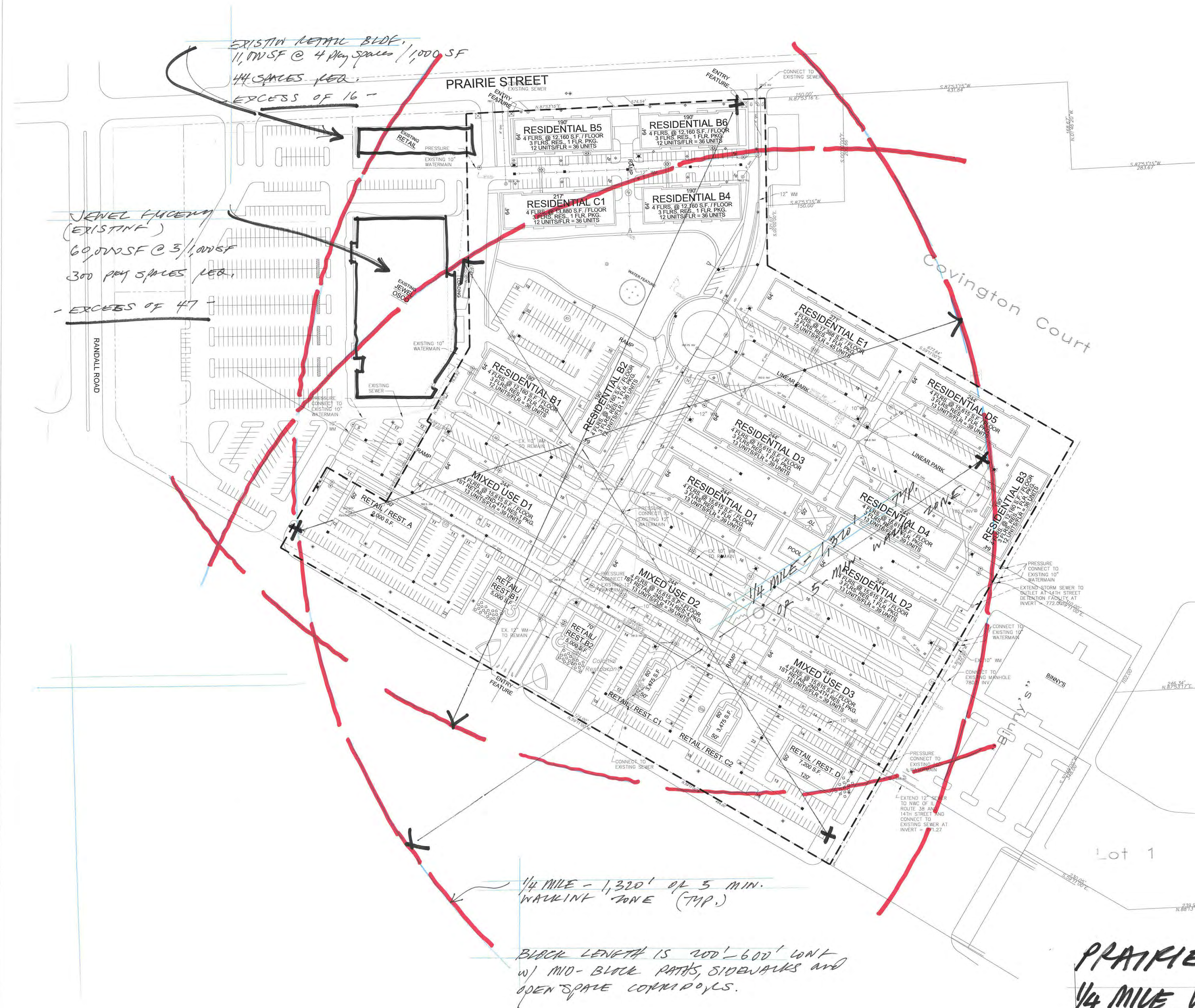
Additionally, during this analysis the City of St. Charles believes excess parking supply may be provided at the Jewel Grocery Store located immediately to the west of the Prairie Centre Development-approximately 1,000 feet away.

In conclusion, a 5% vacancy discount, plus a 10% walkable discount plus a 10% discount for mixed use development for a total of a 25% reduction in the required parking spaces is requested.

Sincerely,

A handwritten signature in black ink that reads "David Patzelt /cf". The signature is written in a cursive, flowing style.

David Patzelt



PRAIRIE CENTRE
1/4 MILE WALKABLE THRESHOLD

PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134

PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
c: 630-300-0933 c: 630-624-0520

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	6-29-16	ADDED HYDRANTS & RELOCATED VALVE VAULT PER CITY			
2	07-05-16	REVISED SIDEWALK AND ADDED STREET LIGHTS			
3	7-08-16	REVISED PER CITY PLANNING & ENG REVIEW			

OVERALL SITE PLAN				
PRAIRIE CENTRE				
FILE NAME:	DSGN. BY: ESM	JOB NO: 16033	FLD. BK:	SHEET NO.
DISC NUM: ----	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=100'	2 of 22

BAZOSFREEMAN

Bazos, Freeman, Schuster & Braithwaite, LLC



October 17, 2016

Mark Koenen, City Administrator
City of St. Charles
2 E. Main Street
St. Charles, IL 60174

Peter C. Bazos
Bradley T. Freeman
Mark Schuster
J. William Braithwaite
Jonathan S. Pope
Aaron H. Reinke

Christopher S. Nudo
of counsel

Writer's Contact:
pbazos@bazosfreeman.com
847-742-8800 x2030

Re: Proposed Prairie Center Project: Application numbers 2016 AP 025 (the "Map Amendment Petition") and 2016 AP 026 and 2016 AP 027 (collectively the "PUD Petition")

Dear Mr. Koenen:

As you know, our clients have filed the above-referenced Map Amendment Petition and the PUD Petition (collectively, the "Petitions"). Subsequently, the City's attorney, John M. McGuirk, sent to me a letter dated October 17, 2016. In his aforesaid letter, Mr. McGuirk pointed out that, absent relief approved by the City Council, the City would require the following (the "Standard Subdivision Requirements"):

- (a) Final engineering for the entire PUD project, including all buildings; and
- (b) A bond or other form of security (Financial Guaranty) for all of the the public improvements shown in the approved final engineering plan; and
- (c) Construction of all of the public improvements within 2 years of recording of the final plat.

Through this letter, the Petition hereby amends its PUD Petition so as to additionally request that the City Council allow the following departures from the Standard Subdivision Requirements:

- (1) The PUD project may be built in phases as the market dictates;
- (2) Notwithstanding that this is planned to be a 1-;Lt subdivision, the owner / developer shall be required to provide only such final engineering and post only such Financial Guaranty as pertains to the initial phase of construction for which a permit will be sought; and



- (3) The same process as described in #2 could be followed as to future phases of the development; and
- (4) The 2-year time limit be waived.

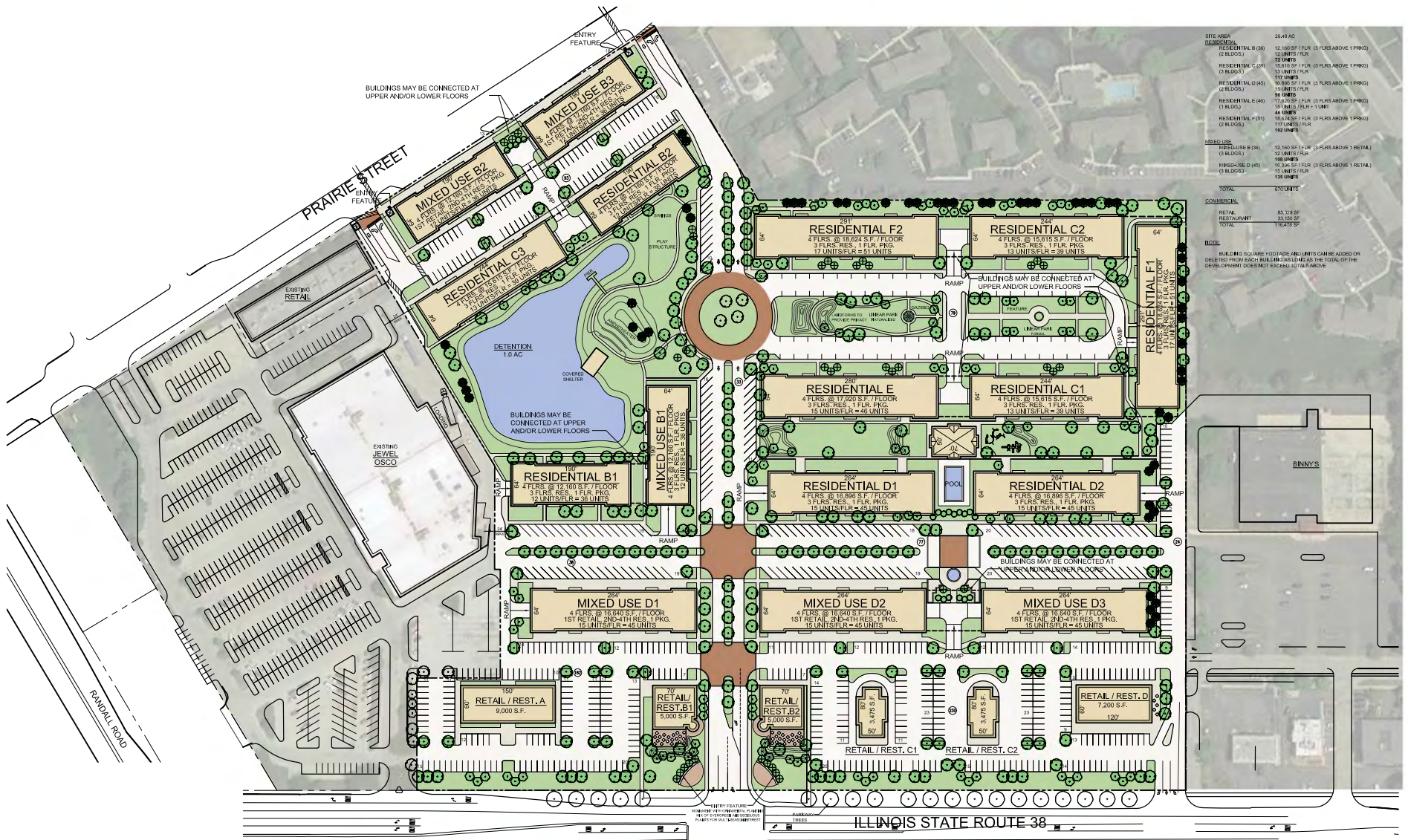
Mr. Koenen, we would greatly appreciate receiving from you and/or your Staff an acknowledgement that this correspondence (and the attachments hereto) are accepted by the City as an amendment to the previously-filed PUD Petition to the extent set forth hereon. Thank you.

Very truly yours,

/Peter C. Bazos/
Peter C. Bazos, Esq.

PCB/awy

CC: John M. McGuirk, Esq.
Russell Colby
David Patzelt
Mark Schuster, Esq.



OKW
Architects

OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661

SITE PLAN

SCALE: 1"=150'



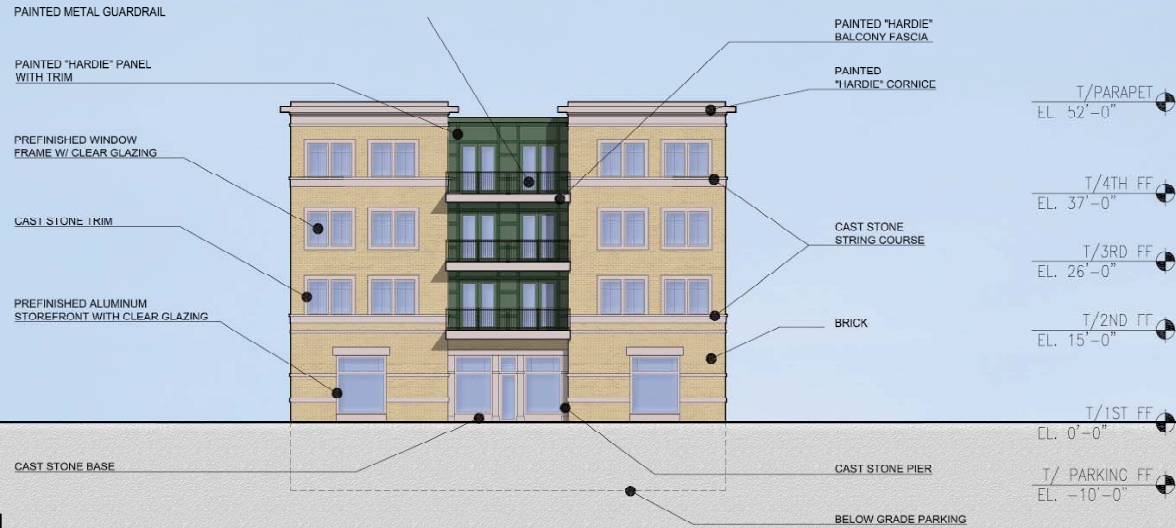
SHODEEN

PRairie CENTRE
St. Charles, Illinois

February 7, 2017 Project #: 16033

A-01

MIXED-USE
SIDE ELEVATION



MIXED-USE
FRONT ELEVATION

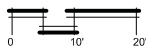




OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661

BUILDING ELEVATIONS

SCALE: 1"=20' @ 11"x17"



SHODEEN

PRAIRIE CENTRE
St. Charles, Illinois

February 7, 2017 Project #: 16033

A-03



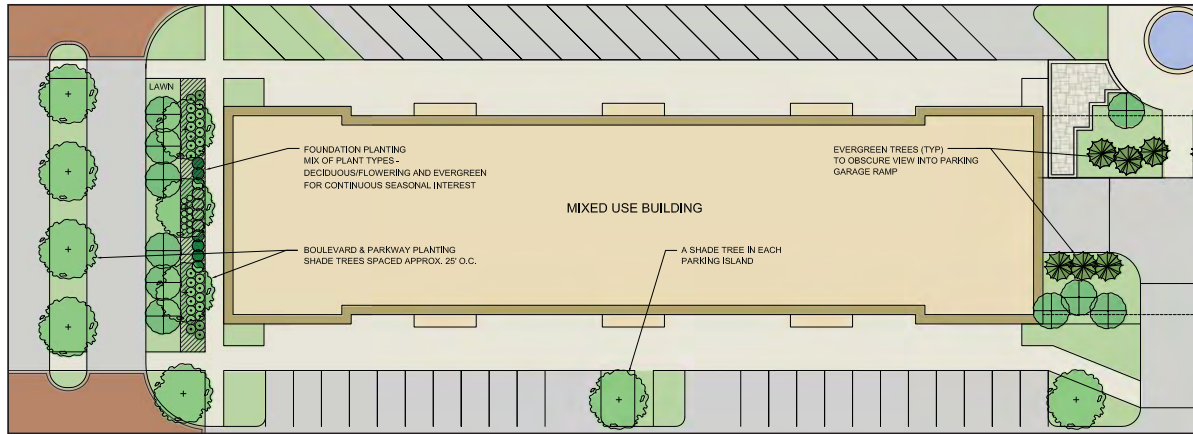
OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661

INSPIRATION IMAGES

SHODEEN

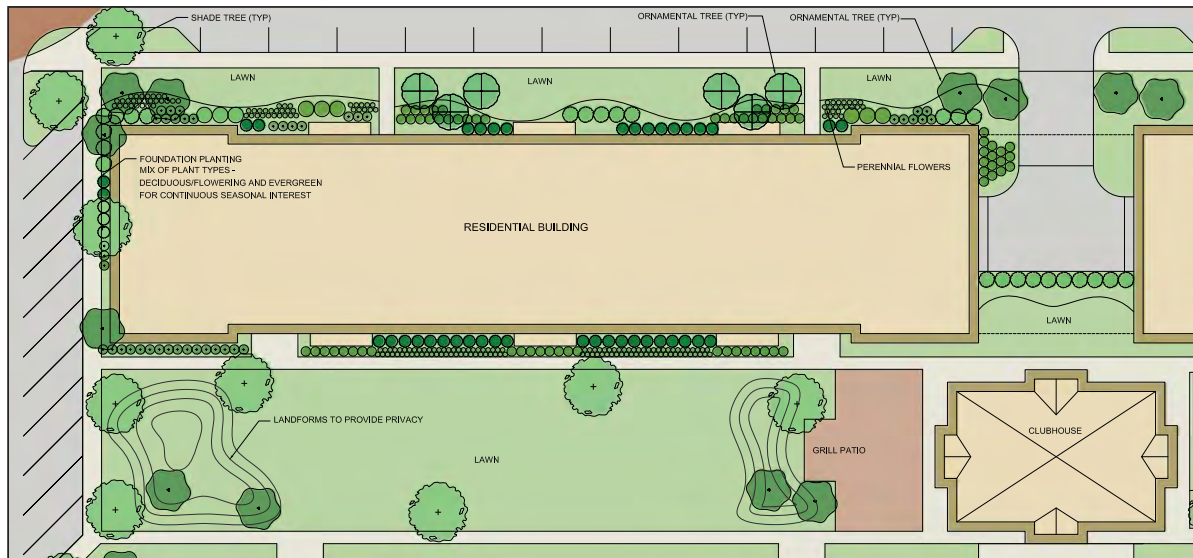
PRAIRIE CENTRE
St. Charles, Illinois
February 7, 2017 Project #: 16033

A-04



TYPICAL MIXED-USE BUILDING PLANTING

SCALE: 1"=30'



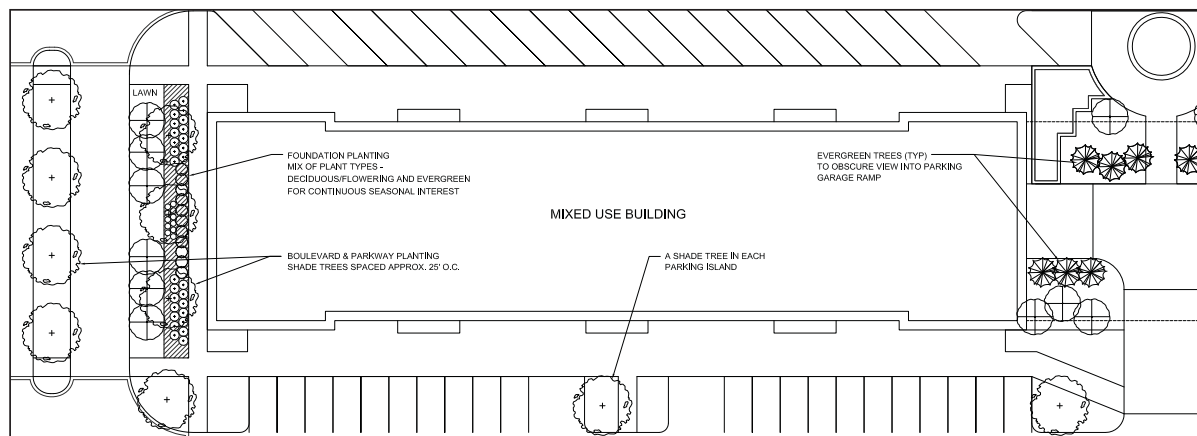
TYPICAL RESIDENTIAL BUILDING PLANTING

SCALE: 1"=20'



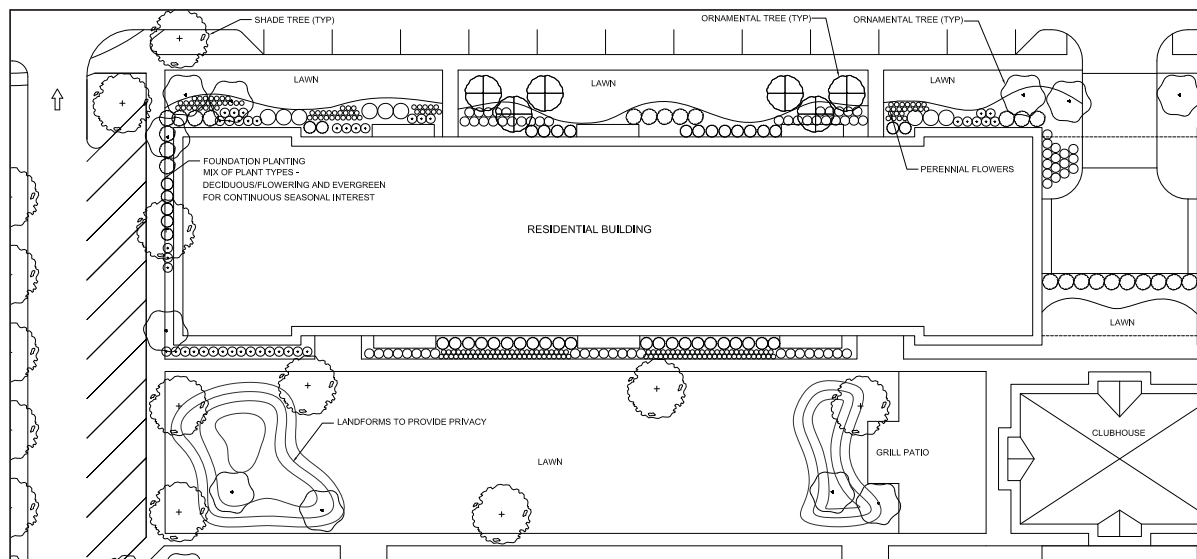
TYPICAL RETAIL OUTLOT BUILDING PLANTING

SCALE: 1"=20'



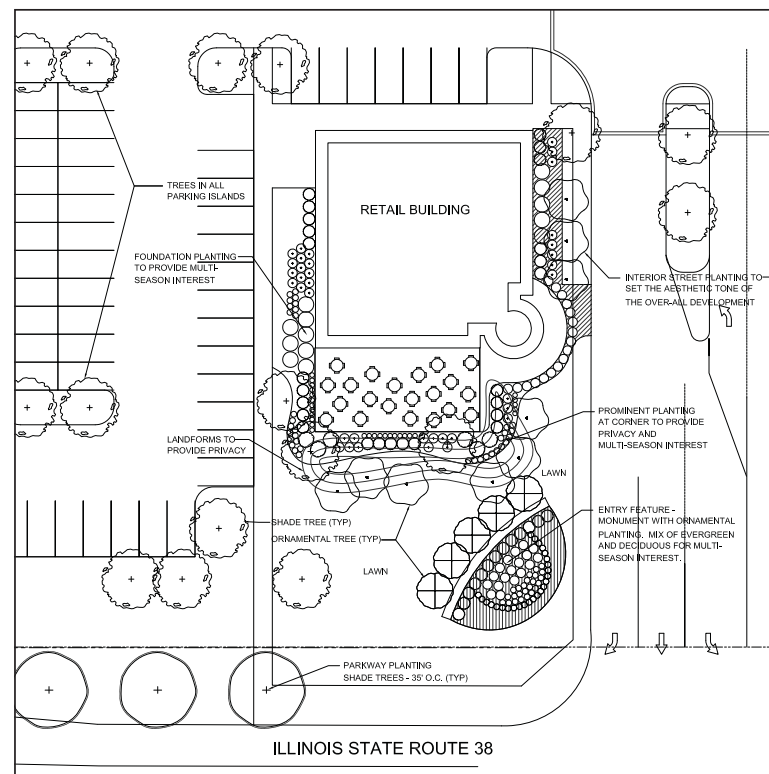
TYPICAL MIXED-USE BUILDING PLANTING

SCALE: 1"=30'



TYPICAL RESIDENTIAL BUILDING PLANTING

SCALE: 1"=20'

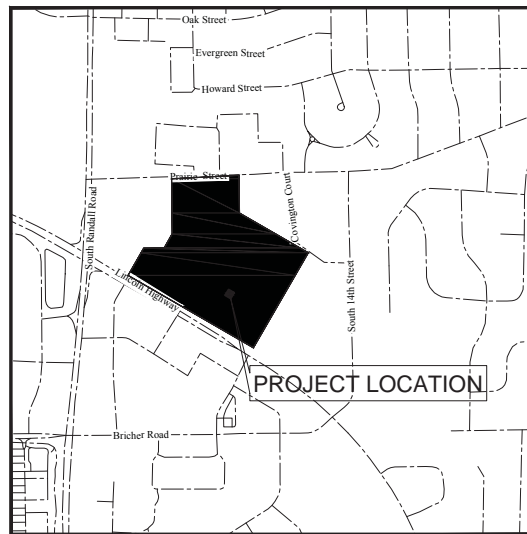


TYPICAL RETAIL OUTLOT BUILDING PLANTING

SCALE: 1"=20'

PRELIMINARY ENGINEERING PLANS
FOR
PRAIRIE CENTRE
IL ROUTE 38 & EAST OF RANDALL ROAD
ST CHARLES, ILLINOIS

Sheet Number	Sheet Title
1	Cover Sheet
2	OVERALL SITE PLAN
3	EXISTING CONDITIONS 1
4	EXISTING CONDITIONS 2
5	EXISTING CONDITIONS 3
6	EXISTING CONDITIONS 4
7	GEOMETRIC DESIGN 1
8	GEOMETRIC DESIGN 2
9	GEOMETRIC DESIGN 3
10	GEOMETRIC DESIGN 4
11	GEOMETRIC DESIGN 5
12	UTILITY DESIGN 1
13	UTILITY DESIGN 2
14	UTILITY DESIGN 3
15	UTILITY DESIGN 4
16	UTILITY DESIGN 5
17	GRADING 1
18	GRADING 2
19	GRADING 3
20	GRADING 4
21	GRADING 5
22	DETAIL 1



VICINITY MAP
NO SCALE

NOTES:

1. THE TOPOGRAPHY SURVEY FOR THIS PROJECT IS BASED ON A FIELD SURVEY CONDUCTED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY ESM CIVIL SOLUTIONS AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.
2. ESM CIVIL SOLUTIONS MAKES NO CLAIMS AS TO THE ACCURACY OF THE EXISTING CONDITIONS REPRESENTED BY THE TOPOGRAPHIC DATA PREPARED BY OTHERS.

ESM CIVIL SOLUTIONS LLC. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.

LEGEND



ABBREVIATIONS

G.D.P. = OUTSIDE DIAMETER IRON PIPE
T.P. = TOP OF FOUNDATION
F.F. = FINISHED FLOOR
F.F.S. = FINISHED FLOOR SECTION
V.C.P. = VITRIFIED CLAY PIPE
D.P. = DUCTILE IRON PIPE
P.C. = POLYETHYLENE GLASS REINFORCED CONCRETE PIPE
R.C.P. = REINFORCED CONCRETE PIPE
C.P. = CORRUGATED METAL PIPE
R.I. = RECORD BEARING OR DISTANCE
R.D. = MEASURED BEARING OR DISTANCE
C.I. = CALCULATED BEARING OR DISTANCE
C.D. = USED BEARING OR DISTANCE
A = ALIGNMENT
R = RADIUS
C.B. = CHORD BEARING
B.S. = BEARING SETBACK LINE
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
B.C. = BACK OF CURB
B.C.D. = BACK OF DEPRESSION
F.L. = FLOOR LINE
C = CONCRETE
P = PAVEMENT
G = GRAVEL
T.W. = TOP OF WALL
T.P. = TOP OF PIPE
I.E. = INVERT ELEVATION
P.L. = PROPOSED LINE
S.D. = SLOPE DISTANCE
S.F. = SQUARE FEET

LINE LEGEND

LIMITS OF LAND PER LEGAL DESCRIPTION
ADJACENT LAND PARCEL LINE
EASEMENT LINE
CENTERLINE
BUILDING SETBACK LINE
SECTION LINE
400' RADIUS FROM HYDRANT



BENCHMARKS:

1. CUT SQUARE ON TRANSFORMER PAD, NORTH SIDE OF BRICHER ROAD, CORNER OF BRICHER AND AMACO STATION (WEST SIDE)
ELEV = 784.38 (DATUM = NAVD 88)
2. PIN IN CONCRETE MONUMENT AT MOST NORTHERLY CORNER OF ST. CHARLES COMMERCIAL CENTER UNIT NO.9
ELEV = 786.56



PREPARED FOR:
SHODEEN, INC.
77 NORTH FIRST STREET
GENEVA, IL 60134

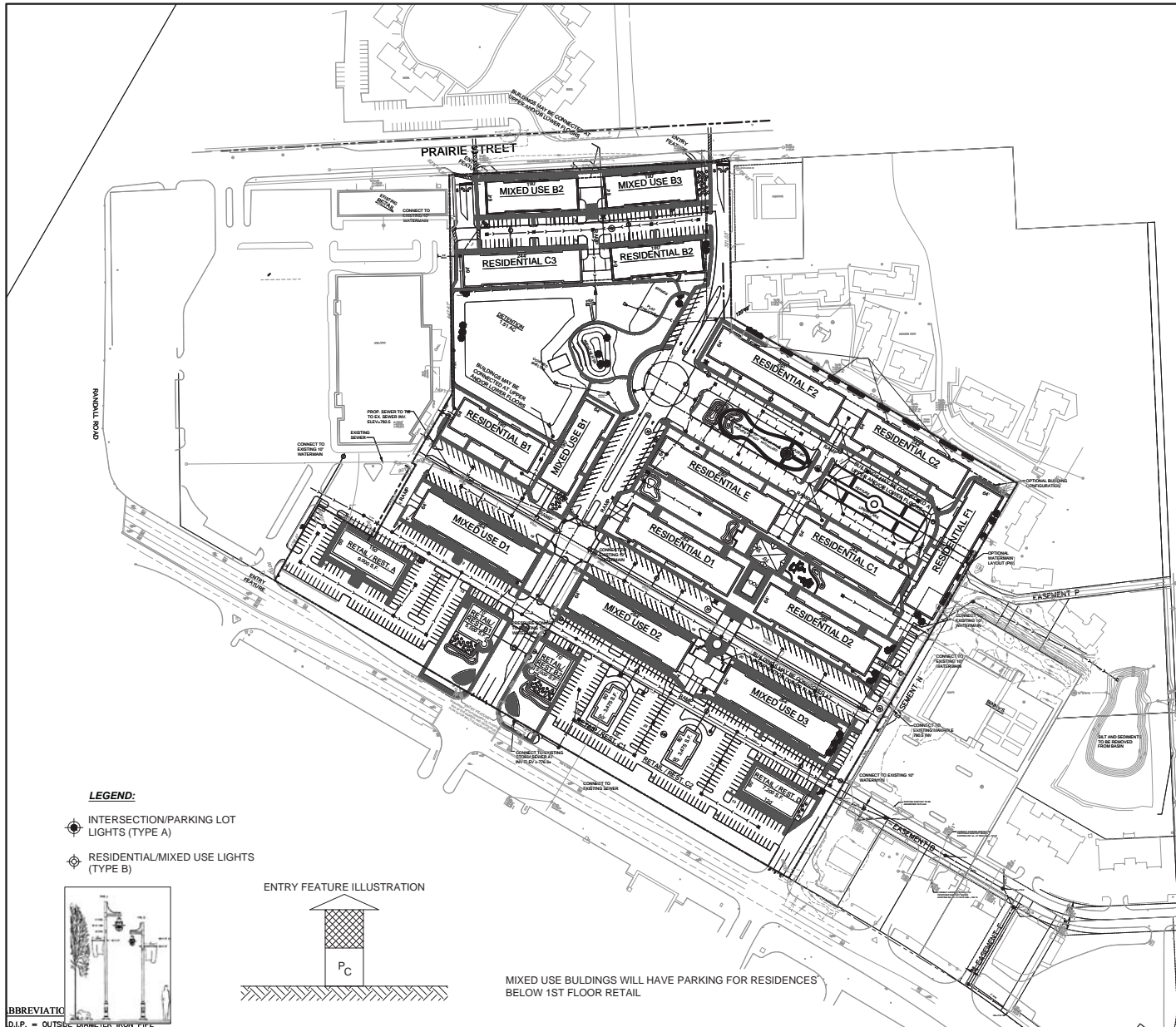
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
c: 630-300-0533 f: 630-624-0520

REVISIONS			
NO.	DATE	DESCRIPTION	DATE
3	7-22-16	REVISED PER CITY PLANNING & ENG REVIEW	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW	---
5	12-20-16	REVISED SITE PLAN PER CITY COMMENTS	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---

COVER SHEET

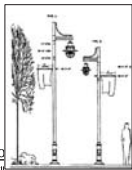
PRAIRIE CENTRE

FILE NAME:	DSGN BY: ESM	JOB NO: 16033	F.L.D. BK: ---	SHEET NO: 1 of 22
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: NA	

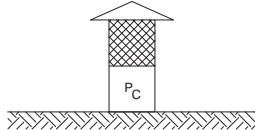


LEGEND:

- INTERSECTION/PARKING LOT LIGHTS (TYPE A)
- RESIDENTIAL/MIXED USE LIGHTS (TYPE B)



ENTRY FEATURE ILLUSTRATION



BBREVIATIC
D.I.P. = OUTSIDE DIAMETER FOR TIE

PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134

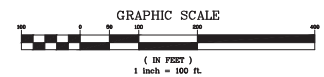


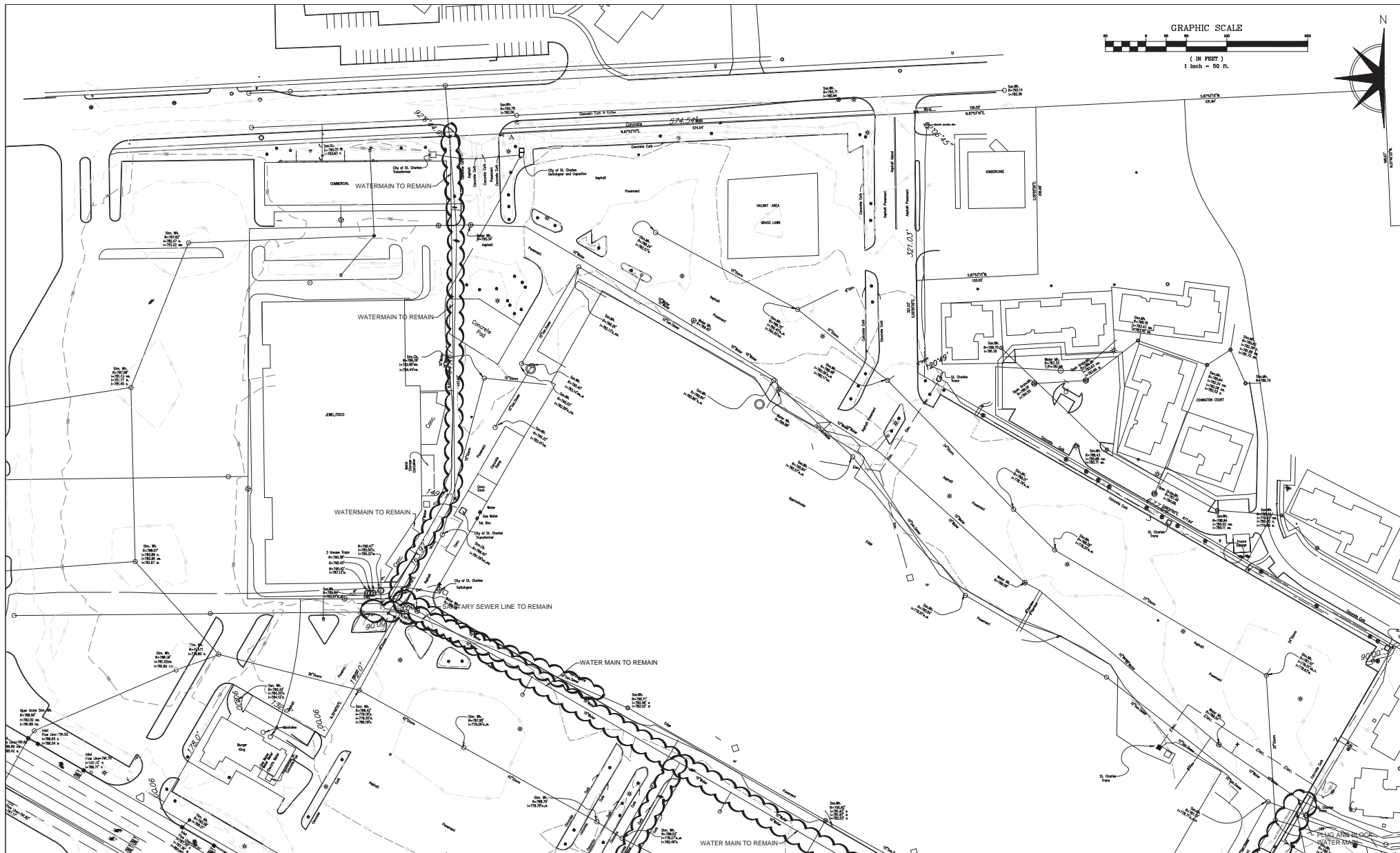
PREPARED BY:
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Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	6-29-16	ADDED HYDRANTS & RELOCATED VALVE VAULT PER CITY	6	01-32-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW
2	07-05-16	REVISED SIDEWALK AND ADDED STREET LIGHTS	---	---	---
3	7-22-16	REVISED PER CITY PLANNING & ENG REVIEW	---	---	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW	---	---	---
---	---	---	---	---	---

OVERALL SITE PLAN
PRAIRIE CENTRE

FILE NAME:	DSGN. BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO. 2 of 22
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=100'	





PREPARED FOR:
SHODEEN, INC
 77 NORTH FIRST STREET
 GENEVA, IL 60134

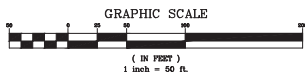
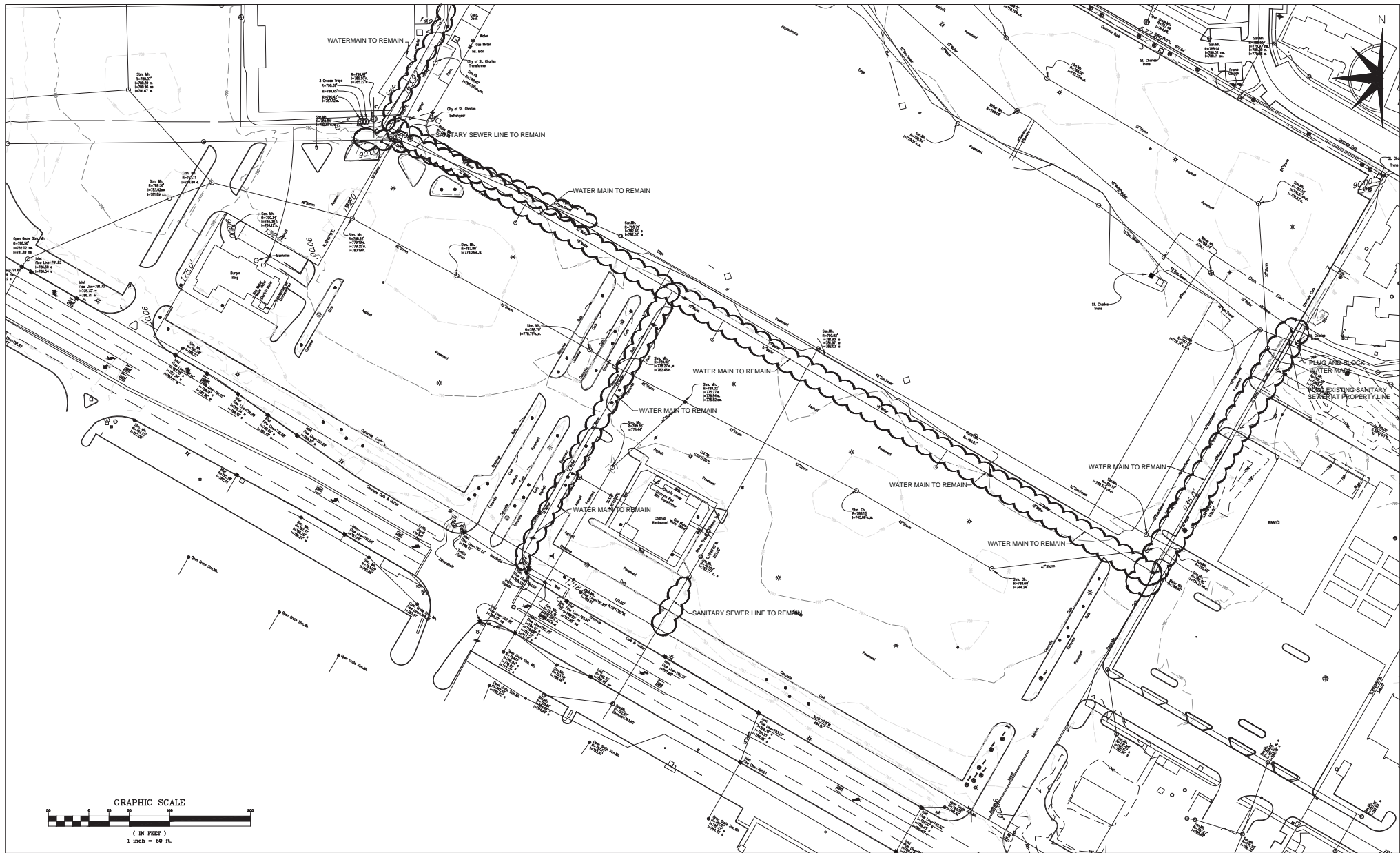
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering - Land Entitlement - Project Feasibility
 1315 Macom Drive - Suite 205 Naperville Illinois 60564
 or 630-300-0933 c: 630-624-0520

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	7-08-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---

EXISTING CONDITIONS 1

PRAIRIE CENTRE

FILE NAME:	DSGN. BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO. 3 of 22
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=50'	



PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134



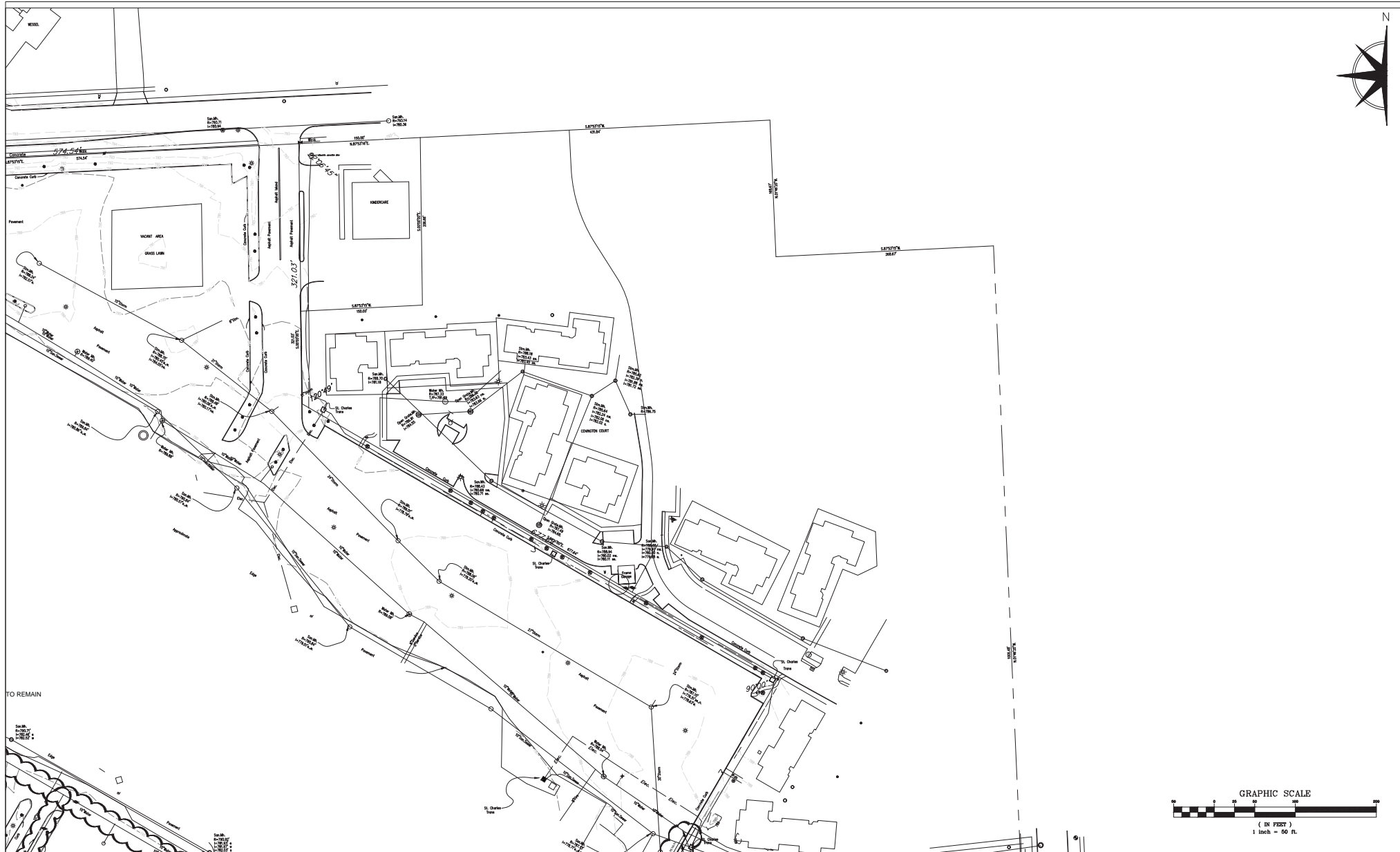
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

NO.		DATE		DESCRIPTION	
3	7-08-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---

EXISTING CONDITIONS 2

PRAIRIE CENTRE

FILE NAME:	DSGN. BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO. 4 of 22
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=50'	

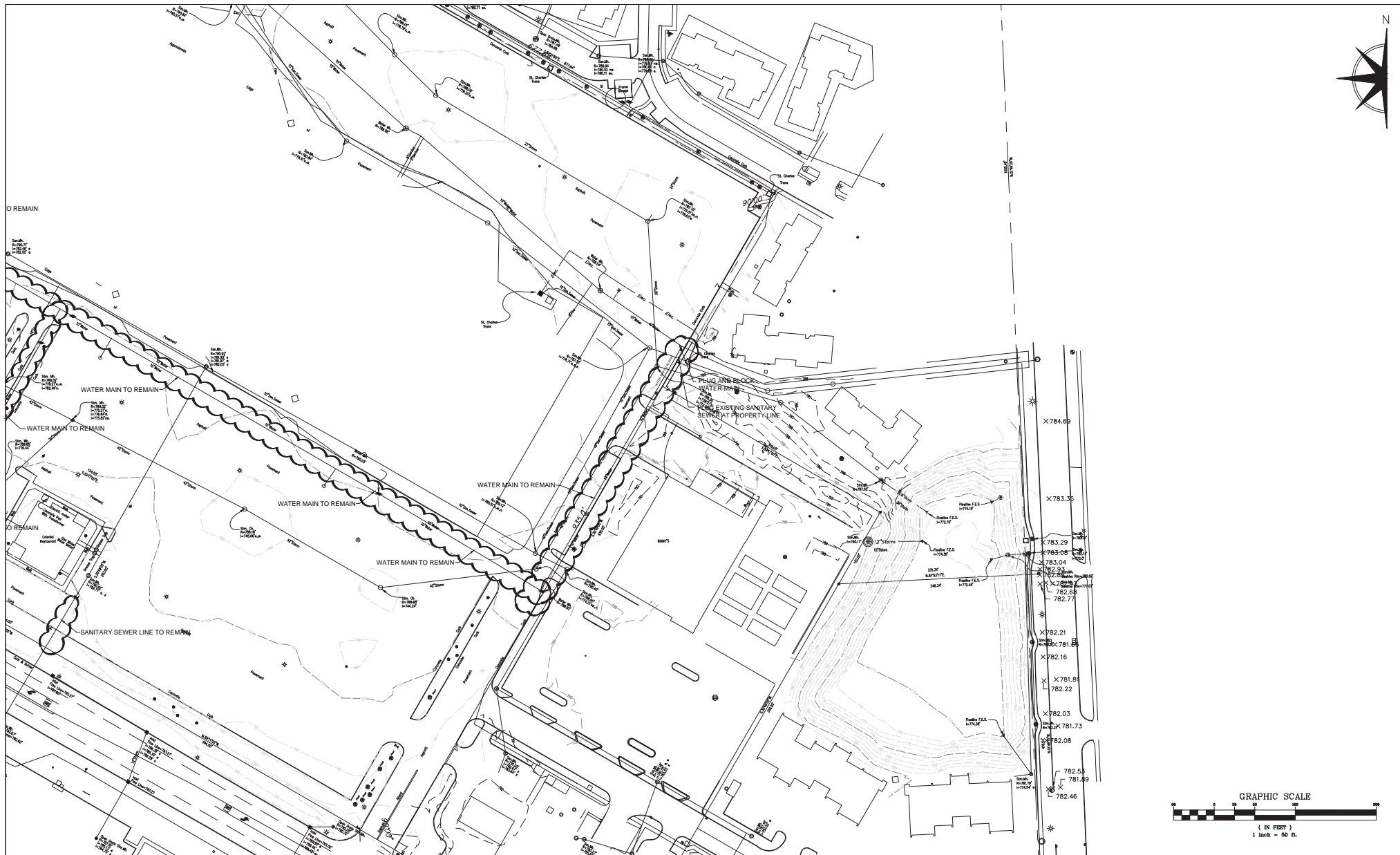


PREPARED FOR:
SHODEEN, INC
 77 NORTH FIRST STREET
 GENEVA, IL 60134

PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering - Land Entitlement - Project Feasibility
 1315 Macom Drive - Suite 205 Naperville Illinois 60564
 o: 630-300-0933 c: 630-624-0520

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	7-08-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---

EXISTING CONDITIONS 3					
PRAIRIE CENTRE					
FILE NAME:	DSGN. BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO. 5 of 22	
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=50'		



PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134

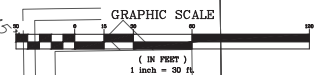
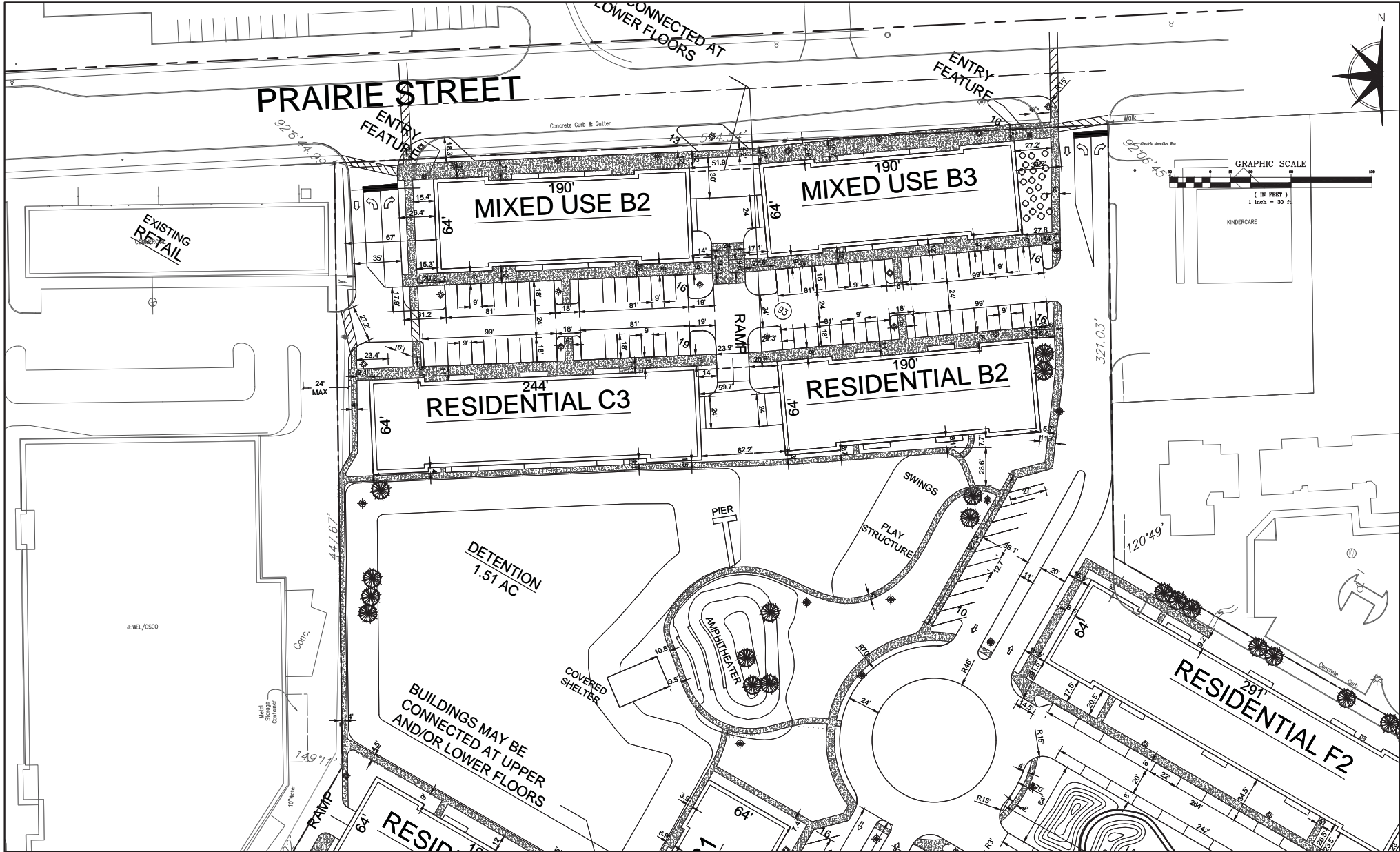
PREPARED BY:
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Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

NO.		DATE	DESCRIPTION	REVISIONS		NO.	DATE	DESCRIPTION
3	7-08-16		REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---	---	---
4	10-17-16		REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---	---	---
6	01-31-17		REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---	---	---

EXISTING CONDITIONS 4

RAIRIE CENTRE

FILE NAME:	DSGN. BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO.
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=60'	6 of 22



GRAPHIC SCALE

KINDERGARTEN

RESIDENTIAL F2

PRAIRIE STREET

MIXED USE B2

MIXED USE B3

RESIDENTIAL C3

RESIDENTIAL B2

DETENTION
1.51 AC

BUILDINGS MAY BE
CONNECTED AT UPPER
AND/OR LOWER FLOORS

PIER

SWINGS

PLAY
STRUCTURE

COVERED
SHELTER

AMPHITHEATER

EXISTING
RETAIL

JEWEL/OSCO

Contc.

Mail
Storage
Container

149'7"

RAMP

RESID

PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134



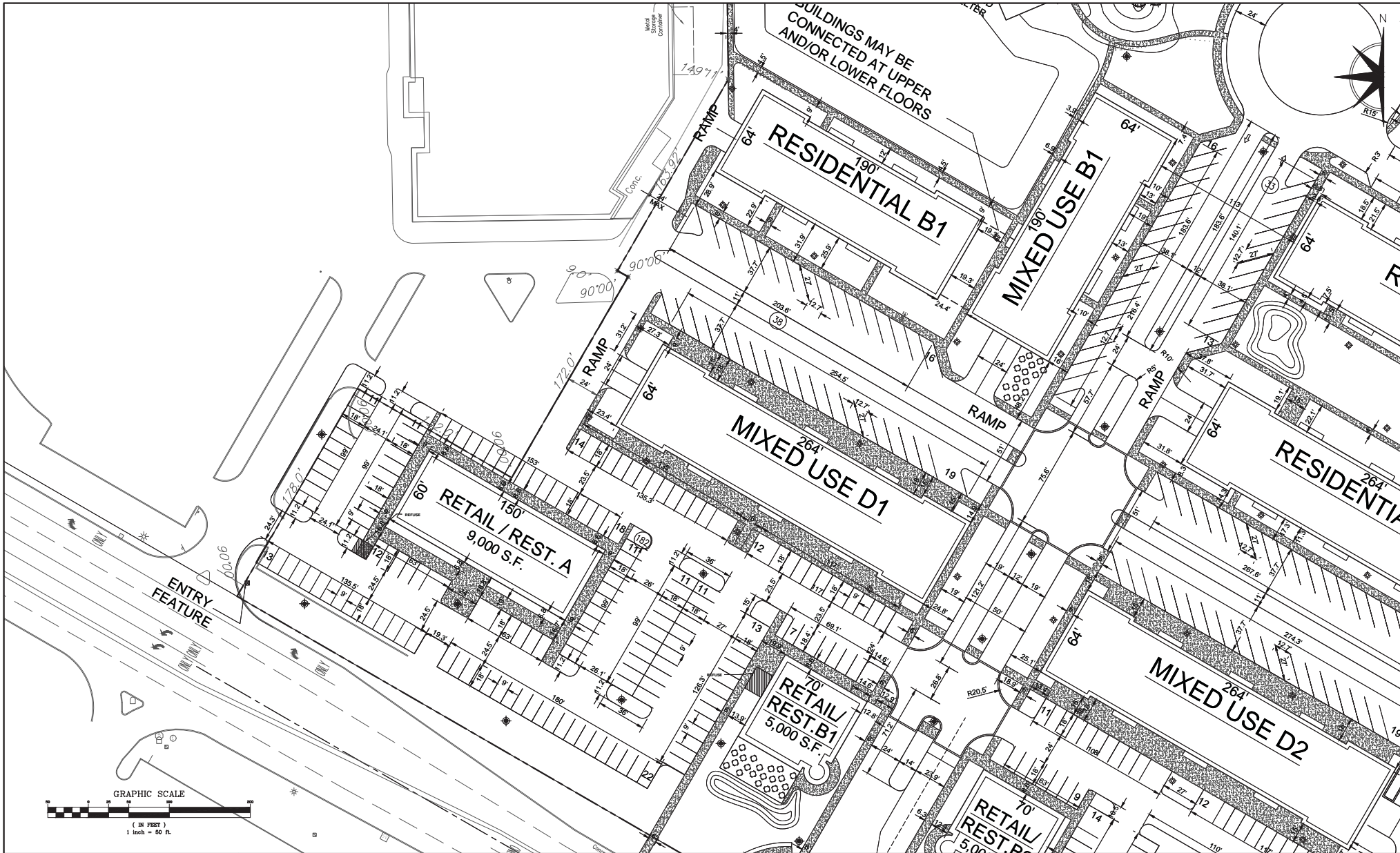
PREPARED BY:
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Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	7-22-16	REVISED PER CITY PLANNING & ENG REVIEW	---	---	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---
---	---	---	---	---	---

GEOMETRIC DESIGN 1

PRAIRIE CENTRE

FILE NAME:	DSGN BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO:
DISC. NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=30'	7 of 22



PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134

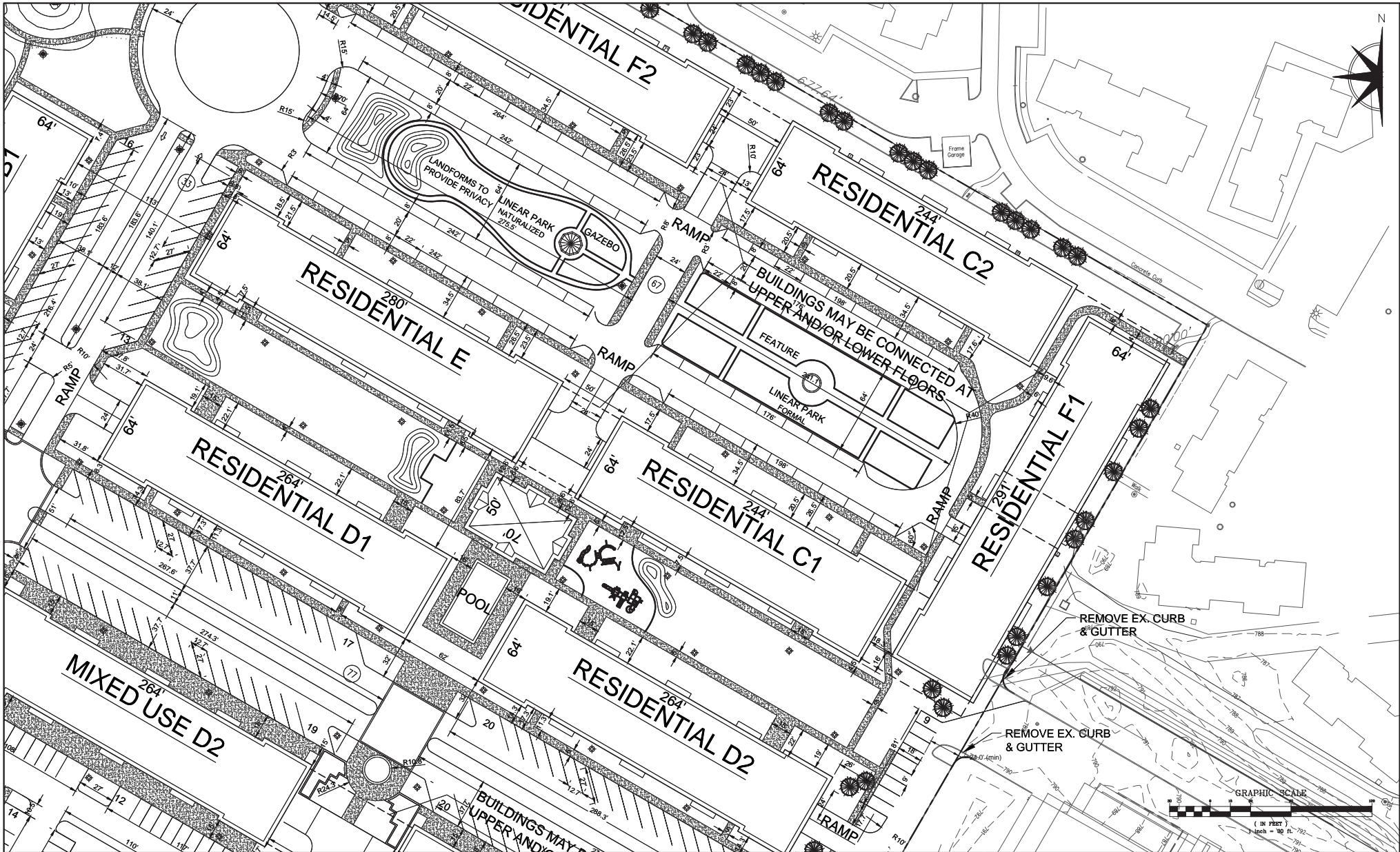
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
c: 630-300-0530 f: 630-624-0520

NO.			DATE			DESCRIPTION		
3	7-22-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	NO.	DATE	DESCRIPTION			
4	10-16-17	REVISED PER CITY PLANNING & ENG REVIEW LETTERS						
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW						

GEOMETRIC DESIGN 2

RAIRIE CENTRE

FILE NAME:	DSGN BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO.
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=30'	8 of 22



PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134

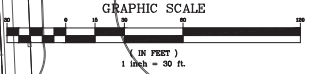
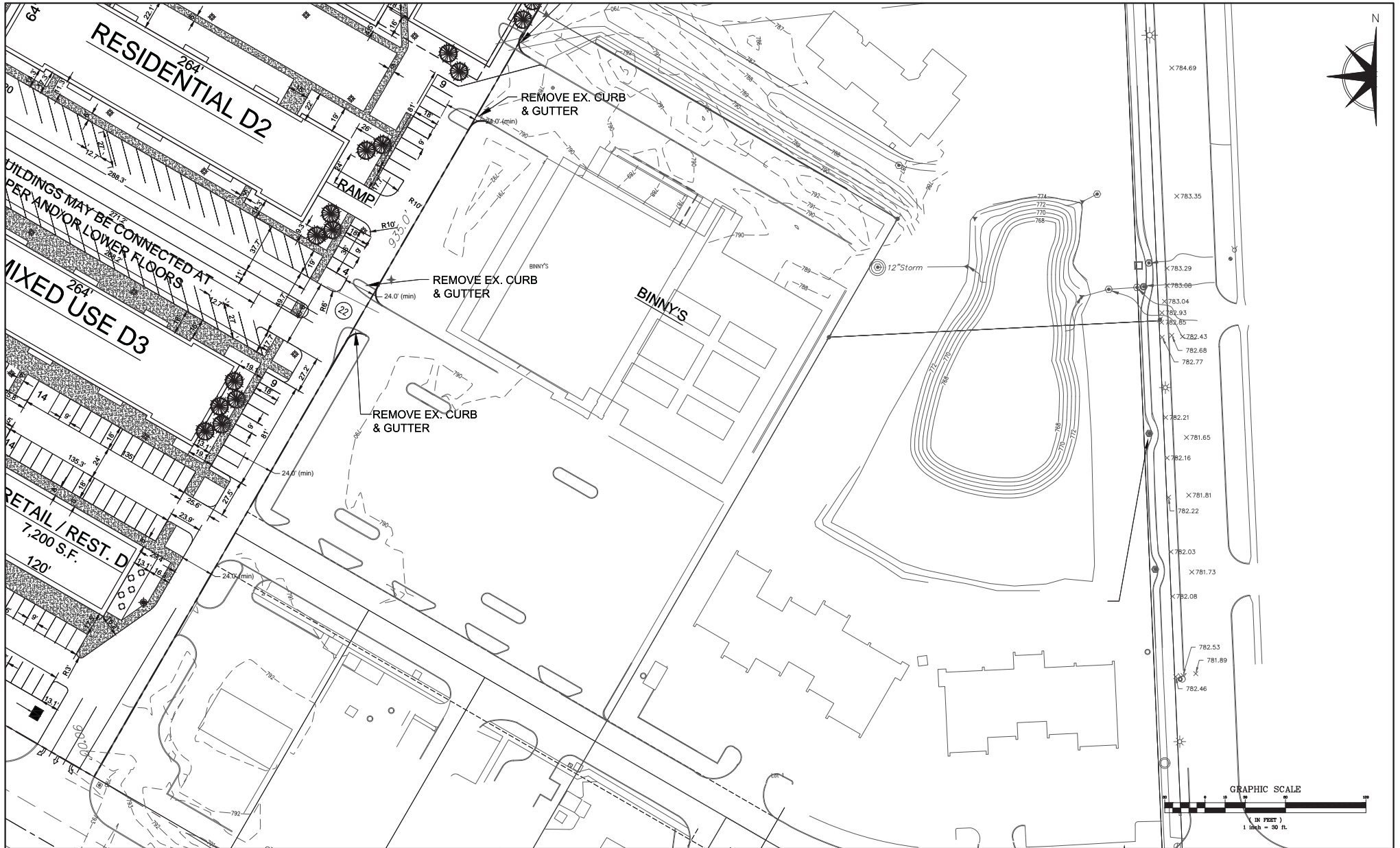
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
c: 630-300-0530 f: 630-624-0520

NO.	DATE	DESCRIPTION	REVISIONS		
			NO.	DATE	DESCRIPTION
3	7-22-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
4	10-16-17	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---
---	---	---	---	---	---

GEOMETRIC DESIGN 3

RAIRIE CENTRE

FILE NAME:	DSGN BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO.
DISC. NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=30'	9 of 22

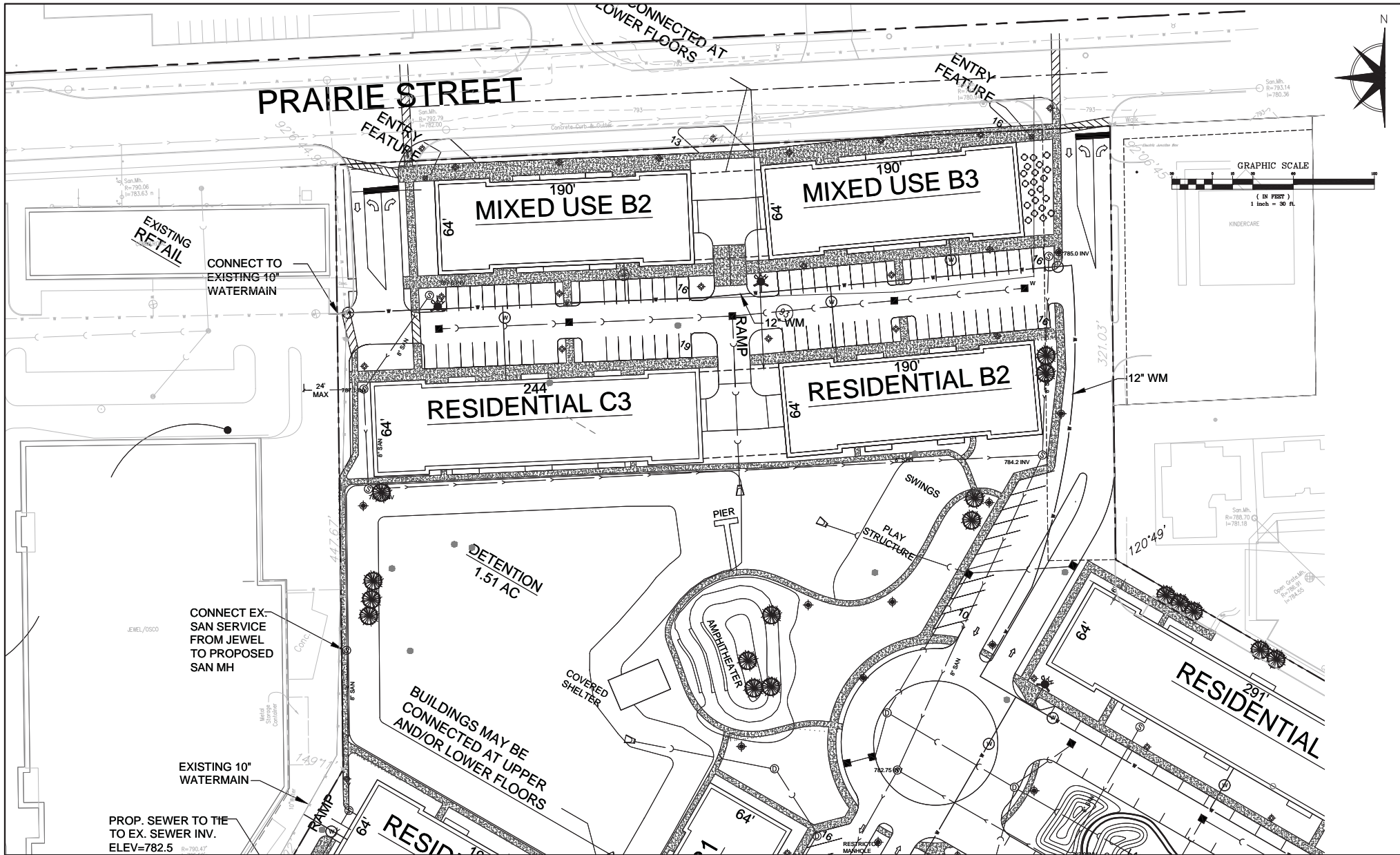


PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134

PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
c: 630-300-0530 f: 630-624-0520

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	7-22-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---
---	---	---	---	---	---

GEOMETRIC DESIGN 5					
PRAIRIE CENTRE					
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DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=30'	11 of 22	



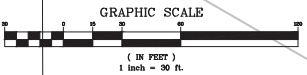
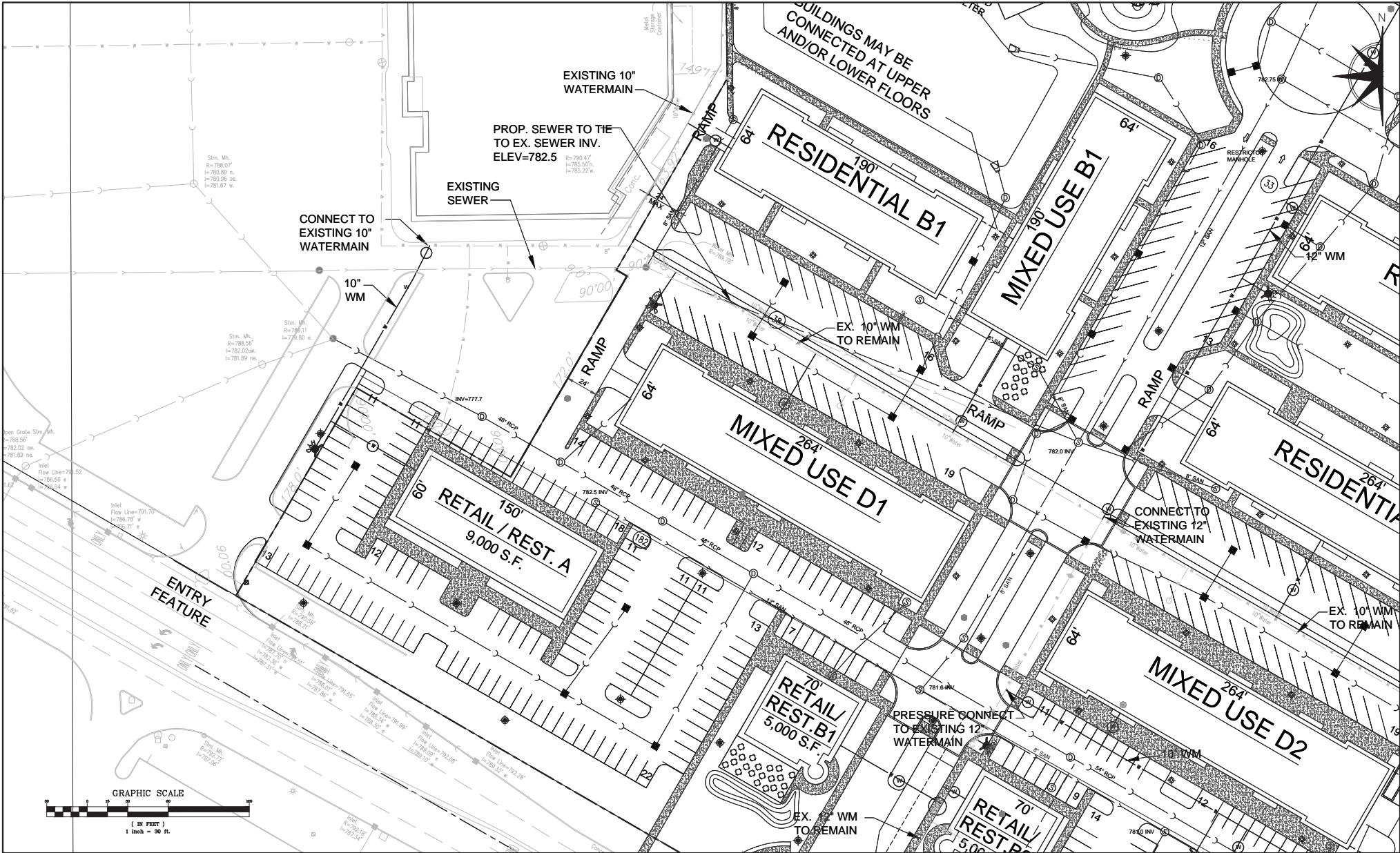
SHODEEN, INC.
77 NORTH FIRST STREET
GENEVA, IL 60134

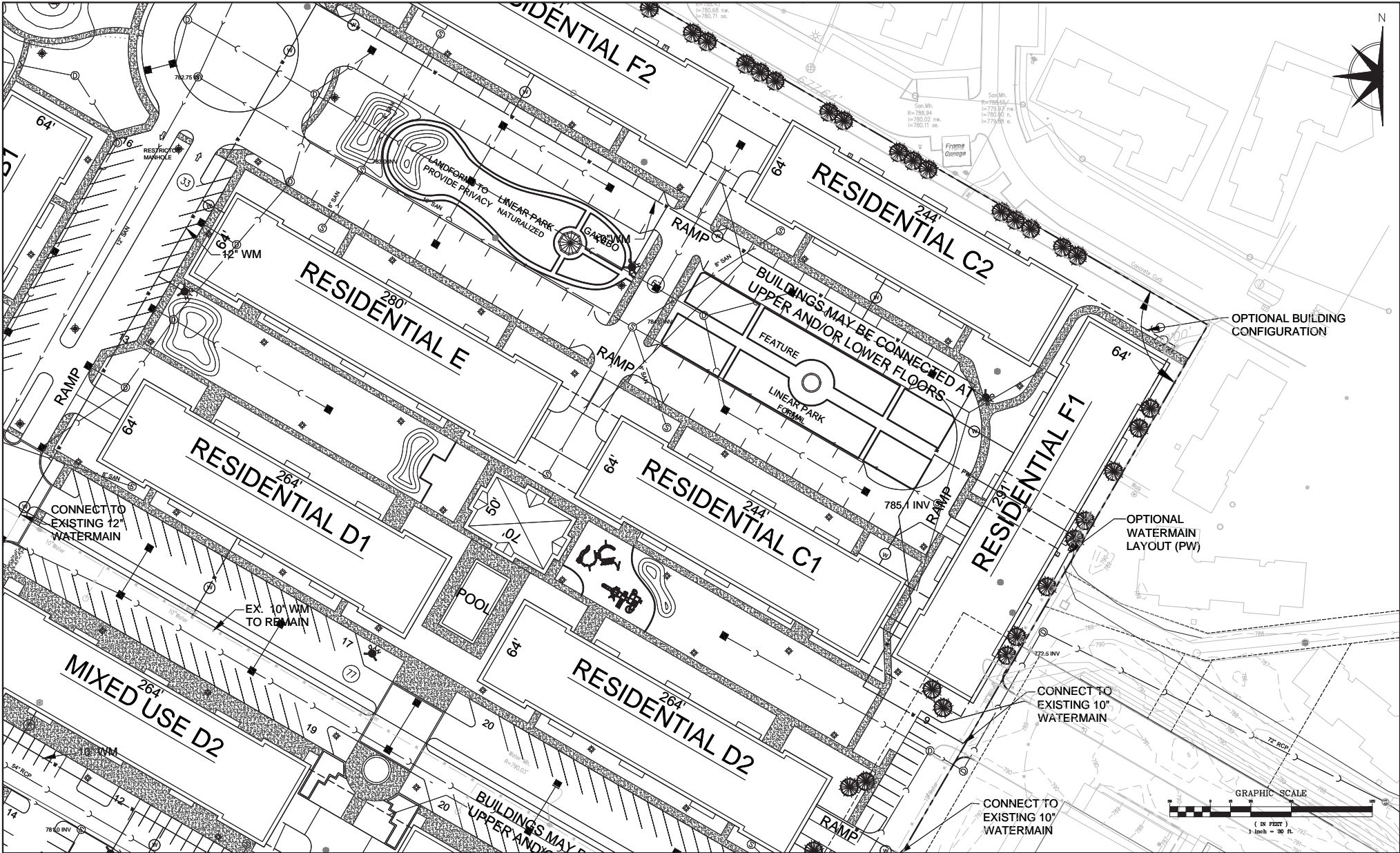
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	7-22-16	REVISED PER CITY PLANNING & ENG REVIEW	---	---	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---

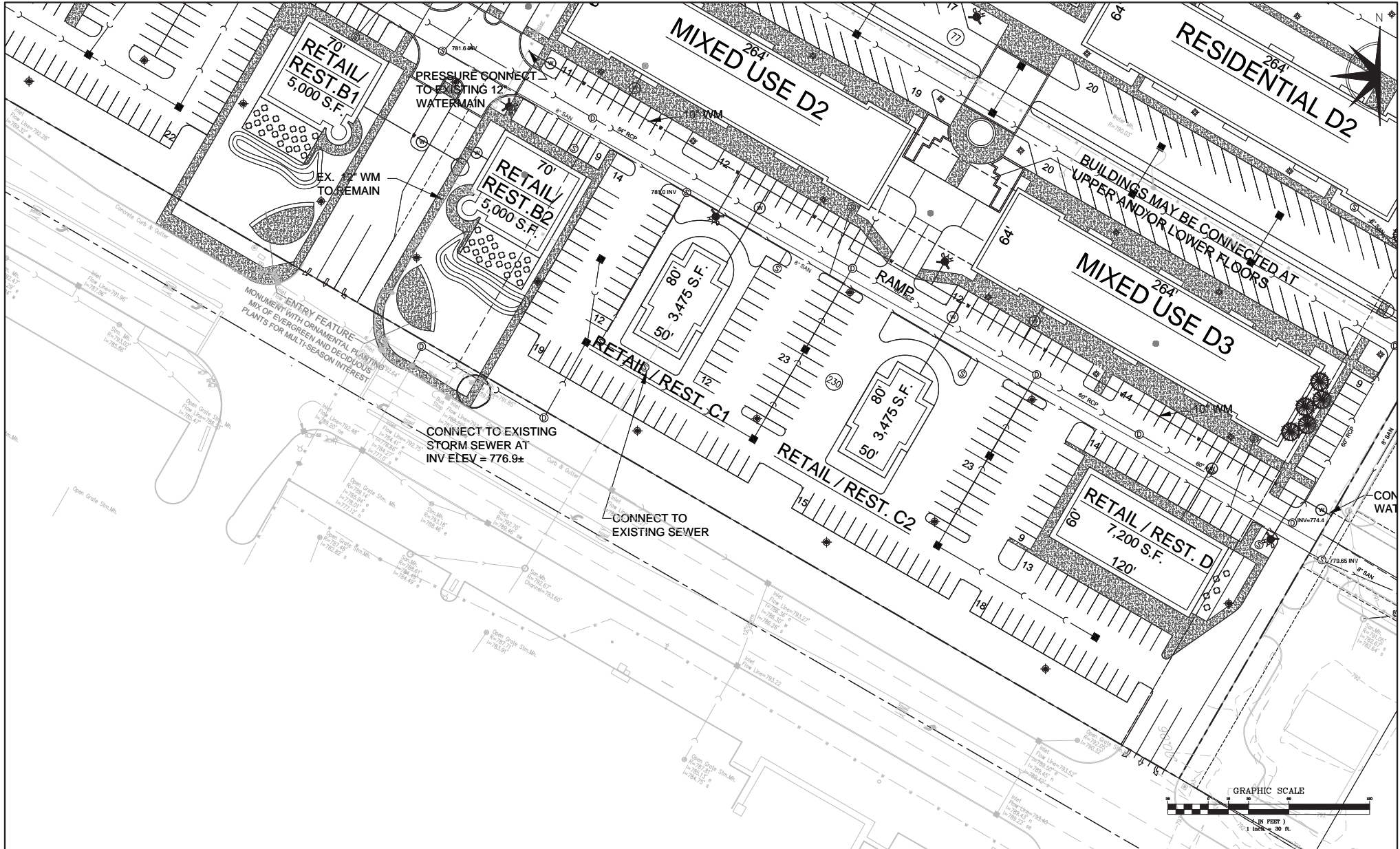
UTILITY DESIGN 1
PRAIRIE CENTRE

FILE NAME:	DSGN. BY: CAD	JOB NO: 16033	FLD. BK: ---	SHEET NO:
DISC. NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=30'	12 of 22





PREPARED FOR:		PREPARED BY:		UTILITY DESIGN 3	
SHODEEN, INC		ESM CIVIL SOLUTIONS, LLC		PRAIRIE CENTRE	
77 NORTH FIRST STREET		Civil Engineering - Land Entitlement - Project Feasibility		FILE NAME:	
GENEVA, IL 60134		1315 Macom Drive - Suite 205 Naperville Illinois 60564		DSGN. BY: CAD	
		a: 630-300-0933 c: 630-624-0520		DRN BY: MCA	
				JOB NO: 16033	
				DATE: 5-13-16	
				F.L.D. BK: ---	
				SCALE: 1"=30'	
				SHEET NO.	
				14 of 22	



PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134



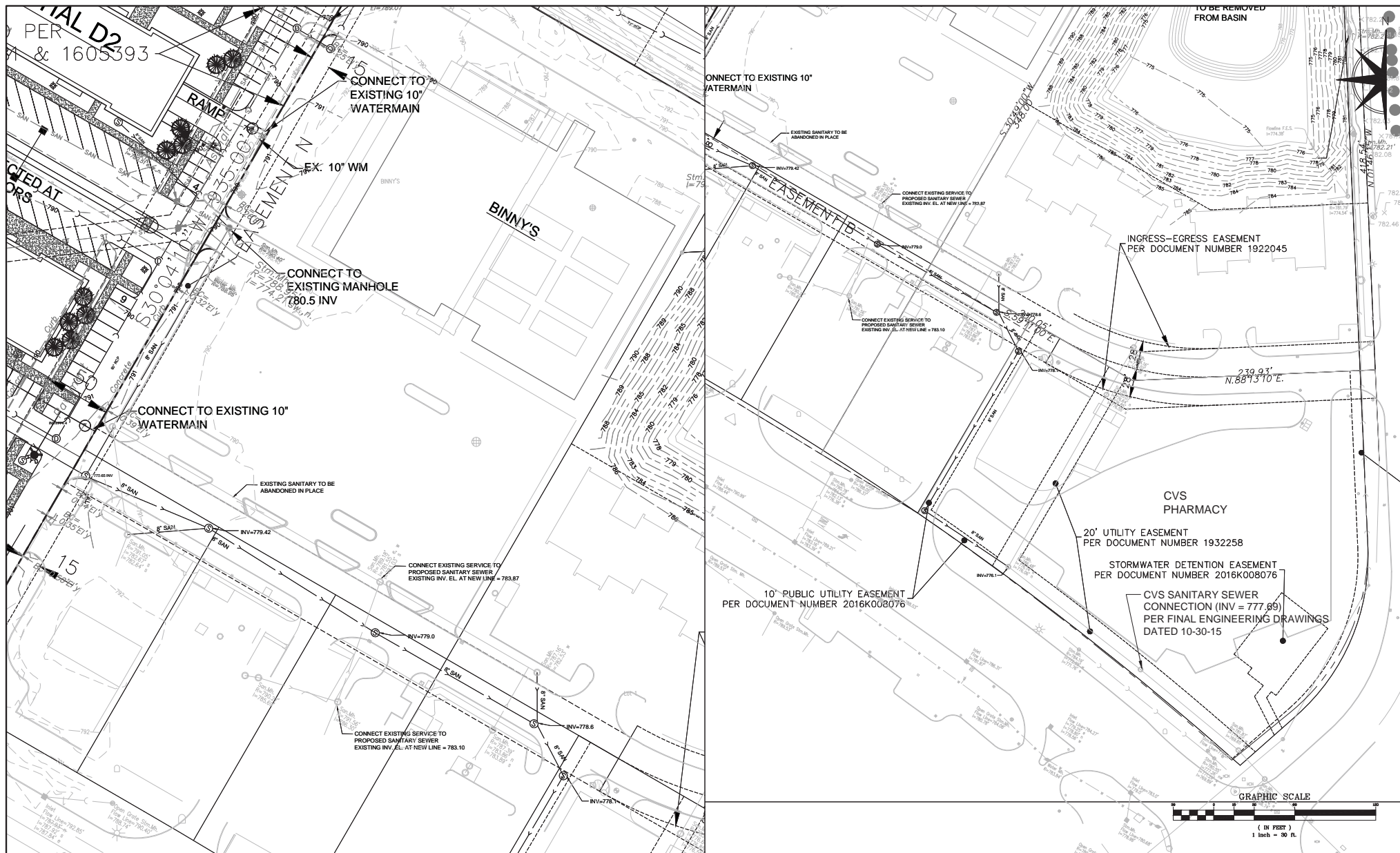
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
13115 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
3	7-08-16	REVISED PER CITY PLANNING & ENG REVIEW	---	---	---
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---
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UTILITY DESIGN 4

PRAIRIE CENTRE

FILE NAME:	DSGN. BY: CAD	JOB NO: 16033	FLD. BK: ---	SHEET NO:
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=30'	15 of 22



PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134

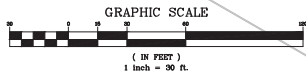
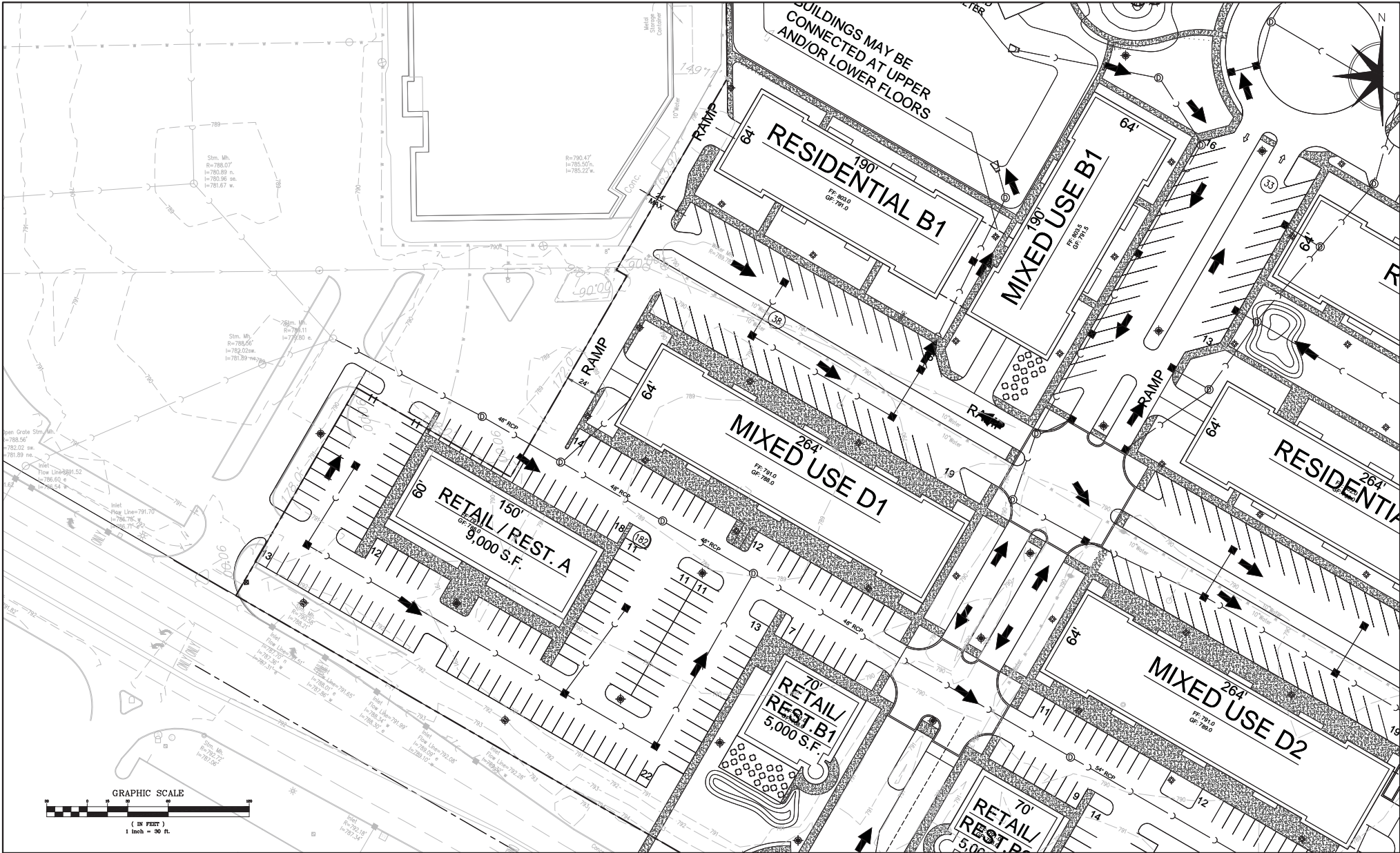
PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

REVISIONS						
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	
3	7-08-16	REVISED PER CITY PLANNING & ENG REVIEW	----	----	----	
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	----	----	----	
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UTILITY DESIGN 5

PRAIRIE CENTRE

FILE NAME:	DSGN. BY: CAD	JOB NO: 16033	FLD. BK: ---	SHEET NO. 16 of 22
DISC NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=30'	



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SHODEEN, INC.
 17 NORTH FIRST STREET
 GENEVA, IL 60134

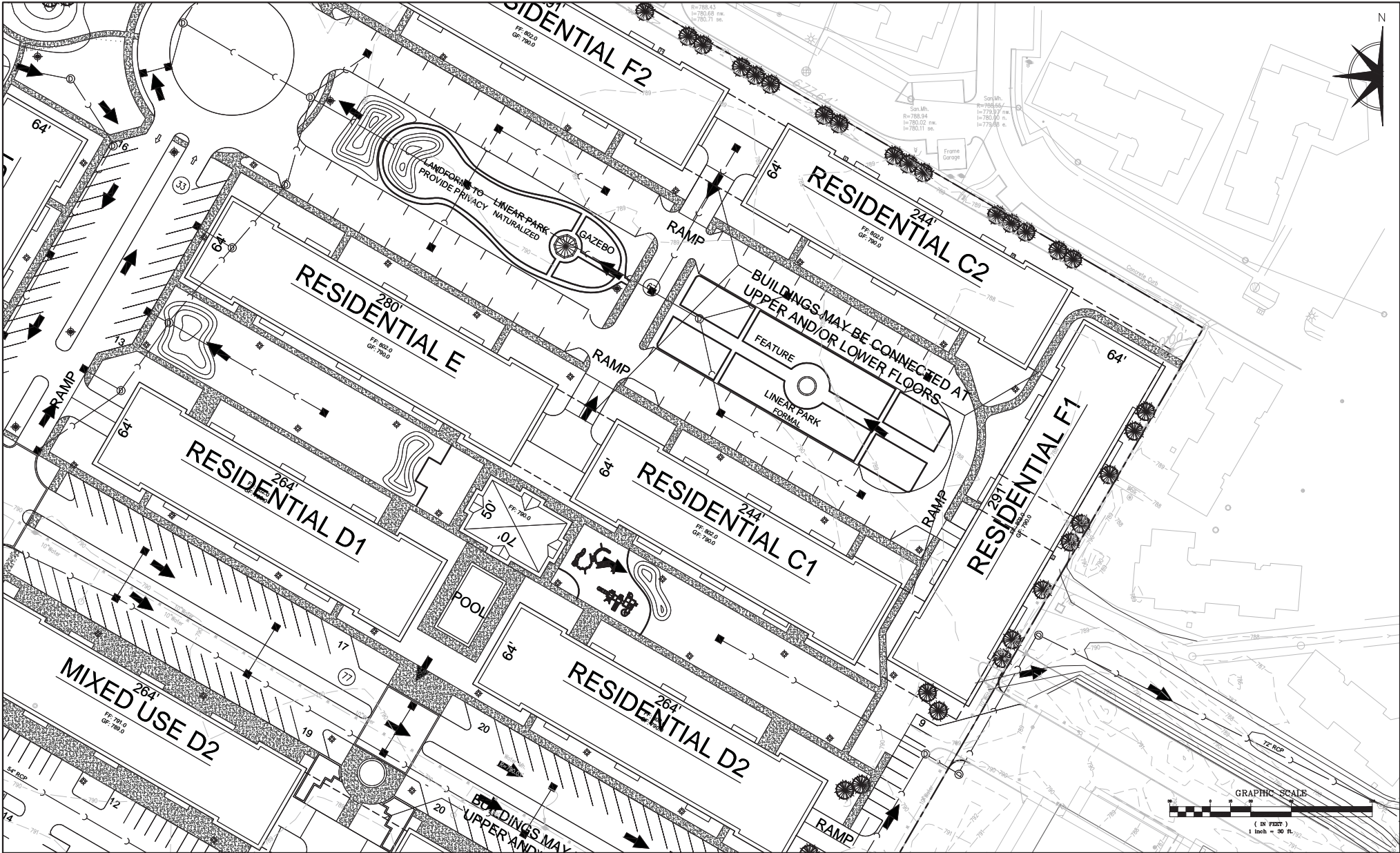


PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
 Civil Engineering - Land Entitlement - Project Feasibility
 1315 Macom Drive - Suite 205 Naperville Illinois 60564
 o: 630-300-0933 c: 630-624-0520

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---
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GRADING 2
PRAIRIE CENTRE

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DISC. NUM: ---	DRN BY: MCA	DATE: 5-9-16	SCALE: 1"=30'	18 of 22



PREPARED FOR:
SHODEEN, INC.
17 NORTH FIRST STREET
GENEVA, IL 60134

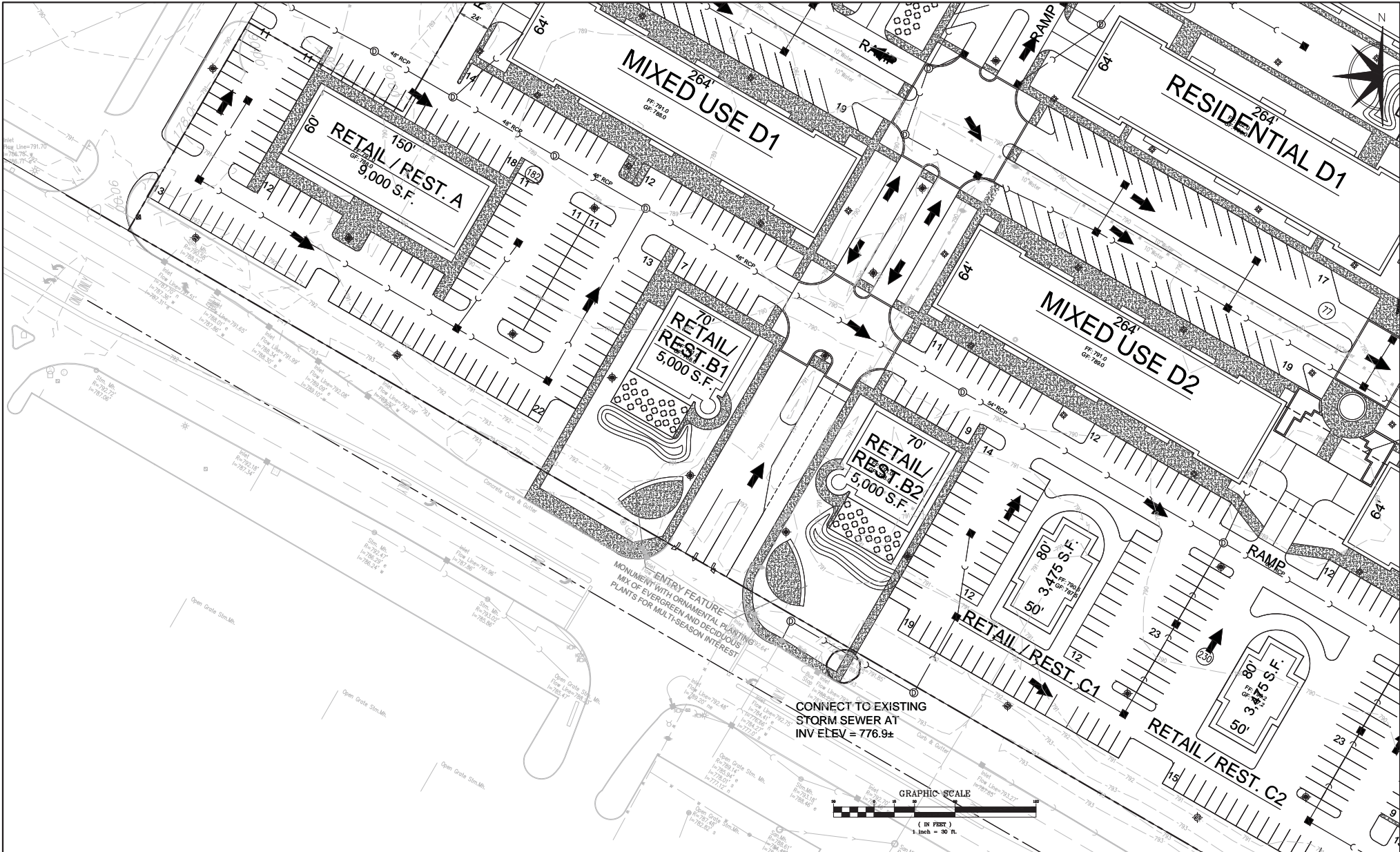


PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

NO.	DATE	DESCRIPTION	REVISIONS		NO.	DATE	DESCRIPTION
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS					
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW					

GRADING 3
PRAIRIE CENTRE

FILE NAME:	DSGN. BY: CAD	JOB NO: 16033	F.L.D. BK: ---	SHEET NO:
DISC NUM: ---	DRN BY: MCA	DATE: 5-9-16	SCALE: 1"=30'	19 of 22



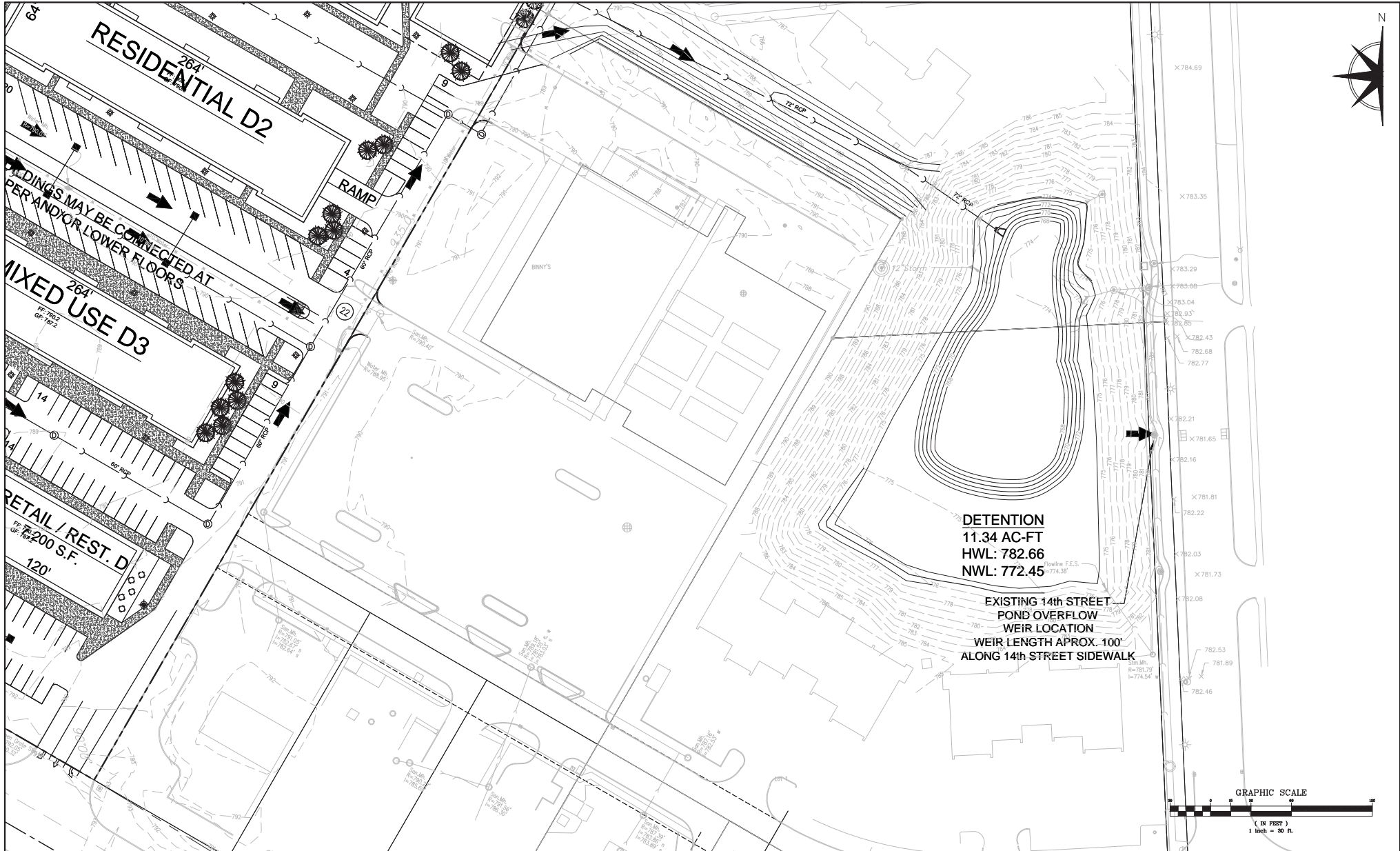
PREPARED FOR:
SHODEEN, INC.
17 NORTH FIRST STREET
GENEVA, IL 60134



PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
13115 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

NO.		DATE		DESCRIPTION		REVISIONS		NO.		DATE		DESCRIPTION	
4	10-16-17	REVISED PER CITY PLANNING & ENG REVIEW LETTERS											
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW											

GRADING 4						PRAIRIE CENTRE					
FILE NAME:	DSGN. BY: CAD	JOB NO: 16033	F.L.D. BK: ---	SHEET NO.		FILE NAME:	DSGN. BY: CAD	JOB NO: 16033	F.L.D. BK: ---	SHEET NO.	
DISC NUM: ---	DRN BY: MCA	DATE: 5-9-16	SCALE: 1"=30'	20 of 22		DISC NUM: ---	DRN BY: MCA	DATE: 5-9-16	SCALE: 1"=30'	20 of 22	



PREPARED FOR:
SHODEEN, INC.
17 NORTH FIRST STREET
GENEVA, IL 60134

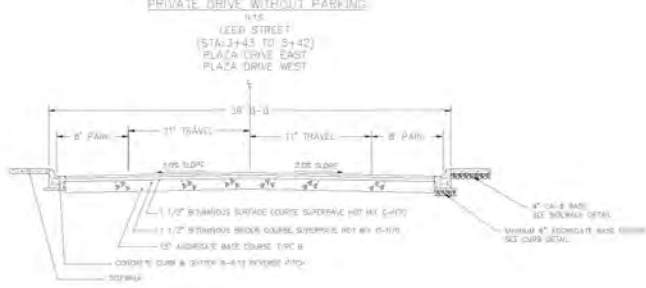
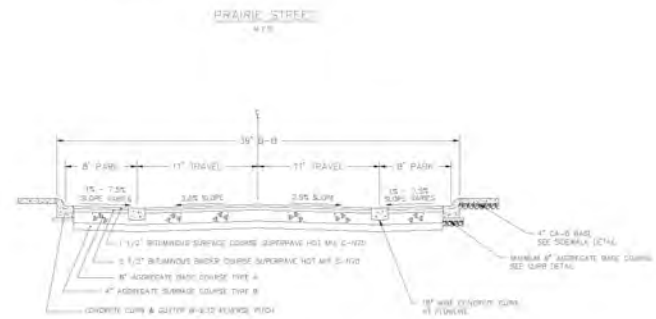
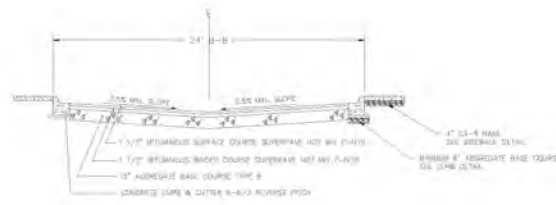
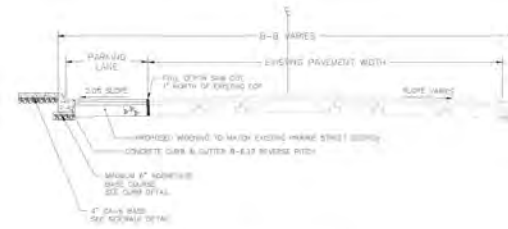
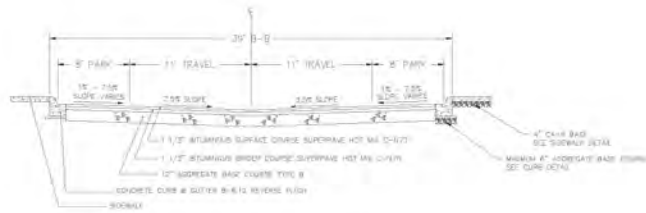
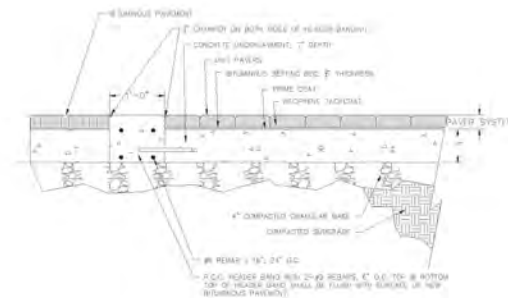
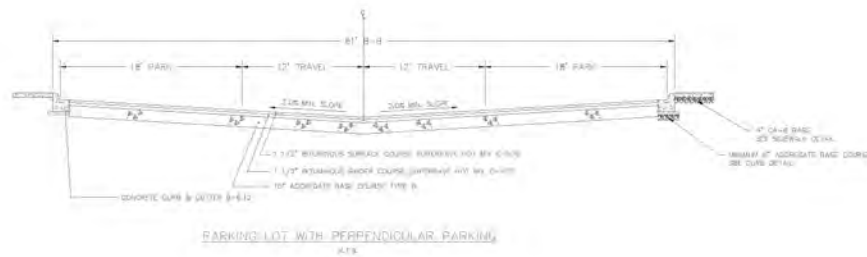


PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
13115 Macom Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
4	10-17-16	REVISED PER CITY PLANNING & ENG REVIEW LETTERS	---	---	---
6	01-31-17	REVISED PER CITY PLANNING & ENGINEERING REVIEW	---	---	---
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GRADING 5
PRAIRIE CENTRE

FILE NAME:	DSGN. BY: CAD	JOB NO: 16033	F.L.D. BK: ---	SHEET NO:
DISC NUM: ---	DRN BY: MCA	DATE: 5-9-16	SCALE: 1"=30'	21 of 22



PUBLIC ROAD SECTION
LEED STREET (STA: 6+00 TO END)
TOWNE CENTRE BOULEVARD (NORTH OF MARKET STREET)

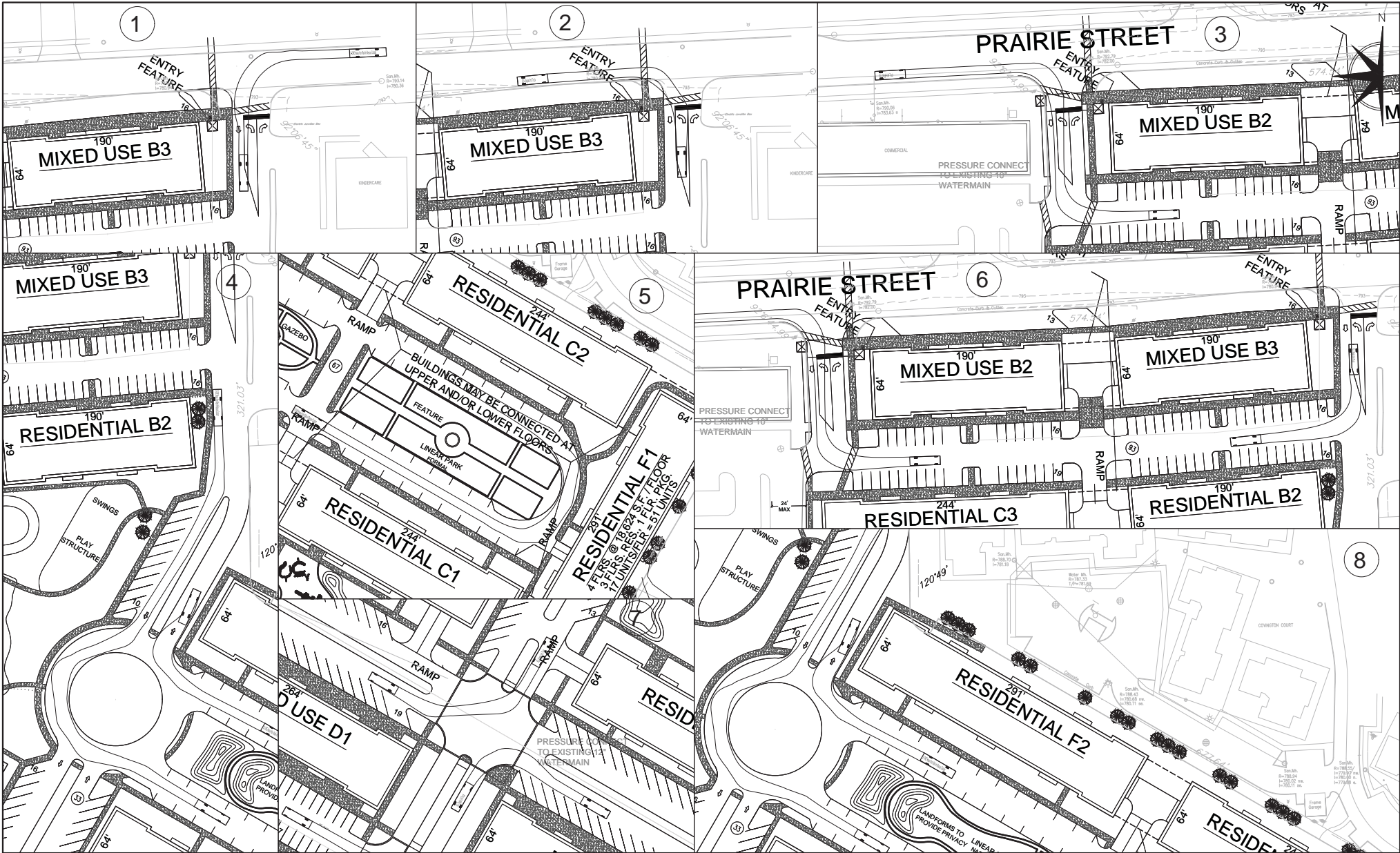
PRIVATE DRIVE WITH PARALLEL PARKING
GREEN STREET
(STA: 1+50 TO 1+90)
LEED STREET
(STA: 0+00 TO 3+43)

PREPARED FOR:
SHO-DEEN, INC.
17 NORTH FIRST STREET
DENEYA, IL 60134

PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Establishment - Project Feasibility
1315 Madison Drive - Suite 205 - Naperville Illinois 60563
or 630-300-0233 or 630-624-0502

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

DETAIL 1					
PRAIRIE CENTRE					
FILE NAME:	DSCN 014.DWG	LOT NO:	16023	FILE NO:	
FILE NAME:	OPEN BY: MCA	DATE:	2-2-10	SCALE:	1/4"
SHEET NO.					01 of 23

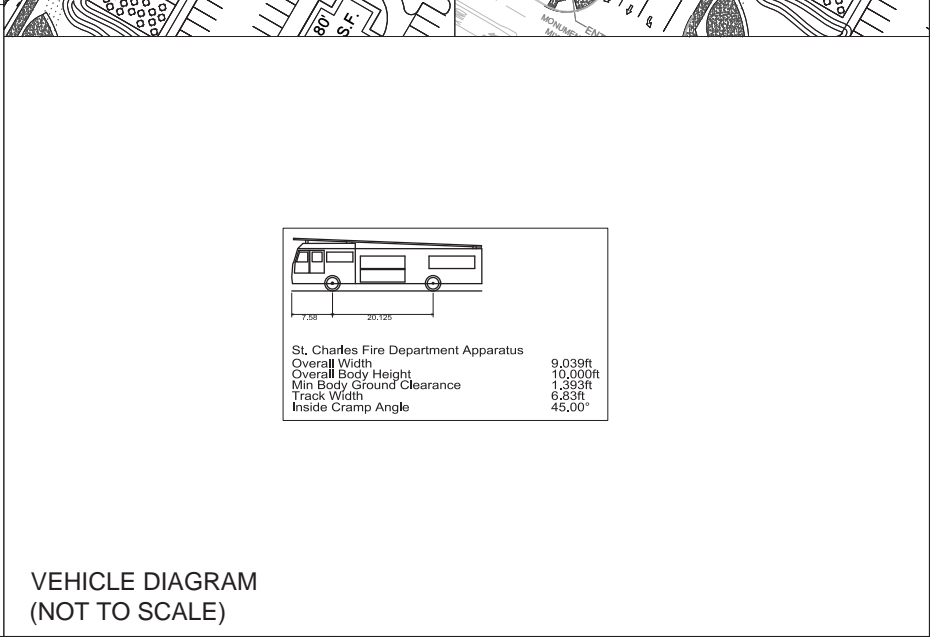
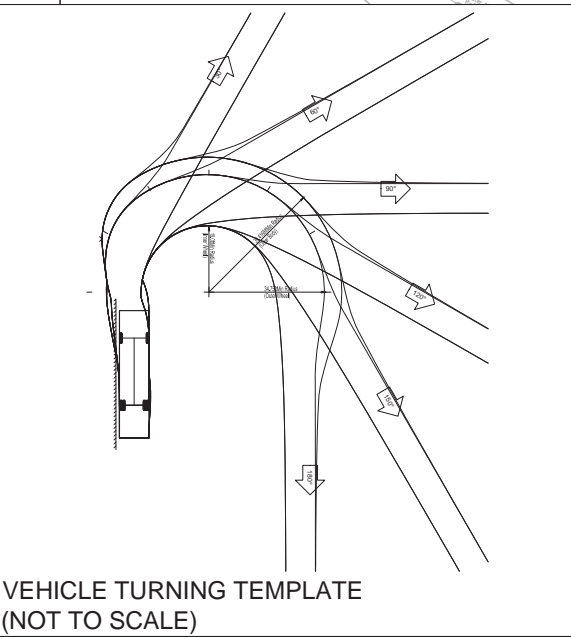
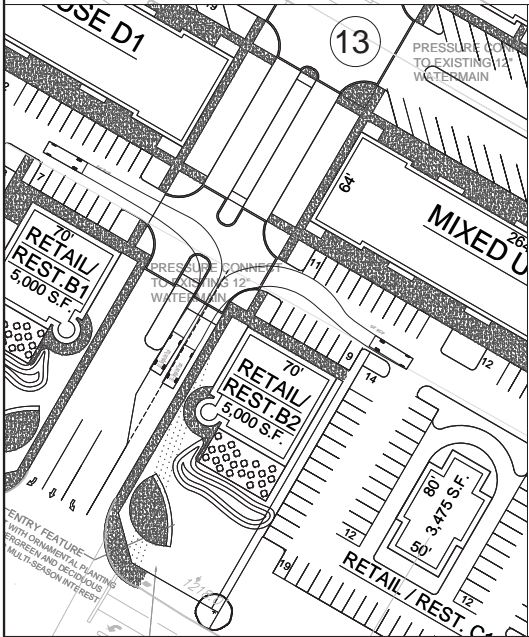
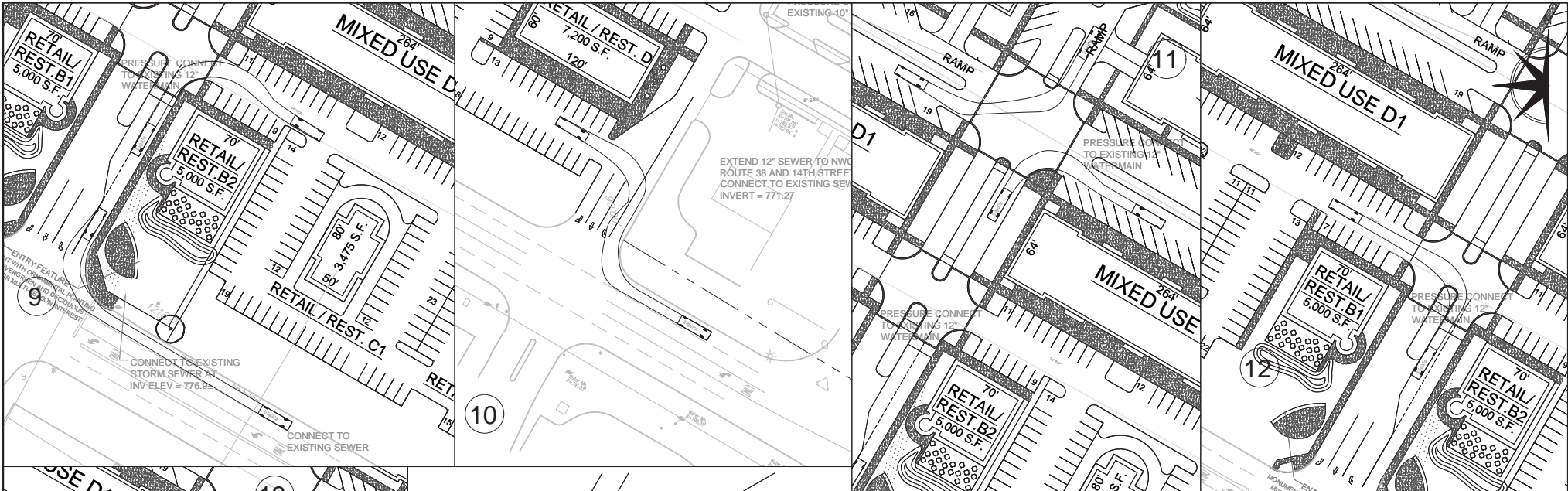



PREPARED FOR:
SHODEEN, INC
77 NORTH FIRST STREET
GENEVA, IL 60134

PREPARED BY:
ESM CIVIL SOLUTIONS, LLC
Civil Engineering - Land Entitlement - Project Feasibility
1315 Mason Drive - Suite 205 Naperville Illinois 60564
o: 630-300-0933 c: 630-624-0520

NO.			DATE			DESCRIPTION		
3	7-22-16	REVISED PER CITY PLANNING & ENG REVIEW	---	---	---	---	---	---
5	12-05-16	REV. DIA. 4.5, AND 8 PER FIRE DEPT REVIEW DATED 12-01-16	---	---	---	---	---	---
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VEHICLE TURN TEMPLATES 1				
PRAIRIE CENTRE				
FILE NAME:	DSGN. BY: ESM	JOB NO: 16033	FLD. BK: ---	SHEET NO. 1 of 2
DISC. NUM: ---	DRN BY: MCA	DATE: 5-13-16	SCALE: 1"=30'	



PREPARED FOR: SHODEEN, INC 77 NORTH FIRST STREET GENEVA, IL 60134 —		PREPARED BY: ESM CIVIL SOLUTIONS, LLC Civil Engineering - Land Entitlement - Project Feasibility 1315 Macom Drive - Suite 205 Naperville Illinois 60564 o: 630-300-0933 c: 630-624-0520	REVISIONS						VEHICLE TURN TEMPLATES 2					
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			5		12-05-16		REV. DIA. 4.5, AND 8 PER FIRE DEPT REVIEW DATED 12-01-16		----		----		----	
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DISTRIBUTION SYSTEM BACKGROUND

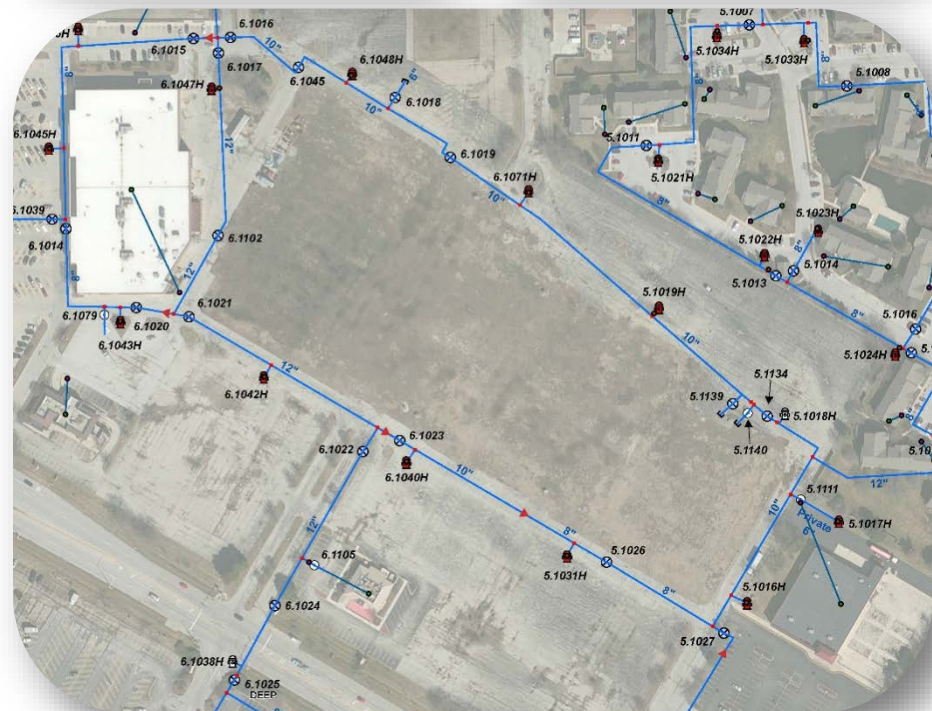
The City of St. Charles maintains roughly 221 miles of water main and approximately 2,840 fire hydrants. Currently the City's distribution system is divided into inner and outer pressure zones. The City is able to transfer water between zones through the use of the seven pressure reducing valves.

The City Water Department has adopted proactive water main maintenance, flushing, and rehabilitation programs to sustain the level of service provided to the community. The water main rehabilitation program is often coordinated with the City's Capital Improvement's Program for street rehabilitation and reconstruction to minimize costs. As a result, the City of St. Charles has a strong water distribution system.

EXISTING CONDITIONS

The exhibit below illustrates the existing water system layout with system pressure and fire flow capacity for the surrounding area. The area in consideration is along Illinois Route 38 (Roosevelt Road), generally bound between Prairie Street to the North, South 14th Street to the East, Illinois Route 38 (Roosevelt Road) to the South, and Randall Road to the West.

The existing water main in the area consists of 10 and 12-inch water main, with minor portions of 8-inch. This property is located in an area of town with a large amount of water main looping and does not have a significant number of dead end mains. The daily demands in the area consist of both residential and commercial water usage.





WATERCAD® DISTRIBUTION SYSTEM MODEL

General Background

The City maintains a Bentley WaterCAD® V8i distribution system model, hosted by Trotter and Associates, Inc. The model is a valuable tool for evaluating the impact of potential development, as well as to measure the benefits received from capital improvement and rehabilitation projects. In 2007, the WaterCAD® model was updated from its 2001 version to reflect the distribution system's capabilities under Maximum Day Demand (MDD) and Fire Flow conditions.

Through a concerted effort by the City's GIS department the water system data is now managed electronically through GIS. In an effort to create a more accurate WaterCAD® distribution system, in 2014 the City elected to rebuild the model from the existing GIS data incorporating all of the improvements that have occurred since 2007. The new water model has been modified to also include data for all hydrants throughout the service area. In an effort to continue maintaining this goal, the City has asked TAI to provide information in regards to the proposed Prairie Center development and the available fire flows and pressures at this location.

Assumptions and Limitations

The following assumptions were utilized to most accurately analyze the water system at the Prairie Center Development. The existing model used a water velocity constraint of 15 feet per second, which ensures system stability during flushing and fire flow events. In addition, the study area did not consist of the entire system. The study area consisted of the area surrounding the proposed site improvements (Route 38 and South 14th Street). The available fire flows and pressures reported represent instantaneously available capacities at the water main adjacent to the proposed buildings and fire hydrants listed within the data tables provided within this memo.

The improvements that were modeled consisted of that which was described on the proposed plans and exhibits, appended to this report for reference. TAI identified several discrepancies in the plans for the existing water main. In the locations where the development did not call for removal and replacement of the existing water mains, TAI used the sizing provided by STC's GIS Department. As a result, a small section of the water main did remain as 8-inch. TAI also assumed that the 10-inch water main located along the back of the existing site was removed from service, and a new 10 and 12-inch water main was installed per the proposed plans.

Assumptions made in regards to future water usage/daily demands at the proposed development are listed in Tables 1 and 2. It was assumed that each of the residential buildings had a 50/50 split of single bedroom and 2-3 bedroom units. A single bedroom apartment equated to a population equivalent of 1.5, while a 2-3 bedroom apartment equated to three PE. Per City data, 75 gallons/PE was used for the average usage. Table 1 outlines the anticipated water consumption per each residential building.





Table 1: Residential PE & Demands

Residential Building	Single Bedroom	Two/Three Bedroom	Total Units	Total PE/Unit	Gallons/Day
Residential B1	18	18	36	81	6,075
Residential B2	18	18	36	81	6,075
Residential B3	18	18	36	81	6,075
Residential C1	18	18	36	81	6,075
Residential D1	19	20	36	88.5	6,638
Residential D2	19	20	36	88.5	6,638
Residential D3	19	20	36	88.5	6,638
Residential D4	19	20	39	88.5	6,638
Residential D5	19	20	39	88.5	6,638
Residential E1	22	23	39	102	7,650
Mixed Use B1	18	18	39	81	6,075
Mixed Use B2	18	18	39	81	6,075
Mixed Use B3	18	18	45	81	6,075
Mixed Use D1	19	20	39	88.5	6,638
Mixed Use D2	19	20	39	88.5	6,638
Mixed Use D3	19	20	39	88.5	6,638
Total	300	309	609	1,377	103,275

The commercial properties were assumed to be restaurant locations. In order to quantify the water consumption for each building, TAI utilized the square footage of each building to estimate the water demand. It was estimated that each building would use approximately 0.85 gallons/day/square foot of building space. Table 2 outlines each building and the anticipated daily water use.

Table 2: Commercial Demands

Commercial Building	Square Feet	Gallons/Day
Retail/Rest/A	9,000	7,397
Retail/Rest/B1	5,000	4,110
Retail/Rest/B2	5,000	4,110
Retail/Rest/C1	3,475	2,856
Retail/Rest/C2	3,475	2,856
Retail/Rest/D	7,200	5,918
Mixed Use B1 - Retail	12,160	9,995
Mixed Use B2 - Retail	12,160	9,995
Mixed Use B3 - Retail	12,160	9,995
Mixed Use D1 - Retail	15,615	12,834
Mixed Use D2 - Retail	15,615	12,834
Mixed Use D3 - Retail	15,615	12,834
Total	116,475	95,733





Fire Flow Requirements

Per the adopted 2015 International Fire Code, the fire-flow duration for commercial properties is two hours for Needed Fire Flows (NFF_i) up to 3,000 gpm and three hours for needed Fire Flows up to 4,000 gpm. Properties requiring greater than 4,000 gpm fire flows require a flow duration of four hours. The needed fire-flow duration for 1-and 2-family dwellings with an effective area of 3,600 square feet or less is one hour, and dwellings larger than 3,600 square feet is two hours. Buildings other than one and two-family dwellings require fire flows per table B105.1 (minimum required fire-flow and flow durations for buildings) within Appendix B of the IFC.

TABLE B105.1(2)
REFERENCE TABLE FOR TABLES B105.1(1) AND B105.2

FIRE-FLOW CALCULATION AREA (square feet)					FIRE-FLOW (gallons per minute) ^b	FLOW DURATION (hours)
Type IA and IB ^a	Type IIA and IIA ^a	Type IV and V-A ^a	Type IIB and IIB ^a	Type V-B ^a		
0-22,700	0-12,700	0-8,200	0-5,900	0-3,600	1,500	2
22,701-30,200	12,701-17,000	8,201-10,900	5,901-7,900	3,601-4,800	1,750	
30,201-38,700	17,001-21,800	10,901-12,900	7,901-9,800	4,801-6,200	2,000	
38,701-48,300	21,801-24,200	12,901-17,400	9,801-12,600	6,201-7,700	2,250	
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500	
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750	3
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3,000	
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3,250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3,500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3,750	
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4,000	4
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4,250	
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4,500	
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4,750	
203,701-225,200	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5,000	
225,201-247,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5,250	
247,701-271,200	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5,500	
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,400	5,750	
295,901-Greater	166,501-Greater	106,501-115,800	77,001-83,700	47,401-51,500	6,000	
—	—	115,801-125,500	83,701-90,600	51,501-55,700	6,250	
—	—	125,501-135,500	90,601-97,900	55,701-60,200	6,500	
—	—	135,501-145,800	97,901-106,800	60,201-64,800	6,750	
—	—	145,801-156,700	106,801-113,200	64,801-69,600	7,000	
—	—	156,701-167,900	113,201-121,300	69,601-74,600	7,250	
—	—	167,901-179,400	121,301-129,600	74,601-79,800	7,500	
—	—	179,401-191,400	129,601-138,300	79,801-85,100	7,750	
—	—	191,401-Greater	138,301-Greater	85,101-Greater	8,000	

For SI: 1 square foot = 0.0929 m², 1 gallon per minute = 3.785 L/m, 1 pound per square inch = 6.895 kPa.

a. Types of construction are based on the *International Building Code*.

b. Measured at 20 psi residual pressure.

PRAIRIE CENTER DEVELOPMENT WATER MODEL EVALUATION

Trotter and Associates, Inc. has performed the requested evaluation of the hydraulic model for the City of St. Charles in regards to the Prairie Center Development. Below are the results of the proposed site development from the hydraulic analysis for both average daily demands, and maximum day demands.

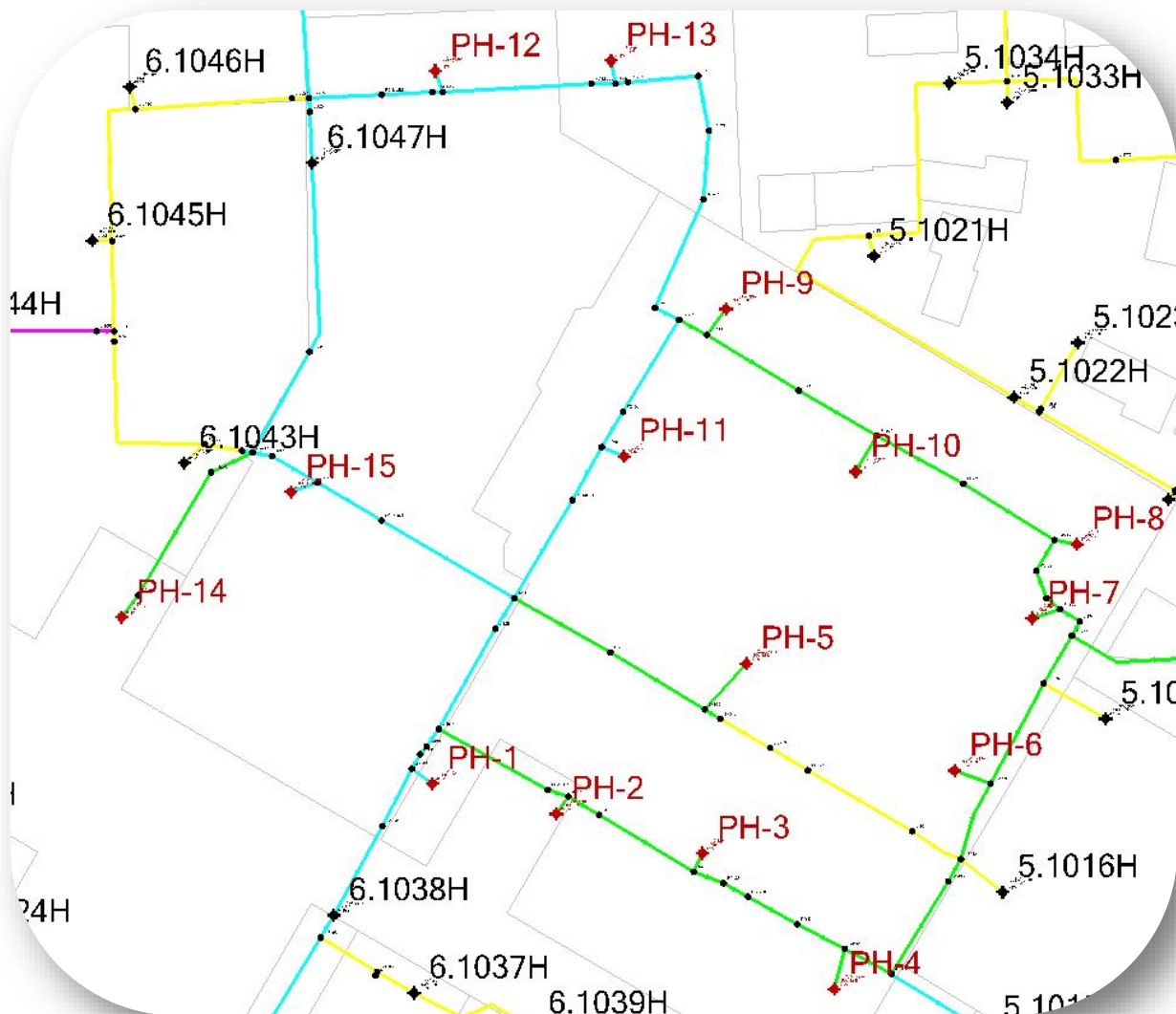
Prairie Center Development – Proposed Water Main Layout

As stated previously, this development has 13 multi-unit residential buildings, six commercial buildings, and three mixed-use commercial/residential buildings. There is approximately a total of 609 residential units, and 80,000 square feet of retail/commercial properties. The proposed water main layout for the Prairie Center Development project is made up mostly 10-inch and 12-inch water main.

This layout includes approximately 1,300 lf of new 12-inch water main, and 1,700 lf of new 10-inch water main. Shown on the following page is the proposed water main layout for the development. Water main in blue represents 12-inch, green is 10-inch, and yellow is 8-inch. The site includes 15 additional hydrants (shown in red) that are to be tied into both the new 10-inch and 12-inch water mains running throughout the site. These new hydrants are to serve the twenty two buildings.



The WaterCAD computer modelling software was used to identify the available fire flow capacity throughout the Prairie Center proposed site development during both average daily and maximum day demands. The available fire flow capacity is defined as the maximum deliverable flow from a single building service and hydrant while maintaining residual pressures of no less than 20 psi at any point in the system.





Average Day Demand

The model was first run under representative conditions that the City of St. Charles routinely sees throughout its distribution system, referred to as the Average Daily Demand (ADD). This scenario includes roughly 2,950 gallons per minute of water usage throughout the city following residential and commercial demand patterns. The Campton Hills water tower Red Gate water tower serving the high pressure, and the 10th Street water tower serving the low pressure system, and all were run under nearly full conditions. Additionally, the Ohio Avenue water treatment plant and Wells No. 9 & 11 were available to run during the analysis. These wells typically run under average demand conditions.

The results of this modeling are shown in the table below are for the fire hydrants and connection points to each building in the proposed Prairie Center Development.

Building	Pressure (psi) - ADD	Fire Flow Capacity (gpm) - ADD	Hydrant No.	Pressure (psi) - ADD	Fire Flow Capacity (gpm) - ADD*
Residential B1	54	6,030	PH-1	53	4,122
Residential B2	55	5,809	PH-2	53	3,955
Residential B3	54	6,085	PH-3	53	3,960
Residential C1	54	6,284	PH-4	53	3,910
Residential D1	54	6,185	PH-5	53	3,699
Residential D2	54	4,782	PH-6	53	3,864
Residential D3	54	6,224	PH-7	54	4,017
Residential D4	55	5,879	PH-8	54	3,985
Residential D5	55	5,675	PH-9	53	4,055
Residential E1	54	5,806	PH-10	53	3,860
Mixed Use B1	54	6,255	PH-11	53	4,148
Mixed Use B2	54	6,327	PH-12	53	4,179
Mixed Use B3	54	6,130	PH-13	53	4,104
Mixed Use D1	54	6,128	PH-14	53	3,501
Mixed Use D2	54	5,806	PH-15	53	4,094
Mixed Use D3	55	5,733			
Retail/Rest/A	54	4,660			
Retail/Rest/B1	54	6,214			
Retail/Rest/B2	54	6,232			
Retail/Rest/C1	54	5,769			
Retail/Rest/C2	55	5,717			
Retail/Rest/D	55	5,782			

**Note: The proposed fire hydrants have available fire flows above 3,000 gpm; this is the instantaneous flow and more than one hydrant in the area may be required to achieve this flow rate. It is anticipated that the maximum flow rate from of a single fire hydrant 4.5-inch outlet is approximately 3,000 gpm.*





Maximum Day Demand – Scenario 1 (Towers Full)

The model was then run under the highest demand conditions that the City of St. Charles has seen in the past three years, referred to as the Maximum Day Demand. This scenario includes roughly 6,600 gallons per minute of water usage throughout the City. The Campton Hills water tower, Red Gate water tower, and the 10th Street water tower were run under nearly full conditions for scenario one. Additionally, the Ohio Avenue water treatment plant and Wells No. 9 & 11 were available to run during the analysis.

The results of this modeling are shown in the table below are for the fire hydrants and building services and connection points to each building in the proposed Prairie Center Development.

Building	Pressure (psi) - MDD	Fire Flow Capacity (gpm) - MDD
Residential B1	52	5,566
Residential B2	53	5,375
Residential B3	52	5,606
Residential C1	52	5,787
Residential D1	52	5,698
Residential D2	52	4,465
Residential D3	52	5,728
Residential D4	53	5,439
Residential D5	53	5,256
Residential E1	52	5,368
Mixed Use B1	52	5,752
Mixed Use B2	52	5,821
Mixed Use B3	52	5,649
Mixed Use D1	53	5,650
Mixed Use D2	52	5,358
Mixed Use D3	53	5,304
Retail/Rest/A	52	4,351
Retail/Rest/B1	52	5,719
Retail/Rest/B2	52	5,733
Retail/Rest/C1	52	5,334
Retail/Rest/C2	53	5,289
Retail/Rest/D	53	5,346

Hydrant No.	Pressure (psi) - MDD	Fire Flow Capacity (gpm) - MDD
PH-1	51	3,869
PH-2	51	3,715
PH-3	51	3,725
PH-4	51	3,676
PH-5	51	3,486
PH-6	51	3,636
PH-7	52	3,779
PH-8	52	3,751
PH-9	51	3,811
PH-10	51	3,632
PH-11	51	3,892
PH-12	51	3,925
PH-13	51	3,853
PH-14	51	3,305
PH-15	51	3,845





Maximum Day Demand – Scenario 2 (Campton Hills Tower Empty)

The model was then run again under Maximum Day Demand; however the Campton Hills water tower was taken offline to simulate out-of-service situations such as those during painting or rehabilitation.

The results of this modeling are shown in the table below are for the fire hydrants and connection points to each building in the proposed Prairie Center Development.

Building	Pressure (psi) - MDD	Fire Flow Capacity (gpm) - MDD	Hydrant No.	Pressure (psi) - MDD	Fire Flow Capacity (gpm) - MDD
Residential B1	48	2,365	PH-1	46	2,070
Residential B2	48	2,366	PH-2	46	2,042
Residential B3	47	2,355	PH-3	47	2,066
Residential C1	48	2,387	PH-4	46	2,039
Residential D1	48	2,380	PH-5	46	1,993
Residential D2	48	2,229	PH-6	46	2,031
Residential D3	47	2,374	PH-7	47	2,091
Residential D4	48	2,379	PH-8	47	2,084
Residential D5	48	2,348	PH-9	47	2,081
Residential E1	48	2,350	PH-10	46	2,033
Mixed Use B1	47	2,370	PH-11	46	2,084
Mixed Use B2	47	2,378	PH-12	46	2,101
Mixed Use B3	48	2,370	PH-13	46	2,075
Mixed Use D1	48	2,379	PH-14	46	1,946
Mixed Use D2	47	2,324	PH-15	46	2,080
Mixed Use D3	48	2,350			
Retail/Rest/A	47	2,188			
Retail/Rest/B1	47	2,359			
Retail/Rest/B2	47	2,360			
Retail/Rest/C1	48	2,345			
Retail/Rest/C2	48	2,347			
Retail/Rest/D	48	2,353			





SUMMARY OF FINDINGS

The results of the WaterCAD modeling for the Prairie Center development indicate that during maximum day demand conditions, fire flows in excess of 3,000 gpm are expected to be available at the proposed hydrants and building junctions, with operating pressure of approximately 50 psi. This modeling was performed utilizing a lower residual pressure limit of 20 psi and performed per NFPA recommendations.

As stated previously, the City of St. Charles has adopted the 2015 International Fire Code, which sets requirements for available fire flows and durations for various construction types. Within Appendix B, Fire Code Table B105.1(2) (Reference Table for Tables B105.1(1) and B105.2) states the specific requirements for fire flow capacities of different building types. In order to evaluate the adequacy of fire flow for each building, additional information would be required including building type, construction techniques, building separation, etc. It is recommended that building department evaluate the available fire flows of the proposed development relative to the required fire flow for each building to determine the acceptability of the layout as proposed.



MEMORANDUM

Date: December 5, 2016

To: Chris Bong P.E.

CC: Russ Colby

From: Greg Chismark

Subject: Prairie Center Sanitary Sewer Evaluation Update

As requested WBK evaluated the impact of a density bonus increasing the number of residential units in the Prairie Center project. We understand the density bonus would add 61 additional residential units. These units can be allocated as one bedroom and two bedroom units in accordance with the ratios set for in the original study. This will result in 29 additional one bedroom and 32 additional two bedroom units for the density bonus.

Additional flow was calculated based on increased unit count from the density bonus. The additional flow (0.038 cfs) represents an approximate 10% increase in Prairie Center flows. The flow values were then added to the total flow originally calculated for Prairie Center. The Prairie Center & Density Bonus flows were then compared to pipe capacity for each pipe segment downstream of the project connection.

Likewise, the additional density bonus flow was added to the Prairie Center + Future Development flow condition which considers build out of sites adjacent to Prairie Center. The Prairie Center & Density Bonus + Future Development flows were then compared to pipe capacity for each pipe segment downstream of the project connection.

The results of the analysis indicates no significant adverse impact as a result of the density bonus. We note a slight increase in pipe capacity utilization of 2% maximum and 3% maximum for the Prairie Center and Prairie Center + Future Development scenarios respectively. No additional pipe segments are indicated as deficient and the original recommendations for improvements to the sewer system remain unchanged.

Prairie Centre Redevelopment
Sanitary Sewer Evaluation



CITY OF
ST. CHARLES

∞ ILLINOIS • SINCE 1834 ∞

Prepared by



August 22, 2016

Introduction

On behalf of the City of St. Charles, WBK Engineering has evaluated the existing sanitary sewer system downstream of the proposed redevelopment project known as Prairie Center. This project is a mixed use redevelopment of the former St. Charles Mall site near the Illinois Route 38 and Randall Road intersection. The project consists of residential uses including apartments and condos, and commercial uses such as general retail and restaurants. This report considers existing conditions as well as the ability of sanitary sewer system to facilitate flows from the Prairie Centre project and tributary undeveloped parcels. The extent of the collection system evaluated includes gravity sewers from the project site to the Park Shore siphon under the Fox River. A comparison of flows at the Park Shore was also performed to determine the impact of the proposed project on the Siphon as an initial evaluation.

Existing Conditions

The existing conditions evaluation of the wastewater collection system consisted of a “flowing full” capacity analysis of the gravity sanitary sewers serving the project from the former St. Charles Mall site to the Park Shore siphon.

Data Sources

Physical pipe characteristics including pipe diameter and slope were obtained from several sources:

- 1996 Black and Veatch Report
- 1999 RHAA Plans for Gray Street Improvements
- 2008 Ground Survey from Thompson Survey
- 2016 City GIS Data

Sanitary sewers from the siphon to the project site range in size from 12 to 21 inches in diameter. It should be noted that some pipes are identified as backpitched. It is our recommendation to correct this condition as part of any proposed sewer improvement project.

Existing flow data was evaluated from two data sources:

- 1996 Black & Veatch Report
- 2009 RJN Report

From these data sources several types of flows were compared including peak sanitary, infiltration and inflow. Both studies considered a 10 year recurrence frequency for infiltration and inflow. The most conservative value for each of these flow regimes was utilized. Peak sanitary flows were derived from the 2009 RJN report. Inflow and Infiltration flows were

derived from the 1996 Black and Veatch report. Flow values were distributed to each sewer segment based on the Black and Veatch distribution schema and extrapolated or interpolated as appropriate. The only variation from this approach is a flow split at manhole 5.1 200 where significant flow from the Fellow Street / Davis School collector sewer combines with the Gray Street collector sewer. At this manhole, flow values were assigned to Fellows and Gray Street sewers based on proportional tributary area to each sewer segment.

Proposed Conditions

Wastewater flows from Prairie Centre and undeveloped parcels (future development) were added to the sewer system network based on proposed land uses defined in Exhibit A. The Prairie Centre land uses were based on information provided by Dave Patzelt (ShoDeen Construction Co. LLC) via e-mail dated May 25, 2016.

Residential units include 287 one bedroom and 322 two bedroom units with 1.5 and 3.0 occupants per unit respectively in accordance with IEPA guidelines. A wastewater flow generation rate of 80 gal/capita/day for residential uses was utilized. This value was based on local water usage rates for similar land uses and within recognized study range values as determined by a 2002 USEPA study.

Commercial uses include several restaurant/retail and mixed use buildings. The City and developer expect 33,150 sf of restaurant use and 83,328 sf retail (i.e. non-restaurant general commercial uses). These uses will be spread and distributed between buildings and phases based on market conditions. For restaurants the wastewater flow was generated based on data from the Restaurant Operations Report, 2010 to derive the average seats per square foot and the average turnover (meals / seat). The Illinois Administrative Code wastewater rate of 10 gpd/meal was utilized and applied to establish the final rate of 0.563 gpd/sf for restaurant use. For all other non-specific commercial uses a wastewater generation rate of 0.12 gpd/sf was utilized.

A peaking factor was applied to all average daily wastewater rates noted above. This factor is commonly applied and referenced in The Great lakes – Upper Mississippi Recommended Standards for Wastewater Facilities 2014 edition. All flows are considered as “full build out” conditions and phasing of the project was not considered.

There are three undeveloped parcels tributary to the sewer segments which will serve the proposed redevelopment. These parcels; Anderson property, Tri-City Plaza and Moose property, have been assigned uses and allowable square footage build out based on allowable zoning classifications and through discussion and direction from City staff. For the sake of simplicity all parcels are considered as “full build out” and flows applied at the upstream end of the sanitary sewer segments being evaluated.

The former St. Charles Mall, now demolished, consisted of 290,000 square feet of retail space. This includes two anchor stores; Kmart and Spiess and the remainder specialty store square footage. Utilizing the same flow generation rate for non-specific commercial uses noted above the “Old Mall” had the potential to generate an average of 34,800 gpd. By comparison the proposed uses are expected to generate an average 140,380 gpd.

Redevelopment System Connection

The existing sanitary sewer network serving the redevelopment parcel is tributary to a collector sewer that flows east along Fellows Street and then south along Seventh Court to Gray Street. From Gray Street flows travel east along Gray to Elm, Roosevelt, IL 31 and ultimately the Park Shore Siphon. The Fellows Street collector serves the neighborhood known as the Davis School area and has had a history of sanitary sewer backups during extreme rainfall events. Accordingly we recommend an alternate route for the redevelopment parcel that will divert flows away from the Fellows collector sewer to the Gray Street collector sewer. This alternate routing will route all proposed flows and some existing flows from the Fellows Street sanitary sewer to Gray Street. The sanitary sewer from the redevelopment site to Gray Street is a minimum 8 inch diameter pipe with limited tributary area and connections. Additionally, the City increased the Gray Street sewer from the Seventh Court to Elm Street to a 21 inch diameter pipe. An initial evaluation of these sewers indicate they have adequate capacity for the design event and proposed conditions. Re-routing of redevelopment flows benefits the City by rerouting flows from the Davis School area and benefits the development from having to reconstruct the Fellows Street collector sewer.

Gravity Sewer Capacity Evaluation

The capacity of the existing gravity sanitary sewer from the project site to the Park Shore siphon was determined based on a flowing full capacity utilizing manning’s equation. Pipe slopes were determined from data sources noted previously. Manning’s roughness coefficients were selected based on “normal” pipe condition for vitrified clay and PVC pipe as appropriate. It was determined that a 90% capacity threshold would be utilized to identify pipe segments requiring replacement. The 90% threshold accounts for pipe conditions of a mature collection system such as root intrusion, joint displacement and pipe integrity.

Proposed flow values were input for all proposed land development including the Prairie Centre project as well as all future development at the upstream end of the collection system. This is a conservative approach since the future Anderson property would connect to the system several segments downstream from the end segment.

Three flow scenarios were considered including:

- Existing Conditions (based on 2009 flow monitoring values)
- Proposed Conditions with Prairie Centre (full build out)
- Future Conditions with Prairie Centre and Future Development

A spreadsheet was developed that distributed peak sanitary, inflow and infiltration flows to each pipe segment within the system based on the Black and Veatch assignment except manhole 5.1 200 where flow values were determined based on proportional tributary area to each sewer segment. The total flow for the three conditions herein are compared to the 90% Manning's capacity to provide a recommendation for system improvements.

Results

Existing Conditions - Three segments of gravity sanitary sewer pipe are noted as deficient (greater than 90% capacity) under existing conditions with the worst segment being 100% flowing full capacity for the 10 year design event.

Proposed with Prairie Centre - Five segments of gravity sanitary sewer pipe are noted as deficient (greater than 90% capacity) under proposed conditions with Prairie Centre with the worst segment being 106% flowing full capacity for the 10 year design event.

Prairie Centre and Future Development - Five segments of gravity sanitary sewer pipe are noted as deficient (greater than 90% capacity) under future conditions with the worst segment being 108% flowing full capacity for the 10 year design event. It is noted that the first segment (upstream end) is reported at 91% capacity but not highlighted because flows from the Anderson property will connect well downstream of this location.

Four gravity sanitary sewer pipe segments are identified as backpitched and are noted as such on the spreadsheet. All segments are relatively short with the longest being 27 feet in length.

It is noted that the I & I values from flow monitoring are significantly greater than values generally used for sanitary sewer construction. The acceptable testing standards for new sewers according to the Greg Lakes – Upper Mississippi River Board - Ten State Standards of 100 gal/in/mi/day. It is common practice to utilize a factor of safety of 2.0 to this value to account for a mature or aging system. Applying a factor of 200 gal/in/mi/day to all segments in the system being evaluated results in a total I & I flows of 0.50 cfs. The I & I determined from the flow monitoring is 4.32 cfs or 864% of the design value noted herein.

Park Shore Siphon Flow Comparison

A comparison of flows at the Park Shore siphon was performed to determine the relative impact of the proposed Prairie Centre project with and without future development. A detailed evaluation and analysis of the siphon is not in the scope of this study and was not performed.

Similar to the gravity sewer analysis, flows from the Black and Veatch and RJN studies were compared and combined to establish three conditions:

- Existing
- Proposed with Prairie Centre
- Prairie Centre with future conditions

Peak sanitary flows were derived from the RJN flow monitoring study while I & I flows were derived from the Black and Veatch Study. The Proposed Prairie Centre and Future Development flows calculated for the gravity sewer evaluation were used in this flow comparison as well.

The estimated 10 year design event flows are 16.16 cfs for existing conditions, 16.47 cfs including Prairie Centre and 16.58 cfs including Prairie Centre with Future Development conditions. The increase in flow as a result of the Prairie Centre project is 2% of the existing flow to the siphon and not considered significant. Based on the limited increase in flows further evaluation of the siphon is not warranted as a result of the Prairie Centre project.

Recommendations

The results indicate a number of segments are over capacity and require replacement. As a practical matter, we recommend that sewer segments be grouped and replaced in series of pipes to create a defined project based on logical beginning and end locations. We also recommend that pipe diameters are dimensionally consistent and that no downstream pipe diameter is smaller than the upstream pipe diameter. Since there are significant segments of 21" diameter pipe on Gray and Elm Street (2,650 lf) we recommend all pipe downstream from these segments be no less than 21" diameter. A pipe system where downstream pipes have a smaller diameter are more prone to obstructions and blockages than a system where pipe sizes are consistent or increasing. Additionally the hydraulic losses due to a constriction and the smaller pipe size is significant. Additionally, a comparison of friction losses for the segments recommended for replacement show the existing 15" VCP to create 19.5 feet and 28.3 feet of friction losses when the pipes are in good (new) and poor (end of service life) conditions respectively. By comparison the proposed 21" PVC creates 2.1 feet and 3.2 feet of friction

losses when the pipes are in good (new) and poor (end of service life) conditions respectively. These values were calculated assuming 5 cfs peak design flow. This improvement in friction loss provides the potential to convey flow greater than the 10 year I & I design event considered herein and provides a factor of safety against increasing I & I as the City's sewer system ages.

Accordingly 21 segments of sanitary sewer along IL 31, Roosevelt and Elm Street are recommended for replacement and two segment recommended for lining.

Nine segments along IL 31 from the Park Shore Siphon to Roosevelt Street are recommended for replacement including eight 15" vitrified clay pipes (VCP) and one 18" VCP pipe. Nine segments of 15" VCP pipe along Roosevelt Street from IL 31 to Elm Street are recommended for replacement. Three segments of 15" VCP pipe along Elm Street from Roosevelt to Gray Street are recommended for replacement while two segments of 21"VCP are recommended for lining. It is noted that the segments recommended for lining are assumed to be in satisfactory structural condition which should be verified with preliminary design of any rehabilitation project. A Recommended Improvement evaluation was performed and the proposed sanitary sewer pipe size was determined based on the system being able to convey flows such that the flowing full capacity is less than 75% of the projected wastewater flows. It should be noted that all backpitched segments are replaced as a result of these recommendations except for one at the west end of Gray Street. We recommend this segment be surveyed to verify inverts and actual field conditions.

It is noted that some of the pipes recommended for replacement are not specifically attributable to the proposed Prairie Centre project. However, the rerouting of flows to Gray Street takes advantage of a prior sanitary sewer improvements funded entirely by the City. Additionally, consideration should be given to the age and condition of the downstream sewer system. Based on the assumed age of the pipes along IL 31 and Roosevelt the system can be generally considered to be near the end of its service life. The age of downstream sanitary sewers provides an opportunity for financial participation in sanitary sewer improvements and for the development to partner with the City in infrastructure improvements benefitting both the project and surrounding neighborhoods.

Cost Estimate

Concept level cost estimates have been developed to help determine the magnitude of cost for sanitary sewer rehabilitation projects. It is generally assumed that the sanitary sewer will be replaced in the same location as they exist today with an increase in pipe size or pipes will be lined. Costs have been developed considering three separate and distinct construction conditions and segment lengths. These segments are: Elm Street, Roosevelt Street and Illinois

Route 31 Sewers. The cost table below summarizes the project costs based on the afore-noted procedure and conclusions.

These costs are conceptual only and not based on preliminary engineering. Further refinement is recommended to better define project costs subsequent to approval of a final land plan and project scope evaluation by City staff.

			2016
Segment 1:	Elm Street	Sub-Total =	\$226,000
Segment 2:	Roosevelt Street	Sub-Total =	\$864,000
Segment 3:	IL Route 31	Sub-Total =	\$857,000
TOTAL =			\$1,947,000

Additional Consideration

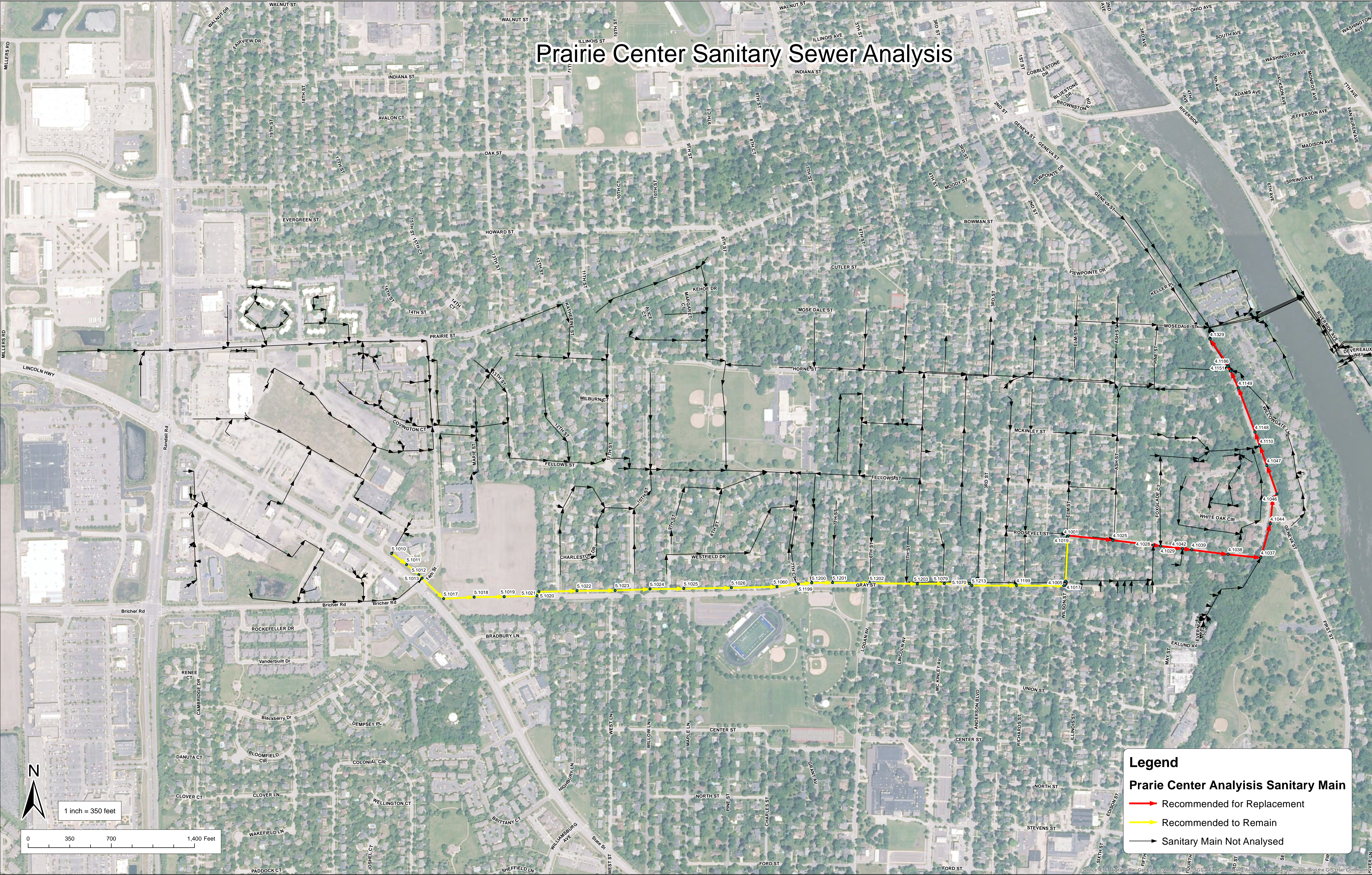
The City has recently drafted a Capacity Management Operations and Maintenance Plan (CMOM) for the wastewater collection system. The goal of the CMOM program is to reduce sanitary system overflows and basement backups through implementation of asset management techniques developed for wastewater collection systems. This plan sets forth a program of activities and funding strategies that will help the City manage the wastewater collections system and achieve the goals of the CMOM plan. The data collected for the CMOM plan is system wide and not specific to our study area. It was determined the CMOM data available at the time of this report would not be useful to this study and evaluation. However we advocate the City's efforts in developing a CMOM plan and recommend a continuing program to study and remove inflow and infiltration (I & I) from the wastewater collection system.

Also, it is recognized that the flow projections from the 1996 Black & Veatch study are extrapolated from flow monitor locations and data. Although this is determined to be the best available information, it is recommended that additional flow monitoring consistent with the CMOM plan for the sewer segments evaluated herein be initiated. Additional flow monitoring will provide specific flow values to better define the extent and timing of required sanitary sewer improvements.

Finally, this study is limited based on the focus towards the Prairie Centre project. The recommended improvements and costs noted herein require further evaluation and refinement and warrant a preliminary engineering phase prior to initiation of final design.

Appendix A

Prairie Center Sanitary Sewer Analysis



Legend

Prarie Center Analysis Sanitary Main

Recommended for Replacement

Recommended to Remain

Prairie Center Sanitary Sewer Capacity Analysis - 10 Year Event

10/6/20169:12 AM

Line ID	Street Name	Diameter (in)	Existing Pipe capacity (CFS)	90% Capacity	2009 Design Flow (CFS)	2009 Percent of Total Capacity	With Prairie Center Flow (CFS)	W/ P.C. % of Pipe Capacity	W/ P.C. & Future Dev. Flow (CFS)	W/ P.C. & F.D. % of Pipe Capacity	Proposed Pipe Diameter (in)	Proposed Pipe Capacity	W/ P.C. & F.D. % of Pr. Pipe Capacity
4.1186 - 4.1329	IL Rte 31	18	6.9	6.22	5.184	75%	5.50	80%	5.60	81%	21	10.43	54%
4.1187 - 4.1186	IL Rte 31	15	0.0	0.00	5.183	Backpitched	5.50	Backpitched	5.60	Backpitched	21	0.00	Backpitched
4.1187 - 4.1150	IL Rte 31	15	5.7	5.13	5.177	91%	5.49	96%	5.60	98%	21	13.98	40%
4.1149 - 4.1150	IL Rte 31	15	9.4	8.44	5.145	55%	5.46	58%	5.56	59%	21	23.00	24%
4.1148 - 4.1149	IL Rte 31	15	5.5	4.96	5.128	93%	5.44	99%	5.55	101%	21	13.52	41%
4.1110 - 4.1148	IL Rte 31	15	6.5	5.84	5.100	79%	5.42	84%	5.52	85%	21	15.91	35%
4.1047 - 4.1110	IL Rte 31	15	7.8	7.06	5.073	65%	5.39	69%	5.49	70%	21	19.25	29%
4.1046 - 4.1047	IL Rte 31	15	7.7	6.92	5.070	66%	5.39	70%	5.49	71%	21	18.85	29%
4.1045 - 4.1046	IL Rte 31	15	5.0	4.54	5.029	100%	5.35	106%	5.45	108%	21	12.38	44%
4.1044 - 4.1045	Roosevelt St	15	5.8	5.24	5.003	86%	5.32	91%	5.42	93%	21	14.28	38%
4.1037 - 4.1044	Roosevelt St	15	7.0	6.33	4.987	71%	5.30	75%	5.41	77%	21	17.25	31%
4.1038 - 4.1037	Roosevelt St	15	10.2	9.17	4.969	49%	5.29	52%	5.39	53%	21	25.00	22%
4.1039 - 4.1038	Roosevelt St	15	10.5	9.41	4.908	47%	5.22	50%	5.33	51%	21	25.64	21%
4.1042 - 4.1039	Roosevelt St	15	9.2	8.27	4.838	53%	5.15	56%	5.26	57%	21	22.54	23%
4.1029 - 4.1042	Roosevelt St	15	6.5	5.81	4.780	74%	5.10	79%	5.20	81%	21	15.83	33%
4.1028 - 4.1029	Roosevelt St	15	7.6	6.88	4.706	62%	5.02	66%	5.13	67%	21	18.76	27%
4.1025 - 4.1028	Roosevelt St	15	5.5	4.97	4.665	85%	4.98	90%	5.08	92%	21	13.53	38%
4.1019 - 4.1025	Roosevelt St	15	5.8	5.22	4.607	79%	4.92	85%	5.03	87%	21	14.24	35%
4.1001 - 4.1019	Elm St	21	14.2	12.81	4.604	32%	4.92	35%	5.02	35%		14.24	35%
4.1005 - 4.1001	Elm St	21	14.2	12.81	4.515	32%	4.83	34%	4.93	35%		14.24	35%
4.1017 - 4.1005	Elm St	21	14.2	12.81	4.512	32%	4.83	34%	4.93	35%		14.24	35%
4.1016 - 4.1017	Elm St	15	0.0	0.00	4.436	Backpitched	4.75	Backpitched	4.86	Backpitched	21	0.00	Backpitched
4.1198 - 4.1016	Gray St	21	0.0	0.00	4.435	Backpitched	4.75	Backpitched	4.86	Backpitched	21	0.00	Backpitched
4.1199 - 4.1198	Gray St	21	9.0	8.12	4.426	49%	4.74	53%	4.85	54%		9.02	54%
5.1213 - 4.1199	Gray St	21	9.9	8.90	4.416	45%	4.73	48%	4.84	49%		9.88	49%
5.1070 - 5.1213	Gray St	21	18.1	16.26	4.416	24%	4.73	26%	4.84	27%		18.07	27%
5.1079 - 5.1070	Gray St	21	11.1	10.00	4.378	39%	4.69	42%	4.80	43%		11.11	43%
5.1203 - 5.1079	Gray St	21	9.2	8.32	4.368	47%	4.69	51%	4.79	52%		9.25	52%
5.1202 - 5.1203	Gray St	21	9.8	8.85	4.352	44%	4.67	48%	4.77	49%		9.83	49%
5.1201 - 5.1202	Gray St	21	11.2	10.12	4.339	39%	4.66	41%	4.76	42%		11.25	42%
5.1200 - 5.1201 *	Gray St	21	8.5	7.65	4.332	51%	4.65	55%	4.75	56%		8.50	56%
5.1199 - 5.1200 *	Gray St	21	16.3	14.66	0.999	6%	1.32	8%	1.42	9%		16.29	9%
5.1060 - 5.1199	Gray St	12	4.3	3.85	0.973	23%	1.29	30%	1.39	33%		4.28	33%
5.1026 - 5.1060	Gray St	12	4.0	3.64	0.920	23%	1.24	31%	1.34	33%		4.05	33%
5.1025 - 5.1026	Gray St	12	2.5	2.23	0.865	35%	1.18	48%	1.28	52%		2.48	52%
5.1024 - 5.1025	Gray St	12	2.4	2.19	0.826	34%	1.14	47%	1.25	51%		2.44	51%
5.1023 - 5.1024	Gray St	12	2.4	2.18	0.784	32%	1.10	45%	1.20	50%		2.43	50%
5.1022 - 5.1023	Gray St	12	3.3	2.96	0.741	23%	1.06	32%	1.16	35%		3.29	35%
5.1021 - 5.1022	Gray St	12	2.3	2.07	0.696	30%	1.01	44%	1.12	48%		2.31	48%
5.1020 - 5.1021		12	0.0	0.00	0.694	Backpitched	1.01	Backpitched	1.11	Backpitched		0.00	Backpitched
5.1019 - 5.1020		12	1.5	1.35	0.656	44%	0.97	65%	1.08	72%		1.50	72%
5.1018 - 5.1019		12	1.6	1.48	0.617	38%	0.93	57%	1.04	63%		1.64	63%
5.1017 - 5.1018		12	1.7	1.52	0.579	34%	0.90	53%	1.00	59%		1.69	59%
5.1013 - 5.1017	IL Rte 38	12	1.9	1.75	0.552	28%	0.87	45%	0.97	50%		1.94	50%
5.1012 - 5.1013	IL Rte 38	8	3.2	2.84	0.533	17%	0.85	27%	0.95	30%		3.15	30%
5.1011 - 5.1012	IL Rte 38	8	2.0	1.84	0.469	23%	0.79	38%	0.89	43%		2.05	43%
5.1010 - 5.1011	IL Rte 38	8	0.9	0.80	0.385	43%	0.70	79%	0.81	91%		0.89	91%

* Jump in profile at structure 5.1200 due to discrete data sets not aligning and may not be representative of actual conditions.

Restaurant Wastewater Generation Rates

Restaurant Type	Median Sales (\$/seat)*	Median Sales (\$/SF)*	Average Daily Turnover*	SF/Seat	Meals / SF	GPD / Meal**	GPD/SF
Full Service - Mean Check < \$15	\$ 9,414.00	\$ 275.50	1.9	34	0.056	10	0.556
Full Service - Mean Check \$15-\$15	\$ 10,154.00	\$ 362.00	1.5	28	0.053	10	0.535
Full Service - Mean Check >\$25	\$ 11,474.00	\$ 415.50	0.8	28	0.029	10	0.290
Limited Service	\$ 11,197.00	\$ 314.69	3.1	36	0.087	10	0.871
Average GPD/SF							0.563

* Source: Restaurant Industry Operation Report, 2010 edition, published by the National Restaurant Association

** Source: IL Admin. Code Section 370, Appendix B, Table No. 2

Prairie Center Design Flow Rates

Use Type	Square feet	Units	Wastewater Generation Rate	Total GPD	Population Equivalent (assumes 100 gal/cap/day**)	Peaking Factor**	Peak Flow (GPD)	Peak Flow (CFS)
Residential - One Bedroom	N/A	287	120 GPD / unit*	34,440	345	1.6	55,799	0.086
Residential - Two Bedroom	N/A	322	240 GPD / unit*	77,280	773	1.4	111,300	0.172
Commercial - Restaurant	33,150	N/A	0.563 GPD / SF	18,661	187	1.8	33,443	0.052
Commercial - Non-Restaurant	83,328	N/A	0.1 GPD / SF + 20 GPD / Employee, (1 Employee / 1000 SF)	9,999	100	2.0	19,999	0.031
							Total peak flow (CFS)	0.341

On-site Buildings to be Demolished

Use Type	Square feet	Units	Wastewater Generation Rate	Total GPD	Population Equivalent (assumes 100 gal/cap/day**)	Peaking Factor**	Peak Flow (GPD)	Peak Flow (CFS)
Restaurant - Burger King	6000	N/A	0.563 GPD / SF	3378	34	2.4	8,189	0.013
Restaurant - Colonial Café	5400	N/A	0.563 GPD / SF	3040	31	2.5	7,489	0.012
							Total peak flow (CFS)	0.024

* Assumes 80 gal/cap/day

** From Recommended Standards for Wastewater Facilities 2014 Edition

$$\frac{Q_{Peak\ Hourly}}{Q_{Design\ Average}} = \frac{18 + \sqrt{P}}{4 + \sqrt{P}}$$

Proposed Development	0.341
Demolished Buildings	-0.024
Net Total Site Flow	0.317

Future Land Use Flow Rates

Future Development

Site	Use	Wastewater Generation Rate	Total Site Area (SF)	Floor Space (SF)**	Units	Wastewater Flow (GPD)	Population Equivalent (assumes 100 gal/cap/day***)	Peaking Factor***	Peak Flow (GPD)	Peak Flow (CFS)
Anderson Property	Retail	0.1 GPD / SF + 20 GPD / Employee, (1 Employee / 1000 SF)	217,800	54450	N/A	6,534	66	2.2	14,079	0.022
Anderson Property	Residential Senior Living*	144 GPD	309,276	N/A	46	6624	67	2.1	14,234	0.022
Tri-City Property	Retail	0.1 GPD / SF + 20 GPD / Employee, (1 Employee / 1000 SF)	264,152	66038	N/A	7,925	80	2.1	16,495	0.026
Tri-City Property	Resturant	0.563 GPD / SF	28,000	7000	N/A	3941	40	2.4	9,285	0.014
Moose Property	Retail	0.1 GPD / SF + 20 GPD / Employee, (1 Employee / 1000 SF)	189,000	47250	N/A	5,670	57	2.2	12,543	0.019
Total Peak Flow										0.103

* Assumes 80% 1 bedroom units (120 GPD), 20% 2 and 3 bedroom units (240 GPD)

** Assumes 1/4 of land will be developed as floor space

*** From Recommended Standards for Wastewater Facilities 2014 Edition

$$\frac{Q_{Peak\ Hourly}}{Q_{Design\ Average}} = \frac{18 + \sqrt{P}}{4 + \sqrt{P}}$$

Park Shore Siphon Flow Comparison

Basin	Existing Conditions					
	Peak Sanitary*		Peak I/I**		Sub-Basin Total	
	MGD	CFS	MGD	CFS	MGD	CFS
SC01	0.2	0.31	1.38	2.14	1.58	2.45
SC02	0.56	0.87	2.78	4.30	3.34	5.17
R4	0.48	0.74	5.04	7.80	5.52	8.54
Siphon Total					10.44	16.16

* From 2009 RJN Monitoring

** From 1996 B&V Report

Basin	Existing Conditions + Prairie Center Development ⁺					
	Peak Sanitary		Peak I/I		Sub-Basin Total	
	MGD	CFS	MGD	CFS	MGD	CFS
SC01	0.2	0.31	1.38	2.14	1.58	2.45
SC02	0.76	1.18	2.78	4.30	3.54	5.48
R4	0.48	0.74	5.04	7.80	5.52	8.54
Siphon Total					10.65	16.47

⁺ equal to existing conditions, but adds Prairie Center sanitary flow

Basin	Existing Conditions + Prairie Center + Future Development ⁺⁺					
	Peak Sanitary		Peak I/I		Sub-Basin Total	
	MGD	CFS	MGD	CFS	MGD	CFS
SC01	0.2	0.31	1.38	2.14	1.58	2.45
SC02	0.83	1.29	2.78	4.30	3.61	5.59
R4	0.48	0.74	5.04	7.80	5.52	8.54
Siphon Total					10.71	16.58

⁺⁺ equal to existing conditions, but adds Prairie Center sanitary flow and other future development sanitary flow

Pipe and Flow Distribution Data Sources

	Thompson	99 RHAA Plans	Linearly Interpolated				B&V Data	B&V Data, not direct ID Match			From 2009 RJN Report		
	GIS Data		Set = U/S invert in same structure				Interpolated	Flow split proportionally by area			Adjusted Proportionally		
	B&V Data		Assume 0.5%				Extrapolated				Asjusted Absolute Difference		
	Final Data						Final 1996 Flow Data				Peak Sanitary x 4.5 (10-yr peaking factor)		
											Adjust based on 2009 Data		
SEGMENTID	From Invert (ft)	To Invert (ft)	Length (ft)	Diameter (in)	Slope (%)	Cumulative Length (ft)	Peak Sanitary (CFS)	10-yr Total Infil. (CFS)	10-yr Total Infil. (CFS)	Total Flow (CFS)	Peak 10-yr 60-min total flows	Peak Sanitary (CFS)	I/I 10-yr 60 Total flows
4.1186 - 4.1329	679.3	677.81	298	18	-0.500%	298	0.495	0.186	4.132	4.813	1.980	0.866	2.847
4.1187 - 4.1186	679.27	679.3	9	15	0.333%	307	0.494	0.186	4.132	4.811	1.980	0.866	2.846
4.1187 - 4.1150	679.71	679.27	49	15	-0.898%	356	0.491	0.184	4.131	4.805	1.977	0.863	2.840
4.1149 - 4.1150	685.86	679.71	253	15	-2.431%	609	0.474	0.172	4.127	4.773	1.964	0.846	2.810
4.1148 - 4.1149	688.37	685.86	299	15	-0.839%	908	0.46	0.164	4.132	4.756	1.957	0.832	2.789
4.1110 - 4.1148	689.8	688.37	123	15	-1.163%	1031	0.448	0.155	4.125	4.728	1.946	0.820	2.765
4.1047 - 4.1110	692.78	689.8	175	15	-1.703%	1206	0.436	0.147	4.118	4.701	1.935	0.808	2.742
4.1046 - 4.1047	696.96	692.78	256	15	-1.633%	1462	0.424	0.138	4.136	4.698	1.933	0.796	2.729
4.1045 - 4.1046	697.27	696.96	44	15	-0.705%	1506	0.412	0.13	4.115	4.657	1.916	0.784	2.700
4.1044 - 4.1045	699.33	697.27	220	15	-0.936%	1726	0.4	0.121	4.11	4.631	1.906	0.772	2.678
4.1037 - 4.1044	703.5	699.33	305	15	-1.367%	2031	0.387	0.112	4.116	4.615	1.899	0.759	2.658
4.1038 - 4.1037	711.71	703.5	286	15	-2.871%	2317	0.375	0.104	4.118	4.597	1.892	0.747	2.639
4.1039 - 4.1038	721.06	711.71	309.6	15	-3.020%	2627	0.369	0.102	4.065	4.536	1.867	0.741	2.607
4.1042 - 4.1039	722.85	721.06	76.7	15	-2.335%	2703	0.363	0.1	4.003	4.466	1.838	0.735	2.573
4.1029 - 4.1042	725	722.85	186.9	15	-1.151%	2890	0.357	0.099	3.952	4.408	1.814	0.729	2.543
4.1028 - 4.1029	726	725.00	61.8	15	-1.617%	2952	0.35	0.097	3.887	4.334	1.783	0.722	2.505
4.1025 - 4.1028	728.88	726.00	342.2	15	-0.842%	3294	0.344	0.095	3.854	4.293	1.767	0.716	2.482
4.1019 - 4.1025	732.37	728.88	374.6	15	-0.931%	3669	0.338	0.093	3.804	4.235	1.743	0.710	2.453
4.1001 - 4.1019	732.48	732.37	11.9	21	-0.931%	3681	0.338	0.093	3.802	4.232	1.742	0.709	2.451
4.1005 - 4.1001	735.98	732.48	375.9	21	-0.931%	4057	0.325	0.090	3.728	4.143	1.705	0.697	2.402
4.1017 - 4.1005	736.10	735.98	12.9	21	-0.931%	4070	0.325	0.09	3.725	4.140	1.704	0.697	2.400
4.1016 - 4.1017	736.05	736.10	27.3	15	0.183%	4097	0.319	0.088	3.657	4.064	1.672	0.691	2.363
4.1198 - 4.1016	736.51	740.65	19.7	21	21.062%	4117	0.319	0.088	3.657	4.064	1.672	0.690	2.363
4.1199 - 4.1198	737.56	736.64	398.8	21	-0.231%	4515	0.309	0.085	3.659	4.054	1.668	0.681	2.349
5.1213 - 4.1199	738.70	737.66	375.3	21	-0.277%	4891	0.301	0.083	3.661	4.045	1.664	0.672	2.337
5.1070 - 5.1213	738.99	738.74	27.0	21	-0.926%	4918	0.300	0.083	3.661	4.044	1.664	0.672	2.336
5.1079 - 5.1070	739.83	739.09	211.4	21	-0.350%	5129	0.294	0.081	3.631	4.006	1.649	0.666	2.314
5.1203 - 5.1079	740.48	739.93	226.7	21	-0.243%	5356	0.292	0.080	3.625	3.997	1.645	0.663	2.308
5.1202 - 5.1203	741.68	740.58	401.4	21	-0.274%	5757	0.287	0.079	3.614	3.980	1.638	0.659	2.297
5.1201 - 5.1202	742.90	741.78	312.1	21	-0.359%	6069	0.284	0.078	3.605	3.967	1.633	0.656	2.288
5.1200 - 5.1201	743.36	743.00	175.8	21	-0.205%	6245	0.282	0.078	3.6	3.960	1.630	0.654	2.283
5.1199 - 5.1200	743.51	742.75	101	21	-0.752%	6346	0.045	0.012	0.571	0.628	0.258	0.417	0.675
5.1060 - 5.1199	748.35	745.2	189	12	-1.667%	6535	0.043	0.012	0.547	0.602	0.248	0.415	0.662
5.1026 - 5.1060	754.1	748.35	386	12	-1.490%	6921	0.039	0.011	0.498	0.548	0.226	0.411	0.637
5.1025 - 5.1026	756.35	754.1	402	12	-0.560%	7323	0.035	0.010	0.448	0.493	0.203	0.407	0.610
5.1024 - 5.1025	757.87	756.35	282	12	-0.539%	7605	0.032	0.009	0.413	0.454	0.187	0.404	0.591
5.1023 - 5.1024	759.48	757.87	301	12	-0.535%	7906	0.029	0.008	0.375	0.412	0.170	0.401	0.571
5.1022 - 5.1023	762.59	759.48	316	12	-0.984%	8222	0.026	0.007	0.335	0.369	0.152	0.398	0.550
5.1021 - 5.1022	764.14	762.59	321	12	-0.483%	8543	0.023	0.006	0.295	0.325	0.134	0.395	0.529
5.1020 - 5.1021	763.91	764.14	18	12	1.278%	8561	0.023	0.006	0.293	0.322	0.133	0.395	0.527
5.1019 - 5.1020	764.47	763.91	274	12	-0.204%	8835	0.020	0.006	0.258	0.284	0.117	0.392	0.509
5.1018 - 5.1019	765.16	764.47	282	12	-0.245%	9117	0.017	0.005	0.223	0.245	0.101	0.389	0.490
5.1017 - 5.1018	765.87	765.16	275	12	-0.258%	9392	0.015	0.004	0.189	0.207	0.085	0.387	0.472
5.1013 - 5.1017	766.55	765.87	198	12	-0.343%	9590	0.013	0.004	0.164	0.180	0.074	0.385	0.459
5.1012 - 5.1013	769.53	766.55	38	8	-7.842%	9628	0.011	0.003	0.146	0.161	0.066	0.383	0.449
5.1011 - 5.1012	773.66	769.53	125	8	-3.304%	9753	0.007	0.002	0.089	0.097	0.040	0.379	0.419
5.1010 - 5.1011	774.69	773.66	165	8	-0.624%	9918	0.001	0.000	0.012	0.014	0.006	0.373	0.378

Prairie Centre
Elm / Roosevelt / Illinois Route 31 Sanitary Trunk Sewer
Estimate Summary

Segment 1:	Elm Street	Sub-Total = \$225,533
Segment 2:	Roosevelt Street	Sub-Total = \$864,321
Segment 3:	Illinois Route 31	Sub-Total = \$857,457

TOTAL= \$1,947,311

Dollar Values are for year 2016

GJC
7/11/2016

\\VM-FIL1\Shared\CD-EN\PROJECTS-ENGINEERING\Active\Prairie Centre\Sanitary\Final Report 8-22-16\Summary Estimate 2016 Rev 1.xls 10/6/2016

GJC
7/11/2016

Notes
1. Sewer connections assumed based on adjacent rooftops. Services NOT replaced to ROW.

GJC
7/11/2016

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Prairie Centre Traffic Impact Study

Originally Submitted: August 17, 2016
Revision 1: January 3, 2017

Prepared for:

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I. Executive Summary

Shodeen Group has proposed redevelopment the former St. Charles Mall site on IL Route 38 just east of Randall Road in St. Charles, Illinois. Shodeen Group has previously proposed a number of redevelopment concepts, none of which has been executed. Hampton, Lenzini and Renwick, Inc. (HLR) provided traffic engineering services to the City of St. Charles on most of those previous concepts, the most recent of which was in the form of a Traffic Impact Study in 2010. At that time, the development was known as the St. Charles Towne Centre.

The current concept is a mixed-use development called the St. Charles Prairie Centre. The Prairie Centre property is a 26± acre site located on the block bounded by IL Route 38 (Lincoln Highway), Randall Road, Prairie Street, and 14th Street in the City of St. Charles. See the Appendix for a general location map of the study area, an aerial photo overview and a preliminary plan of the proposed development. The concept plan consists of a mix of restaurant, retail, and residential spaces. The current concept plan is similar to the 2010 concept but includes shorter buildings and fewer units. As currently proposed, the Prairie Centre will utilize and improve existing access locations onto IL Route 38 and Prairie Street. No new access points to the surrounding street system are proposed.

This report summarizes and documents the analyses and findings of the Traffic Impact Study performed by HLR based on the current concept provided by Shodeen Group. The original Traffic Impact Study was completed August 17, 2016. This revision incorporates the addition of 61 residential units to the concept by Shodeen Group after the initial study was submitted.

Existing Traffic Conditions

Peak period turning movement traffic counts were conducted on weekdays from 6:00 – 9:00 AM and from 3:30 – 6:30 PM and on Saturdays from 11:00 AM – 2:00 PM in May 2016 at the following 16 intersections:

- IL Route 38 & Randall Road
- IL Route 38 & Jewel Driveway
- IL Route 38 & West Mall Entrance
- IL Route 38 & East Mall Entrance/Vanderbilt Drive
- IL Route 38 & 14th Street/Bricher Road
- Randall Road & Prairie Street
- Prairie Street & Jewel Driveway
- Prairie Street & West Mall Entrance
- Prairie Street & East Mall Entrance
- Prairie Street & Covington Court/Wessel Court
- Prairie Street & 16th Street
- Prairie Street & 14th Street
- Prairie Street & 7th Street
- Prairie Street & 3rd Street
- 14th Street & Vanderbilt Drive
- 14th Street & Covington Court/Horne Street

Thirteen-hour weekday counts were also collected from 6:00 AM – 7:00 PM at three intersections on Prairie Street: at 14th Street, 7th Street and 3rd Street.

Traffic Projections

To account for increases in overall traffic growth beyond what the proposed developments will generate, the existing traffic volumes were increased using growth rates provided by the Chicago Metropolitan Agency for Planning (CMAP). A copy of the memo from CMAP regarding these growth rates is included in the Appendix.

Estimated Site-Generated Traffic

Site-generated traffic was estimated using the ITE's *Trip Generation Manual, 9th Edition*. Land use assumptions were based on information provided by the developer. The residential units were modeled with ITE Code 220, Apartment. The restaurant units were modeled as a combination of ITE Code 932, High-turnover (Sit-down) Restaurant, and ITE Code 934, Fast-food Restaurant with Drive-through Window. The retail units were modeled with ITE Code 826, Specialty Retail Center, except for the weekday AM peak hour, for which ITE Code 820, Shopping Center, was determined to be more reasonable. Adjustments were made to the generated trip amounts for a combined 20% internal capture and pass-by reduction applied to the appropriate uses. The table below summarizes the resulting generated traffic volumes.

Total New Trips after all Adjustments in veh/hr

Peak Hour	In	Out	Total
Weekday AM	382	497	879
Weekday PM	512	386	898
Saturday	489	463	952

Source: ITE *Trip Generation Manual, 9th Edition*

Analyses and Recommendations

Capacity analyses were performed for the study area intersections using Synchro and Highway Capacity Software. The analyses were run for the weekday AM and PM peak hours and the Saturday peak. Analyses were performed for the 2016 Existing Traffic, 2026 Base Year Traffic, and the 2026 Total Traffic. Signal warrants were also analyzed for three intersections on Prairie Street. The resulting recommendations are summarized below. Where a study area intersection is not listed below, no improvements are recommended, and no significant issues were discovered.

IL Route 38 & Randall Road: This intersection and its turn lanes have sufficient capacity to accommodate the projected 2026 Total Site traffic. Individual movements may operate at LOS E or F, though this is not entirely attributed to the Prairie Centre Development as this occurs in the 2026 Base Traffic scenario also. The proposed future Kane County improvement to add through-traffic lanes to Randall Road will further enhance the capacity of this intersection. No improvements to this intersection are recommended as a result of the proposed development.

IL Route 38 & West Mall Entrance: The site plans show conversion of the southbound approach to consist of an exclusive left turn lane, an exclusive through lane, and an exclusive right turn lane. Additionally, the northbound and southbound left turn phases should be converted to protected-permissive phasing.

IL Route 38 & 14th Street: This intersection has the overall capacity to accommodate the projected 2026 Total Traffic. Consideration should be made for adding a northbound right

turn lane to reduce existing delays and queues on that approach. No improvements are recommended in connection with the development.

Randall Road & Prairie Street: This intersection has the overall capacity to accommodate the projected 2026 Total Traffic. However, there are existing issues with the westbound left turn queues and with the interaction between this intersection and the Randall Road and IL Route 38 intersection. Reconfiguration of the westbound approach and the driveways on that leg could help address this problem. Further, the planned widening of Randall Road will help alleviate these issues. However, since these are existing issues, no specific improvements are recommended as part of this development.

Prairie Street & 14th Street: Under 2026 traffic, the northbound left will enter LOS F range during the PM peak hour. However, this intersection has the overall capacity to accommodate the 2026 Total Traffic volumes, with queues reaching four vehicles at most. Although traffic signal warrants are met under the existing traffic at the intersection, installation of traffic signal control is not recommended at this time.

Prairie Street & 7th Street: Base Year average delays for this intersection reach LOS F during the PM peak hour. Traffic signal control is warranted under existing traffic. A number of improvements could alleviate delays, including signalization or conversion to a roundabout. No improvements are recommended as a part of the development, as the issues here are primarily existing.

Prairie Street & 3rd Street: Base Year average delays for this intersection reach LOS F during the PM peak hour. Traffic signal control is warranted under existing traffic. A number of improvements could alleviate delays, including signalization or conversion to a roundabout. No improvements are recommended as a part of the development, as the issues here are primarily existing.

In summary, few improvements are recommended with this development. The analyses revealed existing concerns within the study area, particularly along Randall Road and along the east end of Prairie Street. While the Prairie Centre development related traffic is expected to contribute to these concerns, the analyses show that the problems will not be avoided by preventing the development.

Kane County has plans to widen Randall Road through the study area limits, which is expected to address the vast majority of issues at the Randall Road intersections. The Prairie Street intersections at 14th Street, 7th Street, and 3rd Street could be improved with signalization, conversion to modern roundabouts, or other possible solutions, as determined by the City of St. Charles.

II. Introduction

Shodeen Group has proposed redevelopment of their property on IL Route 38 just east of Randall Road in St. Charles, Illinois. The St. Charles Mall previously occupied this property before closing in 1996 and later being demolished. Since then, Shodeen Group has proposed a number of redevelopment concepts, none of which has been executed. Hampton, Lenzini and Renwick, Inc. (HLR) provided traffic engineering services to the City of St. Charles on most of those previous concepts, the most recent of which was in the form of a Traffic Impact Study in 2010. At that time, the development was known as the St. Charles Towne Centre.

The current concept is a mixed-use development called the St. Charles Prairie Centre. The Prairie Centre property is a 26± acre site located on the block bounded by IL Route 38 (Lincoln Highway), Randall Road, Prairie Street, and 14th Street in the City of St. Charles. See Exhibit 1A at the end of the report for a general location map of the study area. Exhibit 1B displays an aerial photo overview of the existing development parcel and adjoining land uses. A preliminary plan of the proposed development is included as Exhibit 2.

The Prairie Centre concept plan consists of a mix of restaurant, retail, and residential spaces. The current concept plan is similar to the 2010 concept but includes shorter buildings and fewer units. As currently proposed, the Prairie Centre will utilize and improve existing access locations onto IL Route 38 and Prairie Street. No new access points to the surrounding street system are proposed.

This report summarizes and documents the analyses and findings of the Traffic Impact Study performed by HLR based on the current concept provided by Shodeen Group. The original Traffic Impact Study was completed August 17, 2016. This revision incorporates the addition of 61 residential units to the concept by Shodeen Group after the initial study was submitted.

III. Existing Conditions

A field reconnaissance of the site was conducted to inventory information on surrounding land uses and the area roadway network. In addition, traffic counts were conducted during the morning, evening and Saturday peak periods at 16 critical intersections.

Surrounding Land Uses

Land uses surrounding the site are predominantly residential to the north and east and predominantly commercial to the south and west. A Jewel supermarket adjoins the west edge of the site, while a series of retail stores adjoin the southeast edge.

Surrounding Roadway Network

The major roadways servicing the study area are Randall Road and IL Route 38. Prairie Street is a collector route that also provides access to this area. 14th Street is a minor collector street to which the site will also have indirect access. A brief description of these roadways is provided below:

- **Illinois Route 38**, along the frontage of the proposed site, is a four-lane, two-way, east-west major arterial roadway. There is a flush median along the frontage of the site with pavement striping providing left turn lanes at both existing full-access entrances into the

site. The western entrance is controlled by traffic signals. The eastern entrance is controlled by a stop sign on the entrance approach. Approaching Randall Road, the IL Route 38 median is raised and widens to provide dual left turn lanes at the Randall Road intersection. IL Route 38 is under the jurisdiction of IDOT and is posted with a 45 miles-per-hour (mph) speed limit. It has *not* been designated as a Strategic Regional Arterial (SRA) by IDOT.

- **Randall Road** is a major north-south arterial roadway. Through this area, Randall Road provides two through lanes in each direction with left turn lanes at intersections. Randall Road is under the jurisdiction of the Kane County Division of Transportation (KDOT) and has been designated as an SRA. Randall Road is posted with a 45 mph speed limit. The Randall Road intersections with IL Route 38 and with Prairie Street are controlled by traffic signals, which are interconnected with signalized intersections to the north and south along Randall Road, as well as to the east and west along IL Route 38.
- **Prairie Street**, along the frontage of the proposed site, is a three-lane, two-way collector street. Prairie Street extends from Randall Road east over the Fox River to Riverside Avenue. Its intersection with Randall Road is controlled by traffic signals. Its intersections with 7th Street and with 3rd Street are controlled by all-way stop signs. Prairie Street is under the jurisdiction of the City of St. Charles and is posted with a 30 mph speed limit (25 mph east of 3rd Street).
- **14th Street** is a two-lane, two-way, north-south collector street that extends from IL Route 38 north to Prairie Street. 14th Street is under the jurisdiction of the City of St. Charles and is posted with a 25 mph speed limit.

Two other nearby streets of interest include 16th Street and Horne Street. 16th Street is a local street that extends north from Prairie Street and provides a connection to the neighborhood north of Prairie Street and east of Randall Road. Horne Street is a collector street that extends from IL Route 31 west to 14th Street. The westernmost three blocks of this route consist of several turns before Horne Street intersects 14th Street.

Existing Traffic Conditions

Peak period turning movement traffic counts were conducted on weekdays from 6:00 – 9:00 AM and from 3:30 – 6:30 PM and on Saturdays from 11:00 AM – 2:00 PM in May 2016 at the following 16 intersections:

- IL Route 38 & Randall Road
- IL Route 38 & Jewel Driveway
- IL Route 38 & West Mall Entrance
- IL Route 38 & East Mall Entrance/Vanderbilt Drive
- IL Route 38 & 14th Street/Bricher Road
- Randall Road & Prairie Street
- Prairie Street & Jewel Driveway
- Prairie Street & West Mall Entrance
- Prairie Street & East Mall Entrance
- Prairie Street & Covington Court/Wessel Court
- Prairie Street & 16th Street
- Prairie Street & 14th Street
- Prairie Street & 7th Street

- Prairie Street & 3rd Street
- 14th Street & Vanderbilt Drive
- 14th Street & Covington Court/Horne Street

Exhibit 3 in Appendix A presents the existing peak hour volumes at these intersections. Thirteen-hour weekday counts were also collected from 6:00 AM – 7:00 PM at three intersections on Prairie Street: at 14th Street, 7th Street and 3rd Street. It should be noted that the St. Charles Mall was demolished in 2002, well before the traffic counts were performed.

Traffic Projections

To account for increases in overall traffic growth beyond what the proposed developments will generate, the existing traffic volumes depicted on Exhibit 3 were increased at a rate of 1.04 percent per year on IL Route 38, 0.63 percent per year on Randall Road, 2.56 percent per year on Prairie Street, and 1.17 percent per year on 14th Street for 12 years. These growth rates were provided by the Chicago Metropolitan Agency for Planning (CMAP). A copy of the memo from CMAP regarding these growth rates is included in Appendix J. These increased traffic volumes were used to develop the 2026 Base Year Traffic.

Traffic generated by the new CVS Pharmacy and its outlots was added to the 2026 Base Year Traffic. This development was under construction at the time this study was executed. Table 1 below shows the traffic volumes added to the 2026 Base Year Traffic volumes. The traffic generated by this site was estimated using the Institute of Transportation Engineers' (ITE) *Trip Generation Manual, 9th Edition*. The ITE numbers referenced in Table 1 refer to the land use codes from the *Trip Generation Manual*. The final 2026 Base Year Traffic (no development) volumes can be seen in Exhibit 4.

Table 1
2026 Base Traffic Adjustments

Land Use	Weekday AM		Weekday PM		Saturday	
	In	Out	In	Out	In	Out
CVS Pharmacy (ITE 934)	22	20	59	59	48	49
Outlot (ITE 826)	13	15	14	16	1	1
Total Adjustment	35	35	73	75	49	50

Source: ITE Trip Generation Manual, 9th Edition

Capacity Analysis – Existing Traffic and 2026 Base Traffic

Capacity analyses of existing and 2026 Base Year (estimated short-term, no development) weekday AM and PM and Saturday mid-day peak hour traffic conditions were conducted at the aforementioned intersections.

Level of Service (LOS) criteria for signalized and stop sign controlled intersections are based on the methodologies presented in the *Highway Capacity Manual* (HCM) published by the Transportation Research Board (TRB). LOS criteria range from “A” (good) to “F” (poor) and are based on average delay. It should be noted that the LOS thresholds are different for signalized and stop sign controlled intersections. At two-way stop intersections, LOS criteria for stop sign controlled intersections are defined for each minor movement and are *not* defined for the intersection as a whole. The LOS delay thresholds for stop sign controlled intersections are also lower than for signalized intersections since driver expectation at a signalized intersection

is for a greater delay. The LOS criteria for signalized and stop sign controlled intersections are presented in Table 2.

Table 2
Level of Service Criteria for Signalized and Stop Sign Controlled Intersections

Signalized Intersections		
Level of Service	Type of Operating Condition	Average Vehicle Delay (seconds)
A	Very low delay, most vehicles arrive during the green and do not stop at all.	≤ 10.0
B	More vehicles stop at the traffic signal than LOS "A", but otherwise good progression of traffic through the intersection.	10.1 – 20.0
C	Congestion starts to occur; number of vehicles stopping at the intersection is significant.	20.1 – 35.0
D	Congestion is more noticeable, longer delays; some vehicles may not clear on a single cycle.	35.1 – 55.0
E	High delays, poor progression through intersection. Most vehicles do not clear the intersection on a single cycle.	55.1 – 80.0
F	Unacceptable high delay to drivers, demand exceeds capacity, increasing queue lengths.	> 80.0

Stop Sign Controlled Intersections

Level of Service	Average Control Delay (sec/veh.)
A	0 – 10
B	>10 – 15
C	>15 – 25
D	>25 – 35
E	>35 – 50
F	>50

Source: *Highway Capacity Manual 2000*, Transportation Research Board, National Research Council, Washington, D.C.

Table 3 presents the existing and 2026 Base Year (projected short-term) traffic operations at the signalized intersections studied. Analysis of 2016 existing traffic was conducted using existing signal controller settings and existing intersection geometry. Analysis of 2026 Base Year Traffic retained existing intersection geometry but assumed that the traffic signal timings would be re-optimized. Copies of the capacity analysis summaries conducted for the existing critical intersections are included in Appendices E and F.

Table 3
Summary of Existing and Base Year (no development) Traffic Conditions
Intersection Level of Service (LOS) and Delay (seconds)

Signalized Intersections

Intersection	Existing 2016 Traffic			Base Year 2026 Traffic (no site)		
	AM Peak	PM Peak	Sat Peak	AM Peak	PM Peak	Sat Peak
IL 38 & Randall Rd	D (39)	D (43)	D (43)	D (40)	D (49)	D (45)
IL 38 & West Mall Entrance	A (6)	A (6)	A (5)	A (6)	A (8)	A (7)
IL 38 & 14 th St	C (28)	C (32)	C (34)	C (24)	D (37)	C (31)
Prairie St & Randall Rd	B (11)	C (23)	C (28)	B (12)	D (42)	D (44)

It should be noted that some individual movements operate at LOS E or F. Table 4 gives a detailed breakdown of the 2026 Base Year Traffic, showing each individual movement's Level of Service.

Table 4
LOS & Delay by Movement for 2026 Base Traffic

Intersection	Peak Hour	Overall LOS & (delay)	LOS & (delay) by Movement											
			Eastbound			Westbound			Northbound			Southbound		
			L	T	R	L	T	R	L	T	R	L	T	R
IL 38 & Randall Rd	AM	D (40)	E (72)	D (54)	A (0)	E (67)	D (53)	B (15)	E (74)	D (38)	A (0)	F (81)	C (22)	A (3)
	PM	D (49)	F (84)	D (49)	A (6)	E (74)	E (73)	D (38)	E (77)	E (57)	A (0)	F (87)	C (28)	A (7)
	Sat	D (45)	F (87)	E (61)	A (9)	F (87)	F (87)	D (32)	E (63)	D (40)	A (1)	E (71)	C (26)	A (2)
IL 38 & W Mall Entrance	AM	A (6)	A (2)	A (6)		A (2)	A (2)		E (57)	B (17)		D (49)	D (48)	A (0)
	PM	A (8)	A (3)	A (6)		A (1)	A (5)		E (58)	B (15)		D (51)	D (46)	A (0)
	Sat	A (7)	A (3)	A (7)		A (1)	A (3)		D (49)	B (13)		D (43)	D (40)	A (0)
IL 38 & 14 th St	AM	C (24)	B (11)	B (19)		B (14)	B (19)		C (25)	D (43)		C (33)	D (35)	
	PM	D (37)	C (27)	C (38)		C (23)	C (34)		C (24)	E (56)		C (35)	D (40)	
	Sat	C (31)	B (16)	C (31)		D (37)	C (28)		B (18)	D (39)		C (24)	C (30)	
Prairie St & Randall Rd	AM	B (12)	D (45)	D (36)		E (68)	D (51)	A (10)	A (2)	A (5)		B (15)	B (12)	
	PM	D (42)	D (50)	D (37)		F (292)	E (61)	C (33)	B (11)	C (30)		D (43)	B (19)	
	Sat	D (44)	D (41)	D (53)		F (103)	D (53)	D (38)	B (16)	D (47)		E (75)	C (32)	

Analysis results show the following:

IL Route 38 and Randall Road: Under existing conditions and signal timings, this intersection operates at an over-all Level of Service D, although some individual movements currently operate at LOS E or F during peak times. With background traffic growth projected to 2026, and signal timings re-optimized, there will be both slight increases and slight decreases in delay depending on the particular movement and peak hour. Some vehicle queues do exceed turn lane storage lengths in both analyses, including some through-lane queues that extend beyond the turn lane tapers, periodically blocking entry by turning vehicles until through traffic moves up. Traffic volumes currently approach the capacity of the intersection and are expected to remain so under 2026 Base Year Traffic conditions.

IL Route 38 and the West Mall Entrance: Analyses of existing traffic using existing signal timing settings show minimal delays to IL Route 38 traffic through this intersection. Drivers on the shopping center driveway approaches experience delays in the range of LOS D. Currently, IL Route 38 traffic is assigned about 75% of the available green time, which is an appropriate balance based on traffic volumes and the need to move traffic on the arterial route. Traffic volumes currently do not exceed the capacity of the intersection and are not expected to do so under 2026 Base Year Traffic conditions.

IL Route 38 and 14th Street: Traffic on IL Route 38 currently operates at an acceptable LOS C with small increases to delay in the projected 2026 base year. Vehicle queues do not exceed turn lane storage lengths in either analysis, although through-lane queues will extend beyond the turn lane tapers, periodically blocking entry by turning vehicles until through traffic moves up. As the volume of through traffic increases on IL Route 38, delays for all left turns and cross street movements will increase. However, analyses of existing and the 2026 base year show that traffic will not exceed the capacity of the intersection. Note that there are also lengthy delays on the northbound approach. Addition of a northbound right turn lane could reduce these delays. However, as mitigation for an existing issue, this improvement is not recommended as part of this study.

Prairie Street and Randall Road: Analysis of existing traffic shows that the overall Level of Service at this intersection is B to C. However, during PM and Saturday peak periods, the queue of westbound left turning traffic significantly overflows the westbound left turn lane. This movement operates at LOS E or F during these times. Green time for Prairie Street is limited by the need to provide adequate time for the large volume of traffic flowing on Randall Road and to keep these movements coordinated with the nearby IL Route 38/Randall Road intersection to the south. The existing peak period overflow of the westbound left turn lane will frequently block the Jewel Supermarket driveway, as well as the entrance to the retail strip mall on the south side of the street west of the Jewel store. These entrances could be converted to allow only right turns to reduce potential conflicts for left turning driveway traffic with the westbound queues from Randall Road. The retail development on the north side of Prairie Street has access to another Prairie Street driveway 200 feet to the east, and the Jewel supermarket has access to another Prairie Street driveway about 500 feet to the east. Additionally, the full access entry to the Jewel site could be relocated to align with the drive aisle at the front of the Jewel store to maintain Jewel's current access. Cross access from the Jewel site would need to be provided to the retail strip mall in the southeast corner of Randall Road and Prairie Street, since that site's full access on Prairie Street is currently its only access. This driveway conversion would enable the Prairie Street westbound left turn

lane at Randall Road to be lengthened, allowing traffic to clear more efficiently during the westbound left turn arrow. In order to reinforce the right-turn-only operation of these driveways and prevent illegal left turns, the flush median on Prairie Street would need to be converted to a raised median from Randall Road at least along the length of the extended westbound left turn lane and preferably to the relocated full access Jewel driveway.

In the 2026 PM and Saturday peak hours, northbound through queues are expected to spill back into the Randall Road/IL Route 38 intersection. The best way to alleviate this concern is to construct the planned widening of Randall Road to six lanes, which is discussed in detail later in this report.

Table 5 shows a summary of analysis results for stop sign controlled intersections. Capacity analyses of stop sign controlled intersections provide Levels of Service and delays for individual intersection movements, but not the intersection as a whole. Results for the most critical movement at each intersection are shown in the table below.

Table 5
Summary of Existing and Base Year (no development) Traffic Conditions
Level of Service (LOS) and Delay (seconds)
Stop Sign Controlled Intersections

Critical Movement	Existing 2016 Traffic			Base Year 2026 Traffic (no site)		
	AM Peak	PM Peak	Sat Peak	AM Peak	PM Peak	Sat Peak
East Mall Entrance at IL 38	SB D (25)	SB D (28)	NB E (45)	NB C (23)	SB F (62)	NB F (85)
Prairie St at West Mall Ent.	NB A (9)	NB B (12)	NB B (10)	NB B (11)	NB B (13)	NB B (11)
Prairie St at East Mall Entrance	NBL B (13)	NBL C (15)	NBL B (13)	NBL B (15)	NBL C (19)	NBL C (16)
Prairie St at 16 th St	SB B (12)	SB B (15)	SB B (13)	SB B (14)	SB C (19)	SB C (17)
Prairie St at 14 th St	NBL C (16)	NBL D (31)	NBL C (19)	NBL C (20)	NBL F (73)	NBL D (33)
Prairie St at 7 th St	EB D (26)	WB D (27)	EB B (13)	EB E (39)	WB F (82)	EB C (16)
Prairie St at 3 rd St	EB D (27)	WB E (36)	WB B (14)	EB E (50)	WB F (197)	WB C (21)
14 th St at Covington Ct	WB B (12)	WB C (17)	WB B (12)	WB B (13)	WB C (19)	WB B (14)
14 th St at Vanderbilt Dr	EB B (11)	EB B (12)	EB B (12)	EB B (12)	EB B (15)	EB B (14)

Analysis of existing conditions and 2026 Base Year (no development) Traffic shows that the critical movements at the majority of the stop-controlled intersections included in the analysis operate at acceptable LOS D. There are some exceptions described below, which operate below LOS D.

East Mall Entrance at IL Route 38: The northbound approach during the Saturday peak hour currently has an LOS E. Both northbound and southbound are projected to have LOS F in

2026, with delays reaching 85 seconds for northbound traffic in the Saturday peak. The delays to the Entrance can be attributed to the large volume of east- and westbound through traffic conflicting with the left turning traffic from the Entrance. The expected 95% queue approaches 70 feet (almost three vehicles) in 2026.

Prairie Street at 14th Street: The northbound left turn movement during the 2026 Base Year PM peak hour is expected to reach LOS F, with delays up to 73 seconds. This delay can be attributed to the northbound left turning traffic having to wait for a sufficient gap in the east- and westbound through traffic. This approach is not expected to have any queuing problems, as the expected 95% queue is only 75 feet (three vehicles) which is well within the provided storage length. Although traffic signal warrants are met under the existing traffic at the intersection, installation of traffic signal control is not recommended at this time. The intersection currently operates satisfactorily under stop sign control. Further, signalization of the intersection could contribute to or create operational problems at Prairie Street and 16th Street, likely due to the resulting eastbound queues. Conversely, it could create gaps for turning traffic to enter Prairie Street by creating platoons and gaps of vehicles on Prairie Street. It is therefore recommended that there be no immediate change made to the intersection traffic control or geometry and that the intersection be monitored periodically as the site is developed, for example after each development phase, to determine the need for any changes in traffic control or geometry. If traffic control changes are to be made in the future, careful attention should be paid to the impacts on the adjacent 16th Street intersection.

Prairie Street at 7th Street: The eastbound and westbound movements are expected to experience LOS E or F during the weekday peaks in 2026, with the highest delay at 82 seconds. This delay can be attributed primarily to the large volume of traffic using Prairie Street during these peak periods. Despite these delays, the analysis results show the intersection approaching capacity in this scenario.

Prairie Street at 3rd Street: The westbound movement during the PM peak hour has an LOS E. In the base year 2026 scenario, that LOS drops to F, while the eastbound approach drops to E in the AM peak. In the 2026 PM peak, the eastbound and southbound movements also drop to LOS F. Delays up to 197 seconds are anticipated. This delay can be attributed primarily to the large volume of traffic using this intersection. The analysis results show the intersection approaching capacity. Even with some capacity at this intersection, attention should be paid to the interaction of traffic here with the intersection of IL Route 31 and Prairie Street. Based on the data, this will be of primary concern for westbound traffic during the PM peak. Queues at this intersection are likely to back into the IL Route 31 intersection. Also, eastbound queues from the IL Route 31 intersection could back into this intersection.

IV. Site Traffic Characteristics of Proposed Development

Proposed Land Uses

The concept plan for the proposed development includes the following uses:

- Residential
- Restaurant
- Retail

The current site plan has a number of restaurants along the IL Route 38 frontage, with some sit-down type restaurants and some fast food. The remainder of the site consists of 16 four-story

buildings. The central ones are planned to be residential consisting of apartments. Those closer to IL Route 38 and to Prairie Street will have apartments on the upper floors, while the ground floor will be retail.

The proposed site will also include the necessary access lanes, parking lots, and landscaped areas required by City ordinances. Access to the site is proposed via the following locations:

- IL Route 38 & Jewel right-turns-only driveway (existing, near west edge of site)
- IL Route 38 & West Mall Entrance (existing)
- IL Route 38 & East Mall Entrance (existing, west of JiffyLube)
- Prairie Street & West Mall Entrance (existing, behind Jewel)
- Prairie Street & East Mall Entrance (existing)
- 14th Street & Vanderbilt Drive (existing indirect access, south of Binny's)

The locations of proposed points of access can be seen on the aerial photo in Exhibit 1B and on the concept plan in Exhibit 2. For traffic projection purposes, it is assumed that traffic signal control will remain at the IL Route 38/West Mall Entrance intersection. All other entrances to the proposed site will be controlled by stop signs on the minor street approaches.

Estimated Site-Generated Traffic

Site-generated traffic was estimated using the ITE's *Trip Generation Manual, 9th Edition*. The residential units were modeled with ITE Code 220, Apartment. The restaurant units were modeled as a combination of ITE Code 932, High-turnover (Sit-down) Restaurant, and ITE Code 934, Fast-food Restaurant with Drive-through Window. The retail units were modeled with ITE Code 826, Specialty Retail Center, which was determined to be the most appropriate use based on the information provided by the developer. However, there is no trip generation data for the weekday AM peak hour of adjacent street traffic for this use. The trip generation based on the weekday AM peak hour of the generator resulted in volumes that were much higher than seemed reasonable. Therefore, for the weekday AM peak hour trip generation estimates, the retail units were based on ITE Code 820, Shopping Center, weekday AM peak hour of adjacent street traffic. With the final site occupants unknown, it was determined that attempting further detail in land uses would be inappropriate at this time. The proposed land uses and sizes provided by the developer were used to estimate morning, evening, and Saturday peak hour trips to and from the site. The resulting generated traffic is shown in Table 6 below. Also refer to Appendix M for a more detailed breakdown.

Table 6
Trip Generation Table

Land Use	ITE Code	Units	Qty	AM Peak Hour Volumes (veh/hr)			PM Peak Hour Volumes (veh/hr)			SAT Peak Hour Volumes (veh/hr)		
				In	Out	Total	In	Out	Total	In	Out	Total
Residential	220	DU	670	66	266	332	251	135	386	174	174	348
Retail	826	1000 SF	83	86	53	139	97	124	221	18	17	35
Sit-down Restaurants	932	1000 SF	26	156	127	283	155	103	258	196	173	369
Fast-food	934	1000 SF	7	161	155	316	118	109	227	209	201	410

Source: ITE *Trip Generation Manual, 9th Edition*

These projected trips have been adjusted for "internal capture" where there is potential for interaction among various uses within the multi-use site, i.e. between residential and restaurant

or between residential and retail. These trips occur entirely within the site and account for a portion of the trips generated by each land use. The capture rate of 15% percent was calculated using the ITE Internal Capture worksheet provided in Chapter 7 of the ITE *Trip Generation Handbook*. ITE internal capture estimation methods only pertain to PM peak hour scenarios. In order to determine the most accurate rate for AM and Saturday peaks, an internal capture field study would be required. Without conducting an internal capture field study, it is reasonable to apply the PM peak hour rate to all scenarios. A discussion of multi-use developments and internal capture from the ITE *Trip Generation Handbook* is included in Appendix N to this report for further reference.

The projected trip generation has also been adjusted for pass-by trips. Pass-by trips are those that already exist on the network but make an intermediate stop at the site location. For example, a driver on their way to work may leave their primary route to buy a cup of coffee and then re-enter their route at the same location. This would add turning movements to the intersection by diverting pre-existing main street through movements. A visual representation of this is provided in Exhibit 5. In the St. Charles Prairie Centre case, pass-by trip generation would not apply to the residential uses. A 5% pass-by rate was applied to the retail and restaurant uses. A higher pass-by rate would be reasonable given the proposed site uses, but IDOT limits the amount of internal capture and pass-by rates to a combined 20%. The resulting trip generation, in terms of its impact to the external intersections, is therefore conservatively high. It was determined that pass-by trips would most likely utilize primarily the West Mall Entrance on IL Route 38. The pass-by trip adjustment is provided in Exhibit 6. In Table 7, a summary is given of the total new trips generated after the internal capture and pass-by adjustments.

Table 7
Total New Trips after all Adjustments in veh/hr

Peak Hour	In	Out	Total
Weekday AM	382	497	879
Weekday PM	512	386	898
Saturday	489	463	952

Source: ITE *Trip Generation Manual*, 9th Edition

Estimated Trip Distribution

The direction by which traffic will approach and depart the site is dependent on a variety of factors. These factors include existing travel patterns, characteristics and operating conditions of the surrounding roadways, ease of access, location of population and employment centers, and locations of similar competing uses. Based on these factors and a familiarity with the sites and the environs, trip distribution estimates were developed and are presented on Exhibit 7. Separate distribution factors were used for residential, office, and commercial trips, which are reflected in the exhibit. In that exhibit, the Commercial rates provided apply to the restaurant and retail uses. Note that the Commercial rates also apply to the CVS Pharmacy use and its outlots in the development of the 2026 Base Year Traffic.

Site Traffic Assignments

The estimated site-generated traffic volumes from the proposed development were assigned to the area roadway system based on the directional distribution identified above and on Exhibit 7. These volumes are the adjusted volumes, having removed internally captured trips and pass-by

trips, only leaving primary trips to and from the St. Charles Prairie Centre. The primary trip assignments for the proposed Prairie Centre development are illustrated on Exhibit 8 in Appendix A. The trip assignments presented on Exhibit 8 do *not* reflect assignment of the *off*-site development generated traffic from the CVS Pharmacy and its outlots described previously. These trips were included in the 2026 Base Year Traffic.

Total Traffic Assignments

The development's generated site traffic assignment was then combined with the pass-by traffic and the 2026 Base Year projected traffic to develop a Total Traffic Assignment, shown on Exhibit 9 in Appendix A.

V. Future Traffic Operations

Traffic Operations

Capacity analyses were conducted based on the traffic volumes estimated for the projected traffic assignments at the 16 intersections included in this study. Traffic signal warrant evaluation is discussed later in the report. There are several geometric improvements already included in these analyses. These improvements are those proposed at the entrances as shown on the developer's current concept plan. These improvements include reconstruction of the exit approaches to add or better demarcate turn lanes. The West Mall Entrance at IL Route 38 will have an exclusive left turn lane, an exclusive through lane, and an exclusive right turn lane on the exiting approach. At the East Mall Entrance on IL Route 38, the exiting approach will consist of an exclusive left turn lane and a shared through/right turn lane. The exiting approach of the East Mall Entrance on Prairie Street will have an exclusive left turn lane and an exclusive right turn lane. The lane configurations used in the 2026 Total Traffic analysis can be seen in Exhibit 10 in Appendix A.

For the analysis of 2026 Total Traffic conditions, no other geometric improvements were assumed. However, the signal timing plans were optimized for the anticipated traffic levels. There was one significant change recommended for this scenario. The existing northbound and southbound left turn phasing at the West Mall Entrance on IL Route 38 is permissive only. That is, left turns from the entrance approaches are currently only permitted with the green ball. Under the 2026 Total Traffic, it is recommended that exclusive left turn phases be added to these movements, converting them to protected/permitted left turns. Under protected/permitted operations, left turns are protected by left turn arrows for a portion of the cycle and then are permitted concurrently with the adjacent green ball during another portion of the cycle. Additionally, the analyses allowed for various lead/lag operations at Randall Road and Prairie Street. This intersection is owned by Kane County, and the signals have 4-section Flashing Yellow Arrow operation for all of the left turns, which enables a lot of flexibility. This flexibility in operation was not assumed at any of the IL Route 38 intersections because IDOT has been very hesitant to adopt such signal improvements and operations. Table 8 presents the results of the capacity analyses and provides a comparison to the year 2026 Base Year (no development) Traffic discussed earlier in this report. Synchro reports are also included in Appendices G and H for the 2026 Total Traffic with and without changes to the system.

Table 8
Summary of Base Year (no development) and Total (with site) Traffic Conditions
Intersection Level of Service (LOS) and Delay (seconds)
Signalized Intersections

Intersection	Base Year 2026 Traffic (no site)			2026 Total Traffic (with site)		
	AM Peak	PM Peak	Sat Peak	AM Peak	PM Peak	Sat Peak
IL 38/ Randall Rd	D (40)	D (49)	D (45)	D (41)	D (52)	D (39)
IL 38/ West Mall Entrance	A (6)	A (8)	A (7)	A (8)	B (13)	B (17)
IL 38/ 14 th St	C (24)	D (37)	C (31)	B (19)	C (34)	C (32)
Prairie St/ Randall Rd	B (12)	D (42)	D (44)	B (12)	D (47)	E (56)

Note that when traffic growth occurs and signal timings are re-optimized to favor the higher-volume arterial street traffic, the over-all intersection delay may reduce, even though delays for some minor street movements will increase. Some individual movements have LOS E or F.

Table 9 shows a detailed breakdown of individual movements for the 2026 Total Traffic.

Table 9
LOS & Delay by Movement for 2026 Total Traffic with Improvements

Intersection	Peak Hour	Overall LOS & (delay)	LOS & (delay) by Movement											
			Eastbound			Westbound			Northbound			Southbound		
			L	T	R	L	T	R	L	T	R	L	T	R
IL 38 & Randall Rd	AM	D (41)	E (61)	D (54)	A (0)	E (63)	D (51)	B (18)	E (61)	D (42)	A (3)	E (74)	C (26)	A (4)
	PM	D (52)	F (101)	D (49)	B (11)	E (62)	E (61)	D (38)	E (62)	E (80)	A (8)	F (86)	C (21)	A (7)
	Sat	D (39)	D (50)	E (74)	B (13)	D (49)	E (55)	D (48)	B (18)	D (40)	A (8)	D (50)	C (28)	A (4)
IL 38 & W Mall Entrance	AM	A (8)	A (2)	A (3)		A (5)	A (9)		D (39)	B (18)		D (44)	D (47)	B (13)
	PM	B (13)	B (15)	B (15)		A (2)	A (7)		D (40)	B (17)		D (43)	D (49)	B (16)
	Sat	B (17)	B (16)	C (23)		A (3)	A (6)		D (50)	B (19)		D (54)	E (58)	B (16)
IL 38 & 14 th St	AM	B (19)	A (4)	A (8)		B (15)	B (19)		C (25)	D (45)		D (35)	C (35)	
	PM	C (34)	D (40)	B (19)		C (23)	D (35)		C (25)	E (59)		D (45)	D (41)	
	Sat	C (32)	A (9)	B (19)		C (30)	C (29)		C (28)	E (60)		D (46)	D (42)	
Prairie St & Randall Rd	AM	B (12)	D (39)	C (30)		E (65)	D (48)	B (17)	A (2)	A (5)		C (30)	B (11)	
	PM	D (47)	D (44)	D (43)		F (130)	E (55)	C (30)	C (22)	D (55)		F (86)	C (22)	
	Sat	E (56)	D (51)	F (86)		F (137)	E (63)	E (59)	C (24)	E (60)		F (119)	C (32)	

Analysis of the 2026 Total Traffic shows the following results:

IL Route 38 and Randall Road: With projected 2026 Total Traffic and re-optimized signal timings, this intersection operates at an over-all Level of Service D, although some individual movements will operate at LOS E or F during peak times. There is a general increase in delay when compared to the 2026 Base Year Traffic, which would be expected due to the additional traffic. Vehicle queues do not exceed turn lane storage lengths, although through-lane queues will occasionally extend beyond the turn lane tapers, periodically blocking entry by turning vehicles until through traffic moves up. Traffic volumes will not exceed the capacity of the intersection, though several movements do approach capacity. This analysis is very similar to both the existing conditions and the 2026 Base Year conditions, in which the intersection also approaches capacity. Virtually all of the potential improvements that could be reasonably considered have already been implemented at this intersection. Additional capacity was already recognized by Kane County as a need for Randall Road, hence the projected widening of Randall Road, which is discussed later in this report. Widening of IL Route 38 could similarly have beneficial impacts on operation.

IL Route 38 and the West Mall Entrance: With the projected 2026 Total Traffic and re-optimized signal timings, as well as the additional northbound and southbound left turn phases, this intersection operates at an overall LOS B during the PM and Saturday peaks. Drivers on the proposed site roadway approaches may experience delays in the range of LOS D or even E. Left turn queues are expected to reach six to seven vehicles. Currently, IL Route 38 traffic is assigned about 75% of the available green time, which can be expected in the future, since these signals are controlled by IDOT. Traffic volumes are not expected to exceed the capacity of the intersection under 2026 Total Traffic conditions.

IL Route 38 and 14th Street: With the projected 2026 Total Traffic and re-optimized signal timings, the intersection is expected to experience similar delays to those in the 2026 Base Year analysis, with different movements showing either slightly higher or slightly lower delay. The overall LOS is expected to be C or better. Analysis of 2026 Total Traffic shows that projected traffic will not exceed the capacity of the intersection.

Prairie Street and Randall Road: Analysis of 2026 Total Traffic with signal timings re-optimized and variable left turn phasing shows that the overall Level of Service at this intersection will be B to E. The queue of westbound left turning traffic will continue to overflow the westbound left turn lane frequently during peak times. This movement will operate at LOS F during the PM and Saturday peaks. The queue of southbound left turning traffic during the PM and Saturday peak hours can also be expected to overflow the left turn lane with vehicle queues of 10 to 15 cars. This movement will operate at LOS F during the AM and Saturday peaks. As previously noted, green time for Prairie Street will continue to be limited by the need to provide adequate time for the large volume of traffic flowing on Randall Road and to keep these movements coordinated with the nearby IL Route 38/Randall Road intersection to the south. Further, the northbound through queue can be expected to spill back into the Randall Road/IL Route 38 intersection in the PM and Saturday peaks. This intersection, similar to the existing and 2026 Base Year Traffic, is expected to operate at or near capacity in peak periods. As mentioned under the Base Year analysis, the best solution is to execute the planned widening of Randall Road. The widening of Randall Road is described in greater detail later in the report. Alternative improvements could include extending turn lanes, adding right turn lanes, or reconfiguring the driveways on

Prairie Street east of Randall Road to reduce their potential interaction with the intersection, which is also discussed under the Base Year analysis.

In summary, the two Randall Road intersections are currently experiencing capacity issues, which are expected to continue into the future. The addition of traffic from new developments in the area will exacerbate these conditions. Optimizing the traffic signals and changing the order of phase operations can help significantly. Further improvements are needed to address what is an existing issue. Conversely, the other two signalized intersections studied are expected to continue to operate under capacity with relatively minimal changes, namely the addition of the left turn phases at the West Mall Entrance.

Table 10 shows a summary of analysis results for stop sign controlled intersections under 2026 Total Traffic. As noted before, capacity analyses of stop sign controlled intersections provide Levels of Service and delays for individual intersection movements, but not the intersection as a whole. Results for the most critical movement at each intersection are shown in Table 10.

Table 10
Summary of Base Year (no development) and Total (with site) Traffic Conditions
Level of Service (LOS) and Delay (seconds)
Stop Sign Controlled Intersections

Critical Movement	Base Year 2026 Traffic (no site)			2026 Total Traffic (with site)		
	AM Peak	PM Peak	Sat Peak	AM Peak	PM Peak	Sat Peak
East Mall Entrance at IL 38	NB C (23)	SB F (62)	NB F (85)	SBL E (42)	SBL F (175)	NB F (165)
Prairie St at West Mall Entrance	NB B (11)	NB B (13)	NB B (11)	NB B (14)	NB C (18)	NB B (15)
Prairie St at East Mall Entrance	NBL B (15)	NBL C (19)	NBL C (16)	NBL C (23)	NBL D (34)	NBL C (26)
Prairie St at 16 th St	SB B (14)	SB C (19)	SB C (17)	SB C (16)	SB C (24)	SB C (21)
Prairie St at 14 th St	NBL C (20)	NBL F (73)	NBL D (33)	NBL C (25)	NBL F (113)	NBL E (45)
Prairie St at 7 th St	EB E (39)	WB F (82)	EB C (16)	EB F (81)	WB F (131)	EB C (24)
Prairie St at 3 rd St	EB E (50)	WB F (197)	WB C (21)	EB F (87)	WB F (237)	WB D (31)
14 th St at Covington Ct	WB B (13)	WB C (19)	WB B (14)	WB B (13)	WB C (20)	WB B (14)
14 th St at Vanderbilt Dr	EB B (12)	EB B (15)	EB B (14)	EB B (11)	EB B (15)	EB B (14)

Analysis of 2026 Total Traffic shows that critical movements at the stop-controlled intersections included in the analysis operate in range of Level of Service from B to F. Below is a description of the intersections not meeting LOS D or better. See also Exhibit 12 for queue comparisons.

East Mall Entrance at IL Route 38: The southbound left turn movement is expected to operate at LOS F during the PM and Saturday peak hours. However, the vehicle queues are only anticipated to reach two cars, and the analyses show the intersection having reached

only about half its capacity. The large delay is caused by the large volume of through traffic on IL Route 38. There will be very few acceptable gaps for left turning vehicles to utilize. Further geometric improvements will not significantly affect the delay. Signalization is not appropriate to consider, as IDOT would not allow it due to the close spacing of existing signalized intersections nearby. No improvements are recommended.

14th Street at Prairie Street: The northbound left turn movement is expected to operate at a LOS E during the Saturday peak hour and F during the PM peak hour. Vehicle queues are not expected to grow by more than one vehicle. However, a left turning vehicle may be delayed an extended period of time waiting for a sufficient gap in traffic. The analysis results also show plenty of remaining capacity at this intersection. No improvements are recommended. See the Base Year analysis for a discussion of signalization.

Prairie Street at 7th Street: This intersection is expected to exceed capacity with the addition of 2026 Total Traffic volumes. Both the east- and westbound movements at this intersection are expected to see LOS F during the AM and PM peak hours. This delay is caused by the large volume of vehicles making a stop at this intersection. According to the analysis results, the intersection has not reached capacity. No improvements are recommended.

Prairie Street at 3rd Street: This intersection is expected to be near capacity in the PM peak hour with the addition of 2026 Total Traffic volumes. Several movements at this intersection are expected to reach LOS F during the peak hour. This delay is caused by the large volume of vehicles proceeding through this intersection. As described previously, the interaction between this intersection and the nearby signalized intersection of IL Route 31 and Prairie Street may need some attention. No mitigation is recommended.

Randall Road Widening

Kane County has completed a Phase I engineering study and design to widen Randall Road to provide six through-traffic lanes from north of IL Route 64 to south of Bricher Road. The first stage of this project was constructed in 2007, widening Randall Road from north of IL Route 64 south to Oak Street. The widening of Randall Road from Oak Street through the IL Route 38 intersection is planned as Stage 2 of the improvement. Construction is not currently programmed while the County seeks funding for the work.

If the Randall Road improvement is constructed by 2026, which can be reasonably anticipated, it will benefit traffic flow not only on Randall Road, but also on intersecting routes such as IL Route 38 and Prairie Street. Analysis of the peak hours at Randall Road intersections with six lanes on Randall Road is expected to show that the added capacity will reduce delays and shorten vehicle queues on all approaches at both intersections. Table 11 presents the results of the capacity analyses and provides a comparison to the year 2026 Total Year (with site) Traffic discussed earlier in this report. For the analyses shown, the only improvements assumed were the same as described in the previous section plus the widening of Randall Road from four to six lanes. As before, the phase order at Randall Road and Prairie Street was allowed to change by time of day. Synchro reports are also included in Appendix I.

Note at Randall Road and Prairie Street, the northbound and southbound left turn movements have been evaluated with protected-only phasing, meaning turns are only allowed on a green arrow. This is required because IDOT does not allow permissive phasing across three opposing through lanes.

Table 11
Summary of Total (with site) and Total (with site) with Randall Widening Traffic Conditions
Intersection Level of Service (LOS) and Delay (seconds)
Signalized Intersections

Intersection	2026 Total Year Traffic (with site)			2026 Total Traffic (with site) with Randall Road Widening		
	AM Peak	PM Peak	Sat Peak	AM Peak	PM Peak	Sat Peak
IL 38/ Randall Rd	D (41)	D (52)	D (39)	C (32)	D (35)	C (27)
IL 38/ West Mall Entrance	A (8)	B (13)	B (17)	B (11)	B (12)	B (13)
IL 38/ 14 th St	B (19)	C (34)	C (32)	B (19)	D (35)	C (31)
Prairie St/ Randall Rd	B (12)	D (47)	E (56)	B (12)	C (28)	C (30)

Note that with the widening of Randall Road assumed and signal timings re-optimized to favor the higher-volume arterial street traffic, the over-all intersection delay may reduce, even though delays for some minor street movements will increase. Some individual movements have LOS E or F. Table 12 shows a detailed breakdown of individual movements for the 2026 Total Traffic with Randall Road widening.

Table 12
LOS & Delay by Movement for 2026 Total Traffic with Improvements and Randall Widening

Intersection	Peak Hour	Overall LOS & (delay)	LOS & (delay) by Movement											
			Eastbound			Westbound			Northbound			Southbound		
			L	T	R	L	T	R	L	T	R	L	T	R
IL 38 & Randall Rd	AM	C (32)	D (51)	D (43)	A (0)	D (48)	D (38)	B (15)	D (48)	C (34)	A (4)	E (63)	B (19)	A (2)
	PM	D (35)	E (68)	D (45)	A (4)	D (48)	D (44)	C (32)	E (62)	D (39)	A (7)	E (62)	B (18)	A (8)
	Sat	C (27)	C (34)	D (53)	A (8)	C (28)	D (42)	C (34)	B (16)	C (33)	A (8)	C (30)	B (15)	A (5)
IL 38 & W Mall Entrance	AM	B (11)	A (2)	A (6)		B (11)	B (19)		C (29)	B (15)		C (32)	D (37)	B (11)
	PM	B (12)	B (17)	B (15)		A (2)	A (6)		D (40)	B (17)		D (43)	D (49)	B (16)
	Sat	B (13)	A (10)	B (14)		A (4)	A (8)		D (40)	B (16)		D (43)	D (48)	B (15)
IL 38 & 14 th St	AM	B (19)	A (7)	B (13)		B (15)	B (20)		C (20)	D (37)		C (27)	C (27)	
	PM	D (35)	D (40)	C (22)		C (23)	D (35)		C (25)	E (59)		D (45)	D (41)	
	Sat	C (31)	A (10)	C (23)		C (31)	C (27)		C (24)	D (53)		D (39)	D (37)	
Prairie St & Randall Rd	AM	B (12)	C (30)	C (25)		D (51)	D (39)	A (6)	C (29)	A (6)		E (55)	B (10)	
	PM	C (28)	D (38)	D (40)		E (67)	D (47)	C (20)	D (50)	C (23)		E (78)	B (20)	
	Sat	C (30)	D (40)	D (52)		E (74)	D (50)	C (26)	D (52)	C (25)		F (87)	C (20)	

If the proposed add-lanes improvement to Randall Road is in place by 2026, delays and queues are expected to be significantly reduced. This improvement is particularly necessary to alleviate the spillback concerns on Randall Road between IL Route 38 and Prairie Street. Note however, there will still be queuing concerns for the southbound and westbound left turn lanes at Randall Road and Prairie Street. This is due to the requirement to use protected-only phasing for the northbound and southbound left turns. Permissive phasing would help reduce the expected queues but would need to be studied carefully and would require obtaining concurrence from IDOT.

Traffic Signal Warrants

Traffic Signal Warrants were analyzed at three intersections with this study. Traffic Signal Warrants are analytical tools outlined in Part 4C of the *Manual on Uniform Traffic Control Devices* (MUTCD) published by the Federal Highway Administration (FHWA). The MUTCD outlines nine warrants dealing with various factors in the need for traffic signals, such as traffic volumes, pedestrian activity, school crossings, railroad crossings, etc. It is important to understand that meeting at least one traffic signal warrant is necessary before traffic signals should be installed at an intersection. However, meeting a traffic signal warrant does not require an agency to install traffic signals at an intersection. Often, traffic signals are not the best solution to handling traffic, even where warrants are met.

For the analyses provided, 13-hour traffic count data was collected. For analyses of the existing traffic, all count data was able to be used. For future years, projection of traffic volume counts is only reasonable for the peak hour volumes. Therefore, analysis of Warrant 1, Eight-hour Vehicular Volume, is limited to what can be estimated. The eighth-highest hour of traffic volume can be estimated as 55% of the peak hour volume. This rule of thumb is an industry practice and is used by IDOT in their Signal Warrant analyses (IDOT *BDE Manual*, 2002 Ed., p. 14-3(3), item 4c. Proposed Volumes). Caution needs to be applied when using the 55% estimate of eighth-highest hourly volumes to evaluate Warrant 1. Similarly, Warrant 2, Four-hour Vehicular Volume, is even more difficult to analyze. There is no accepted method to estimate the fourth-highest hourly volume in the absence of actual traffic count data. Subsequently, where the estimated eighth-highest hourly volume satisfies Warrant 2, it could be reasonably assumed the warrant is met. However, if the peak hour volumes meet it but the eighth-highest hourly volume does not, no conclusion can be drawn regarding Warrant 2.

Prairie Street & 14th Street: Traffic Signal Warrant 1A, Minimum Vehicular Volumes, has been met by existing traffic volumes at this intersection. This means that, for at least eight hours of the day, the traffic counted at this intersection exceeded the thresholds outlined in the *MUTCD*. Traffic Signal Warrant 3, Peak Hour, also has been met with existing traffic volumes. Additional warrants are anticipated to be met by future traffic volumes. However, despite delays to the northbound left turn, the capacity analyses show remaining capacity in the operations and short queue lengths under all scenarios studied. Installation of traffic signal control is not recommended at this time.

Prairie Street & 7th Street: Traffic Signal Warrant 2, Four-hour Vehicular Volume, has been met by existing traffic volumes at this intersection. This means that, for at least four hours of the day, the traffic counted at this intersection exceeded the thresholds outlined in the *MUTCD*. Additional warrants are anticipated to be met by future traffic volumes. Traffic operations at this intersection are at or near capacity with or without the site traffic added. Note also the distance of the intersection from the site, which makes it difficult to assign

impact from the site to this intersection relative to existing traffic and surrounding traffic generators. Installation of traffic signals at this intersection could potentially improve operations, although this and other remedies have not been studied in detail. Installation of traffic signal control or other mitigation techniques are not recommended at this time.

Prairie Street & 3rd Street: Traffic Signal Warrant 2, Four-hour Vehicular Volume, has been met by existing traffic volumes at this intersection. This means that, for at least four hours of the day, the traffic counted at this intersection exceeded the thresholds outlined in the *MUTCD*. Additional warrants are anticipated to be met by future traffic volumes. Traffic operations at this intersection are at or near capacity with or without the site traffic added. Note also the distance of the intersection from the site, which makes it difficult to assign impact from the site to this intersection relative to existing traffic and surrounding traffic generators. Installation of traffic signals at this intersection could potentially improve operations, although this and other remedies have not been studied in detail. Installation of traffic signal control or other mitigation techniques are not recommended at this time.

VI. Additional Considerations

Cut Through Routes

Some concerns have been raised about the existing use of neighborhood residential streets by cut-through traffic. These streets include 7th Street, 12th Street, 13th Street, 14th Street, 16th Street and Oak Street. Seventh, 12th, and Oak Streets adjoin schools and are school traffic routes. Seventh and Oak Streets, along with Prairie Street, are designated as collector streets in the City's Comprehensive Plan. Concerns have also been raised about the potential for increased use of these streets by cut-through traffic with the development of the Prairie Centre site and the additional traffic it will generate.

A study and analysis that would quantify the existing volumes of cut-through traffic on surrounding west-side neighborhood streets would be an undertaking that requires a significant investment of time and manpower. Due to the variable nature of this driver behavior, a prediction of any future increase in cut-through traffic on individual streets could only be very roughly estimated. Any recommendations to discourage or impede cut-through traffic on an individual street would need to be carefully considered, as this often results in traffic diverting to the nearest adjacent street. Following a discussion of this with City staff, HLR was directed to not undertake a formal engineering study of cut-through traffic, but to instead provide an overview of the potential cause and remedy for this situation.

Drivers typically use side streets as cut-through routes to avoid traffic congestion along an otherwise desired route. If traffic is flowing smoothly, drivers are more likely to stay on the through street. During peak traffic periods, Prairie Street now experiences some congestion at its all-way stop intersections at 7th and 3rd Streets. Traffic volumes at these intersections do meet traffic signal warrants without the addition of the Prairie Centre development.

If congestion is not alleviated on the main collector route (such as Prairie Street), measures taken to discourage or block through traffic on individual side streets often result in traffic rerouting to the next adjacent street. If the 3rd Street and 7th Street intersections remain under all-way stop control, peak hour delays and the lengths of lines of traffic will increase, further encouraging drivers to seek alternate routes down other streets. If both intersections are signalized and are under coordinated control with each other and with Prairie Street at IL Route

31, delays and congestion will be significantly reduced. This will reduce the desirability of using cut-through routes down side streets, drawing those drivers back to Prairie Street, the main collector route.

Traffic Calming

Traffic should continue to be monitored on the surrounding street network for issues that may require traffic calming. Should measures be required, the City of St. Charles has a traffic calming policy that should be followed.

The developer has many features planned to be incorporated into the site plan that will have traffic calming benefits for the on-site traffic circulation. The following list enumerates some of the planned traffic calming features and other design features that will have some traffic calming effects:

- Central, circular, landscaped island/traffic circle on the main driveway
- Narrow vehicle lanes
- Brick crosswalks
- Corner bump-outs
- On-street parking
- Non-continuous vehicle routes through the site

On-site Traffic Circulation

A detailed review of the site plan should be conducted by City staff and by the Fire Department to ensure that adequate access is provided for emergency vehicles throughout the site. When geometric plans for the access lanes within the site are finalized, they should be reviewed for access by the largest St. Charles Fire Department truck, which can be approximated with a WB-50 turning template. Locations of trash collection areas and standing/parking areas for service and delivery vehicles should also be reviewed to ensure that these operations do not block traffic circulation. Truck access to the Jewel store west of the site will be modified or affected by the development of the Prairie Centre site. Care should also be taken in the site design to ensure that the trucks have a viable route in and out of the site. Finally, the site plan should provide for sufficient lane widths throughout the site, particularly at locations where it can be expected that traffic will need to go around stopped or standing vehicles in loading zones, etc.

Many of the traffic calming features described above also have, or primarily have, benefits for pedestrian traffic. Considering the nature of the development and the surrounding residential areas, the site design should include safe and efficient pathways for pedestrian use. The current preliminary site plan appears to make safe pedestrian access a priority. As the site plan develops further, it should be reviewed by City staff to ensure that safe and efficient pedestrian routing is provided.

Finally, it should be noted that, even with installation of the pedestrian features previously described, and considering the relatively dense nature of the development, it is unlikely that the Prairie Centre site will generate significant pedestrian traffic that would cross IL Route 38. Adjacent to the site, IL Route 38 is a five-lane arterial maintained by IDOT. Due to the width of the street and the volume of traffic on IL Route 38, it would be difficult for pedestrians to cross and feel safe. Further, with this site being located in a northern climate, user habits will tend toward moving the vehicle for each stop, especially when crossing to sites on the opposite side of IL Route 38.

Alternate Development Ideas

As a point of reference, this section discusses some potential alternatives for development of the Prairie Centre site. Comparisons of estimated generated traffic from two alternatives to the generated traffic presented in this study are summarized in this section. The first comparison was to the estimated volumes from the previous study in 2010. The second comparison was to a development scenario that could potentially be constructed under the existing zoning of the site.

The last time this site was studied was in 2010, and the site was referred to as the Towne Centre. At that time, the general concept for development of the site was similar to the current proposal. The primary difference was in the number of units on the site. The residential use was slightly more intense in the 2010 proposal as compared to the current one. The retail uses, including restaurants, had about three times the square footage. The previous proposal also included a hotel and about 142,000 SF of office space, which are not included in the current proposal. Table 13 summarizes the trips generated in the 2010 study. Note that the previous study was performed prior to the publication of the 9th Edition of *Trip Generation Manual*. The data presented in Table 13 were taken straight from that study. The 2010 study based trip generation on the 8th Edition of *Trip Generation Manual*, which was the current edition at that time. The formulas and rates in the 9th Edition are only slightly different for most of the assumed land uses, while many of the uses have no changes. Also note that the data presented in Table 13 account for a combined reduction of 20% due to internal capture and to pass-by trips. However, pass-by does not apply to all uses, such as residential. Therefore, the values for the combined internal capture and pass-by trips will not equal 20% of the raw total generated trips.

Table 13
Trip Generation Table from 2010 Towne Centre TIS

Land Use	ITE Code	Units	Qty	AM Peak Hour Volumes (veh/hr)			PM Peak Hour Volumes (veh/hr)			SAT Peak Hour Volumes (veh/hr)		
				In	Out	Total	In	Out	Total	In	Out	Total
Residential	233	DU	650	54	182	236	303	179	482	125	106	231
Office	710	1000 SF	142	218	30	248	40	198	238	26	23	49
Commercial	820	1000 SF	349	196	126	322	721	750	1471	1005	927	1932
Hotel	310	Rms	115	30	19	49	36	32	68	47	37	84
Total Generated Trips				498	357	855	1100	1159	2259	1203	1093	2296
Internal Capture + Pass-by (20%)				(68)	(52)	(120)	(180)	(186)	(366)	(210)	(199)	(409)
Total New Trips				430	305	735	920	973	1893	993	894	1887

Source: Towne Centre Traffic Impact Study, January 26, 2010

For another comparison, City staff recommended generating traffic based on a land use assumption that assumes full development of the site with land uses that conform to the existing zoning for the site. Being constructed per existing zoning, this potential development would not require review by the City's Plan Commission. This scenario was also examined in the 2010 Towne Centre study. At that time, City staff provided recommended land use assumptions for the basis of this analysis via a memo dated January 29, 2009, which is included in Appendix K for reference. The City's recommendation was to model a development consisting of approximately 626,000 SF of gross leasable area of Shopping Center (ITE Land Use 820). Table 14 summarizes the estimated generated trips for such a development with and without an estimated combined 20% of internal capture and pass-by.

Table 14 - Trip Generation Table for Alternate Development of Prairie Centre Site

Land Use	ITE Code	Units	Qty	AM Peak Hour Volumes (veh/hr)			PM Peak Hour Volumes (veh/hr)			SAT Peak Hour Volumes (veh/hr)		
				In	Out	Total	In	Out	Total	In	Out	Total
Shopping Center	820	1000 SF	626	296	181	477	983	1066	2049	1498	1384	2882
Internal Capture + Pass-by (20%)				(59)	(36)	(95)	(197)	(213)	(410)	(300)	(277)	(577)
Total New Trips				237	145	382	786	853	1639	1198	1107	2305

Source: ITE *Trip Generation Manual*, 9th Edition

In general, both of the outlined alternatives are expected to generate much larger volumes of traffic than does the current proposal. Although the weekday AM peak hour volumes are expected to be similar in all three cases, the generated volumes are much higher in the weekday PM and Saturday peak hour cases. Tables 15 and 16 summarize and compare the generated traffic for each development case with a percentage change relative to the traffic generated by the current proposal. Table 15 shows the comparison without any internal capture or pass-by adjustments, while Table 16 includes those adjustments.

Table 15
Total Site Generated Traffic (vph) *without* Internal Capture or Pass-by Adjustments by Development Scenario and Peak Hour

Development Scenario	AM Peak	PM Peak	SAT Peak
	Total	Total	Total
Prairie Centre	1070	1092	1162
Towne Centre 2010	855	2259	2296
Percentage Difference	-20%	+107%	+98%
Max Development per Current Zoning	477	2049	2882
Percentage Difference	-55%	+88%	+148%

Sources: ITE *Trip Generation Manual*, 9th Edition and Towne Centre Traffic Impact Study, January 26, 2010

Table 16
Total Site Generated Traffic (vph) *with* Internal Capture and Pass-by Adjustments by Development Scenario and Peak Hour

Development Scenario	AM Peak	PM Peak	SAT Peak
	Total	Total	Total
Prairie Centre	879	898	952
Towne Centre 2010	735	1893	1887
Percentage Difference	-16%	+111%	+98%
Max Development per Current Zoning	382	1639	2305
Percentage Difference	-57%	+83%	+142%

Sources: ITE *Trip Generation Manual*, 9th Edition and Towne Centre Traffic Impact Study, January 26, 2010

As shown, the 2010 Towne Centre proposal was expected to generate just over twice the traffic of the Prairie Centre proposal for the weekday PM and Saturday peaks, while the Saturday peak is 1.5 times the Prairie Centre traffic for the potential development under current zoning. Although the weekday AM peak volume is expected to be higher for the Prairie Centre as compared to both alternate scenarios, the critical peak hours were still the weekday PM and Saturday peak hours, for which both the generated traffic volumes and the counted traffic volumes were higher than those for the weekday AM peak hour.

The larger volumes anticipated for the alternate development scenarios result in more significant impacts to the surrounding roadway network. To provide satisfactory operation, more improvements are needed. Dual left turn lanes would be needed at the main entrance on IL Route 38. Many turn lanes in the area would need to be extended. The interaction on Randall Road between IL Route 38 and Prairie Street would be exacerbated. Longer delays would be experienced at many of the driveways where further improvements are unrealistic for various reasons.

VII. Findings and Recommendations

The estimates and analyses discussed in the preceding pages, based on the proposed site layout and access as shown in Exhibit 2, indicate the following:

IL Route 38 & Randall Road: This intersection and its turn lanes have sufficient capacity to accommodate the projected 2026 Total Site traffic. Individual movements may operate at LOS E or F, though this is not entirely attributed to the Prairie Centre Development as this occurs in the 2026 Base Traffic scenario also. The proposed future Kane County improvement to add through-traffic lanes to Randall Road will further enhance the capacity of this intersection. No improvements to this intersection are recommended as a result of the proposed development.

IL Route 38 & West Mall Entrance: The site plans show conversion of the southbound approach to consist of an exclusive left turn lane, an exclusive through lane, and an exclusive right turn lane. Additionally, the northbound and southbound left turn phases should be converted to protected-permissive phasing.

IL Route 38 & East Mall Entrance: This intersection has the overall capacity to accommodate the projected 2026 Total Traffic. The north- and southbound left turn movements will experience long delays and LOS F but with short queues.

IL Route 38 & 14th Street: This intersection has the overall capacity to accommodate the projected 2026 Total Traffic. The eastbound and westbound left turn queues will periodically approach the full left turn lane length during PM and Saturday peak hours. If needed, the painted median and taper can be adjusted to increase the storage length of the left turn lane. Further, consideration should be made for adding a northbound right turn lane to reduce existing delays and queues on that approach.

Randall Road & Prairie Street: This intersection has the overall capacity to accommodate the projected 2026 Total Traffic. The peak period queues of southbound left turning traffic are anticipated to be as long as 10 to 15 cars. This is due partly to a projected increase in the left turning volume and partly to anticipated background growth in opposing through-

traffic volumes, limiting the amount of green time available for the left turn movement. An interim improvement can be made by adjusting the median and left turn lane alignment to provide additional storage length in the taper. If the proposed add-lanes improvement to Randall Road is in place by 2026, the southbound left turn queues can be expected to be reduced. There is also the potential for spillback on the northbound approach into the IL Route 38 intersection during the PM and Saturday peak periods. The proposed widening of Randall Road will be necessary to alleviate this concern.

Further, the existing peak period overflow of the westbound left turn lane will be increased with the addition of projected traffic, frequently blocking the Jewel Supermarket driveway, as well as the entrance to the retail strip mall on the south side of the street west of the Jewel store. These entrances could be converted to right turns only, as described in detail in the Base Year analysis. These improvements are not recommended with this development, as it treats what is an existing issue. Additionally, the degree of improvement needed will be impacted by the planned Randall Road widening. Therefore, the specific improvements to the westbound approach should be developed with some accounting for the Randall Road widening and when the two sets of improvements would happen relative to each other.

Prairie Street & 14th Street: Existing average delays to the northbound left turn movement are in the range of LOS D. With the addition of the background growth and the site development traffic, this movement will enter LOS F range during the PM peak hour. However, this intersection has the overall capacity to accommodate the 2026 Total Traffic volumes, with queues reaching four vehicles at most. Although traffic signal warrants are met under the existing traffic at the intersection, installation of traffic signal control is not recommended at this time. See Base Year analysis for more discussion about signalization.

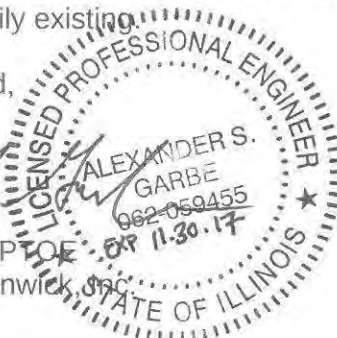
Prairie Street & 7th Street: Base Year average delays for this intersection reach LOS F during the PM peak hour. The addition of site development traffic only adds to the delays at this intersection. For the westbound approach, queues will extend past the Prairie Street & 6th Street intersection. Traffic signal control is warranted under existing traffic. A number of improvements could alleviate delays, including signalization or conversion to a roundabout. No improvements are recommended as a part of the development, as the issues here are primarily existing.

Prairie Street & 3rd Street: Base Year average delays for this intersection reach LOS F during the PM peak hour. The addition of site development traffic only adds to the delays at this intersection. For the westbound approach, queues will nearly reach the IL Route 31 and Prairie Street intersection. Traffic signal control is warranted under existing traffic. A number of improvements could alleviate delays, including signalization or conversion to a roundabout. No improvements are recommended as a part of the development, as the issues here are primarily existing.

Respectfully Submitted,



Alexander S. Garbe, PE, PTOE
Hampton, Lenzini and Renwick, Inc.



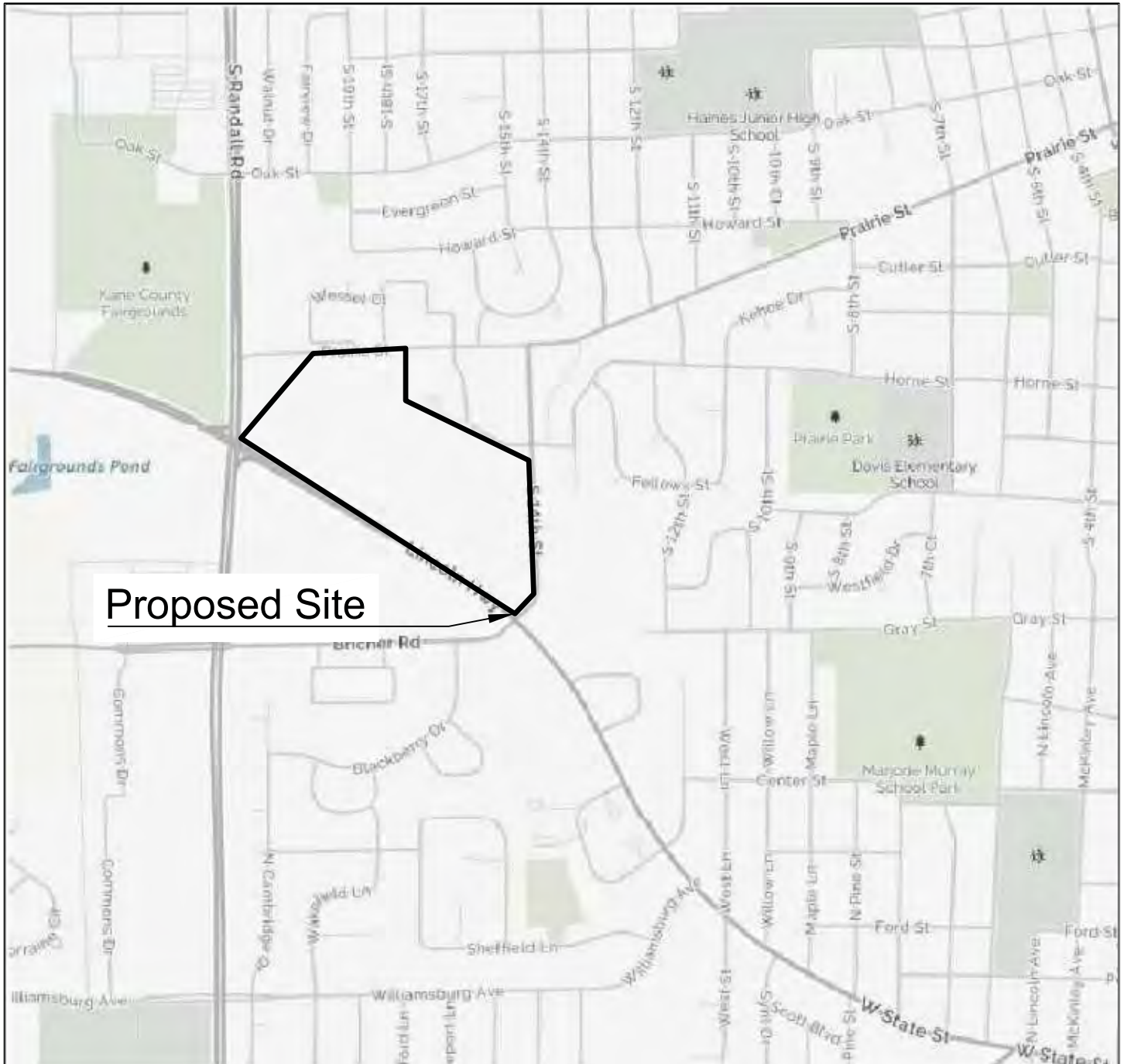
APPENDIX

- A. EXHIBITS
- B. HCS ANALYSIS REPORTS, 2016 EXISTING TRAFFIC
- C. HCS ANALYSIS REPORTS, 2026 BASE TRAFFIC
- D. HCS ANALYSIS REPORTS, 2026 TOTAL TRAFFIC
- E. SYNCHRO ANALYSIS REPORTS, 2016 EXISTING TRAFFIC
- F. SYNCHRO ANALYSIS REPORTS, 2026 BASE TRAFFIC
- G. SYNCHRO ANALYSIS REPORTS, 2026 TOTAL TRAFFIC, NO IMPROVEMENTS
- H. SYNCHRO ANALYSIS REPORTS, 2026 TOTAL TRAFFIC, WITH IMPROVEMENTS
- I. SYNCHRO ANALYSIS REPORTS, 2026 TOTAL TRAFFIC, RANDALL WIDENING
- J. CMAP MEMO TO ST. CHARLES, JUNE 3, 2016
- K. ST. CHARLES ALTERNATE DEVELOPMENT MEMO, JANUARY 29, 2009
- L. ITE LAND USE DIAGRAMS
- M. TRIP GENERATION DIAGRAMS
- N. ITE TRIP GENERATION HANDBOOK CH. 7, MULTI-USE DEVELOPMENT
- O. INTERNAL CAPTURE DIAGRAM
- P. TRAFFIC COUNTS
- Q. TRAFFIC SIGNAL WARRANT ANALYSIS REPORTS

APPENDIX A

Exhibits

1. Location Exhibits
 - a. Location Map
 - b. Aerial Photo
2. Preliminary Site Plan
3. 2016 Existing Traffic
4. 2026 Base Traffic
5. Pass-by Traffic Example
6. Pass-by Traffic
7. Trip Distribution Diagram
8. Preliminary Site Traffic
9. 2026 Total Traffic
10. Lane Configurations
11. Intersection Spacing
12. Queue Length Exhibits
 - a. Prairie Street & 14th Street
 - b. Prairie Street at 7th Street and at 3rd Street



Proposed Site

Exhibit 1A

Location Map

City of Saint Charles

Prairie Centre

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Exhibit 1B

Aerial Photo Overview

City of Saint Charles Prairie Centre

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OKW Architects

DATE: APRIL 16, 2018 PROJECT NUMBER: 0000

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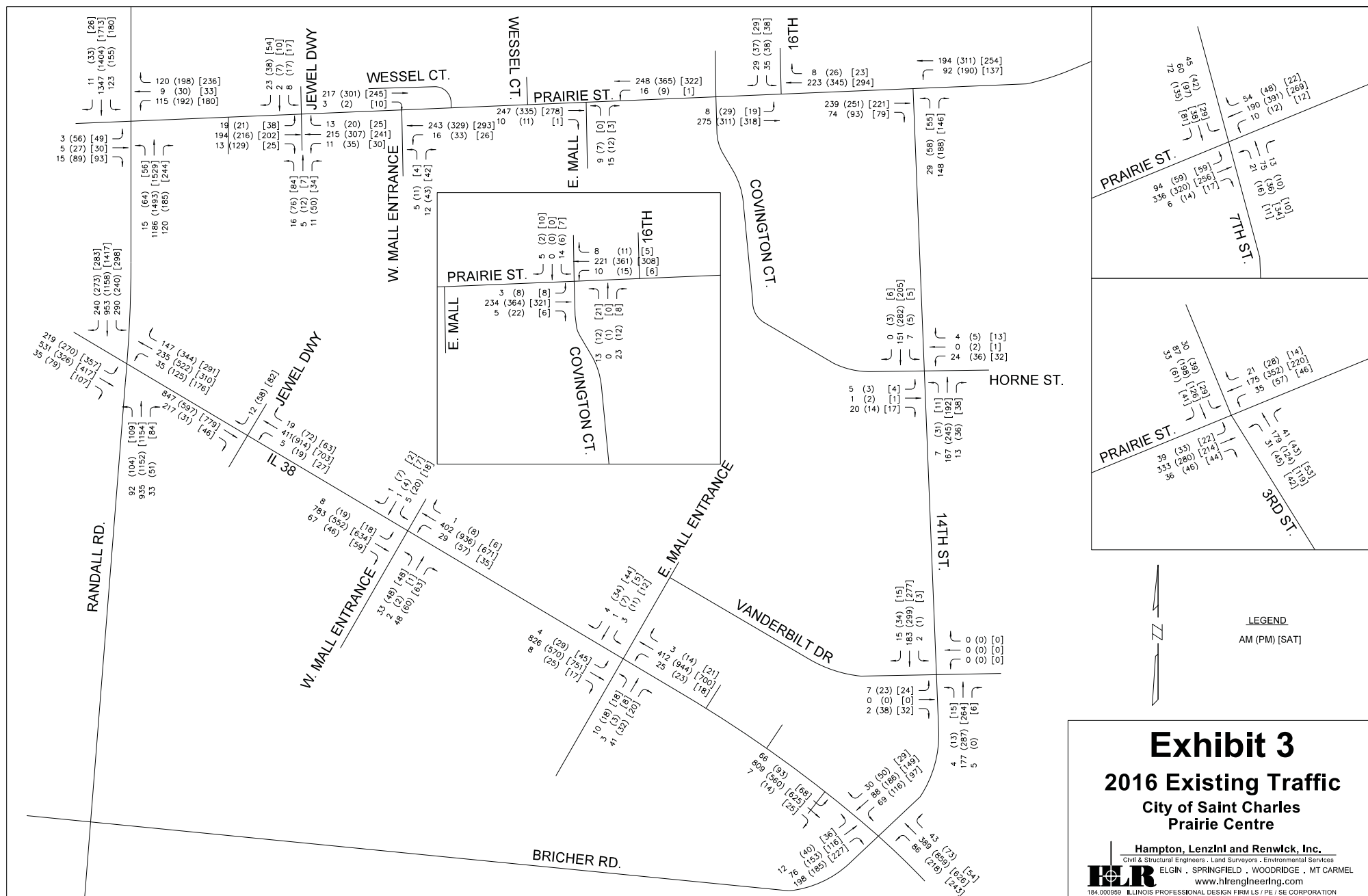


Exhibit 3
2016 Existing Traffic
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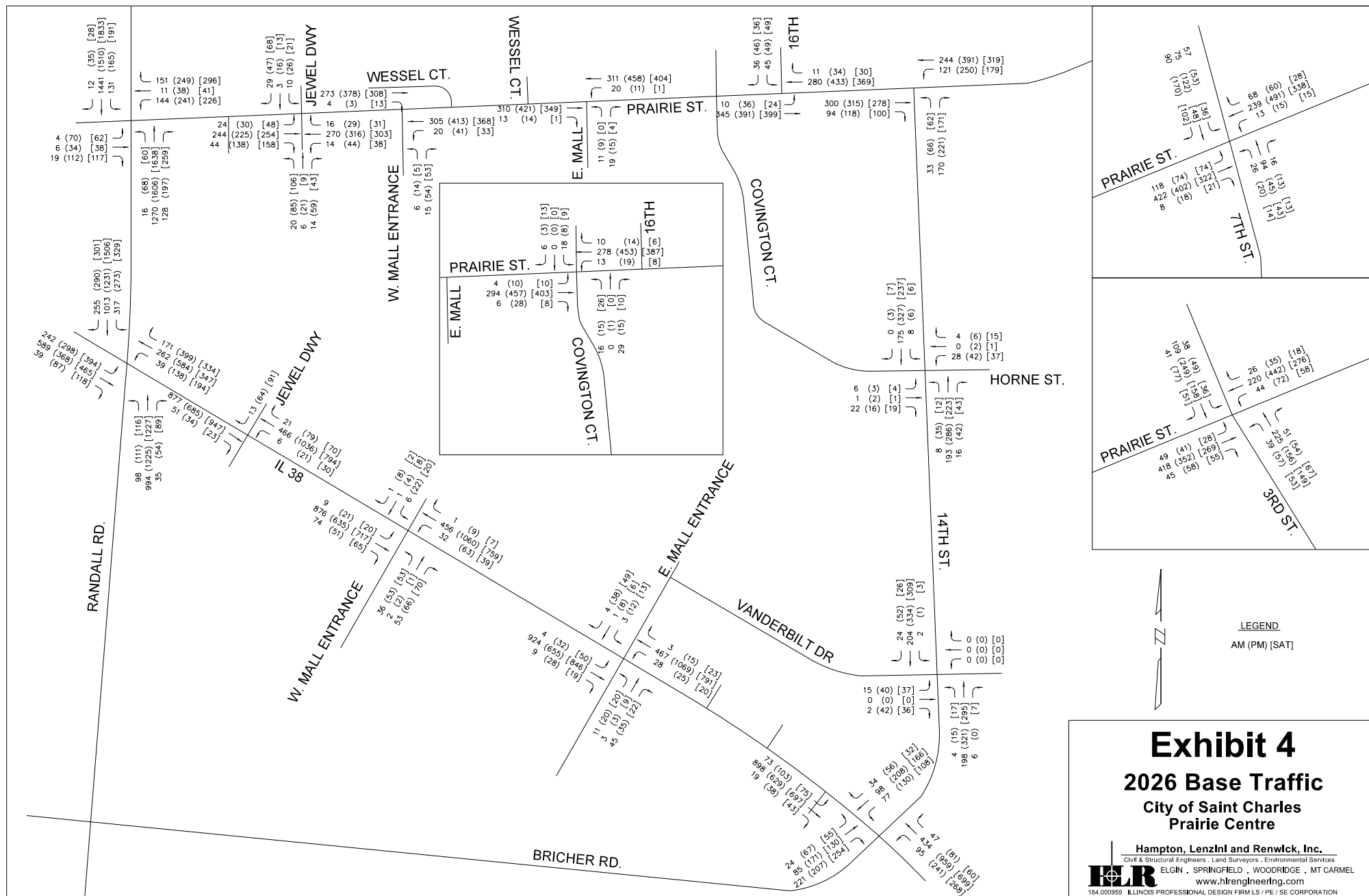
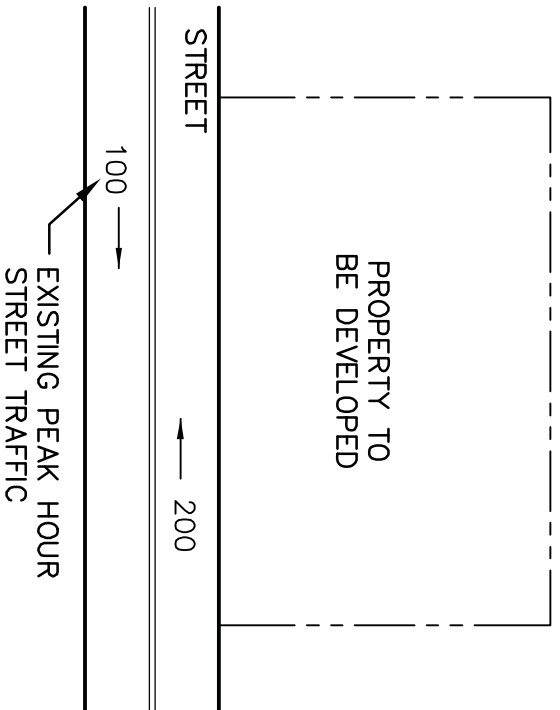


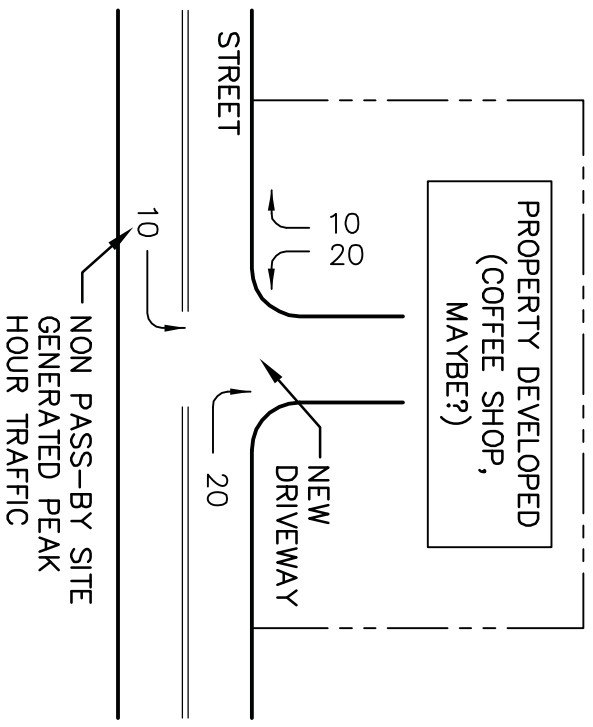
Exhibit 4
2026 Base Traffic
City of Saint Charles
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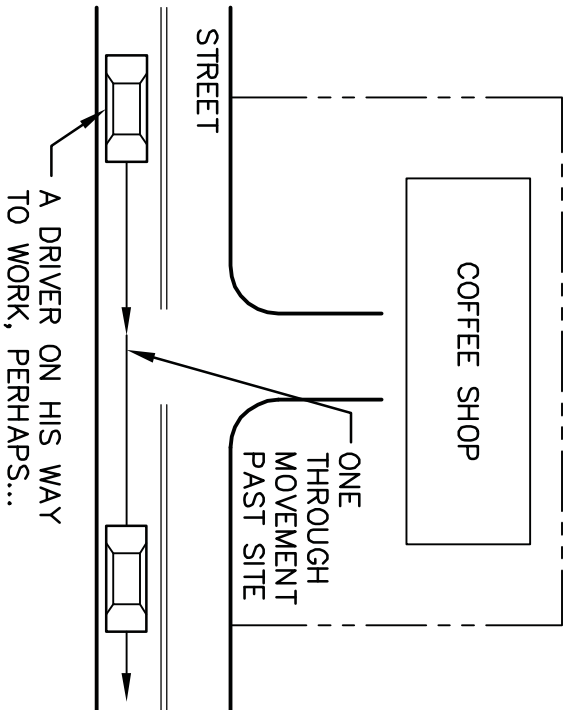
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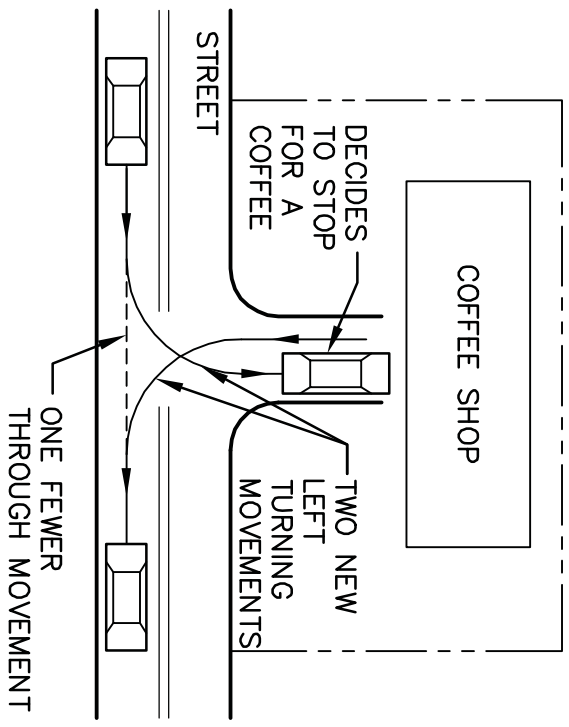
② PROPOSED



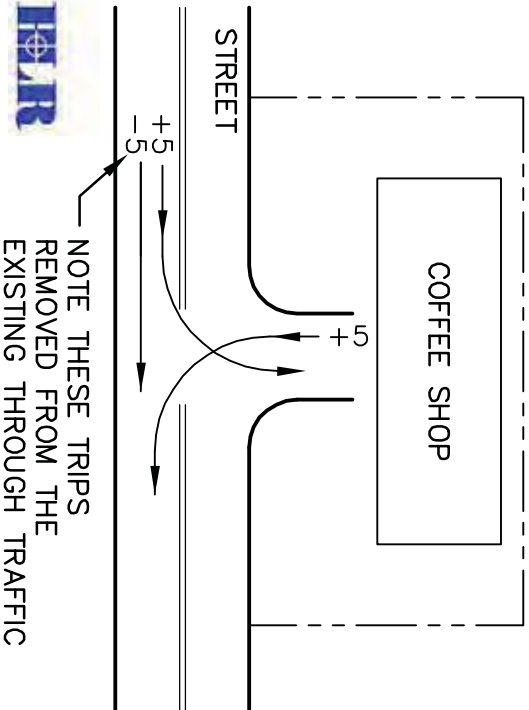
③ A PASS-BY TRIP...



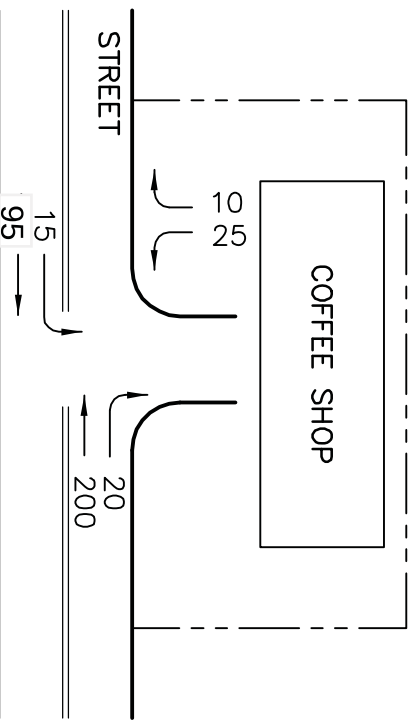
④ LOOKS LIKE THIS...



⑤ PASS-BY TRAFFIC IS ADDED TO THE INTERSECTION LIKE THIS (WE'LL JUST DO EAST BOUND IN THIS EXAMPLE)



⑥ SO YOUR NEW TOTAL VOLUME IS...
(EXISTING + NON-PASS-BY + PASS-BY)



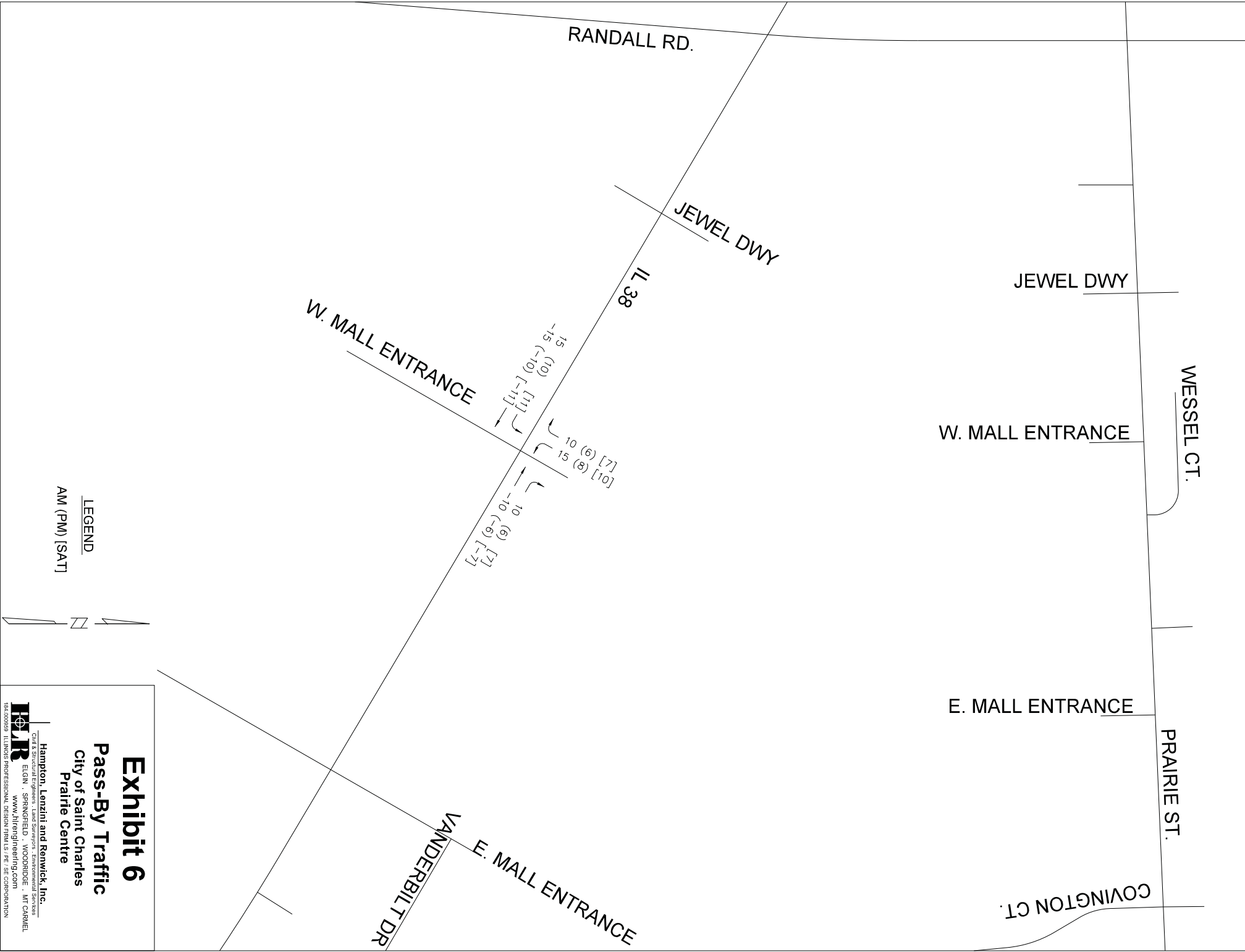


Exhibit 6

Pass-By Traffic
City of Saint Charles
Prairie Centre

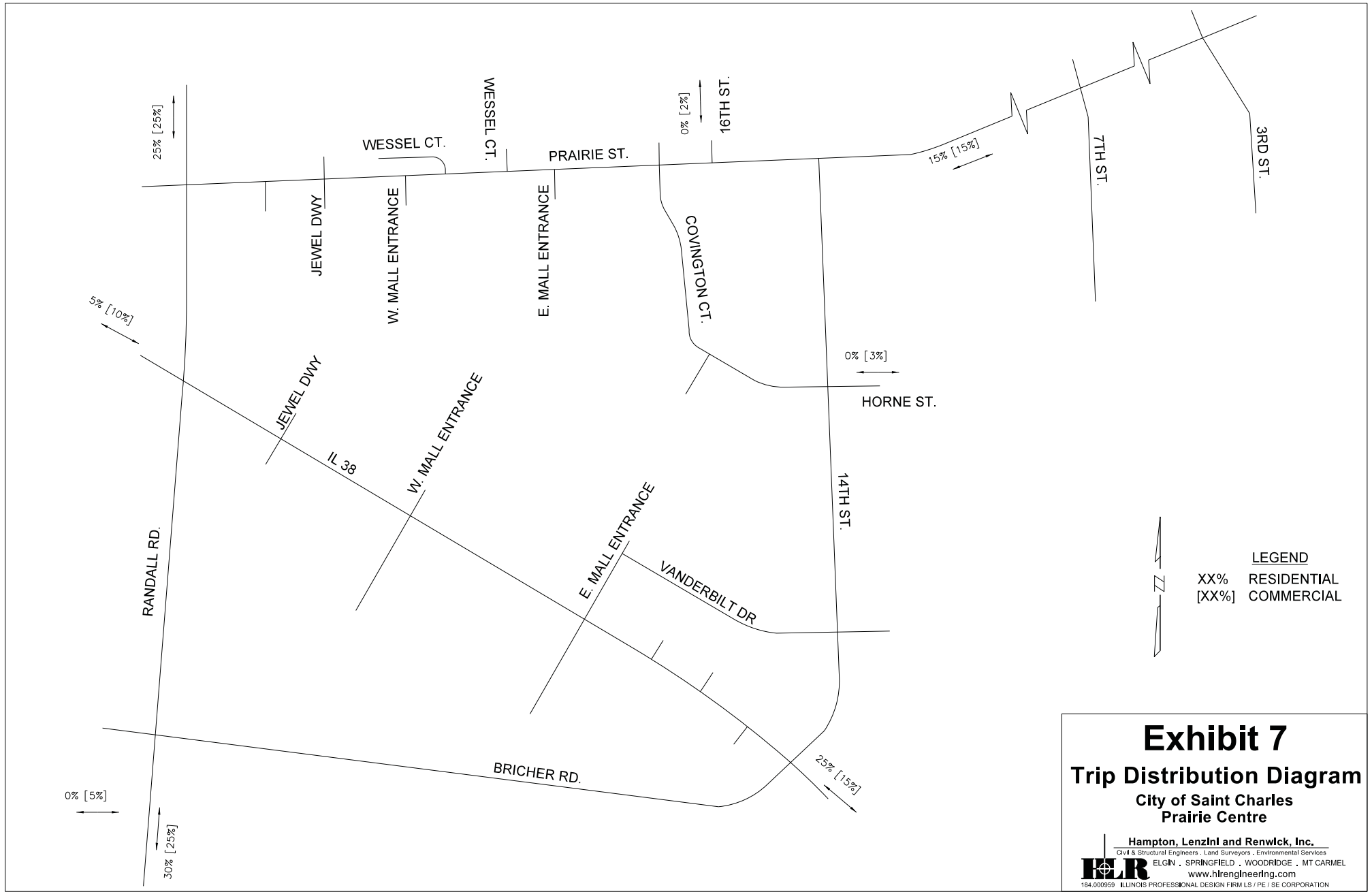


Exhibit 7

Trip Distribution Diagram

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Prairie Centre

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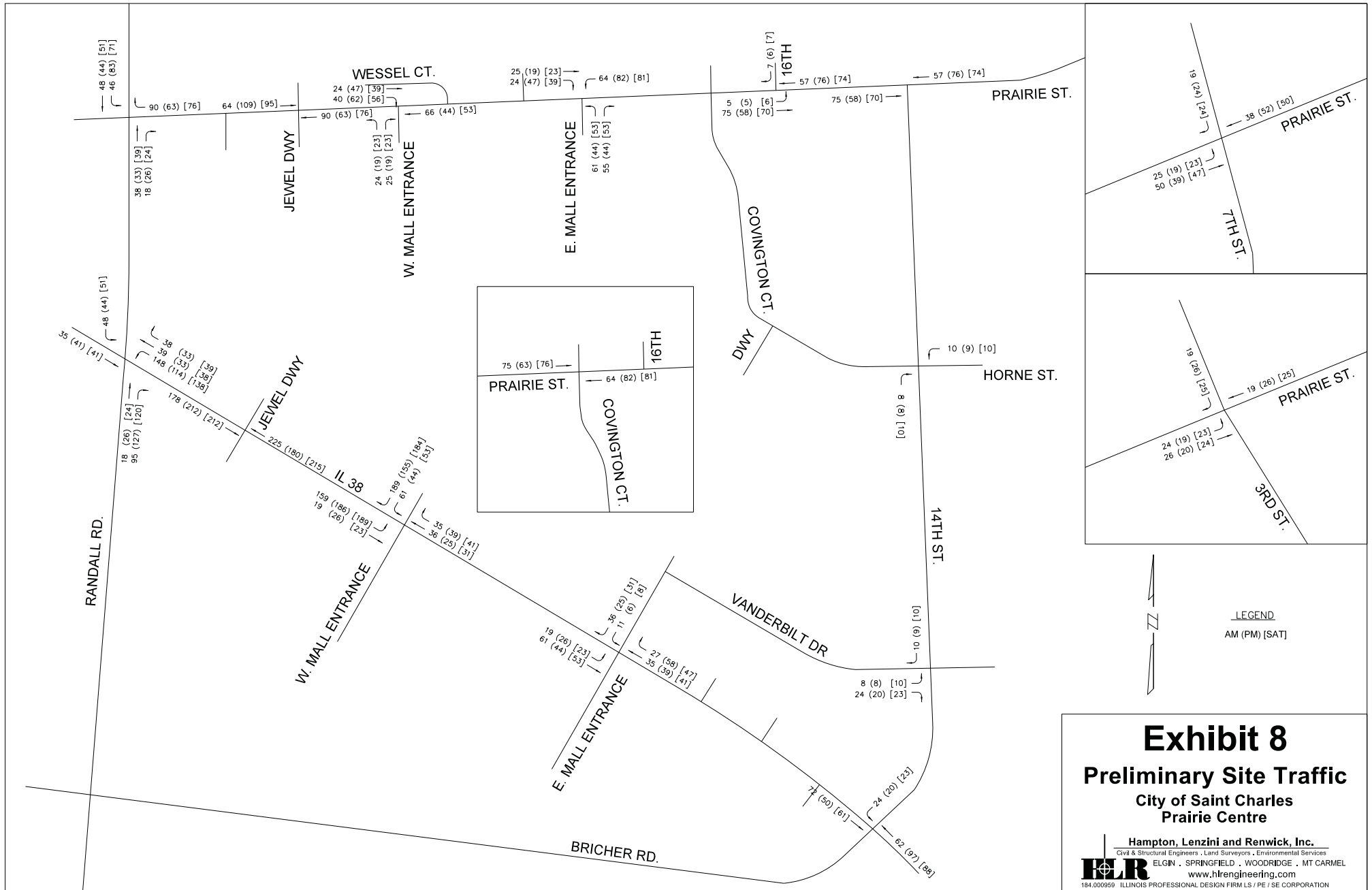


Exhibit 8

Preliminary Site Traffic

**City of Saint Charles
Prairie Centre**

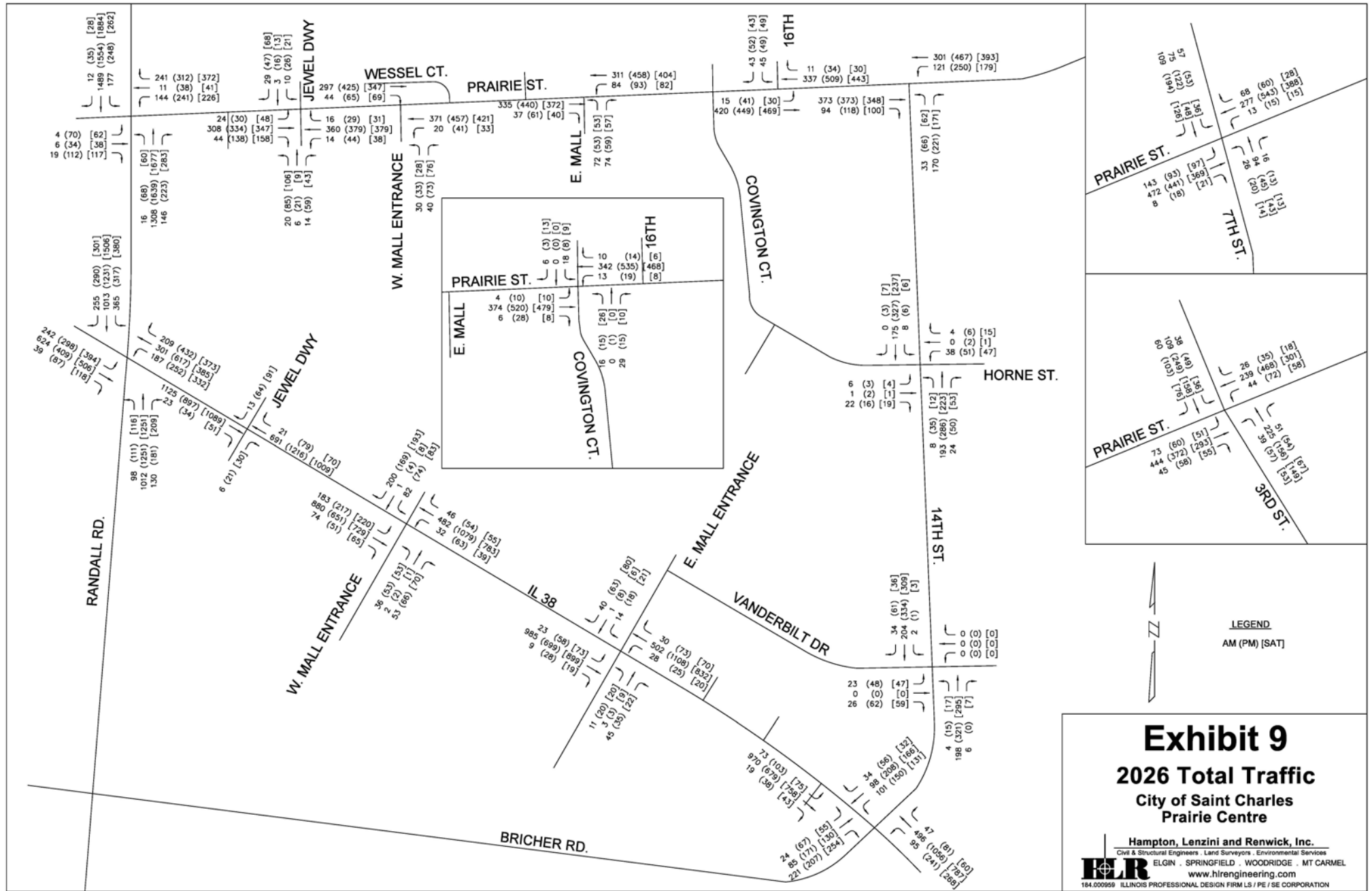
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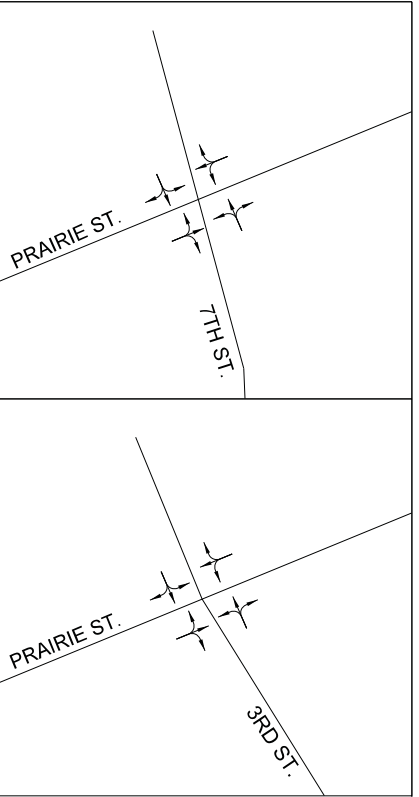
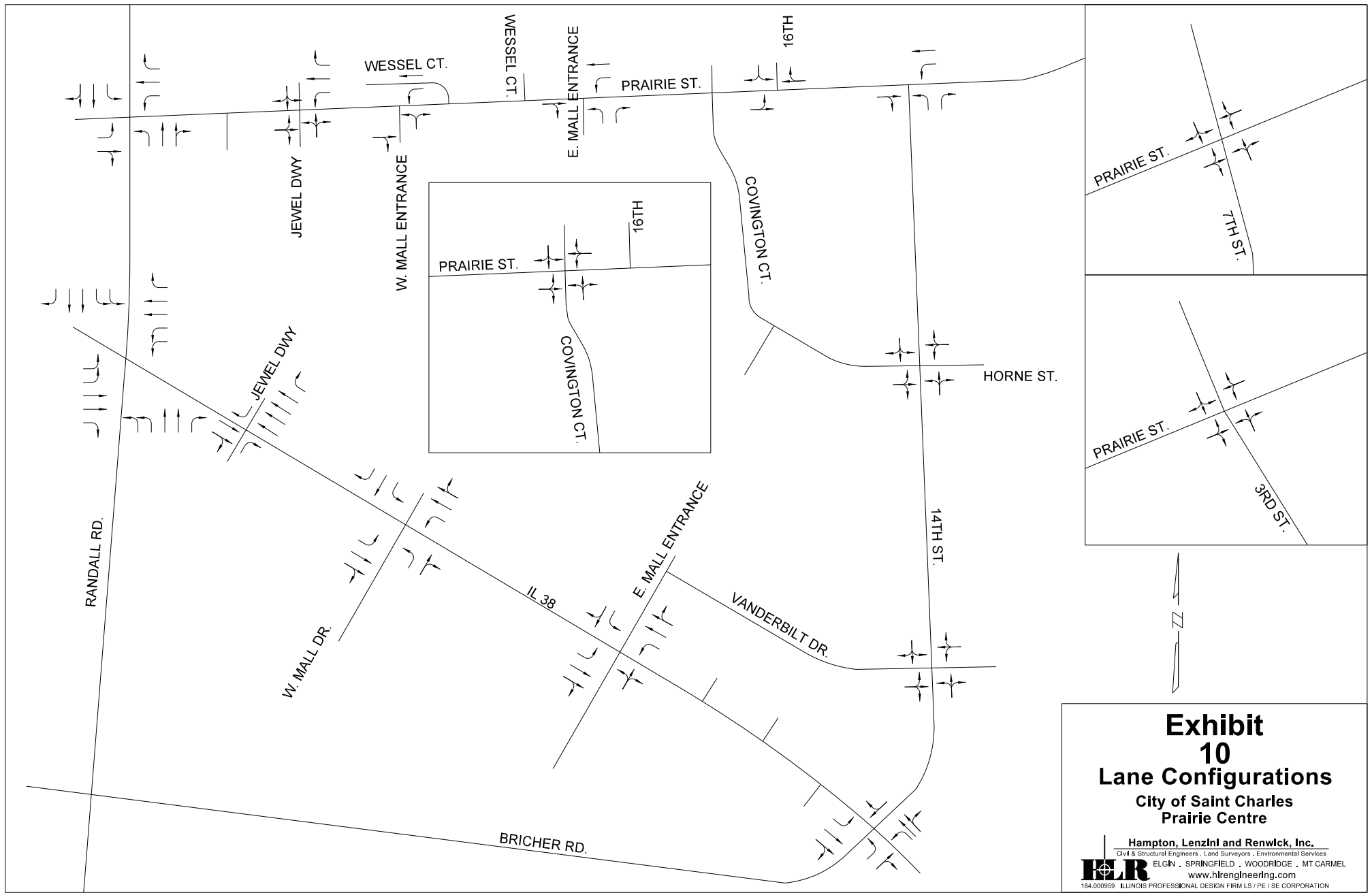
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**Exhibit
10
Lane Configurations**
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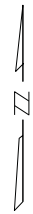
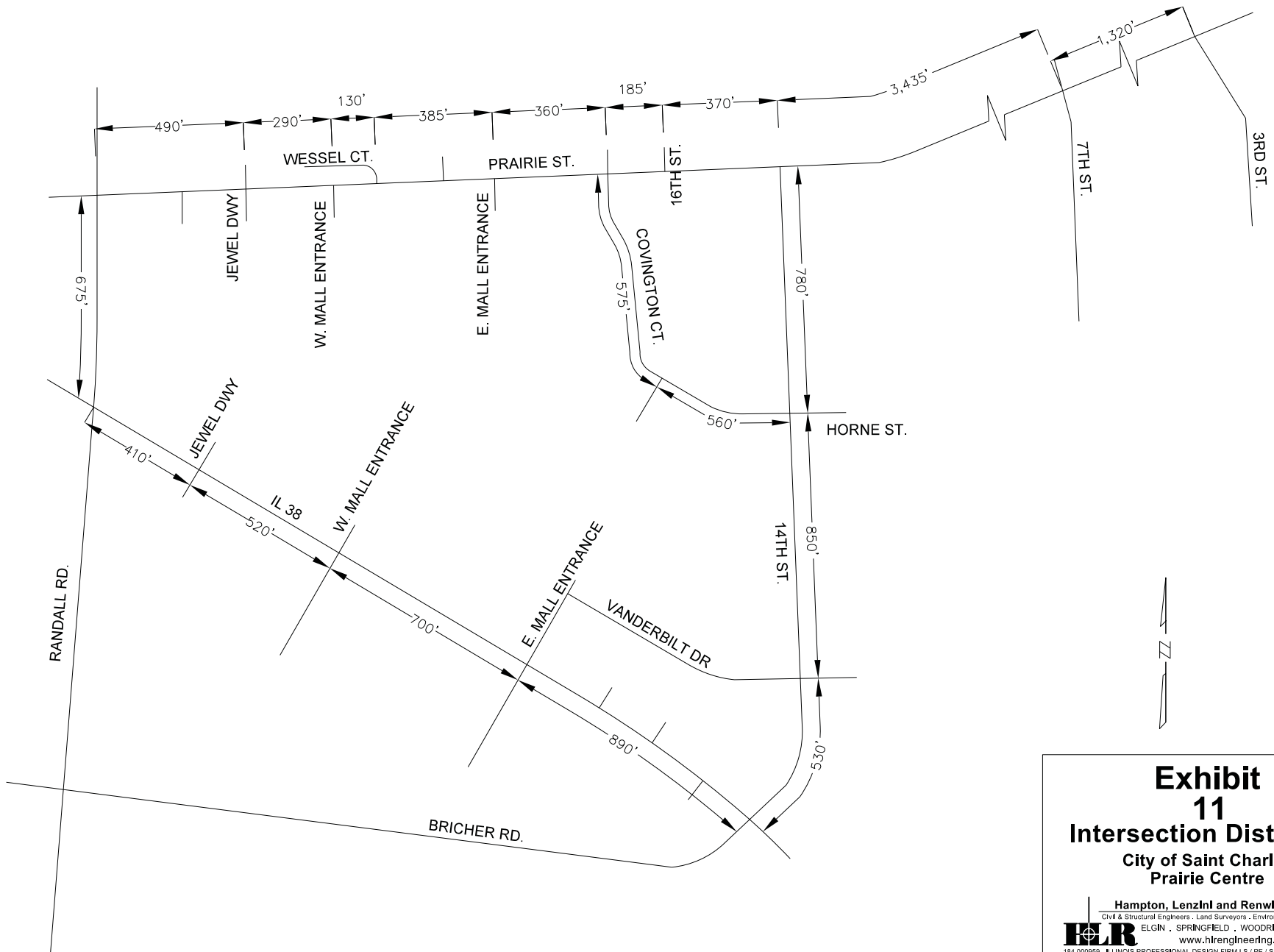


Exhibit 11
Intersection Distances
 City of Saint Charles
 Prairie Centre

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Traffic Volume Entering Intersection			
14th Street	AM	PM	Sat
2026 Base Traffic	962	1361	1109
2026 Total Traffic	1094	1495	1253
% Increase	13.7%	9.8%	13.0%



