

**Please practice social distancing while attending this meeting.
If social distancing is not possible please wear a mask.**

**AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. RITA PAYLEITNER – CHAIR
MONDAY, FEBRUARY 8, 2021 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

To attend this meeting via Zoom please use the link below:
https://zoom.us/webinar/register/WN_qS6wNIVPTm2aC4UDpShAjA

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. OMNIBUS VOTE**

Items with an asterisk (*) are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

4. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Presentation of a Concept Plan for KFP Planned Unit Development (northeast corner of Route 64 and Dunham Road, KFP Family Associates)
- b. Plan Commission recommendation to approve an Amendment to Special Use for PUD for Octane 93 Brewery, 1825 Lincoln Highway (St. Charles Commercial Center PUD)
- c. Plan Commission recommendation to approve a Special Use for PUD and PUD Preliminary Plan for McGrath Business Center, 4075 E. Main St.

5. ADDITIONAL BUSINESS

6. EXECUTIVE SESSION

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

7. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS.

8. ADJOURNMENT

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item Number: 4a
	Title:	Presentation of a Concept Plan for KFP Planned Unit Development (northeast corner of Route 64 and Dunham Road, KFP Family Associates)	
	Presenter:	Ciara Miller, Economic Development Planner	
Meeting: Planning & Development Committee		Date: February 8, 2021	
Proposed Cost: \$0		Budgeted Amount: \$0	Not Budgeted: <input checked="" type="checkbox"/>
<p>Background: A Concept Plan application has been submitted by KFP Family Associates, L.P., represented by Rachel Robert (Day & Robert P.C). KFP Family Associates owns all six of the parcels located at the northeast corner of Route 64 and Dunham Road shown on the attached maps.</p> <p>The applicant is seeking feedback on a Concept Plan to redevelop the site with a new gas station and improved cross access. Details of the proposal are as follows:</p> <ul style="list-style-type: none"> • Re-subdivide the existing 6 lots into 4 separate lots of record. • Establish a Planned Unit Development (PUD) encompassing all 6 parcels. • Phased development to build the new gas station and improve cross-access for all parcels while allowing a future phase to redevelop the two eastern-most parcels. • Construct a new Fuel Facility (two western parcels): <ul style="list-style-type: none"> ○ 1-story, 4,700 sf convenience store ○ Canopy with 8 fuel pumps. • Reduce the existing curb-cuts on Rt.64 from 7 to 3 and on Dunham Rd. from 3 to 2. <p>The Comprehensive Plan land use designation for the property is Neighborhood Commercial and the proposed land uses are already permitted under the existing zoning. However, the applicant anticipates requesting and Planned Unit Development (PUD) for the project. A Concept Plan review is required prior to applying to establish a new PUD.</p> <p><u>Plan Commission Review</u> Plan Commission reviewed the Concept Plan on 2/2/21. Comments are summarized as follows:</p> <ul style="list-style-type: none"> • Support for continued gas station use on the corner lot • The Commission generally agreed that this proposal was a significant improvement to the existing site, but they did request that the applicant review the following considerations: <ul style="list-style-type: none"> ○ Evaluate if it is possible to reduce the amount of impervious surface, particularly surrounding the fuel canopy and on the corner of Rt. 64 and Dunham Rd. Reconfiguring the fuel canopy to have a bend may make for a more efficient use of the lot. ○ Explore potential pedestrian connection or striping from the Rt. 64 sidewalk to the convenience store. ○ Consider eliminating the south cross-access point between Circle K and Franky's due to traffic conflict and stacking concerns. Also consider maintaining Franky's full access on Rt. 64. ○ Look into widening the northern exit onto Dunham Rd (Taco Bell) to accommodate a separate left and right-turn exit lane and an entry lane. ○ Consider eliminating bollards in front of the convenience store in lieu of creating a curb to separate the parking from the sidewalk. 			
<p>Attachments (please list): Concept Plan Application and Plans</p>			
<p>Recommendation/Suggested Action (briefly explain): Review the Concept Plan, staff recommends the Committee provide comments on the following topics:</p> <ol style="list-style-type: none"> 1) Land use and compatibility with surrounding development. 2) Site layout and access. 3) The proposed Planned Unit Development (PUD) and potential deviations. 4) Other suggestions/recommendations regarding future preliminary plans. 			

Community & Economic Development
 Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



Staff Report

TO: Chair Rita Payleitner
 And Members of the Planning & Development Committee

FROM: Ciara Miller, Economic Development Planner

RE: KFP Planned Unit Development - Concept Plan

DATE: 2/3/2021

I. APPLICATION INFORMATION:

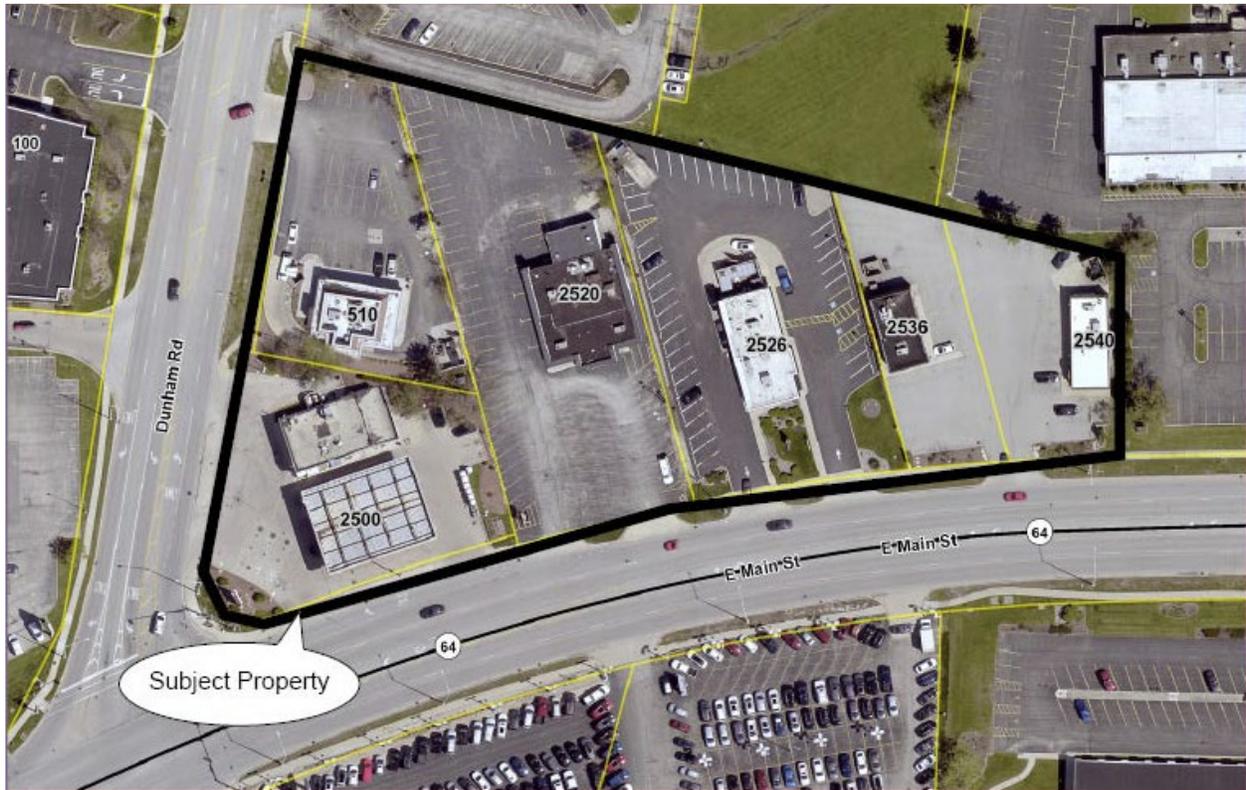
Project Name: KFP Planned Unit Development 2020

Applicant: KFP Family Associates L.P.

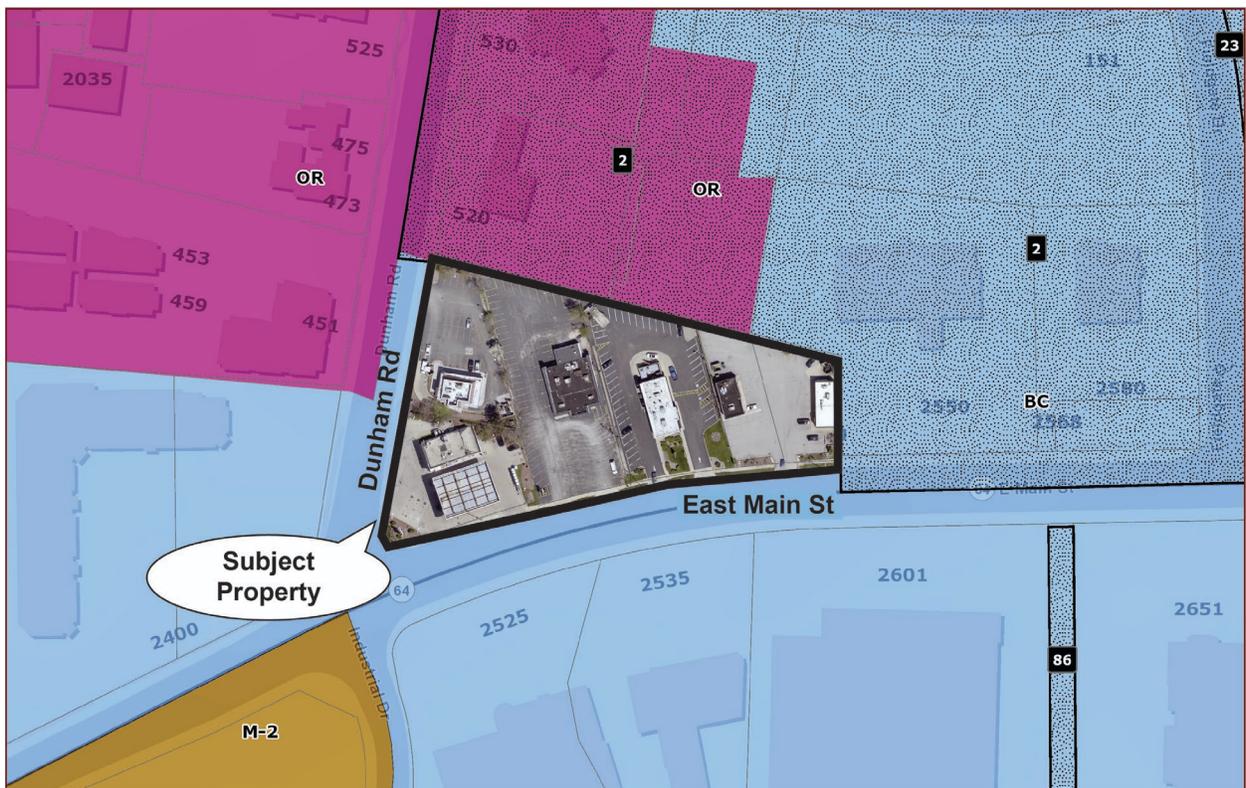
Purpose: Obtain feedback on a Concept Plan for a commercial development consisting of a gas station and redesigned traffic circulation across 6 parcels

General Information:		
Site Information		
Location	Northeast corner of East Main Street and Dunham Road	
Acres	3.4717 (151,227 SF)	
Application:	Concept Plan	
Applicable City Code Sections	Ch. 17.04 – Design Review Standards & Guidelines Ch. 17.14 – Business & Mixed Use Districts Ch. 17.24 – Off-Street Parking, Loading & Access Ch. 17.26 – Landscaping & Screening	
Existing Conditions		
Land Use	Gas Station/Vacant Commercial Development	
Zoning	BC – Community Business	
Zoning Summary		
North	Office/Research (PUD)	Chase Bank
East	BC Community Business (PUD)	St. Charles Place Restaurant
South	BC Community Business (PUD)	Zimmerman Ford, Nissan of St. Charles, Warwick Publishing
West	BC Community Business (PUD)	Foxboro Plaza
Comprehensive Plan Designation		
Neighborhood Commercial		

Aerial



Zoning



II. OVERVIEW

A. PROPERTY HISTORY

The subject property is comprised of 6 contiguous parcels encompassing approximately 3.5 acres located at the northeast corner of Dunham Rd. and East Main St. All six parcels are owned by the KFP Family Associates L.P.

The parcels were acquired in a number of real estate transactions spanning from the 1950's through the 1980's. As a result, the parcels were developed individually over time and were not designed to have any collaborative or mutually beneficial cross traffic. The resulting land use pattern has generated seven separate curb cuts onto Route 64 and three onto Dunham Road.

B. PROPOSAL

KFP Family Associates LP own the subject property. KFP Family Associates and RDK Ventures LLC (Circle K) are proposing to develop the property with a new gas station and convenience store. Details of the proposal are as follows:

- Re-subdivide the existing 6 lots into 4 separate lots of record.
- Establish a Planned Unit Development (PUD) encompassing all 6 parcels.
- Phased development to build the new gas station and improve cross-access on all parcels first while allowing a future phase to redevelop the two eastern-most parcels.
- Fuel Facility (two western parcels):
 - 1-story, 4,700 sf convenience store
 - Canopy with 8 fuel pumps.
- Reduce the existing curb cuts on East Main Street from 7 to 3 and on Dunham Road from 3 to 2.

C. CONCEPT PLAN REVIEW PROCESS

The purpose of the Concept Plan review is to enable the applicant to obtain informal input on a concept prior to spending considerable time and expense in the preparation of detailed plans and architectural drawings. The Concept Plan process also serves as a forum for citizens and owners of neighboring property to ask questions and express their concerns and views regarding the potential development. Following the conclusion of the Concept Plan review, the developer can decide whether to formally pursue the project.

III. ANALYSIS

A. COMPREHENSIVE PLAN

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as "Neighborhood Commercial". The Plan states (p 39):

"Areas designated as neighborhood commercial are intended toward smaller-scale retail and service commercial areas geared toward providing for the daily shopping, service, and

convenience needs of surrounding neighborhoods. Uses in the neighborhood commercial areas should be of a scale and intensity to be considered generally compatible with adjacent and nearby residential uses.”

The following items in the Commercial Areas Policies section relates to this project (p. 48):

“Promote a mix of attractive commercial uses along the Main Street Corridor that provide a range of goods and services to the St. Charles Community. A wide range of commercial uses exist along the Main Street corridor, providing a variety of goods and services to residents. As a primary east-west route through the City, Main Street contributes to the overall character, image, and appearance of St. Charles...The City should continue to promote reinvestment along this key commercial corridor and maintain Main Street as a unique commercial corridor that can accommodate a wide array of business types to cater to the diverse needs of the St. Charles community.”

“Improve access management along the City’s commercial corridors. The City should work to minimize curb cuts, consolidate the access points, and facilitate cross-access easements and shared parking agreements between adjacent properties. These improvements would serve to increase safety for motorists, pedestrians, and bicyclists by minimizing points of conflict and creating predictability for the location and frequency of ingress and egress.

The subject property is located within the East Gateway Subarea. The East Gateway Improvement Plan on p.103 recommends the following improvements in the vicinity:

- Provide Internal Cross Access wherever possible between commercial properties connecting independent and isolated commercial uses with one another.
- Fill sidewalk gaps along the Main Street frontages of the subject property

B. ZONING REVIEW

The subject property is currently zoned BC-Community Business District. The applicant also plans to request approval of a Planned Unit Development (PUD) for the site to accommodate deviations from certain zoning requirements.

The purpose of the BC-Community Business District as noted in the Zoning Ordinance is as follows:

“to accommodate mid-size retail and service development along Strategic Regional Arterial corridors such as Route 64 and Randall Road. Uses in the BC District have the potential to generate significant automobile traffic, and therefore care must be taken to properly design access and parking facilities. Since this district is located along the roads that serve as gateways into St. Charles, quality building architecture, landscaping and other site improvements are necessary to ensure this type of development enhances St. Charles’ image. BR Regional Business District

The subject property is surrounded by BC zoning on three sides with OR Office/Research zoning to the north. BC zoning is appropriate for this property based on surrounding zoning and its location in the east gateway.

The proposed use for Phase I of the plan is a gas station/convenience store, which is permitted in the BC District.

The table below compares the BC District requirements with the Concept Plan. Items for consideration related to zoning bulk standards are listed below the table.

	BR District (proposed zoning)	Concept Plan
Min. Lot Area	1 acre	Varies <i>*see staff comment</i>
Max. Building Coverage	40%	Convenience store: 7%
Max. Building Height	40 ft.	20 ft.
Front Yard (Main St.)	Bldg: 20 ft. Parking: 20 ft.	Convenience Store: 120 ft. Parking (fuel pump): 28 ft.
Interior Side Yard (east)	Bldg: 10 ft. Parking: 0 ft.	Convenience Store: 29 ft. Parking (paving): 30ft.
Interior Side Yard (west)	Bldg: 10 ft. Parking: 0 ft.	Convenience Store: 10 ft.
Exterior Side Yard (Dunham Rd.)	Bldg: 20 ft. Parking: 20 ft.	Parking: 22 ft.
Rear Yard (north)	Bldg: 30 ft. Parking: 0 ft.	Convenience Store: 105 ft. Parking: 0 ft.
Landscape Buffer Yard	25 ft.	N/A
Off-Street Parking	Gas Station: 4 per 1,000 sf GFA (reduced by number of fuel pumps)	32 spaces (including fuel pumps) <i>**See Staff Comment</i>

*With the proposed re-subdivision, the lot sizes would range from 0.63 acres (Taco Bell) to 1.5 acres (Circle K)

**Adequate parking is provided; with 8 fuel pumps, the gas station would require 11 parking spaces based on a 4,700 sf convenience store building. The site provides 32 spaces including 16 stalls provided at the fuel pumps. This does not include the “potential future parking” indicated on the site plan at the northern property line.

D. TRAFFIC & ACCESS

The PUD proposes increased cross access for all of the PUD parcels along the northern end of the site and an additional connection between Lot 2 and Lot 3 on the southern end. Engineering staff provided additional comments on the proposed cross-access in Section I below.

Drive aisles are required to be a minimum 24 feet wide; the submitted plans show a discrepancy in aisle width along the east side of the Circle K building with some plans showing 23’ (Planned Development Exhibit (Phase 1)) and other plans showing the same aisle at 24’ (Overall Layout Plan). This should be addressed in the PUD Preliminary Plan application submittal.

An existing sidewalk is located along the Route 64/Main Street and Dunham Road street frontages, connected to a broader east gateway sidewalk network. The site plan shows the sidewalk being maintained, but appears to relocate the sidewalk closer to the curb on Main Street, eliminating the previous ROW buffer between the curb and the sidewalk. Meanwhile, the site plan also shows 30' two-way cross aisles provided around the gas station canopy, which is wider than the minimum requirement (24'). It may be possible to reduce the aisle width to accommodate more landscaping and pull the sidewalks back from Route 64/Main Street.

E. GAS STATION

Gas stations are subject to the use standards contained in Section 17.20.030, listed below.

1. Fuel pumps shall be located no closer than 20 feet from any lot line and shall be located so that a vehicle using the fuel pump does not encroach into the public right of way or onto adjoining property
 - *The proposed canopy is adequately set back from all lot lines and at a distance that vehicles using the pumps will not encroach into the ROW or adjacent property.*
2. Gas station canopies shall be subject to the lighting standards of Section 17.22.040 (Site Lighting). Gas station canopies shall also meet all applicable setback requirements for the principal building.
 - *The gas station canopy meets the setback requirements for the principal building.*
3. The provisions hereof relating to Outdoor Sales shall apply if Outdoor Sales are included.
 - *Outdoor sales have not been identified. However, per Section 17.20.030, outdoor sales accessory to gas stations are permitted provided the sales area is limited to 30 sf multiplied by the number of pumps on the lot. The sales area(s) can only be located within the pump islands or on a sidewalk adjoining the building.*

F. LANDSCAPING

A landscape plan will be required with a future PUD Preliminary Plan. The following modifications will be needed to comply with landscaping requirements:

- Unless requesting a deviation, the General Landscape Requirement (17.26.060) is that a minimum of 15% of the lot must be landscaped. This calculation should be included in the landscape plan.
- Parking lots with more than 5 spaces that abut a public street shall be screened to a minimum height of 30" for no less than 50% of the public street frontage. This includes the eastern end of the parking aisles along Dunham Road for both Lot 1 and Lot 2.
- Building Foundation Landscaping (17.26.080) shall be provided around the perimeter of the new gas station building. Not less than fifty percent (50%) of the total horizontal dimension of the building walls, excluding door openings, shall be landscaped. The planting beds provided along the front façade satisfy the public street facing foundation requirements.
- Landscaping is required in the front and exterior side yard adjoining a public street right-of-way in the BC zoning district. There appears to be adequate space to address the landscaping requirements detailed in Ch.17.26.090 "Public street frontage landscaping" but staff will need to confirm with a detailed landscape plan.

- All freestanding signs shall have landscaping that extends a minimum of three (3) feet from the outer edge of the sign base on all sides to a height of twelve inches (12”) to three feet (3’) at planting, depending on the height of the sign.
- The concept plan application indicates that parking is located in the landscape buffer, it should be noted that the landscape buffer does not apply to this property as it is not abutting any RE, RS, RT, or RM District.

G. BUILDING DESIGN

Buildings in the BC District are subject to the Design Review requirements of Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts.

- The proposed building only has one-street facing façade (south elevation, main entrance) and the draft elevations appear to meet the articulation standards
- Windows should be clear, not tinted or reflective

H. SIGNS

One existing freestanding sign for the gas station is located near the corner of Main St. and Dunham Rd. Landscaping shall be provided in accordance with Ch. 17.26.110.

The plan also indicates that the freestanding sign for Franky’s Red Hot’s on Lot 3 that would be relocated to accommodate new traffic circulation in front of the restaurant. The proposed relocation meets the 10’ minimum ROW setback requirement. New landscaping would need to be provided.

I. ENGINEERING REVIEW

There appears to be underutilized pavement on both Lot 2 (Circle K) and Lot 3 (Franky’s). The applicant should consider reducing excess pavement in favor of pervious areas and landscaping.

Regarding changes to the traffic circulation around Franky’s, staff questions whether the full cross access at the southwest corner is warranted. The applicant may consider making it a one-way for cars exiting Franky’s. Patrons wanting to access Franky’s from Shell could do so at the northern full cross access. This could also eliminate the two-lane pavement south of the building.

It was also noted that handicap stalls can have a shared access aisle, which would gain an additional parking stall. Development Engineering provided additional detailed comments to the applicant for their consideration.

J. FIRE REVIEW

All corners shall be made accessible using the supplied dimensions of the largest fire vehicle. This shall include turns into the oncoming parking lanes of all buildings.

IV. **FUTURE APPROVAL PROCESS**

If the applicant chooses to move forward with the proposed development at the conclusion of the Concept Plan process, the applicant would need to gain approval of the following:

1. Special Use for PUD: To establish a PUD ordinance with unique zoning standards to accommodate the proposal.
2. PUD Preliminary Plan: To approve the physical development of Phase I, including site and engineering plans, landscape plan, and building elevations.

V. SUGGESTED ACTION

Review the Concept Plan and provide comments to the applicant. Staff recommends the Commission provide feedback on the following:

- ✓ Proposed use of the property.
- ✓ Site layout and access.
- ✓ Is a PUD appropriate for this project? Would a PUD advance one or more of the purposes of the PUD procedure:
 1. *To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.*
 2. *To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.*
 3. *To encourage a harmonious mix of land uses and a variety of housing types and prices.*
 4. *To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.*
 5. *To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.*
 6. *To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.*
 7. *To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community*
- ✓ Would the identified PUD deviations be warranted? To grant PUD deviations, the City Council will need to find that:
 - a. *Conforming to the requirements would inhibit creative design that serves community goals; or*
 - b. *Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.*

Factors to be considered in this determination shall include, but are not limited to the following:

1. *The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.*
2. *The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.*
3. *The PUD will provide superior landscaping, buffering or screening.*
4. *The buildings within the PUD offer high quality architectural design.*
5. *The PUD provides for energy efficient building and site design.*
6. *The PUD provides for the use of innovative stormwater management techniques.*

7. *The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.*
8. *The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.*
9. *The PUD preserves historic buildings, sites or neighborhoods.*

VI. PLAN COMMISSION REVIEW

The Plan Commission reviewed this Concept Plan on February 2, 2021. The comments are summarized as follows:

- Support for continued gas station use on the corner lot
- The Commission generally agreed that this proposal was a significant improvement to the existing site, but they did request that the applicant review the following considerations:
 - Evaluate if it is possible to reduce the amount of impervious surface, particularly surrounding the fuel canopy and on the corner of Rt. 64 and Dunham Rd. Reconfiguring the fuel canopy to have a bend partway may make for a more efficient use of the lot.
 - Explore potential pedestrian connection from the Rt. 64 sidewalk to the convenience store.
 - Consider eliminating the south cross-access point between Circle K and Franky's due to traffic conflict and stacking concerns. Also consider maintaining Franky's full access on Rt. 64.
 - Look into widening the northern exit onto Dunham Rd (Taco Bell) to accommodate a separate left and right-turn exit lane and an entry lane.
 - Consider eliminating bollards in front of the convenience store in favor of creating a curb to separate the parking from the sidewalk.

1. ATTACHMENTS

- Concept Plan Application; received 1/13/2021
- Plans
- Circle K Building Elevations

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

CITYVIEW
Project Name: <u>KFP Planned Unit Development 2020</u>
Project Number: <u>2021 -PR- 001</u>
Cityview Project Number: <u>PLCP 202100001</u>

<i>Received Date</i>
RECEIVED
JAN 08 2021
City of St. Charles

Community Development

CONCEPT PLAN APPLICATION

To request review of a Concept Plan for a property, complete this application and submit it with all required attachments to the Planning Division.

When the application is complete and has been reviewed by City staff, we will schedule a Plan Commission review, as well as a review by the Planning and Development Committee of the City Council. While these are not formal public hearings, property owners within 250 ft. of the property are invited to attend and offer comments.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

I. PROPERTY INFORMATION:

RDK/Shell (Circle K) – 2500 East Main Street, St. Charles, Illinois 60174
PIN: 09-26-276-037 (Parcel A on Existing Plan attached hereto as Tab 2)

Taco Bell – 510 Dunham Road, St. Charles, Illinois 60174
PIN: 09-26-276-029 (Parcel B on Tab 2)

Former Corfu Restaurant – 2520 East Main Street, St. Charles, Illinois 60174
PIN: 09-26-276-030 (Parcel C on Tab 2)

Franky's Red Hots – 2526 East Main Street, St. Charles, Illinois 60174
PIN: 09-26-276-026 (Parcel D on Tab 2)

Bosa Donuts – 2536 East Main Street, St. Charles, Illinois 60174
PIN: 09-26-276-027 (Parcel E on Tab 2)

Jersey Mike's Subs – 2540 East Main Street, St. Charles, Illinois 60174
PIN: 09-26-276-028 (Parcel F on Tab 2)

II. APPLICANT INFORMATION:

KFP Family Associates, L.P., an Illinois limited partnership (KFP) (Property Owner)
550 Renee Court
Geneva, Illinois 60134
Contact: Melia C. Linardos
(630) 660-4643
mlinardos@comcast.net

Counsel for Applicant KFP
Scott M. Day
Rachel K. Robert
Day & Robert, P.C.
300 East 5th Avenue, Suite 365
Naperville, Illinois 60563
(630) 637-9811
smd@drm.law
rkr@drm.law

RDK Ventures LLC, a Delaware limited liability company (Circle K) (RDK) (Tenant – Ground Lease)
By Mac’s Convenience Stores LLC, Its Manager
550 Warrenville Road, Suite 400
Lisle, Illinois 60532
Contact: Anthony C. Sgarlata
Director of Real Estate
Heartland and Midwest Business Units
(815) 762-4861
ACSgarlata@circlek.com

Counsel for Applicant RDK
Lori Pittman Haas
Ulmer & Berne LLP
1600 West 2nd Street, Suite 1100
Cleveland, Ohio 44113
(216) 583-7432
lhaas@ulmer.com

III. RECORD OWNER INFORMATION:

KFP Family Associates, L.P., an Illinois limited partnership
550 Renee Court
Geneva, Illinois 60134
Contact: Melia C. Linardos
(630) 660-4643
mlinardos@comcast.net

Please check the type of application:

- PUD Concept Plan:** Proposed Name: KFP Planned Unit Development 2020
- Subdivision Concept Plan** Proposed Name: KFP Subdivision
- Other Concept Plan** _____

Zoning and Use Information:

Current zoning of the property: BC, Community Business District

Is the property a designated Landmark or in a Historic District? No.

Current use of the property: BC, Community Business District – multi-tenant retail and restaurant

Proposed zoning of the property: BC – PUD (no change) **PUD?** Yes

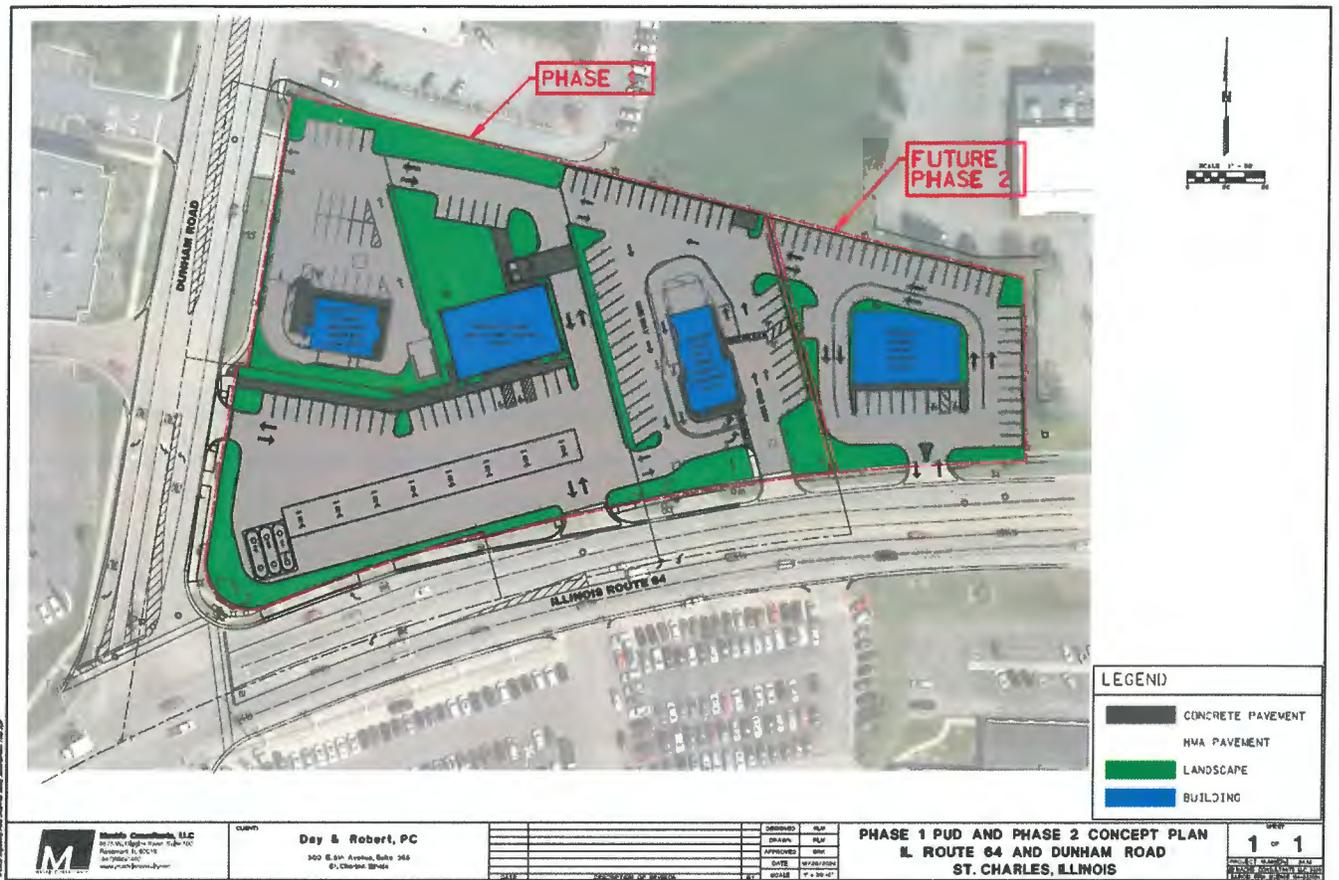
Proposed use of the property: BC, Community Business District – multi-tenant retail and restaurant

Comprehensive Plan Designation: Neighborhood Community

IV. SUMMARY OF DEVELOPMENT:

KFP Family Associates, L.P. (“KFP”) owns six contiguous lots of record at the northeast corner of Route 64 (Main Street) and Dunham Road. Combined, the six parcels constitute approximately 3.5 acres. The parcels were acquired in a number of real estate transactions spanning from the 1950’s through the 1980’s. As a result, the parcels individually developed over time and were not designed, engineered, graded or even planned to have any collaborative or mutually beneficial cross circulation of traffic movements with the neighboring parcels. The resultant land use pattern has generated no less than seven separate curb cuts onto Route 64, and three onto Dunham Road. (See Tab 2) The parcels are currently improved with a Taco Bell (Parcel B), a Shell gas station and Circle K convenience store (Parcel A), the former Corfu restaurant (now vacant) (Parcel C), Franky’s Red Hots (Parcel D), Bosa Donuts (Parcel E) and Jersey Mike’s Subs (Parcel F). None of the parcels has been graded or paved in a way that accommodates cross-access between the gas station and the various food establishments. Simply put, the existing land use pattern is neither internally efficient (causing customers to exit onto Route 64 or Dunham Road, or both, in order to make purchases at two or more of the collective retail establishments) nor externally efficient (causing multiple conflicting traffic movements by patrons using a multiplicity of curb cuts onto an arterial road network).

KFP proposes to reconfigure the entire 3.5 acre site into a more efficient and synergistic retail/restaurant planned unit development (“PUD”). The former site of the Corfu restaurant became available for lease as a result of the restaurant closure in 2019. RDK proposes to expand their existing leasehold to include the Corfu property. The primary intent of the RDK redevelopment is to modernize and improve the site conditions for construction of a new gas station and Circle K building on the expanded site. The existing Circle K building and associated canopy, as well as the existing Corfu restaurant building, will be demolished and replaced with a one-story Circle K convenience store with 4,625 square feet, a new canopy and eight reconfigured multi-product fuel dispensers. Ancillary parking and a trash enclosure will be



As shown on the foregoing drawing, the concept for Phase II of the PUD envisions consolidation of the Bosa Donuts and Jersey Mike’s Subs properties, while maintaining their currently shared curb cut onto Route 64. The two existing structures would be replaced with a single structure with a generous drive through service line. The current leases for this portion of the KFP holdings do not practically accommodate redevelopment now, and for this reason Phase II will not be processed by KFP until a future date. That said, the collective Phase I and future Phase II restructured KFP holdings display a significantly improved and more efficient vehicular circulation pattern, and reduced traffic movements into the adjacent arterial networks. KFP strongly believes this improved circulatory pattern and the resultant derivative efficiencies will enhance the economic performance of all retail/restaurant tenants within the PUD.

The proposed site plan for Phase I of the PUD will perpetuate several minor departures from the City Code including the following:

- 17.14.030 Minimum lot area less than one acre
- 17.26.100 Landscape islands not provided
- 17.24.070.3.A. Off-street parking located in landscape buffer



12/28/2020 10:58:07 AM
 PROJECT: 24352
 12/28/2020 10:58:07 AM


Mackie Consultants, LLC
 9575 W. Higgins Road, Suite 500
 Rosemont, IL 60018
 (847) 396-1400
 www.mackieconsult.com

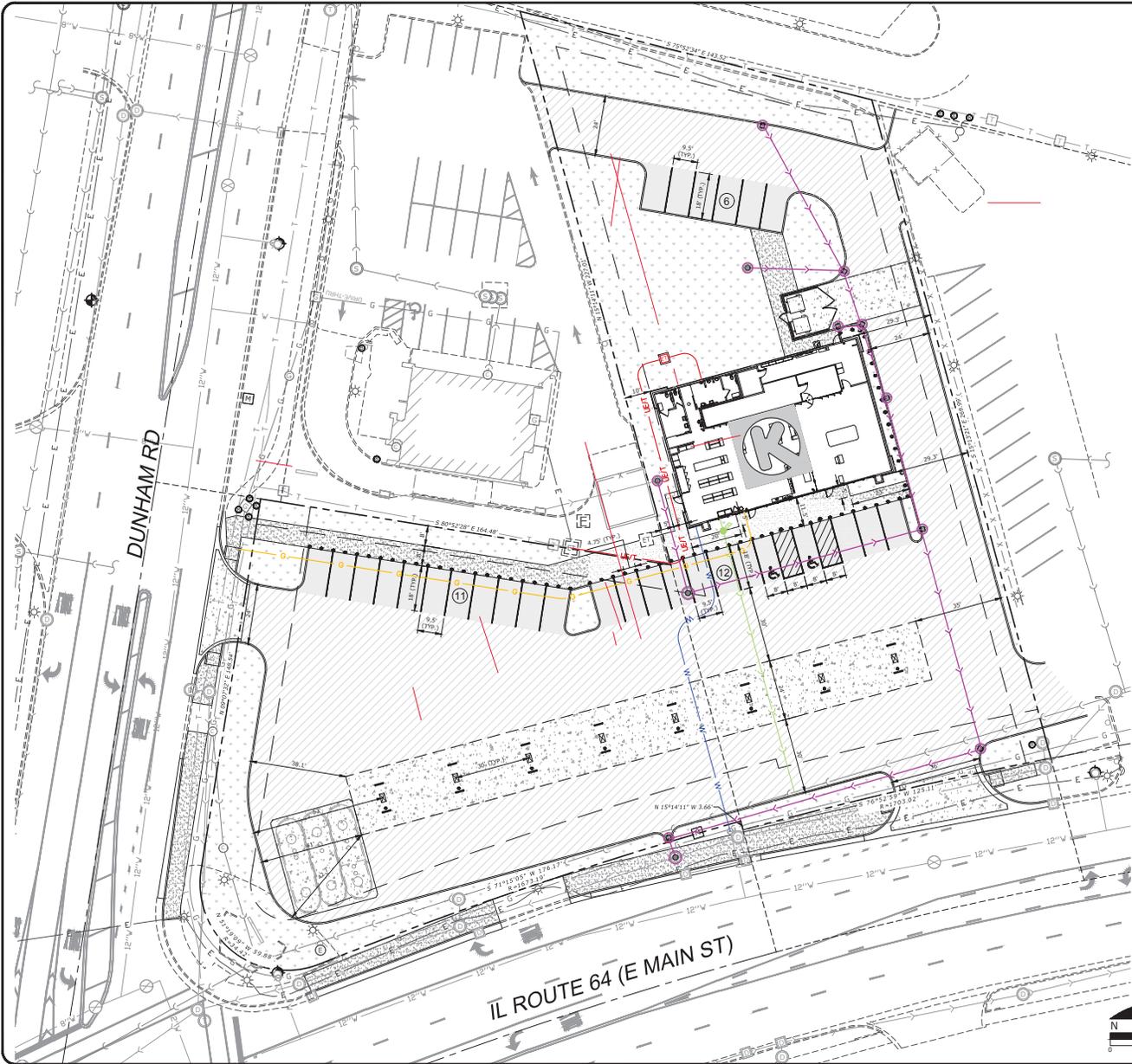
CLIENT: **Day & Robert, PC**
 300 E. 5th Avenue, Suite 365
 St. Charles, Illinois

DATE	DESCRIPTION OF REVISION	BY	SCALE

DESIGNED	BRK/RLM
DRAWN	RLM
APPROVED	BRK
DATE	12/28/2020
SCALE	1" = 60'-0"

EXISTING PLAN
IL ROUTE 64 AND DUNHAM ROAD
ST. CHARLES, ILLINOIS

SHEET
1 OF 1
 PROJECT NUMBER: 24352
 © MACKIE CONSULTANTS LLC 2020
 ILLINOIS FIRM LICENSE 184-002684



LEGEND

- PROPERTY LINE
- - - - LOT LINE
- - - - EXISTING RIGHT-OF-WAY
- - - - EXISTING EASEMENT LINE
- - - - PROPOSED EASEMENT LINE
- - - - EXISTING CURB AND GUTTER
- - - - PROPOSED CURB AND GUTTER
- PROPOSED FENCE (ORNAMENTAL/WOODEN)
- PROPOSED FENCE (CHAIN LINK)
- X - X EXISTING FENCE
- SANITARY SEWER
- STORM SEWER
- GAS LINE
- E/E/T ELECTRIC / TELEPHONE LINE
- W/W WATER LINE
- LIGHT POLE AND FIXTURE
- PROPOSED ADA PARKING SPACE
- 12 NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED PARKING STALLS
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED TURF AREA

LAYOUT NOTES

- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.

PARKING TABLE

NUMBER OF PARKING STALLS REQUIRED	17 (4 / 1,000 S.F. GFA)
NUMBER OF PARKING STALLS PROPOSED	29 (2 A.D.A.)

SITE AREA TABLE

IMPERVIOUS AREA	48,881 SF (1.08 AC)
TOTAL SITE AREA	62,890 SF (1.44 AC)
% IMPERVIOUS AREA	75%

ARC DESIGN RESOURCES INC.
 6291 ZENITH PARKWAY
 LOWES PARK, IL 61111
 VOICE: (815) 484-4300
 FAX: (815) 484-4303
 www.arcdesign.com
 Illinois Design Firm License No. 184-001534

PROJECT NAME
 OWNER'S NAME
CIRCLE K REDEVELOPMENT ST CHARLES
 2500 E Main Street
 St Charles, IL 60174
 KANE
 RDK Ventures LLC
 950 Warrenville Road, Suite 400
 Suite 1L 60552
 (812) 374-2529

CONSULTANTS

ISSUED FOR

NO.	DATE
1. CONCEPT SUBMITTAL	2/01/12/08
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

REVISIONS

ITEM	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

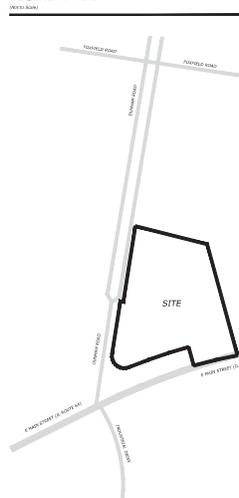
SHEET TITLE
OVERALL LAYOUT PLAN

DRAWN	TWL
CHECKED	LMD
IN CHARGE	RCS

PROJECT NUMBER
 SHEET NUMBER
17125
OL-1



VICINITY MAP



ALTA/NSPS LAND TITLE SURVEY

OF
PART OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP
40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN,
KANE COUNTY, ILLINOIS



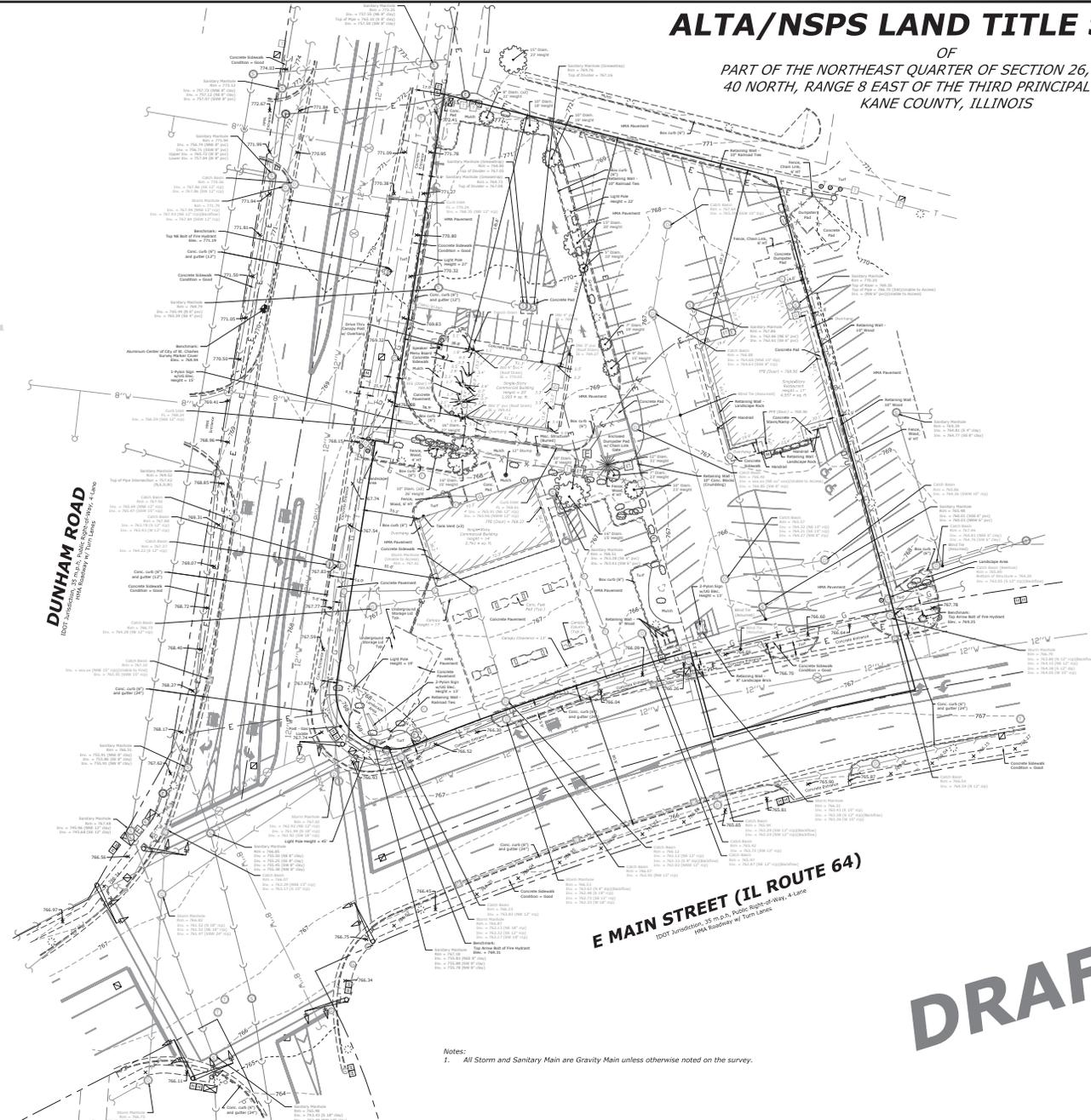
5201 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 184-011334



SYMBOL LEGEND

---	PROPERTY LINE ±
---	RIGHT-OF-WAY LINE
---	ASSESSMENT LINE
---	CENTER LINE ±
---	CURB AND GUTTER
---	OVERHEAD UTILITIES
G	GAS LINE
FO	FIBER OPTIC LINE
CATV	CABLE TELEVISION LINE
T	TELEPHONE LINE
E	ELECTRIC LINE
W	WATER LINE
SW	SANITARY SEWER LINE
SS	STORM SEWER LINE
---	FENCE
---	CONTOUR LINE
○	SANITARY MANHOLE
○	CLEANOUT
○	STORM MANHOLE / AREA
○	INLET
○	INLET SPECIAL
○	CURB CATCHBASIN /
○	INLET
○	CONCRETE FLARED END
○	SECTION
○	METAL OR PLASTIC
○	FLARED END SECTION
○	VALVE VAULT
○	VALVE BOX
○	FIRE HYDRANT ASSEMBLY
○	SPRINKLER
○	WELL
○	MONITORING WELL
○	UTILITY POLE
○	GYI WIRE END ANCHOR
○	ELECTRIC TRANSFORMER
○	AND PAD
○	ELECTRIC PEDESTAL
○	ELECTRIC METER
○	CABLE JUNCTION BOX -
○	PAD MOUNTED
○	CABLE PEDESTAL
○	TELEPHONE JUNCTION
○	VAULT
○	TELEPHONE PEDESTAL
○	TELEPHONE SWITCH BOX
○	GAS METER
○	GAS VALVE
○	A.S.A. COMPLIANT
○	PARKING
○	LURNMARE AND POST
○	SIGN AND POST
○	BOLLARD
○	AIR CONDITIONER
○	FLAG POLE
○	BENCHMARK LOCATION
○	DECIDUOUS TREE
○	CONIFEROUS TREE
○	BUSH
○	MAILBOX
○	TRAFFIC SIGNAL
○	SIGNAL CONTROL CABINET
○	HANDHOLE
○	YARD LIGHT
○	PARKING BLOCK
○	NUMBER OF PARKING
○	SPACES

- Existing Zoning/ Land Use**
- Current Site Zoning: BC - Community Business
 - Current Site Use: Convenience Store with Fuel Sales and Miscellaneous Commercial
 - Surrounding Land Use and Zoning:
 - North: DR - Office/Research
 - East: BC - Community Business
 - South: BC - Community Business
 - West: BC - Community Business
 - Zoning S/W Restrictions/Requirements:
 - Minimum Lot Area: 1 acre
 - Maximum Building Height: 40'
 - Minimum Building Setbacks:
 - Front (South): 20'
 - Side (East): 10'
 - Side Street (West): 20'
 - Rear (North): 30'
 - Minimum Canopy Setbacks:
 - Front (South): 20'
 - Side (East): 10'
 - Side Street (West): 20'
 - Rear (North): 30'
 - Where does each setback apply:
 - Front (South): 20'
 - Side (East): 10'
 - Side Street (West): 20'
 - Rear (North): 30'
 - Minimum Frontage: Not Specified
 - Maximum Lot Coverage: Not Specified
 - Maximum Floor Area Ratio (FAR): Not Specified



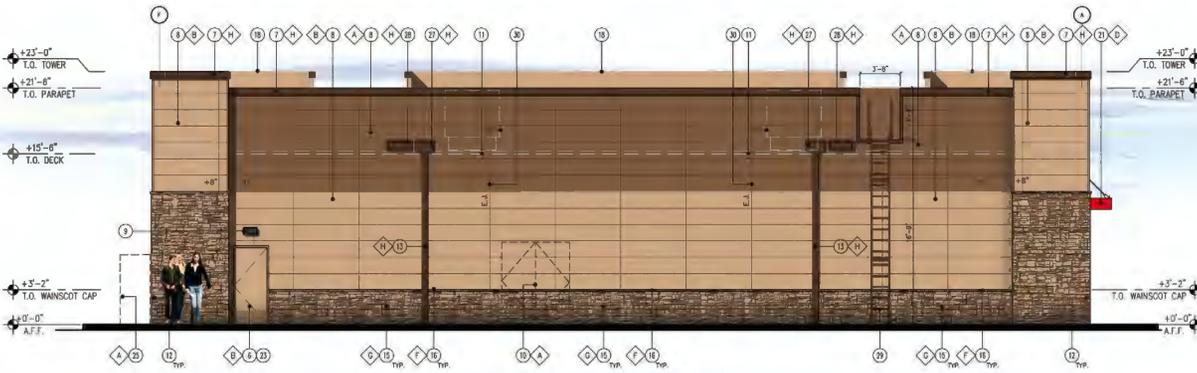
E MAIN STREET (IL ROUTE 64)
 (DOT Jurisdiction, 55 mph, Public Right-of-Way, 4 Lane
 with Roadway 40 Feet Lanes)

DRAFT

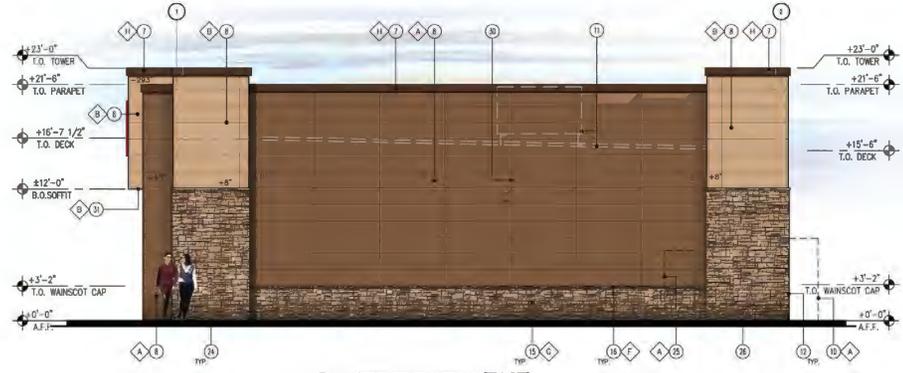
Notes:
 1. All Storm and Sanitary Main are Gravity Main unless otherwise noted on the survey.



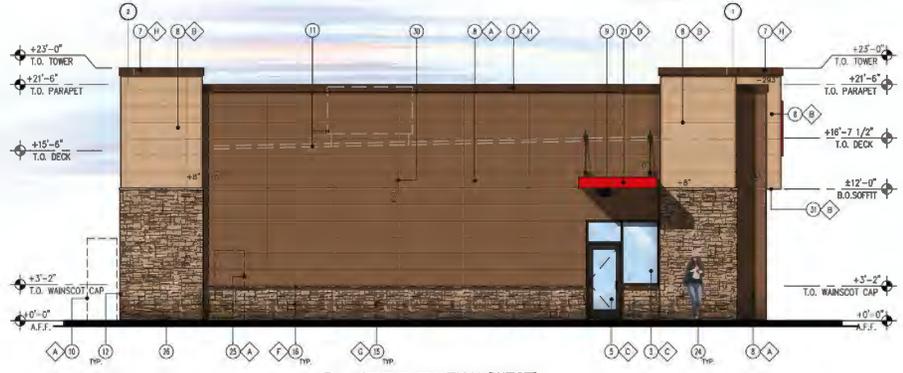
1 FRONT ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



2 BACK ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION (WEST)
SCALE: 3/16" = 1'-0"

KEY NOTES

1. STEEL COLUMN WRAP WITH BRUSH METAL
2. LINE OF CANOPY / SOFFIT
3. DARK BRONZE ANODIZED WINDOW FRAM W/ GRAY TINTED GLASS PER SQUARE SQUAREWAY SPECS, SEE GLAZING SCHEDULE ON SHEET A-2
4. INTERNALLY ILLUMINATED SIGN WITH BLOCKING (UNDER SOFFIT/POUNTS)
5. DARK BRONZE W/ GRAY TINTED GLASS STOREFRONT SYSTEM
6. SOURCE BOOK, PAINT TO MATCH SURROUNDING WALL
7. PRE-FINISH METAL CORNER
8. 1/2" THK. x 1 1/2" x 1 1/2" L WALL PANEL FINISH CORNER
9. WALL MOUNTED LIGHT FIXTURE, COLOR: BLACK, SEE ELECTRICAL PLAN
10. SEE PANEL LOCATION, SEE ELECTRICAL PLAN
11. ROOF LINE AND HANG UNITS
12. 1-1/2" STAINLESS STEEL CORNER EDGE, TYP. TO ALL CORNERS
13. CONDUIT, REC. PLUMBING PLAN
14. ADDRESSING LOCATION "1" SHALL BE BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
15. 1 3/8" THK. x 6" HIGH FINISH CEMENT WAINSCOT
16. 1-1/2" HIGH FINISH CEMENT CAP METAL PER MFR. SPECS.
17. MODURA ESSENTIAL "STAIRSTEP" FLASHING
18. PARAPET WALL BRUSH
19. (CHECK KEY-HOLE AS 4'-0" HT. (IF REQUIRED BY FIRE DEPARTMENT))
20. FIRE DEPARTMENT CONNECTION (IF REQUIRED)
21. METAL CANOPY
22. EMERGENCY FUEL SHUT-OFF SWITCH, REFER TO SHEET FLD - FUEL PIPING FLOOR PLAN
23. INSULATED METAL DOOR
24. MODURA ESSENTIAL "STAIRSTEP" FLASHING
25. CO2 TANK WITH METAL LAMINATED CONTAINER
26. EXTERIOR FINISH TO DETAIL ABOVE SCHEDULE/GRACE, SEE DET. 11/A&B
27. LEADER BOX, SEE PLUMBING DRWG.
28. EMERGENCY OVERFLOW SCUPPER, SEE PLUMBING DRWG.
29. METAL ROOF ACCESS LADDER WITH SECURITY DOOR UNDER GUARD MODEL # LGR C1 P2 BY COTTERMAN
30. CONTROL/EXPANSION JOINT "E.A." LOCATION, SEE DETAIL 5/A&B
31. WAINSCOTT FINISH CEMENT PANELS, SEE DETAIL 2/A&B

FINISH SCHEDULE

- ◊ - MODURA TUFF BLOCK
COLOR TO MATCH #200 BASS TONIGHT
- ◊ - MODURA TUFF BLOCK
COLOR TO MATCH #200 BASS TONIGHT
- ◊ - 1" INSULATED, DOUBLE PANELED GRAY TINTED GLASS
- ◊ - "SHERWIN WILLIAMS #200 4081
"SAFETY RED
- ◊ - "SHERWIN WILLIAMS #200 7005
CIRCLE K WHITE
- ◊ - MODURA CHEERLEAD BALL TANK
- ◊ - MODURA LEDGESTONE BLUFF
- ◊ - "SHERWIN WILLIAMS #200 6000 - JUNE
PRESTONE SANDWASH BROWN GR (USE FOR PRE-FINISH METAL CORNER)
- ◊ - CIRCLE K ORANGE #200 144
- ◊ - MODURA TUFF BLOCK
COLOR TO MATCH #200 4081
- * SEE SHERWIN WILLIAMS MANUFACTURER ONLY
** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION
*** PURCHASED BY CIRCLE K/INSTALLED BY G.C. SEE TO COORDINATE WITH CD PM AND OWNER'S REP.
dsh@skbrands.com

CIRCLE K STORES INC.
1120 W. Warner Road, Building B
Tempe, Arizona 85284
t: (602) 728-4850
f: (602) 307-4850

CIRCLE K
PROJECT ADDRESS
CITY, CA
PROJECT NUMBER
A-2

BUILDING EXTERIOR ELEVATIONS - 4625
SCALE: AS NOTED



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4b

Title:

Plan Commission recommendation to approve an Amendment to Special Use for PUD for Octane 93 Brewery, 1825 Lincoln Highway (St. Charles Commercial Center PUD)

Presenter:

Rachel Hitzemann

Meeting: Planning & Development Committee

Date: February 8, 2021

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

The subject property is located at 1825 Lincoln Hwy. and is located within the St. Charles Commercial Center PUD. A PUD Preliminary Plan for the existing building was approved in 2015. The current uses at this location include an interconnected restaurant, liquor store and bar/tavern. These uses will remain the same.

CIMA Developers, LP has filed a Special Use application to amend the St. Charles PUD Ordinance to allow for the construction of a 500sf addition and outdoor patio area with a covered roof.

Plan Commission Recommendation

Plan Commission held a public hearing on February 2, 2021 and voted 6-0 to recommend approval, subject to resolution of outstanding staff comments prior to City Council action. No members of the public commented during the hearing.

The only Commission comment was in regards to how the fencing around the outdoor patio would be constructed. The applicant has submitted a fence plan for the Committee to review.

Attachments *(please list):*

Plan Commission Resolution, Staff Report, Application, Plans

Recommendation/Suggested Action *(briefly explain):*

Plan Commission recommendation to approve an Amendment to Special Use for PUD for Octane 93 Brewery, 1825 Lincoln Highway (St. Charles Commercial Center PUD)

City of St. Charles, Illinois
Plan Commission Resolution No. 1-2021

**A Resolution Recommending Approval of a Special Use to amend Ordinance
1982-Z-6 (St. Charles Commercial Center PUD), 93 Octane Brewery, 1825
Lincoln Hwy., St. Charles Commercial Center PUD (CIMA Developers, LP)**

Passed by Plan Commission on February 2, 2021

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use and PUD Preliminary Plan; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use to amend Ordinance 1982-Z-6 (St. Charles Commercial Center PUD), 1825 Lincoln Highway, St, Charles Commercial Center PUD (CIMA Developers, LP); and,

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD (PUD Amendment) to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community**

The building expansion architecture will match the current building design and will add to the current amenity and promotes continued economic growth and enhances the operations of the building use.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The existing development already provides for many of the factoes listed in section 17.04.400.B

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Yes. The current offer and use already serve the public convenience and will enhance operations.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Yes, the development already provides for utilities, access roads, drainage, and the modification will not affect this.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The modifications will not be injurious to the existing use and enjoyment of other property in the immediate vicinity and will not diminish or impair property values within the neighborhood.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

No. The current development's modifications will not impede the normal and orderly development and improvements of the surrounding property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

No. The modification will not be detrimental or endanger the public health, safety, comfort, or general welfare.

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Yes. The proposed modification will conform to all applicable provisions of the St. Charles Municipal Code and meets applicable provisions.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

Yes, the current development is beneficial to the physical development, diversity, tax base and economic well-being of the city and the modification will enhance that.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

Yes. The current development conforms to the purposes and intent of the Comprehensive Plan.

WHEREAS, the Plan Commission finds said Site Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, except as varied per the application for Special Use (PUD Amendment), subject to resolution of any outstanding staff review comments.

Resolution No. 1-2021

Page 4

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of a Special Use to amend Ordinance 1982-Z-6 (St. Charles Commercial Center PUD), 93 Octane Brewery, 1825 Lincoln Highway, St. Charles Commercial Center PUD (CIMA Developers, LP).

Roll Call Vote:

Ayes: Pretz, Kessler, Wallace, Holderfield, Funke, Vargulich

Nays: None

Abstain: None

Absent: Purdy, Melton

Motion carried: 6-0

PASSED, this 2nd day of February 2021.

Chairman
St. Charles Plan Commission

Community and Economic Development
 Planning Division
 Phone: (630) 377-4443
 Fax: (630) 377-4062



Staff Report

TO: Chairman Rita Payleitner
 And Members of the Planning & Development Committee

FROM: Rachel Hitzemann, Planner

RE: PUD Amendment for 1825 Lincoln Hwy. (St. Charles Commercial Center PUD)

DATE: February 3, 2021

I. APPLICATION INFORMATION:

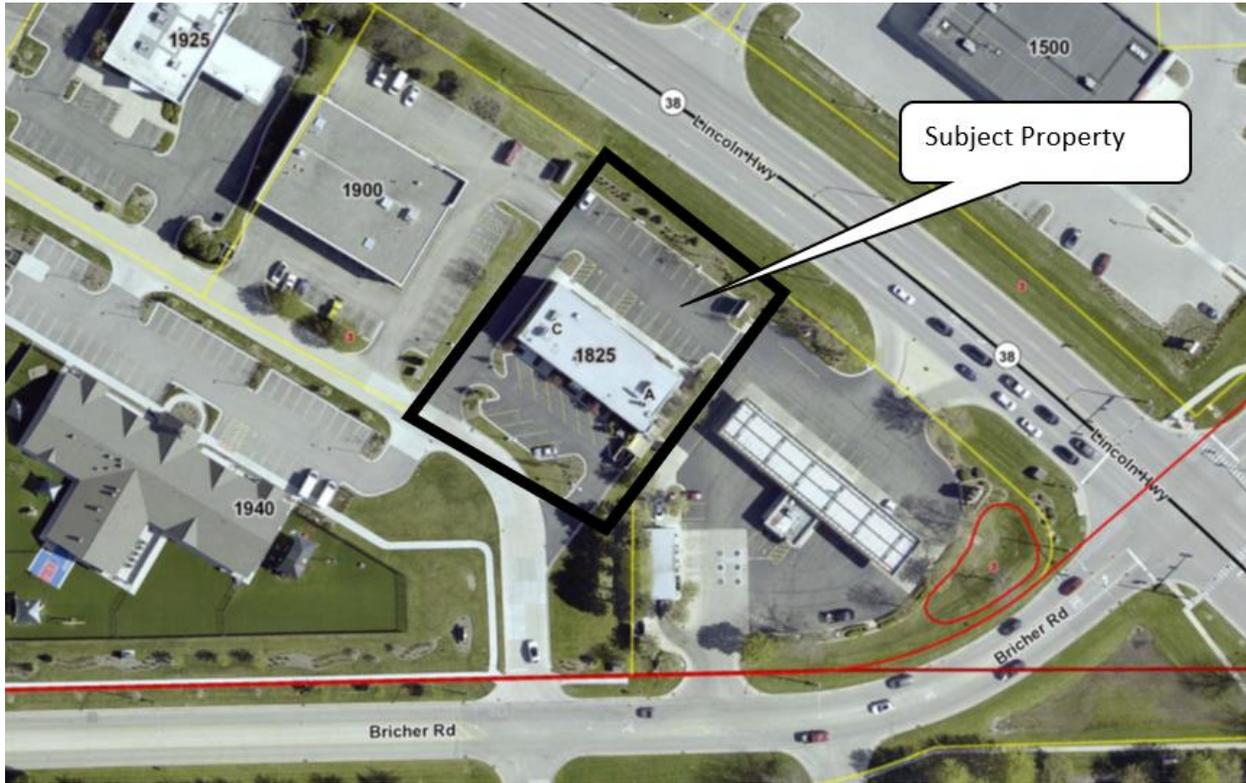
Project Name: 1825 Lincoln Hwy.

Applicant: CIMA Developers, Inc.

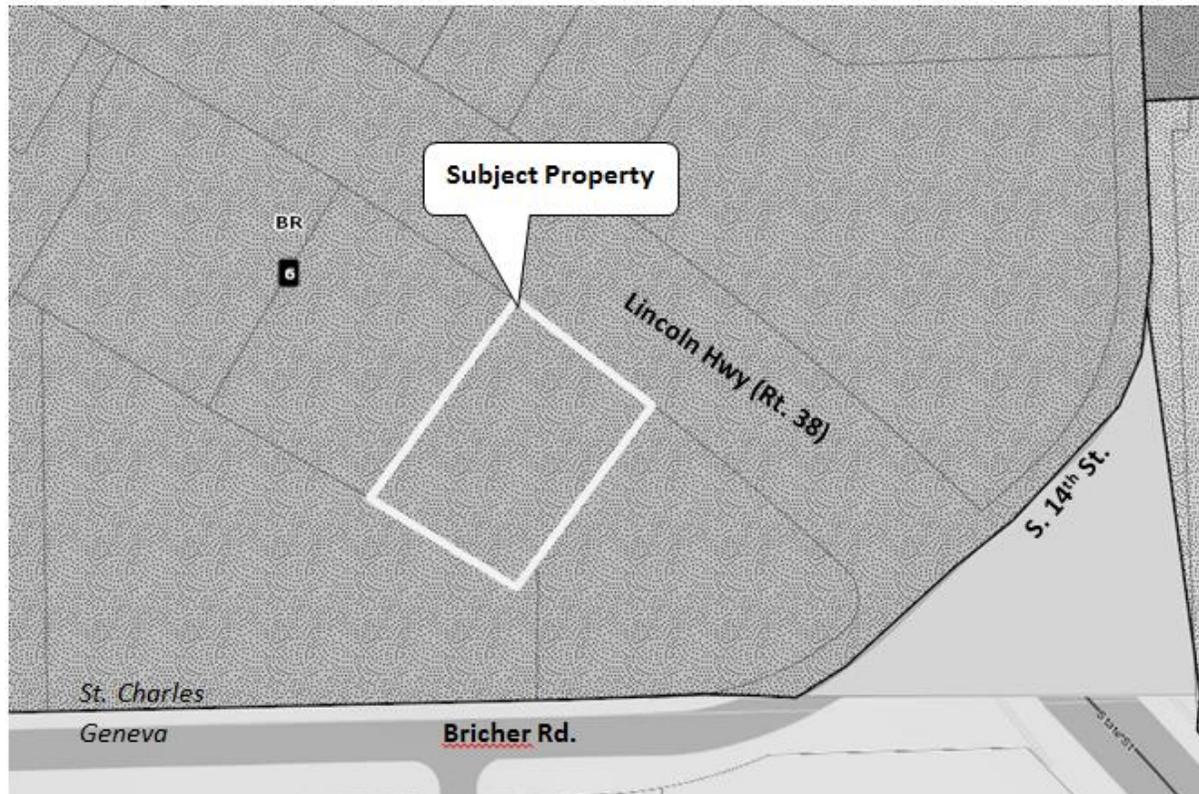
Purpose: Special Use to amend the St. Charles Commercial Center PUD to allow the proposed addition to the 93 Octane Brewery building

General Information:		
Site Information		
Location	1825 Lincoln Hwy. (Rt. 38 frontage)	
Acres	0.77 acre	
Applications	Special Use to amend PUD	
Applicable Zoning Code Sections and PUD Ordinance	Ch. 17.14 Business and Mixed-Use Districts Ch. 17.24 Off-Street Parking, Loading & Access Ordinance 1982-Z-6 "An Ordinance Rezoning Property to the R-4 Multiple Residence District and the B-3 Service Business District and Granting a Special Use as a PUD for the St. Charles Commercial Center Property"	
Existing Conditions		
Land Use	Commercial (Bar and Retail Building)	
Zoning	BR- Regional Business (PUD)	
Zoning Summary		
North	BR- Regional Business (PUD)	Commercial
East	BR- Regional Business (PUD))	Commercial (gas station)
South	BR- Regional Business (PUD)	Vacant
West	BR- Regional Business (PUD)	Commercial (Suburban Tire)
Comprehensive Plan Designation		
Neighborhood Commercial		

Aerial



Zoning



II. BACKGROUND

Property History

The subject property, 1825 Lincoln Hwy, fronts Rt. 38 and is adjacent to the BP gas station on the corner of Rt. 38 and Bricher Road.

The property is located within the St. Charles Commercial Center PUD. As such, development of the property is regulated under Ordinance No. 1982-Z-6 “An Ordinance Rezoning Property to the R-4 Multiple Residence District and the B-3 Service Business District and Granting a Special Use as a PUD for the St. Charles Commercial Center Property”.

A PUD Preliminary Plan to develop the property as a commercial building for the purpose of a bar, liquor store and other retail was approved in 2015.

Proposal

CIMA Developers, applicant, is proposing to construct a 20x25 addition onto the West end of the current building. An outdoor patio with a pergola will also be added.

III. STAFF ANALYSIS

Staff has performed an analysis of the submitted Site Plan to identify any deficiencies with the proposal as it relates to the standards established in the St. Charles Commercial Center PUD and City Code Title 17 (Zoning Ordinance). The following is a description of staff’s analysis.

A. EXISTING USES

An interconnected restaurant, liquor store, and tavern/bar (with accessory brewery) occupy the building. These uses individually are permitted uses in the St. Charles Commercial Center PUD (Ordinance No. 1982-Z-6). The uses will remain the same.

At the time the liquor license was approved to establish the Octane 93 Brewery, the owner requested that the interconnected business functions in the building be considered a combined “Brew Pub” use, which is the equivalent of a Restaurant use in terms of zoning requirements. The parking requirement was then calculated based on a Restaurant use for the entire building.

B. ZONING STANDARDS

The property is zoned BR- Regional Business District and is located within the St. Charles Commercial Center PUD. Staff has reviewed the submitted plans vs. the requirements of the Zoning Ordinance and PUD. The following table summarizes that review:

Category	STC Commercial Center PUD / Zoning Ordinance Standard	Proposed
Lot Width	None	151.06 ft.
Building Setbacks:		
<i>Front (Rt. 38)</i>	30 ft.	88 ft.
<i>Side (east)</i>	15 ft.	10 ft.*
<i>Side (west)</i>	15 ft.	10 ft. *
<i>Rear</i>	30 ft.	67.5 ft.
Parking Setbacks:		
<i>Front (Rt.38)</i>	20 ft.	20 ft.
<i>Side (east)</i>	None	5 ft.
<i>Side (west)</i>	None	2.5 ft.
<i>Rear</i>	None	0 ft.
Building Coverage	30%	17%
Building Height	40 ft.	18 ft.
Parking Stall Size	9' x 18' OR 9'x16' w/ 2 ft. bumper overhang	9' x 16' w/ 2 ft. bumper overhang; 9'x17' w/1 ft. bumper overhang; 9'x18'
Drive-Aisle Width	12' (One Way), 24' (Two Way)	12' (One Way Portion); 24' (Two Way Portion)
Parking Requirement	10 spaces per 1,000 sf per "Brew Pub" concept for entire building (2018 Liquor License approval) 46 spaces required; 36 spaces provided on-site, 10 off-site (easement on BP property)	51 spaces required, 52 spaces provided Includes 42 spaces provided on site, 10 off-site (easement on BP property)

*The required side yard setback in the BR Regional Business District is 15 ft. The proposed east side yard setback is 10 ft. Section 2.I Yards of Ordinance No. 1982-Z-6 (St. Charles Commercial Center PUD) states,

"No yard or setback shall be less than the requirements of the Zoning Title or as shown in Exhibit 'B', as the case may be, unless the City Council shall have determined otherwise at the time of approval of the preliminary plan."

At the time the original PUD Preliminary Plan was approved in 2002, an 8 ft. setback was approved on the east side of the lot. Staff has determined that, due to the ordinance language, an 8 ft. setback was established on the east side and may continue. Therefore, the 10 ft. setback on the east side meets the requirements established by the PUD.

Staff Comments

- A PUD Amendment is required to now reduce the west interior side yard setback from 15 ft. to 10 ft.
- Plans have been submitted showing the building addition, pergola and landscape modifications around the addition. The submitted plans comply with all setback, bulk, landscape and parking requirements. The design of the addition is consistent with the existing building.

C. SITE/ENGINEERING REVIEW

Engineering approved the preliminary plans with no comments. Comments were made in regards to the final engineering plans and the applicant will need to revise the plans before final submittal.

The parking lot access drive along the west side of the subject property is proposed to be closed/ removed. A cross access easement exists for vehicles in the parking lot north of the building to enter the adjacent parking lot to the west (Suburban Tire). The cross-access easement, however, does not continue south to the main shopping center access drive located south of the properties. In event this connection to the south is removed or obstructed, the north parking lot of the subject property would be accessible only from the BP gas station property to the east, which is under common ownership.

The Fire Department has reviewed the site plan and determined that access to the north parking lot from the east side of the property only is sufficient to meet the access requirements of the Fire Code.

IV. PLAN COMMISSION RECOMENDATION

Plan Commission held a public hearing on 2/2/21. There was no public comment given regarding the project.

One Commission member had a comment regarding potential fencing needed to enclose the patio as part of the liquor license permit for outdoor consumption. A plan showing the location of the fence has been submitted for review.

V. ATTACHMENTS

- Application for a Special Use; received 12/16/20
- Site Plans; dated 11/30/20
- Landscape Plan; received 1/11/21
- Building Elevations; received 1/11/21

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	<u>93 Octane Brewery</u>
Project Number:	<u>2020-PR-018</u>
Cityview Project Number:	<u>PLSU202000053</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>1825 LINCOLN HWY, ST. CHARLES, IL 60174</u>	
	Parcel Number (s):	<u>09-33-377-004</u>	
	Proposed Name:	<u>93 OCTANE BREWERY - BUILDING EXPANSION</u>	
2. Applicant Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>630-653-1700</u>
	Address	<u>30W180 BUTTERFIELD RD.</u>	Fax <u>630-</u>
		<u>WARRENVILLE, IL 60555</u>	Email <u>dsaltis@cimadevelopers.org</u>
3. Record Owner Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>630-653-1700</u>
	Address	<u>30W180 BUTTERFIELD RD</u>	Fax <u>SAME</u>
		<u>WARRENVILLE, IL 60555</u>	Email <u>SAME</u>

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name:** _____
- New PUD
- Amendment to existing PUD- Ordinance #: _____
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** _____
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: _____

Is the property a designated Landmark or in a Historic District? NO

What is the property's current zoning? _____

What is the property currently used for? EXISTING - SAME USE

If the proposed Special Use is approved, what improvements or construction are planned?

For Special Use Amendments only:

Why is the proposed change necessary?
FOR EXPANSION OF BUILDING AND TO ALLOW FOR
OUTSIDE SEATING AREA

What are the proposed amendments? (Attach proposed language if necessary)

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

X APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

X REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

X REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

X PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

X LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

X PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

X FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

X LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

N/A Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

ENDANGERED SPECIES REPORT:

N/A Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

TRAFFIC STUDY: If requested by the Director of Community Development.

N/A Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

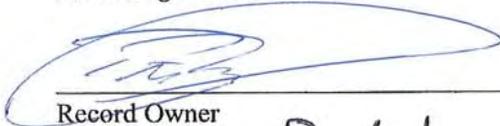
SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.



Record Owner

12/4/20

Date



Applicant or Authorized Agent

12/4/2020

Date

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)



For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

 PUD Name

12/4/2020
 Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

THE BUILDING EXPANSION ARCHITECTURE WILL MATCH THE CURRENT BUILDING DESIGN. AND WILL ADD TO THE CURRENT AMENITY AND PROMOTES CONTINUED ECONOMIC GROWTH AND ENHANCES THE OPERATIONS OF THE BUILDING'S USE.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

YES. THE CURRENT DEVELOPMENT USE ALREADY SERVE THE PUBLIC CONVENIENCE AND WILL ENHANCE OPERATIONS

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

YES, THE DEVELOPMENT ALREADY PROVIDES FOR UTILITIES, ACCESS ROADS DRAINAGE, AND THE MODIFICATION WILL NOT AFFECT THIS

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

THE MODIFICATIONS WILL NOT BE INJURIOUS TO THE EXISTING USE AND ENJOYMENT OF OTHER PROPERTY IN THE IMMEDIATE VICINITY AND WILL NOT DIMINISH OR IMPAIR PROPERTY VALUES WITHIN THE NEIGHBORHOOD

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

NO. THE CURRENT DEVELOPMENT'S MODIFICATIONS WILL NOT IMPEDE THE NORMAL AND ORDERLY DEVELOPMENT AND IMPROVEMENTS OF THE SURROUNDING PROPERTY

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

NO. THE MODIFICATION WILL NOT BE DETRIMENTAL OR ENDANGER
THE PUBLIC HEALTH, SAFETY, COMFORT OR GENERAL WELFARE

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

YES. THE PROPOSED MODIFICATION WILL CONFORM TO ALL
APPLICABLE PROVISIONS OF THE ST. CHARLES MUNICIPAL CODE &
MEETS APPLICABLE PROVISIONS

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

YES. THE CURRENT DEVELOPMENT IS BENEFICIAL TO THE PHYSICAL
DEVELOPMENT, DIVERSITY, TAX BASE AND ECONOMIC WELL-
BEING OF THE CITY AND THE MODIFICATION WILL ENHANCE THAT.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

YES. THE CURRENT DEVELOPMENT CONFORMS TO THE PURPOSES AND
INTENT OF THE COMPREHENSIVE PLAN

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

THE EXISTING DEVELOPMENT ALREADY PROVIDES FOR
MANY OF THE FACTORS LISTED IN SECTION 17.04.400.B

The remedies available to the City as set forth hereinabove are non-exclusive and nothing herein shall be deemed to limit or waive the City's right to seek relief of such fees against any or all are responsible parties in a court of competent jurisdiction.

Any remaining balance of funds deposited pursuant to this Agreement shall be refunded upon the later occurring of the following events: completion of City deliberation on the petition or application, recordation of all necessary documents associated with the petition or application, or issuance of a building permit upon the real property in question.

BY SIGNING BELOW, THE PETITIONER/APPLICANT AND OWNER ACKNOWLEDGE THAT EACH OF THEM HAS READ THE FOREGOING PARAGRAPHS AND EACH OF THEM FULLY UNDERSTANDS AND AGREES TO COMPLY WITH THE TERMS SET FORTH HEREIN. FURTHER, BY SIGNING BELOW, EACH SIGNATORY WARRANTS THAT HE/SHE/IT POSSESSES FULL AUTHORITY TO SO SIGN.

THE PETITIONER/APPLICANT AND OWNER AGREE THAT PETITIONER/APPLICANT AND OWNER SHALL BE JOINTLY AND SEVERALLY LIABLE FOR PAYMENT OF FEES REFERRED TO IN APPLICABLE SECTIONS OF THE ORDINANCES OF THE CITY OF ST. CHARLES, AND AS SET FORTH HEREIN.



Petitioner/Applicant



Owner

Date: 12/4/2020

City of St. Charles

By: _____
City Administrator

Attest

Date: _____



CIMA DEVELOPERS, LP

**30W180 Butterfield Road
Warrenville, IL 60555
O: (630) 653-1700
F: (630) 791-8283**

December 4, 2020

City of St. Charles
Zoning and Planning
2 East Main Street
St. Charles, IL 60174

RE: CIMA Developers, LP / 93 Octane Brewery Building expansion- 1825 Lincoln Highway,
Consent Authorization to proceed with Zoning Application

To Whom It May Concern:

I, Peter M. Spina, authorized agent of CIMA Developers, LP, the Owner of the subject property, located at 1825 Lincoln Highway, St. Charles, IL give my consent to Dan Soltis of CIMA Developers, LP to apply and proceed with any City zoning proceedings necessary in relation to the accompanying Zoning Applications.

Regards,

Peter M. Spina
Authorized Agent
CIMA Developers, LP

NONRESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: 93 Octane Brewery

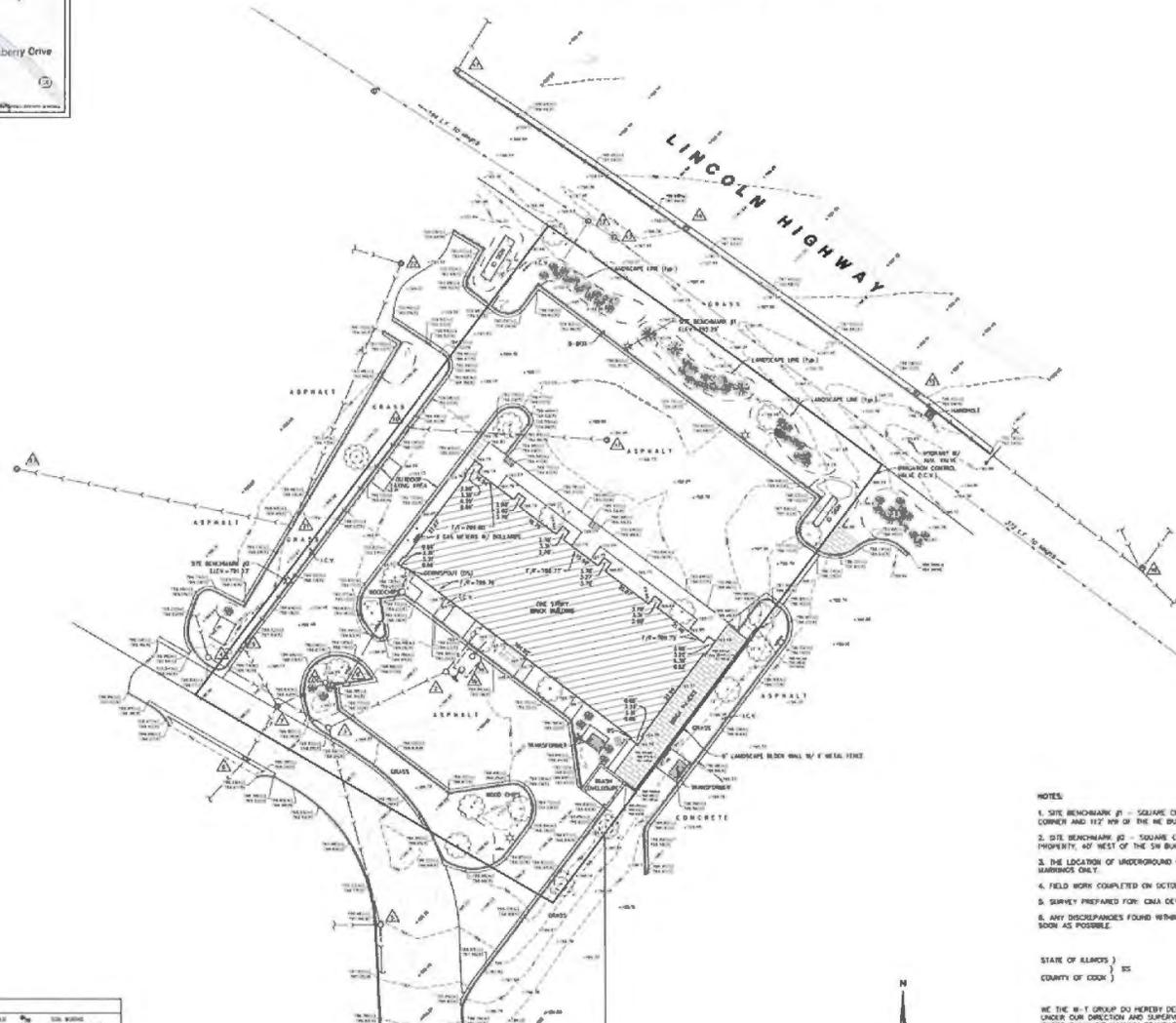
	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR- REGIONAL BUSINESS	Ordinance #:	
Minimum Lot Area	1 ACRE		0.73 ACRES
Minimum Lot Width	NONE		NONE
Maximum Building Coverage	30%		17%
Maximum Gross Floor Area per Building	NONE		5,308 S.F.
Maximum Building Height	40 FEET		20 FEET
Front Yard	BUILDING = 20 FEET PARKING = 20 FEET		BUILDING = 86.46 FEET PARKING = 20.34 FEET
Interior Side Yard	BUILDING = 15 FEET PARKING = NONE		BUILDING = 10.39 FEET
Exterior Side Yard	BUILDING = 20 FEET PARKING = 20 FEET		BUILDING = 9.95 FEET PARKING = 14.85 FEET
Minimum Rear Yard	BUILDING = 30 FEET PARKING = 0 FEET		BUILDING = 66.03 FEET PARKING = 15.96 FEET
Landscape Buffer Yard ²	NOT REQUIRED		NOT REQUIRED
% Overall Landscaped Area	20% WITH ON SITE STORM		24%
Building Foundation Landscaping	50% HORIZONTAL DIMENSIONS OF BUILDING WALL		70%
% Interior Parking Lot Landscaping	NOT AVAILABLE		NOT AVAILABLE
Interior Parking Lot Shade Trees	NOT AVAILABLE		NOT AVAILABLE
# of Parking spaces	RETAIL BUILDING = 4 PER 1,000 SF = 21 SPACES		RETAIL BUILDING = 38
Parking Stall Dimensions	9' x 18'		9' x 18'
Drive-through Stacking Spaces (if applicable)	NOT APPLICABLE		NOT APPLICABLE

² Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, RT or RM District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.



LOCATION MAP

TOPOGRAPHIC SURVEY



- 80+78.16 (STANDARD) 48" CONCRETE STRUCTURE 80+78.16 (1" P.C. 48") 80+78.16 (1" P.C. 48")
- 80+78.17 (STANDARD) 48" CONCRETE STRUCTURE 80+78.17 (1" P.C. 48") 80+78.17 (1" P.C. 48")
- 80+78.18 (STANDARD) 48" CONCRETE STRUCTURE 80+78.18 (1" P.C. 48") 80+78.18 (1" P.C. 48")
- 80+78.19 (STANDARD) 48" CONCRETE STRUCTURE 80+78.19 (1" P.C. 48") 80+78.19 (1" P.C. 48")
- 80+78.20 (STANDARD) 48" CONCRETE STRUCTURE 80+78.20 (1" P.C. 48") 80+78.20 (1" P.C. 48")
- 80+78.21 (STANDARD) 48" CONCRETE STRUCTURE 80+78.21 (1" P.C. 48") 80+78.21 (1" P.C. 48")
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- NOTES
1. SITE BENCHMARK #1 - SQUARE CUT IN CONCRETE LIGHT POLE BASE, 20' NE OF THE SW BUILDING CORNER AND 112' OF THE NE BUILDING CORNER AS SHOWN. ELEVATION=792.28' (NAVD83)
 2. SITE BENCHMARK #2 - SQUARE CUT IN CONCRETE LIGHT POLE BASE ON WESTERLY SIDE OF PROPERTY, 40' WEST OF THE SW BUILDING CORNER AS SHOWN. ELEVATION=791.23' (NAVD83)
 3. THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISUAL SURVEILLANCE ONLY.
 4. FIELD WORK COMPLETED ON OCTOBER 2, 2020
 5. SURVEY PREPARED FOR: CMA DEVELOPERS, LP
 6. ANY DISCREPANCIES FOUND WHEN THIS DOCUMENT FILED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

STATE OF ILLINOIS)
 COUNTY OF COOK)

WE, THE W-T GROUP, DO HEREBY DECLARE THAT THIS TOPOGRAPHIC SURVEY WAS MADE UNDER OUR DIRECTION AND SUPERVISION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

THE W-T GROUP, LLC

Frank J. Mat...
 FRANK J. MATCOCK - PLS. 0031-003569 EXPIRES 11/30/2025
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-007070-2015



LEGEND		
PROPERTY LINE	1/4" LY	TOP FOUNDATION/TRANSVERSE
CENTER LINE	---	TRUCK SIGN
ROADWAY LINE	---	FLARED END SECTION
BUILDING STRUCK	---	FLARED END SECTION
ROOF DRAIN	---	COVERED WALKWAY
CONCRETE WALL	---	OPEN GRATE WALKWAY
CONCRETE	---	COVERED WALKWAY
ASPHALT	---	OPEN GRATE WALKWAY
GRASS	---	COVERED WALKWAY
WOOD	---	OPEN GRATE WALKWAY
...

WT GROUP
 1825 BLACKBERRY DRIVE
 ST. CHARLES, ILLINOIS 62278-1444
 TEL: 618.337.3333 FAX: 618.337.3444
 WWW.WTGROUP.COM

WT Group

83 OCTANE BREWERY
 1825 BLACKBERRY DRIVE
 ST. CHARLES, ILLINOIS

ISSUE	TO	DATE
	CLIENT	10/02/20

CHECK/FM
 SHAWN REEM
 JOB: 2002714

SUR-1
 SHEET 1 OF 1
 TOPOGRAPHIC SURVEY

93 OCTANE BREWERY 1825 LINCOLN HIGHWAY ST. CHARLES, ILLINOIS 60174

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	11-30-20
C-1.0	SITE DEMOLITION PLAN	11-30-20
C-2.0	SITE GEOMETRIC PLAN	11-30-20
C-3.0	SITE DEVELOPMENT PLAN	11-30-20
C-3.1	SITE DEVELOPMENT DETAILS	11-30-20
C-4.0	SITE GRADING PLAN	11-30-20
C-5.0	SITE UTILITY PLAN	11-30-20
C-5.1	SITE UTILITY DETAILS	11-30-20
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	11-30-20
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	11-30-20
C-7.0	PROJECT SPECIFICATIONS	11-30-20
SUR-1	TOPOGRAPHIC SURVEY (PREPARED BY WT GROUP)	10-7-20

REMARKS:

SITE BENCHMARK #1 - SQUARE CFT IN CONCRETE LIGHT POLE BASE, 10' NE OF THE SW BUILDING CORNER AND 83' NW OF THE NE BUILDING CORNER, AS SHOWN. ELEVATION=782.29' (NAVD83)

SITE BENCHMARK #2 - SQUARE CFT IN CONCRETE LIGHT POLE BASE ON WESTERN SIDE OF PROPERTY, 40' WEST OF THE SW BUILDING CORNER AS SHOWN. ELEVATION=782.29' (NAVD83)



SECTION 30, TOWNSHIP 40 NORTH, RANGE 6 EAST
SCALE = 1" = 4000'
MAP DATA © 2020 GOOGLE

CIVIL ENGINEERING STATEMENT AND SEAL

I, JAMES GLASCOTT, P.E., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF FINANCIAL AND PROFESSIONAL REGULATION DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 20) AND THE ILLINOIS ACCESSIBILITY CODE (21 ILL. ADM. CODE 4003).

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS IN TO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJACENT PROPERTIES.

JAMES GLASCOTT - ILLINOIS P.E. # 062-089842
DATE OF EXPIRATION - NOVEMBER 30, 2025

DATE

CALL JULE
SHPLY 66 OR TOLL FREE 8006943-022
OPERATES 24 HOURS A DAY 365 DAYS A YEAR



CALL 8006943-022
48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.

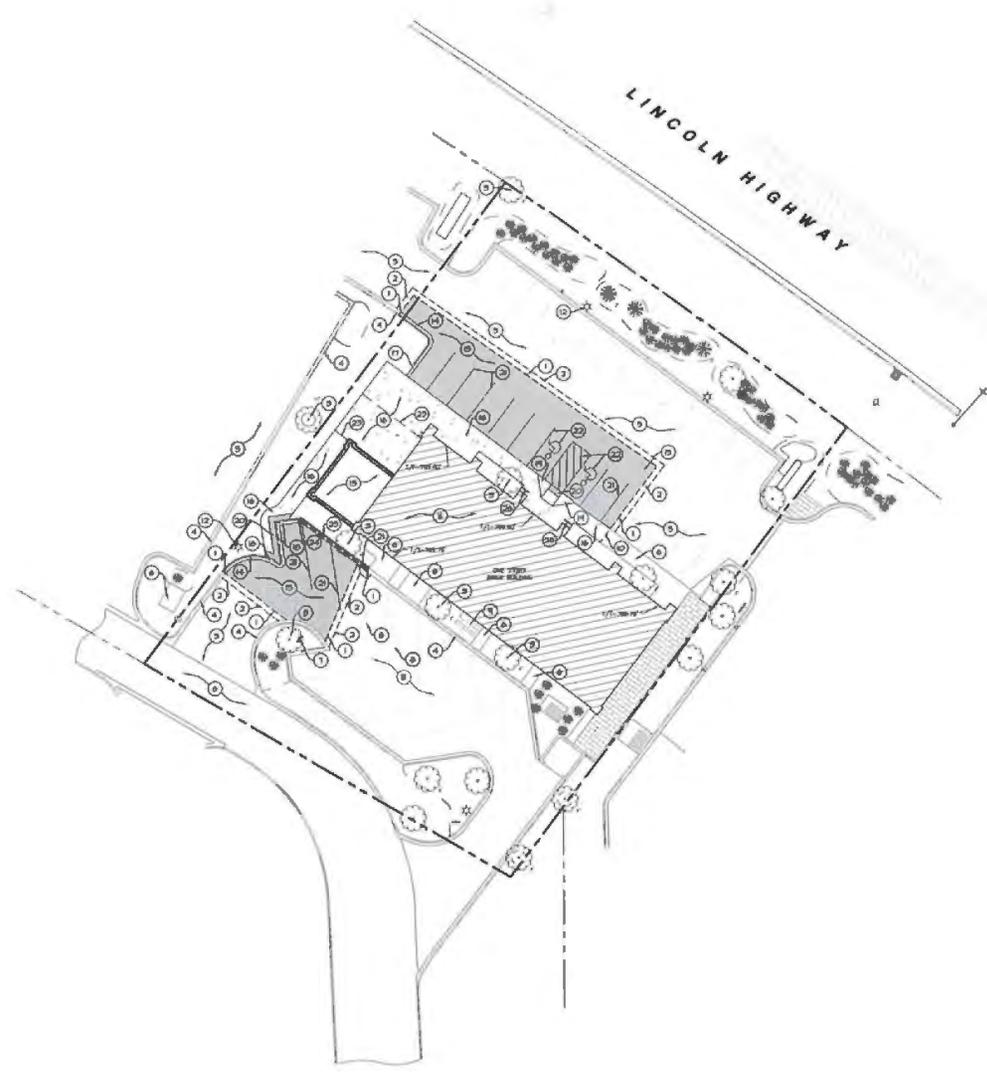


PRELIMINARY ENGINEERING
 1825 LINCOLN HIGHWAY
 ST. CHARLES, ILLINOIS 60174
 93 OCTANE BREWERY

ISSUE	
NO.	DATE



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY



SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10/1/20. PREPARED BY WY GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CORNERS, AND ALL UTILITIES WHETHER EXPOSED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING FINISHES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 104.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITHIN 6" OF TOPSOIL, SEED, AND EROSION CONTROL (BLANKET). CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- J. CONTRACTOR SHALL RE-GRUB ALL STRIPES DISTURBED WITHIN THE EXISTING ROADWAY/PARKING LOT TO MATCH EXISTING.
- K. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- L. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- M. ALL EXISTING IMPROVEMENTS TO BE SCABBED (GRIND) TO A DEPTH OF 1/2" AND RE-COMPACTED, AND THEN TESTED WITH A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.

PROJECT NOTES:

1. NEW FULL DEPTH MARKET OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW 2" WIDE BUTT JOINT.
3. EXISTING TIE TO REMAIN.
4. EXISTING 6" x 12" CURB AND GUTTER TO REMAIN.
5. EXISTING ASPHALT PAVEMENT TO REMAIN.
6. EXISTING CONCRETE TO REMAIN.
7. EXISTING SIGN TO REMAIN.
8. EXISTING PAVEMENT STRIPES TO REMAIN.
9. EXISTING DRIVE PAVED TO SEWER.
10. NEW FULL DEPTH MARKET OF EXISTING SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
11. APPROXIMATE LOCATION SIGN, REPAIR/REPLACE AT NEAREST JOINT.
12. EXISTING BELIING TO REMAIN.
13. EXISTING AREA LIGHT TO REMAIN.
14. NEW BELIING ADDITION. SEE ARCHITECTURAL PLANS FOR DETAILS.
15. NEW 6" x 6" CONCRETE SIDEWALK.
16. NEW 5" WIDE CURB CUT.
17. NEW IMPROVED CURB AND GUTTER.
18. NEW ADA ACCESSIBLE RAMP.
19. NEW 4" TIE-IN DETECTABLE MARKING PLATE.
20. NEW ACCESSIBLE PARKING SYMBOL AND STRIPES.
21. NEW SIDEWALK. SEE ARCHITECTURAL PLANS FOR DETAILS.
22. NEW 6" x 6" CONCRETE CURB AND GUTTER WITH REVERSE BUTTER FIT.
23. NEW ACCESSIBLE PARKING AND FIRE SIGNS.

HATCH LEGEND

-  NEW ASPHALT PAVEMENT
-  NEW 5" CONCRETE SIDEWALK

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WT GROUP
 1825 LINCOLN HIGHWAY
 ST. CHARLES, ILLINOIS 60174
 TEL: 618.433.1111 FAX: 618.433.4444
 WWW.WTGROUP.COM
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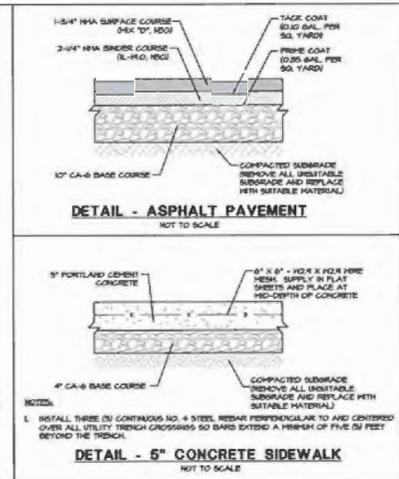
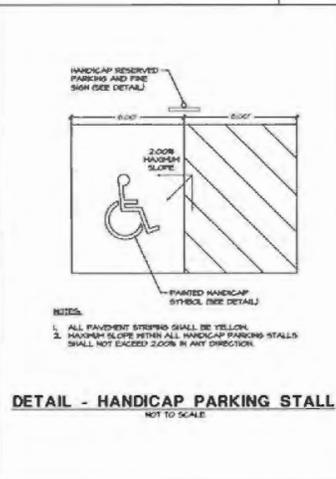
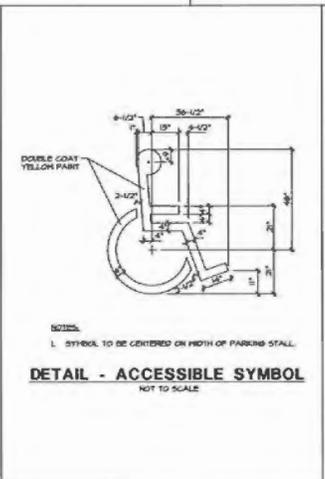
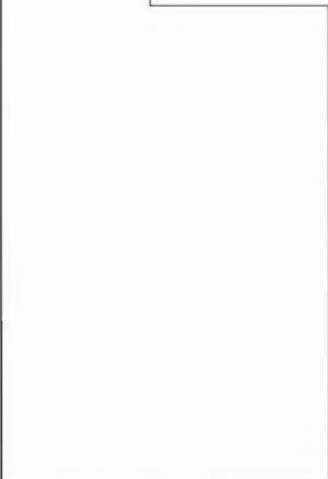
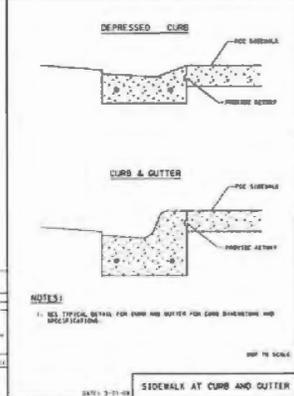
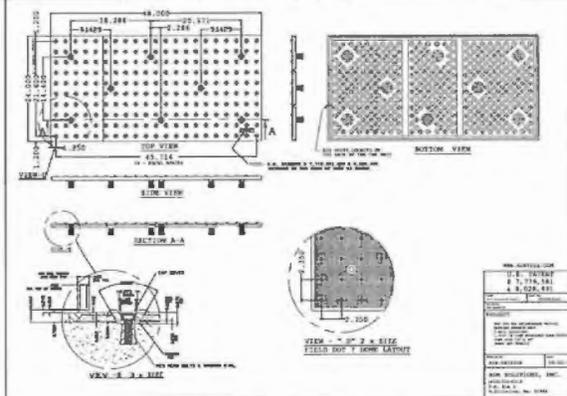
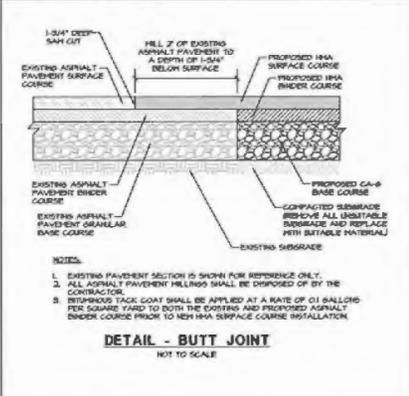
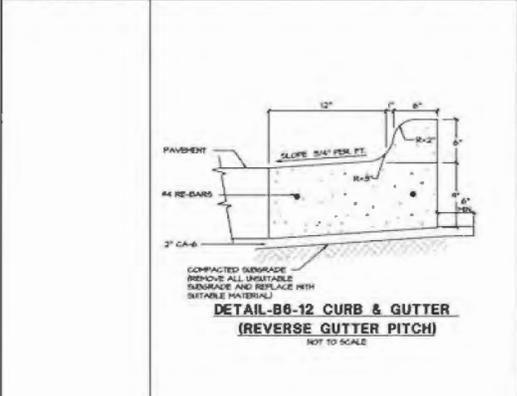
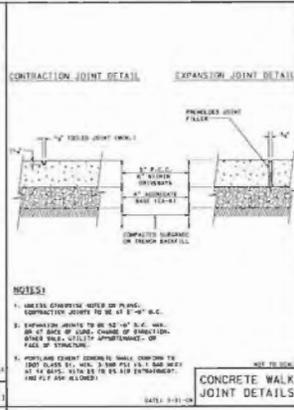
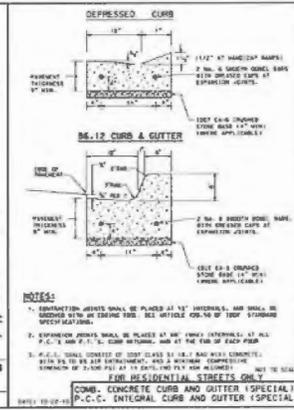
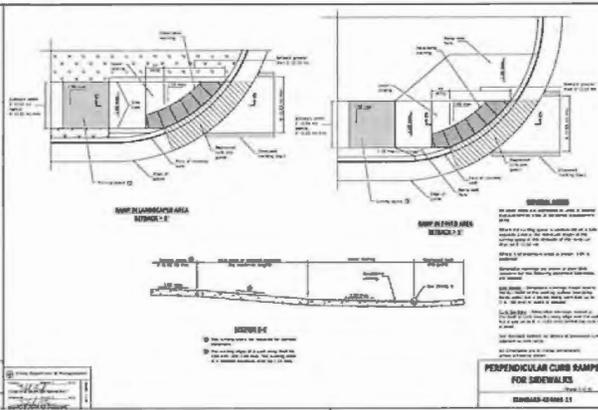
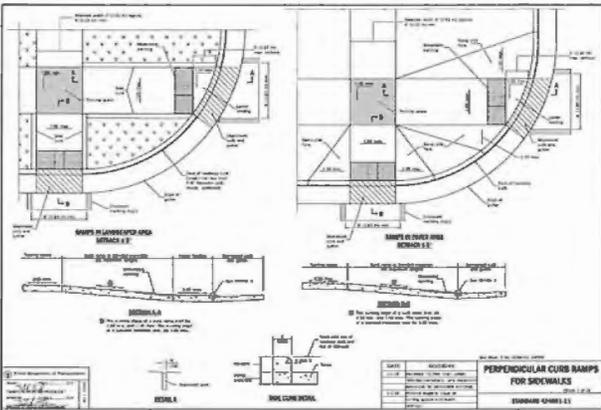
WY Group
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 1825 LINCOLN HIGHWAY
 ST. CHARLES, ILLINOIS 60174
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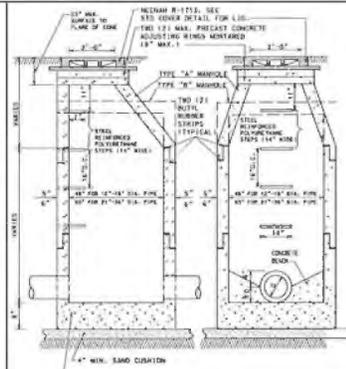
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 1" = 20'
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CHECKING
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 SITE DEVELOPMENT
 PLAN





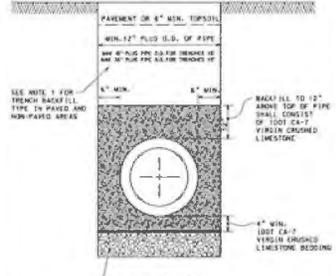
NOTES:

- MANHOLES MUST CONFORM TO ASTM C-157.
- MANHOLE SECTIONS TO BE TYPED AND ENGRAVED.
- MANHOLES MUST BE PROVIDED IN ALL STORM SEWER MANHOLES.
- NON-CAST SPANNING SHALL BE CORROD AND NUMBER NOTED.
- NOTIFY ALL CITY DEPARTMENTS, PUBLIC AND PRIVATE, OF UTILITIES.
- ALL MANHOLES SHALL BE CONFORMED TO THE CITY OF CHARLES, ILLINOIS.
- ALL PIPE PENETRATIONS TO BE CORROD, NUMBER NOTED AND IDENTIFY NOTED.
- REFER TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, TRUNK AND ADJUSTING RINGS LOCATED WITHIN FINISH AREAS SHALL BE SET IN AN AREA APPROXIMATE 10" TO 12" WITHIN.

DATE: 7-27-10

NOT TO SCALE

TYPE A & B STORM MANHOLE DETAIL



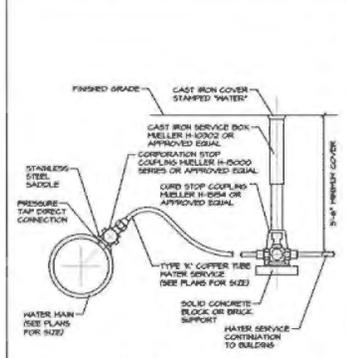
NOTES:

- TRENCH BACKFILL MATERIAL SHALL CONSIST OF CA-7 FINELY CRUSHED LIMESTONE UNDER PAVED AREAS OR WITHIN ZONE OF INFLUENCE, OR FA-A HEAVY BROWN BEACH SAND IN NON-PAVED AREAS.
- ALL MATERIALS SHALL BE PROPERLY COMPACTED PER SPECIFICATIONS LITERATURE OR WATER JETTING NOT ALLOWED.

DATE: 8-14-08

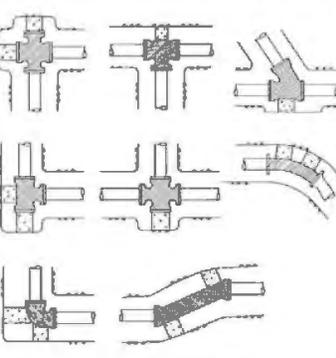
NOT TO SCALE

RCP & DTP TRENCH DETAIL



DETAIL - WATER SERVICE

NOT TO SCALE



NOTE:

- ALL BENDS OF 45° AND LARGER SHALL BE REINFORCED WITH AT LEAST 10" TIE LENGTHS IN BLOCKS AGAINST UNFINISHED VERTICAL EARTH FACE.
- ALL CONCRETE TO BE MIN. 3,000 PSI.
- IN ADDITION TO THE ABOVE MINIMUM REINFORCING ALL MECHANICAL JOINTS BEHIND OPER OF JOINT, THE REINFORCEMENT SHALL HAVE A "MECHANICAL RESTRAINT" OR AS APPROVED BY THE ENGINEERING DIVISION. BOLT IS SHALL BE "COR-TEN".

DATE: 11-2-09

NOT TO SCALE

THRUST BLOCK INSTALLATION DETAILS

WT GROUP
Engineering and Professional Firm and Firm
1200 N. 10th St., Suite 100
Chicago, IL 60610
Tel: 312.201.1000
Fax: 312.201.1001

WT Group
Professional Corporation

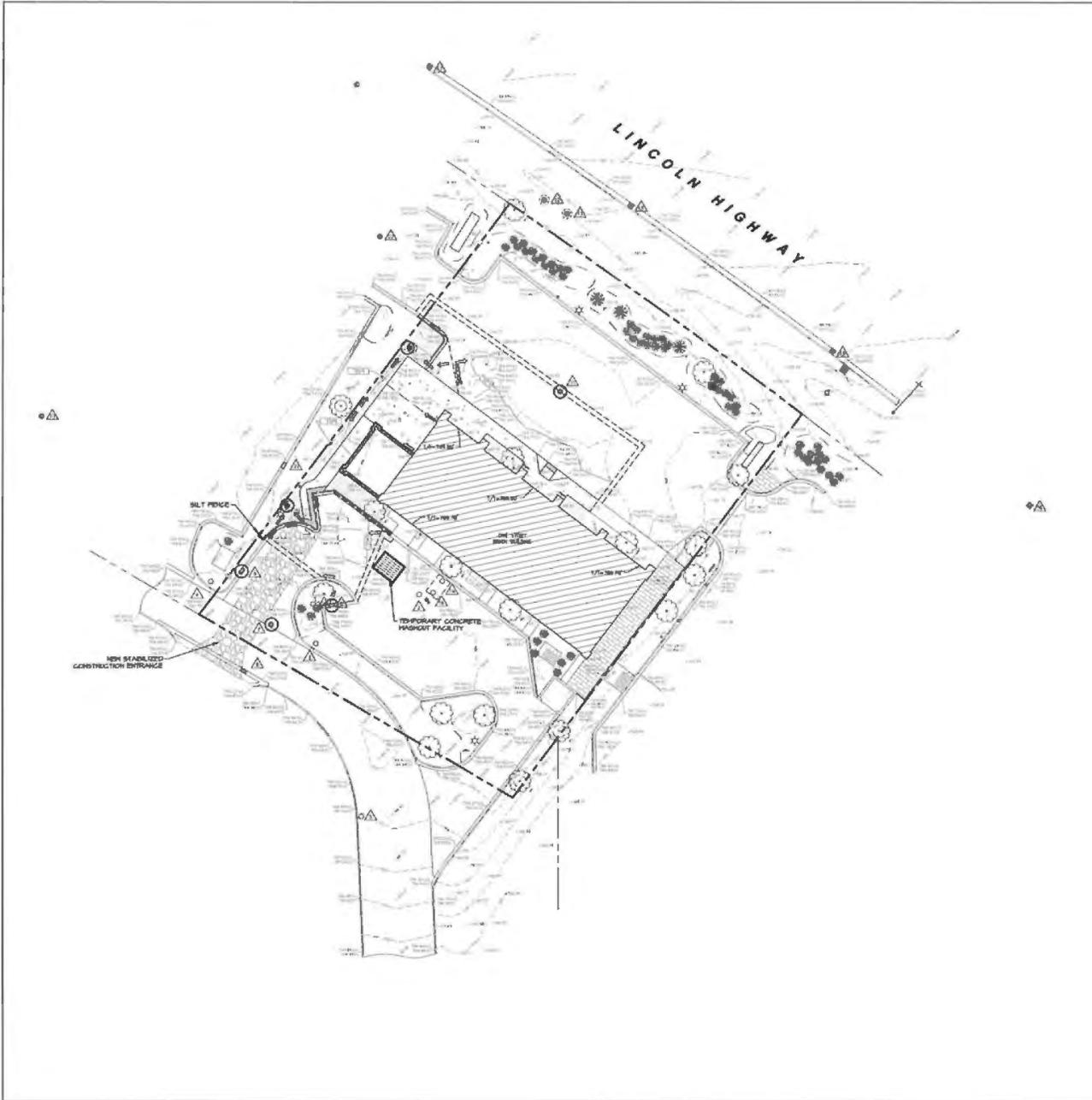
PRELIMINARY ENGINEERING
1825 LINCOLN HIGHWAY
ST. CHARLES, ILLINOIS 60774
93 OCTANE BREWERY

ISSUE

TO:	DATE:
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DATE: 11/11/10
JOB: 200914C

C-5.1
SITE UTILITY DETAILS



EXISTING UTILITY DATA

- 88-78014 (CONCRETE WASHOUT FACILITY)
- 88-78015 (CONCRETE WASHOUT FACILITY)
- 88-78016 (CONCRETE WASHOUT FACILITY)
- 88-78017 (CONCRETE WASHOUT FACILITY)
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- 88-78100 (CONCRETE WASHOUT FACILITY)

SWPPP NOTES:

- A. ALL DISTURBED AREAS ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETTED OR HAYED AS SHOWN ON THE PLAN.
- B. TEMPORARY STABILIZATION SHALL OCCUR IMMEDIATELY FOLLOWING DISTURBING ACTIVITIES HAVE PROMINENTLY OR TEMPORARILY LEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAIL SOILS OR SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING #10 STAPLES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAPLES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEEDING AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTION, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATION AGREEMENTS, WRAPING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE IVT GROUP ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. CONTRACTOR SHALL INFILTRATE STABILIZATION OF ALL DISTURBED AREAS WITHIN ONE CALENDAR DAY.
- I. SEED BED PREPARATION
 - I.A. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - I.B. DISE OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 3". THE SURFACE SHALL BE FREE OF METAL STAPLES, ROCKS, STICKS, BALLS, GLOVES, AND DEBRIS.
 - I.C. THE AREA SHALL BE FINE GRADED.
 - I.D. THE SEED SHALL BE PLACED INTO THE SOIL WITH A HEDGEHOG THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
 - I.E. BROODCAST AND HYDROSEEDING WILL NOT BE ALLOWED.
 - I.F. SEEDING AREAS SHALL BE COVERED WITH THE EROSION CONTROL BLANKET IMMEDIATELY AFTER THE SEED HAS BEEN SOWN.
 - I.G. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 90% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - I.H. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS, LOUISIANA PERENNIAL PRAIRIEGRASS, BERMUDA, AND LEUCOCYCLE ANNUAL, RYE, AND LEUCOCYCLE AND CREEPING RED PEGGUE 40 LEUCOCYCLE TOTAL.

SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EXISTING CLOSED HATCHOLE
- EXISTING OPEN GRATE HATCHOLE
- EXISTING BEEHIVE GRATE HATCHOLE
- EXISTING CURB ALLEY
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- PROPOSED OPEN LID HATCHOLE / CATCH BASIN
- SILT FENCE
- FLESHHORN CATCHOUT BAY PROTECTION
- FINE GRADE FERTILIZE AND SEED. INSTALL ERCS EROSION CONTROL BLANKET WITH #10 STAPLES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY

WT GROUP
 Environmental & Technical, Planning and Construction
 1224 S. 103rd St., Suite 100
 Omaha, NE 68144
 Phone: 402.491.1111
 Fax: 402.491.1112
 www.wtgroup.com

WT Group
 Environmental & Technical, Planning and Construction

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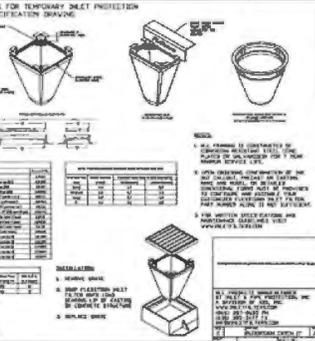
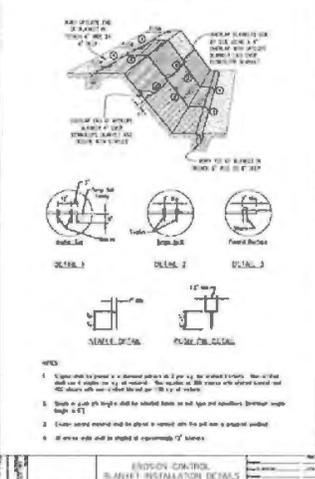
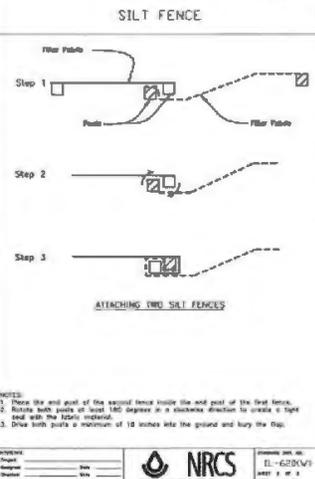
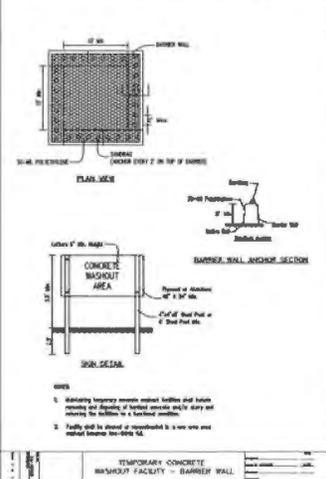
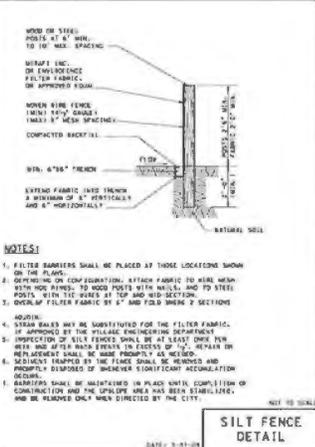
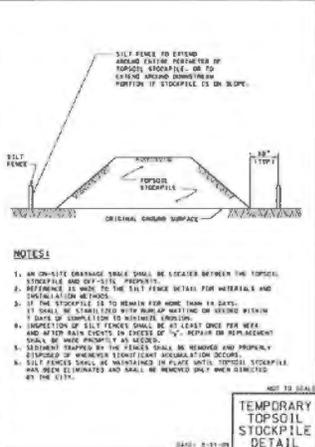
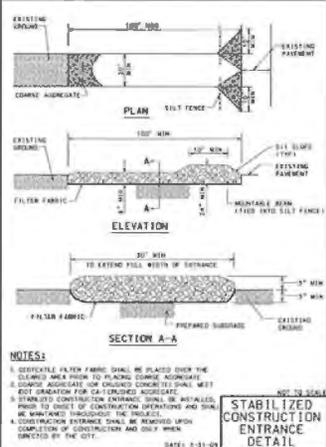
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ISSUE

TO:	DATE:
CLIENT:	11/11/20
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CHECKED BY: _____
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 JOB: 202314C

C-6.0
 STORMWATER
 POLLUTION PREVENTION
 PLAN



STORMWATER POLLUTION PREVENTION NOTES

1. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES WITH THE PROJECT.
2. CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE PREVENTION PLAN TO MINIMIZE THE RISK OF POLLUTION FROM CONSTRUCTION ACTIVITIES.
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SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

1. OBTAIN ALL APPLICABLE SITE PERMITS AND REVIEW PROJECTS STORMWATER POLLUTION PREVENTION PLAN AND CONSTRUCTION SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INITIAL STABILIZED CONSTRUCTION ENTRANCE.
3. INITIAL PERMEABLE SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INITIAL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.25 INCH OR GREATER (OR EQUIVALENT SNOWFALL) AT A MINIMUM. THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT PREVIOUSLY BEEN STABILIZED. ALL STRUCTURAL CONTROL MEASURES, LOCATION MARKERS, VEHICLES ENTER OR EXIT THE SITE AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
6. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL MAINTAIN AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE REPAIRS.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
8. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
9. PERFORM SITE CLEANING AND GREENING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
10. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
11. PERFORM FINAL GRADING OPERATIONS, CONSTRUCT OVERLAP ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SHALES (E. TEMPORARY AND PERMANENT DRAINAGE CONTROL, BLANKETS, RIP RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
12. INSTALL TEMPORARY CONCRETE HARBOR FACILITY.
13. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
14. INSTALL SEDIMENT BARRIERS AND OTHER SITE FILTERS AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLAN.
15. PROVIDE TEMPORARY SEDIMENT AND/OR HILLOCKS FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE RECOVERED FOR MORE THAN FORTY-EIGHT (48) DAYS.
16. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (E. DRIVEWAYS, SIDEWALKS, ETC.).
17. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
18. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.

WT GROUP
Preliminary Engineering
1525 LINCOLN HIGHWAY
ST. CHARLES, ILLINOIS 60174

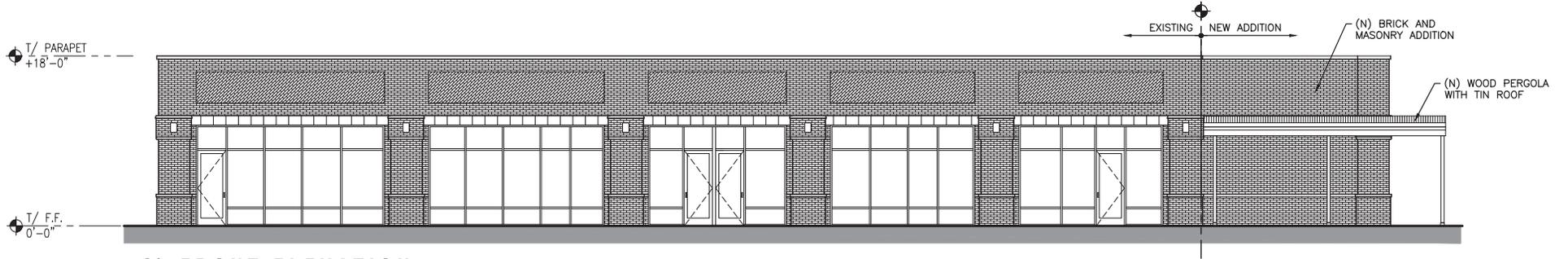
WT Group
Preliminary Engineering
1525 LINCOLN HIGHWAY
ST. CHARLES, ILLINOIS 60174

93 OCTANE BREWERY

ISSUE
NO. DATE
CLIENT 1/16/2009
CLIENT 1/16/2009

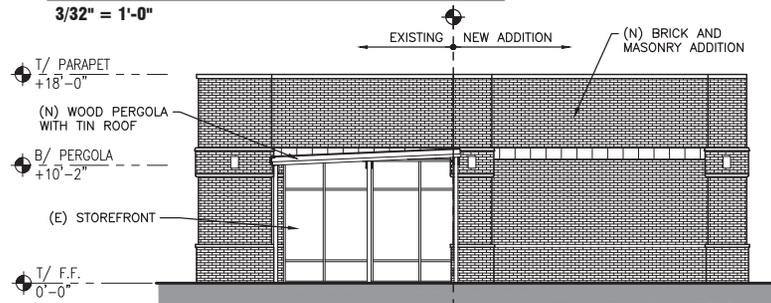
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C-6.1
STORMWATER POLLUTION PREVENTION DETAILS



01 - FRONT ELEVATION

3/32" = 1'-0"



02 - SIDE ELEVATION

3/32" = 1'-0"

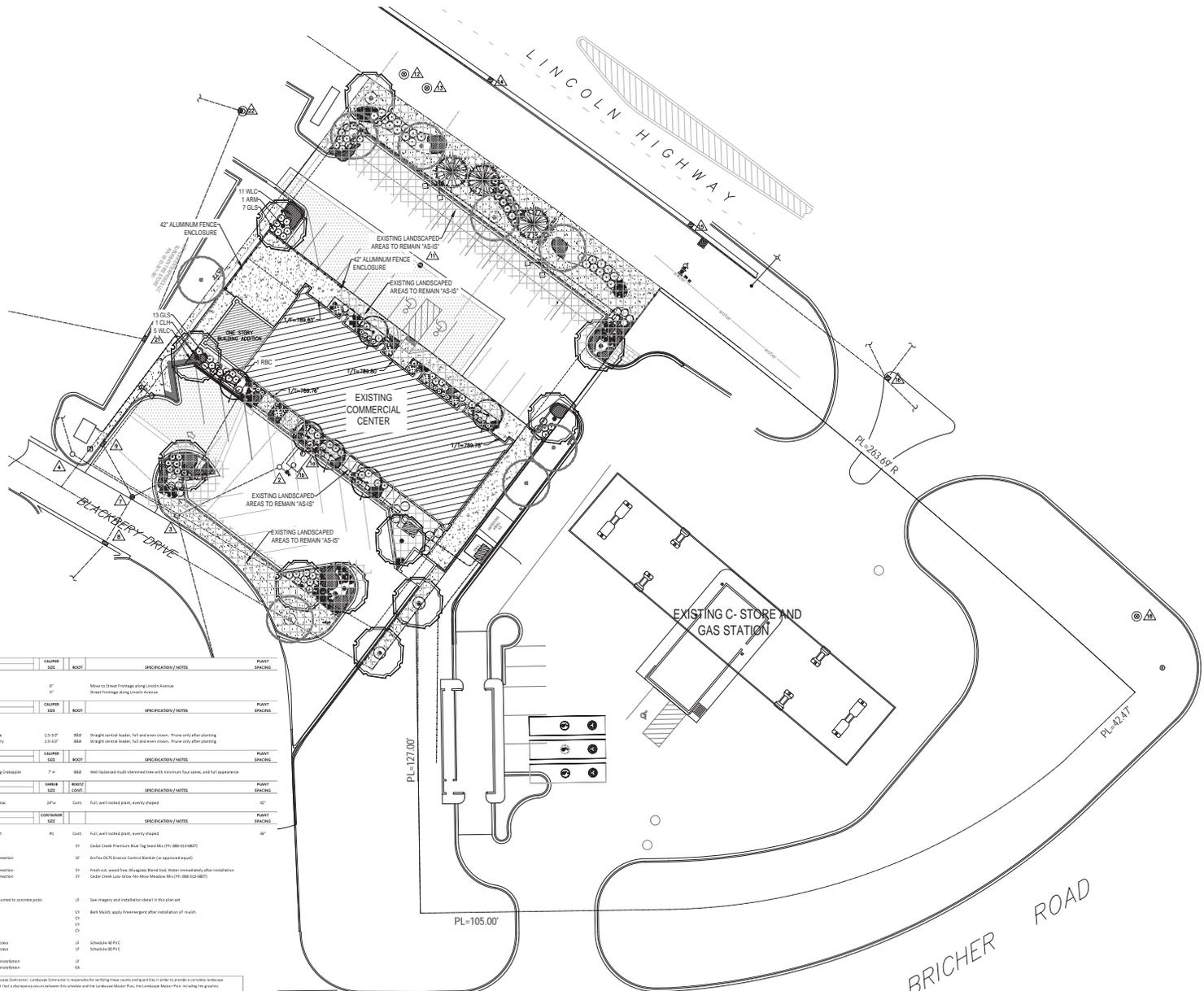


93 OCTANE ELEVATIONS

1825 LINCOLN HWY., ST CHARLES, IL
09 JAN 2021



**MULTI-TENANT
RETAIL CENTER**
1850 Lincoln Highway
St. Charles, Illinois 60174



PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CULTIVAR	SIZE	BOOF	SPECIFICATION / NOTES	PLANT SPACING
Proposed Landscape Construction Population								
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME <td>CULTIVAR</td> <td>SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td> </td>	CULTIVAR	SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td>	BOOF	SPECIFICATION / NOTES	PLANT SPACING
1	1	11 WELC 1 8' BRN 7 FGLB	11 WELC		8'		Move to Street Frontage along Lincoln Avenue Street Frontage along Lincoln Avenue	
Proposed Landscaping Details								
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME <td>CULTIVAR</td> <td>SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td> </td>	CULTIVAR	SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td>	BOOF	SPECIFICATION / NOTES	PLANT SPACING
1	1	11 WELC 1 8' BRN 7 FGLB	11 WELC		8'		Move to Street Frontage along Lincoln Avenue Street Frontage along Lincoln Avenue	
SHRUB TREES (CONVERSION)								
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME <td>CULTIVAR</td> <td>SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td> </td>	CULTIVAR	SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td>	BOOF	SPECIFICATION / NOTES	PLANT SPACING
1	1	11 WELC 1 8' BRN 7 FGLB	11 WELC		8'		Move to Street Frontage along Lincoln Avenue Street Frontage along Lincoln Avenue	
PERENNIALS TREE (CONVERSION)								
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME <td>CULTIVAR</td> <td>SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td> </td>	CULTIVAR	SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td>	BOOF	SPECIFICATION / NOTES	PLANT SPACING
1	1	11 WELC 1 8' BRN 7 FGLB	11 WELC		8'		Move to Street Frontage along Lincoln Avenue Street Frontage along Lincoln Avenue	
HERBACEOUS PERENNIALS								
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME <td>CULTIVAR</td> <td>SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td> </td>	CULTIVAR	SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td>	BOOF	SPECIFICATION / NOTES	PLANT SPACING
1	1	11 WELC 1 8' BRN 7 FGLB	11 WELC		8'		Move to Street Frontage along Lincoln Avenue Street Frontage along Lincoln Avenue	
Heritage Materials								
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME <td>CULTIVAR</td> <td>SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td> </td>	CULTIVAR	SIZE <td>BOOF</td> <td>SPECIFICATION / NOTES</td> <td>PLANT SPACING</td>	BOOF	SPECIFICATION / NOTES	PLANT SPACING
1	1	11 WELC 1 8' BRN 7 FGLB	11 WELC		8'		Move to Street Frontage along Lincoln Avenue Street Frontage along Lincoln Avenue	

DESCRIPTION	
3.26.15	FIRST ISSUE
4.27.15	REVISED SITE PLAN
5.22.15	REVISED SITE PLAN
6.09.15	WBK COMMENTS
7.24.15	WBK COMMENTS
7.30.15	WBK COMMENTS
7.31.15	ELECTRICAL CLOSEOUT
1.07.21	BUILDING ADDITION
2.04.21	FENCE ENCLOSURE
2.05.21	FENCE ENCLOSURE

SHEET TITLE
**OVERALL
LANDSCAPE PLAN**

PROJECT MANAGER	WDH
PROJECT NUMBER	15-024
DATE	2.05.2021
SHEET NUMBER	

PLANT & MATERIAL LIST

11 WELC	11 WELC	11 WELC
8' BRN	8' BRN	8' BRN
7 FGLB	7 FGLB	7 FGLB

OVERALL LANDSCAPE PLAN

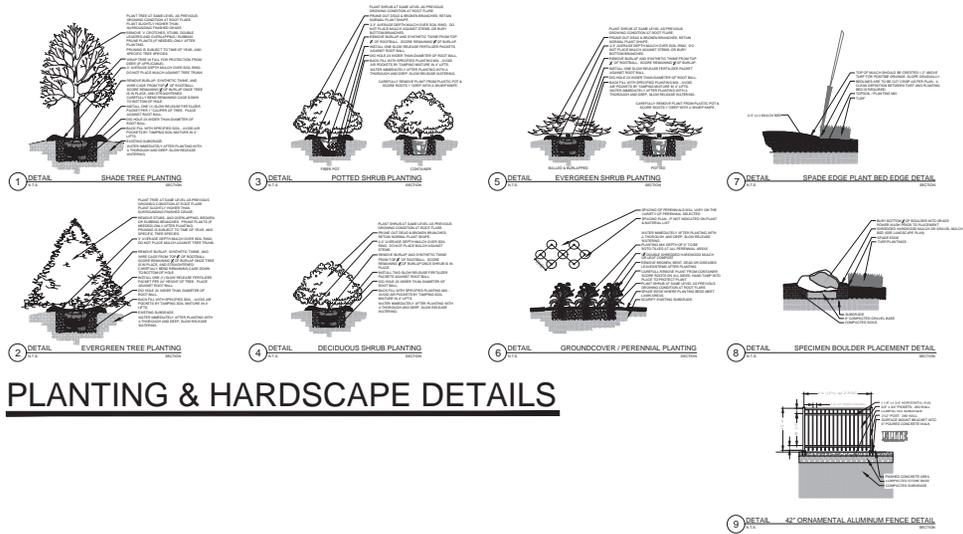
Scale: 1"=20'



L 100.5

- Contractor responsible for contacting JULIE - Utility Locators (811 or 800-892-0123) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details of planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 2/3 mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10"
 Per 100 SF of bed area:
 1/2 CY Peat Moss or Mushroom Compost
 1/2 CY blended/pulverized Topsoil
 2 pounds starter fertilizer
 1/4 CY composted manure
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

 An acceptable quality seed installation is defined as having:
 No bare spots larger than one (1) square foot
 No more than 10% of the total area with bare areas larger than one (1) square foot
 A uniform coverage through all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.



PLANTING & HARDSCAPE DETAILS

LANDSCAPE GENERAL NOTES

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE



One Rowland Court
 Racine, Wisconsin 53402
 ph. 262.639.9733
 fx. 262.639.9737
 dan@waheller.com

MULTI-TENANT
 RETAIL CENTER
 1850 Lincoln Highway
 St. Charles, Illinois 60174

DESCRIPTION	
3.26.15	FIRST ISSUE
4.27.15	REVISED SITE PLAN
5.22.15	REVISED SITE PLAN
6.08.15	WBK COMMENTS
7.24.15	WBK COMMENTS
7.30.15	WBK COMMENTS
7.31.15	ELECTRICAL CLOSET
1.07.21	BUILDING ADDITION
2.04.21	FENCE ENCLOSURE
2.05.21	FENCE ENCLOSURE

SHEET TITLE
 LANDSCAPE DETAILS,
 NOTES & SCHEDULES

PROJECT MANAGER	WDH
PROJECT NUMBER	15-024
DATE	2.05.2021
SHEET NUMBER	

L 101

ORDINANCE NO. 1982-Z-6

AN ORDINANCE REZONING PROPERTY TO THE R-5 MULTIPLE RESIDENCE DISTRICT AND B-3 SERVICE BUSINESS DISTRICT AND GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT FOR THE ST. CHARLES COMMERCIAL CENTER PROPERTY

REFER TO:
MINUTES <u>4-19-82</u>
PAGE <u>1479</u>

DATE OF PUBLICATION <i>Not</i>
NEWSPAPER <i>published</i>

WHEREAS, a petition for rezoning to R-5 Multiple Residence District and B-3 Service Business District with a special use as a planned unit development has been filed by the State Bank of St. Charles as Trustee under Trust No. T-303, owner of the property described in Exhibit "A" (hereafter the Subject Realty), attached hereto and made a part hereof; and

WHEREAS, the Plan Commission of the City of St. Charles has held a hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered the same;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, as follows:

Section 1. That the zoning map of the City of St. Charles pursuant to Section 17.07.040, "Official Map-Adopted", of the St. Charles Municipal Code be and is hereby amended by rezoning the property legally described as Lot 1 in Exhibit "A" to R-5 Multiple Residence District and the property legally described as Lot 2, Lot 3, Lots 4 through 9 and PARCEL TWO in Exhibit "A" to B-3 Service Business District with all of the Subject Realty being granted a special use as a Planned Unit Development.

Section 2. That the development of the Subject Realty as a planned unit development pursuant to this Ordinance shall be in accordance with all applicable ordinances of the City of St. Charles as now in effect or as hereafter amended, including but not limited to, Title 17 entitled "Zoning" and Title 16 entitled "Subdivisions and Land Improvement" of the St. Charles

1614145

1982 AUG 17 PM 3:30

FILED FOR RECORD
KANE COUNTY, ILL.

Blair E. Jurgens
REGISTRAR OF DEEDS

(31)

1614145

Municipal Code (sometimes respectively referred to as the "Zoning Title" and "Subdivision Title") and in accordance with the additional procedures, definitions, uses and restrictions contained herein and set forth in Exhibits "B", "C", and "D", attached hereto and made a part hereof.

A. Concept Plan

The concept plan for the Subject Realty, attached hereto as Exhibit "C", is hereby approved. Said approval does not constitute authority to proceed with construction. Rather it is an approval of the general features of the development and is a basis for preparing more detailed preliminary plans for each phase. More restrictive standards and site design criteria than those shown on Exhibit "C" and described herein or set forth in the underlying zoning district may be required by the City Council at the time of presentation of a preliminary plan or final plan. Approval of the concept plan in no way obligates the City Council to approve preliminary plans and final plans which do not conform to this Ordinance and all other ordinances of the City and such additional standards and site design criteria required by the City except for the standards set or variations granted herein at the time of City Council action on such preliminary and final plans

B. Uses

Only those uses listed in Exhibit "B", Paragraph I, "Permitted Uses", shall be permitted.

C. Phases

The Planned Unit Development shall be developed in no more than eleven (11) phases in the order shown and described in Exhibit "D".

D. Density

The maximum density for residential uses and the maximum total square footage of buildings for non-residential uses allowed for each lot shall be as provided in Exhibit "B".

E. Building Permits

No building permit shall be issued for construction or reconstruction of any structure or addition until after the preliminary plans, engineering plans, landscaping plans, architectural plans and final plans have been approved and a final plat recorded for the phase or subphase in which the building permit or permits are requested. Plans and specifications for any construction shall in all respects conform to the applicable ordinances of the City of St. Charles. At his option, the Building Commissioner of the City of St. Charles may require submission of plans to and the approval of Building Officials and Code Administrators International, Inc, (BOCA), or comparable organization before a building permit shall be issued. The cost of such BOCA review shall be borne by the applicant and shall be paid prior to the issuance of a building permit.

F. Curb Cuts

Curb cuts shall be permitted only as shown on the Concept Plan shown in Exhibit "D". Specifically, no more than one (1) curb cut shall be allowed on Prairie Street. No more than two (2) curb cuts shall be allowed on 14th Street and no more than three (3) curb cuts shall be allowed on Bricher Road (not shown on Concept Plan). Curb cuts allowed on Illinois Route 38 shall be as follows:

1. One (1) access to the southerly side as a "right-in, right-out" approximately 430 feet easterly of Randall Road centerline.
2. One (1) full access main entry way to the southerly side directly aligned with the existing main entrance to the north which is approximately 950 feet easterly of the Randall Road centerline.
3. One (1) full access main entry way to the southerly side aligned with the existing entrance to the north which is approximately 1650 feet easterly of the Randall Road centerline.

4. One (1) "right-in, right-out only" access to the northerly side with the centerline between Lots 6 and 7 approximately 1890 feet easterly of the Randall Road centerline. A barrier curb island to control unauthorized entry shall be provided by Owner.

5. One (1) full access to the northerly side having a centerline coinciding with the lot line between Lots 4 and 5 approximately 440 feet westerly of 14th Street.

6. One (1) full access to the southerly side having a centerline coinciding with the extension of the lot line between Lots 4 and 5 approximately 440 feet westerly of 14th Street.

G. Access

Emergency access for fire and police vehicles shall be provided on all sides of all buildings.

H. Off-Street Loading and Parking

Loading berths and parkings spaces shall be provided in accordance with the provisions set forth in the Zoning Title except as otherwise provided in Exhibit "B".

I. Yards

No yard or setback shall be less than the requirements of the Zoning Title or as shown in Exhibit "B", as the case may be, unless the City Council shall have determined otherwise at the time of approval of the preliminary plan. The City Council may reasonably require a greater yard or setback than shown in the Zoning Title or Exhibit "B".

J. Streets

1. The Owner shall be responsible for the construction and cost of all required street improvements for a 38-foot wide street in accordance with the standards for subdivision streets as set forth

in the Subdivision Title including pavement and the curbs, gutters, storm sewers, sidewalks, street lights, street trees and other related improvements on the following streets:

- a. The south half of Prairie Street between the west property line of Lot 1 and the easterly line of 14th Street including acceleration and deceleration lanes, if required by City, and not including sidewalks east of the east property line of Lot 1 on Prairie Street.
- b. The west half of 14th Street between the northerly line of Prairie Street and the southerly line of Illinois Route 38 including acceleration and deceleration lanes, if required by City.
- c. The north half of Bricher Road between the westerly property line of Lot 11 and the easterly line of the intersection of Bricher Road, Illinois Route 38 and 14th Street including acceleration and deceleration lanes.

The City may at its option delay installation of the improvements on Bricher Road by requiring the Owner to establish an escrow account based on the developer's consulting engineer's estimated cost to be approved by the City Council. Such escrow account shall be in a form and amount acceptable to the City Council to allow the City to procure the funds solely for the construction of improvements on Bricher Road and shall be established prior to execution of a final plat. Owner shall not be required to pay any additional funds once the escrow account has been established nor shall Owner be entitled to interest on the escrow or to any refund of funds in excess of actual cost of construction.

A required street improvement shall be made at the time a phase or subphase which abuts that street is developed and the entire length of the street shall be improved regardless of whether or not the phase being developed abuts the entire length of the street. Prior to the construction of any improvements, or the escrowing of funds in the case of Bricher Road, the Owner shall dedicate the additional right-of-way required to provide at least forty (40) feet of right-of-way along the southerly and easterly edge of Subject Realty unless more or less than one-half ($\frac{1}{2}$) of the road right-of-way is on Subject Realty in which event Owner shall dedicate the right-of-way for all of the road and right-of-way easterly and southerly of the centerline which is part of Subject Realty. Owner shall, however, be responsible only for the installation of improvements along the northerly one-half ($\frac{1}{2}$) of Bricher Road. In the event Owner is able to obtain an agreement with the property owner southerly of Subject Realty for purposes of centering the improved Bricher Road and installation of same and provided such agreement is acceptable to City, the location of Bricher Road as improved in relation to Subject Realty may be modified. Owner shall not be required to pay for acquisition costs of additional right-of-way not on Subject Realty as part of the development.

2. The Owner shall be responsible for the construction and cost of all street improvements on Illinois Route 38 required by the City or the Illinois Department of Transportation including entranceway improvements and the following;

- a. Additional widening of pavement to 38 feet at 14th Street to install an east-bound left-turn lane.
- b. Painted median striping modifications and additions to delineate the left-turn lanes as phasing of the development requires.

K. Utilities

1. As necessary for this development, the Owner shall construct and pay for all on-site and off-site extensions and improvements for:

- a. water mains;
- b. sanitary sewer lines;
- c. storm water facilities;
- d. retention and detention basins;
- e. surface drainage ways and facilities;
- f. electric facilities in accordance with City policy in effect at time of construction.

Owner shall also construct and pay for related appurtenances for the foregoing, and shall obtain for and grant to or cause to be granted to the City, at no cost to the City, on-site and off-site easements for said utilities and for any other utilities and communication facilities that the City may request. Prior to the approval of a final plat for a phase, the City shall have the right to designate which easements, on-site and off-site extensions, and improvements for water mains, sanitary sewers, storm sewers, surface drainage facilities, retention and detention basins and other utilities will be accepted by the City for that phase. For those easements and improvements accepted, the Owner shall transfer to the City or cause to be transferred to the City (free and clear of all liens and encumbrances) title to all on-site and off-site exten-

sions (except domestic service connections) for water mains, sanitary sewer lines and storm sewer lines, electric lines and the related appurtenances for each of the foregoing.

2. For those improvements not to be accepted by the City, Owner shall, however, comply with all provisions of the Subdivision Title including the posting of a proper guarantee and collateral to assure installation.

3. As of the date of this Ordinance, the Subject Realty has been placed on restrictive status by the Illinois Environmental Protection Agency (IEPA), prohibiting future sanitary sewer extensions in certain areas. No sanitary sewer extensions requiring IEPA permits shall be extended to serve the Subject Realty without the approval of the Illinois Environmental Protection Agency. The City shall have no obligation to assist or participate in any proceedings, construction of improvements, or other activities for the purposes of expediting the receipt of a permit for sanitary sewer or water extension or connection from the Illinois Environmental Protection Agency or other regulatory agencies. The Owner of the Subject Realty or its agent shall have no right to enforce speedier action by the City on projects related to such Illinois Environmental Protection Agency approval or such other regulatory agency approval.

4. Except as provided in Paragraph K, 5, below, in the event the City requests Owner to over-size certain on-site water mains installed on Subject Realty, such over-sizing shall take place on the following basis: the developer's consulting engineer shall have prepared cost estimates subject to City Council approval indicating the cost for the normal sewer or water main size and that requested by

the City for over-sizing. Such actual cost difference and no more will be assumed by the City, and such reimbursement made upon acceptance by the City Council and receipt of a Bill of Sale conveying title to such mains to the City free and clear of all liens and encumbrances. At City's election, Owner shall pay for over-sizing provided City shall enter a recapture agreement pursuant to Chapter 24, Section 9-5-1, of the Illinois Revised Statutes, providing for recovery of the over-sizing costs with a maximum time period of six (6) years with interest at the rate of eight percent (8%) per annum on the amount unpaid. At the end of six (6) years, the City shall pay for any unrecovered over-sizing costs. City may, however, recover such payment from those properties which would have been required to pay but for the 6-year payoff by City. All engineering and construction costs shall be paid by Owner.

5. The Owner shall procure an easement for City and construct a 12-inch sanitary sewer from the existing sanitary sewer on Gray Street to the east property line of the Subject Realty. The City shall reimburse the Owner for one-half ($\frac{1}{2}$) the cost of installing said sanitary sewer or \$25,000, whichever is less provided Owner shall have obtained an easement for City in a form acceptable to City extending easterly from 14th Street to Gray Street at or prior to the time of presentation of engineering plans. In the event such easement shall not have been procured, Owner shall pay for the necessary extensions to alternative sewer lines.

6. In the event the City desires to install utilities to service areas beyond the Subject Realty sooner than the Owner is required to install such utilities, the Owner shall grant the necessary easements on or across the Subject Realty at such time as City shall request.

The City shall pay for and install such utilities and be reimbursed

by Owner for Owner's share of the cost of installation of such utilities at or prior to the time of approval of a final plat or plats for portions of the subject property benefiting from the utilities. Owner shall pay City eight percent (8%) interest per annum on Owner's share of such cost.

7. Owner shall not object to the establishment of a special service area covering Subject Realty for the purpose of care, maintenance, replacement and reconstruction of storm water distribution system and storm water facilities and sanitary sewers or for the engineering and construction of traffic signals with the maximum levy of \$.10 per \$100.00 of assessed value per year.

8. Prior to the approval of a final plat for any phase of the planned unit development, the Owner shall have provided City a release in a form acceptable to City, releasing City from any and all obligations of certain agreements if applicable to the real estate involved it would have acquired by virtue of accepting land within the planned unit development and any amendments to said agreements, said agreements being an agreement entitled "Declaration of Easements and Agreement for Use and Maintenance of Storm Drainage System" recorded February 13, 1979, as Document No. 1494073 and agreement entitled "Reciprocal Construction Operating and Easement Agreement" recorded February 13, 1979, as Document No. 1494080.

L. Signalization

Prior to approval of a final plat for any phase of the planned unit development, Owner and any mortgagee or other encumbrancer shall have approved and executed a recordable document signifying their approval of and the Owner's agreement to pay for the proportionate share of the cost of signalization for the intersection on Illinois Route 38 approximately 950 feet easterly of Randall Road based on standard origin/destination procedures at such time as warranted. Said

agreement shall create a lien against Lot 11 as shown on Exhibit "C" which shall be enforceable as a foreclosure of a mortgage and shall be in a form acceptable to City.

M. Signs

Upon submittal of the final plans for each phase, the Owner and/or Developer shall submit written and graphic descriptions of the sign standards, including location, for each phase. Such sign standards shall be subject to the review and approval of the City Council and shall be as set forth in Exhibit "B" and provisions of all City ordinances.

N. Landscaping

All unpaved areas shall be landscaped in accordance with the plans reviewed by the Plan Commission and approved by the City Council. Landscaping for a phase or subphase shall be completed prior to the occupancy of any structure for that phase or subphase. However, if conditions beyond the control of the Developer prohibit the installation of the landscaping prior to a request for occupancy of a structure, a performance bond or irrevocable letter of credit in a form and amount given by a firm acceptable to the City shall be posted until such time as the landscaping is completed.

O. Land/Cash Donation

The Owner shall dedicate land or cash in accordance with the provisions of Chapter 16.32 entitled "Dedications" of the St. Charles Municipal Code as in effect at the time a final plat is completed for any phase.

P. Variations Granted

The following variations from the Zoning Title and Subdivision Title are granted:

1. A variation from Section 16.16.040 of the St. Charles Municipal Code, "Proposed Subdivision Design Features", paragraph A, 2, to

permit private streets to serve the project as shown on the Concept Plan. For those improvements not to be accepted by the City, Owner shall, however, comply with all provisions of the Subdivision Title including the posting of a proper guaranty and collateral to assure installation.

2. A variation from Section 16.16.040, C, 3, to allow Lot 9 to not abut a publicly dedicated street, provided there are easements for ingress and egress which are in conformity with State law.

3. A variation to eliminate the installation of sidewalks along the north and south sides of Illinois Route 38, provided there is a network of sidewalks within the Subject Realty and provided there shall be a continuous sidewalk along 14th Street, Prairie Street and Bricher Road for the full frontage of Subject Realty, all in a form acceptable to the City Council.

4. A variation to permit one (1) sign for Lot 9 to be located on Lot 8.

Q. Dedication of Land

Upon request by the City, the Owner shall dedicate to the City a 33-foot wide strip of land along the westerly edge of Lot 11 between Illinois Route 38 and Bricher Road. Such dedication shall be for street purposes and those public and quasi-public utilities deemed necessary by the City Council. Such dedication shall be free and clear of all liens and encumbrances, covenants and restrictions, and at no cost to the City.

Section 3. Hold Harmless and Indemnification. In the event a claim is made against the City, or if the City is made a party-defendant in any legal proceeding arising out of the approval of this Ordinance or the development of the Subject Realty, the Owner shall at City's election defend the City and

hold the City harmless from all losses, judgments, costs, fees, including attorney fees, and expenses in connection therewith. The City shall reasonably cooperate in the defense of such proceedings.

Section 4. List of Exhibits

- A. Legal Description of the Subject Realty
- B. Standards and Site Design Criteria
- C. Concept Plan for the Subject Realty
- D. Phasing Schedule
- E. Consent

Section 5. The provisions of this Ordinance shall be deemed not to be separable and if any provision which limits Owner or requires payment to City shall be held invalid, then at the option of the City, any unplatted areas of Subject Realty shall not be developed other than at a density or for the non-residential uses permitted in the R-1 Single Family Residence District.

Section 6. Upon petition and full compliance with all applicable ordinances, the City at its sole discretion may amend this Ordinance for all of Subject Realty or a portion thereof.

Section 7. This Ordinance shall constitute a covenant running with the land and is binding upon the owners, lessees, other grantees, successors in interest, and assigns. This Ordinance may be recorded in the Recorder of Deeds Office, Kane County, Illinois.

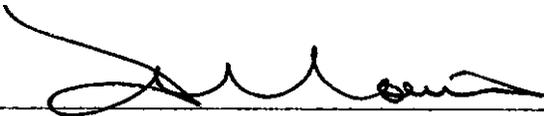
Section 8. This Ordinance shall be in full force and effect from and after its passage and approval in accordance with law, but only if all owners, lessees, and mortgagees of Subject Realty shall have consented in writing and delivered such written consent in the form attached as Exhibit "E" to the City within thirty (30) days after the date hereof.

Ordinance No. 1982-Z-6
Page 14

PRESENTED to the City Council of the City of St. Charles, Kane and
DuPage Counties, Illinois, this 19th day of April, 1982.

PASSED by the City Council of the City of St. Charles, Kane and
DuPage Counties, Illinois, this 19th day of April, 1982.

APPROVED by the Mayor of the City of St. Charles, Kane and
DuPage Counties, Illinois, this 19th day of April, 1982.



MAYOR

 ATTEST:


CITY CLERK

Council Vote:
Ayes: 9
Nays: 0
Absent: 1

This document prepared by:
Allen L. Landmeier
City Attorney
City of St. Charles
2 East Main Street
St. Charles, IL 60174



DONAHUE and THORNHILL

REGISTERED LAND SURVEYORS

SUBDIVISION — INDUSTRIAL — FARMS
 TOPOGRAPHICAL — RESIDENTIAL — MORTGAGE
 CALCULATING — LEGAL DESCRIPTIONS — MAPPING
 RIGHT-OF-WAY
 ELECTRONIC DISTANCE MEASUREMENT

20 SOUTH SECOND STREET

GENEVA, ILLINOIS 60134

232-7418

RECEIVED

APR 06 1982

 PLANNING OFFICE
 ST. CHARLES, ILL.

March 18, 1982

PARCEL ONE

Lot 1

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Joe Keim's Randall Road Subdivision, St. Charles Township, Kane County, Illinois; thence southeasterly along the northeasterly line of Illinois State Route No. 38, 1440.0 feet; thence northeasterly at right angles to the last described course 935.0 feet for a point of beginning; thence southwesterly along the last described course 275.0 feet; thence southeasterly at right angles to the last described course 310.0 feet; thence southeasterly along a line forming an angle of $175^{\circ}42'43''$ with the last described course (measured clockwise therefrom) 217.38 feet to the west line of Fourteenth Street South; thence northerly along said west line 1024.06 feet to a point that is 208.67 feet southerly of the center line (measured along said west line) of Prairie Street; thence westerly parallel with said center line 283.67 feet; thence northerly parallel with said west line 168.67 feet to a point that is 40.0 feet southerly of said center line (measured at right angles thereto); thence westerly parallel with said center line 581.84 feet to a point that is 1134.54 feet easterly of the east line of said Subdivision (measured along said center line); thence southerly parallel with said east line 321.03 feet to a line drawn parallel with said northeasterly line from the point of beginning; thence southeasterly parallel with said northeasterly line 677.64 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 13.782 acres.*

Lot 2

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Joe Keim's Randall Road Subdivision, St. Charles Township, Kane County, Illinois; thence southeasterly along the northeasterly line of Illinois State Route No. 38, 1440.0 feet; thence northeasterly at right angles to the last described course 660.0 feet; thence southeasterly at right angles to the last described course 310.0 feet; thence southeasterly along a line forming an angle of $175^{\circ}42'43''$ with the last described course (measured clockwise therefrom) 217.38 feet to the west line of Fourteenth Street South for a point of beginning; thence northwesterly along the last described course 217.38 feet; thence southwestwesterly along a line drawn at right angles to said northeasterly line 450.0 feet; thence southeasterly at right angles to the last described course 230.05 feet; thence easterly along a line forming an angle of $147^{\circ}24'40''$ with the last described course (measured clockwise therefrom) 239.93 feet to said west line of Fourteenth Street South; thence northerly along said west line 400.0 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 3.452 acres.*

Lot 3

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Joe Keim's Randall Road Subdivision, St. Charles Township, Kane County, Illinois; thence southeasterly along the northeasterly line of Illinois State Route No. 38, 1440.0 feet; thence northeasterly at right angles to the last described course 210.0 feet; thence southeasterly at right angles to the last described course 510.0 feet; thence southwestwesterly at right angles to the last described course 227.60 feet to said north-

*and also that part of the west half of 14th Street South, lying easterly of and adjacent to the foregoing described tract.

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easterly line for a point of beginning; thence northeasterly along the last described course 227.60 feet; thence southeasterly at right angles to the last described course 30.05 feet; thence easterly along a line forming an angle of $147^{\circ}24'40''$ with the last described course (measured clockwise therefrom) 239.93 feet to the west line of Fourteenth Street South; thence southerly and southwesterly along said west line 445.70 feet to said northeasterly line; thence northwesterly along said northeasterly line 331.37 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 2.416 acres.*

Lots 4 through 9

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Joe Keim's Randall Road Subdivision, St. Charles Township, Kane County, Illinois; thence southeasterly along the northeasterly line of Illinois State Route No. 38, 1440.0 feet for a point of beginning; thence northeasterly at right angles to the last described course 660.0 feet; thence southeasterly at right angles to the last described course 310.0 feet; thence southwesterly at right angles to the last described course 450.0 feet; thence southeasterly at right angles to the last described course 200.0 feet; thence southwesterly at right angles to the last described course 227.60 feet to said northeasterly line; thence northwesterly along said northeasterly line 510.61 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 5.706 acres.

PARCEL TWO

Tract Lying South of Route 38

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the northeast corner of Knell Subdivision, St. Charles Township, Kane County, Illinois; thence northerly along the easterly line of said Knell Subdivision extended northerly 224.37 feet to the southwesterly line of Illinois State Route No. 38; thence southeasterly along said southwesterly line 1541.09 feet to a point of curvature; thence continuing southeasterly along said southwesterly line, being along a curve to the right having a radius of 3123.23 feet that is tangent to the last described course at the last described point 630.73 feet to the most northerly corner of tract No. 91C as described in Circuit Court Case 64-1473; thence southwesterly along the northwesterly and northerly lines of said tract 308.65 feet to the most westerly corner of said tract; thence westerly along the south line of said Quarter 1546.31 feet to the easterly line of Bricher Addition to St. Charles Township, Kane County, Illinois; thence northerly along the easterly line of said Bricher Addition 689.79 feet to the northeast corner thereof; thence westerly along the northerly line of said Bricher Addition 1.01 feet to the southeast corner of Knell Subdivision; thence northerly along the easterly line of said Knell Subdivision 378.75 feet to the point of beginning in the City of St. Charles, Kane County, Illinois, and containing 30.352 acres.

*and also that part of the west half of 14th Street South, lying easterly of and adjacent to the foregoing described tract.

EXHIBIT "B"

STANDARDS AND SITE DESIGN CRITERIA

I. PERMITTED USES

- A. The following uses are permitted on Lots 4, 5 6, 7, 8, 9, 10 and 11 as shown on the Concept Plan:
1. Amusement establishments including bowling alleys, pool halls, dance halls, skating rinks
 2. Animal hospitals
 3. Antique shops
 4. Art galleries and museums
 5. Art and school supply stores
 6. Auction rooms
 7. Automobile accessory stores
 8. Automobile laundries
 9. Automotive vehicle and automotive equipment sales
 10. Bakeries where not more than 50% of the floor area is devoted to processing, and not employing more than eight (8) persons
 11. Banks and financial institutions
 12. Barber shops
 13. Beauty parlors
 14. Bicycle stores, sales, rental and repair
 15. Blueprinting and photocopying establishments
 16. Book and stationery stores
 17. Business machine sales and service
 18. Camera and photographic supply stores
 19. Candy and ice cream stores
 20. Carpet and rug stores
 21. Caskets and casket supplies
 22. Catering establishments
 23. China and glassware stores
 24. Churches, rectories and parish houses
 25. Clothing establishments
 26. Clubs and lodges, private, fraternal or religious
 27. Coin and philatelic stores
 28. Contractors and construction offices
 29. Costume rental
 30. Currency exchanges
 31. Custom dressmaking
 32. Department stores
 33. Drive-in restaurants
 34. Drugstores
 35. Dry cleaning establishments, retail, employing not more than four persons
 36. Dry goods store
 37. Electrical and household appliance stores including radio and television sales
 38. Employment agencies
 39. Exterminating shops
 40. Flower shops and conservatories
 41. Food stores, including grocery stores, meat markets, bakers and delicatessens (retail sales only)

42. Frozen food stores, including locker rental in conjunction therewith
43. Fuel and ice sales, retail only
44. Furniture stores, including upholstery
45. Furrier shops, including the incidental storage and conditioning of furs
46. Garden supply, tool and seed stores
47. Accessory uses
48. Gift shops
49. Greenhouses
50. Haberdasheries
51. Hardware stores
52. Health centers
53. Hobby shops
54. Hospital
55. Interior decorating shops, including upholstery and making of draperies, slipcovers, and other similar articles when conducted as part of the retail operations and secondary to the principal use
56. Hotels
57. Jewelry stores, including watch repair
58. Job printing shops, using presses having beds of not more than 14 inches and 20 inches
59. Laboratories, medical and dental, also research and testing
60. Laundries, coin-operated or automatic self-service type or hand, employing not more than two persons in addition to one owner or manager
61. Leather goods and luggage stores
62. Libraries
63. Liquor stores, retail sales
64. Loan offices
65. Locksmith shops
66. Machinery and equipment sales, but not including service repair or reconditioning and storage of all machinery shall be within enclosed buildings
67. Mail order servicestorage
68. Meat markets, including the sale of meat and meat products to restaurants, motels, clubs, and other similar establishments when conducted as part of the retail business on the premises
69. Meeting halls
70. Medical and dental clinic
71. Millinery shops
72. Musical instrument sales and repair
73. Newspaper offices, but not including printing
74. Offices, business, professional and public
75. Office machine sales and servicing
76. Office supply stores
77. Open sales lots
78. Opticians and optometrists
79. Orthopedic and medical appliance stores, but not including the assembly or manufacture of such articles
80. Paint and wallpaper

Exhibit "B" (cont.)

Page 3

81. Pet shops
82. Phonograph record and sheet music stores
83. Photography studios, including developing and printing of photographs when conducted on the premises as a part of the retail business
84. Physical culture and health services, gymnasiums
85. Picture framing when conducted on the premises for retail trade
86. Plumbing showrooms and shops
87. Post offices
88. Radio and television broadcasting studios and towers
89. Radio and television service and repair shops
90. Recording studios
91. Restaurants, including live entertainment and dancing
92. Restricted production and repair limited to the following: art needlework, clothing, custom manufacturing and alterations for retail only
93. Schools, commercial or trade not involving any danger of fire, explosion, nor of offensive noise, vibration, smoke, dust, odor, glare, heat, or other objectionable influences
94. Schools of music, dance or business
95. Second-hand stores and rummage shops
96. Sewing machine sales and services, household machines only
97. Shoe stores
98. Shoe and hat repair stores
99. Signs as regulated in this Ordinance
100. Sporting Goods stores
101. Tailor shops
102. Taverns and cocktail lounges
103. Taxidermists
104. Telegraph offices
105. Temporary buildings for construction purposes for a period not to exceed the duration of such construction
106. Theaters - indoor
107. Ticket agencies, amusements
108. Tobacco shops, retail sales
109. Toy shops
110. Travel bureaus and transportation ticket office
111. Typewriter and adding machine sales and service establishments
112. Undertaking establishments and funeral parlors
113. Variety stores
114. Wearing apparel shops

B. The following uses are permitted on Lot 1 as shown on the Concept Plan:

1. Multiple-family dwellings

C. The following uses are permitted on Lot 2 as shown on the Concept Plan:

Business service establishments which perform services on the premises:

1. Better business bureau

Exhibit "B" (cont.)

Page 4

2. Business and/or management consultant
3. Business office, in which chattels or goods, wares or merchandise are not displayed or sold on the premises
4. Chamber of commerce
5. Credit agency
6. Funeral parlor or undertaking establishment
7. Insurance office
8. Interior decorating studio
9. Investment company
10. Labor union and/or organization
11. Mail order house
12. Photographic studio
13. Real estate office
14. Secretarial service
15. Social and fraternal association
16. Trade association

Professional office establishments:

1. Accounting, auditing and bookkeeping
2. Architect's office
3. Artist and industrial designer's office
4. Attorney and law office
5. Chiropodist's office
6. Chiropractor's office
7. Dentist's office
8. Doctor's, surgeon's and/or physician's office
9. Engineering office
10. Landscape architect's office
11. Land surveyor's office
12. Minister's office.
13. Optician's office
14. Osteopath's office

Retail business, which supply commodities on the premises limited to:

1. Art gallery
2. Antique shop
3. Bookstore
4. Gift shop
5. Flower shop
6. Leather and luggage goods stores
7. Equestrian riding apparel shops

Public, quasi-public and governmental buildings or facilities:

1. Church
2. Off-street parking facility
3. Museums, art gallery

D. The following uses are permitted on Lot 3 as shown on the Concept Plan:

1. The uses permitted on Lot 2 listed in Paragraph 1, C, above

2. Antique shop
3. Art galleries or collector shop
4. Camera and photography store
5. Clock shop
6. Clothing stores -- men's, women's
7. Clothing stores -- sports
8. Crystal, china or glass shop
9. Furniture stores
10. Gift shop with specialty theme
11. Home entertainment center store
12. Jewelry
13. Leather goods and luggage stores
14. Linen or lace shop
15. Restaurant
16. Shoe stores
17. Tobacco shop
18. Travel bureaus
19. Banks and financial institutions

II. DENSITY

The maximum density for residential use and the maximum total square footage of building for non-residential use allowed for each lot shown on the Concept Plan shall be as follows:

- A. Lot 1 - 15 units per acre for a maximum of 210 units
- B. Lot 2 - 12,000 square feet
- C. Lot 3 - 25,000 square feet
- D. Lot 4 - 10,000 square feet
- E. Lot 5 - 10,000 square feet
- F. Lot 6 - 10,000 square feet
- G. Lot 7 - 10,000 square feet
- H. Lot 8 - 10,000 square feet
- I. Lot 9 - 19,000 square feet
- J. Lot 10 - 75,000 square feet
- K. Lot 11 - 180,000 square feet

III. YARDS

There shall be a minimum setback of thirty feet (30') from Prairie and 14th Streets and twenty feet (20') from Route 38. No parking or structures, including but not limited to, all accessory buildings, swimming pools, signs and fences over six feet (6') tall shall be permitted within said setback areas. Said setback areas shall be suitably landscaped and planted so as to provide open green space. Buildings shall be set back at least thirty feet (30') from all public rights-of-way.

Any yard adjoining residential property shall be a minimum of thirty feet (30') in depth.

IV. SIGNS

All signs exceeding 12 square feet in surface area shall be submitted to the Plan Commission for review and approval prior to issuance of a building permit.

- A. Non-flashing but illuminated business signs with no moving parts, awnings and marquees are permitted on Lots 4, 5, 6, 7, 8, 9, 10 and 11 subject to regulations set forth elsewhere in City ordinances and the following:
1. The illumination of any exterior sign shall be only during business hours or 11:00 pm - whichever is later. Where a sign is illuminated by light reflected upon it, direct rays of light shall not beam upon any part of any existing residential buildings, nor into a Residence District, nor into a street. A sign in direct line of a traffic signal shall not be in red, green, or amber illumination.
 2. The gross surface area in square feet of all signs on a lot or building shall not exceed three (3) times the number of lineal feet of the building frontage; and each side of a building which abuts a street or frontage road shall be considered as a separate frontage; and the gross area of all signs located on a side of a lot or building abutting a street shall not exceed the number of lineal feet of such building frontage.
 3. Signs shall not project into the public way.
 4. Any sign located within ten feet (10') of the paved surface of a street or within ten feet (10') of a sidewalk or driveway, or within fifty feet (50') of the intersection of two (2) or more streets shall have the lowest elevation at least twelve feet (12') above curb level.
 5. A sign affixed to a building shall not project higher than the building height, or thirty feet (30') above the curb level, whichever is lower, except in the case of a one-story building where the sign may project not more than three feet (3') above the building height. A ground sign shall not exceed forty feet (40') in height above curb level.
 6. No more than one (1) free standing ground sign may be erected on each of the following lots: 4, 5, 6, 7, 8, 9, and 10 and no more than four (4) such signs on Lot 11, one (1) of which may be erected having a total gross display area of not more than .75/1.00 of the gross

floor area of the building situated on the property, provided, however, that no one display surface shall contain more than 300 square feet, and the total area of all display surfaces shall not exceed 600 square feet; such sign structure shall be set back at least half the required yard depth from the abutting street, and the bottom edge of any display surface shall be at least eight feet (8') above the level of the ground, and its overall height shall not exceed 24 feet above the curb level. Its overall width shall not exceed twenty feet (20').

- B. Non-flashing but illuminated business signs with no moving parts are permitted on Lots 2 and 3 subject to all City Ordinances and the following:
1. The illumination of any sign shall be only during business hours. Where a sign is illuminated by light reflected upon it, the lighting shall be shielded in such a manner as to prevent direct rays of light from shining on buildings other than those on the immediate premises, or from shining into a street.
 2. The gross surface area in square feet of all signs on a lot or building shall not exceed the number of lineal feet of the building frontage; except, that on a corner lot the gross surface area of all signs on a side street frontage shall not exceed one-half square foot area for each lineal foot of the building frontage on such side street. Each street frontage shall be considered a separate frontage and the separate permitted gross surface sign areas shall not be combined.
 3. Signs shall be affixed flat against the building walls and shall not project therefrom for more than twelve inches (12") except in the case of a yard sign.
 4. A single free-standing yard sign on each of the said two lots is permitted. Such yard sign shall not exceed thirty-two (32) square feet in gross surface area, nor shall it exceed the gross surface area permitted in Subsection 2 of this Section. No yard sign shall be permitted within the required setback adjoining a street.
 5. No sign shall project higher than twelve feet (12') above the established grade of the building.
- C. Signs located on Lot 1 shall be in accordance with the underlying zoning district.

V. OFF-STREET PARKING AND LOADING

Off-street parking spaces and loading berths shall be provided in accordance with the provisions set forth in the Zoning Title except the parking spaces for uses other than grocery stores and multiple family dwellings may be 9 feet by 18½ feet. The size of parking spaces for grocery stores and multiple family dwellings shall conform to the provisions of the Zoning Title.



SHO-DEEN CONSTRUCTION CO
 OWNERS/DEVELOPERS
 13 SOUTH SEVENTH STREET, GENOA, ILLINOIS 60135
J. CHRISTOPHER LANNETT, LTD.
 LANDSCAPE ARCHITECTS
 DESIGN/DEVELOPMENT CONSULTANTS
 1500 EXECUTIVE PLACE, SUITE 401
 GENOA, ILLINOIS 60134
 (312) 232-0433

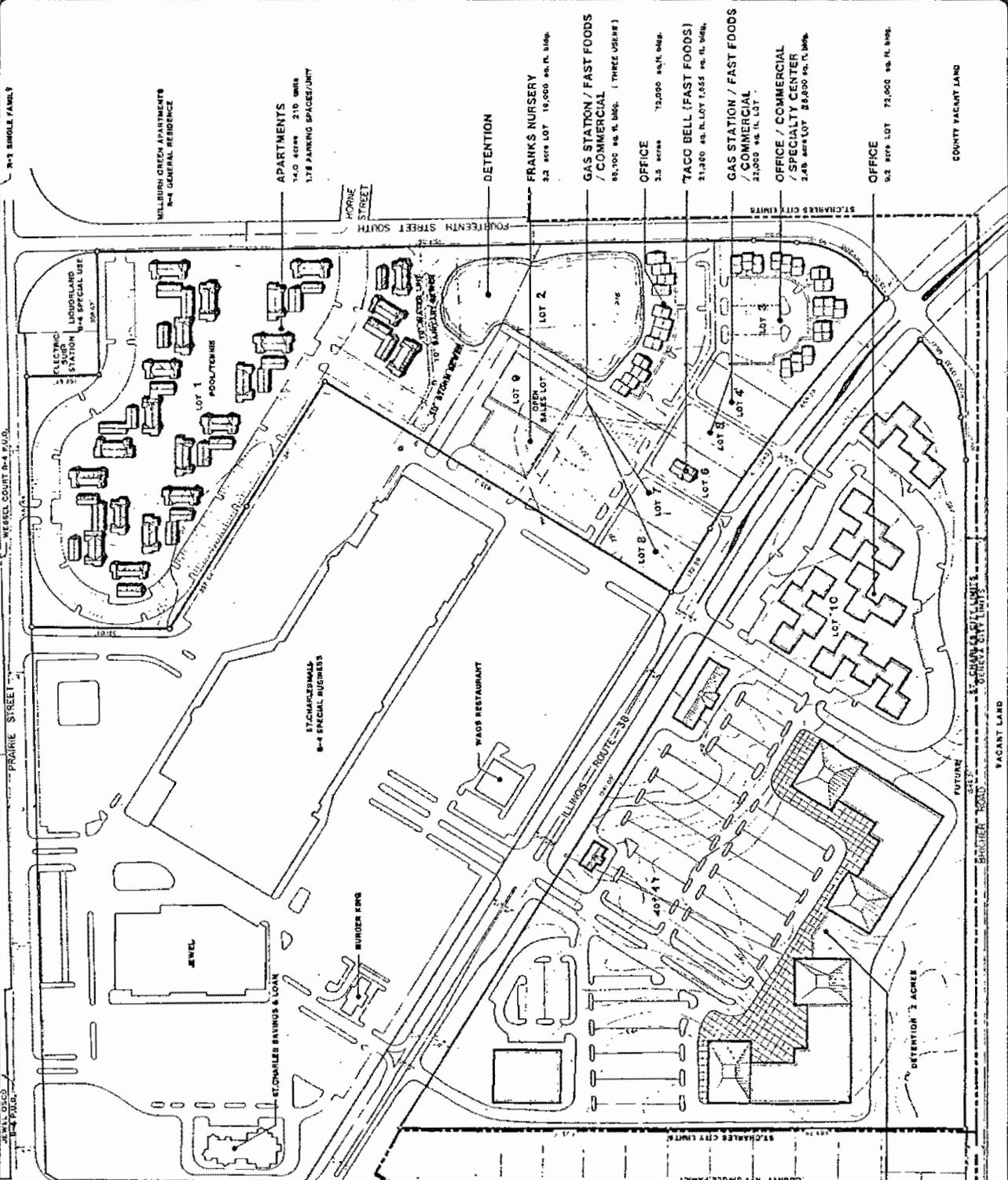


CONCEPT PLAN
 SCALE IN FEET
 100 0 100 200 300
 NORTH

JOB NO. 8124
 COMMENCED 10/10/81
 COMPLETED 11/22/81
 SHEET NO. 101
 TOTAL SHEETS 101

ROBERT H. ANDERSON & ASSOCIATES
 CONSULTING ENGINEERS
 10 NORTH STATE AVENUE, ST. CHARLES, ILLINOIS

ST. CHARLES COMMERCIAL CENTER



PLANNING OFFICE
ST. CHARLES, ILL.

APR 06 1982

RECEIVED

EXHIBIT 1101

COMMERCIAL/OFFICE/
 SPECIALTY CENTER
 211,000 sq. ft. lot
 160,000 - 230,000 sq. ft. bldg.

APARTMENTS
 14.0 ACRES 210 UNITS
 1,728 PARKING SPACES/JURY

DETENTION

FRANK'S NURSERY
 32 ACRES LOT 10, 200 sq. ft. bldg.

GAS STATION / FAST FOODS
 / COMMERCIAL
 95,100 sq. ft. bldg. (THREE USES)

OFFICE
 3.5 ACRES 12,000 sq. ft. bldg.

TACO BELL (FAST FOODS)
 21,200 sq. ft. lot 1, 655 sq. ft. bldg.

GAS STATION / FAST FOODS
 / COMMERCIAL
 21,000 sq. ft. lot

OFFICE / COMMERCIAL
 / SPECIALTY CENTER
 248 ACRES LOT 28, 800 sq. ft. bldg.

OFFICE
 9.2 ACRES LOT 72, 600 sq. ft. bldg.

COUNTY VACANT LAND

3-4 SINGLE FAMILY

MILWAUKEE CREEK APARTMENTS
 3-4 GENERAL RESIDENCE

ELECTRIC SUB
 STATION
 1-4 SPECIAL USE

LIQUORLAND
 1-4 SPECIAL USE

POPULARIS

ST. CHARLES
 3-4 SPECIAL BUSINESS

WAGE RESTAURANT

BURGER KING

ST. CHARLES BAKING & LOAN

JEWEL

BROOKER ADDITION
 (NORTH DIVISION)
 COUNTY 3-4 SINGLE FAMILY

DETENTION 3 ACRES

ST. CHARLES CITY LIMITS

VACANT LAND

FUTURE

ILLINOIS ROUTE 10

ST. CHARLES CITY LIMITS

EXHIBIT "D"

P H A S I N G

The Subject Realty shall be developed in no more than eleven (11) phases. A phase shall consist of one or more lots as described on the Concept Plan. Subject to Council approval, there may be subphases, in which case the final plan shall constitute only that portion of the approved preliminary plan which the applicant proposes to record and develop. For any subphase all improvements shall be completed for the entire phase unless the City Council approves otherwise.

The Owner may vary the following phasing schedule provided all off-site extensions and improvements for streets, access drives, water mains, sanitary sewers, storm water facilities, retention and detention basins, surface drainage ways and facilities and electrical facilities necessary, as determined by the City Council, to service the phase being presented shall be completed and paid for by Owner as part of that phase, including the applicant's obtaining and granting all necessary off-site easements and dedication of rights-of-way. If there is concurrent phasing or subphasing, the completion schedule of all the aforesaid extensions and improvements shall require a sequence which provides for usage by the phase or subphase furthest from the existing utilities at the time such phase or subphase is completed. If there are two or more phases being developed at one time the sequence shall provide for service to the phase first requiring such service.

All on-site and off-site extensions and improvements for water mains, sanitary sewers, storm water facilities, retention and detention basins, surface drainage ways and facilities and electrical facilities shall be installed as necessary to serve each phase. In addition certain on-site and off-site improvements shall occur in accordance with the following schedule:

1. The development of Lots 9 and 6 (Phase 1) shall include the following improvements:
 - a. Construction of the full width access road between Lot 9 and Lots 6, 7 and 8.
 - b. Construction of the full width access road between Lots 6 and 7 and installation of the barrier curb and necessary widening of Illinois Route 38 for the "right-in, right-out" curb cut on Route 38.
 - c. Completion and restoration of detention basin on Lots 1 and 2 in accordance with the requirements of the City.
2. The development of Lot 10 shall include the following improvements:
 - a. All required improvements to Illinois Route 38 along the frontage of Lot 10 or a subphase of Lot 10, including intersection improvements on Route 38 at Bricher Road.

- b. Dedication of right-of-way and escrowing of funds for future Bricher Road improvements based on the frontage of Lot 10 or a subphase of Lot 10 along Bricher Road as more fully described in the body of this Ordinance.
3. The development of Lot 11 shall include the following improvements:
 - a. All remaining improvements to Illinois Route 38.
 - b. All remaining dedications of right-of-way and escrowing of funds for the future improvement of Bricher Road.
 - c. The dedication of a 33-foot wide strip of land along the west property line of Lot 11.
4. When Lots 1, 2 or 3 are developed, or the access drive between Lots 2 and 3 is completed to 14th Street, whichever occurs first, the Owner shall complete the following improvements:
 - a. The dedication of right-of-way and improvement to the west half of 14th Street from Illinois Route 38 to Prairie Street. In the event the necessary right-of-way along the east side of 14th Street is attained and the City Council decides the full width of 14th Street should be improved, the Owner shall improve the full width of 14th Street and be reimbursed by the City for the costs of improving the east half of 14th Street.
 - b. Installation of the water main loop along 14th Street.
5. The development of Lot 1 shall include the improvement of the south half of Prairie Street along the north property line of Lot 1.
6. The development of Lots 3 or 4, whichever occurs first, shall include the construction of the full width of the access drive between Lots 3 and 4 including any required improvements to Illinois Route 38 for said access drive.

EXHIBIT "E"

C O N S E N T

We, the Owners and Lessees of the Subject Realty described in Exhibit "A", approve of accept and agree to the terms and conditions set forth in the Ordinance to which this Consent is attached.

State Bank of St. Charles as Trustee under the Provisions of a Trust Agreement dated November 22, 1972, and known as Trust No. T-303

BY: [Signature]
VICE PRESIDENT & TRUST OFFICER

(SEAL)

ATTEST:

[Signature]
ASST. CASHIER

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, THE UNDERSIGNED, a NOTARY PUBLIC in and for said County, in the state aforesaid, DO HEREBY CERTIFY that CARL W. RUDOLPH Vice President - Trust Officer of STATE BANK OF ST. CHARLES AND SYLVIA M. ZOCHER and ASST. CASHIER Assistant Secretary of said bank, personally known to me to be the said persons whose names are subscribed to the foregoing instrument as such Vice President - Trust Officer and ASST. CASHIER Assistant Secretary respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said bank, for the uses and purposes therein set forth and the said ASST. CASHIER Assistant Secretary did also then and there acknowledge that he as custodian of the corporate seal of said bank, did affix the said corporate seal of said bank to said instrument as his own free and voluntary act and as the free and voluntary act of said bank, for the uses and purposes therein set forth.

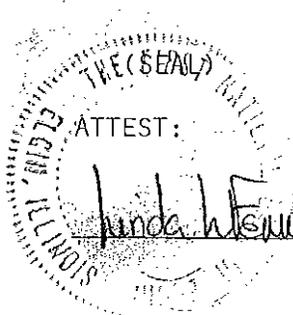
GIVEN under my hand and Notarial Seal this 13th day of May, 1982.

1614145

[Signature] NOTARY PUBLIC

First National Bank of Elgin as Mortgagee
under Document No. 1591511, this 14
day of May, 1982.

By: [Signature] E.K.R.



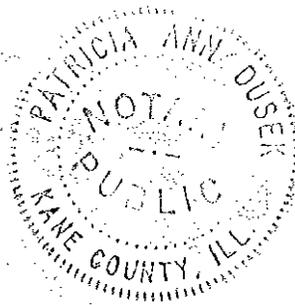
ATTEST:

Linda L. Fenner

STATE OF ILLINOIS)
COUNTY OF Kane) SS

I, Patricia Ann Dusek in and for said County, in the State
aforesaid, DO HEREBY CERTIFY that John W. Modaff
personally known to me to be the Ex. Vice-President of the
THE FIRST NATIONAL Bank of Elgin corporation, and Linda L. FENNER
personally known to me to be the Asst. Secretary
of said corporation, and personally known to me to be the same persons whose
names are subscribed to the foregoing instrument, appeared before me this day
in person and severally acknowledged that as such Ex. Vice-President and
Asst. Secretary, they signed and delivered the said instrument as Ex. Vice
President and Asst. Secretary of said corporation, and caused the corporate
seal of said corporation to be affixed thereto, pursuant to authority, given
by the Board of Directors of said corporation as their free and
voluntary act, and as the free and voluntary act and deed of said corporation,
for the uses and purposes therein set forth.

GIVEN under my hand and seal this 14th day of May, 1982.



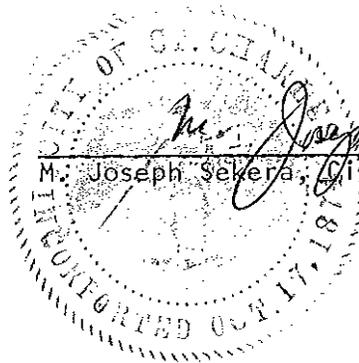
Patricia Ann Dusek
NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTIES OF KANE AND DUPAGE) SS.
CITY OF ST. CHARLES)

This is to certify that the foregoing is a true and correct copy of Ordinance No. 1982-Z-6 entitled AN ORDINANCE REZONING PROPERTY TO THE R-5 MULTIPLE RESIDENCE DISTRICT & B-3 SERVICE BUSINESS DISTRICT & GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT FOR THE ST. CHARLES COMMERCIAL CENTER PROPERTY

passed by the City Council of the City of St. Charles on the 19th day of April, 1982 A.D., as morefully appears from the records and files of said City in my custody.

Given under my hand and the official seal of said City of St. Charles, this 17th day of May, 1982 A.D.



jrj
11/19/80
1614145



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: 4c

Title:

Plan Commission recommendation to approve a Special Use for PUD and PUD Preliminary Plan for McGrath Business Center, 4075 E. Main St.

Presenter:

Russell Colby

Meeting: Planning & Development Committee

Date: February 8, 2021

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

The applicant is 4075 E Main, LLC, represented by Gary McGrath. The subject property is the former Pheasant Run Mega Center and maintenance facility to the east. The proposal is to develop the property into one or more motor vehicle sales dealerships and/or other commercial uses in a coordinated manner with shared access and site layout. A similar Concept Plan for the project was presented in January.

The following Zoning Applications have been filed:

- Special Use for PUD- For approval of PUD zoning standards for the entire 21-acre subject property as shown on the “PUD Exhibit”.
- PUD Preliminary Plan- For conversion and expansion of the 12-acre former Mega Center property for McGrath Honda.

The proposed land uses are already permitted under the existing BR Regional Business zoning.

PUD zoning deviations include reduced street frontage landscaping and parking/vehicle display setbacks, modified parking lot and building landscaping, reduced rear building setback and use of additional exterior building materials. These deviations would be approved for all 3 phases/parcels.

With respect to signs, no sign height deviation is requested, and instead one additional freestanding electronic changeable copy sign (message board) is proposed. As a public benefit, the applicant would allow the City to utilize the message board at certain times for community purposes, and/or a “Welcome to St. Charles” sign.

During the Concept Plan review, there was also discussion of reserving a location for a future City gateway feature and/or sign at the northeast corner of Phase 3. Staff has asked the applicant to show this location on the PUD Exhibit.

Plan Commission Recommendation

Plan Commission conducted a public hearing on the applications on February 2, 2020. There was no discussion and no public comment was offered during the hearing. The Plan Commission unanimously recommended approval, 7-0, subject to resolution of all staff comments prior to City Council action.

Attachments (please list):

Plan Commission Resolution, Staff Report, Applications and Plans

Recommendation/Suggested Action (briefly explain):

Plan Commission recommendation to approve a Special Use for PUD and PUD Preliminary Plan for McGrath Business Center, 4075 E. Main St.

City of St. Charles, Illinois
Plan Commission Resolution No. 2-2021

**A Resolution Recommending Approval of a Special Use for PUD and PUD
Preliminary Plan for McGrath Business Center (4075 E. Main St.)**

Passed by Plan Commission on February 2, 2021

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use and PUD Preliminary Plan; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use for PUD and PUD Preliminary Plan for McGrath Business Center (4075 E. Main St.); and,

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community**

The proposed McGrath Commerce Center PUD will advance the following objectives:

- a. The proposed McGrath Commerce Center PUD will promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.

- b. The proposed McGrath Commerce Center PUD will promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
 - c. The proposed McGrath Commerce Center PUD will encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

The departures requested as part of the proposed McGrath Commerce Center PUD (i) are necessary to deal with unique physical characteristics of the Subject Property, and (ii) will, if granted, result in a very desirable rehabilitation of a deteriorated commercial area within the City, and (iii) will, if granted, provide benefits (both financial, and aesthetically) that outweigh those that would have been realized by conforming to the applicable requirements

- iii. **The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):**
 - A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed McGrath Commerce Center PUD will provide and / or expand upon valuable automobile sales and other commercial / retail services to the community.
 - B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

There are adequate utilities, roads and other infrastructure to serve the proposed PUD.
 - C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed Special Use for PUD will not be injurious to the use or enjoyment of other properties in the immediate vicinity and will, instead, augment and help to increase the property values of same.
 - D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The proposed Special Use for PUD will not impede the normal and orderly development and improvement of surrounding properties.
 - E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The proposed Special Use for PUD will not be detrimental to or endanger the public health, safety, comfort or general welfare of the community.
 - F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed Special Use for PUD will conform to all existing Federal, State and local legislation and regulation except to the extent expressly modified by the PUD.
- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The Subject property has been vacant and underutilized for many years, and does not contribute sufficiently to the City's tax base. The proposed Special Use for PUD will allowed this property to be placed into economically beneficially use for the City and its residents.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed McGrath Commerce Center PUD Project is situated in the City's East Gateway Subarea and in the Main Street Subarea. The McGrath PUD Project, if implemented, will serve the following goals and objectives of said Subareas in the following ways:

- (a) The Project will a unified image and identity for St. Charles, but recognizing the individual character of the areas through which it passes.
- (b) The Project will provide optimal access to uses and destinations throughout the full length the City.
- (c) The Project will revitalize the Subarea's retail areas that maximizes the locational assets within this area of the City.
- (d) The Project will improve community and corridor character through the use of gateways, streetscaping improvements, landscaping, and other element. It is proposed that, at the north-east corner of Parcel 3, the Developer will provide a place for the City to install and maintain a "Welcome to St. Charles" gateway feature.
- (e) The Project will improve the appearance of the Main Street Corridors to assist in strengthening the community's identity and appearance through installation of streetscaping, wayfinding and gateway elements.
- (f) The Project will result in the creation of market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.
- (g) The Project will enhance the character of both existing and new development through site improvements, facade enhancements, consistent signage regulation, and attractive building design and materials.

WHEREAS, the Plan Commission finds said Site Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, except as varied per the application for Special Use for PUD, subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of a Special Use for PUD and PUD Preliminary Plan for McGrath Business Center (4075 E. Main St.).

Roll Call Vote:

Ayes: Pretz, Kessler, Wallace, Holderfield, Funke, Vargulich

Nays: None

Abstain: None

Absent: Purdy, Melton

Motion carried: 6-0

Resolution No. 2-2021
Page 5

PASSED, this 2nd day of February 2021.

Chairman
St. Charles Plan Commission



Staff Report

TO: Chair Rita Payleitner
And the Members of the Plan Commission

FROM: Russell Colby
Assistant Director of Community & Economic Development

RE: McGrath Business Center

DATE: February 3, 2021

I. APPLICATION INFORMATION:

Project Name: McGrath Business Center

Applicant: 4075 E Main, LLC (Gary McGrath)

Purpose: PUD for Auto dealerships and commercial development

General Information:		
Site Information		
Location	Former Pheasant Run Mega center (4075 E. Main St.) and Maintenance Facility	
Acres	21 acres	
Application:	Concept Plan	
Applicable City Code Sections	Title 17, Chapter 17.04 - Concept Plan Review Title 17, Chapter 17.14 - Business and Mixed Use Districts	
Existing Conditions		
Land Use	Former exposition center and resort/golf course maintenance facility	
Zoning	BR Regional Business District, Special Use for Golf Course	
Zoning Summary		
North	BR Regional Business District	Vacant lot, Natural Gas Pipeline facility, Public Storage, Classics and Custom Auto
East	City of West Chicago (DuPage Airport Authority)	Golf driving range and Airport
South	BR Regional Business District (DuPage Airport Authority)	Golf Course
West	BR Regional Business District	Former Pheasant Run resort complex
Comprehensive Plan Designation		
Corridor and Regional Commercial and Open Space (Golf Course property)		

Aerial Photograph



Zoning Map



II. PROJECT OVERVIEW:

BACKGROUND

The subject property is a portion of the former Pheasant Run Resort complex that includes the Mega Center building, large parking field east of the Mega Center, and the resort/golf course maintenance facility at the far east end of the property. The Subject Property comprises nearly 21 acres and is made up of two parcels:

- Lot 1 of the Pheasant Run Resort Subdivision (approved/subdivided in 2020), 12 acres
- Maintenance facility, 8 acres

The applicant is 4075 E Main, LLC, represented by Gary McGrath. McGrath owns Lot 1 (Mega Center) and is under contract to purchase the maintenance facility from the DuPage Airport Authority, which owns the golf course property. (The remainder of the resort complex to the west is under separate ownership.)

A similar Concept Plan for the project was presented in January 2021.

The proposal is to develop the property into 1 or more motor vehicle sales dealerships and/or other commercial uses in a coordinated manner with shared access and site layout. Three development components are anticipated:

- Parcel 1: Expand and renovate the Mega Center and adjacent parking field for McGrath Honda of St. Charles (relocating from 1411 E. Main St.)
- Parcel 2: Additional auto dealership
- Parcel 3: Additional auto dealership or other commercial use

APPLICATIONS

The following Zoning Applications have been filed:

- Special Use for PUD: For approval of a PUD ordinance with unique zoning bulk standards to accommodate the project, including required PUD deviations. The PUD is being requested for the entire subject property as shown on the “PUD Exhibit”.
- PUD Preliminary Plan: Preliminary level development plans for existing Lot 1 of the Pheasant Run Resort Subdivision, including architectural elevations, site engineering and landscape plans (Conversion and expansion of Mega Center for McGrath Honda).

PUD Preliminary Plans are required for at least 1/3 of the property at the time of establishment of a new PUD. The filed Preliminary Plan meets the requirement. The “PUD Exhibit”, has been provided to depict the anticipated layout of the remainder of the site.

III. ANALYSIS OF PLANS

COMPREHENSIVE PLAN

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the developed portions of the former Pheasant Run resort as “Corridor/ Regional Commercial” and the Golf Course as “Open Space”.

Corridor/Regional Business land use is described as follows:

“Areas designated as corridor/regional commercial are intended to accommodate larger shopping centers and developments that serve a more regional function, drawing on customer base that extends beyond City limits. These areas often have a mix of “big box” stores, national retailers, and a “critical mass” of multiple stores and large shared parking areas. Areas designated for corridor/ regional commercial are located primarily in larger consolidated areas along the City’s heavily traveled corridors and intersections. Commercial service uses can also have an appropriate place in corridor/regional commercial areas, but must be compatible with adjacent and nearby retail and commercial shopping areas and be located as to not occupy prime retail locations.” (pg. 39)

The subject property is located at the edge of the East Gateway Sub Area, which lists the following goals and objectives:

Subarea Goals

The East Gateway subarea represents a unique opportunity for economic development, revitalization and stabilization with for a specific context within the City of St. Charles. The overall vision for the subarea includes the following:

- *Revitalization of the Subarea’s retail areas that maximizes the locational assets within this area of the City.*
- *Improved connectivity and circulation within the Subarea providing logical and efficient connections between compatible uses.*
- *Better separation of incompatible land uses to protect residential neighborhoods while at the same time help define the City’s business areas.*
- *Attractive streets and sites to distinguish this Subarea and key corridors from neighboring communities.*
- *A mix of uses that that help diversify the City’s economy and provide places to live, work, and shop.*

Subarea Objectives

- *Improve the appearance of the Kirk Road and Main Street Corridors to assist in strengthening the community’s identity and appearance through installation of streetscaping, wayfinding and gateway elements.*
- *Use landscaping appropriately to enhance commercial areas, screen unsightly areas, and provide an attractive streetscape and overall setting for the area.*
- *Improve the overall connectivity and mobility within the Subarea through both public streets and internal connection to provide a predictable and navigable environment.*
- *Preserve surrounding neighborhoods through the use of screening, buffering, and better separation from commercial development.*
- *Create market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.*
- *Take advantage of proximity to DuPage Airport and Pheasant Run as activity generators.*
- *Reposition the Charlestowne Mall site to foster its renaissance or its redevelopment.*
- *Enhance the character of both existing and new development through site improvements, facade enhancements, consistent signage regulation, and attractive building design and materials.*

ZONING

The property is located in the BR Regional Business zoning district. The purpose statement of the BR District:

“The purpose of the BR Regional Business District is to provide locations along Strategic Regional Arterial corridors for shopping centers and business uses that draw patrons from St. Charles, surrounding communities and the broader region. The BR District consists primarily of large-scale development that has the potential to generate significant automobile traffic. It should be designed in a coordinated manner with an interconnected street network that is consistent with the City’s Comprehensive Plan. Uncoordinated, piecemeal development of small parcels that do not fit into a larger context are discouraged in the BR District. Compatible land uses, access, traffic circulation, stormwater management and natural features, all should be integrated into an overall development plan. Because this district is primarily at high visibility locations, quality building architecture, landscaping and other site improvements are required to ensure superior aesthetic and functional quality.”

BR Regional Business District is the most intensive business district in the City and permits all motor vehicle related uses, including Motor Vehicle Sales and Leasing Establishments, and a wide range of other retail and service uses.

BULK STANDARDS

The table below compares the submitted plans vs. the requirements of the BR zoning district. Deviations from the zoning district requirements that are required per the plans are indicated in ***bold italics***. The most significant deviations include:

- Main Street/Rt. 64 front yard setback for parking/paving/vehicle display
- Reduced rear yard setback for the storage outbuilding behind the Honda dealership (due to limitation on the buildable area resulting from high pressure gas main easements crossing the site running north-south, immediately east of the existing building)

Category	Zoning Standard (BR district)	Proposed PUD
Minimum Lot Area	1 acre	6+ acres (approximate)
Maximum Building Coverage	30%	17% (approximate- Phase 2)
Maximum Building Height	40 ft.	35 ft.
Front Yard (north/Main St.)	20 ft. building 20 ft. new parking or 10 ft. for repaving non-conforming	200+ ft. building <i>15 ft. parking 0 ft. for Display Areas per plan</i>
Interior Side Yard (east)	15 ft. building 0 ft. parking	15+ ft. 0 ft.
Exterior Side Yard (west/Access Drive*)	20 ft. building 20 ft. parking	<i>15 ft. building*</i> 25 ft. parking
Minimum Rear Yard (south)	30 ft. building 0 ft. parking	<i>10 ft. for storage outbuilding</i> 20+ ft. to paving

**Note- the west lot line is currently an Interior Side Yard, but could potentially be converted to a public or private street at some point in the future. This PUD deviation would allow the building to remain conforming per the PUD approval regardless of the designation of the access drive.*

LANDSCAPING

A landscape plan has been submitted for Lot 1. The table below compares the submitted plan to the requirements of **Ch. 17.26 Landscaping and Screening**. Deviations from the zoning ordinance standards that would be required to accommodate the development as proposed are denoted in ***bold italics***.

Staff Comments:

- As discussed during the Concept Plan review, a number of landscape deviations are requested to accommodate requirements specific to a large auto dealership facility, including street frontage/screening and internal parking lot landscaping.
- For purpose of the PUD review, the current landscaping requirements that apply to new developments are listed in the table. Note that the existing Mega Center building and parking lot are substantially deficient in meeting the landscaping requirements. The current landscaping requirements would not typically be triggered upon a simple renovation of a building or repaving of a parking lot.
- Around the building, opportunities exist for landscape enhancements in place of areas shown as sodded lawn, including along the north/front elevation wall and near the front corners of the building.
- Along the Main Street frontage, additional plantings could be added to supplement the proposed evergreen shrubs. Alternately, different shrub species or perennials could be utilized for more variety and visual interest.

Category	Zoning Ordinance Standard (with modifications specific to Motor Vehicle Service and Leasing Establishments- assumes a new building and site development)	Proposed
% Overall Landscaped Area	15%; 20% for lots with on-site stormwater storage	<i>15-20% approximately</i>
Public Street Frontage Landscaping	<ul style="list-style-type: none"> • Planting beds along 75% of lot frontage, excluding driveways • Naturally appearing groupings, visual interest by varying heights and widths • 1 tree per 50 ft. 	<ul style="list-style-type: none"> • Planting beds at 100%, except for Display areas • <i>Plantings in a linear fashion, limited variety</i> • <i>9 trees along frontage (15 required)</i>
Parking Lot Landscaping (Motor Vehicle Sales and Leasing Establishments)	<ul style="list-style-type: none"> • Screening at 30” height over 50% of frontage, excluding driveways. • Internal Parking Lot Landscaping may be relocated to the perimeter of the Display area in a location visible from streets adjoining the lot • Landscape islands shall be required at the end of all vehicle display rows. 	<ul style="list-style-type: none"> • <i>Row of Junipers at 18” high at time of planting</i> • <i>Internal parking lot landscaping relocated to perimeter (appears deficient in quantity)</i> • <i>Landscape islands not provided at ends of rows.</i>

<p>Building Foundation Landscaping (Motor Vehicle Sales and Leasing Establishments)</p>	<ul style="list-style-type: none"> • Planting beds along 50% combined length of all walls excluding doors. • Planting beds along not less than 50% of front/street facing wall. • Plant requirement: Based on combined length of all walls, 2 trees and 20 shrubs per 50 ft. <p>Where a Motor Vehicle Display area adjoins a building wall containing showroom display windows, Building Foundation Landscaping may be relocated when:</p> <ol style="list-style-type: none"> 1. An equivalent amount of Building Foundation Landscaping is provided at an alternate location between the building wall and the street, at a location not more than 125 feet from the building wall. 2. The vehicle display area adjacent to the building wall is constructed as a concrete-curbed platform, paved with decorative concrete or masonry. 3. Building Foundation Landscaping is provided adjacent to or within 16 ft. of all exterior corners of the building wall. 	<ul style="list-style-type: none"> • <i>No plantings along side or rear walls</i> • Plantings are provided along the showroom display windows on the north elevation (70% of the elevation) • The entry walkway is shown as Precast Pavers. • Landscaping is provided at both the northeast and northwest corners. Additional landscaping could be added in the sodded lawn areas at the building corners.
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BUILDING DESIGN

Building elevations have been submitted for the McGrath Honda building.

The table below compares the submitted plans to the design requirements of **Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts**. Deviations from the zoning ordinance standards that would be required to accommodate the building design as proposed are denoted in ***bold italics***.

Staff Comments

- The existing former Mega Center building is primarily vertical metal panel siding, which is not a permitted material for new buildings.
- Large portions of the building addition and a section of the existing building are proposed to be sided with EIFS material (exterior insulated finishing system). The Design Standards limit the location and extent of EIFS material. A PUD deviation is required for the plans as proposed. This deviation could be eliminated or reduced by replacing EIFS with metal composite panels. Alternately, a masonry material could be used at the lower sections of walls where EIFS material could be more easily damaged.

Category	Zoning Ordinance Standard	Proposed McGrath Honda
Building Articulation	3 ft. wall projections/recesses over 20% of façades over 100 ft.	Meets standard
% of Architectural Features	50% of façade comprised of architectural features	Meets standard
# of Architectural Features	Street-facing facades must have 2 of 4 architectural features: change in wall plane of 2 ft.; change in wall texture/masonry patterns; transparent windows; columns/pilasters projecting 6 in.	Meets standard
Public Entrance	Public entrance must face primary street frontage	Meets standard
Entrance Articulation	Public entrances must be articulated from building	Meets standard
Building Materials	<ul style="list-style-type: none"> • Brick, Architectural Metal, Metal Composite Panels permitted • Pre-fabricated steel panels not permitted • EIFS may not be used in the lower 10 ft. of the wall and not cover more than 10% of any building wall 	<ul style="list-style-type: none"> • Brick, Architectural Metal, Metal Composite Panels • <i>Vertical steel panels are an existing material</i> • <i>EIFS does not meet standard, used on lower 10 ft. of wall and over 10% of front and side elevations</i>

SIGNAGE

A freestanding sign drawing has been submitted for the McGrath Honda site. Wall signs are shown on the building elevations.

The table below compares the submitted plans to the applicable requirements of **Chapter 17.28 “Signs”**, for the BR zoning district. Deviations from the zoning ordinance standards that would be required to accommodate the building design as proposed are denoted in *bold italics*.

Staff Comments

- No deviation is proposed to the sign height.
- An additional freestanding electronic changeable copy sign is proposed.
- As a public benefit to off-set the deviation to allow the additional sign, the applicant would allow the City to utilize the message board at certain times for community purposes, or a “Welcome to St. Charles” sign.
- During the Concept Plan review, there was discussion of a future gateway feature at the northeast corner of Phase 3. This should be depicted on the PUD Exhibit. The City has been interested in establishing signage and potentially other gateway elements in the general area as the main entrance into St. Charles from the east. The PUD would provide flexibility to consider a unique design with community signage.

Category	Zoning Ordinance Standard	Proposed
Freestanding Signs	<ul style="list-style-type: none"> • 10 ft. setback from right-of-way • 100 ft. separation between signs • 1 sign per lot, 100 sf. face area, 15 ft. in height • Shopping Center signs: 225 sf. face area, 30 ft. in height (Two or more retail stores and/or service establishments located on a parcel of four acres or more sharing customer parking areas, regardless of whether said stores and/or establishments occupy separate structures or are under separate ownership.) 	<ul style="list-style-type: none"> • 10 ft. setback • Separation to exceed 100 ft. between signs. • 1 sign per principal building, max. 100 sf. face area, 15 ft. in height (Honda sign is 64 sf. face, 15 ft. height) • 1 additional Freestanding Sign for an Electronic Changeable Copy sign (see below)
Electronic Changeable Copy Signs	<ul style="list-style-type: none"> • Size- Max. of 50% of the total sign area of the sign on which it is located, or 50 square feet, whichever is less. • Sign images shall change no more frequently than once every 15 seconds. • May display both text and images, but the display shall remain static. The duration of the change of image, copy or illustration shall not exceed one second. Use of moving images or transitions between static images are prohibited. 	<ul style="list-style-type: none"> • 64 sf. sign, 100% electronic changeable copy face • To comply with restrictions on image changes and moving images. • Available for limited use by the City for community announcements or “Welcome to St. Charles” message
Wall Signs	1 per street frontage, 1.5 sf x linear length of wall	3 signs on north elevation Other informational walls signs on sides of building

SITE LIGHTING

A photometric plan has been submitted showing building and parking lot lighting. Poles are 26 ft. in height.

Per **Section 17.22.040 Site Lighting**, the maximum allowable average footcandle lighting level at the property line is 2.0 footcandles. For Motor Vehicle display lots abutting right-of-way, the average can be increased up to 15.0 footcandles.

The photometric plan shows average footcandles that fall within the maximum limitations. The east lot line may exceed the 2.0 average, however this is expected to be a common lot line with an additional dealership, and can be noted as a PUD Deviation.

A uniformity ratio calculation should be provided for the overall parking lot and the entire Lot 1.

SITE ACCESS

Access to the property is provided from IL Route 64/Main St. IL Route 64 is under the jurisdiction of the Illinois Department of Transportation.

- Full access is limited to the signalized intersection at the northwest corner of the property. This intersection serves as the main entrance to the entire Pheasant Run Resort subdivision.
- A private north-south roadway is planned to extend from the signalized intersection south along the west property line of the Mega Center. This roadway would provide a future access for the golf course property to the south.
- Cross access is shown across the property.
- A Right-in/Right-out access exists on Lot 1. A new additional Right-in/Right-out access point is proposed further to the east (access to Parcel 3).
- IDOT will need to review any changes to Rt. 64 access and sign any Plat of Subdivision of the property.

This property is at the east end of the City's pedestrian circulation system. No new public sidewalks are shown. A connection could be provided from the building to the existing crosswalk at the Rt. 64 signalized intersection. This would likely connect to any future sidewalk connections to the west across the resort property. Property to the east is part of the DuPage Airport and no sidewalks exist.

UTILITY SYSTEM

The former Pheasant Run Resort complex is served by a mix of private and public utilities. Most of the on-site utility systems are private and outdated and require upgrade or replacement to service multiple building lots.

Utility systems upgrades are planned to commence in 2021 in connection with the Pheasant Run Resort Subdivision improvements and the utilities necessary to serve the planned McGrath Honda dealership. These include:

- A new electric distribution system extension from a pipe crossing under Route 64 midway along the site frontage.
- Watermain extensions east along the Route 64 frontage and south along the new private roadway.
- A new publicly-owned lift station to provide sanitary sewer service to the Pheasant Run Resort subdivision. A financial guarantee is posted for this subdivision improvement.

City staff has reviewed utility system improvements in connection with the renovation and expansion of Mega Center building for the relocated McGrath Honda dealership.

Additional utility modeling and analysis will likely be needed to determine the extent of improvements necessary for serving the entire development shown on the PUD Exhibit, including the Phase 2 and Phase 3 buildings. This may require additional service capacity or main looping.

STORMWATER MANAGEMENT

The PUD Exhibit identifies an area along rear of the development for stormwater management.

The existing Mega Center development was built prior to modern stormwater management regulations. A majority of the lot is covered with impervious surface such as parking lots and building. The Kane County Stormwater Management Ordinance allows redevelopment projects to take credit for existing impervious area. The redevelopment will provide stormwater management in the form of best management practices for the small net increase in impervious surface.

Stormwater Management will need to be considered with future development phases, and requirements will be dependent on the extent of site disturbance and changes to impervious surface area.

IV. PLAN COMMISSION RECOMMENDATION

The Plan Commission conducted a public hearing on the applications on February 2, 2020.

There was no discussion and no public comment was offered during the hearing.

The Plan Commission unanimously recommended approval, 7-0, subject to resolution of all staff comments prior to City Council action.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



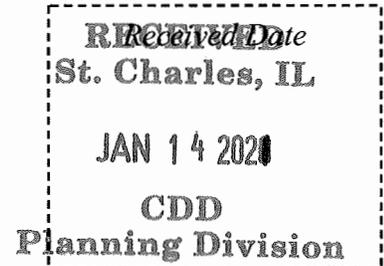
COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	<u>McGrath Business Center</u>
Project Number:	<u>2020 -PR- 019</u>
Application Number:	<u>PLSH202100002</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: South of IL Route 64; former St. Charles Mega Center Parcel and East	
	Parcel Number (s): 01-30-300-016; 01-30-300-017; 01-30-300-018; 01-30-300-019 and 01-30-400-005	
	Proposed Name: McGrath Business Center	
2. Applicant Information:	Name 4075 E. Main, LLC	Phone (630) 721-9500
	Address 2020 N Randall Road Elgin, IL 60123	Fax (630) 524-9111
		Email gmcgrath@gmail.com
3. Record Owner Information: For Parcels 1 & 2	Name Same as Applicant	Phone
	Address	Fax
		Email

4. Record Owner Information: For Parcel 3	Name DuPage Airport Authority	Phone 630-584-2211
	Address 2700 International Drive West Chicago, IL 60185	Fax 630-584-3022
		Email Business@dupageairport.com

Please check the type of application:

- XX Special Use for Planned Unit Development - PUD Name:** **Prairie McGrath Business Center**
- XX** New PUD
- Amendment to existing PUD- Ordinance #: _____
- XX** PUD Preliminary Plan filed concurrently (**Parcel 1 only**)
- XX Other Special Use (from list in the Zoning Ordinance):** _____
- XX** Newly established Special Use
- Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: East Gateway Sub-Area and Main Street Sub-Area

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR

What is the property currently used for? Parcel 1: Former St. Charles Mega Center; Parcel 2: Vacant; Parcel 3: Abandoned DuPage Airport Authority maintenance facility

If the proposed Special Use is approved, what improvements or construction are planned?

Relocated McGrath Honda of St. Charles Dealership on Parcel 1; Possible additional dealerships on Parcels 2 and 3 and/or any other commercial use permitted by the underlying zoning district.

For Special Use Amendments only:

Why is the proposed change necessary?

A PUD requires a Special Use.

What are the proposed amendments? (Attach proposed language if necessary) A proposed special use for planned unit development

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

TRAFFIC STUDY: If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use

14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line
21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

4075 E. Main, LLV



By: _____
Name: Gary D. McGrath, Manager

January 13, 2021
Date

**DUPAGE AIRPORT AUTHORITY
CONSENT**

The undersigned, DuPage Airport Authority, an Illinois special district (the "DAA"), being the owner of record of the land described on Exhibit 1 attached hereto, which is under contract to be sold to 4075 E Main, LLC ("McGrath"), and which is described in McGrath's Special Use for PUD Application as "Parcel 3", hereby consents to the City of St. Charles administratively processing the said Special Use Application, provided that no ordinances or resolutions which are binding upon said Parcel 3 shall be enacted or adopted by the City unless and until McGrath takes title to said Parcel; 3.

Dated: January 2, 2021

DUPAGE AIRPORT AUTHORITY, an Illinois
Special District

By: 
Name: Phillip A. Luecke
Title: Council

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Gary D. McGrath, being first duly sworn on oath depose and say that I am the Manager of 4075 E. Main, LLC an Illinois limited liability company (“Owner”), and that the following are all of the members of the said LLC:

Gary D. McGrath or his living trust, as to 100%



By: _____, the Manager
 Gary D. McGrath

Subscribed and Sworn to before me this ___ day of January, 2021.

Notary Public

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

FOR SPECIAL USE FOR PUD OR PUD AMENDMENT APPLICATIONS.

THE ST. CHARLES ZONING ORDINANCE REQUIRES THE PLAN COMMISSION TO CONSIDER THE CRITERIA LISTED BELOW IN MAKING A RECOMMENDATION TO THE CITY COUNCIL ON WHETHER A PROPOSED PLANNED UNIT DEVELOPMENT IS IN THE PUBLIC INTEREST.



AS THE APPLICANT, THE “BURDEN OF PROOF” IS ON YOU TO PROVIDE INFORMATION THAT ADDRESSES THE CRITERIA BELOW IN ORDER TO DEMONSTRATE THAT THE PROJECT IS IN THE PUBLIC INTEREST.

(YOU MAY UTILIZE THIS FORM OR PROVIDE THE RESPONSES ON ANOTHER SHEET.)

McGrath Business Center
PUD Name

January _____, 2021
Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed McGrath Commerce Center PUD will advance the following objectives:

- a. **The proposed McGrath Commerce Center PUD will promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**

- b. **The proposed McGrath Commerce Center PUD will promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - c. **The proposed McGrath Commerce Center PUD will encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where conforming to the requirements would inhibit creative design that serves community goals, and / or where conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The departures requested as part of the proposed McGrath Commerce Center PUD (i) are necessary to deal with unique physical characteristics of the Subject Property, and (ii) will, if granted, result in a very desirable rehabilitation of a deteriorated commercial area within the City, and (iii) will, if granted, provide benefits (both financial, and aesthetically) that outweigh those that would have been realized by conforming to the applicable requirements

- iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):
 - A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The proposed McGrath Commerce Center PUD will provide and / or expand upon valuable automobile sales and other commercial / retail services to the community.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

There are adequate utilities, roads and other infrastructure to serve the proposed PUD.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed Special Use for PUD will not be injurious to the use or enjoyment of other properties in the immediate vicinity and will, instead, augment and help to increase the property values of same.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed Special Use for PUD will not impede the normal and orderly development and improvement of surrounding properties.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed Special Use for PUD will not be detrimental to or endanger the public health, safety, comfort or general welfare of the community.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use for PUD will conform to all existing Federal, State and local legislation and regulation except to the extent expressly modified by the PUD.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The Subject property has been vacant and underutilized for many years, and does not contribute sufficiently to the City's tax base. The proposed Special Use for PUD will allowed this property to be placed into economically beneficially use for the City and its residents.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed McGrath Commerce Center PUD Project is situated in the City's East Gateway Subarea and in the Main Street Subarea. The McGrath PUD Project, if implemented, will serve the following goals and objectives of said Subareas in the following ways:

- (a) The Project will a unified image and identity for St. Charles, but recognizing the individual character of the areas through which it passes.**
- (b) The Project will provide optimal access to uses and destinations throughout the full length the City.**
- (c) The Project will revitalize the Subarea's retail areas that maximizes the locational assets within this area of the City.**
- (d) The Project will improve community and corridor character through the use of gateways, streetscaping improvements, landscaping, and other element. It is proposed that, at the north-east corner of Parcel 3, the Developer will provide a place for the City to install and maintain a "Welcome to St. Charles" gateway feature.**
- (e) The Project will improve the appearance of the Main Street Corridors to assist in strengthening the community's identity and appearance through installation of streetscaping, wayfinding and gateway elements.**
- (f) The Project will result in the creation of market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.**
- (g) The Project will enhance the character of both existing and new development through site improvements, facade enhancements, consistent signage regulation, and attractive building design and materials.**

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

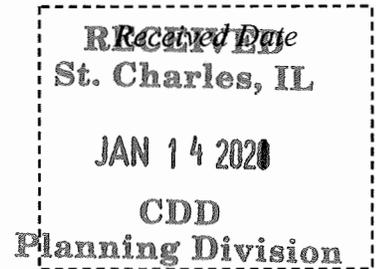


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	<u>McGrath Business Center</u>
Project Number:	<u>2020 -PR- 019</u>
Application Number:	<u>PLPUD 202100003</u>



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 4075 E. Main Street, St. Charles, IL (Former half of Mega Center Parcel): Parcel 1 only	
	Parcel Number (s): West parts of 01-30-300-016; 01-30-300-017; 01-30-300-018; 01-30-300-019 and 01-30-400-005	
	Proposed PUD Name: McGrath Business Center	
2. Applicant Information:	Name 4075 E. Main, LLC	Phone (630) 721-9500
	Address 2020 N Randall Road Elgin, IL 60123	Fax (630) 524-9111
		Email gmcgrath@gmail.com
3. Record Owner Information:	Name Same as Applicant	Phone
	Address	Fax

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Please check the type of application:

- XX New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development**
 - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- XX** Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
 - Final Plat of Subdivision Application filed concurrently
 - Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

APPLICATION FEE: Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

LEGAL DESCRIPTION: For entire subject property, on 8 ½ x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

SITE/ENGINEERING PLAN:

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose

3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with the proposal indicated
11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting

- Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
 38. Certification of site engineering plans by a registered professional engineer
 39. Proof of application for Stormwater Management Permit

SKETCH PLAN FOR LATER PHASES OF PUD:

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

ARCHITECTURAL PLANS:

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

TREE PRESERVATION PLAN:

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

LANDSCAPE PLAN:

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

STORMWATER MANAGEMENT:

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

PUBLIC BENEFITS, DEPARTURES FROM CODE:

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

SCHEDULE: Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

PARK AND SCHOOL LAND/CASH WORKSHEETS

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

INCLUSIONARY HOUSING SUMMARY

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

4075 E. Main, LLC



By: _____
Name: Gary D. McGrath, Manager

January 13, 2021

NARRATIVE DESCRIPTION OF PROPOSED MCGRATH PUD DEVELOPMENT

PROPOSED PUD FOR MCGRATH COMMERCE CENTER

4075 E Main, LLC, an Illinois limited liability company owned by Gary D. McGrath (“**McGrath**”) has recently purchased Lot 1 in Pheasant Run Subdivision. Lot 1 is an approximate 12 acre site previously known as the “St. Charles Mega Center Site”.

McGrath, or an affiliate, also has under contract for purchase an additional approximate 8.6 acres of land immediately east of Lot 1, which it is purchasing from the DuPage Airport Authority (the “**DAA Site**”). Lot 1 and the DAA Site are contiguous and, collectively, comprise approximately 21 acres.

Please see the attached PUD Site Plan which identifies (i) the soon-to-be-constructed relocated Honda facility on the approximate west 6 acres of Lot 1 (“**Parcel 1**”), (ii) the site for the second intended dealership on the approximate east 6 acres of Lot 1 (“**Parcel 2**”), and (iii) a third dealership or commercial development site (currently owned by the DuPage Airport Authority, but under contract for purchase by McGrath) on the eastern-most 8.6 acres (“**Parcel 3**”).

Please also see the attached Preliminary PUD Plan for Parcel 1 (being the west 6 acres of Lot 1).

McGrath is planning to commence in early 2021 the construction of its relocated “McGrath Honda of St. Charles” facility on Parcel 1. This will leave Parcels 2 and 3 available for further development.

While there can be no assurance of if or when additional dealership can be brought to Parcels 2 and 3, nevertheless, given McGrath’s success in the automotive business, and its ownership of multiple dealerships in Illinois and elsewhere, planning for additional dealerships or other commercial development upon the Subject Property is advisable.

Through this Application, Applicant seeks a special use for PUD over Parcels 1, 2 and 3, and Preliminary PUD approval for only Parcel 1. For the avoidance of doubt, for both efficiencies and appearances, McGrath will also pave, light, and landscape the frontage of Parcel 2 at the same time the Preliminary PUD for Parcel 1 is approved (even though no preliminary PUD approval for said Parcel 2 is being requested at this time).

Statement of Planning Objectives to be Achieved – PUD

Parcels 1 and 2 are currently owned by McGrath, and it is anticipated that McGrath will be taking title to Parcel 3 in early 2021. As such, Parcels 1, 2 and 3 (collectively, the “Subject Parcels”) are and will be under common ownership. The Subject Parcels and development which, together constitute approximately 21 acres (the “Subject Property”) are or will be under a single ownership / unified control by Owner.

The contemplated planned unit development (the “McGrath PUD”) contemplates the unified development of a multi-dealership auto mall or other commercial uses with some degree of

shared access and detention. Planning for the unified development of these three Parcels is advantageous to the City as well as the Owner (the “**McGrath PUD Project**”).

The McGrath PUD Project is situated in the City’s East Gateway Subarea and in the Main Street Subarea. The McGrath PUD Project, if implemented, will serve the following goals and objectives of said Subareas in the following ways:

- (a) Presenting a unified image and identity for St. Charles, but recognizing the individual character of the areas through which it passes.
- (b) Providing optimal access to uses and destinations throughout the full length the City.
- (c) Revitalization of the Subarea’s retail areas that maximizes the locational assets within this area of the City.
- (d) Improving community and corridor character through the use of gateways, streetscaping improvements, landscaping, and other element
- (e) Providing a mix of uses that that help diversify the City’s economy and provide places to live, work, and shop
- (f) Improving the appearance of the Kirk Road and Main Street Corridors to assist in strengthening the community’s identity and appearance through installation of streetscaping, wayfinding and gateway elements. » Use landscaping appropriately to enhance commercial areas, screen unsightly areas, and provide an attractive streetscape and overall setting for the area. » Improve the overall connectivity and mobility within the Subarea through both public streets and internal connection to provide a predictable and navigable environment.
- (g) Creating market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time. » Take advantage of proximity to DuPage Airport and Pheasant Run as activity generators.
- (h) Enhancing the character of both existing and new development through site improvements, facade enhancements, consistent signage regulation, and attractive building design and materials.
- (i) Establishing, at the north-east corner of Parcel 3, a place for the City to install and maintain a “Welcome to St. Charles” gateway feature.

The McGrath PUD Project will also satisfy the purposes for which the use of Planned Unit Developments are to be allowed under Chapter 17.04.400 of the City’s Municipal Code:

- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
- 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
- 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
- 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.

5. To promote the economic development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies, and the community.

The McGrath PUD Project will generally conform to applicable codes and regulations of the underlying zoning districts, with certain exceptions or departures to be reviewed and approved through the PUD review process and as set out on the attached Zoning Compliance tables. The City's Municipal Code recognizes the legitimacy of the use of a PUD to depart from the strict application of the regulations of the underlying zoning district where such strict application would inhibit creative design that serves community goals, or would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements. The McGrath PUD contemplates, among others, certain reasonable departures as to: (i) reduce parking set-back along Main Street to permit an effective display of vehicles for sale along this wide, high-speed, and median divided right of way (Main Street); (ii) reducing the rear-yard building set-back on Parcel 1 given the building constraints created by the 100 ft. wide pipeline easement that bisects Parcel 1; (iii) the re-orientation of landscaping so as to accommodate the unique needs of automobile retailers as to their unique need to efficiently provide for the unexpected need to move vehicular inventory for snow plowing purposes; and (iv) an increase in the size of free-standing signage (including increased electronic message board for vehicular sales advertising) and wall signage to accommodate the enhanced width and traffic speed on Main Street..

CONCLUSION

Applicant respectfully requests that the City Plan Commission recommend for approval, and the City Council approve, the McGrath PUD Project in order to achieve the more desirable design features, the higher property values, and the greater commercial opportunities which it affords to the City.

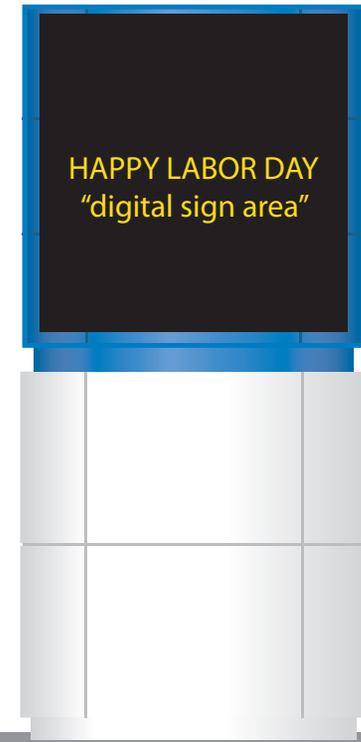
Peter C. Bazos
Bazos, Freeman, Schuster & Pope, LLC
1250 Larkin Avenue #100
Elgin, IL 60123
847.742.8800
pbazos@bazosfreeman.com

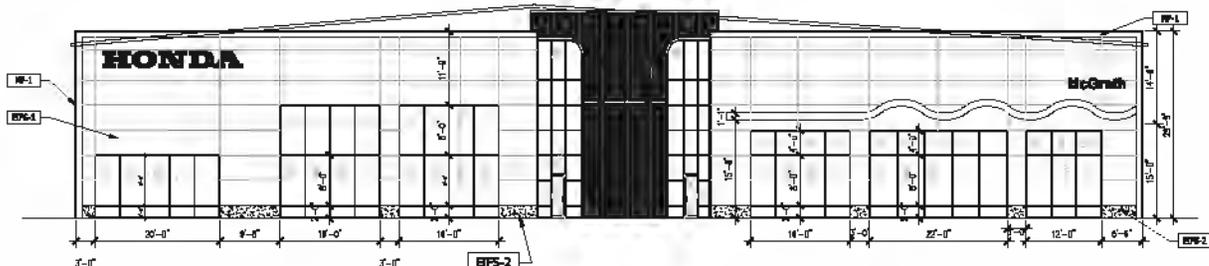


8'ft x 8ft sign area
x 15ft tall



8'ft x 8ft sign area
x 15ft tall

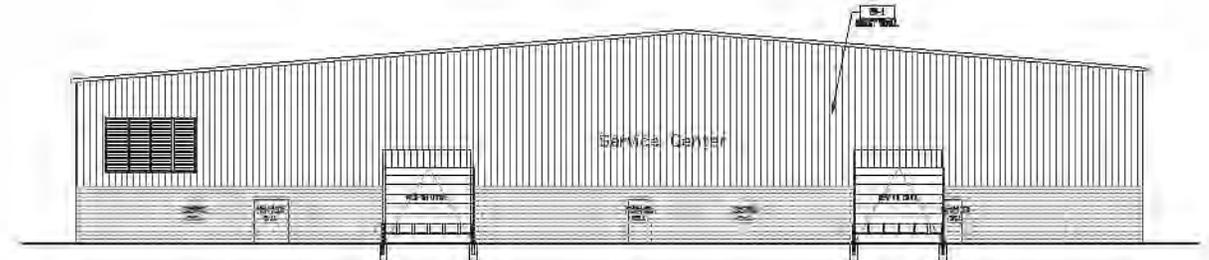




NORTH ELEVATION
SCALE: 1/8" = 1'-0"

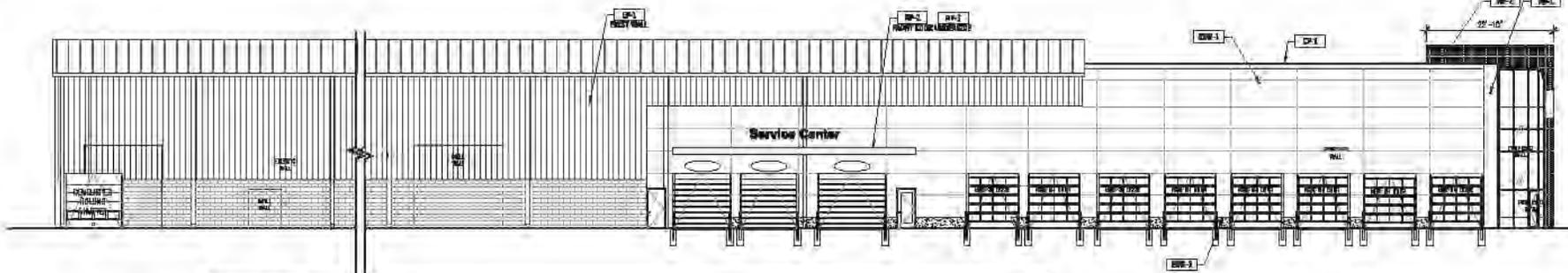
1

- CORRECTIONS**
- EXISTING EFPs REVEAL TO REMAIN NEW EFP REVEALS TO MATCH EXISTING.
 - ROOFING CENTERED ABOVE OVERHEAD DOORS AND CENTERED BETWEEN TOP OF DOOR AND BOTTOM OF CANOPY.
 - THE WIDTH OF THE GUTTER SHOULD BE TO DISOUSE THE GUTTER, SEE DETAIL.
 - ROOFING CENTERED ON WALL.
 - WAVE CANOPY. SEE A04.01 FOR PROFILE DIMENSIONS.



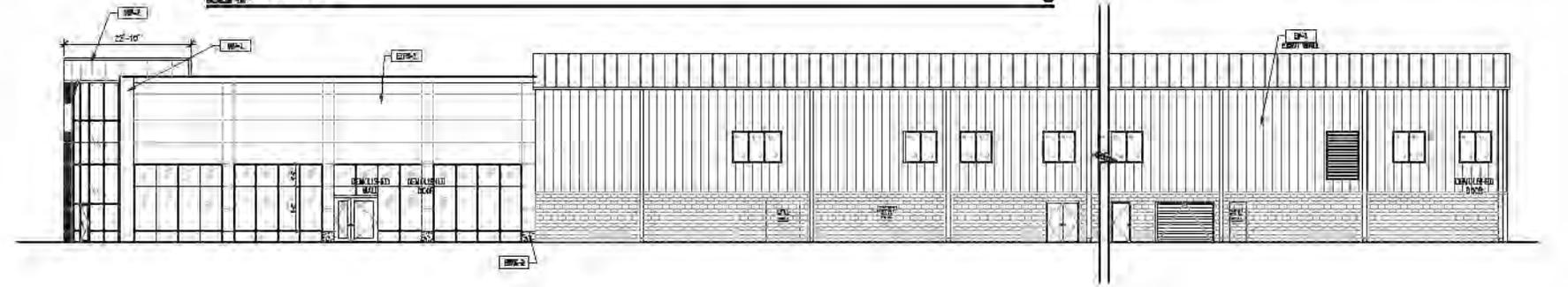
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

2



EAST ELEVATION
SCALE: 1/8" = 1'-0"

3



WEST ELEVATION
SCALE: 1/8" = 1'-0"

4

PROJECT:



GENERAL CONTRACTOR:

ARCHITECT:



890 Lake Cook Road, Suite 300
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PROFESSIONAL SEAL:

1/19/2021 - ISSUED FOR PERMIT

EXTERIOR ELEVATIONS

A4.01

02/21 SIMON ARCH, LLC



MP-1 Metal Panel,
Exterior Facade, Accent
CF-1 Cap Flash,
General



MP-2 Metal Panel,
Eaves of Canopies,
Entrance Cylinder



MP-3 Metal Panel,
Exterior Facade Main Field Option,
Underside of Canopies



EP-1 Exterior Paint,
Exterior Metal Doors
EP-2 Exterior Paint,
Paint for Existing Stucco



EFS-1 Exterior Insulation Finishing System,
To Match MP-1 Main Field



CMU-1 Concrete Masonry Unit,
Exterior Facade, Main Field
(Split Face Finish)

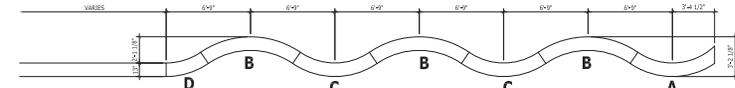
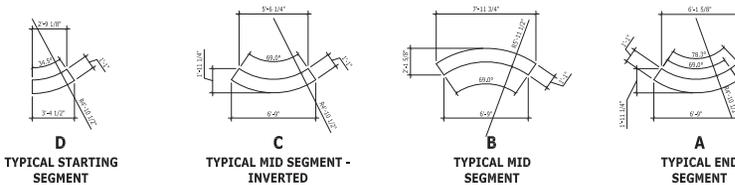


SF-1 Store Front,
Exterior Facade



CC-1 Concrete,
Entry Walkway

CODE	MATERIAL	MANUFACTURER	DESCRIPTION			LOCATION	ADDITIONAL INFORMATION
			PRODUCT	COLOR	DIMENSION		
CO-1	CONCRETE	PROVIDED BY ARCHITECT OF RECORD		NONCOLOR PLAIN GREY FROM LOCAL BATCH PLANT BROOM FINISH	4"x4" SCORE MARKS	ENTRY WALKWAY, FEATURE VEHICLE PADS	
CF-1	CAP FLASH	PROVIDED BY ARCHITECT OF RECORD		TO MATCH MP-1	4" HEIGHT		CONTACT: DAVID J. KEARNEY AT ALPOLIC (757) 286-1005 CONTACT: KEVIN JUDESMAN AT ALCOA ARCHITECTURAL PRODUCTS (478) 3194039
CMU-1	CONCRETE MASONRY UNIT	ANCHOR CONCRETE PRODUCTS (OLDCASTLE ARCHITECTURAL BRAND)	ANCHOR SPLIT FACE BLOCK	80-30 NOTE: USE WITH LEHIGH MASONRY CEMENT, COLOR SD-33		EXTERIOR FACADE MAIN FIELD	CONTACT: STEVEN EASTER AT ANCHOR CONCRETE PRODUCTS, INC. (800) 415-8445 OR NOTE: FOR PRODUCT SUBSTITUTION REFER TO OLDCASTLE ARCHITECTURAL PRODUCTS. NOTE: REFER TO MANUFACTURERS SALES REPRESENTATIVE FOR APPROPRIATE PRODUCTS, INSTALLATION RECOMMENDATIONS AND PRODUCT SUBSTITUTIONS BASED ON REGION.
D-1	GLASS & ALUMINUM MAN DOOR	KAWNEER OR EQUAL	3070 OR 5070 STANDARD NARROW STYLE CENTER HINGE DOOR	MEDIUM STYLE CLEAR ANODIZED FINISH GLASS & ALUMINUM		SHOWROOM EXTERIOR DOORS GENERAL	CONTACT: EVAN RUSS AT KAWNEER COMPANY, INC. (440) 448-9900
D-2	SOLID MAN DOOR	PROVIDED BY ARCHITECT OF RECORD	3070 INTEGRAL VISION PANEL	PAINT: GUDSON PROFESSIONAL 8507Y 83009 NATURAL WHITE - SEE EP-1		EXTERIOR BOH	
D-3	ALUMINUM OVERHEAD DOOR (GLASS)	PROVIDED BY ARCHITECT OF RECORD		METAL COLOR TO MATCH SF-1, CLEAR ANODIZED		SERVICE RECEPTION, EXPRESS SERVICE & WASH	
D-4	ALUMINUM OVERHEAD DOOR (PAINTED METAL)	PROVIDED BY ARCHITECT OF RECORD	PROVIDE SINGLE BAND OF GLASS	PAINT: GUDSON PROFESSIONAL 8507Y 83009 NATURAL WHITE - SEE EP-1	SEE DRAWING FOR SIZE	SERVICE BAYS	
EFS-1	EXTERIOR INSULATION FINISHING SYSTEM	DRYVIT	DRYVIT SYSTEM, INC. OUTSULATION PLUS MD EPS	COLOR: HONDA CHINA WHITE #HONDD0121 FINISH: SANDBLAST		MAIN FIELD	CONTACT: BOB DAZEL AT DRYVIT (734) 276-0404
EFS-2	EXTERIOR INSULATION FINISHING SYSTEM WITH HIGH IMPACT	DRYVIT	DRYVIT SYSTEM, INC. OUTSULATION PLUS MD EPS WITH HIGH IMPACT	COLOR: OYSTER SHELL # 408 FINISH: WEATHERLASTIC QUADROPUTZ		LOWER PORTION OF EPS AREA	CONTACT: BOB DAZEL AT DRYVIT (734) 276-0404
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	PRIMER: SUPER SPEC HP UNIVERSAL ALKYD METAL PRIMER #977 PAINT: AURA WATERBORNE EXTERIOR PAINT; SEMI-GLOSS FINISH #832	CLASSIC COLORS 1B ALABASTER #876		EXTERIOR METAL DOORS	CONTACT: DOROTHY HAZINSKI AT BENJAMIN MOORE (330) 353-8656; DOROTHY.HAZINSKI@BENJAMINMOORE.COM
EP-2	EXTERIOR PAINT	BENJAMIN MOORE	PRIMER: BURE SEAL LATEX PRIMER SEALER #027 PAINT: AURA WATERBORNE EXTERIOR PAINT; SATIN FINISH #832	CLASSIC COLORS 1B ALABASTER		PAINT OVER EXISTING STUCCO	CONTACT: DOROTHY HAZINSKI AT BENJAMIN MOORE (330) 353-8656; DOROTHY.HAZINSKI@BENJAMINMOORE.COM
MP-1	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA SILVER METALLIC 4MM PIN BSK		EXTERIOR FACADE ACCENT	CONTACT: DAVID J. KEARNEY AT ALPOLIC (757) 286-1005
	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOLBOND	DRY JOINT SYSTEM	RB1609PE - BRIGHT SILVER METALLIC OIL RB1609PE - BRIGHT SILVER METALLIC "ECO-CLEAN"			CONTACT: KEVIN JUDESMAN AT ALCOA ARCHITECTURAL PRODUCTS (478) 3194039
MP-2	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA BLUE CLEAR FINISH		EDGES OF CANOPIES, ENTRANCE CYLINDER	CONTACT: DAVID J. KEARNEY AT ALPOLIC (757) 286-1005
	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOLBOND	DRY JOINT SYSTEM	RB1609PE - HONDA BLUE OIL RB1609PE - HONDA BLUE "ECO-CLEAN"			CONTACT: KEVIN JUDESMAN AT ALCOA ARCHITECTURAL PRODUCTS (478) 3194039
MP-3	METAL PANEL OPTION 1	ALPOLIC	DRY JOINT SYSTEM	HONDA WHITE 4MM PIN BENT		EXTERIOR FACADE MAIN FIELD OPTION, UNDERSIDE OF CANOPIES	CONTACT: DAVID J. KEARNEY AT ALPOLIC (757) 286-1005
	METAL PANEL OPTION 2	ALCOA ARCHITECTURAL PRODUCTS REYNOLBOND	DRY JOINT SYSTEM	RB1609PE - BONE WHITE OIL RB1609PE - BONE WHITE "ECO-CLEAN"			CONTACT: KEVIN JUDESMAN AT ALCOA ARCHITECTURAL PRODUCTS (478) 3194039
SF-1	STORE FRONT	KAWNEER OR EQUAL	PROVIDED BY ARCHITECT OF RECORD	CLEAR ANODIZED FINISH		EXTERIOR FACADE	CONTACT: EVAN RUSS AT KAWNEER COMPANY, INC. (440) 448-9900



PROJECT:



McGrath Honda, St. Charles
Pheasant Run Redevelopment
St. Charles, IL

GENERAL CONTRACTOR:

ARCHITECT:



500 Lake Cook Road, Suite 350
Deerfield, IL 60015
Tel: 847-927-1314
attn: Simon Yu

CIVIL:

RWG Civil Engineering
975 E. 22nd Street, Suite 400
Wheaton, IL 60189

Tel: 630-460-7889
Direct: 630-774-8901
attn: Robert Gudmundson

STRUCTURAL:

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Structural Engineers
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Lake Zurich, IL 60047

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www.virgilioassoc.com

MECH / PLUMB / ELEC
ENGINEER:

ALPHA COMM. ENG.
1363 Shermer Road
Northbrook, IL 60062

Tel: 224-353-6900
Attn: Rogan Abummar

PROFESSIONAL SEAL:

1 / 15 / 2021 - ISSUED FOR PERMIT

MATERIALS

A4.02

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EXTERIOR

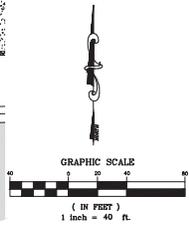
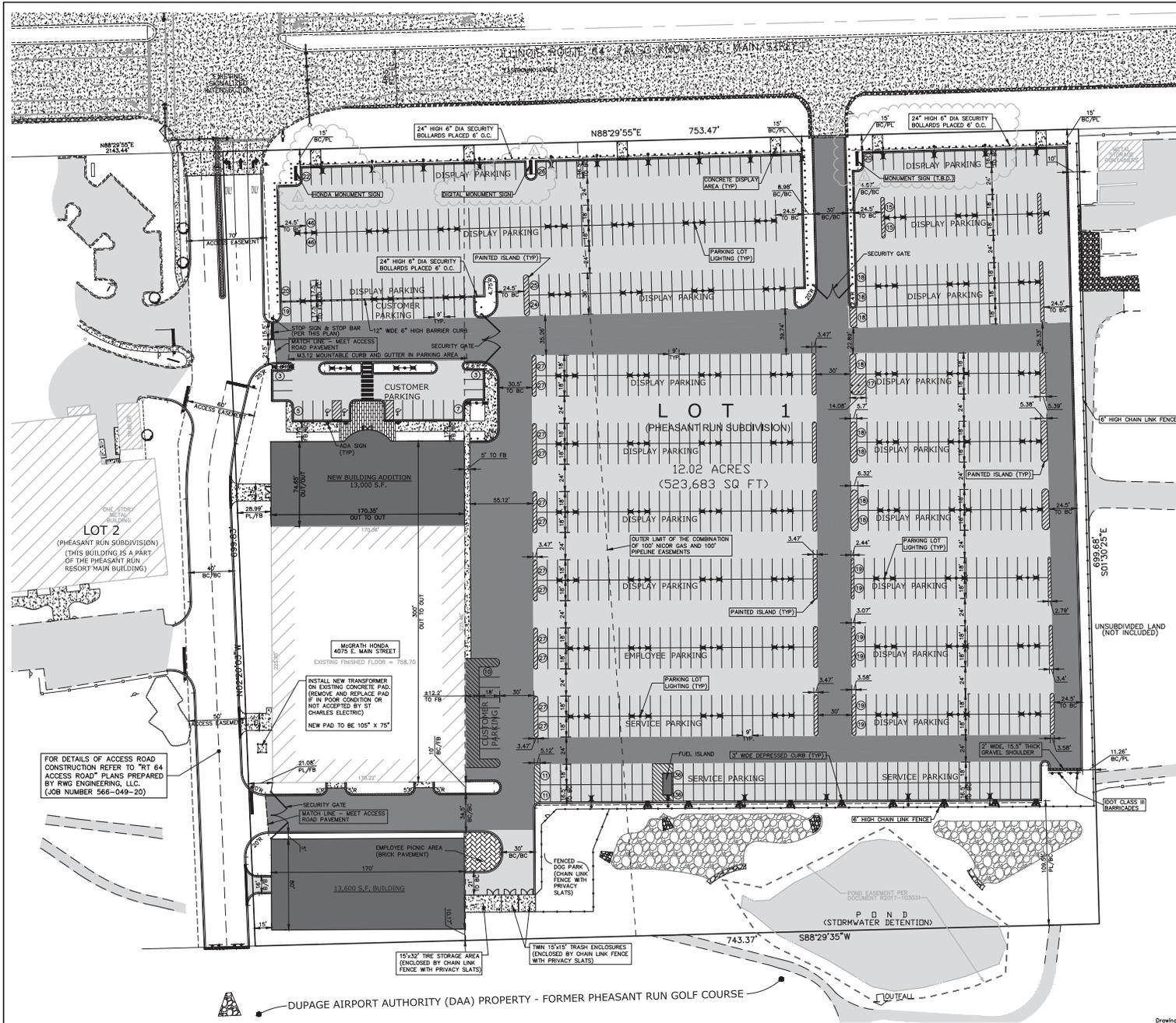
Being interruptive from the curb is becoming more important than ever. The Honda cylinder has always been a unique element on automotive row. The new cylinder incorporates more glass and splits the entry with the familiar Honda blue. The building is clean and simple, with a lot of visual access to the interior from outside. The recognizable wave has been reduced in depth, but is still being leveraged to call attention to our facility.



ENTRY

The Honda Entry now carries the cylinder shape into the interior of the showroom. The cylinder's volume of space is visually continued through the use of arcing soffits and entry flooring. A slightly curved greeter desk with a medium-height brand wall is conveniently positioned between the sales and service areas creating a welcoming point of contact.





ABBREVIATIONS LEGEND:

EX	EXISTING
PR	PROPOSED
BC	BACK OF CURB
FC	FACE OF CURB
EP	EDGE OF PAVEMENT
PL	PROPERTY LINE
FB	FACE OF BUILDING
FW	FACE OF WALK (SIDEWALK)
ROW	RIGHT OF WAY
BC/BW	BACK OF CURB TO BACK OF CURB
R	RADIUS
RW	RETAINING WALL (TYP)
(TYP)	TYPICAL

SURFACE IMPROVEMENT LEGEND:

(Symbol)	NEW ASPHALT PAVEMENT - STANDARD (SMA-3)
(Symbol)	1.5" HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50
(Symbol)	BITUMINOUS TACK COAT (0.50 GAL/SY)
(Symbol)	3" HOT-MIX ASPHALT BINDER COURSE, S-19, N50
(Symbol)	BITUMINOUS PRIME COAT (0.50 GAL/SY)
(Symbol)	6" AGGREGATE BASE COURSE CA-6, TYPE B
(Symbol)	ASPHALT PAVEMENT - HEAVY DUTY (SMA-3.2)
(Symbol)	1.5" HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50
(Symbol)	BITUMINOUS TACK COAT (0.50 GAL/SY)
(Symbol)	4" HOT-MIX ASPHALT BINDER COURSE, S-19, N50
(Symbol)	BITUMINOUS PRIME COAT (0.50 GAL/SY)
(Symbol)	10" AGGREGATE BASE COURSE CA-6, TYPE B
(Symbol)	CONCRETE SLABS
(Symbol)	8" PORTLAND CEMENT CONCRETE (4000 PSI)
(Symbol)	W/ 4" #4 WELDED MESH
(Symbol)	6" AGGREGATE BASE COURSE CA-6, TYPE B
(Symbol)	BRICK PAVEMENT
(Symbol)	4" STANDED BRICK PAVEMENT
(Symbol)	6" AGGREGATE BASE COURSE CA-6, TYPE B
(Symbol)	PROPOSED 66.12 CONCRETE CURB AND GUTTER
(Symbol)	PROPOSED 66.12 DEPRESSED CURB
(Symbol)	PROPOSED REVERSE PITCH 66.12 CURB AND GUTTER
(Symbol)	EXISTING CURB AND GUTTER
(Symbol)	EXISTING DEPRESSED CURB AND GUTTER
(Symbol)	NUMBER OF PARKING (OR PRODUCT) STALLS PER AISLE

SITE DATA:

TOTAL SITE SIZE = 523,683 S.F. (12.02 AC)

EXISTING SITE CONDITIONS:

EXISTING BUILDING FOOTPRINT	= 42,616 S.F. (8.14%)
EXISTING PAVT./SIDEWALK	= 378,473 S.F. (72.27%)
EXISTING GREENSPACE	= 102,594 S.F. (19.59%)
EXISTING CONDITIONS IMPERVIOUS AREA	= 421,089 S.F. (8.67 AC)

PROPOSED SITE CONDITIONS:

PROPOSED COMBINED BUILDING FOOTPRINT	= 64,984 S.F. (12.41%)
PROPOSED ASPHALT/CONC. PAVT., WALK	= 374,654 S.F. (71.54%)
PROPOSED GREENSPACE	= 84,045 S.F. (16.05%)
PROPOSED CONDITIONS IMPERVIOUS AREA	= 439,638 S.F. (10.69 AC)

PROPOSED PARKING SUMMARY:

CUSTOMER PARKING (STANDARD STALL 9'x18')	= 44
CUSTOMER PARKING (ADA STALL 9'x18')	= 3
DISPLAY PARKING (9'x18')	= 700
EMPLOYEE PARKING (9'x18')	= 54
SERVICE PARKING (9'x18')	= 148
TOTAL SITE PARKING	= 999

- SITE GEOMETRIC AND PAVING NOTES:**
- SIDEWALK RAMP WITH DETECTABLE WARNINGS AND DEPRESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE.
 - UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE 66.12 CONCRETE CURB AND GUTTER. (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS).
 - UNLESS OTHERWISE NOTED, ALL CURB RADI ARE 4' TO BACK OF CURB. ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION PLAT PREPARED BY SPACECO INC. AND DATED SEPTEMBER 11, 2020.
 - BUILDING DIMENSIONS HAVE BEEN INDICATED BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PLAN PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOORS, RETAINING WALLS, SIDEWALKS, CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED SIDEWALKS. CONTRACTOR TO VERIFY ACTUAL SCORES AND LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.
 - ALL STRUCTURAL AND ARCHITECTURAL DESIGN DATA FOR THE MASONRY WALLS, TRASH ENCLOSURES ARE THE RESPONSIBILITY OF THE PROJECT ARCHITECT. REFER TO THE ARCHITECTURAL PLANS FOR ALL DETAILS PERTAINING TO SAME.
 - UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL MARKING SHALL BE WHITE. ALL ONSET PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH DOT SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. HANDICAP STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.

PROJECT NO. 4229493
DATE 01/03/21
SCALE 1"=40'
PROJ. MGR. JWG
PROJ. ASSOC. JWG
DRAWN BY JWG
SHEET

McGRATH HONDA DEALERSHIP
ST. CHARLES, ILLINOIS
SITE GEOMETRIC AND PAVING PLAN

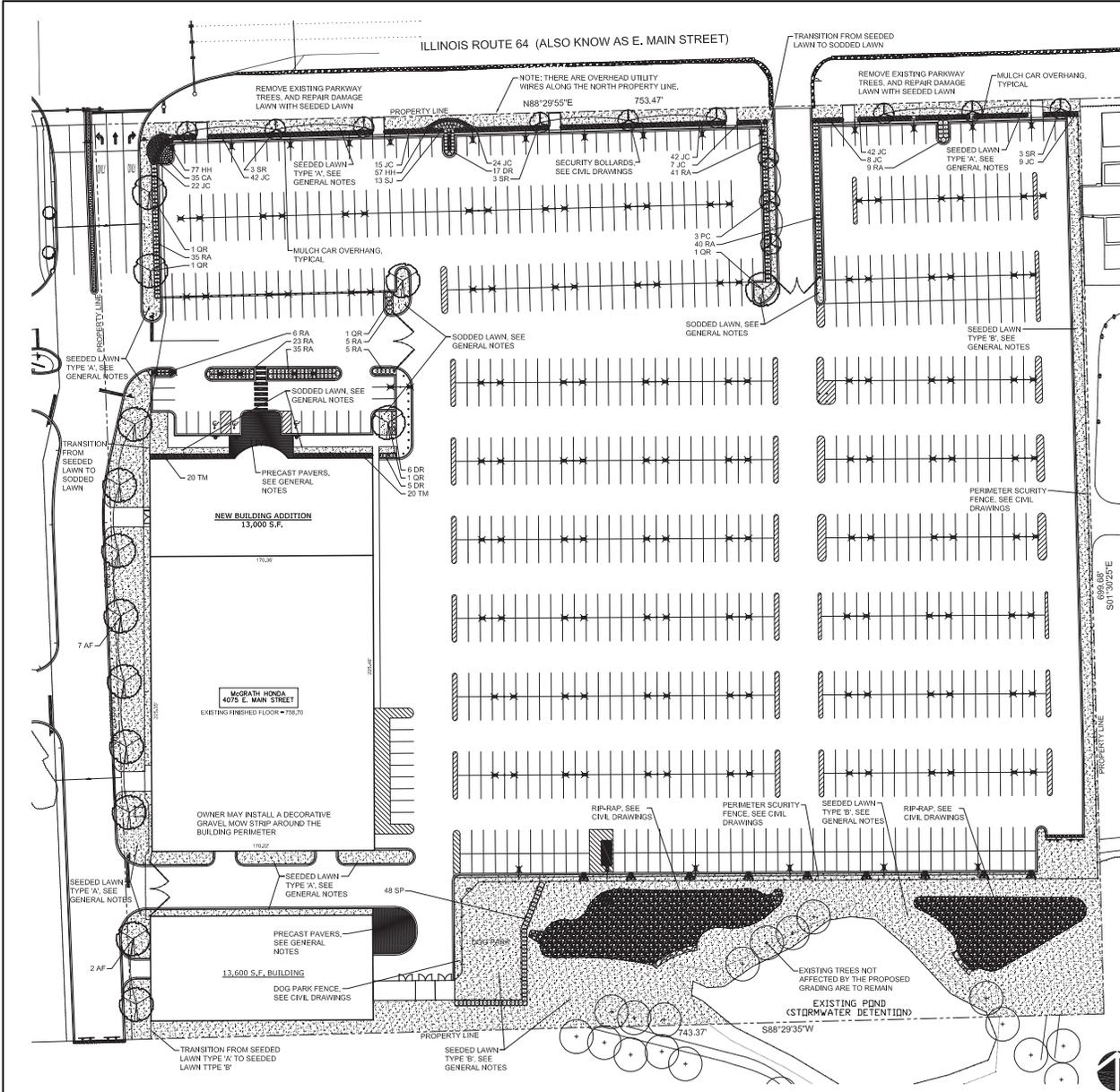
97 E. 22nd St. Suite 400
St. Charles, IL 62450
630.480.7889
www.rwg-engineering.com

RWG Engineering, LLC
Civil Engineers & Surveyors
Professional Engineer

February 03, 2021 2:48:2 p.m. AcadW:22.0a (LMS Tech)
Drawing: S:\49704919 - McGRATH HONDA @ PHEASANT RUN\300_ENGINEERING\310_CADD\FINAL\497_049_BASE.DWG

DATE: 01/03/21
REVISIONS:
DRAWN BY: JWG
CHECKED BY: JWG
APPROVED BY: JWG

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GENERAL NOTES

1. ALL DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. SITE PLAN, ARCHITECTURE PLAN AND SITE SURVEY WERE PROVIDED BY OTHERS.
2. THE CONTRACTOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WITH PROJECTS OF SIMILAR SIZE AND TYPE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
3. SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
4. ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRADING, PLANT OR MATERIALS PLACEMENT, NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.
5. PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT THE NATURAL OR ENGINEERED DRAINAGE FLOW PATTERN. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DRAINAGE CONCERNS.
6. TOPSOIL DEPTH FOR ALL PLANT BEDS SHALL BE 18". TOPSOIL DEPTH FOR ALL SEEDED LAWN TYPE 'A' AREAS SHALL BE 9" DEPTH. TOPSOIL DEPTH FOR ALL SEEDED LAWN TYPE 'B' AREAS SHALL BE 6" DEPTH.
7. IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE FRAGILE LOAM OR SANDY LOAM, COMPOSED OF BETWEEN 20% AND 50% SILT, 10% AND 20% CLAY, AND 30% AND 60% SAND. THE pH LEVEL SHALL BE BETWEEN 6.0 AND 7.2 AND THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 3% AND 6%. TOPSOIL SHALL BE FREE OF SEEDS, STONES, LARGE CLUMPS, ROOTS, LEAVES AND DEBRIS, AND SHALL NOT BE DELIVERED WHILE IN A FROZEN OR MUDDY CONDITION. CONTRACTOR SHALL PROVIDE A RECENT SOIL TEST ANALYSIS FOR ALL SOIL TO BE USED. THE ANALYSIS MUST INCLUDE THE INFORMATION REQUIRED ABOVE. IF TESTED TOPSOIL REQUIRES AMENDMENTS TO COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL AMEND THE TOPSOIL, RE-TEST AND RESUBMIT THE ANALYSIS FOR APPROVAL PRIOR TO BRINGING THE TOPSOIL ON SITE.
8. SOD SHALL BE A TALL FESCUE BLEND SOD, SUCH AS BLACK BEAUTY OR APPROVED EQUAL. BLUEGRASS BLEND SOD IS NOT ACCEPTABLE, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
9. SEEDED LAWN TYPE 'A' SHALL BE IDOT CLASS 2E SALT TOLERANT ROADSIDE GRASS SEED MIXTURE. INSTALL SEED AT A RATE OF 300 LBS PER ACRE. SEEDING SHALL BE INSTALLED BETWEEN MAY 1 AND JUNE 15, OR AUGUST 15 TO OCTOBER 15.
10. SEEDED LAWN TYPE 'B' SHALL BE IDOT CLASS 1B LOW MAINTENANCE GRASS SEED MIXTURE. INSTALL SEED AT A RATE OF 200 LBS PER ACRE. SEEDING SHALL BE INSTALLED BETWEEN MAY 1 AND JUNE 15, OR AUGUST 15 TO OCTOBER 15.
11. ALL SEEDED LAWN AREAS ARE TO BE COVERED WITH EITHER AN EROSION CONTROL BLANKET, OR A HYDROMULCH WITH TACFIER.
12. ALL PLANT MATERIAL MUST BE SPECIMEN QUALITY, TRUE TO SPECIES AND VARIETY, WITH FULL, DENSE AND HEALTHY FORMS. PLANTS THAT ARE NOT SPECIMEN QUALITY WILL NOT BE ACCEPTED. ALL PLANTS MUST HAVE BEEN LOCALLY GROWN AT A STATE INSPECTED AND CERTIFIED NURSERY, LOCATED WITHIN 50 MILES OF THE PROJECT SITE.
13. ALL TREES SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT, AT THE NURSERY, PRIOR TO DIGGING. TREES THAT ARE ACCEPTABLE WILL BE SEALED, ALL SEALS APPLIED BY THE LANDSCAPE ARCHITECT MUST REMAIN ON THE TREES AND ARE NOT TO BE REMOVED BY THE CONTRACTOR. ALL TREES MUST HAVE SEALS IN PLACE AT THE TIME OF ACCEPTANCE OR WILL BE AUTOMATICALLY REJECTED. HEEL-D-IN TREES WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
14. ALL SHRUBS MUST MEET THE MINIMUM SIZES GIVEN IN THE PLANT LIST AND BE SPECIMEN QUALITY. SHRUBS THAT DO NOT MEET THESE GUIDELINES WILL BE REJECTED.
15. PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES:
 DECIDUOUS TREES AND SHRUBS: APR 1 THROUGH NOV 15
 EVERGREEN SHRUBS: APR 1 THROUGH NOV 1
 PERENNIALS: MAY 1 THROUGH OCT 15.
16. TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP A MINIMUM OF ONE INCH PER HOUR, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.
17. PLANTING MIX FOR ALL PLANTINGS SHALL BE AS FOLLOWS. MIXING OF PLANTING MIX COMPONENTS SHALL BE THOROUGHLY BLENDED OUTSIDE THE PLANTING PITS, PRIOR TO PLANTING.
 TREES AND SHRUBS: 80% TOPSOIL, 10% SAND, 10% PINE FINES
 PERENNIALS: 70% TOPSOIL, 15% SAND, 15% PINE FINES
18. FOR PLANTING MIXES, SAND SHALL BE ANGULAR, COARSE SAND AND PINE FINES SHALL BE 3/8" SOUTHERN PINE BARK FINES.
19. EXCAVATE PARKING LOT ISLANDS AND CURBED PLANTERS TO A DEPTH OF 18" AND BACKFILL WITH TOPSOIL.
20. ALL PLANT BEDS ARE TO BE WELL SHAPED 'SPADE CUT' EDGES, 3" DEPTH, IN LINES OR IN CURVES AS SHOWN ON THE DRAWINGS.
21. PAVERS TO BE UNILOCK PROMENADE PAVERS SET IN A RUNNING BOND PATTERN. JOINTING SAND TO BE A POLYMERIC SAND. COLOR OF PAVERS AND SAND TO BE DETERMINED BY OWNER PRIOR TO INSTALLATION. USE BASE MATERIALS AS DIRECTED BY UNILOCK. INSTALL PAVERS PER UNILOCK'S RECOMMENDATIONS.
22. ALL PLANT MATERIAL, INCLUDING SEED OR SOD, SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL "ACCEPTANCE" IS GRANTED. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, PRUNING, STRAIGHTENING, SPRAYING, MULCH REPLACEMENT AND MOWING.
23. THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING UPON SUBSTANTIAL COMPLETION FOR "ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE OR OUTSTANDING ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "ACCEPTANCE". SOD AND SEED SHALL BE REVIEWED FOR ACCEPTANCE, ONLY AFTER THEY HAVE FULLY ROOTED AND HAVE BEEN MOWED AT LEAST TWICE.
24. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF "ACCEPTANCE". AT OR NEAR THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR "FINAL ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY REPAIRED OR REPAIRED, REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "FINAL ACCEPTANCE".



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 312 427-2888
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William J. Ferguson

Revisions	
8.	
7.	
6.	
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4.	
3.	
2.	ISSUED FOR VILLAGE APPROVAL 01/15/21
1.	ISSUED FOR OWNER REVIEW 01/12/21

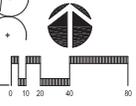
McGRATH HONDA

ROUTE 64
 ST. CHARLES, ILLINOIS

Sheet Title
LANDSCAPE PLAN

Date 01/12/21	Project No. DWP 21-102
Scale 1" = 40'-0"	Sheet No.
Drawn By FERGUSON	L-101
Approved	

1 LANDSCAPE PLAN
 SCALE: 1" = 40'-0"





DANIEL WEINBACH
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Landscape Architects

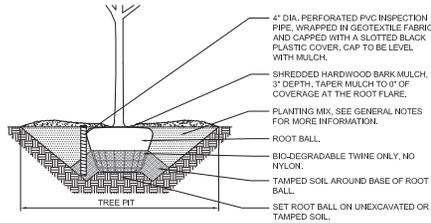
53 W. Jackson Blvd.
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PLANT LIST

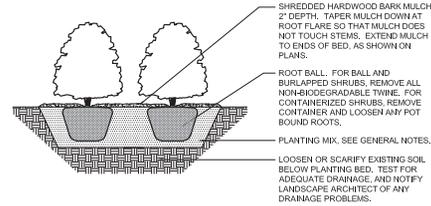
CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	ADDITIONAL NOTES
DECIDUOUS TREES					
AF	ACER x FREEMANII 'JEFFERSON'	AUTUMN BLAZE MAPLE	3" CALIPER	9	BRANCHED UP 6"
PC	PIRUS CALERYANA 'CHANTICLEER'	CHANTICLEER PEAR	3" CALIPER	3	BRANCHED UP 6"
QR	QUERCUS x WAREI 'LONG'	REGAL PRINCE OAK	3" CALIPER	5	BRANCHED UP 6"
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	3" CALIPER	9	BRANCHED UP 6"
DECIDUOUS SHRUBS					
DR	DIERVILLA RIVULARIS 'KODIAK RED'	KODIAK RED BUSH/HONEYSUCKLE	18" HT x 24" W	28	
RA	RHUS ARDAMATICA 'GRO-CLOW'	GRO-CLOW SUMAC	12" HT x 24" W	155	
SJ	SPHRAEA JAPONICA 'WALBUMA'	MAGIC CARPET SPHREA	12" HT x 24" W	13	
SP	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	30" HT x 30" W	48	
EVERGREEN SHRUBS					
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18" HT x 24" W	211	
TM	TAJUS x MEDIA 'TAUNTON'	TAUNTON DENSE YEW	18" HT x 24" W	40	
PERENNIALS AND ORNAMENTAL GRASSES					
CA	CALAMAGROSTIS ACUT. 'KARL FOERSTER'	FEATHER REED GRASS	1 GALLON	35	SPACED 24" O.C.
HR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GALLON	134	SPACED 18" O.C.

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE THREE TIMES THE WIDTH OF THE ROOT BALL. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS.



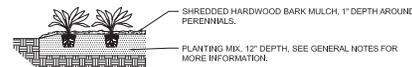
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO PLANTING. SHRUBS BEDS ARE TO BE EXCAVATED AS A SINGLE SHRUB PIT. EXTEND SHRUB PIT WIDTH TO EDGES OF PLANT BED AS SHOWN ON THE LANDSCAPE PLAN. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. REMOVE TWINE FROM ROOT FLARE. BACKFILL AND WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB PLUMB. STRAIGHTEN SHRUB IF SETTLING OCCURS. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. MULCH LIMITS FOR SHRUBS SHALL EXTEND TO ALL OUTER EDGES OF PLANTING BEDS, SEE LANDSCAPE PLAN FOR BED LAYOUTS.



2 SHRUB PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / ORNAMENTAL GRASS BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 1" ABOVE FINISH GRADE AND WELL DRAINAGE. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS, SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACINGS. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACINGS FOR THAT PARTICULAR PLANT.



3 PERENNIAL AND ORNAMENTAL GRASS PLANTING DETAIL
NOT TO SCALE

Revisions	
8.	
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6.	
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4.	
3.	
2. APPROVAL	01/15/21
1. ISSUED FOR OWNER REVIEW	01/12/21

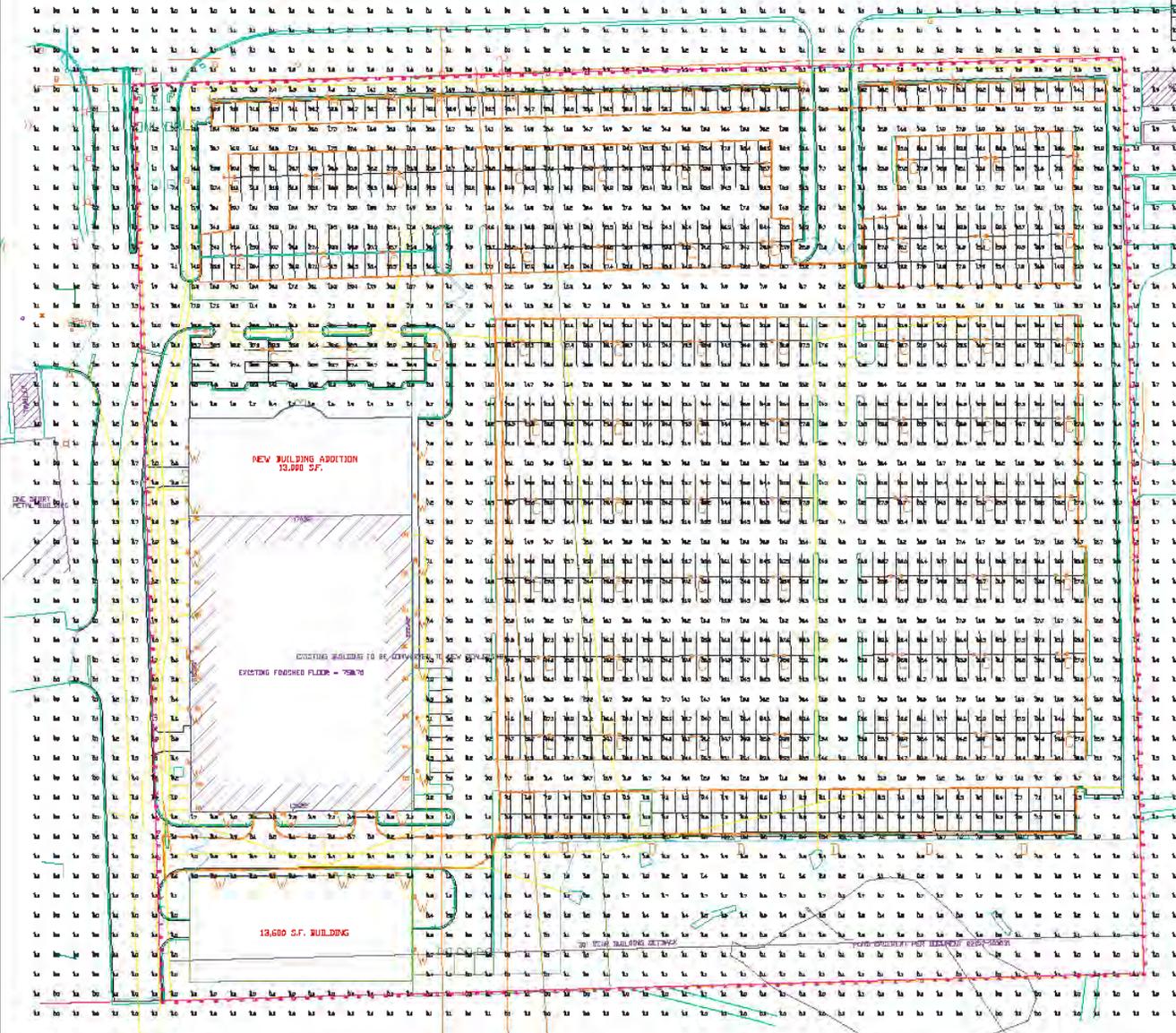
Project
McGRATH HONDA
ROUTE 64
ST. CHARLES, ILLINOIS

Sheet Title
LANDSCAPE DETILS

Date	01/12/21	Project No.	DWP 21-102
Scale	NONE	Sheet No.	
Drawn By	FERGUSON		L-102
Approved			

FRONT DISPLAY ROW

Label	CalcType	Units	Avg	Max	Min	Avg/FtH	Max/Min
ALL CALC'S AT ABOVE GRADE	Illuminance	Fc	11.78	51.0	0.0	NA	NA
PROPERTY LINE	Illuminance	Fc	1.54	11.2	0.0	NA	NA
FRONT DISPLAY ROW	Illuminance	Fc	37.79	51.0	17.0	2.82	3.05
FRONT INTERIOR DISPLAY	Illuminance	Fc	23.79	28.6	3.7	6.41	10.48
INTERIOR ROWS	Illuminance	Fc	23.15	12.4	4.5	4.52	6.65
REAR PERIMETER	Illuminance	Fc	7.06	10.3	5.5	11.77	17.17



FRONT INTERIOR DISPLAY



INTERIOR ROWS

REAR PERIMETER

Based on the information provided, all electrical and lighting locations shown represent recommended practice. The engineer and/or architect must determine the applicability of the layout to existing or future floor conditions. The lighting also represents estimated based on standard footcandle readings taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's lighting may vary due to changes in electrical voltage, distance or lamp life. Use other available data conditions. Conditions do not include obstructions such as building curbs, landscaping, or any other architectural elements unless noted. Fixture performance listed here may include existing hardware or where this drawing is for alternative evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

SYMBOL	FOOT	LEVEL	ARRANGEMENT	DESCRIPTION	LLD	UDF	LLF	APP. LUM. LUMENS	APP. WATTS
	30	R	SINGLE	MRL-LED-62L-SIL-FTA-20-70CRI-D-SINGLE-26" MH	1.000	1.000	1.000	49999	292
	66	C	DIMB*	MRM-LED-48L-SIL-4N-50-70CRI-3160-26" MH	1.000	1.000	1.000	93864	766.2
	6	D	SINGLE	MRM-LED-48L-SIL-FY-50-70CRI-SINGLE-26" MH	1.000	1.000	1.000	45192	290
	24	V	SINGLE	XWM-FY-LED-08-50-16" MH	1.000	1.000	1.000	8654	76

Total Project Watts: 1
100% Watts = 649200W

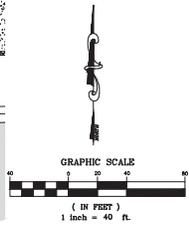
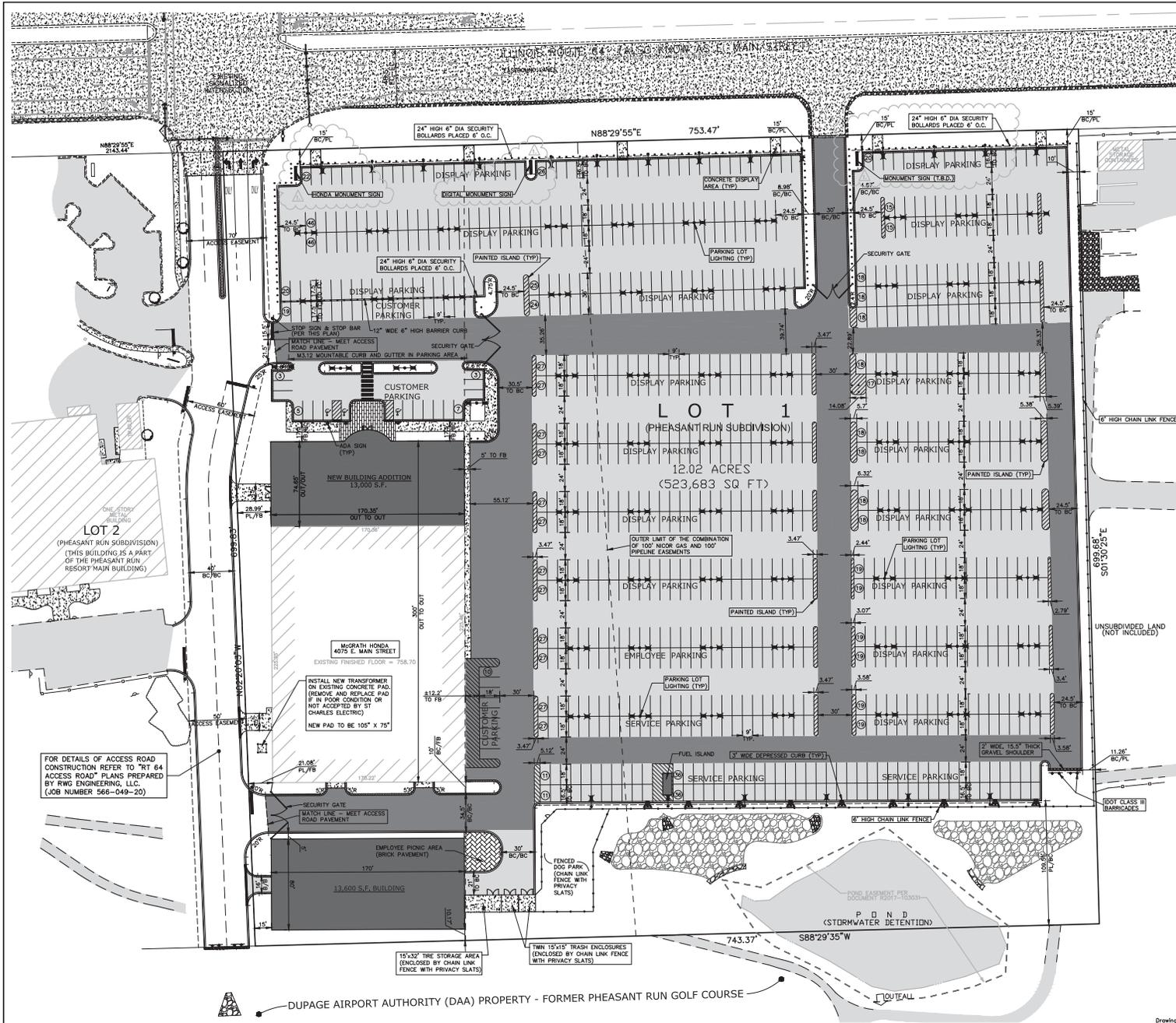
LIGHTING PROPOSAL LD-102671-E

NOBARTH ARCHITECTS
ILLINOIS, INC.
211 CHAMBERS ST.
CHICAGO, IL

DATE: 11/14/2019

PROJECT: [REDACTED]

SHEET: 1 OF 1



ABBREVIATIONS LEGEND:

EX	=	EXISTING
PR	=	PROPOSED
BC	=	BACK OF CURB
FC	=	FACE OF CURB
EP	=	EDGE OF PAVEMENT
PL	=	PROPERTY LINE
FB	=	FACE OF BUILDING
FW	=	FACE OF WALK (SIDEWALK)
ROW	=	RIGHT OF WAY
BC/BW	=	BACK OF CURB TO BACK OF CURB
R	=	RADIUS
SW	=	SIDEWALK
RW	=	RETAINING WALL (TYP)
(TYP)	=	TYPICAL

SURFACE IMPROVEMENT LEGEND:

(Symbol)	NEW ASPHALT PAVEMENT - STANDARD (SMA-3)
(Symbol)	1.5" HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50
(Symbol)	BITUMINOUS TACK COAT (0.50 GAL/SY)
(Symbol)	3" HOT-MIX ASPHALT BINDER COURSE, S-19, N50
(Symbol)	BITUMINOUS PRIME COAT MC-30 (0.50 GAL/SY)
(Symbol)	6" AGGREGATE BASE COURSE CA-6, TYPE B
(Symbol)	ASPHALT PAVEMENT - HEAVY DUTY (SMA-3)
(Symbol)	1.5" HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50
(Symbol)	BITUMINOUS TACK COAT (0.50 GAL/SY)
(Symbol)	4" HOT-MIX ASPHALT BINDER COURSE, S-19, N50
(Symbol)	BITUMINOUS PRIME COAT MC-30 (0.50 GAL/SY)
(Symbol)	10" AGGREGATE BASE COURSE CA-6, TYPE B
(Symbol)	CONCRETE SLABS
(Symbol)	8" PORTLAND CEMENT CONCRETE (4000 PSI)
(Symbol)	W/ 4" #4 WELDED MESH
(Symbol)	6" AGGREGATE BASE COURSE CA-6, TYPE B
(Symbol)	BRICK PAVEMENT
(Symbol)	4" STANDED BRICK PAVEMENT
(Symbol)	6" AGGREGATE BASE COURSE CA-6, TYPE B
(Symbol)	PROPOSED 66.12 CONCRETE CURB AND GUTTER
(Symbol)	PROPOSED 66.12 DEPRESSED CURB
(Symbol)	PROPOSED REVERSE PITCH 66.12 CURB AND GUTTER
(Symbol)	EXISTING CURB AND GUTTER
(Symbol)	EXISTING DEPRESSED CURB AND GUTTER
(Symbol)	NUMBER OF PARKING (OR PRODUCT) STALLS PER AISLE

SITE DATA:

TOTAL SITE SIZE = 523,683 S.F. (12.02 AC)

EXISTING SITE CONDITIONS:

EXISTING BUILDING FOOTPRINT	=	42,616 S.F. (8,145)
EXISTING PAVT./SIDEWALK	=	378,473 S.F. (72,276)
EXISTING GREENSPACE	=	102,594 S.F. (19,895)
EXISTING CONDITIONS IMPERVIOUS AREA	=	421,089 S.F. (8.67 AC)

PROPOSED SITE CONDITIONS:

PROPOSED COMBINED BUILDING FOOTPRINT	=	64,984 S.F. (12,410)
PROPOSED ASPHALT CONC. PAVT., WALK	=	374,654 S.F. (71,542)
PROPOSED GREENSPACE	=	84,045 S.F. (16,026)
PROPOSED CONDITIONS IMPERVIOUS AREA	=	439,638 S.F. (10.09 AC)

PROPOSED PARKING SUMMARY:

CUSTOMER PARKING (STANDARD STALL 9'x18')	=	44
CUSTOMER PARKING (ADA STALL 9'x18')	=	3
DISPLAY PARKING (9'x18')	=	700
EMPLOYEE PARKING (9'x18')	=	54
SERVICE PARKING (9'x18')	=	148
TOTAL SITE PARKING	=	959

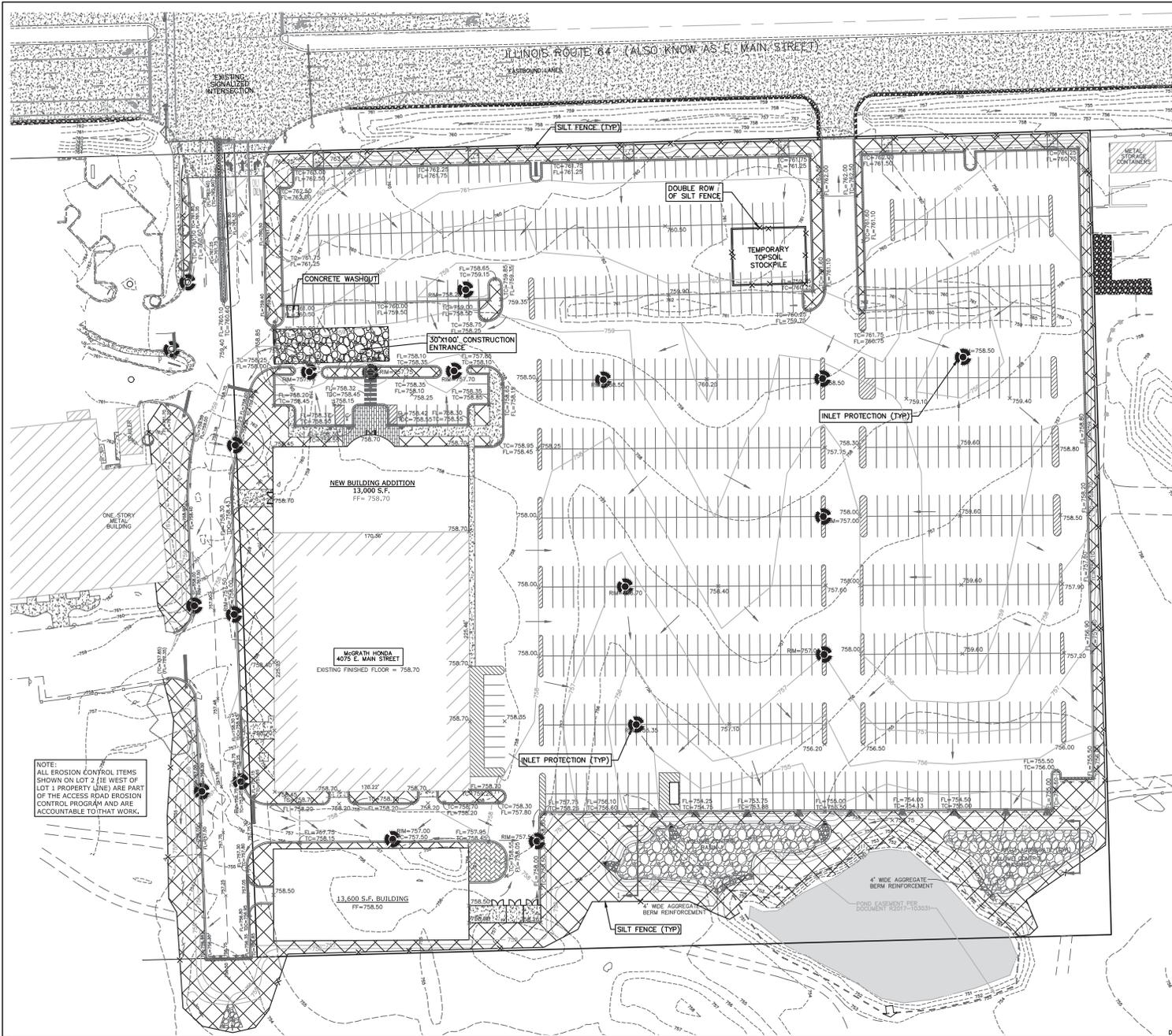
- SITE GEOMETRIC AND PAVING NOTES:**
- SIDEWALK RAMP WITH DETECTABLE WARNINGS AND DEPRESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE.
 - UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE 66.12 CONCRETE CURB AND GUTTER. (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS).
 - UNLESS OTHERWISE NOTED, ALL CURB RADI ARE 4' TO BACK OF CURB. ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION PLAT PREPARED BY SPACECO INC. AND DATED SEPTEMBER 11, 2020.
 - BUILDING DIMENSIONS HAVE BEEN INDICATED BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE BASE DATE OF THIS PLAN PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOORS, RETAINING WALLS, SIDEWALKS, CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED SIDEWALKS. CONTRACTOR TO VERIFY ACTUAL SCORES AND LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.
 - ALL STRUCTURAL AND ARCHITECTURAL DESIGN DATA FOR THE MASONRY WALLS, TRASH ENCLOSURES ARE THE RESPONSIBILITY OF THE PROJECT ARCHITECT. REFER TO THE ARCHITECTURAL PLANS FOR ALL DETAILS PERTAINING TO SAME.
 - UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL MARKING COLOR IS WHITE. ALL ONSET PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH DOT SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. HANDICAP STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.

PROJECT NO. 4929493
DATE 01/03/21
SCALE 1"=40'
PROJ. MGR. JRG
PROJ. ASSOC. JMS
DRAWN BY JMS

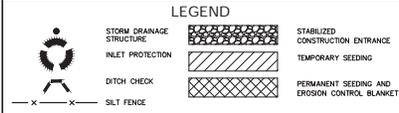
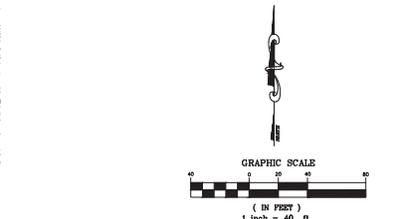
McGRATH HONDA DEALERSHIP
ST. CHARLES, ILLINOIS
SITE GEOMETRIC AND PAVING PLAN

Engineering, LLC
97 E. 23rd St. Suite 400
St. Charles, IL 62275
630.487.7859
www.rwg-engineering.com

SHEET 4 of 14



NOTE:
ALL EROSION CONTROL ITEMS SHOWN ON LOT 2 (E WEST OF LOT 1 PROPERTY LINE) ARE PART OF THE ACCESS ROAD EROSION CONTROL PROGRAM AND ARE ACCOUNTABLE TO THAT WORK.



- NOTES:
1. THE CONTRACTOR AND OWNER/DEVELOPER SHALL COMPLY WITH ALL REQUIREMENTS OF NPDES PERMIT AND MAINTAINED CURRENT.
 2. VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH SPECIFICATIONS AS OUTLINED IN THE "ILLINOIS URBAN MANUAL".
 3. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND FUNCTIONAL THROUGHOUT THE CONSTRUCTION PROJECT (MAINTENANCE AND/OR REPLACEMENT COST IS INCIDENTAL).
 4. PERMITTEE SILT FENCE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CLEARING, OR GRADING OPERATIONS.
 5. EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT COMPLIANCE WITH CONSTRUCTION SEQUENCE (SEE SCHEDULE).
 6. ALL STORM WATER RUNOFF SHALL BE DIVERTED INTO SEDIMENT BASINS AND/OR DRAINAGE DITCHES WHICH SHALL BE CONSTRUCTED AT THE ONSET OF GRADING OPERATIONS. ALL SILT RUNOFF SHALL BE ROUTED THROUGH SUMP TRAPS AND DELTAION CONTROL DEVICES PRIOR TO DISCHARGE.
 7. DISTURBED AREAS SHALL BE STABILIZED VIA SEEDING WITHIN SEVEN (7) DAYS OF COMPLETION OF DISTURBANCE UNLESS THE DISTURBANCE WILL COMMENCE AGAIN WITHIN FOURTEEN (14) DAYS. THE TEMPORARY SEED MIXTURE SHALL BE APPLIED AT A RATE OF 44 LBS/AC.
 8. TOPSOIL STOCKPILES SHALL NOT BE LOCATED WITHIN SPECIAL MANAGEMENT AREAS AND SHALL BE SEEDING WITHIN THREE (3) DAYS OF COMPLETION AND SURROUNDED WITH SILT FENCE FOR EROSION CONTROL.
 9. INLET PROTECTION FILTER BASKETS SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE.
 10. ALL TEMPORARY OPERATIONS SHALL BE MAINTAINED IN OPERATING CONDITION THROUGHOUT CONSTRUCTION TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROADWAYS. SEDIMENT REACHING A PUBLIC ROAD SHALL BE REMOVED ON A DAILY BASIS.
 11. DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING EQUIPMENT SPECIFICALLY DESIGNED FOR THAT PURPOSE.
 12. GRAVEL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN OPERATING CONDITION THROUGHOUT CONSTRUCTION TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROADWAYS. SEDIMENT REACHING A PUBLIC ROAD SHALL BE REMOVED ON A DAILY BASIS.
 13. LOGS MATERIAL DEPOSITED IN THE FLOW LINE OF ANY GUTTER OR DRAINAGE DITCH SHALL BE REMOVED ON A DAILY BASIS.
 14. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 0.5 INCHES OR GREATER (OR THE EQUIVALENT SNOWFALL). REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF S&D MEASURES SHALL BE IMMEDIATE.
 15. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH JURISDICTIONAL GOVERNMENTAL AGENCY REQUIREMENTS WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
 16. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION SHALL BE FILTERED. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT CONTROL MEASURE, SEDIMENT TRAP, OR SEDIMENT BASIN EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
 17. THE APPLICANT SHALL PROVIDE ADEQUATE RECEPICLES FOR DEPOSITION OF ALL CONSTRUCTION DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE APPLICANT SHALL NOT CAUSE OR PERMIT THE CUMULATIVE DEPOSITION, STORING, PILING, BURNING, DISCHARGE OR LEAVING OF WASTE, SOILS, OR OTHER MATERIALS ON ANY ADJACENT PROPERTY, ROAD, LAKE, BEACH, OR OTHER PUBLIC OR PRIVATE PROPERTY. THE APPLICANT SHALL MAINTAIN THE STABILIZATION SITE PERIOD OF UNINTERRUPTED CONSTRUCTION DEBRIS. CONSTRUCTION SITE OPERATORS SHALL IMPLEMENT APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL AND CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, UTTER, AND SANITARY WASTE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.

- SOIL EROSION CONTROL CONSTRUCTION SCHEDULE**
1. INITIAL EROSION CONTROL MEASURES - STABILIZED CONSTRUCTION ENTRANCE IF REQUIRED - BARBER FENCES AS DIRECT
 2. DEMOLITION WORK AS INDICATED ON PLAN
 3. REMOVE EXISTING VEGETATION AS REQUIRED
 4. GRADING AND EXPOSED SOILS - THESE ITEMS ARE TO BE COMPLETED CONCURRENTLY
 5. INITIAL VEGETATION STABILIZATION OF CONTROL MEASURES
 6. INITIAL PERMANENT LANDSCAPING
 7. PERMANENT VEGETATION STABILIZATION OF ALL EXPOSED AREAS - REPAIR FENCES AS DIRECT
 8. PERMANENT VEGETATION STABILIZATION OF ALL EXPOSED AREAS - REPAIR FENCES AS DIRECT
 9. PERFORM CONTINUING MAINTENANCE
 10. PERFORM CONTINUING MAINTENANCE

- INSPECTION SCHEDULE**
1. INITIAL EROSION CONTROL MEASURES - WILL BE INSPECTED AT 7 DAY INTERVALS AND AFTER EACH MAJOR PHASE OF DEVELOPMENT
 2. SEDIMENT BASINS AND PONDS - WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT
 3. VEGETATIVE PLANTINGS - SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.
 4. REPAIRS TO EROSION CONTROL MEASURES - REPAIRS TO EROSION CONTROL MEASURES WILL BE MADE WITHIN 15 DAYS OR EARLIER IF POSSIBLE BASED ON FIELD CONDITIONS.
 5. OTHER - (DRAINAGEWAYS, STONES AND OTHER AREAS THAT SUPPORT A DESIGNATED FLOW OF WATER) WILL BE MONITORED REGULARLY TO MAINTAIN THAT FLOW.

SOIL EROSION CONTROL SCHEDULES

PROJECT NO. 20240818
DATE: 01/15/23
SCALE: 1"=40'
PROJ. MGR.: RBG
PROJ. ASSOC.: NKS
DRAWN BY: AYS

REVISIONS

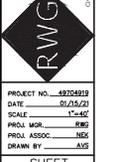
NO.	DATE	DESCRIPTION

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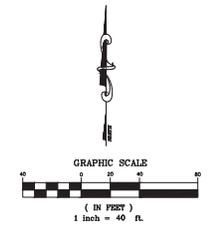
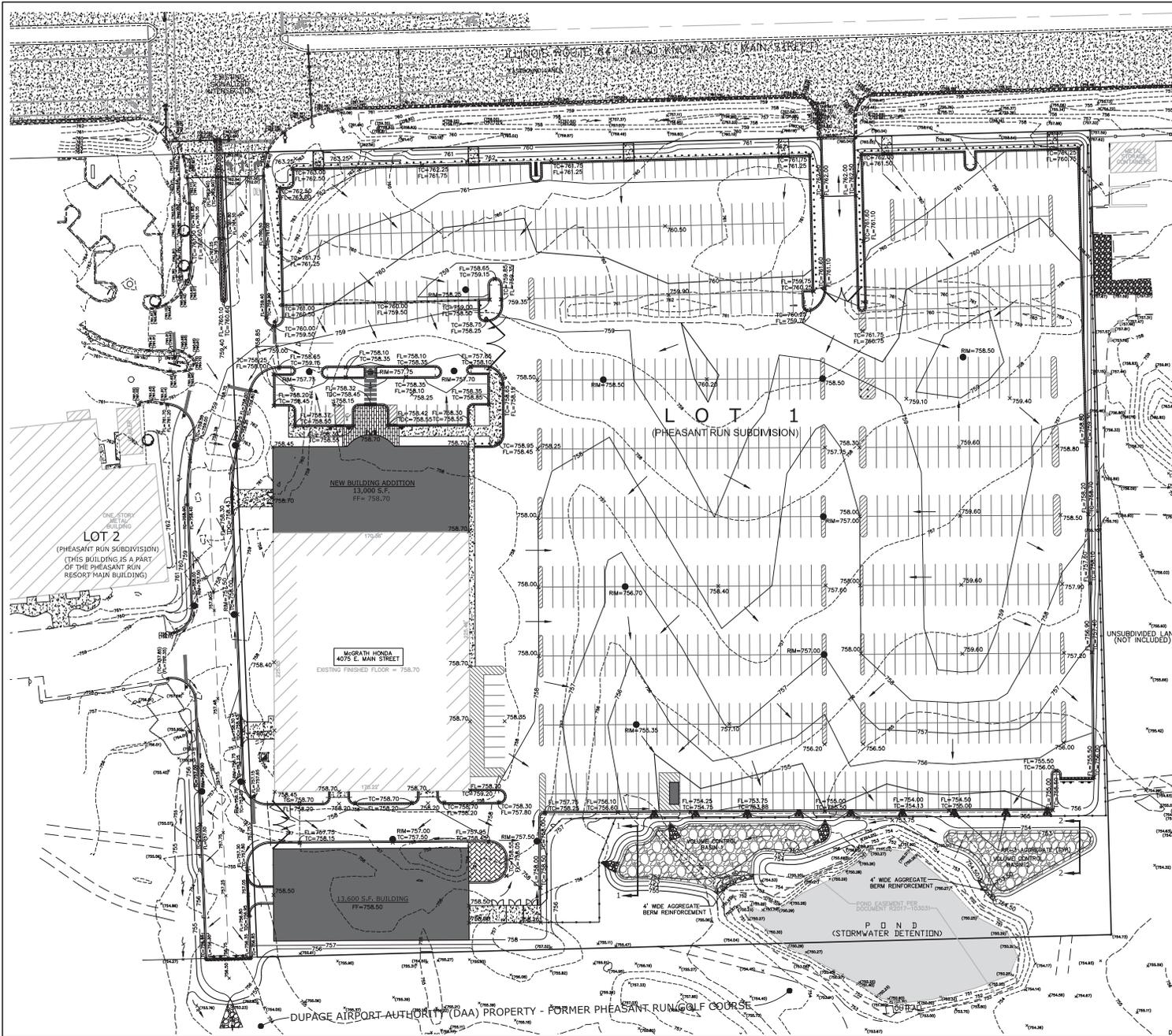
MCGRATH HONDA DEALERSHIP
ST. CHARLES, ILLINOIS
SOIL EROSION AND SEDIMENT CONTROL PLAN

971 E. 22nd St. Suite 400
St. Charles, IL 62450
618.483.7889
www.rwg-engineering.com

Engineering, LLC
Civil Engineering & Site Construction • Project Management



SHEET
5 of 14



PLAN ABBREVIATION LEGEND
(IN ADDITION TO TITLE SHEET)

P = PAVEMENT
 R = RM (OR RADIUS)
 TC = TOP OF CURB
 SF = SURFACE FINISH (TOP OF WALK)
 FF = FINISHED FLOOR
 EP = TOP OF PAVEMENT
 FL = FLOW LINE
 TW = TOP OF WALL ELEV
 BW = BOTTOM OF WALL (GRADE) ELEV
 TDC = TOP OF DEPRESSED CURB

GRADING LEGEND

CONCRETE HEADWALL: EXISTING (D), PROPOSED (D)

PRECAST FLARED END SECTION: EXISTING (D), PROPOSED (D)

STORM DRAINAGE STRUCTURE: EXISTING (O), PROPOSED (O)

RETAINING WALL: EXISTING (D), PROPOSED (D)

CONTOUR: EXISTING (---), PROPOSED (---)

5' CONTOUR: EXISTING (---), PROPOSED (---)

SPOT ELEVATION: EXISTING (x760.00), PROPOSED (x760.00)

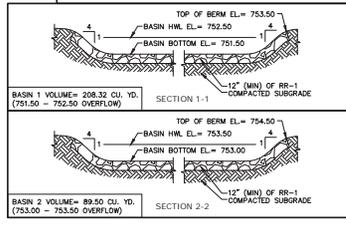
DIRECTION OF SURFACE FLOW: EXISTING (---), PROPOSED (---)

DITCH OR SWALE: EXISTING (---), PROPOSED (---)

OVERFLOW RELIEF ROUTING: EXISTING (---), PROPOSED (---)

SLOPE BANK: EXISTING (---), PROPOSED (---)

- GRADING NOTES:**
- PAVEMENT SLOPES WITHIN HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
 - HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT TO EXCEED 2.00%.
 - UNLESS SPECIFICALLY INDICATED OTHERWISE, EXISTING GRADES ARE TO BE MET AT PROJECT PERIMETER PROPERTY LINES.
 - THE CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLANS AND DETAILS (AND SWPPP DOCUMENTS IF APPLICABLE) FOR THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING OPERATIONS.
 - UNLESS OTHERWISE NOTED, SPOT ELEVATIONS AND PROPOSED CONTOURS REFLECT THE FINISHED SURFACE GRADE, TOP OF CURB GRADE, OR FINISHED GRADING ELEVATION AS APPLICABLE.
 - RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE GUTTER, PAVEMENT OR DRAINAGE SHALE (AS APPLICABLE).
 - WHEREVER THE DESIGN FOR SURFACE FLOW OF DRAINAGE IS DIRECTED AWAY FROM A CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER PITCH.
 - CONTRACTOR TO REFER TO THE LANDSCAPE PLANS TO DETERMINE TROPICAL REPLACEMENT DEPTH IN ALL DISTURBED GREENSPACE AREAS.



DRAWN BY: _____

REVISIONS: _____

DATE: _____

MCCRATH HONDA DEALERSHIP
 ST. CHARLES, ILLINOIS
 GRADING PLAN

971 E. 25th St, Suite 400
 St. Charles, IL 62458
 618.483.8889
 www.mccrathhonda.com

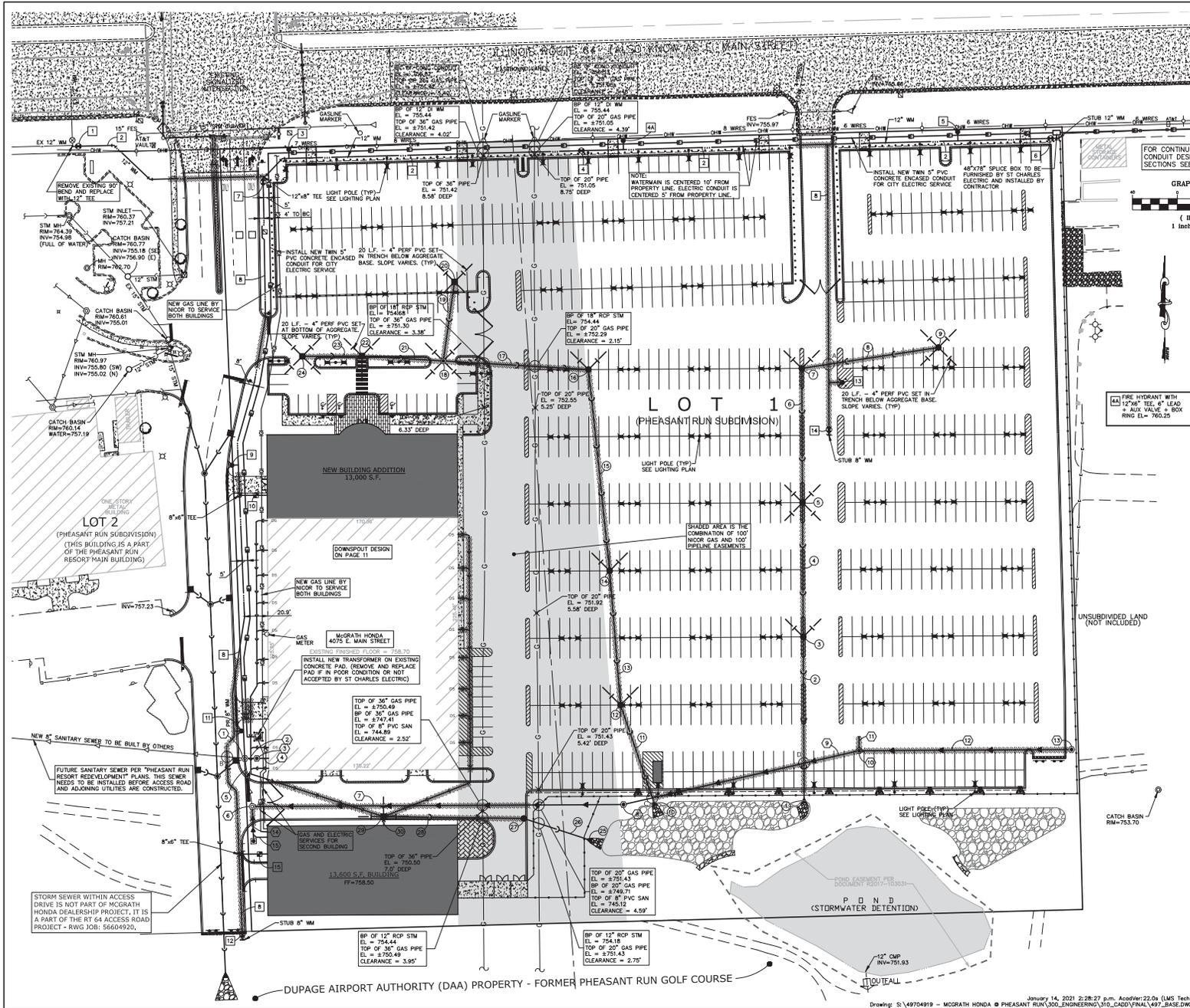
Engineering, LLC
 Civil Engineering & Land Construction • Report Management

PROJECT NO.: 22024813
 DATE: 01/15/23
 SCALE: 1"=40'
 PROJ. WKS.: 886
 PROJ. ASSOC.: NKS
 DRAWN BY: AXS

SHEET

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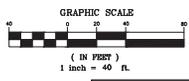
- ② SANITARY STRUCTURE NUMBER
- ① STORM STRUCTURE NUMBER
- ③ WATERMAIN STRUCTURE NUMBER

STORM SEWER DRAINAGE STRUCTURE LEGEND

- EXISTING PROPOSED**
- STORM INLET - OPEN GRATE
 - STORM CATCH BASIN - OPEN GRATE
 - STORM MANHOLE - CLOSED Lid (TYP)

UTILITY CROSSING SCHEDULE

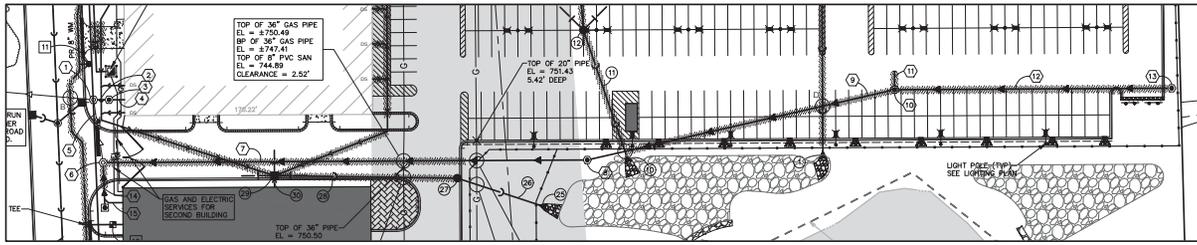
CROSSING	UTILITY	MATERIAL	UTILITY	BOTTOM OF PIPE	TOP OF PIPE	CLEARANCE
(A)	18"	RCP	STM	754.85	753.35	1.50' MIN DEPRESS
(B)	8"	DI	WM	750.67	743.23	7.44'
(C)	24"	RCP	STM	751.45	745.31	6.14'
(D)	8"	PVC	SAN	751.18	745.94	5.24'



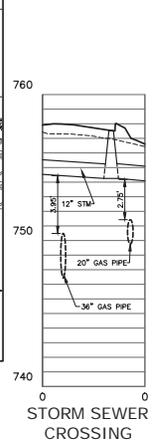
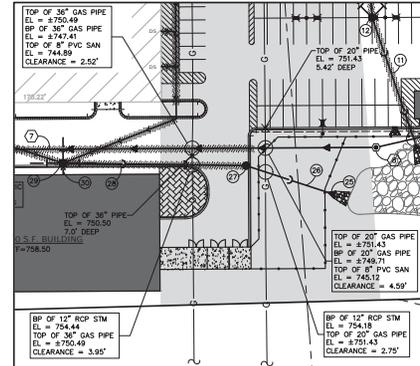
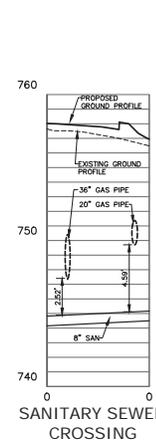
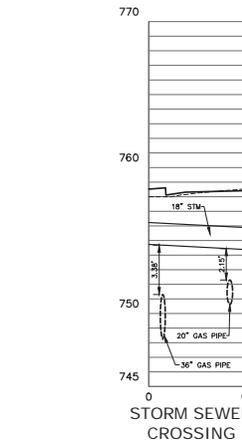
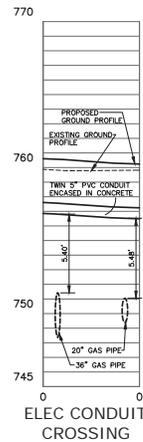
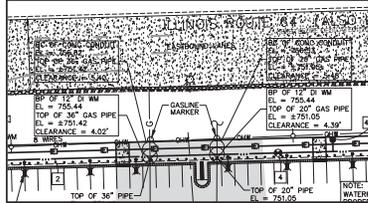
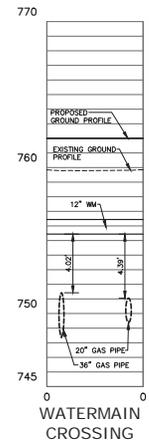
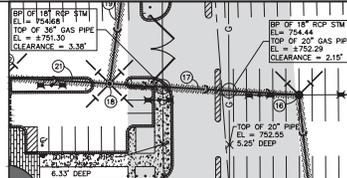
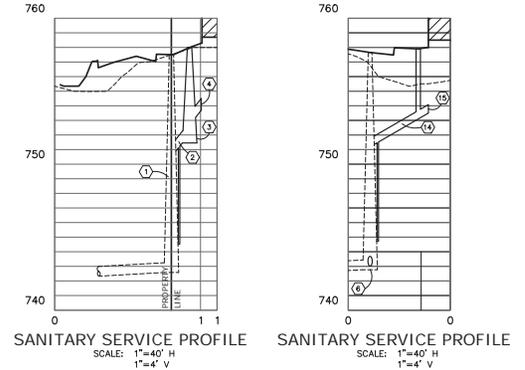
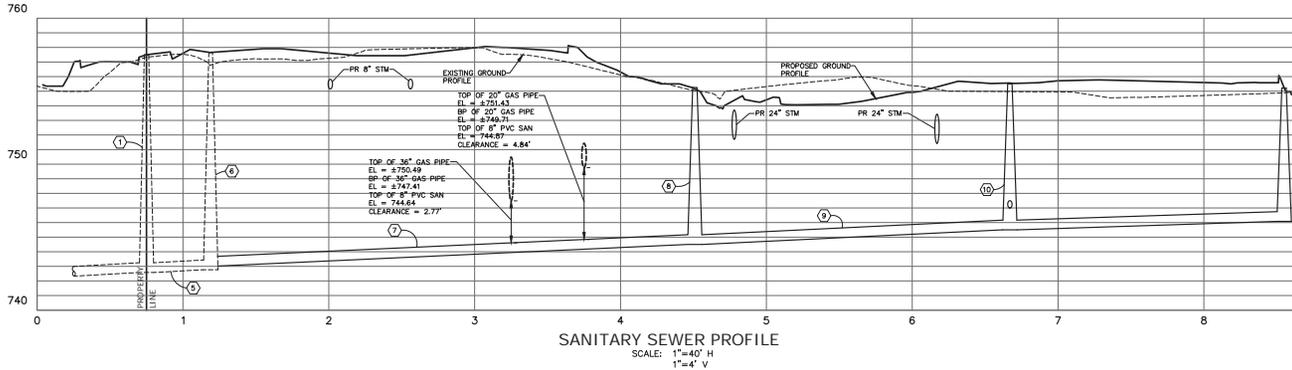
PROPOSED UTILITY SCHEDULE

WATERMAIN		SANITARY SEWER	
1	12" VALVE IN 60" DIA VAULT RIM= 763.50	1	EX. SAN MH TYPE A (48" DIA) RIM= 763.00
2	12" VALVE IN 60" DIA VAULT RIM= 762.10	2	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
3	8" VALVE IN 48" DIA VAULT RIM= 758.60	3	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
4	8" VALVE IN 48" DIA VAULT RIM= 758.60	4	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
5	8" VALVE IN 48" DIA VAULT RIM= 758.60	5	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
6	8" VALVE IN 48" DIA VAULT RIM= 758.60	6	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
7	8" VALVE IN 48" DIA VAULT RIM= 758.60	7	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
8	8" VALVE IN 48" DIA VAULT RIM= 758.60	8	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
9	8" VALVE IN 48" DIA VAULT RIM= 758.60	9	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
10	8" VALVE IN 48" DIA VAULT RIM= 758.60	10	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
11	8" VALVE IN 48" DIA VAULT RIM= 758.60	11	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
12	8" VALVE IN 48" DIA VAULT RIM= 758.60	12	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
13	8" VALVE IN 48" DIA VAULT RIM= 758.60	13	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
14	8" VALVE IN 48" DIA VAULT RIM= 758.60	14	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)
15	8" VALVE IN 48" DIA VAULT RIM= 758.60	15	10 L.F. - 8" PVC SAN @ 0.40% (EXISTING)

DRAWN BY: _____
 REVISIONS: _____
 DATE: _____
McGRATH HONDA DEALERSHIP
 ST. CHARLES, ILLINOIS
 UTILITY PLAN
 PROJECT NO. 220432
 DATE: 01/15/22
 SCALE: 1"=40'
 PROJ. WKS.: RRG
 PROJ. ASSOC.: NKS
 DRAWN BY: ASJ
Engineering, LLC
 971 E. 25th St., Suite 400
 St. Charles, IL 62205
 (618) 483-7889
 www.rwg-engineering.com
 SHEET
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- UTILITY NOTES:
1. RIM GRADES FOR DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATIONS OF THE GUTTER, PAVEMENT OR DRAINAGE GRADE (AS APPLICABLE)
 2. UNLESS OTHERWISE NOTED, ALL UTILITY DIMENSIONS ARE CENTER TO CENTER OF STRUCTURES (OR TO END OF FLARED END SECTION - IF INCLUDING LENGTH OF FLARED END SECTION)
 3. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO THE PROPOSED GRADES AS INDICATED ON THE PLANS.
 4. CONNECTIONS TO EXISTING SEWERS OR WATERMANS (OR EXISTING SERVICE STUBS) AT POINTS OTHER THAN VISIBLE STRUCTURES ARE APPROXIMATE. THE CONTRACTOR SHALL EXCAVATE AND VERIFY EXISTING SEWER OR WATERMAIN LOCATIONS, SIZES, ELEVATIONS, AND PIPE CONDITIONS AT PROPOSED CONNECTION POINTS PRIOR TO CONSTRUCTING UTILITY EXTENSIONS AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT OR DISCREPANCIES.
 5. EXISTING UNDERGROUND PIPE, CONDUIT AND/OR CABLES (ELECTRIC, GAS, CABLE, ETC) ARE SHOWN FROM RECORD INFORMATION AND ARE APPROXIMATE IN NATURE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION IN THE FIELD AND NOTIFY THE ENGINEER OF ANY CONFLICT.
 6. SELECT GRANULAR TRENCH BACKFILL IS REQUIRED FOR ALL UTILITY TRENCHES UNDER EXISTING OR PROPOSED PAVEMENT, DRIVEWAYS, PARKING LOTS AND SIDEWALKS AND EXTENDED A MINIMUM OF 2' EACH SIDE OF SAME. GRANULAR TRENCH BACKFILL SHALL BE COMPACTED IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.
 7. BUILDING DIMENSIONS AND ADJACENT UTILITY SERVICE LOCATIONS HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE TIME OF DRAWING PREPARATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THE CONTRACTOR SHALL REFER TO THE CURRENT ARCHITECTURAL PLANS FIRST, FOR PRECISE BUILDING DIMENSIONS AND UTILITY SERVICE CONNECTION LOCATIONS AND NOTIFY THE ENGINEER AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 8. ROUTING OF GAS, ELECTRIC, TELEPHONE AND OTHER CABLE SERVICES (IF SHOWN) ARE APPROXIMATE AND SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY AND/OR SCALDIER. THE CONTRACTOR SHALL COORDINATE THE FINAL UTILITY SERVICE LOCATION WITH EACH UTILITY COMPANY PRIOR TO CONSTRUCTION.



DATE: _____

REVISIONS: _____

DRAWN BY: _____

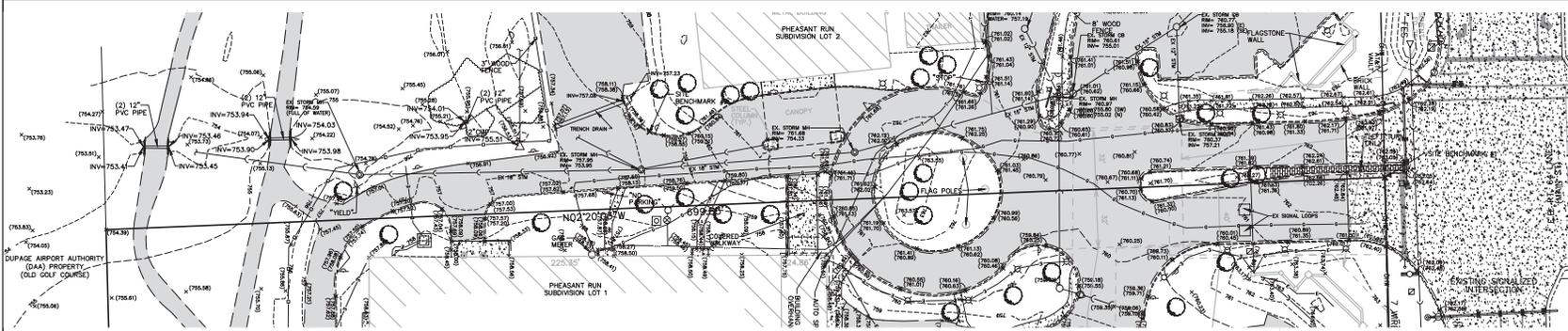
MCCRATH HONDA DEALERSHIP
ST. CHARLES, ILLINOIS
UTILITY PROFILES - SANITARY
AND GAS MAIN CROSSINGS

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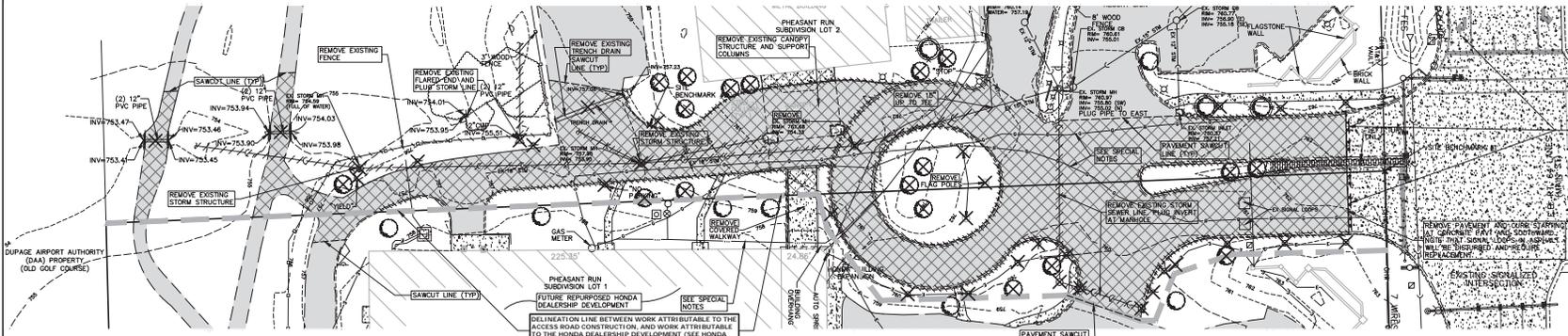
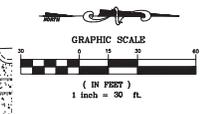
Engineering, LLC

PROJECT NO. 22020813
DATE: 01/15/21
SCALE: SEE SHEET
PROJ. WKS: RWG
PROJ. ASSOC: INK
DRAWN BY: AXS

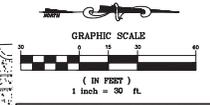
SHEET
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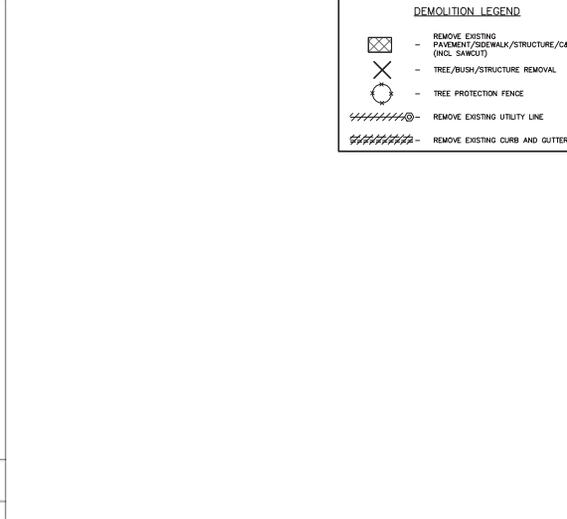
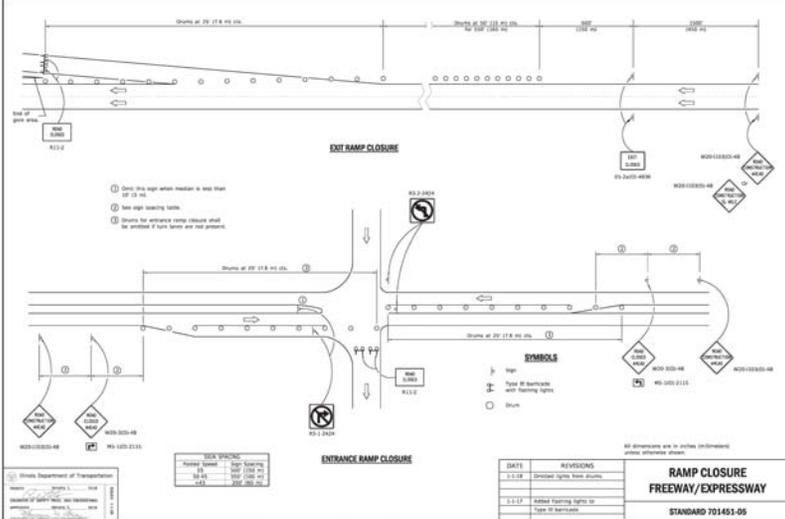
EXISTING CONDITIONS PLAN



DEMOLITION PLAN

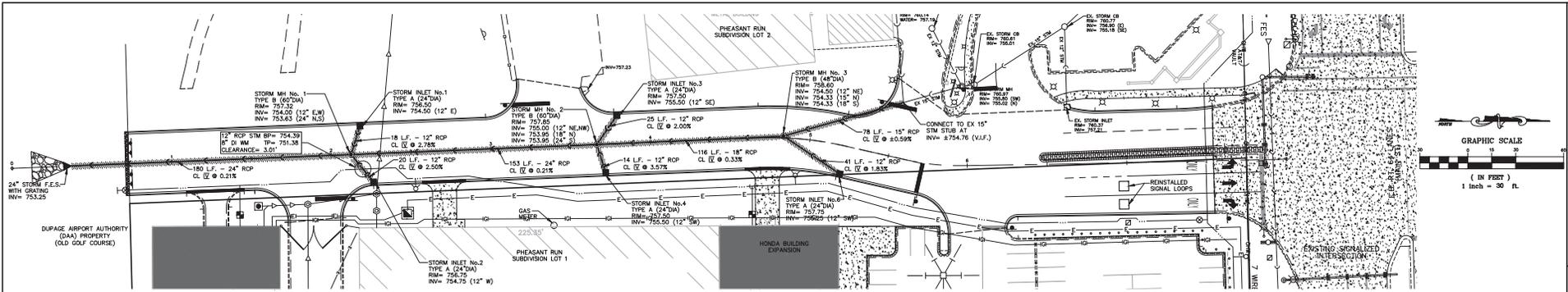


NOTE: RIGHT TURN LANE TO BE CLOSED DURING CONSTRUCTION - SEE FOOT DETAIL (THIS SHEET). CONTRACTOR TO INSTALL CLASS 3 BARRICADES WITH ROAD CLOSED SIGNS ON EACH ACROSS ENTIRE WIDTH OF ROADWAY.

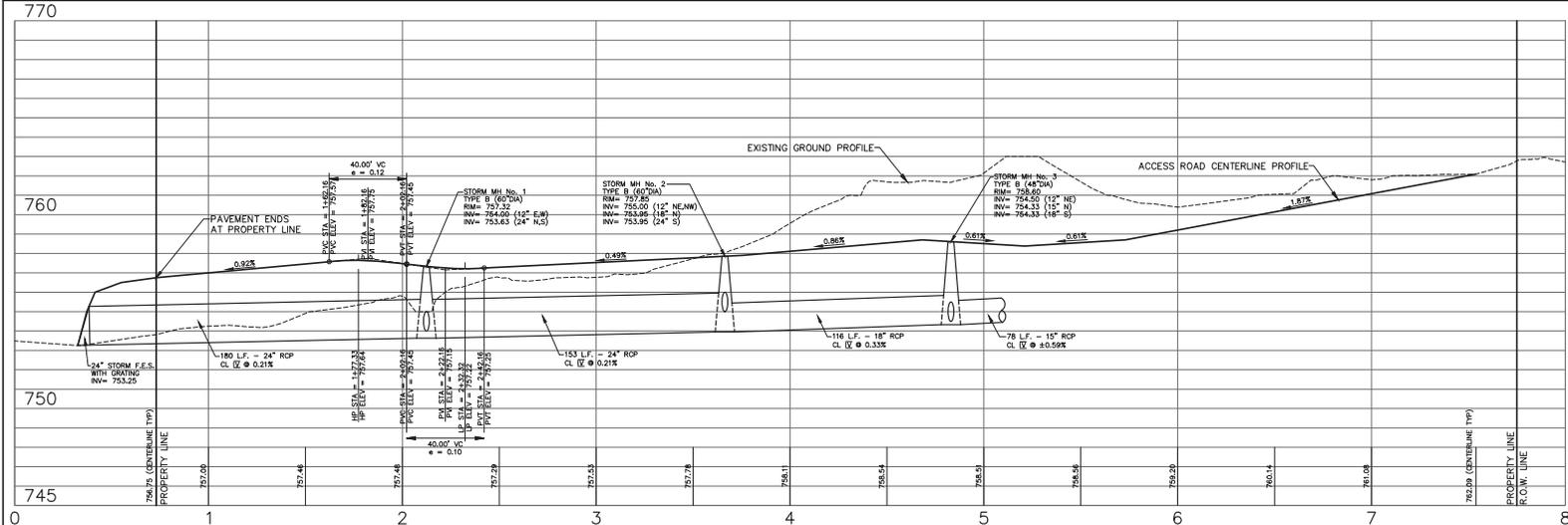


- SPECIAL DEMOLITION PHASING AND UTILITY NOTES:**
- ALL ELECTRIC LINES CROSSING BETWEEN LOT 1 AND LOT 2 SHALL BE REMOVED.
 - THE EXISTING GAS LINES CROSSING BETWEEN LOT 1 AND LOT 2 SHALL BE REMOVED. A NEW GAS SERVICE LINE SHALL BE INSTALLED ON LOT 1 TO SERVE THE NEW HONDA DEALERSHIP INDEPENDENTLY (FOR NEW DEALERSHIP PLANS).
 - THE EXISTING WATER SERVICE MAIN FROM LOT 2 SERVING LOT 1 SHALL BE REMOVED (INCLUDING THE YARD HYDRANT). A NEW 12" WATERMAIN EXTENSION ALONG 61.64 FROM WEST OF THE ACCESS ROAD INTERSECTION SHALL BE INSTALLED UNDER THE ACCESS ROAD TIEBACK AND A NEW 8" WATERMAIN SHALL BE EXTENDED SOUTH ALONG THE EAST SIDE OF THE ACCESS ROAD CORRIDOR FROM TO FINISH THE ACCESS ROAD (SEE HONDA DEALERSHIP PLANS).
 - CONTRACTOR IS TO BE AWARE THAT ALTHOUGH NOT ALWAYS A SPECIFIC PART OF COR REQUIREMENT FOR THE ACCESS ROAD IMPROVEMENTS, THERE ARE A NUMBER OF DEMOLITION, GRADING, AND UTILITY INSTALLATION REQUIREMENTS REFLECTED ON THE HONDA DEALERSHIP PLANS THAT MUST BE INSTALLED PRIOR TO COMPLETION OF THE ACCESS ROAD CONSTRUCTION. SPECIAL AND CAREFUL ATTENTION/COORDINATION MUST BE ACCOUNTED FOR BETWEEN THE CONSTRUCTION OF THESE TWO PROJECTS.
- DEMOLITION NOTES:**
- EROSION CONTROL INSTALLATION SHALL BE DONE PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY (SEE SHEET 4).
 - EXISTING ELECTRICAL, GAS, AND PHONE CABLES MAY BE LOCATED WITHIN THE PROPOSED IMPROVEMENT AREA. APPROXIMATE KNOWN LOCATIONS ARE SHOWN HEREON. THE CONTRACTOR SHALL ARRANGE FOR PRECISE LOCATION OF EXISTING CABLE SERVICES AND EXERCISE EXTREME CARE WHEN WORKING AROUND THE SAME.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING UTILITIES SCHEDULED TO REMAIN. PROPER SAWCUTTING SHALL BE ACCOMPLISHED AT ALL POINTS OF CONNECTION OR INTERFACE BETWEEN EXISTING AND PROPOSED IMPROVEMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ALL UNDERGROUND UTILITIES (EVEN IF NOT SHOWN ON THESE PLANS) LOCATED PRIOR TO DEMOLITION WORK. SANITARY SERVICE, WATERMAIN SERVICE, GAS, ELECTRIC, ETC. SHALL BE CUT-OFF. CONTRACTOR TO COORDINATE WITH RESPECTIVE MUNICIPAL AGENCY TO ARRANGE FOR DISCONNECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITIES, STREET LIGHTS, SIGNS, ETC. THAT ARE NOT INTENDED TO BE PERMANENTLY REMOVED.
 - CONTRACTOR SHALL NOTIFY THE CITY OF ST. CHARLES PUBLIC WORKS DEPARTMENT, ALL UTILITY COMPANIES, AND THE FIRE DEPARTMENT PRIOR TO START UP.
 - ONCE DISTURBED AREAS TO REMAIN AS GREENSPACE SHALL BE RESTORED WITH MINIMUM 4" TOPSOIL AND 50D (OR LANDSCAPED).
 - PUBLIC PARKWAYS, IF DISTURBED, SHALL BE RESTORED WITH MINIMUM 4" TOPSOIL AND 50D.
 - UTILITY LINES AND STRUCTURES SCHEDULED FOR REMOVAL SHALL BE PROPERLY DISCONNECTED FROM FACILITIES THAT ARE TO REMAIN, SECURELY PLUGGED AT ALL CONNECTION POINTS, AND REMOVED.

DRAWN BY: _____
 REVISIONS: _____
 DATE: _____
ROUTE 64 ACCESS ROAD
ST. CHARLES, ILLINOIS
EXISTING CONDITIONS PLAN/DEMOLITION PLAN
 975 E. 22nd St., Suite 400
 Winnetka, IL 60093
 630.480.7889
 www.rwg-engineering.com
Engineering, LLC
 Civil Engineering • Surveying • Planning • Transportation
 PROJECT NO. 2020-0920
 DATE 01/05/21
 SCALE 1/2"=30'
 PROJ. MGR. JWB
 PROJ. ASSOC. NES
 DRAWN BY: AVS
 SHEET
 2 of 7



UTILITY PLAN



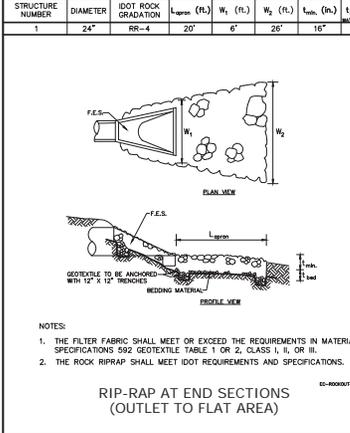
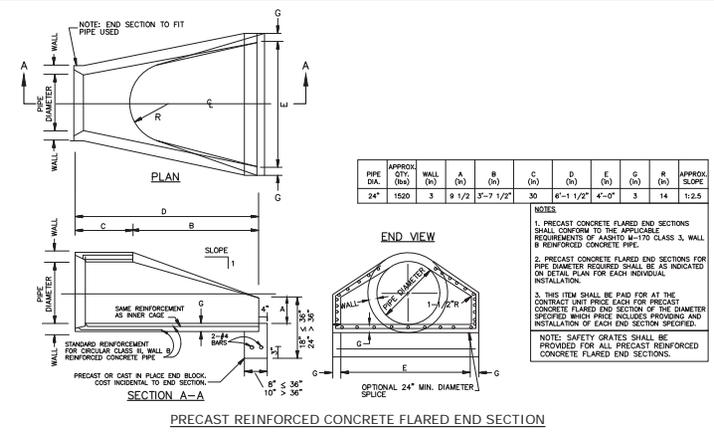
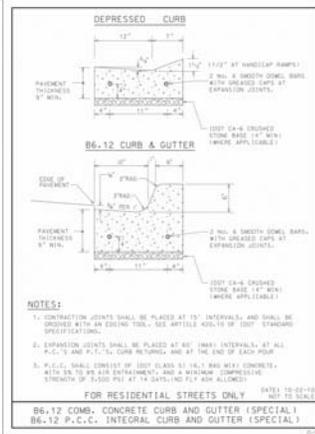
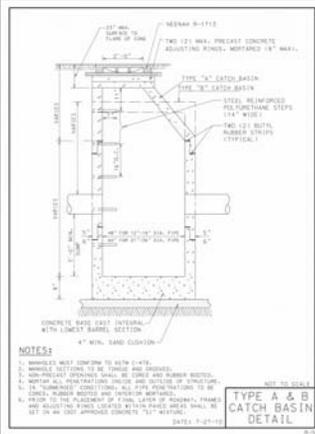
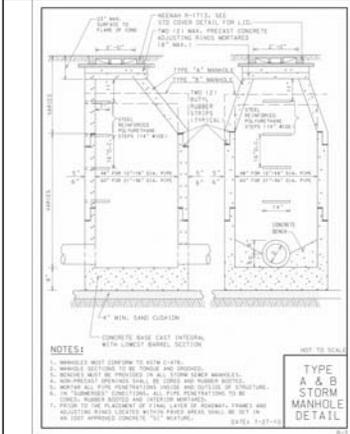
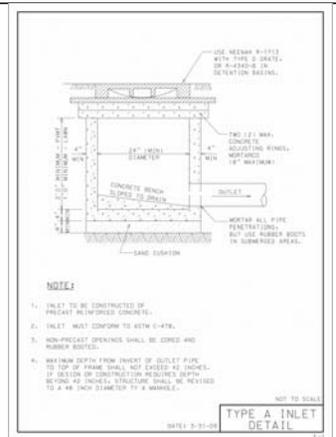
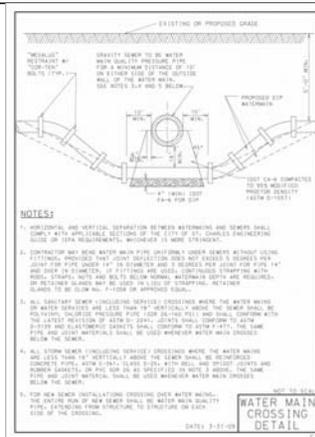
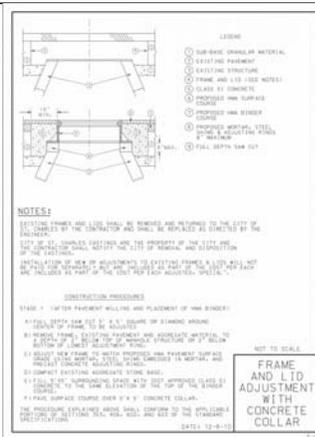
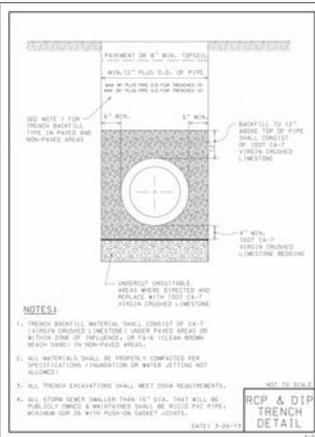
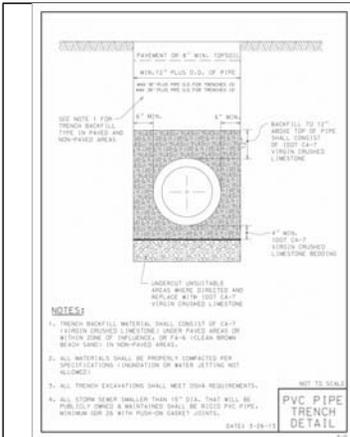
② SANITARY STRUCTURE NUMBER
 ① STORM STRUCTURE NUMBER
 ⑤ WATERMAIN STRUCTURE NUMBER

STORM SEWER DRAINAGE STRUCTURE LEGEND
 EXISTING PROPOSED
 □ ■ STORM INLET - OPEN GRATE
 ○ ● STORM CATCH BASIN - OPEN GRATE
 ⊙ ⊙ STORM MANHOLE - CLOSED LID

UTILITY NOTES:
 1. RIM GRADES FOR GRASS STRUCTURES REFLECT THE FLOW LINE ELEVATIONS OF THE GUTTER, PAVEMENT, OR DRAINAGE SWALE (AS APPLICABLE).
 2. UNLESS OTHERWISE NOTED, ALL UTILITY DIMENSIONS ARE CENTER TO CENTER OF STRUCTURES (OR TO END OF FLARED END SECTION - INCLUDING LENGTH OF FLARED END SECTION).
 3. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO THE PROPOSED GRADES AS INDICATED ON THE PLANS.
 4. CONNECTIONS TO EXISTING SEWERS AT POINTS OTHER THAN VISIBLE STRUCTURES ARE APPROXIMATE. THE CONTRACTOR SHALL LOCATE AND VERIFY EXISTING SEWER LOCATIONS, SIZES, ELEVATIONS, AND PIPE CONDITIONS AT PROPOSED CONNECTION POINTS PRIOR TO CONSTRUCTING UTILITY EXTENSIONS, AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT OR DISCREPANCIES.
 5. EXISTING UNDERGROUND PIPE, CONDUIT AND/OR CABLES (INCLUDING ELECTRIC, GAS, CABLE, ETC) ARE SHOWN FROM RECORD INFORMATION AND ARE APPROXIMATE IN NATURE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION IN THE FIELD AND NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICT.
 6. SELECT GRANULAR TRENCH BACKFILL IS REQUIRED FOR ALL UTILITY TRENCHES UNDER EXISTING OR PROPOSED PAVEMENT, DRIVEWAYS, PARKING LOTS, AND SIDEWALKS, AND EXTENDED A MINIMUM OF 2' EACH SIDE OF SAME. GRANULAR TRENCH BACKFILL SHALL BE COMPACTED IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.
 7. ROUTING OF GAS, ELECTRIC, TELEPHONE AND OTHER CABLE SERVICES (IF SHOWN) ARE APPROXIMATE AND SUBJECT TO MODIFICATION BY THE RESPECTIVE UTILITY COMPANY AND/OR DEVELOPER. THE CONTRACTOR SHALL COORDINATE THE FINAL UTILITY SERVICE LOCATION WITH EACH UTILITY COMPANY PRIOR TO CONSTRUCTION.

SPECIAL CONSTRUCTION PHASING AND UTILITY NOTES:
 1. ALL ELECTRIC LINES CROSSING BETWEEN LOT 1 AND LOT 2 SHALL BE REMOVED.
 2. THE EXISTING GAS LINES CROSSING BETWEEN LOT 1 AND LOT 2 SHALL BE REMOVED. A NEW GAS SERVICE LINE SHALL BE INSTALLED ON LOT 1 TO SERVICE THE NEW HONDA DEALERSHIP INDEPENDENTLY (FOR NEW SERVICE LINE LOCATION REFER TO HONDA DEALERSHIP PLANS).
 3. THE EXISTING WATER SERVICE MAIN FROM LOT 2 SERVICING LOT 1 SHALL BE REMOVED (INCLUDING THE YARD FRONT) AND A NEW 12" WATERMAIN EXTENSION ALONG RT 64 FROM WEST OF THE ACCESS ROAD INTERSECTION SHALL BE INSTALLED UNDER THE ACCESS ROAD THROAT AND A NEW 8" WATERMAIN SHALL BE EXTENDED SOUTH ALONG THE EAST SIDE OF THE ACCESS ROAD CONDITION PRIOR TO PAVING THE ACCESS ROAD (SEE HONDA DEALERSHIP PLANS).
 4. CONTRACTOR IS TO BE AWARE THAT ALTHOUGH NOT ALWAYS A SPECIFIC PART OF JOB REQUIREMENT FOR THE ACCESS ROAD IMPROVEMENTS, THERE ARE A NUMBER OF DESIGN, GRADING, AND UTILITY INSTALLATION REQUIREMENTS REFLECTED ON THE HONDA DEALERSHIP PLANS THAT MUST BE INSTALLED PRIOR TO COMPLETION OF THE ACCESS ROAD CONSTRUCTION. SPECIAL AND CAREFUL ATTENTION/COORDINATION MUST BE ACCOUNTED FOR BETWEEN THE CONSTRUCTION OF THESE TWO PROJECTS.

DRAWN BY: _____
 REVISIONS: _____
 DATE: _____
ROUTE 64 ACCESS ROAD
ST. CHARLES, ILLINOIS
UTILITY PLAN/CENTERLINE PROFILE
 PROJECT NO.: 56604920
 DATE: 01/05/21
 SCALE: 1"=30'
 PROJ. WDR: JWB
 PROJ. ASSOC: NEX
 DRAWN BY: AVS
RWG Engineering, LLC
 975 E. 27th St., Suite 400
 Naperville, IL 60563
 630.487.7899
 www.rwg-engineering.com
 SHEET
 5 OF 7



DATE: _____

REVISIONS: _____

DRAWN BY: _____

PROJECT NO.: 56604920

DATE: 01/05/21

SCALE: 1/4" = 1'-0"

PROJ. MGR.: JMS

PRJ. ASSOC.: NKS

DRAWN BY: JMS

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