

AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. ED BESSNER – CHAIRMAN
MONDAY, MARCH 12, 2018 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET

1. CALL TO ORDER

2. ROLL CALL

3. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Plan Commission recommendation to remove a Special Use for PUD and approve a Preliminary Plat of Subdivision for Cityview Subdivision.
- b. Recommendation to Approve a Corridor Improvement Agreement for 423 S. Second Street (Ryan Corcoran - Corcoran Commercial Real Estate).
- c. Plan Commission recommendation to approve a Preliminary Plan for First Street Building #3 Streetscape and Riverwalk Design.
- d. Plan Commission recommendation to approve a Plat of Vacation and Final Plat of Subdivision for First Street Building #2.
- e. Discussion regarding amendments to the Zoning Ordinance, Chapter 17.28 “Signs”.

4. FINANCE DEPARTMENT

- a. Recommendation of Funding Amount of the Greater St. Charles Convention and Visitor’s Bureau (GSCCVB) Funding Request of \$503,382 for Fiscal Year 2018/2019.

5. ADDITIONAL BUSINESS

6. EXECUTIVE SESSION

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

7. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS.

8. ADJOURNMENT

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3a

Title:	Plan Commission recommendation to remove a Special Use for PUD and approve a Preliminary Plat of Subdivision for Cityview Subdivision, 895 Geneva Rd.
Presenter:	Ellen Johnson

Meeting: Planning & Development Committee

Date: March 12, 2018

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

The subject property is a vacant, one-acre parcel located at the northwest corner of Geneva Rd. and Mosedale St. The Cityview PUD was approved for the property in 2016 which involved a seven-lot single-family subdivision with lots fronting on the interior of the site along an extended Keller Place. The approved project has not moved forward and the property remains vacant.

John Henry Builder Developer Inc., represented by John Cebzynski, is proposing subdivision of the property following the requirements of the underlying RT-2 District. Four lots are proposed, each fronting on Mosedale St. A detention basin is provided at the northeast corner.

The Zoning Ordinance does not identify a process to remove or rescind a Special Use for PUD that has been approved, but not constructed, prior to the PUD automatically expiring after 3 years. Because the PUD is still valid and shown on the Zoning Map, the City advised the applicant it would be appropriate to file a Special Use for PUD application requesting to remove the PUD, in order to follow the same procedure and provide the same public notice that was utilized to originally establish the PUD.

The Preliminary Plat of Subdivision submitted for the project should be reviewed for conformance with zoning and subdivision requirements. Once the PUD is removed, the property will default to the underlying zoning district. The property owner has the right to subdivide the property under the existing zoning.

Plan Commission Review

Plan Commission held a public hearing on the Special Use application on 3/6/18 and recommended approval of the Special Use and Preliminary Plat of Subdivision, subject to resolution of staff comments, by a vote of 8-0. Commissioners discussed the following:

- Vacation of Keller Pl. should be pursued by the City as it does not serve a purpose as right-of-way.
- The HOA outlot for the detention basin could be moved or extended to the southeast corner, allowing a landscape buffer to be provided along Rt. 31.
- The developer should be sensitive to the architectural appearance of the rear elevations given that they will be visible from Rt. 31.

In addition, the neighbor to the west voiced concerns about the building setback and the existing retaining wall near the property line. The applicant agreed to meet with him on site.

Attachments *(please list):*

Plan Commission Resolution, Staff Memo, Preliminary Plat of Subdivision, Applications, PUD Ordinance

Plan Commission recommendation to remove a Special Use for PUD and approve a Preliminary Plat of Subdivision for Cityview Subdivision, 895 Geneva Rd.

City of St. Charles, Illinois
Plan Commission Resolution No. 2-2018

**A Resolution Recommending Removal of a Special Use for PUD and approval
Preliminary Plat of Subdivision for Cityview Subdivision
(John Henry Builder Developer Inc.)**

Passed by Plan Commission on March 6, 2018

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use for PUD and Preliminary Plat of Subdivision; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use to remove the Cityview PUD (Ord. 2016-Z-15) and reviewed the Preliminary Plat of Subdivision for Cityview Subdivision (John Henry Builder Developer Inc.).

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council removal of Special Use for PUD and approval of the Preliminary Plat of Subdivision for Cityview Subdivision (John Henry Builder Developer Inc.); contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Pretz, Purdy, Kessler, Wallace, Holderfield, Funke, Pietryla, Vargulich

Nays: None

Absent: Schuetz

Motion carried: 8-0

PASSED, this 6th day of March 2018.

Chairman
St. Charles Plan Commission

Community & Economic Development
 Planning Division

Phone: (630) 377-4443
 Fax: (630) 377-4062



Staff Report

TO: Chairman Ed Bessner
 And the Members of the Planning & Development Committee

FROM: Ellen Johnson, Planner

RE: Cityview – 895 Geneva Rd.

DATE: March 7, 2018

I. APPLICATION INFORMATION:

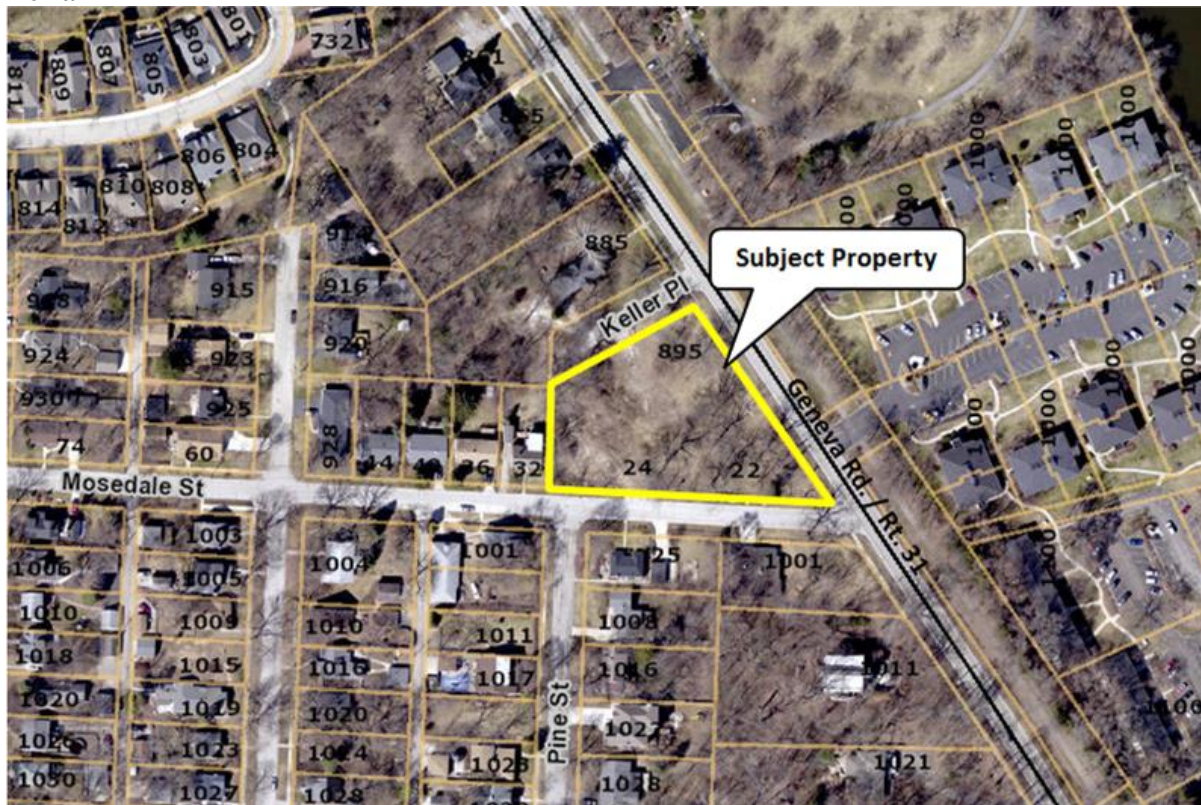
Project Name: Cityview – 895 Geneva Rd.

Applicant: John Henry Builder Developer, Inc.

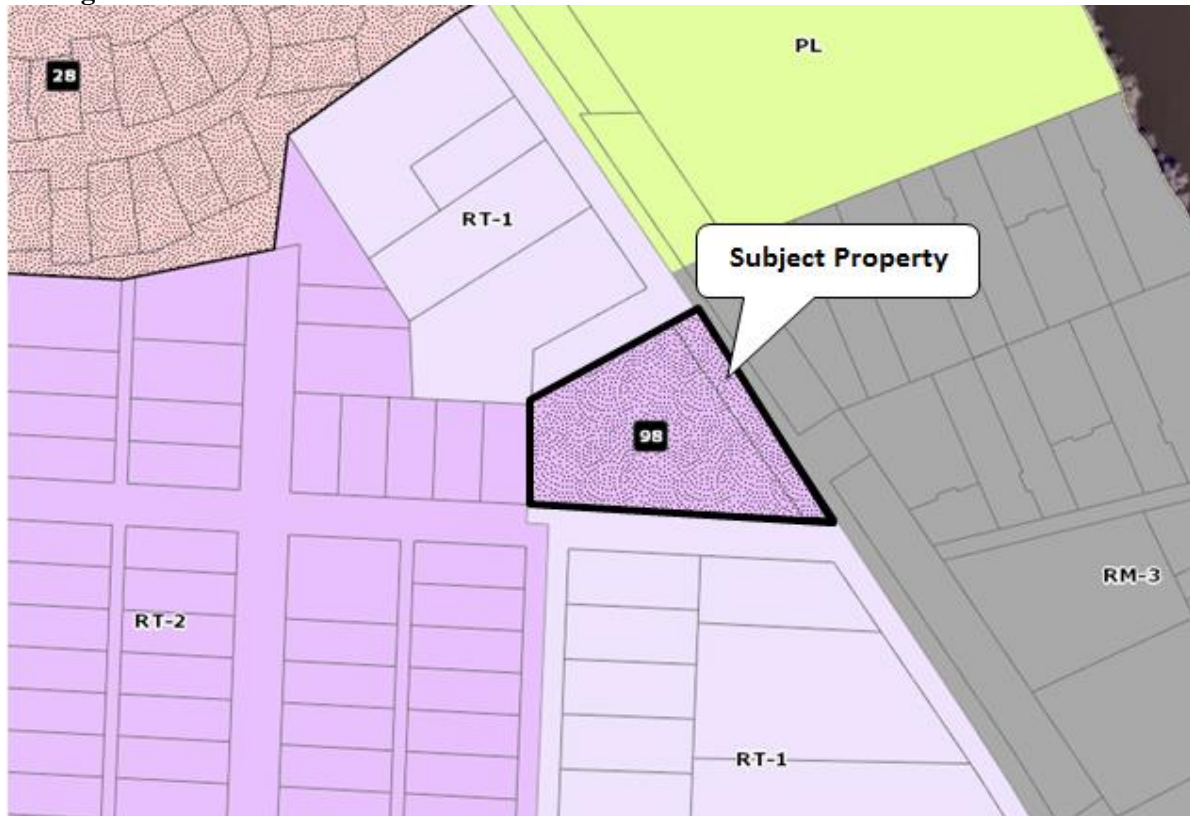
Purpose: Residential subdivision consisting of 4 single-family lots

General Information:		
Site Information		
Location	895 Geneva Rd. (northwest corner of Geneva Rd. and Mosedale St.)	
Acres	1.036 acres (45,167 sf)	
Applications:	Special Use for Planned Unit Development Preliminary Plat of Subdivision	
Applicable City Code Sections	Title 17, Chapter 17.12 Residential Districts Title 16 Subdivisions and Land Improvement	
Existing Conditions		
Land Use	Vacant	
Zoning	RT-2 Traditional Single-Family Residential & PUD	
Zoning Summary		
North	RT-1 Traditional Single-Family Residential	Single-family home
East	RM-3 General Residential District	Park Shore Apartments
South	RT-1 Traditional Single-Family Residential	Single-family homes
West	RT-2 Traditional Single-Family Residential	Single-family homes
Comprehensive Plan Designation		
Single Family Detached Residential		

Aerial



Zoning



II. BACKGROUND

A. PROPERTY HISTORY

The subject property is a vacant, one-acre parcel located at the northwest corner of Geneva Rd. and Mosedale St., south of Keller Place. A doctor's office was constructed on the property in the late 1950s. The building was demolished in 2005.

In 2016, a Planned Unit Development requested by David Weekley Homes was approved for the property under Ordinance No. 2016-Z-15, "An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for 895 Geneva Road (Cityview PUD)". The ordinance approved rezoning of the property to the RT-2 Traditional Single-Family Residential District along with development plans for a seven-lot single-family subdivision. The lots fronted on Keller Place, which was to be extended through the site to Mosedale St.

Since approval of the Cityview PUD, the project has not moved forward to the construction phase. David Weekley Homes is no longer involved with the property. The property remains a single parcel because a Final Plat of Subdivision was never prepared to formally plat it into seven lots.

B. PROPOSAL

John Henry Builder Developer Inc., represented by John Cebzynski, has submitted applications to allow subdivision and development of the property following the requirements of the underlying RT-2 zoning district. A PUD is not necessary. Details of the proposal are as follows:

- Subdivide the property into four (4) single-family lots and an outlot for stormwater detention.
 - All four homes will front on Mosedale St.
 - The detention basin is located at the northeast corner of the property.
- Install sidewalk along Mosedale St., connecting to the existing sidewalk along Geneva Rd.

The following Zoning Applications have been submitted in support of this project:

1. **Special Use** – To remove the Special Use for PUD approved for the property. The Zoning Ordinance does not identify a process to remove or rescind a Special Use for PUD that has been approved, but not constructed, prior to the PUD automatically expiring after 3 years. Because the PUD is still valid and shown on the Zoning Map, the City advised the applicant it would be appropriate to file a Special Use for PUD application requesting to remove the PUD, in order to follow the same procedure and provide the same public notice that was utilized to originally establish the PUD.
2. **Preliminary Plat of Subdivision** – To divide the property into four single-family lots and an outlot for stormwater detention.

III. ANALYSIS

A. COMPREHENSIVE PLAN

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Single Family Detached Residential”. The Plan states:

“An important objective of the Plan is to continue to protect and enhance the City’s single-family residential neighborhoods. Future development should be respectful and sensitive to the existing homes while allowing reinvestment in the form of rehabilitation, additions, and new construction in existing neighborhoods...Single-family residential areas should consist primarily of detached homes on lots subdivided and platted in an organized and planned manner” (p.42)

The following Residential Areas Framework Plan policy is particularly applicable to this project (p. 43):

- ***Preserve the character of the City’s existing single family residential neighborhoods:*** *The City’s residential areas are composed of a number of unique and distinct neighborhoods. While they may differ in configuration, unit type, and lot size, these neighborhoods are well established and have their own character. Development and reinvestment within these neighborhoods should be context sensitive, and compatible with the established neighborhood character and fabric. Regardless of the location or housing type, residential development or redevelopment should be carefully regulated to ensure compatibility with the scale and character of surrounding and adjacent residential neighborhoods. New infill development, teardown redevelopment, and alterations to existing development should maintain a setback, height, bulk, and orientation similar to its surroundings.*

The following Culture and Identity recommendation regarding Development Character and Urban Design also applies (p. 122):

- *New neighborhood development or local infill should respect the surrounding context in the design of street networks, infrastructure, housing stock, and other built elements. Infill development should strive to reflect the context in terms of site design, massing and scale, and architectural design. New neighborhoods should be designed to integrate local site characteristics, such as existing trees, unique topography, local building materials, etc.*

B. ZONING REVIEW

The property is zoned RT-2 Traditional Single-Family Residential District which requires a minimum lot size of 6,600 sf. The property was rezoned to the RT-2 District in 2016 with the Cityview PUD. The applicant has requested removal of the PUD on the property. The plans must meet the standards of the underlying RT-2 District.

The table below compares the RT-2 District standards with the proposal. All standards appear to be met. The applicant has stated they intend to construct 1½ story homes on the lots.

	RT-2 District	Proposed
Min. Lot Area	6,600 sf	8,541 sf
Min. Lot Width	50 ft.	60 ft.
Max. Building Coverage	30% for structures 1½ stories or less; 25% for structures over 1½ stories	29.35% (1½ stories)
Max. Building Height	Lesser of 34 ft. or 2 stories	26 ft. (1½ stories)
Min. Front Yard	25 ft. or average of block	20 ft. (based on average of block)
Min. Interior Side Yard	Greater of 6 ft. or 10% of lot width for structures 1½ stories or less; Greater of 8 ft. or 10% of lot width for structures over 1½ stories	6 ft. (1½ stories)
Min. Exterior Side Yard	20 ft.	24 ft.
Min. Rear Yard	30 ft.	37 ft.

C. PLAT OF SUBDIVISION

The Preliminary Plat of Subdivision depicts four (4) single-family lots and an outlot for the stormwater detention basin.

Staff has provided the applicant with some minor review comments on the Preliminary Plat. These comments must be addressed prior to City Council action:

- 10 ft. wide utility and drainage easements must be provided around the full perimeter of each lot (5 ft. along common lot lines).
- Add easement provision language as provided in Title 16, Appendix B.
- Add the acreage total to the gross site area.
- Add a chart identifying all easements and the easement area within each lot.

Staff Comments:

- A Final Plat of Subdivision will need to be submitted for review and approval along with Final Engineering plans. The Final Plat will need to be recorded prior to issuance of building permit.
- A homeowners’ association will need to be established to allow for maintenance of the detention basin. The Declaration of Covenants establishing the HOA and identifying the maintenance responsibilities will need to be provided with the Final Plat for the City’s review and approval.
- The City may have an interest in vacating Keller Place, the public right-of-way north of the subject property. Keller Place currently provides access only to the lot to the north and will not be used as an access to the proposed lots. If Keller Place is vacated, property could be added to the proposed subdivision, upon approval of the property owner. If this occurs, the building lots could be lengthened and/or the stormwater detention basin could be shifted to the north. It would not result in creation of any additional building lots. The Final Plat of Subdivision would need to reflect any additional area and any changes to the lot lines.

D. TREE PRESERVATION

The plan identifies the intention for some of the trees on the site. Trees that are in conflict with the building footprints or the sidewalk along Mosedale St. are shown to be removed. Protective fencing is shown around some of the trees that are to be preserved.

Staff Comments:

- The plan needs to be updated to identify the intention for all trees which are 6” or more DBH. The species of the trees that will be preserved must be identified along with the protective measures that will be taken to protect those trees during construction.

E. ENGINEERING REVIEW

The applicant has been provided with detailed engineering review comments. The comments are technical in nature and will not have a significant impact on the layout of the development. All comments will need to be addressed prior to City Council approval.

Staff Comments:

- Retaining walls are proposed in the front yards. The applicant has been asked to clarify whether any of the walls are over 4 ft. in height at any point. Retaining walls over 4 ft. in height require a terrace or stepping back of the wall to allow for a planting area.
- The applicant has been asked to clarify the intention for the existing retaining wall along the west property line. It appears the wall will be removed.

F. BUILDING DESIGN

Architectural elevations are not required for plats of subdivision. Elevations will be reviewed at the time of building permit. New homes in the RT zoning districts are subject to the Design Review requirements of Section 17.06.060 Standards and Guidelines – RT-1, RT-2, RT-3, RT-4, and CBD-2 Districts.

Staff Comments:

- Based on the building footprints shown on the plan, it appears that the buildings will need to be modified slightly to meet the requirement that attached garages with an overhead door facing a street must be set back from the front lot line at least 5 ft. more than the rest of the house or from a porch that extends at least 75% of the length of the remainder of the dwelling walls.

G. INCLUSIONARY HOUSING

The Inclusionary Housing worksheet has been submitted, indicating the applicant’s intent to pay the full fee in-lieu of providing affordable units.

H. SCHOOL AND PARK CONTRIBUTIONS

School and Park Land-Cash worksheets have been submitted. Full cash donation to the park and school districts is proposed. Copies of the worksheets and plans have been forwarded to the school and park districts for comment.

IV. PLAN COMMISSION RECOMMENDATION

Plan Commission held a public hearing on the Special Use application on 3/6/18 and recommended approval of removal of the Special Use for PUD and Preliminary Plat of Subdivision by a vote of 8-0.

V. ATTACHMENTS

- Plans
- Application for Special Use and Preliminary Plat of Subdivision; received 1/15/18
- Ordinance No. 2016-Z-15

PRELIMINARY PLAT AND PRELIMINARY
SITE DEVELOPMENT PLAN

FOR
CITYVIEW SUBDIVISION
ST. CHARLES, ILLINOIS

LEGAL DESCRIPTION

BLOCK 2 OF THE RIVERVIEW ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.
PIN: 09-34-401-015

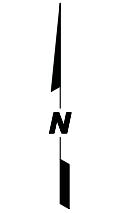
BENCHMARKS

STATION SIC 07 STATION IS LOCATED 11.7 KM (9.7 MILES) SOUTHWEST OF BARTLETT, 6.1 KM (3.8 MILES) NORTH-NORTHWEST OF BATAVIA, AND 5.50M (7.8 MILES) SOUTH OF ELGIN COMMUNITY COLLEGE, IN THE CITY OF SAINT CHARLES, IN SECTION 34, T40N, R9E. 2 1/8 INCH DIAMETER ALUMINUM DISK IN PLASTIC CYLINDER, APPROXIMATE NAD 83 COORDINATES N. 1907580, E. 984599. ELEVATION = 790.50 FT. NAVD 88

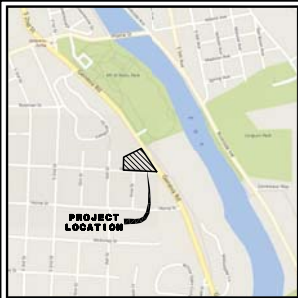
STATION SIC 16 STATION IS LOCATED 11.6 KM (8.9 MILES) SOUTHWEST OF BARTLETT, 4.8 KM (3.4 MILES) NORTH-NORTHWEST OF BATAVIA, AND 5.50M (7.8 MILES) SOUTH OF ELGIN COMMUNITY COLLEGE, IN THE CITY OF SAINT CHARLES IN SECTION 34, T40N, R9E. 2 1/8 INCH DIAMETER ALUMINUM DISK IN PLASTIC CYLINDER, APPROXIMATE NAD 83 COORDINATES N. 1906120, E. 991732. ELEVATION = 709.53 FT. NAVD 88

CP104 CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (IL ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF KELLER PLACE. ELEVATION = 695.46 FT. NAVD 88

CP109 CROSS IN WALK ON WEST SIDE OF GENEVA ROAD (IL ROUTE 31) ADJACENT TO FIRST UTILITY POLE NORTHWESTERLY OF MOSEDALE STREET. ELEVATION = 693.7146 FT. NAVD 88



20 10 0 20
SCALE: 1 INCH = 20 FEET



LOCATION MAP

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
○	○	CATCH BASIN
○	○	INLET
○	○	CLEARCUT
○	○	SLOPE INLET BOX
○	○	HEADWALL
○	○	END BRITTON
○	○	STORM BARRIER
○	○	SANITARY SEWER
○	○	WATERMAIN
○	○	VALVE & BOX
○	○	WATER VALVE IN VAULT
○	○	FIRE HYDRANT
○	○	CONTOURS
○	○	ELEVATION
○	○	STREET LIGHT
○	○	WATERMAIN PROTECTION
○	○	SILT FENCE INLET PROTECTOR
○	○	TEMPORARY STRAW BALE DITCH CHECK
○	○	SILT FENCE DITCH CHECK
○	○	ENERGY DISSIPATOR
○	○	RIP-RAP
○	○	OVERFLOW ROUTE
○	○	PUBLIC UTILITY, DRAINAGE AND STORMWATER MANAGEMENT FACILITY
○	○	EXISTING TREE TO BE REMOVED
○	○	EXISTING TREE, WITH TREE PROTECTION FENCE, TO BE PRESERVED IF IN GOOD CONDITION. SEE LANDSCAPE PLAN FOR FURTHER INFORMATION.

SITE ANALYSIS

EXISTING ZONING: RT-2 TRADITIONAL SINGLE FAMILY RESIDENCE DISTRICT WITH SPECIAL USE FOR PUD AND PUD PRELIMINARY PLAN

GROSS SITE AREA: 45,937± S.F.

LOT AREA: 5,787± S.F.

MINIMUM LOT SIZE: 8,841± S.F.

AVERAGE LOT SIZE: 10,036± S.F.

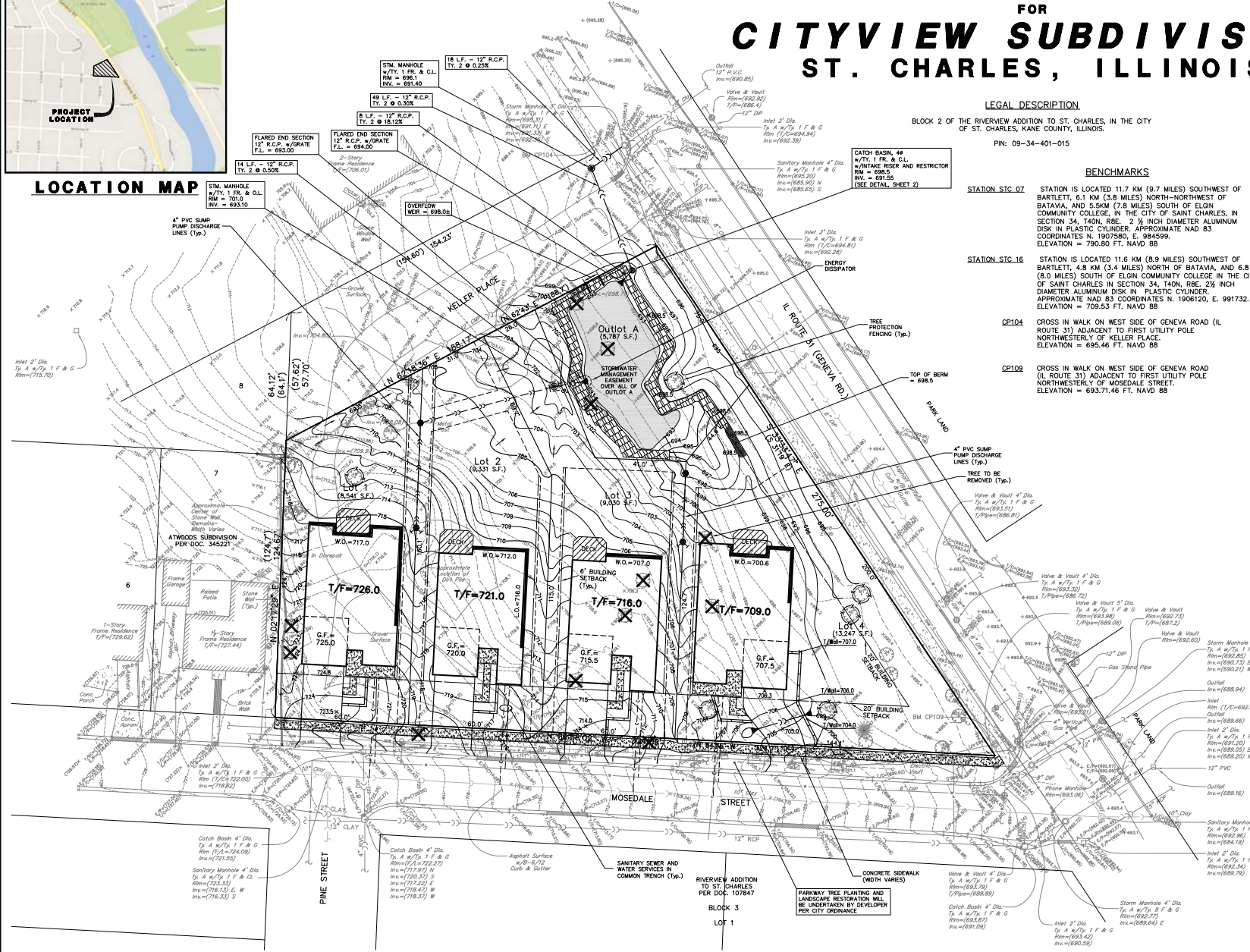
PREPARED FOR:
JOHN HENRY BUILDER-DEVELOPER, INC.
15 WOODLAWN STREET
GENEVA, IL 60134
(630) 262-3800 (PH.)
(630) 262-3802 (FAX)

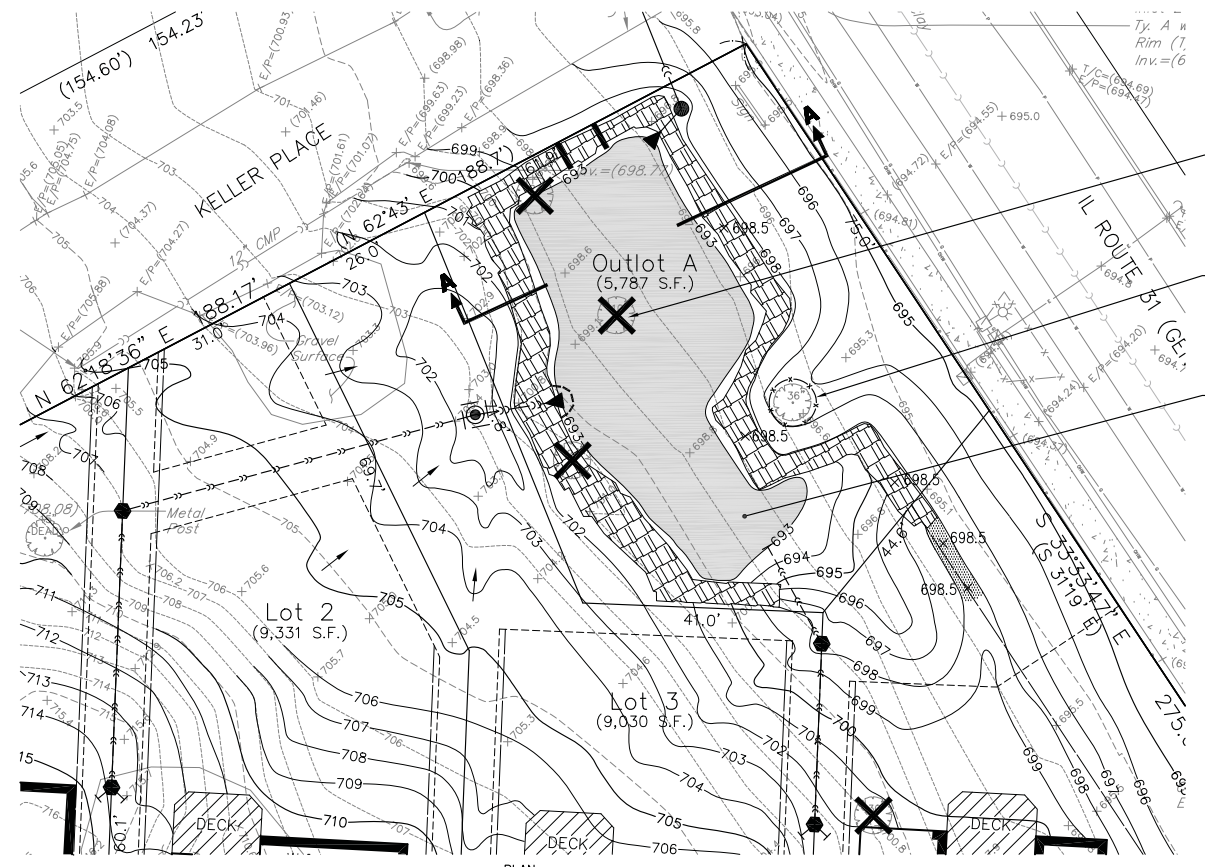
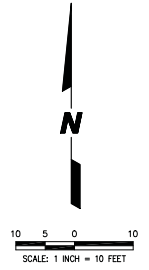


PREPARED BY:
CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60502-9675
PH: 630.862.2100
E-MAIL: ccm@cemcon.com FAX: 630.862.2189
Website: www.cemcon.com

DISC NO.: 504015 FILE NAME: PREVOER
DRAWN BY: JOC FLD. BK. / PG. NO.: D-53
COMPLETION DATE: 11-20-17 JOB NO.: 504-015
PH: 630.862.2100 PROJECT MANAGER: RWB
REV. ON: 12-15-17/JOC
REV. BY: 12-27-17/JOC

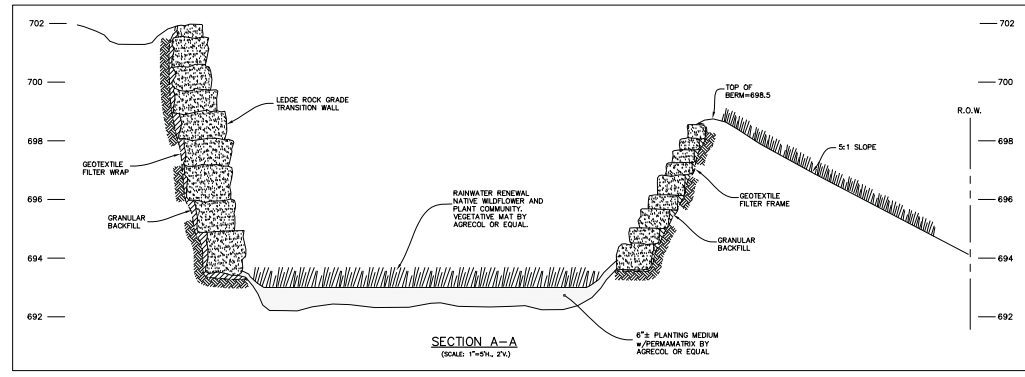
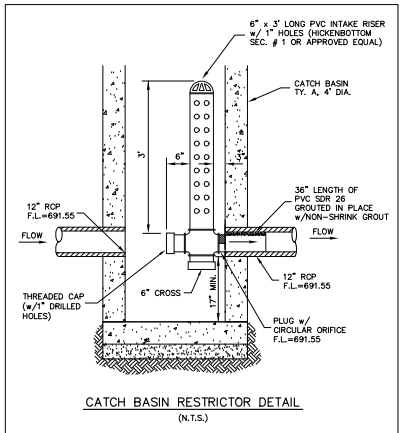




PLAN
(SCALE: 1"=10')

LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	○	MANHOLE
□	□	CATCH BASIN
○	○	INLET
○	○	ORAMOUNT
○	○	SLOPE INLET BOX
○	○	HEADWALL
○	○	END SECTION
○	○	STONE SPUR
○	○	EXISTING SUMMIT
○	○	WATERMAIN
○	○	VALVE & BOX
○	○	WATER VALVE IN VAULT
○	○	WIRE UTILITY
○	○	CONTOURS
○	○	ELEVATION
○	○	STREET LIGHT
○	○	WATERMAIN PROTECTION
○	○	SILT FENCE INLET PROTOTYPE
○	○	TEMPORARY STRAW BALE DITCH CHECK
○	○	SILT FENCE DITCH CHECK
○	○	SMUDGY DISINFECTOR
○	○	RIP-RAP
○	○	OVERFLOW ROUTE
○	○	PUBLIC UTILITY, DRAINAGE AND STORMWATER MANAGEMENT ASSEMBLY
○	○	EXISTING TREE TO BE REMOVED
○	○	EXISTING TREE, WITH TREE PROTECTION FENCE, TO BE PRESERVED IF IN GOOD CONDITION. SEE LANDSCAPE PLAN FOR FURTHER INFORMATION.



PREPARED FOR:
JOHN HENRY BUILDER-DEVELOPER, INC.
15 WOODLAWN STREET
GENEVA, IL 60134
(630) 262-3800 (PH.)
(630) 262-3802 (FAX)

PREPARED BY:
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Aurora, Illinois 60502-9675
PH: 630.862.1000 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO.: 504015 FILE NAME: PREOVER
DRAWN BY: JGC FLD. BK. / PG. NO.: D-53
COMPLETION DATE: 11-20-17 JOB NO.: 504.015
XREF: TOPO FROM 826005 PROJECT MANAGER: RWB
REV. 01: 12-15-17/JGC
REV. 02: 12-27-17/JGC

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



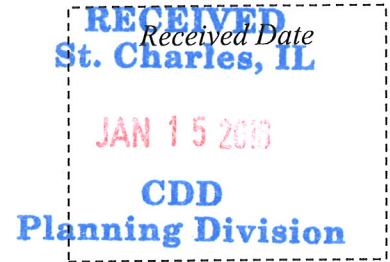
COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	<u>CityView - 895 Geneva Rd.</u>
Project Number:	<u>2018 -PR- 001</u>
Application Number:	<u>2018 -AP- 002</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: <u>WEST OF ILLINOIS RT 31 (GENEVA RD) AND NORTH OF MOSEDALE ST.</u>	
	Parcel Number (s): <u>09-34-401-015 895 GENEVA RD.</u>	
	Proposed Name: <u>CITY VIEW</u>	
2. Applicant Information:	Name: <u>JOHN HENRY BUILDER-DEVELOPER INC.</u>	Phone: <u>630-262-3800</u>
	Address: <u>15 WOODLAWN ST. GENEVA, IL. 60134</u>	Fax: <u>630-262-3802</u>
		Email: <u>JOHN@JOHNHENRY.PRO</u>
3. Record Owner Information:	Name: <u>Don R. Park Vice President BEL AIR DEVELOPMENT CORPORATION</u>	Phone: <u>808-829-1690</u>
	Address: <u>409 KAY ST. CRYSTAL LAKE IL. 60014</u>	Fax:
		Email: <u>bbella@GMAIL.COM</u>

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name:** Cityview PUD
- New PUD
- Amendment to existing PUD- Ordinance #: 2016-Z-15
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** _____
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: Single-Family Detached Residential

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? RT-2 PUD

What is the property currently used for? Vacant

If the proposed Special Use is approved, what improvements or construction are planned?
A single family residential subdivision following the underlying RT-2 zoning requirements.

For Special Use Amendments only:

Why is the proposed change necessary?
The proposed development will follow the existing underlying zoning and a PUD is not necessary.

What are the proposed amendments? (Attach proposed language if necessary)
The applicant is requesting that the existing Special Use for PUD be eliminated in its entirety.
The property will remain zoned RT-2.

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

TRAFFIC STUDY: If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Don R. Rusk VP 1/10/2019
Record Owner Date

Patricia M. Cebrowski President 1/9/2018
Applicant or Authorized Agent Date

January 23, 2018

City of St. Charles

Ellen Johnson, Planner

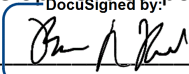
2 East main Street

St. Charles, Illinois 60174

Ms Ellen Johnson,

This is my written consent and confirmation that John Cebzynski of John Henry Builders Developers regarding City View / 895 Geneva Road St Charles has my complete authority to apply for sub-division and sign, present all documents for the City of St Charles on my behalf.

Bel Air Development Corporation

By:  _____
DocuSigned by:
5AA8292A10C4463...

Bryan Bellah, Vice-President

Date : 1/23/2018

yes

OWNERSHIP DISCLOSURE FORM
CORPORATION

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Bryan Bellah, being first duly sworn on oath depose and say that I am the
Vice President of Bel Air Development, an
(Illinois) () Corporation and that the following persons are all of the shareholders
of 7% or more of the common stock of said Corporation:

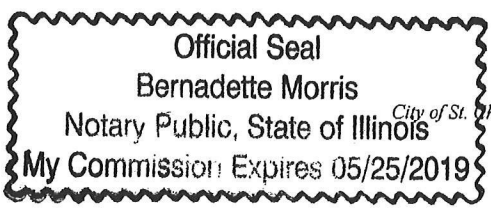
- WILLIAM BELLAH, PRESIDENT
- BRYAN BELLAH, VICE PRESIDENT
- _____
- _____

BY: Bryan Bellah

TITLE: VICE PRESIDENT

Subscribed and Sworn before me this 10 day of
JANUARY, 20 18.

Bernadette Morris
Notary Public



City of St. Charles Ownership Disclosure Forms

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

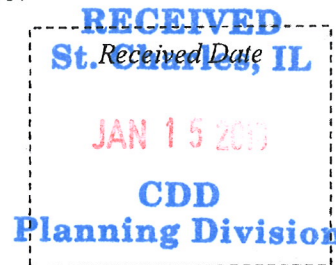


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PRELIMINARY PLAT OF SUBDIVISION APPLICATION

For City Use	
Project Name:	<u>Cityview - 895 Geneva Rd.</u>
Project Number:	<u>2018 -PR- 001</u>
Application No.	<u>2018 -AP- 001</u>



To request preliminary approval of a subdivision, complete this application and submit it with all required attachments to the Planning Division.

When the application is complete City staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the proposed subdivision on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: West of Illinois Route 31 (Geneva Rd.) and North of Musedale Street.	
	Parcel Number (s): 09-34-401-015 895 Geneva Road	
	Proposed Subdivision Name: Cityview	
2. Applicant Information:	Name John Henry Builder - Developer, Inc.	Phone (630) 262-3800
	Address 15 Woodlawn Street Geneva, IL 60134	Fax (630) 262-3802
		Email john@johnhenry.pro
3. Record Owner Information:	Name Bel Air Development Corporation <i>Bel Air Development</i> Vice President 1/10/18	Phone 808-829-1690
	Address 409 Kay St. CRYSTAL LAKE IL. 60014	Fax
		Email bbellair@gm4cc.com

Please check the type of application:

- Preliminary Plat of Subdivision** (Final Plat of Subdivision to be filed later)
- Combined Preliminary-Final Review Process** (Final Plat Application filed concurrently)

This application is not required for:

- **Minor Subdivision** – File only a Minor Subdivision - Final Plat application (Minor Subdivision per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)
- **Planned Unit Developments - PUD** (The PUD Preliminary Plan Application should be filed instead)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. Refer to attached Schedule of Application Fees.

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Exhibit B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

Submit one of the following:

- a) A current title policy report; or (see attached)
- b) A deed and a current title search.

If the owner is not the applicant, submit the attached Ownership Authorization form to permit the applicant to act on the owner's behalf. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).)

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions

or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ **LEGAL DESCRIPTION:** - Block 2 of Riverview Addition to St. Charles in the City of St. Charles, IL

For entire subject property, on 8 1/2 x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:** (see previous submittal)

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☒ **ENDANGERED SPECIES REPORT:** (see previous submittal)

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

☒ **PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans.

☒ **STORMWATER MANAGEMENT:** (see narrative attached with storage volume)

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached).

☒ TREE PRESERVATION PLAN:

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

☒ DEPARTURES FROM SUBDIVISION CODE STANDARDS:

List any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and reasons for requesting each departure. (possible variation in width of sidewalk)

☒ PARK AND SCHOOL LAND/CASH WORKSHEETS:

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

☒ INCLUSIONARY HOUSING SUMMARY:

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Don R. Park Vice President 1/10/18
Record Owner Date

Patricia M. Cebrynska President 1/9/2018
Applicant or Authorized Agent Date

INCLUSIONARY HOUSING WORKSHEET



Name of Development: City View
 Date Submitted: 11/1/2018
 Prepared by: Tom Henry Builder Developer Inc

Use this worksheet to determine the affordable unit requirement for the proposed development and to propose how the development will meet the Inclusionary Housing requirements of Title 19.

Calculate the number of affordable units required:

Unit Count Range	# of Units Proposed in Development		% of Affordable Units Required		# of Affordable Units Required
1 to 15 Units	4	X	5%	=	2
More than 15 Units		X	10%	=	

How will the Inclusionary Housing requirement be met?

- Provide on-site affordable units
- Pay a fee in-lieu of providing affordable units (calculate fee in-lieu below)
- Provide a mixture of affordable units and fee in-lieu
 - # of affordable units to be provided: _____
 - Amount of fee in-lieu to be paid (calculate below): _____

Fee In-Lieu Payment Calculation – Single-family/Duplex/Townhome Development

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
	2	X	\$72,819.50	=	145,639.00

Fee In-Lieu Payment Calculation – Multi-Family Development

# of Affordable Units Required	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
		X	\$5,000	=	

*City View Subdivision
John Henry Bussard Developer
10/26*

City of St. Charles Land/Cash Worksheet

Dwelling Type/Bedroom Count	# of Units	Park	Est. Park Pop.	Elem.	Est. Pop.	Middle School	Est. Pop.	High School	Est. Pop.
Detached Single Family									
2 bedroom	4	2.017	8.068	0.136	0.544	0.048	0.192	0.02	0.08
3 bedroom		2.899	0	0.369	0	0.173	0	0.184	0
4 bedroom	0	3.764	0	0.53	0	0.298	0	0.36	0
5 bedroom	0	3.77	0	0.345	0	0.248	0	0.3	0
Attached Single Family (Townhomes)									
1 bedroom	0	1.193	0	0	0	0	0	0	0
2 bedroom	0	1.99	0	0.088	0	0.048	0	0.038	0
3 bedroom	0	2.392	0	0.234	0	0.058	0	0.059	0
4 bedroom	0	3.145	0	0.322	0	0.154	0	0.173	0
Multi Family (Condo/Apartment)									
Efficiency	0	1.294	0	0	0	0	0	0	0
1 bedroom	0	1.758	0	0.002	0	0.001	0	0.001	0
2 bedroom	0	1.914	0	0.086	0	0.042	0	0.046	0
3 bedroom	0	3.053	0	0.234	0	0.123	0	0.118	0
Estimated Population	4		8.068		0.544		0.192		0.08
Park Acreage @ 10 acres per 1,000 population			0.08068	acres					
Park Land Dedication			0	acres					
Park Cash in Lieu @ \$240,500 per acre			\$19,403.54						
Elementary School Acreage @ .025 acres per student					0.0136				
Middle School Acreage @ .0389 acres per student						0.0074688			
High School Acreage @ .072 acres per student								0.00576	
Total School Acreage					0.0268288				
Total School Cash in Lieu @ \$240,500 per acre					\$6,452.33				

Refer to:
Minutes 8-15-16
Page _____

City of St. Charles, Illinois

Ordinance No. 2016-Z-15

**Motion to approve an Ordinance Granting Approval of
a Map Amendment, special Use for Planned Unit
Development and PUD Preliminary Plan for 895 Geneva
Road (Cityview PUD).**

**Adopted by the
City Council
of the
City of St. Charles
August 15, 2016**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, August 20, 2016**

Nancy St. Johnson

City Clerk

(SEAL)



102

**City of St. Charles, Illinois
Ordinance No. 2016-Z- 15**

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development and PUD Preliminary Plan for 895 Geneva Road
(Cityview PUD)**

WHEREAS, on or about June 16, 2016, David Weekley Homes (the “Applicant”) filed petitions for 1) Map Amendment from RT-1 Traditional Single Family Residential District to RT-2 Traditional Single Family Residential District, 2) Special Use for Planned Unit Development, and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of constructing 7 single-family homes; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about July 1, 2016 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 19, 2016 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan petitions on or about July 19, 2016; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about August 8, 2016; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.
2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RT-1 Traditional Single Family Residential District to RT-2 Traditional Single Family Residential District, and the Findings of Fact for Map

Amendment attached hereto and incorporated herein as Exhibit "B" are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant's petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit "C", which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "D", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Engineering Plans, Atwell, revisions dated 8/4/2016
- Preliminary Plat of Subdivision, Atwell, revisions dated 8/4/2016
- Landscape Plan, Atwell, revisions dated 8/1/2016
- Tree Preservation Plan, dated 6/29/2016
- Architectural Elevations, David Weekley Homes, not dated

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the RT-2 Traditional Single Family Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the "PUD Deviations" attached hereto and incorporated herein as Exhibit "E".
- b. Owners' Association: The Applicant shall create one or more Owners' Associations and create a Declaration of Covenants, Conditions & Restrictions that clearly identifies all responsibilities of the Owners Associations with respect to the use, maintenance and continued protection of common open space and improvements in the Subject Property, including, but not limited to, the stormwater detention facility and the off-street parking area. Such Declaration shall be in a form reasonably acceptable to the City and shall be recorded immediately following the recording of the Final Plat of Subdivision for the Subject Property.
- c. Special Service Area: Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities and other facilities serving the Subject Property. The Record Owner shall not sell or transfer ownership of any individual single-family lots within the Subject Property until

such Special Service Area has been established. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other facilities are not adequately maintained by the Owner or successors.

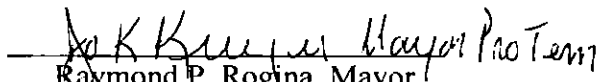
- d. School and Park Contributions: The Park and School contributions shall be provided by the Applicant as cash in lieu of land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.
- e. Inclusionary Housing: The Inclusionary Housing contribution shall be provided by the Applicant as a cash in lieu of affordable units in accordance with the provisions of Title 19 of the St. Charles Municipal Code, as the same may be amended from time to time.

7. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 15th day of August, 2016.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 15th day of August, 2016.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 15th day of August, 2016.


Raymond P. Rogina, Mayor

Attest:


Nancy Garrison, City Clerk

Vote:
Ayes: 9
Nays: 0
Absent: 0
Abstain: 0



Ordinance No. 2016-Z- 15

Page 4

Date: _____

APPROVED AS TO FORM:

City Attorney

DATE: _____

EXHIBIT "A"

LEGAL DESCRIPTION

BLOCK 2 OF THE RIVERVIEW ADDITION TO ST. CHARLES, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

Detached single family resides to the west, north and south. The residential areas to the north and south are zoned RT-1 and the residential area to the west is zoned RT-2. The apartments contiguous to the east are zoned RM-3.

2. The extent to which property values are diminished by the existing zoning restrictions.

The addition of seven new single family homes priced in the \$500,000's will increase the neighboring property values versus a site that has been vacant for fifteen years.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The Cityview development will re-build Keller Place and tie it into Mosedale St. along with adding public sidewalk. With this development the turf and trees will be maintained over its current state in which the City electric department has had issue with their overhead lines and trees and limbs falling from the property.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The physical constraints of the site (i.e. dramatic 30 ft. of fall) along with the flat market conditions are two strong factors why the current zoning isn't suitable for the property's highest and best use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

While this property has been on the market and vacant, St. Charles has seen development opportunities at the Corporate Reserve site, Lexington Club site, Parkside Reserves and the Heritage Green re-development.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

The market since the downturn has refocused on smaller lot opportunities with great access to community and regional amenities. During the downturn, infill opportunities such as this project were the last to decline and the first to ascend.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.
Our proposal is consistent with the City's comprehensive plan which identified this site as detached single family.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

This amendment does not correct an error in the Zoning Map.

9. The extent to which the proposed amendment creates nonconformities.

This application does not create nonconformities. The development presents an increased opportunity for new residential construction.

10. The trend of development, if any, in the general area of the property in question.

Since the market downturn new residential and commercial development has focused on infill and redevelopment opportunities. As the market recovers these smaller projects allow for new development without the increased risk of greenfield development.

EXHIBIT "C"

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The development achieves several points when evaluating a PUD opportunity. This is a creative redevelopment of a vacant site that achieves purposes noted in items 1, 2, 3, 5, 6 and 7.

- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

This development provides values as noted in items 3, 4, 5, and 6 with the challenging topography of the site (30 ft. of fall from the west property line to the east). The current zoning is challenging with safe access onto Mosedale St.

iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

This project will provide public walks tying into Pine Street and also tying in Keller Place to Mosedale from Rt. 31.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The developer has met with the City development staff including the Public Works Director and Engineering Director as well as the Fire Department to ensure a safe addition to the community.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

Adding seven new single family homes will not diminish the property values of surrounding homes.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

This development will not adversely impact the traffic with only seven homes. Safe passive foot traffic will be improved with installing public walk tying in Pine Street walks to Rt. 31 walks.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The public safety and general welfare will be improved with this development. The site is currently vacant. The roads and public walk will be improved to deliver a safer passage.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use will conform to all Federal, State and Local legislation and regulation.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The redevelopment of this former doctor's office which has sat vacant for over 15 years will enhance the residential product offering in downtown St. Charles. This location will also lead to increased revenue for the downtown businesses. Additionally, the tax base will increase dramatically with seven single family homes occupying the site.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The City's Comprehensive Plan calls for detached single family homes for this site, while also achieving a Comprehensive Plan land use goal of diversified residential product and increased use of downtown St. Charles businesses and amenities.

EXHIBIT "D"

**PUD PRELIMINARY PLAN
(17 pages)**

CITYVIEW

A 7 LOT SUBDIVISION

PRELIMINARY PLANS

CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS

PROJECT CONTACTS

DEVELOPER / APPLICANT

DAVID WEELE + HOMES
1930 THOREAU DRIVE NORTH
SUITE 100
SCHUMBURG, ILLINOIS 60171
CONTACT: EVAN VEINARD
PHONE: (847) 241-4379

ENGINEER / SURVEYOR (PLAT)

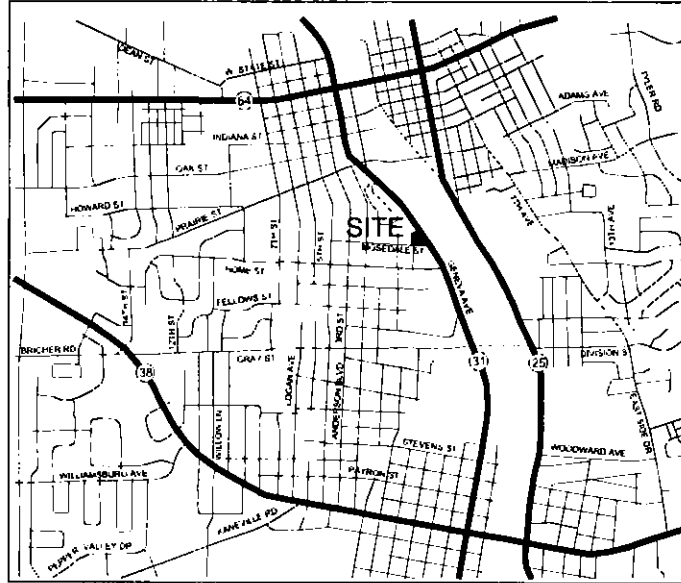
ATWELL LLC
1245 EAST DEHR RD SUITE 100
NAPEEVILLE, IL 60563
PHONE: (830) 577-6900
FAX: (830) 577-6900

LANDSCAPE ARCHITECT

B5B DESIGN
1340 E. DUROCK ROAD SUITE 310
PULASKI, IL 60474
PHONE: (847) 705-2200

SURVEYOR (TOPOGRAPHIC MAP)

CEMCON LTD
2280 WHITE OAK CIRCLE SUITE 100
AURORA, IL 60502
CONTACT: PETER BLAESER
PHONE: (830) 862-7100



SITE LOCATION MAP

1" = 1200' (APPROX)

PARCEL DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:
BLOCK 2 OF ROYALVIEW ADDITION 1/231 E CHARLES IN THE CITY OF ST CHARLES ILLINOIS

811

Know what's below.
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For more information, visit www.811.org
or call 811. This service is provided by the Illinois Tollway Authority.

NOTICE: THESE PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION. ANY CHANGES TO THESE PLANS MUST BE APPROVED BY THE CITY OF ST. CHARLES AND KANE COUNTY. THE CITY OF ST. CHARLES AND KANE COUNTY ARE NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS.



SHEET INDEX

- C-01 COVER SHEET
- C-02 EXISTING CONDITIONS PLAN
- C-03 PUD PRELIMINARY PLAN
- C-04 PRELIMINARY GRADING PLAN
- C-05 PROFILES AND DETAILS
- C-06 PRELIMINARY UTILITY PLAN
- C-07 WATER AND SEWER SEPARATION DETAILS
- C-08 CITY WATER DETAILS
- C-09 FIRE TRUCK TURN EGEST

SECTION 3A	1000' x 10' NORTH, RANGE 8 EAST
	ST CHARLES
	KANE COUNTY, ILLINOIS

PROJECT	DAVID WEELE + HOMES CITYVIEW SUBDIVISION COVER SHEET
---------	--

DATE	08/09/2016		
SCALE	AS SHOWN		
DR	REV	CHK	PL
DR	E. LONG		
JOB	19001336		
SHEET NO.	C-01		

LEGEND

---	BOUNDARY LINE
- - - -	EXISTING ROW
---	PROPOSED ROW
---	EXISTING CURB AND GUTTER
---	PROPOSED 36" CURB AND GUTTER
---	PROPOSED 48" CURB AND GUTTER
---	PROPOSED CURB TRANSITION
---	SETBACK LINES
---	PROPOSED FENCE
---	PROPOSED PUBLIC UTILITY AND DRAINAGE (PUBD) EASEMENT LINE
---	PROPOSED BUILDING SETBACK LINE
---	IDEALIZED DRIVE
7	PROPOSED SIGN
4	PROP. STOP SIGN
4 S	PROPOSED JOINT POLE SEE SHEET C-08 FOR CITY OF ST. CHARLES CHANGED DETAIL
0	EXISTING JOINT POLE
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED HOUSING ASPHALT PAVEMENT SEE DETAIL SHEET C-09
---	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
---	PAVEMENT PATCH

AREA TABLE

LOT	SQ. FT.	ACRES
LOT 1	3,893	0.09
LOT 2	2,041	0.05
LOT 3	2,041	0.05
LOT 4	4,043	0.09
LOT 5	6,497	0.15
LOT 6	8,397	0.19
LOT 7	6,798	0.16
LOT 8	1,316	0.03
LOT 9	7,893	0.18
ROAD	18,847	0.43
TOTAL	68,826	1.58

DEVELOPER DATA:

BUILDING SETBACKS:

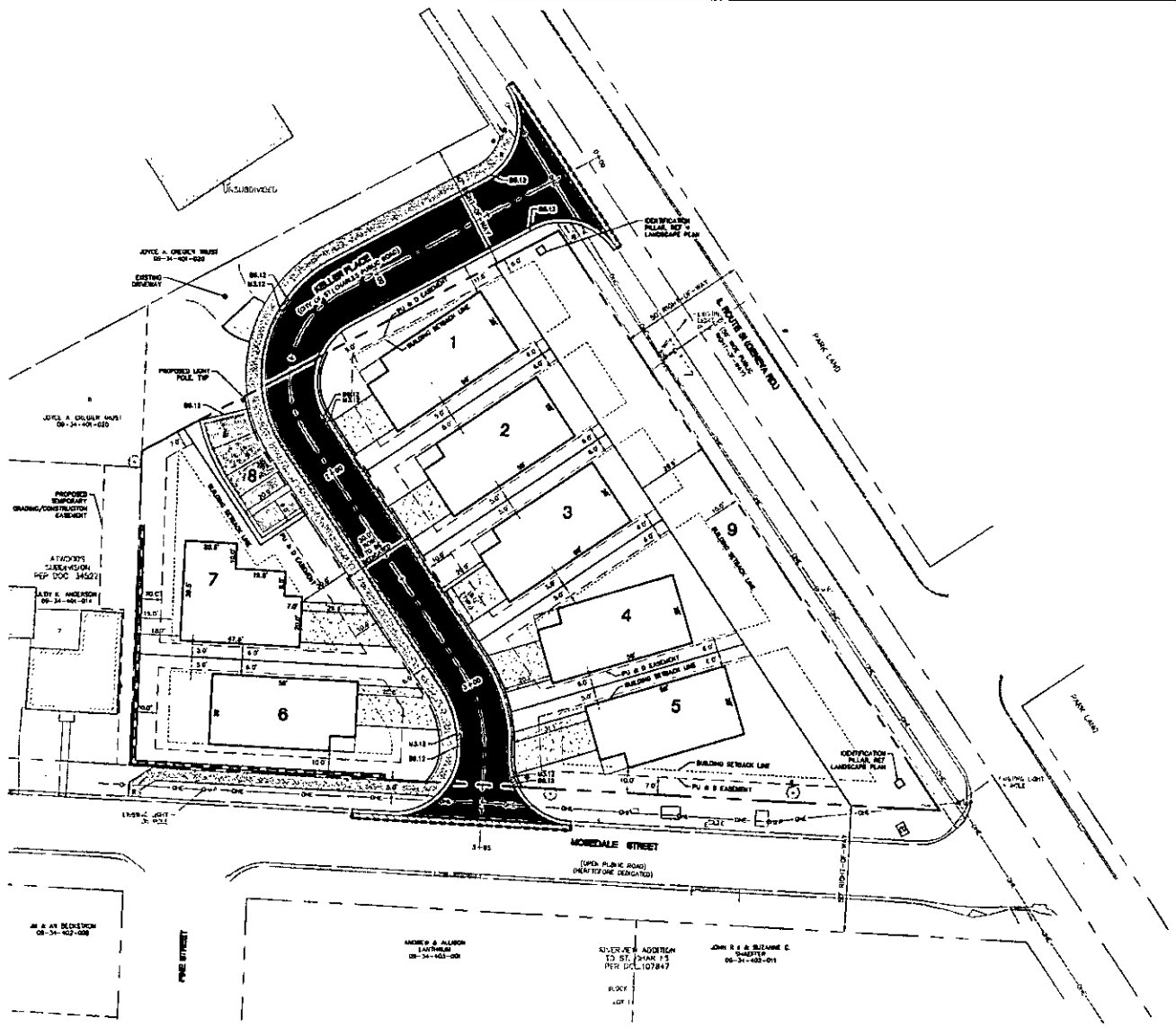
FRONT YARD = 30' MINIMUM FROM BACK OF CURB (EAST SIDE OF KELLER PLACE)

REAR YARD = 20' MINIMUM FROM SIDEWALK (WEST SIDE OF KELLER PLACE)

NEAR YARD = 15' MINIMUM FROM NEAR PROPERTY LINE

SIDE YARD = 6' MINIMUM FROM SIDE PROPERTY LINE

CORNER YARD/STREET SIDE YARD = 6' MINIMUM FROM SIDE PROPERTY LINE
 = 10' MINIMUM FROM MOSELEY STREET RIGHT OF WAY
 = 6' MINIMUM FROM KELLER STREET RIGHT OF WAY



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SECTION 34
 TOWN 40 NORTH, RANGE 8 EAST
 ST. CHARLES
 KANE COUNTY, ILLINOIS

DAVID WENZLEY HOMES
 CITYVIEW SUBDIVISION
 PUD PRELIMINARY PLAN

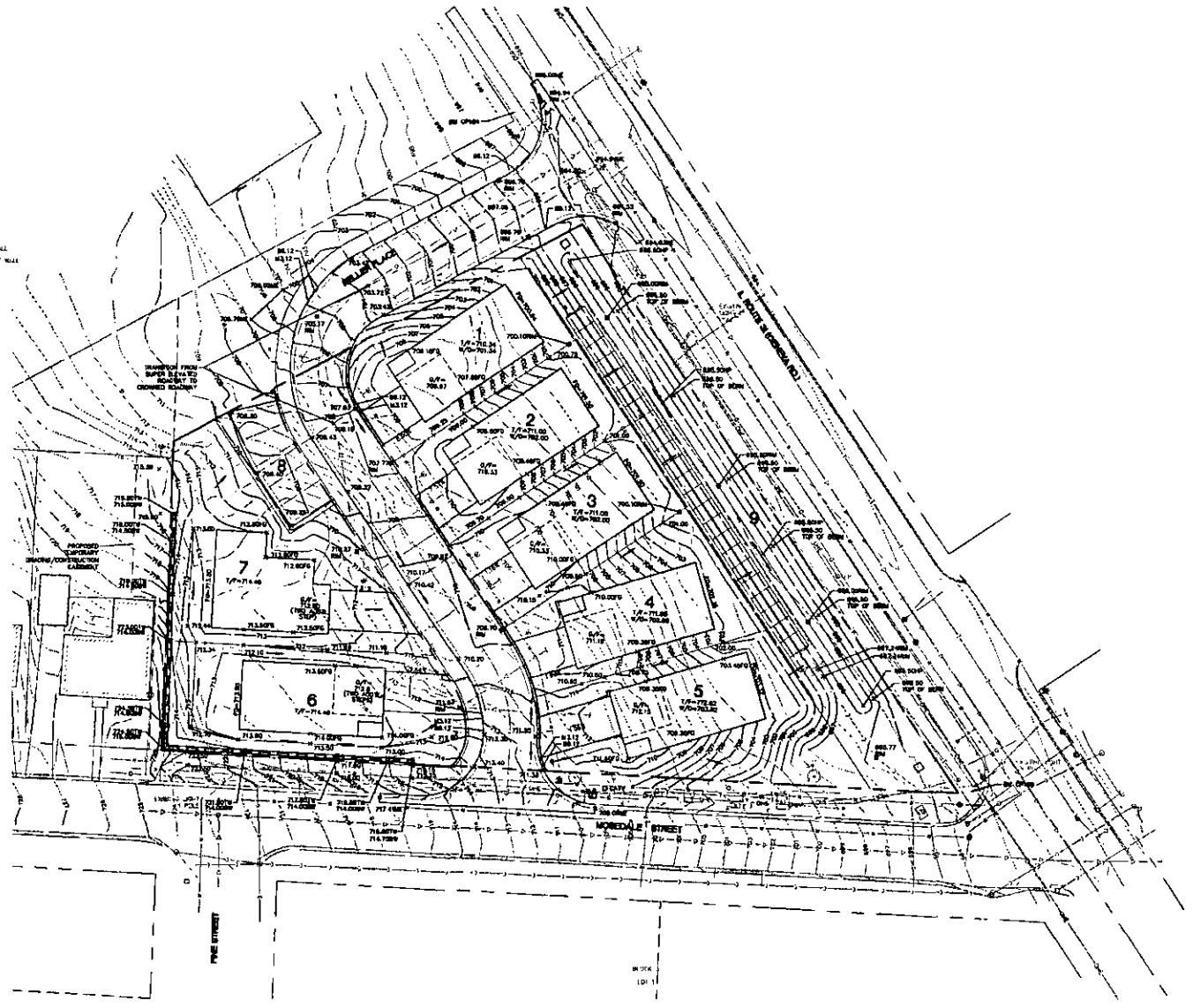
REVISIONS

NO.	DATE	DESCRIPTION
1	06/09/2018	ISSUED FOR PERMITS

SCALE: 1" = 20 FEET
 DR. REX CH. ED.
 P.M. E. LORD
 JOB 15002336
 SHEET NO. C-00

LEGEND

---	BOUNDARY LINE
---	EXISTING ROW
---	PROPOSED ROW
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SHALE
---	PROPOSED HEDGE LINE
---	TREE PROTECTION FENCE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING STORM CATCH BASIN/MANHOLE
---	PROPOSED STORM CATCH BASIN/MANHOLE
---	PROPOSED SPOT ELEVATION
---	PROPOSED FINISHED GRADE ELEVATION
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED FINISHED GRADE AT TOP OF WALL
---	PROPOSED FINISHED GRADE AT BOTTOM OF WALL
---	PROPOSED DRAINAGE ARROW



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DENVER, CO 80231
TEL: 303.751.1000
WWW.ATWELL-ENG.COM

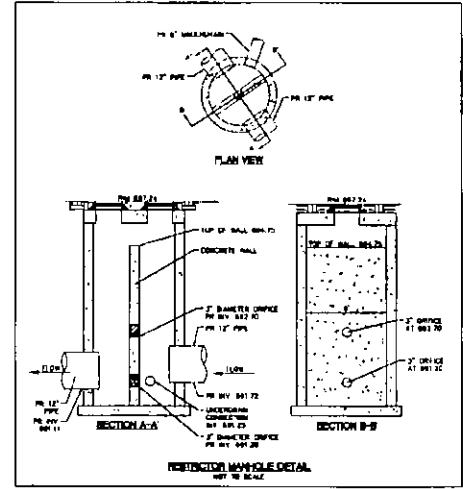
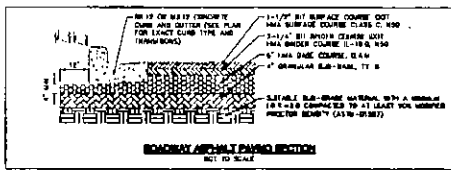
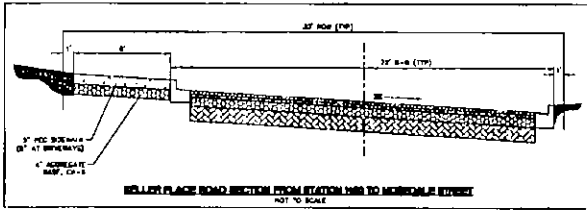
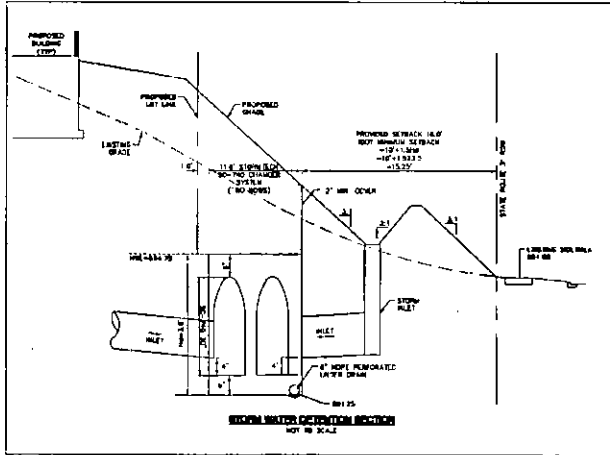
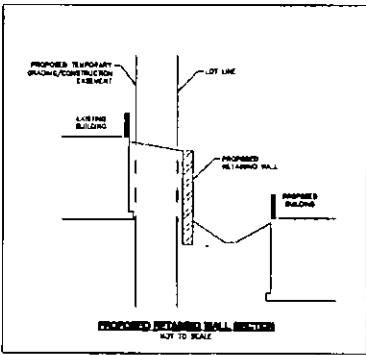
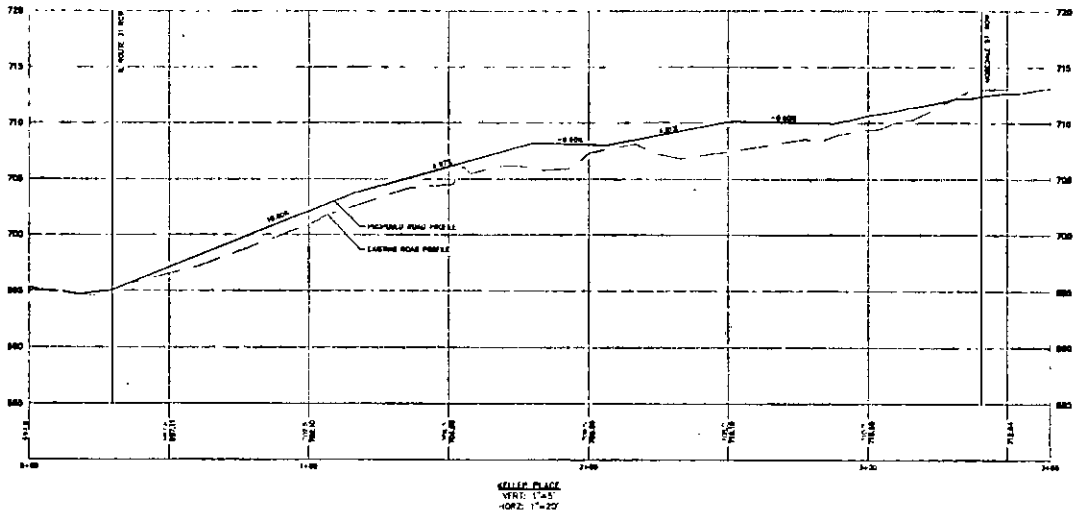
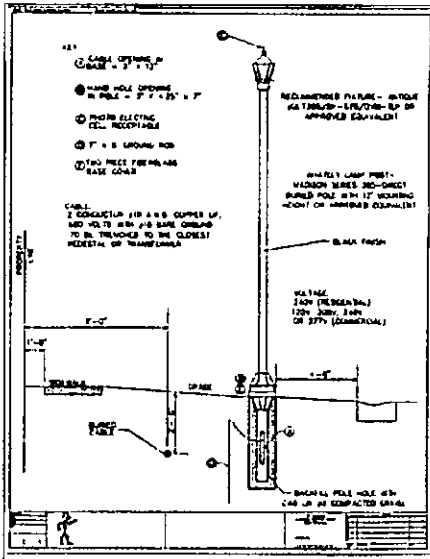
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ENGINEERING, INC.
1342 EAST 80TH AVENUE, SUITE 100
DENVER, CO 80231
TEL: 303.751.1000
WWW.ATWELL-ENG.COM

SECTION 34
TOWN 40 NORTH, RANGE 8 EAST
ST. CHARLES
KANE COUNTY, ILLINOIS

DAVID WEDDELEY HONES
CITYVIEW SUBDIVISION
PRELIMINARY GRADING PLAN

DATE: 06/09/2016
DRAWN BY: JEFF COOPER
CHECKED BY: JEFF COOPER
SCALE: 1" = 20 FEET
DESIGNER: PAUL E. LORD
PROJECT NO.: 15007336
SHEET NO.: C-04

SCALE: 1" = 20 FEET
DESIGNER: PAUL E. LORD
PROJECT NO.: 15007336
SHEET NO.: C-04



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 CIVIL ENGINEERING & ARCHITECTURE
 1000 W. MAIN ST., SUITE 100
 ST. CHARLES, MO 63301
 (636) 947-1000
 FAX (636) 947-1001
 WWW.ATWELL-INC.COM
 SECTION 34
 TOWN OF WEST BAKER & EAST ST. CHARLES
 CITYVIEW SUBDIVISION
 PROFILES AND DETAILS
 DAVID WEDALEY HOMES
 DATE: 08/09/2018
 SCALE: 1" = 10' HORIZONTAL
 1" = 10' VERTICAL
 SHEET NO. C-08

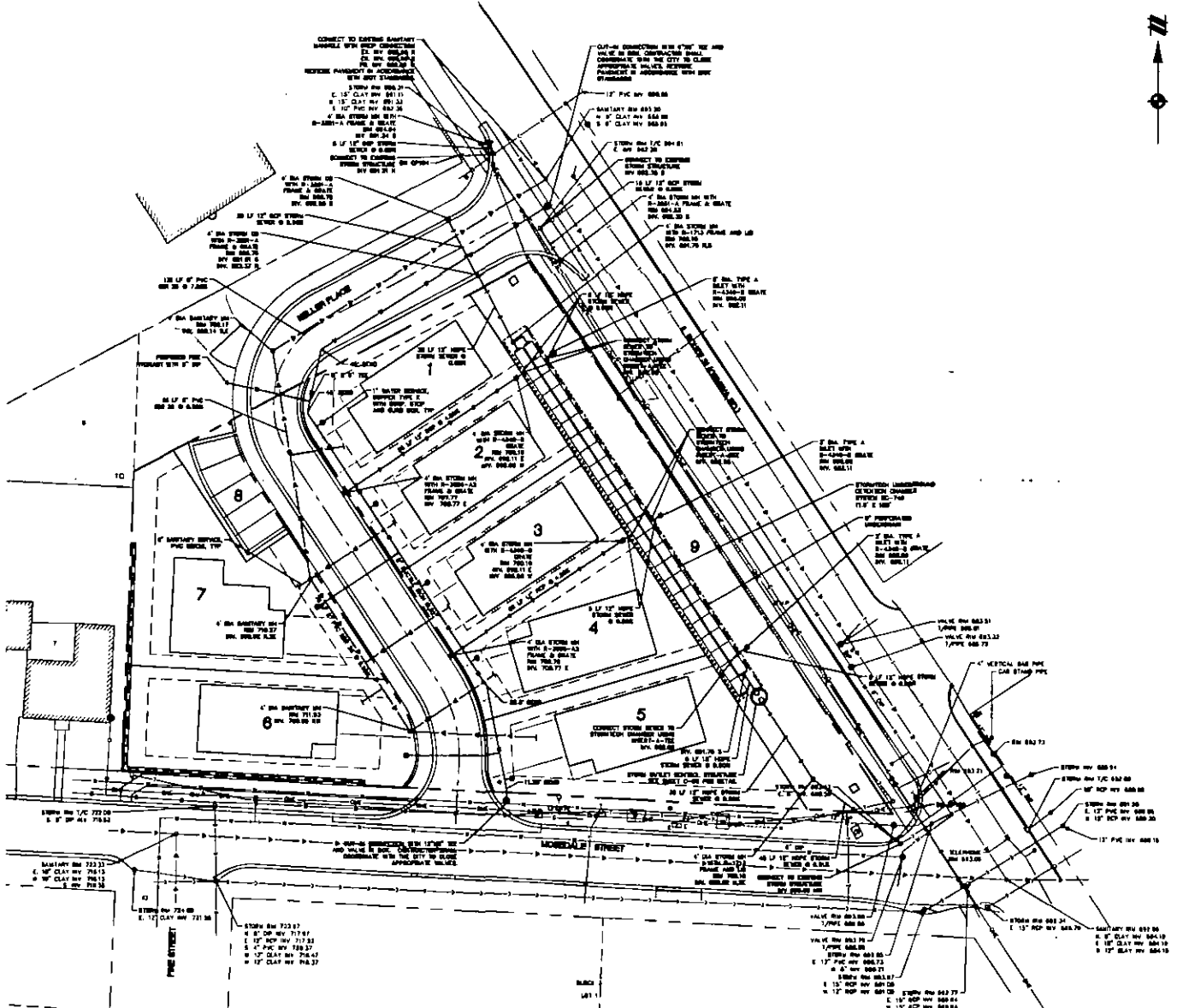
- LEGEND**
- BOUNDARY LINE
 - EXISTING SIDE
 - EXISTING LANEWAY LINE
 - PROPOSED LANEWAY LINE
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING UNDERGROUND GAS
 - PROPOSED UNDERGROUND GAS
 - EXISTING UNDERGROUND TELEPHONE
 - PROPOSED UNDERGROUND TELEPHONE
 - EXISTING UNDERGROUND ELECTRIC
 - PROPOSED UNDERGROUND ELECTRIC
 - EXISTING OVERHEAD ELECTRIC
 - PROPOSED OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND CABLE
 - PROPOSED UNDERGROUND CABLE
 - EXISTING OVERHEAD CABLE
 - PROPOSED OVERHEAD CABLE
 - SYSTEM VENT/POD
 - PROPOSED LIGHT POLE/SMALL PAD MOUNT
 - EXISTING HANDICAP/SLASH BARRIERS
 - PROPOSED HANDICAP/SLASH BARRIERS
 - EXISTING CLEANOUT
 - PROPOSED CLEANOUT
 - PROPOSED IMPROVEMENT
 - EXISTING C&G SECTION
 - PROPOSED C&G SECTION
 - EXISTING WATER VALVE
 - PROPOSED WATER VALVE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - PROPOSED UTILITY POLE

- □ □ □ SYSTEM VENT/POD
- ○ ○ ○ EXISTING HANDICAP/SLASH BARRIERS
- ○ ○ ○ PROPOSED HANDICAP/SLASH BARRIERS
- +C+ EXISTING CLEANOUT
- +C+ PROPOSED CLEANOUT
- PROPOSED IMPROVEMENT
- EXISTING C&G SECTION
- PROPOSED C&G SECTION
- ○ ○ ○ EXISTING WATER VALVE
- ○ ○ ○ PROPOSED WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED UTILITY POLE

CITY OF ST. CHARLES WATER MAIN TESTS

REQUIRED TESTS: THE FOLLOWING IS A LIST OF TESTS WHICH SHALL BE REQUIRED FOR WATER DISTRIBUTION SYSTEM IMPROVEMENTS IN THE CITY OF ST. CHARLES. APPROVED BY THE CITY OF ST. CHARLES WATER MAINS AND PUBLIC WORKS DEPARTMENT. CONTRACTORS SHALL SUBMIT ALL TESTS AND TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING:

- A. AFTER A WATER MAIN HAS BEEN INSTALLED AND BEFORE THE WATER MAIN HAS BEEN PLACED IN OPERATION, THE CONTRACTOR SHALL TAKE ONE (1) SAMPLE FOR THE PURPOSES OF THE TEST WHICH SHALL BE SUBMITTED TO THE CITY OF ST. CHARLES WATER MAINS AND PUBLIC WORKS DEPARTMENT FOR ANALYSIS IN ADVANCE.
- B. AFTER A WATER MAIN HAS BEEN INSTALLED AND BEFORE THE WATER MAIN HAS BEEN PLACED IN OPERATION, THE CONTRACTOR SHALL TAKE ONE (1) SAMPLE FOR THE PURPOSES OF THE TEST WHICH SHALL BE SUBMITTED TO THE CITY OF ST. CHARLES WATER MAINS AND PUBLIC WORKS DEPARTMENT FOR ANALYSIS IN ADVANCE.
- C. ALL TESTS SHALL BE SCHEDULED 48 HOURS IN ADVANCE.
- D. SAMPLES: ALL WATER MAINS SHALL PASS A PRESSURE TEST IN CONFORMANCE WITH THE FOLLOWING TEST PROCEDURES:
 1. SAMPLES: ALL WATER MAINS SHALL PASS A PRESSURE TEST IN CONFORMANCE WITH THE FOLLOWING TEST PROCEDURES:
 - a. 30-PPM RESIDUAL CHLORINE CONCENTRATION (AFTER 24 HOURS SUBSTITUTION) SAMPLE MUST BE EXTRACTED UNDER THE SUPERVISION OF A CITY OF ST. CHARLES REPRESENTATIVE AND ANALYZED BY A LABORATORY OF THE CITY'S CHOICE.
 - b. SAMPLING WILL BE PERFORMED ON TWO CONSECUTIVE DAYS 24 HOURS APART.
 - c. LEAKAGE TEST: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A LEAKAGE TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - d. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - e. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - f. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - g. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - h. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
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 - j. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - k. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - l. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - m. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - n. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - o. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - p. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - q. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - r. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - s. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - t. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - u. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - v. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - w. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - x. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - y. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$
 - z. WATERTIGHTNESS: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A WATERTIGHTNESS TEST IN CONFORMANCE WITH AREA C AND C&G ALIGNMENT LEAKAGE IN FORMULA: $L = \frac{W}{P} \times 100$



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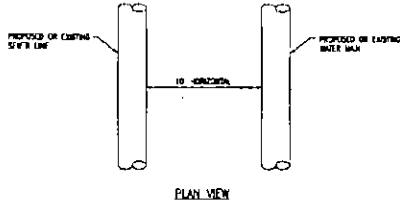
ATWELL
ATWELL & ASSOCIATES
INCORPORATED
1001 EAST WASHINGTON STREET
ST. CHARLES, MISSOURI 63301
TEL: 636.225.1111
FAX: 636.225.1112
WWW.ATWELL-INC.COM

SECTION 34
TOWN OF NORTH WASHINGTON & EAST
ST. CHARLES
KANE COUNTY, ILLINOIS

DAVID NEEDLEY, HOMES
CITYVIEW SUBDIVISION
PRELIMINARY UTILITY PLAN

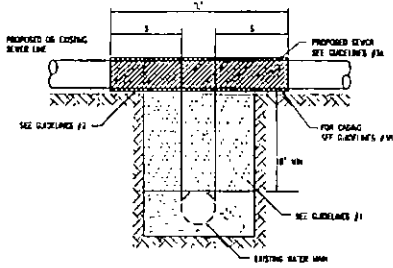
DATE: 02/09/2016
SCALE: 1" = 20 FEET
SHEET NO. 1 OF 1
C-06

WHEN PROPOSED SEWER (OR WATER) IS LOCATED 10 FEET OR MORE FROM EXISTING WATER (OR SEWER), NO SPECIAL CONSTRUCTION REQUIRED. SEE ARTICLE 41-2014 (1)



PROPOSED WATER MAIN **ABOVE** EXISTING SEWER LINE WITH 18" MINIMUM VERTICAL SEPARATION ABOVE EXISTING WATER MAIN

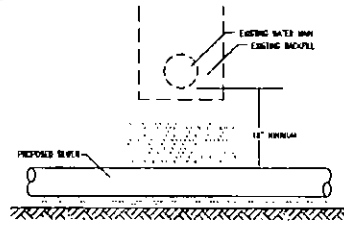
NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4



- GUIDELINES**
1. IF SELECT GRANULAR BACKFILL EXIST, REMOVE WITHIN WIDTH OF PROPOSED SEWER TRENCH AND REPLACE WITH SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT.
 2. IF SELECT GRANULAR BACKFILL EXIST, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH AND REPLACE WITH SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT THE LENGTH OF 12" FEET.
 3. A) CONSTRUCT 12" FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND PRESSURE TEST, OR.
B) USE 12" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.

WATER AND SEWER SEPARATION REQUIREMENTS
VERTICAL SEPARATION
STANDARD DRAWING NO. 10

PROPOSED SEWER LINE **BELOW** EXISTING WATER MAIN WITH 18" MINIMUM VERTICAL SEPARATION

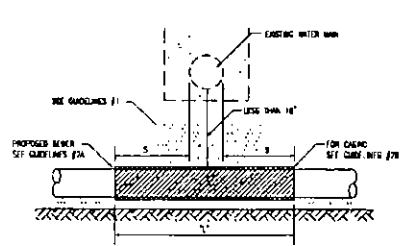


- GUIDELINES**
1. PROVIDE ADEQUATE SUPPORT FOR EXISTING WATER MAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH.

WATER AND SEWER SEPARATION REQUIREMENTS
VERTICAL SEPARATION
STANDARD DRAWING NO. 10

PROPOSED SEWER LINE **BELOW** EXISTING WATER MAIN WITH **LESS THAN 18"** MINIMUM VERTICAL SEPARATION

NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

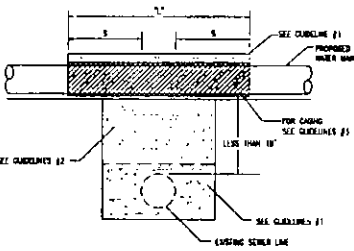


- GUIDELINES**
1. DO NOT SELECT GRANULAR BACKFILL AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF SEWER AND USE SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT FOR 12" FEET ON EACH SIDE OF WATER MAIN.
 2. A) CONSTRUCT 12" FEET OF PROPOSED SEWER OF WATER MAIN MATERIAL AND PRESSURE TEST, OR.
B) USE 12" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED SEWER AND SEAL ENDS OF CASING.
 3. PROVIDE ADEQUATE SUPPORT FOR EXISTING WATER MAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH.

WATER AND SEWER SEPARATION REQUIREMENTS
VERTICAL SEPARATION
STANDARD DRAWING NO. 10

PROPOSED WATER MAIN **ABOVE** EXISTING SEWER LINE WITH **LESS THAN 18"** MINIMUM VERTICAL SEPARATION

NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4

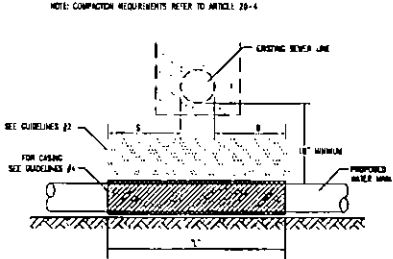


- GUIDELINES**
1. DO NOT SELECT GRANULAR BACKFILL AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF WATER MAIN AND USE SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT THE LENGTH OF 12" FEET.
 2. IF SELECT GRANULAR BACKFILL EXIST, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH AND REPLACE WITH SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT.
 3. USE 12" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED WATER MAIN AND SEAL ENDS OF CASING.
 4. POINT LOADS SHALL NOT BE ALLOWED BETWEEN WATER MAIN CASING AND SEWER.

WATER AND SEWER SEPARATION REQUIREMENTS
VERTICAL SEPARATION
STANDARD DRAWING NO. 10

PROPOSED WATER MAIN **BELOW** EXISTING SEWER LINE WITH 18" MINIMUM VERTICAL SEPARATION

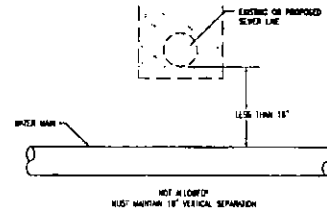
NOTE: COMPACTION REQUIREMENTS REFER TO ARTICLE 20-4



- GUIDELINES**
1. DO NOT SELECT GRANULAR BACKFILL AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF WATER MAIN AND USE SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT THE LENGTH OF 12" FEET.
 2. IF SELECT GRANULAR BACKFILL EXIST, REMOVE WITHIN WIDTH OF EXISTING SEWER LINE TRENCH AND REPLACE WITH SELECT ENHANCED MATERIAL (CLASS #4) AND COMPACT.
 3. PROVIDE ADEQUATE SUPPORT FOR EXISTING SEWER LINE TO PREVENT DAMAGE DUE TO SETTLEMENT.
 4. USE 12" FEET OF WATER MAIN MATERIAL FOR CASING OF PROPOSED WATER MAIN AND SEAL ENDS OF CASING.

WATER AND SEWER SEPARATION REQUIREMENTS
VERTICAL SEPARATION
STANDARD DRAWING NO. 10

PLACEMENT OF WATER MAIN **BELOW** EXISTING OR PROPOSED SEWER LINE WITH **LESS THAN 18"** MINIMUM VERTICAL SEPARATION. NOT ALLOWED



WATER AND SEWER SEPARATION REQUIREMENTS
VERTICAL SEPARATION
STANDARD DRAWING NO. 10

811
Kansas City, MO
Call before you dig

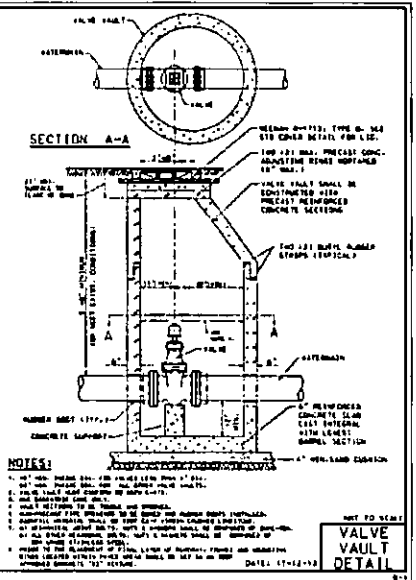
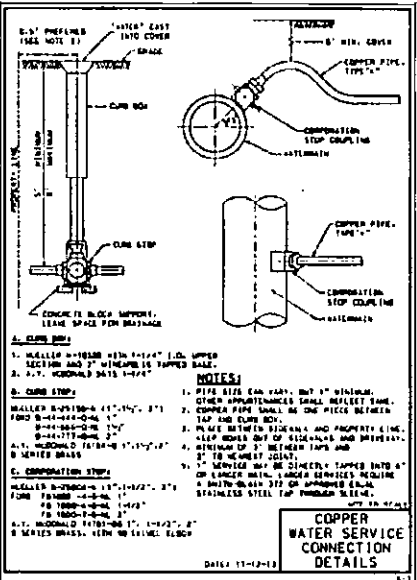
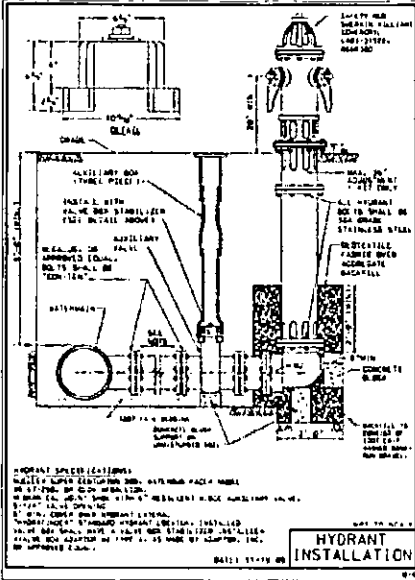
ATWELL
INCORPORATED
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.ATWELLINC.COM

SECTION 34
TOWN OF WORTH, RANGE 8 EAST
ST. CHARLES
KANE COUNTY, ILLINOIS

CITYVIEW SUBDIVISION
WATER AND SEWER SEPARATION
DETAILS

DATE: 08/09/2016
DRAWN BY: SEE SHEET
CHECKED BY:
REVISIONS:
NO. | DATE | DESCRIPTION

SCALE: AS SHOWN
SHEET NO. C-07



811
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ENGINEERS ARCHITECTS INTERIORS

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ST. CHARLES, MO 63105
TEL: 636.225.1111
WWW.ATWELLINC.COM

SECTION 34
TOWN OF NORTH RANGE & EAST
ST. CHARLES
CITY WATER DETAILS

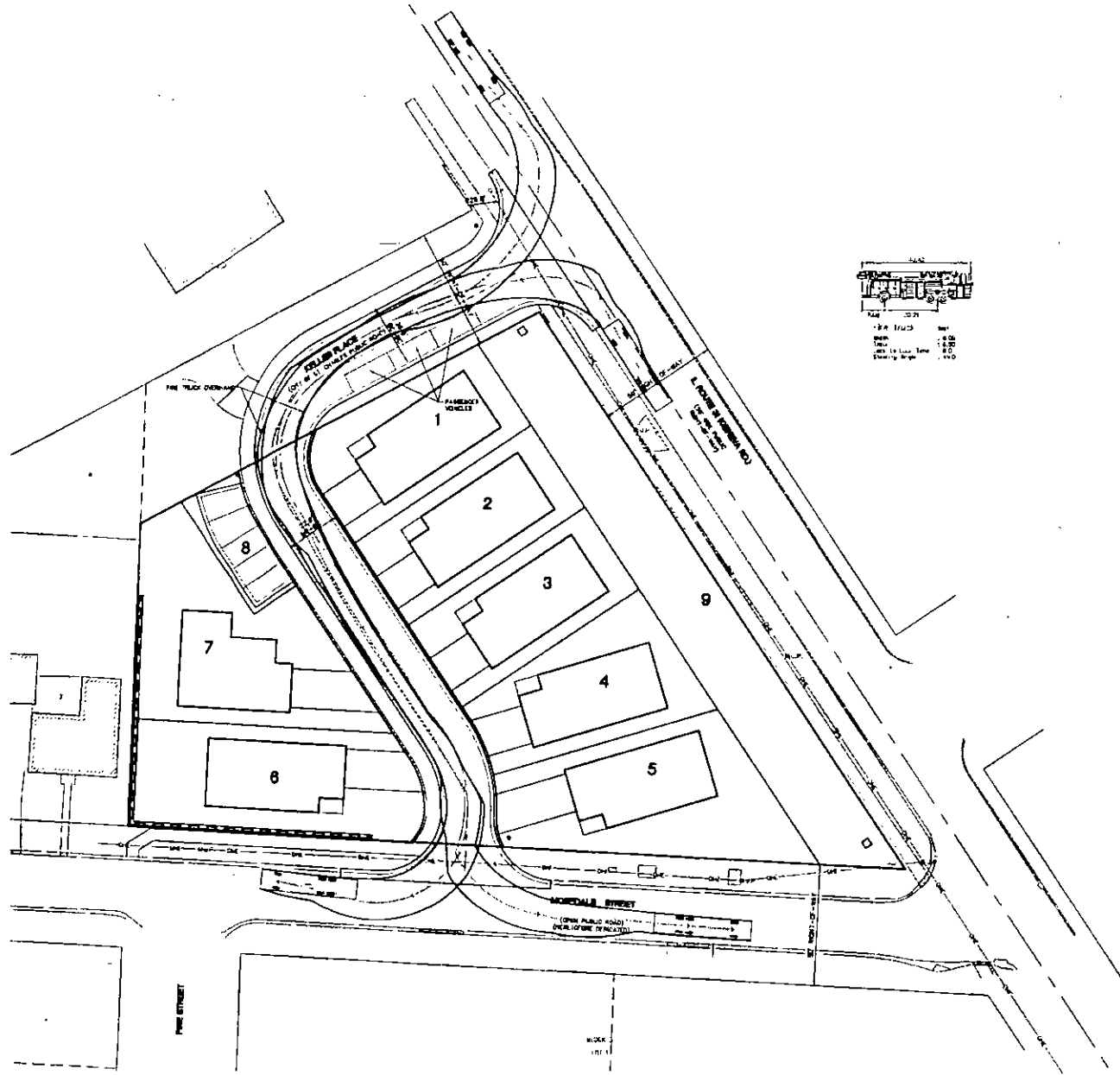
DATE: 08/08/2018

SCALE: AS SHOWN

DR. ROY CH. EL.
P.M. E. LORD

JAN 13/02/23/06

PROJECT NO: C-08



AREA	30.71	ACRES
AREA TRUS		
PERMITS	1,234	
PERMITS IN LAST YEAR	456	
PERMITS IN LAST 5 YEARS	1,234	



Call before you dig
 811
 For more information
 Call 811 or visit
 www.811.com

ATWELL
 1000 S. MAIN ST., SUITE 100
 ST. CHARLES, MO 63105
 TEL: 636.947.2200
 FAX: 636.947.2201
 WWW.ATWELL.COM



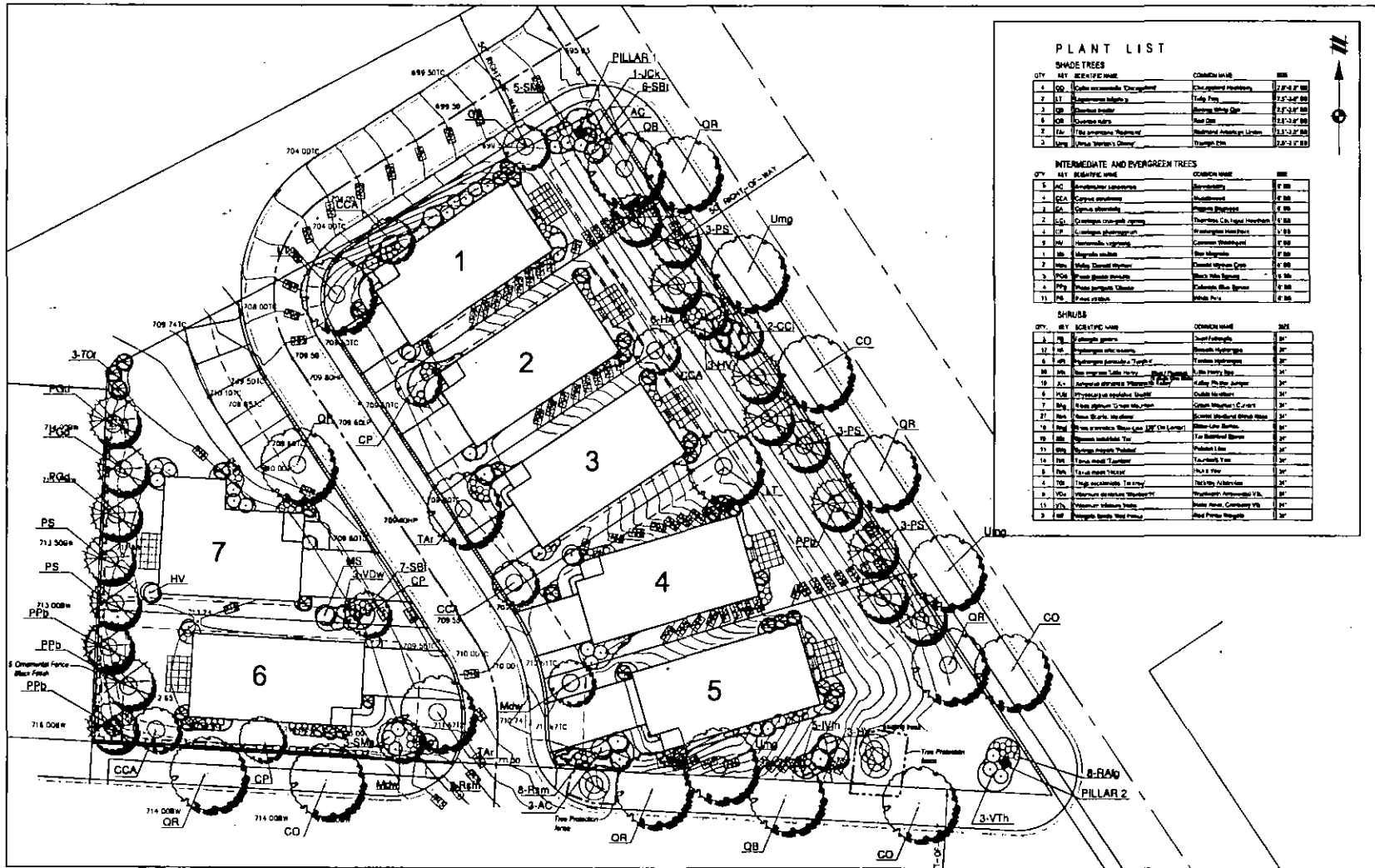
SECTION 34
 TOWN OF NORTH, RANGE 8 EAST
 ST. CHARLES
 4-ME COUNTY, ILLINOIS

CLIENT: DAVID WEDLEY HOMES
 CITYVIEW SUBDIVISION
 FIRE TRUCK TURN EXHIBIT

DATE: 04/04/2018

NO.	DATE	DESCRIPTION

SCALE: 1" = 20 FEET
 DRAWN BY: J. L. LUND
 DATE: 04/04/2018
 JOB: 10002330
 SHEET NO: C-08



PLANT LIST

SHADE TREES

QTY	REV	SCA/TYPIC NAME	COMMON NAME	SIZE
4	00	Cedrus deodara (King cedar)	Chinquapin Redwood	2 1/2' x 2' @ 80'
1	11	Sequoia sempervirens	Tule Tree	2 1/2' x 2' @ 80'
2	00	Quercus agrifolia	Live Oak	2 1/2' x 2' @ 80'
6	00	Quercus agrifolia	Live Oak	2 1/2' x 2' @ 80'
2	10	Thuja occidentalis	Eastern Red Cedar	2 1/2' x 2' @ 80'
2	10	Thuja occidentalis	Eastern Red Cedar	2 1/2' x 2' @ 80'

INTERMEDIATE AND EVERGREEN TREES

QTY	REV	SCA/TYPIC NAME	COMMON NAME	SIZE
1	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'
1	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'
2	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'
1	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'
1	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'
1	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'
1	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'
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1	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'
1	00	Quercus agrifolia	Live Oak	2 1/2' @ 80'

SHRUBS

QTY	REV	SCA/TYPIC NAME	COMMON NAME	SIZE
3	10	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'
1	00	Juniperus procumbens	Ground Juniper	2 1/2'



L-1
Landscape Plan/Tree Preservation Plan
City View
St Charles, Illinois

Revised: August 1, 2015
June 8, 2015



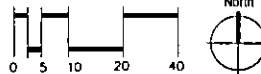
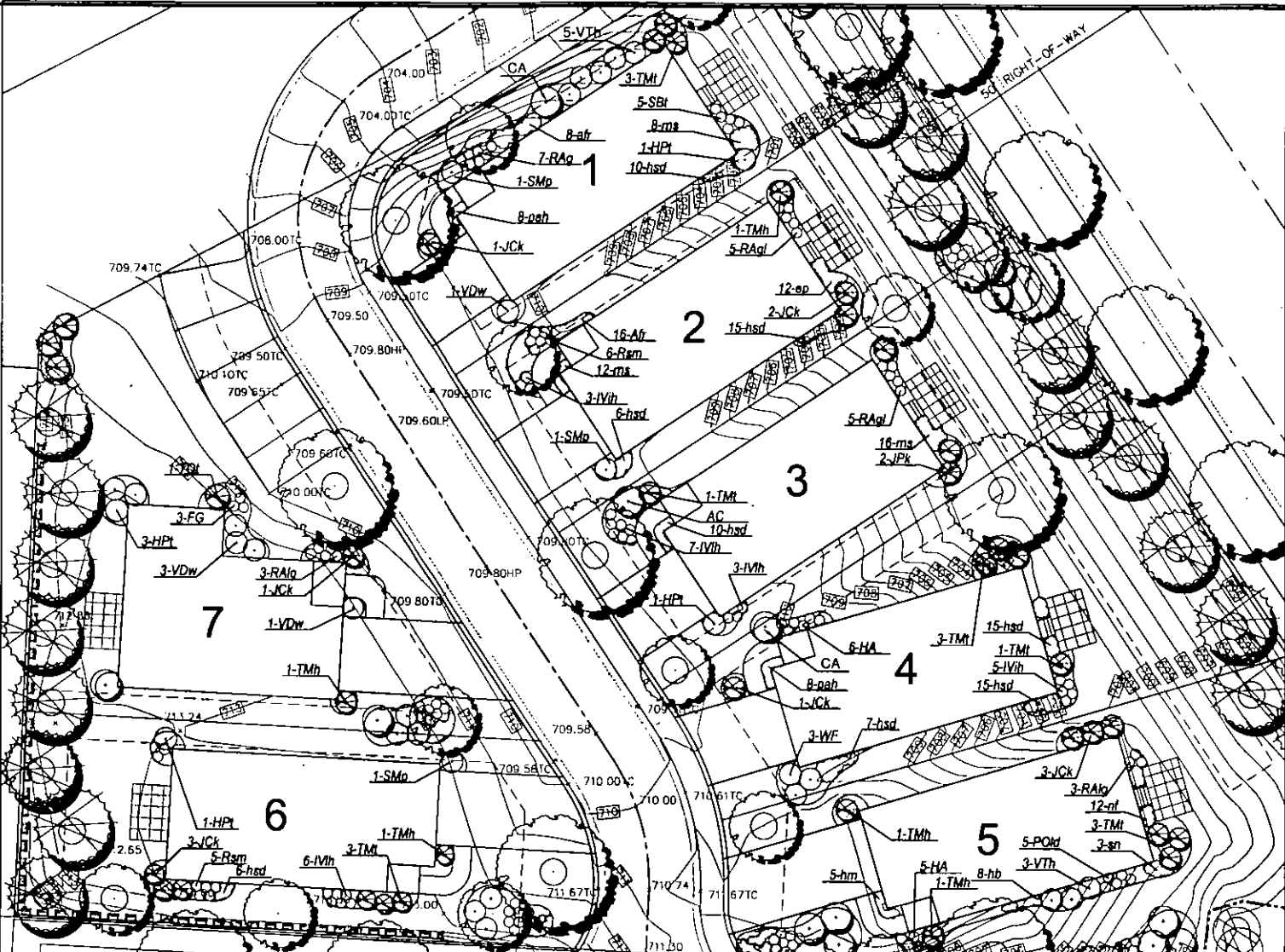
811
Call before you dig.
Digging for utilities is a dangerous activity. Call before you dig to find out where underground utilities are located. This is especially important for gas lines, power lines, and sewer lines. Digging without proper precautions can result in injury, property damage, and even death.



SECTION 34
TOWN OF SAINT CHARLES & EAST
ST. CHARLES
JEFFERSON COUNTY, ILLINOIS

DAVID WESLEY HONES
CITYVIEW SUBDIVISION

NO.	DATE	DESCRIPTION
01	08/08/2015	
02	06/08/2015	
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L-2 Foundation Planting Plan City View St Charles, Illinois

Revised August 1, 2016
June 6, 2016



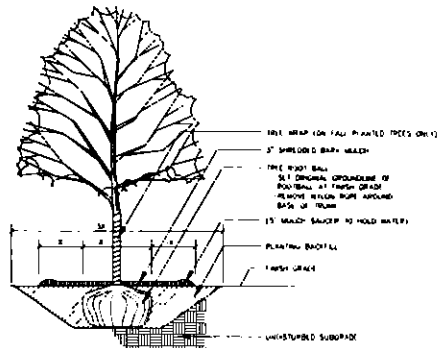
For more details, call us at 618-262-9911
We are a full-service landscape architecture and design firm with over 30 years of experience. Our services include site analysis, conceptual design, master planning, construction documents, and construction administration. We work with residential, commercial, and institutional clients throughout the Midwest region. Our team is passionate about creating beautiful and functional outdoor spaces for our clients.



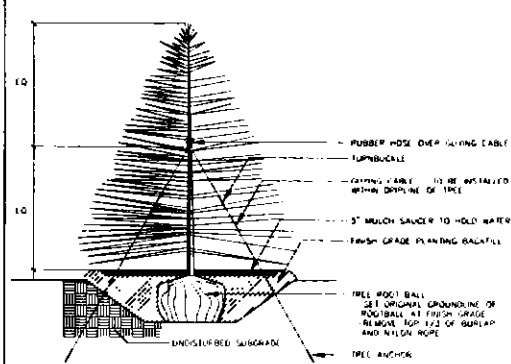
SECTION 34
TOWN OF SAINT CHARLES, ILLINOIS
ST. CHARLES
HANE COUNTY, ILLINOIS

DAVID WRECCLEY HOMES
CITYVIEW SUBDIVISION

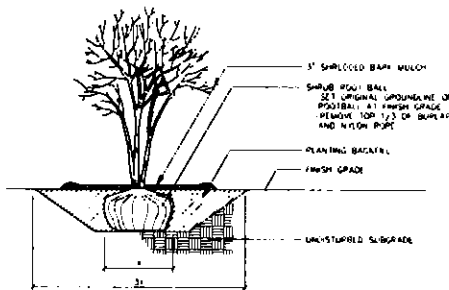
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DATE	06/15/2016
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1 TREE PLANTING DETAIL
SCALE NONE



2 EVERGREEN TREE PLANTING DETAIL
SCALE NONE



3 SHRUB PLANTING DETAIL
SCALE NONE

PLANT LIST

SHADE TREES

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	WUC
4	CU	Fraxinus pennsylvanica	Greenleafed Redburn	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Liquidambar styraciflua	Black Gum	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11

INTERMEDIATE AND EVERGREEN TREES

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	WUC
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11

SHRUBS

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	WUC
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11

PERENNIALS AND GROUNDCOVER

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	WUC
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11
4	CU	Thuja occidentalis	Eastern White Pine	2, 3, 10, 11



David Wisniewski & Partners

L-3
Landscape Details
City View
St Charles, Illinois

Revised August 1, 2016
June 8, 2016



811

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1115 SOUTH CHARLES STREET
ST. CHARLES, ILLINOIS 62206
TEL: 618.326.2500
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SECTION 34

TOWN OF NORTH CHARLES EAST
ST. CHARLES
KANE COUNTY, ILLINOIS

DAVID WISNIEWSKI & PARTNERS
Landscape Architects
CITYVIEW SUBDIVISION

DATE: 06/08/2016
DATE: 06/01/2016

TOTAL

NO.	QUANTITY	UNIT	PRICE

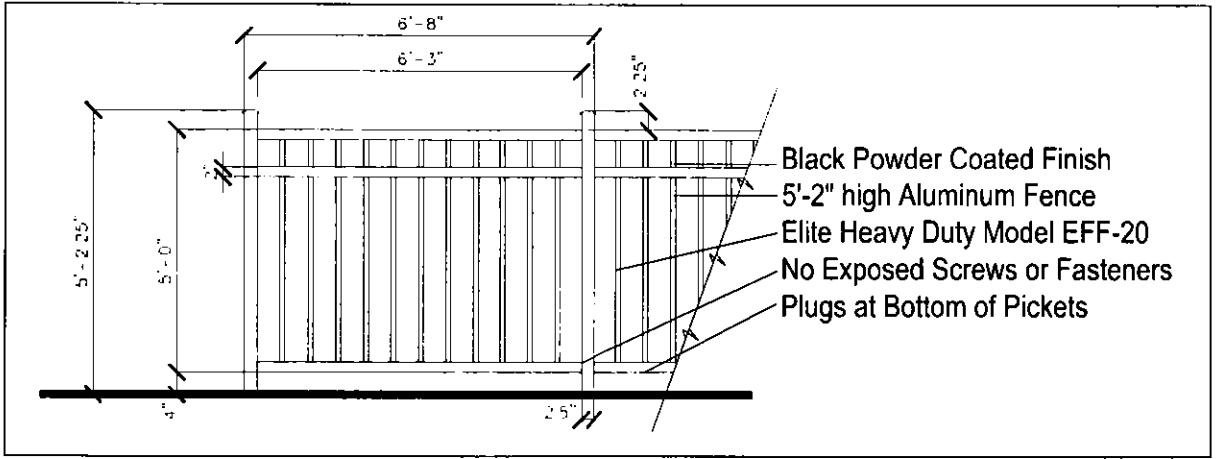
TOTAL

NO.

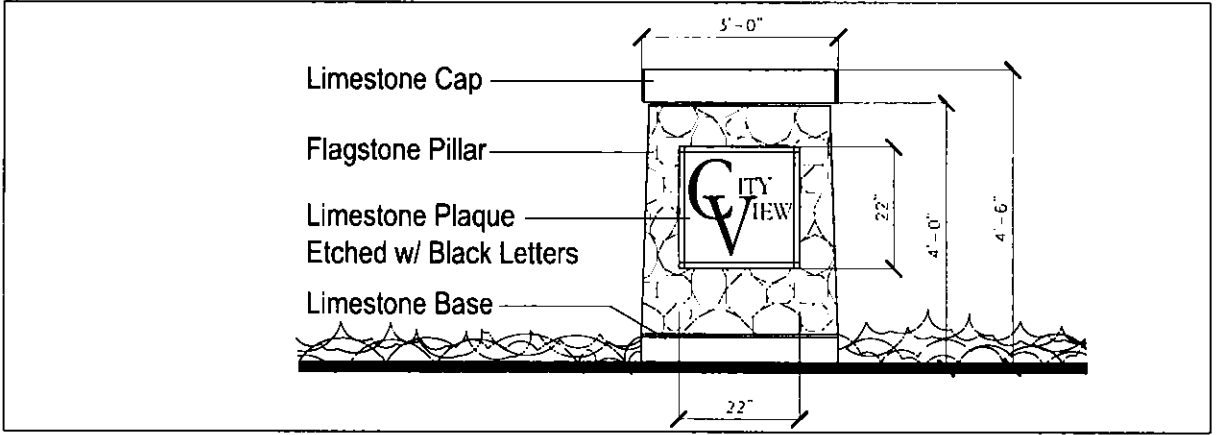
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UNIT

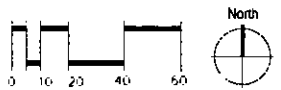
PRICE



Fence Detail



Identification Pillar



David Woodley Homes

L-4
Landscape Plan

City View
St Charles, Illinois

Revised August 1, 2016
June 8, 2016



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SECTION 34
TOWN OF NORTH RANGE & EAST
ST. CHARLES
KANE COUNTY, ILLINOIS

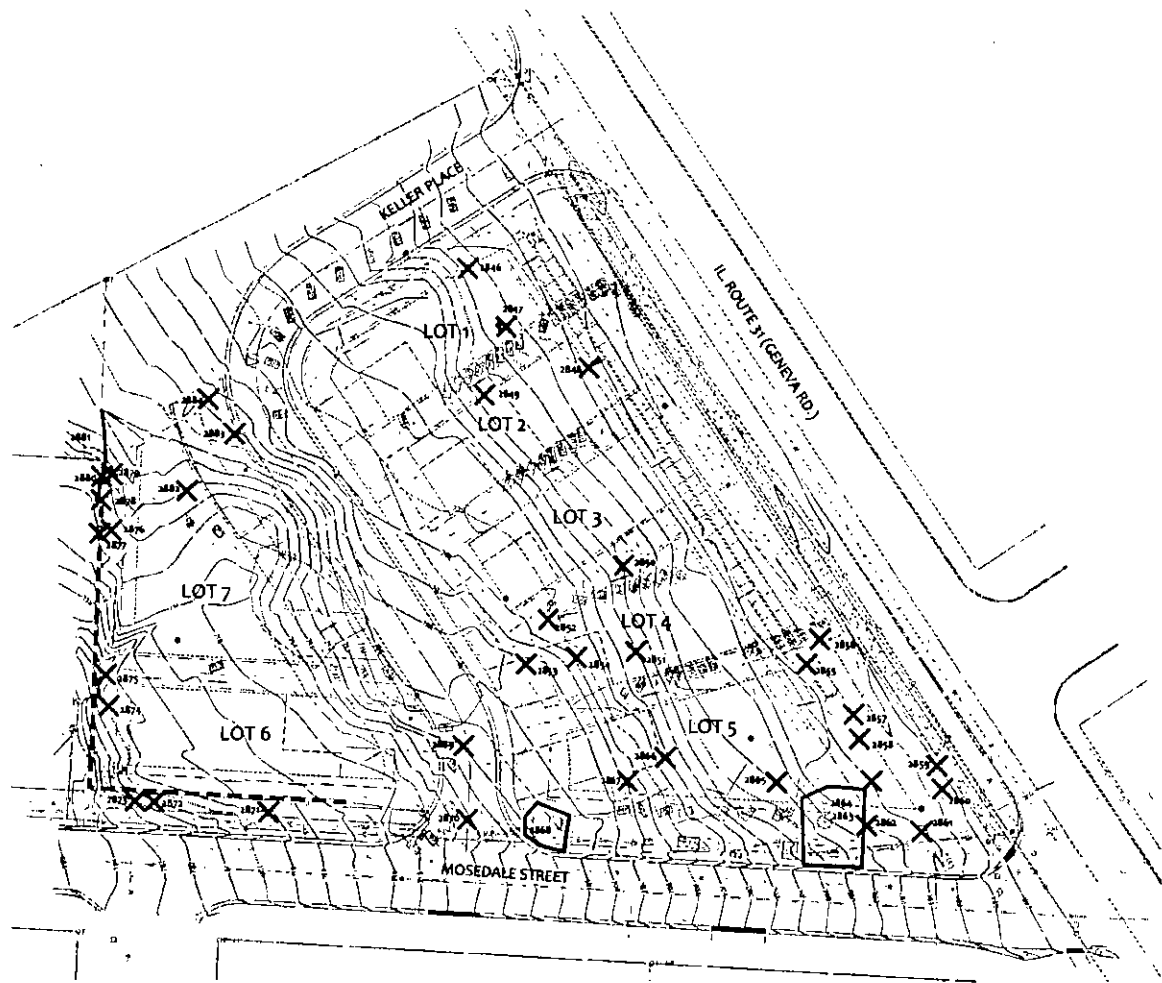
CLIENT
DAVID WOODLEY HOMES
CITYVIEW SUBDIVISION

DATE
08/04/2016
08/01/2016

SCALE
AS SHOWN

BY
DL
OK
RS

BOOK
JOB
15007338
SHEET NO.
L-3



- TREE REMOVAL NOTES:**
1. TREE REMOVAL SHALL BE PREPARED BY A CERTIFIED ARBORIST, LICENCED AND BONDED WITHIN THE MUNICIPALITY.
 2. TREE REMOVAL CONTRACTOR IS RESPONSIBLE FOR LOCATION AND PROTECTION OF UNDERGROUND UTILITIES IN AREAS WHERE STUMPS ARE TO BE GROUND AND REMOVED.
 3. TREE REMOVAL CONTRACTOR IS RESPONSIBLE TO PROTECT ALL OVERHEAD UTILITIES DURING REMOVAL.
 4. TREE REMOVAL SHALL BE CONDUCTED IN A MANNER THAT PROTECTS ALL SURROUNDING STRUCTURES AND PRESERVED TREES FROM DAMAGE. TREES SHALL BE CUT DOWN, AND STUMPS GROUND. AT NO TIME SHALL VEGETATION BE FORCIBLY REMOVED IN SUCH A MANNER THAT WOULD DAMAGE THE ROOT SYSTEM OR SURROUNDING VEGETATION.

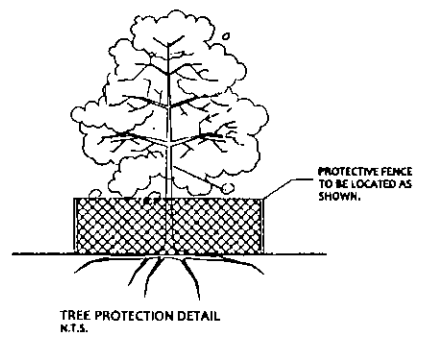
SYMBOL KEY

X Tree to be removed

(---) protective fencing (Approx. 190 L.F.)

ID#	Spa.	Tree	Scientific name	Ht.	Comments	Action
2842	21	Green Ash	Fraxinus pennsylvanica	6' - 8' EAB		Remove
2847	12	Green Ash	Fraxinus pennsylvanica	6' - 8' EAB		Remove
2848	28	Red Maple	Acer rubrum	3' - 4' EAB		Remove
2849	22	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2848	22	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2851	29	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2852	9	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2853	8	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2854	6	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2855	26	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2856	14	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2857	24	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2858	20	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2859	9	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2860	10	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2861	10	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2862	10	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2863	15	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2864	14	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2865	20	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2866	20	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2867	20	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2868	10	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2869	17	Black Walnut	Juglans nigra	3' - 4' EAB		Remove
2870	22	Red Maple	Acer rubrum	3' - 4' EAB		Remove
2871	19	Red Maple	Acer rubrum	3' - 4' EAB		Remove
2872	9	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2873	9	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2874	11	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2875	12	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2876	10	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2877	14	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2878	6	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2879	10	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2880	23	Red Maple	Acer rubrum	3' - 4' EAB		Remove
2881	17	Red Maple	Acer rubrum	3' - 4' EAB		Remove
2882	10	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2883	17	Black Maple	Acer glabrum	3' - 4' EAB		Remove
2884	22	Black Maple	Acer glabrum	3' - 4' EAB		Remove

- TREE PRESERVATION NOTES:**
1. ALL GRADING AND CONSTRUCTION EQUIPMENT SHALL BE RESTRICTED WITHIN THE PROTECTION FENCE OF A TREE. NO EXCESS SOIL, ADDITIONAL FILL, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OF ANY TREE THAT IS REQUIRED TO BE PRESERVED.
 2. CRUSHED LIMESTONE HYDROCARBONS AND OTHER MATERIALS DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE ROOT ZONE OF ANY TREE NOR AT ANY HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREE COULD CONCEIVABLY EFFECT THE HEALTH OF THE TREE.
 3. APPROPRIATE PROTECTIVE FENCING SHALL BE TEMPORARILY INSTALLED FOR PROTECTION OF PRESERVED TREES AS SHOWN.
 4. ALL REQUIRED PROTECTIVE FENCING MUST BE IN PLACE BEFORE A BUILDING PERMIT WILL BE ISSUED. THE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD. ALL FENCING MUST BE SECURED TO METAL POSTS DRIVEN INTO THE GROUND SPACED NO FURTHER THAN 6 FEET APART.
 5. NO ATTACHMENTS, FENCES OR WIRES, OTHER THAN APPROVED MATERIALS FOR BRACING, GUYING OR WRAPPING SHALL BE ATTACHED TO ANY VEGETATION DURING THE CONSTRUCTION PERIOD.
 6. DURING CONSTRUCTION, ALL REASONABLE STEPS NECESSARY TO PREVENT THE DESTRUCTION OR DAMAGING OF TREES (OTHER THAN THOSE SPECIFIED TO BE REMOVED) SHALL BE TAKEN.
 7. NO SOIL IS TO BE REMOVED FROM WITHIN THE PROTECTION FENCE OF ANY TREE THAT IS TO REMAIN.

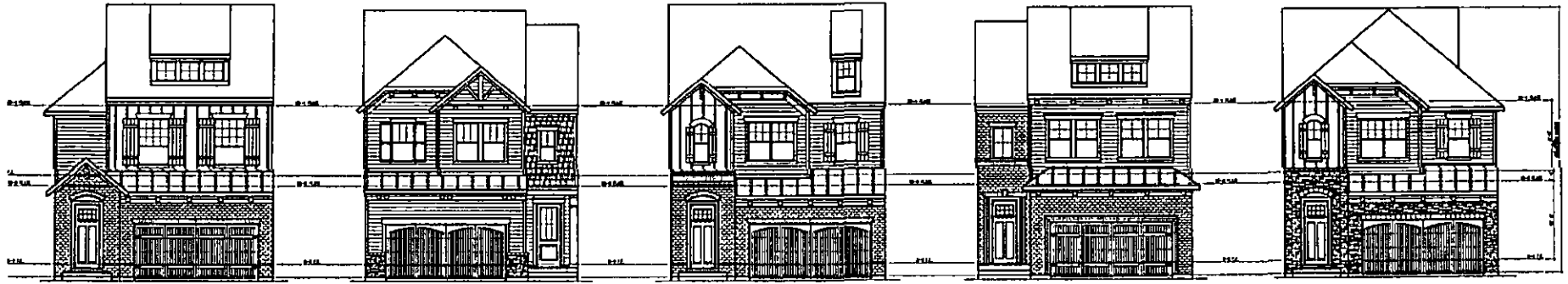


KROGSTAD LAND DEVELOPMENT
 LAND DEVELOPMENT LIMITED
 10000 KENNEDY ROAD, SUITE 100
 KENNESAW, GA 30144
 (770) 424-1100

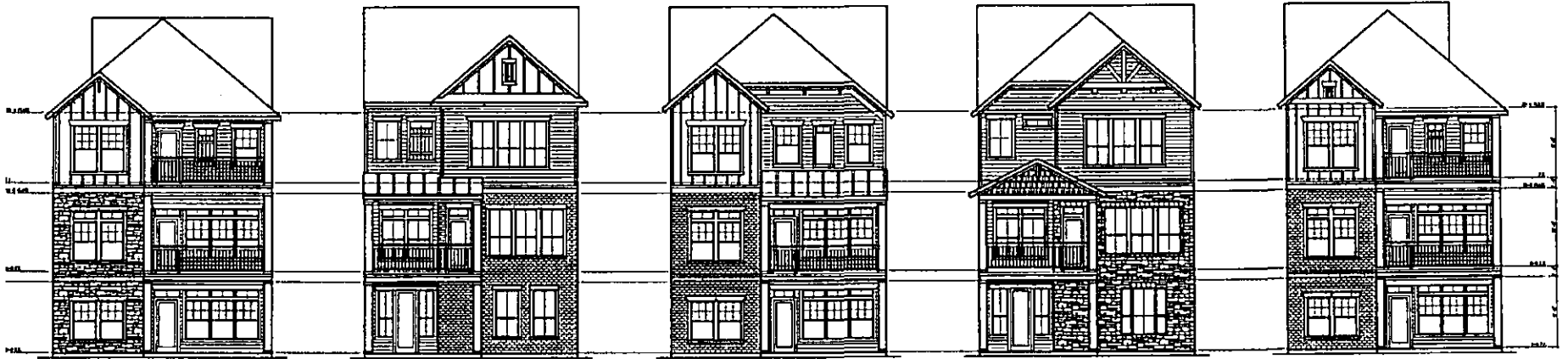
Cityview, St Charles, IL
David Weekley Homes
TREE PRESERVATION PLAN

REVISIONS

DATE 04/24/16
 PROJECT DWH1607
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 SHEET NO. 1 OF 1



front ELEVATION



rear ELEVATION

KANE COUNTY, IL

CityView

David Weekley Homes

EXHIBIT "E"

PUD DEVIATIONS

Table 17.12-2 Residential District Bulk Requirements - RT-2 District	
Minimum Lot Area	3,561 sq. ft. (Lots 2 & 3) and as shown on the PUD Preliminary Plan.
Minimum Lot Width	30.29 ft. (Lot 5) and as shown on the PUD Preliminary Plan
Maximum Building Coverage	55% (based on building setbacks as shown on the PUD Preliminary Plan, however with a 0 ft. rear setback for Lots 1-5)
Minimum Front Yard	19 ft.
Minimum Interior Side Yard	6 ft.
Minimum Exterior Side Yard	6 ft.
Minimum Rear Yard	15 ft. (Lots 6 & 7) 0 ft. (Lots 1-5)
Table 17.28-1 Permitted Signs for Residential Districts (RE, RS, RT, RM)	
Development Identification Signs	2 signs permitted per design shown on the PUD Preliminary Plan
Section 17.26.110 Retaining Walls	
17.26.110.C Retaining Walls over 4 ft. in height	A terrace or stepping back of the retaining wall to allow for a planting area shall not be required. A decorative aluminum fence shall be installed along the retaining wall, as shown on the PUD Preliminary Plan.
Section 17.22.020 Accessory Buildings and Structures	
17.22.020.B.5	The width of attached garage doors facing a street may exceed 50% of the width of the dwelling, including the garage door, as measured along the front building line that it faces, as shown on the PUD Preliminary Plan.
17.22.020.B.6	Attached garages do not need to be setback back from the front lot line 5 ft. more than the remainder of the dwelling or front porch.

State of Illinois)
)
) ss.
Counties of Kane and DuPage)

Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

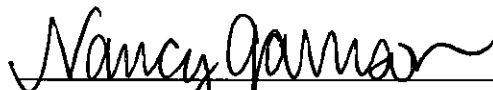
I further certify that on August 15, 2016, the Corporate Authorities of such municipality passed and approved Ordinance No. 2016-Z-15, entitled

"Motion to approve an Ordinance Granting Approval of
a Map Amendment, special Use for Planned Unit
Development and PUD Preliminary Plan for 895
Geneva Road (Cityview PUD)."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2016-Z-15, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on August 20, 2016, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 15th day of August, 2016.



Municipal Clerk





AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3b

Title:	Recommendation to Approve a Corridor Improvement Grant for 423 S. Second Street (Ryan Corcoran – Corcoran Commercial Real Estate)
Presenter:	Matthew O'Rourke

Meeting: Planning & Development Committee Date: March 12, 2018

Proposed Cost: \$9,050.00	Budgeted Amount: \$20,000 (CIC Program Budget)	Not Budgeted: <input type="checkbox"/>
---------------------------	--	--

Executive Summary *(if not budgeted please explain):*

Ryan Corcoran, representing Corcoran Commercial Real Estate, has purchased the property located at 423 S. Second Street, to occupy as their new office location. They are applying for a Corridor Improvement Grant for landscape improvements on this property. The applicant is proposing to install new landscape and hardscape features along S. Second (Rt. 31) and Prairie Street to add more visual interest and soften the building appearance from the public right-of-ways. The wooden pergola structure shown on the plans is not eligible for grant funding and not included in the proposed grant amount.

The Corridor Improvement Commission reviewed the design and grant proposal at their 3/7/2018 meeting, and recommended approval of the grant. The vote was 5-Aye to 0-Nay. The total cost of the proposed eligible improvements is \$18,100.00 and the City's share of the total project cost will be a maximum of \$9,050.00.

Attachments *(please list):*

Draft Corridor Improvement Grant Agreement

Recommendation/Suggested Action *(briefly explain):*

Recommendation to approve a Corridor Improvement Grant for 423 S. Second Street (Ryan Corcoran – Corcoran Commercial Real Estate)

City of St. Charles
CORRIDOR IMPROVEMENT AGREEMENT

423 S. Second Street
Ryan Corcoran (Corcoran Commercial Real Estate)

THIS AGREEMENT, entered into this 19th day of March 2018, as authorized by Resolution No. _____ and approved by the City Council on March 19th, 2018, between the City of St. Charles, Illinois (hereinafter referred to as "CITY") and the following designated APPLICANT, to wit:

APPLICANT Name: **Ryan Corcoran, Corcoran Commercial Real Estate**

Address of Property to be Improved: **423 S. Second Street**

PIN Number(s): **09-34-131-019**

Property Owner's Name: **Ryan Corcoran, Corcoran Commercial Real Estate**

WITNESSETH:

WHEREAS, the CITY has established a **Corridor Improvement Program** to provide matching grants for landscaping and related improvements within the Randall Road, Main Street, Kirk Road, Lincoln Hwy, Special Service Tax District SSA-1B, and Specified Gateway corridors of the CITY; and

WHEREAS, Ryan Corcoran, APPLICANT(S), desires to install landscaping and related improvements to the above-described property that are eligible for reimbursement under the Corridor Improvement Program; and

WHEREAS, said Corridor Improvement Program is administered by the CITY with the advice of the Corridor Improvement Commission and is funded from the general fund for the purposes of improving the aesthetics of the commercial corridors of the CITY and preventing blight and deterioration; and

WHEREAS, the above-described property for which the APPLICANT seeks a grant is located within the area eligible for participation in the Corridor Improvement Program.

NOW, THEREFORE, in consideration of the mutual covenants and agreements obtained

herein, the CITY and the APPLICANT do hereby agree as follows:

SECTION 1: The APPLICANT understands and agrees that only the cost of eligible improvements located east of the right-of-way on parcels with the following PIN(s) 09-34-131-019 and landscape design fees associated with those improvements, shall be considered reimbursable as shown in Exhibit II and Exhibit III. The CITY will reimburse the APPLICANT up to \$9,050.00 of the cost of materials to install landscaping and related improvements in accordance with the approved plans, specifications and cost estimates attached hereto as Exhibit “II” (the “Improvements”), but in no event more than the maximum amounts as defined below:

Landscape Improvements Cost: \$18,100.00	City’s Share @ 50% up to a maximum of \$9,050.00
Total Project Cost: \$18,100.00	City’s Share up to a maximum of \$9,050.00

Labor by the APPLICANT (“sweat equity”) is not a reimbursable expense. All Improvements shall be installed in accordance with Exhibit I, subject to minor revisions as may be approved by a representative of the Corridor Improvement Commission due to availability of landscape plants, field conditions not known at the time of design, and similar circumstances beyond the APPLICANT’s control.

SECTION 2: The Director of Community & Economic Development, or designee, shall inspect the Improvements installed pursuant to this Agreement. Such inspection shall not replace any required permit inspections by the CITY. All work that is not in conformance with the approved plans and specifications shall be remedied by the APPLICANT and deficient or improper work shall be replaced and made to comply with the approved plans and specifications and the terms of this Agreement.

SECTION 3: Upon completion of the Improvements and upon their final inspection and approval by the Director of Community & Economic Development, or designee, the APPLICANT shall submit to the CITY a properly executed and notarized contractor statement showing the full cost of the Improvements as well as each separate component amount due to the contractor and each

and every subcontractor involved in furnishing labor, materials or equipment in the work. In addition, the APPLICANT shall submit to the CITY proof of payment of the contract cost pursuant to the contractor's statement and final lien waivers from all contractors and subcontractors. The CITY shall, within thirty (30) days of receipt of the contractor's statement, proof of payment and lien waivers, the landscape architect's statement, and "before" and "after" pictures of the property, reimburse the APPLICANT for the 50% of the actual construction and materials cost or the maximum amount specified in this Agreement, whichever is less, and for 75% of the landscape designer's fee or the maximum amount specified in this Agreement, whichever is less.

At its sole discretion, CITY may reimburse APPLICANT in two payments. The first reimbursement may be made only

- 1) upon completion of Improvements representing 40% or more of the maximum reimbursement specified in Section 1 hereof and,
- 2) upon receipt by CITY of the landscape designer's invoices, contractor's statements, proof of payment and notarized final lien waivers for the completed Improvements and,
- 3) upon a determination by the Director of Community & Economic Development, or designee, that the remainder of the Improvements are expected to be delayed for thirty days or more following completion of the initial work due to weather, availability of materials, or other circumstances beyond the control of the APPLICANT. The second, final reimbursement payment shall be made by CITY only upon submittal of all necessary documents as described herein.

SECTION 4: All Improvements must be completed within 270 days after the approval of this Agreement by the City Council, unless otherwise authorized by the CITY. Extensions may be approved by the Director of Community Development, prior to the expiration of the said 270 days. Projects which have not received an extension and have not been completed within 270 days will not receive funding.

SECTION 5: If the APPLICANT or his contractor fails to complete the Improvements provided for herein in conformity with the approved plans and specifications and the terms of this Agreement, then upon written notice being given by the Director of Community & Economic Development to the APPLICANT, by certified mail to the address listed above, this Agreement shall

terminate and the financial obligation on the part of the CITY shall cease and become null and void.

SECTION 6: Upon completion of the Improvements pursuant to this Agreement and for a period of five (5) years thereafter, the APPLICANT shall be responsible for properly maintaining such Improvements in finished form and without change or alteration thereto, as provided in this Agreement, and for the said period of five (5) years following completion of the construction thereof, the APPLICANT shall not enter into any Agreement or contract or take any other steps to alter, change or remove such Improvements, or the approved design thereof, nor shall APPLICANT undertake any other changes, by contract or otherwise, to the Improvements provided for in this Agreement unless such changes are first approved by the Corridor Improvement Commission. Such approval shall not be unreasonably withheld if the proposed changes do not substantially alter the original design concept of the Improvements as specified in the plans, design drawings and specifications approved pursuant to this Agreement.

If within the 5-year maintenance period plant materials are damaged by automobiles, wildlife, acts of nature, or stolen or any other cause, the APPLICANT shall install and pay for replacements.

OWNER agrees to provide regular maintenance of the property for a minimum of five years following completion of construction in a condition that is weed free, properly edged and mulched as specified in the original design, and maintained with the same type and quantity of plant material initially installed, unless a modification to the plan is approved by the Corridor Improvement Commission.

In the event of inadequate maintenance, the CITY shall give the owner reasonable notice of conditions to be corrected. In the event that substandard maintenance still exists after thirty (30) days, OWNER shall repay the CITY all grant funds received pursuant to this Agreement and pay all costs and fees, including attorney fees, of any legal action taken to enforce the maintenance of the Improvements.

SECTION 7: The APPLICANT covenants and agrees to indemnify and hold harmless the CITY and its officials, officers, employees and agents from and against, any and all losses, claims, damages, liabilities or expenses, of every conceivable kind, character and nature whatsoever arising

out of, resulting from or in any way connected with directly or indirectly with the Corridor Improvement(s) which are the subject of this Agreement, including but not limited to actions arising from the Prevailing Wage Act (820 ILCS 30/0.01 et seq.) The APPLICANT further covenants and agrees to pay for or reimburse the CITY and its officials, officers, employees and agents for any and all costs, reasonable attorneys' fees, liabilities or expenses incurred in connection with investigating, defending against or otherwise in connection with any such losses, claims, damages, liabilities, or causes of action. The CITY shall have the right to select legal counsel and to approve any settlement in connection with such losses, claims, damages, liabilities, or causes of action. The provisions of this section shall survive the completion of said Corridor improvement(s).

SECTION 8: Nothing herein is intended to limit, restrict or prohibit the APPLICANT from undertaking any other work in or about the subject premises, which is unrelated to the Improvements provided for in this Agreement.

SECTION 9: This Agreement shall be binding upon the CITY and upon the APPLICANT and its successors and assigns with respect to the property on which the Improvements are installed, for a period of five (5) years from and after the date of completion and approval of the Corridor improvement provided for herein. It shall be the responsibility of the APPLICANT to inform subsequent owners and lessees of the provisions of this Agreement.

IN WITNESS THEREOF, the parties hereto have executed this Agreement on the date first appearing above.

APPLICANT

PROPERTY OWNER
(if different from APPLICANT)

CITY OF ST. CHARLES: _____

Mayor

ATTEST: _____

City Clerk

Applicant contact information:

Phone: _____

Fax: _____

Email: _____

Property Owner's information, if different than applicant:

Phone: _____

Fax: _____

Email: _____

Exhibit I

The Corridor Improvement Grant Program will reimburse property owners for design consultant fees according to which of the three grant programs the property owner has applied for:

Corridor & Downtown Grants

Corridor Grants are chosen each year by the Corridor Improvement Commission and approved by the City Council. The grant recipient will pay for the first 25% of the design cost and the grant would pay up to a cap amount based upon linear footage of the property along the Corridor Roadway (Main, Kirk, Lincoln Highway, or Randall, SSA1B); as noted in the chart below:

Grant Funding for Design of Corridor Grants		
Linear Footage of Property on a Corridor Roadway (Main, Kirk, Randall, SSA1B)	Owner Pays	Commission will Pay
< 200 feet	First 25% of Total design Costs	Up to \$2,000
201 – 500 feet	First 25% of Total design Cost	Up to \$3,000
501 + feet	First 25% of Total design Cost	Up to \$4,000

Four Season Grants

The Corridor Improvement Program does not pay for design services. These grants provide up to \$1,000 for soil, labor, plant materials and mulch.

Exhibit IV
Agreement to Engage in Maintenance for Five Years

OWNER agrees to maintain the property in a condition substantially similar to the condition prevalent when final inspection is made by the City's Landscape Architect Consultant and approval is granted by the City's Community & Economic Development Director for a period of at least five (5) years. The property will remain weed free, properly edged and mulched, as specified in the original design, and maintained at a minimum with the same type and quantity of plan material initially installed unless a modification to the plan is brought to and agreed upon by the Commission.

In the event of substandard maintenance, the CITY shall give the owner reasonable notice of conditions to be corrected within thirty (30) days. In the event that substandard maintenance still exists, OWNER agrees to repay the CITY the monies initially allocated to the OWNER by the CITY and to pay all costs and fees, including attorney fees, of any legal action taken to enforce this maintenance agreement.



B&L Landscape Contractors LLC
 25 S 13th Ave
 St. Charles, IL 60174
 630-377-2700

Exhibit II

Estimate

Date	Estimate #
3/8/2018	449

Name / Address
Ryan Corcoran Complex Management 409 Illinois Ave. Suite 1D St. Charles, IL 60174

Project
423 S 2nd Street

Item	Description	Price	Qty	Total
01	Office Landscape: - Install New Plantings (1) Rivers Purple Weeping Beech / 2.5 - 3" (1) Weeping Norway Spruce / 4 - 5 ft. (6) Low Growing Blue Juniper / 5 gal. (3) Knock Out Rose / 3 gal. (70) Burgundy Bunny Dwarf Fountain Grass / 1 gal. - Granite Chips Decorative Gravel Mulch (All Planting Areas) - Landscape Fabric Under All Gravel Mulch Areas - Decorative Boulder Accents (10-12 Tons)	7,500.00	1	7,500.00
01	Rear Patio Area - Cut & Remove Asphalt as required	4,000.00	1	4,000.00
01	- Install Unlock Brussels Dimensional Pillar w/ LedgeStone Pillar Cap for Pergola Note: Paver Colors - TBD	2,750.00	1	2,750.00
01	Patio Planters: - Supply & Install (6) Toscana 39" Rectangular Planter w/ Planting Media - Install (12) Shenandoah Grasses Note: No Warranty on Plant Material in Planters	3,850.00	1	3,850.00
01	Install Pergola - (Prices varies based on materials/design/add ons) (Range: \$5000-\$10000)	0.00		0.00
		Total		\$18,100.00

2- KNOCK OUT ROSE

1 - WEEPING NORWAY SPRUCE

BURGUNDY BUNNY DWF. FTN. GRASS

BRICK PILLAR W/ CAP

12- GREEN MTN. BOXWOOD / PLANTERS

PERGULA TYPE

BRICK PAVER PATIO AREA

KNOCK OUT ROSE

BURGUNDY BUNNY DWF. FTN. GRASS

BURGUNDY BUNNY DWF. FTN. GRASS

PLANTER W/ ANNUAL ACCENT

6 - LOW GROWING BLUE JUNIPER

DECORATIVE BOULDER ACCENT TYPE

RIVERS PURPLE BEECH

CORCORAN OFFICE
CONCEPT LANDSCAPE PLAN
FEBRUARY - 2018
B&L LANDSCAPING / MP







Exhibit IV
Agreement to Engage in Maintenance for Five Years

OWNER agrees to maintain the property in a condition substantially similar to the condition prevalent when final inspection is made by the City's Landscape Architect Consultant and approval is granted by the City's Community & Economic Development Director for a period of at least five (5) years. The property will remain weed free, properly edged and mulched, as specified in the original design, and maintained at a minimum with the same type and quantity of plan material initially installed unless a modification to the plan is brought to and agreed upon by the Commission.

In the event of substandard maintenance, the CITY shall give the owner reasonable notice of conditions to be corrected within thirty (30) days. In the event that substandard maintenance still exists, OWNER agrees to repay the CITY the monies initially allocated to the OWNER by the CITY and to pay all costs and fees, including attorney fees, of any legal action taken to enforce this maintenance agreement.



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3c

Title:	Plan Commission recommendation to approve a Preliminary Plan for First Street Building #3 Streetscape and Riverwalk Design
Presenter:	Russell Colby

Meeting: Planning & Development Committee

Date: March 12, 2018

Proposed Cost: TBD

Budgeted Amount: \$362,500
(per the First Street Redev. Agrmt.)

Not Budgeted:

First Street Building #3 (Sterling Bank building) is currently under construction. Per the Redevelopment Agreement for the project, the City is to design and fund the installation of pedestrian streetscape and riverwalk improvements adjacent to Building #3 upon completion of the building this spring. The developer, First Street Development II, LLC, has the right to construct these improvements per a plan approved by the City, within a range of cost identified in the RDA.

Staff presented a conceptual layout for feedback in October 2017. Preliminary/Final Plans have been prepared based on the feedback received from Plan Commission and City Council Committee. The plan is similar to the conceptual plan, but the layout has been further refined and engineered.

Staff is currently reviewing the plan. Initial staff comments are attached. The developer is working on obtaining cost estimates for the project. Based on cost estimates and any further staff comments, details in the plans may be modified prior to presentation to City Council. The overall layout and features of the plan are not expected to change.

Plan Commission recommendation

Plan Commission reviewed the plan on 3/6/18. Commissioners offered positive comments regarding the layout. Some members again expressed an interest in a crosswalk at Illinois Street. There were suggestions provided regarding increasing the number of trees and shrubs in the planters. Staff is reviewing some suggestions regarding construction details for the railings and drainage. The plan was recommend for approval, 8-0.

Illinois Street crossing:

WBK prepared an analysis of a potential pedestrian crossing of Illinois St. to connect to the Bob Leonard walk to the south. In short, the analysis found that site distance is adequate to allow for a crossing, but gaps in traffic were inadequate for allowing a crossing without some further control (such as signage, lights or beacons, or a refuge island). The lane configuration may also need to be modified.

With respect to this project, it was determined that an ADA compliant ramp could be accommodated on the north side of Illinois Street if desired. However, the scope of improvements needed for the Illinois crossing is outside of the scope of this project, and would require further review and consideration by the Public Works and Police Departments. Staff is seeking direction from the Committee if there is an interest in pursuing further discussion of the crossing.

Attachments *(please list):*

Plan Commission Resolution; Staff comments; Memo regarding Illinois St. ped. crossing; Plans

Recommendation/Suggested Action *(briefly explain):*

- Plan Commission recommendation to approve a Preliminary Plan for First Street Building #3 Streetscape and Riverwalk Design. (At the time City Council presentation, information on the final estimated cost and any revisions will be presented.)
- Provide direction on whether to continue discussion of the Illinois Street pedestrian crossing.

City of St. Charles, Illinois
Plan Commission Resolution No. 3-2018

**A Resolution Recommending Approval of a Preliminary Plan for Building #3
Streetscape and Riverwalk Design for First Street Redevelopment PUD
(City of St. Charles)**

Passed by Plan Commission on March 6, 2018

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review PUD Preliminary Plans; and

WHEREAS, the Plan Commission has reviewed the Building #3 Streetscape and Riverwalk Design for First Street Redevelopment PUD (City of St. Charles); and

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and the Zoning Ordinance requirements, subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a PUD Preliminary Plan for First Street Redevelopment PUD-Building #3 Streetscape and Riverwalk Design for First Street Redevelopment PUD (City of St. Charles), contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Pretz, Purdy, Kessler, Wallace, Holderfield, Funke, Pietryla, Vargulich

Nays: None

Absent: Schuetz

Motion carried: 8-0

PASSED, this 6th day of March 2018.

Chairman
St. Charles Plan Commission

Community & Economic Development
Community Development Division
Phone: (630) 377-4443



STAFF MEMO

FROM: Russell Colby
Community Development Division Manager

RE: First Street Building #3- Streetscape and Riverwalk Plans – Review comments

DATE: March 9, 2018

Site Plan comments

1. The refuse enclosure will likely be larger than is depicted on the plans. The entire area bound by the intersection of the sidewalk running behind Building #3 building and the crosswalk should be left open for the refuse enclosure.
2. Along Illinois Street, the 5 ft. sidewalk does not need to be drawn as separate from the rest of the concrete paving.
3. Remove the asphalt path to the north parking lot- the parking lot will remain closed and not accessible. The concrete sidewalk should continue to the corner of the parking deck for access to the stairs.
4. A portion of the northern wall overhang is shown with a concrete surface. The paver layout may need to be adjusted in this area so that the entire overhang is surfaced with paver brick.
5. The section of railing north of the stairs can be omitted for now. The intent is for construction fencing to be placed around the stairs so that this location is not accessible during the construction of Building #2 and the remaining Riverwalk improvements.

Landscape Plan

1. Bed #1: Shift the tree further south into the center of the bed, away from the building. Add a larger ornamental shrub or tree in the current tree location.
2. Bed #2: Shift the tree to the east and place it at the corner of the building. Add larger ornamental shrubs or trees on both side of the relocated tree. This is an appropriate location for taller plantings.
3. Bed #6: Shift tree into the center of the bed.
4. Consider options for shrubs or evergreen plantings that will maintain some shape in the winter (otherwise the beds will appear empty when the perennials die back).
5. Tree species with a columnar growth pattern may be more desirable, given the space limitations.
6. Ornamental trees may be preferred in beds #4 and #5.

Lighting/Electric Plans

1. Pedestrian LP #5 could be shifted closer to Illinois Street (arm extending over the sidewalk).

2. Pedestrian LP #3 could be shifted north to the center of the paver arch.
3. Further consideration is needed regarding lighting planning for the area around Pedestrian LP #1. More than 1 fixture may be needed in this area, and/or they may be double-armed for illumination of the Riverwalk. A location for bollard lighting may need to be identified based on a preliminary layout for planter beds in this area.

Further discussion with Public Works is required on the following items:

1. Railing style and mounting (in the wall vs. on the surface of the wall). The original concept of the Chevron pattern railing requires a custom design and fabrication, which may not be cost effective. Also given the length of railing, the design detail may not be very prominent.
2. Preferred type/style of bike rack.
3. Treatment for the inaccessible section of lower river wall. WBK has recommended a rock garden type look, with a combination of flagstone (set in a limestone screening bed) with use of hearty ground covers in wider areas (such as a sedum or cotoneaster variety that would tolerate the conditions).
4. Plan should show the irrigation system. Need to determine the service location.
5. Plan should show underdrain for the planter beds.

MEMORANDUM

Date: February 7, 2018

Project Name: Riverwalk Building No. 3 Site Improvements

Client: City of St. Charles

From: WBK Engineering, LLC (WBK)

Subject: Pedestrian Mid-Block Crossing Feasibility

INTRODUCTION

WBK Engineering, LLC (WBK) is working with the City of St. Charles (City) to investigate the feasibility of providing a pedestrian mid-block crosswalk across Illinois Street near the west end of the Fox River Bridge (See **Exhibit 1 – Location Map**). The feasibility study is in conjunction with the proposed streetscaping of Building No. 3 along the north side of Illinois Street.

EXISTING CONDITIONS

The existing pedestrian bike path extends along the west side of the Fox River connecting with the Fox River pedestrian bridge at Indiana Street and ultimately, with Mount St. Mary Park to the south. Pedestrians that currently utilize the path at Illinois Street are expected to cross to the north side of the road either 230' to the west at 1st Street or 270' to the east at Riverside Avenue at the signalized pedestrian crossings.

Illinois Street is functionally classified by IDOT as a Major Collector with an existing (2015) Average Daily Traffic (ADT) of 6,500 vehicles per day (vpd). The existing posted speed limit is 25 mph. It is primarily utilized by vehicles traveling between Illinois Route 31 west of the river to Illinois Route 25 east of the river. The existing typical section at the study area consists of three (3) westbound lanes and one (1) eastbound lane, totaling 53.5' from edge of pavement to edge of pavement.

ANALYSIS

WBK analyzed the existing sight distance. Utilizing information provided in Section 5.3 of the *AASHTO Guide for the Development of Bicycle Facilities Manual 2012, 4TH Edition* (Bike Manual), the length of the sight triangle along the roadway “a” is 100 feet and the length of the sight triangle along the path approach “b” is 60 feet. Evaluating sight distance along both sides of the roadway, it appears the 40.5-inch tall bridge railing is not in conflict with an adult bicyclist’s eye height, assumed to be 54 inches (See **Exhibit 3 – Sight Distance Evaluation**). WBK would recommend the installation of stop control for bike path users before crossing the roadway if the mid-block crossing were to be further pursued.

WBK performed a vehicle gap study on January 29, 2018 from 12:15 PM to 12:45 PM to determine if adequate gaps were available during the peak lunch hour period for pedestrians to reasonably cross Illinois Street at the



Riverwalk. Chapter 19 of the *Highway Capacity Manual* provides guidance on the pedestrian critical gap needed for a single pedestrian to cross a street. Utilizing **Equation (1)**, it was determined that 18.3 seconds is the critical gap required for a pedestrian to safely cross Illinois Street. Results from the gap study indicated that approximately 22% of the time there were gaps that exceeded the critical gap value (See **Exhibit 2 – Gap Study**). While on site, WBK also noticed several pedestrians crossing Illinois Street not at either of the signalized intersections.

Without additional control, markings and signage, adequate gaps in vehicular traffic are not available for a pedestrian to safely cross Illinois Street. Section 42-3.02 of the IDOT *Bureau of Local Roads Manual* provides additional guidance related to the types of control that could accommodate a pedestrian crossing. It states that some form of crossing control is generally required via marked crosswalks, signage, pedestrian refuge medians, flashing light, pedestrian hybrid beacons, in-roadway lights, or a grade separation. While some measures are more extreme than others, certain crossing control measures can be reasonably applied at this particular location to enhance the safety for pedestrians.

WBK also performed a preliminary analysis of the feasibility for the receiving sidewalks to be compliant with the Americans with Disabilities Act (ADA) guidelines. The existing sidewalks are not compliant, but it was determined that the sidewalks and curb ramps could be made compliant with current ADA standards; however additional survey and design review would be required to establish the extent of curb and walkway modifications.

SAFETY CONCERNS

A safety concern that WBK has with the Illinois Street mid-block crossing is that it would occur within the functional area of the intersection, which includes the maneuvering area and the storage lengths. Section 5.3 of the Bike Manual states that mid-block crossings should be sufficiently spaced to be outside the functional area of adjacent intersections to avoid conflicts with vehicles approaching the intersection. The City could potentially look into shortening the storage and taper length of the westbound left-turn lane at 1st Street to avoid conflicts with the crossing. Additionally, this section of the Bike Manual indicates that for a roadway typical section with three (3) lanes or more, a refuge island should be provided to reduce the likelihood of bicycle crashes associated with children, the elderly, the disabled, and others who travel slowly.

SUMMARY

WBK analyzed the feasibility of a mid-block crossing, and found the following:

- Adequate sight distance is available along both sides of the roadway.
- Adequate gaps were not available the majority of the time for an unmarked/uncontrolled crossing; therefore, additional crossing control is required.
- The crossing would occur within the functional area of the intersection; the City should explore shortening the westbound left-turn lane storage and taper length at 1st Street.
- ADA compliance is feasible, however additional survey and evaluation is required.
- The City should evaluate additional pavement markings, signage, and a refuge island if a crosswalk is considered at this location.





WBK ENGINEERING, LLC
 116 WEST MAIN STREET, SUITE 201
 ST. CHARLES, ILLINOIS 60174
 (630) 443-7755

CITY OF ST. CHARLES

**ILLINOIS STREET MID-BLOCK
 CROSSING FEASIBILITY STUDY**

F.A.P.
 RTE.

SECTION

COUNTY

KANE

**EXHIBIT 3 - SIGHT
 DISTANCE EVALUATION**

FINAL ENGINEERING FOR ST. CHARLES RIVERWALK BLDG 3 SITE IMPROVEMENTS

ST. CHARLES, ILLINOIS
WBK PROJECT NO. 170319

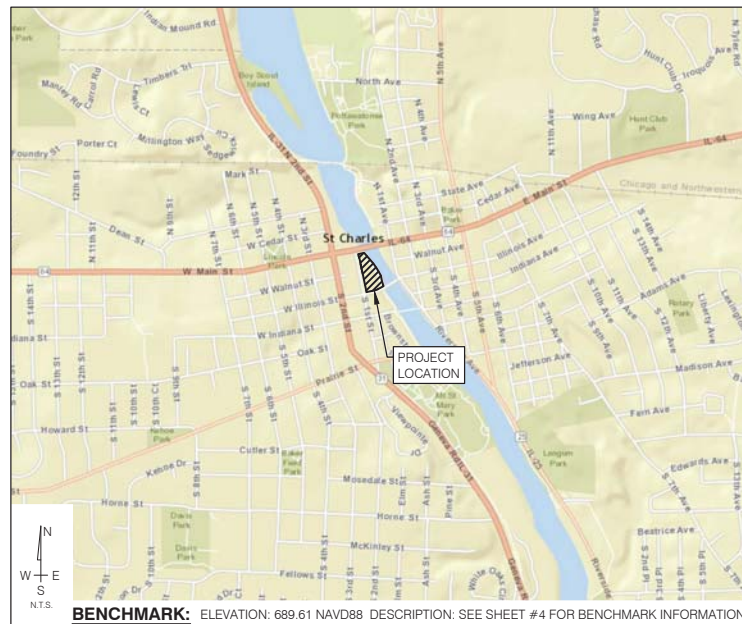
PLAN LEGEND

EXISTING	LINETYPES	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN (W/ SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	GUARDRAIL	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	SUMP STRUCTURE	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	VALVE & VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	TREE, EVERGREEN, SHRUB & PROPOSED	
	TREE TO REMOVE	

PERMITS

AGENCY	DATE	PERMIT #

LOCATION MAP



SHEET INDEX

#	TITLE	DESCRIPTION
1	CV1	COVER SHEET
2-3	GN1-GN2	GENERAL NOTES AND SCHEDULE OF QUANTITIES
4	EC1	EXISTING CONDITIONS AND REMOVAL PLAN
5	GM1	SITE AND GEOMETRIC PLAN
6	GR1	GRADING PLAN
7	ELEC1	LIGHTING AND ELECTRICAL PLAN
8	RW1	RETAINING WALL AND RAILING
9	LD1	LANDSCAPE PLAN
10-14	DT1-DT5	DETAILS

REVISIONS

ORIGINAL PLAN DATE: 03.01.2018

#	SHEET #	DESCRIPTION	DATE

CLIENT

CITY OF ST. CHARLES
2 EAST MAIN STREET
ST. CHARLES, IL 60174
630.377.4400



CIVIL ENGINEER

ENGINEER _____ DATE _____
DOUGLAS P. BREUNLIN, P.E.
ILLINOIS REGISTRATION NO.: 062-036608
EXPIRATION DATE: 11/30/2019
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER



ADDT'L PROFESSIONAL

X
X
X



CALL J.U.L.I.E. 1-800-892-0123
48 HOURS BEFORE YOU DIG
CITY OF ST. CHARLES, KANE COUNTY
SW 1/4 SECTION 27 & NW 1/4 SECTION 34, T40N, R8E



WBK ENGINEERING, LLC
116 WEST MAIN STREET, SUITE 201, ST. CHARLES, ILLINOIS 60174
P: 630.443.7755 F: 630.443.0533 WWW.WBKENGINEERING.COM
PROFESSIONAL DESIGN FIRM NO. 184.007317
EXPIRATION DATE: 04/30/2019

TRAFFIC CONTROL AND PROTECTION NOTES

- 1. ALL CONSTRUCTION SIGNING SHALL CONFORM TO THE LATEST STANDARDS IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE CITY OF ST. CHARLES UNLESS OTHERWISE NOTED ON THE PLANS.
2. LOCATIONS OF TEMPORARY SIGNS SHALL BE ADJUSTED AS DIRECTED BY THE CITY SO AS NOT TO CONFLICT WITH EXISTING PERMANENT SIGNS...
3. UPON COMPLETION OF THE PROJECT, ALL EXISTING SIGNS AND PAVEMENT MARKINGS WHICH ARE REMOVED IN ADVANCE OF CONSTRUCTION SHALL BE RE-ESTABLISHED AS DIRECTED BY THE CITY.

LANDSCAPING NOTES

- 1. ALL PLANTS WILL CONFORM IN SIZE AND GRADE TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK.
2. ALL PLANTS WILL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM TECHNICAL SPECIFICATIONS OF THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION...
3. THE APPROVED PLANT MATERIAL WILL BE ON SITE FOR INSPECTION BY THE LANDSCAPE ARCHITECT TO DETERMINE THE QUANTITY AND SIZE REQUIREMENTS HAVE BEEN MET.

PAVING NOTES

- 1. GENERAL
A. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION AND COMPACTION, PLACEMENT OF SUB-BASE OR BASE COURSE MATERIALS, BITUMINOUS BINDER AND/OR SURFACE COURSES, FORMING, FINISHING AND CURING CONCRETE PAVEMENT, CURBS AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.
B. COMPACTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC).

A. THE COST OF SAW-CUTTING FOR ITEMS TO BE REMOVED SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE ITEM BEING REMOVED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

3. SUB-GRADE PREPARATION

- A. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO 0.1 FOOT OF PLAN SUBGRADE ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS.
B. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE ENTIRE PAVED AREA MAY BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT AT THE REQUEST OF THE CITY.

4. CONCRETE CURB

- A. THIS WORK SHALL BE IN CONFORMANCE WITH SECTION 606 OF THE STANDARD SPECIFICATIONS INSO FAR AS APPLICABLE AND THE FOLLOWING PROVISIONS.
B. THIS WORK SHALL INCLUDE CONSTRUCTION CONCRETE CURB IN CONFORMANCE WITH THE DETAILS SHOWN IN THE PLANS.
C. THIS WORK SHALL INCLUDE CONSTRUCTING DEPRESSED CURBS WHERE SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE DETAILS IN THE PLANS.
D. CONTRACTION AND EXPANSION JOINTS SHALL BE INSTALLED IN THE PROPOSED CURB AND GUTTER IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

- 1. EXPANSION JOINTS- AT THE P, C, AND P T, OF ALL CURB RETURNS AND ISLAND NOSES, AT RIGHT ANGLE BENDS, AND AT APPROXIMATE 90-FOOT (80' MAXIMUM) INTERVALS.
2. EXPANSION JOINT FILLER MATERIAL IN THE CURB AND GUTTER SHALL BE 1/2" THICK AND BE OF BITUMINOUS PREFORMED FIBER JOINT FILLER CONFORMING TO THE REQUIREMENTS OF AASHTO SPECIFICATION M-213.
3. CONTRACTION JOINTS- AT EVEN INTERVALS APPROXIMATING 15 FEET BETWEEN EXPANSION JOINTS.
4. CONTRACTION JOINTS SHALL BE SAWED TO A MINIMUM DEPTH OF 2" ON ALL EXPOSED FACES OF THE CURB SECTION.
5. ALL CONTRACTION JOINTS SHALL BE SEALED IN ACCORDANCE WITH SECTION 420.12 OF THE STANDARD SPECIFICATIONS.
6. A KEYWAY SHALL BE PROVIDED IN THE CURB AND GUTTER WHERE ADJACENT TO PROPOSED PCC SIDEWALK AS SHOWN IN THE DETAIL IN THE PLANS.

- E. PROTECTIVE COAT WILL BE REQUIRED IN ACCORDANCE WITH ARTICLE 420.18 OF THE STANDARD SPECIFICATIONS AND SHALL BE INCLUDED IN THIS ITEM OF WORK.
F. THE CRUSHED STONE BASE AS SHOWN ON THE CURB AND GUTTER DETAIL IN THE PLANS SHALL BE IDOT GRADATION CA-6 CRUSHED LESTONE (MINIMUM IFR=80).
G. ALL REQUIRED EXCAVATION FOR CURB AND GUTTER CONSTRUCTION SHALL BE CONSIDERED AS INCIDENTAL TO THIS ITEM.

5. PCC SIDEWALK, 5"

- A. THIS WORK SHALL BE IN CONFORMANCE WITH SECTION 424 OF THE STANDARD SPECIFICATIONS INSO FAR AS APPLICABLE, THE DETAILS IN THE PLANS, AND THE FOLLOWING PROVISIONS.
B. THE SUB-BASE GRANULAR MATERIAL, TYPE B AS SHOWN ON THE SIDEWALK DETAIL IN THE PLANS SHALL BE IDOT GRADATION CA-6 CRUSHED LESTONE (MINIMUM IFR=80).
C. SIDEWALK DEPRESSIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS IN THE PLANS AT THE LOCATIONS SHOWN ON THE PLANS.
D. EXPANSION JOINT MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND HARD SURFACES AND AT APPROXIMATE 90-FOOT INTERVALS OR AS OTHERWISE DIRECTED. THE EXPANSION JOINT MATERIAL SHALL BE FULL DEPTH 1/2" AND BE OF BITUMINOUS PREFORMED FIBER JOINT FILLER CONFORMING TO THE REQUIREMENTS OF AASHTO SPECIFICATION M-213.
E. CONTRACTION JOINTS SHALL BE SET AT FOUR (4) FOOT CENTERS OR AS DIRECTED. THIS WORK WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED.
F. A KEYWAY SHALL BE PROVIDED IN THE SIDEWALK WHERE ADJACENT TO PROPOSED CURB AND GUTTER AS SHOWN IN THE DETAIL IN THE PLANS. THIS WORK WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED.
G. PROTECTIVE COAT WILL BE REQUIRED IN ACCORDANCE WITH ARTICLE 420.18 OF THE STANDARD SPECIFICATIONS AND SHALL BE INCLUDED IN THIS ITEM OF WORK.
H. THIS ITEM OF WORK SHALL INCLUDE ALL REQUIRED EARTH EXCAVATION TO PROPOSED SUBGRADE ELEVATION FOR THE PROPOSED SIDEWALK AND DISPOSAL OFF-SITE OF ALL EXCESS EXCAVATED MATERIAL.

ELECTRICAL NOTES

REFER TO ELECTRICAL PLAN SHEET NUMBER 7 AND ELECTRICAL DETAIL SHEET NUMBER ___, FOR CITY OF ST. CHARLES ELECTRICAL INSTALLATION SPECIFICATIONS AND REQUIREMENTS.

MATERIAL LIST

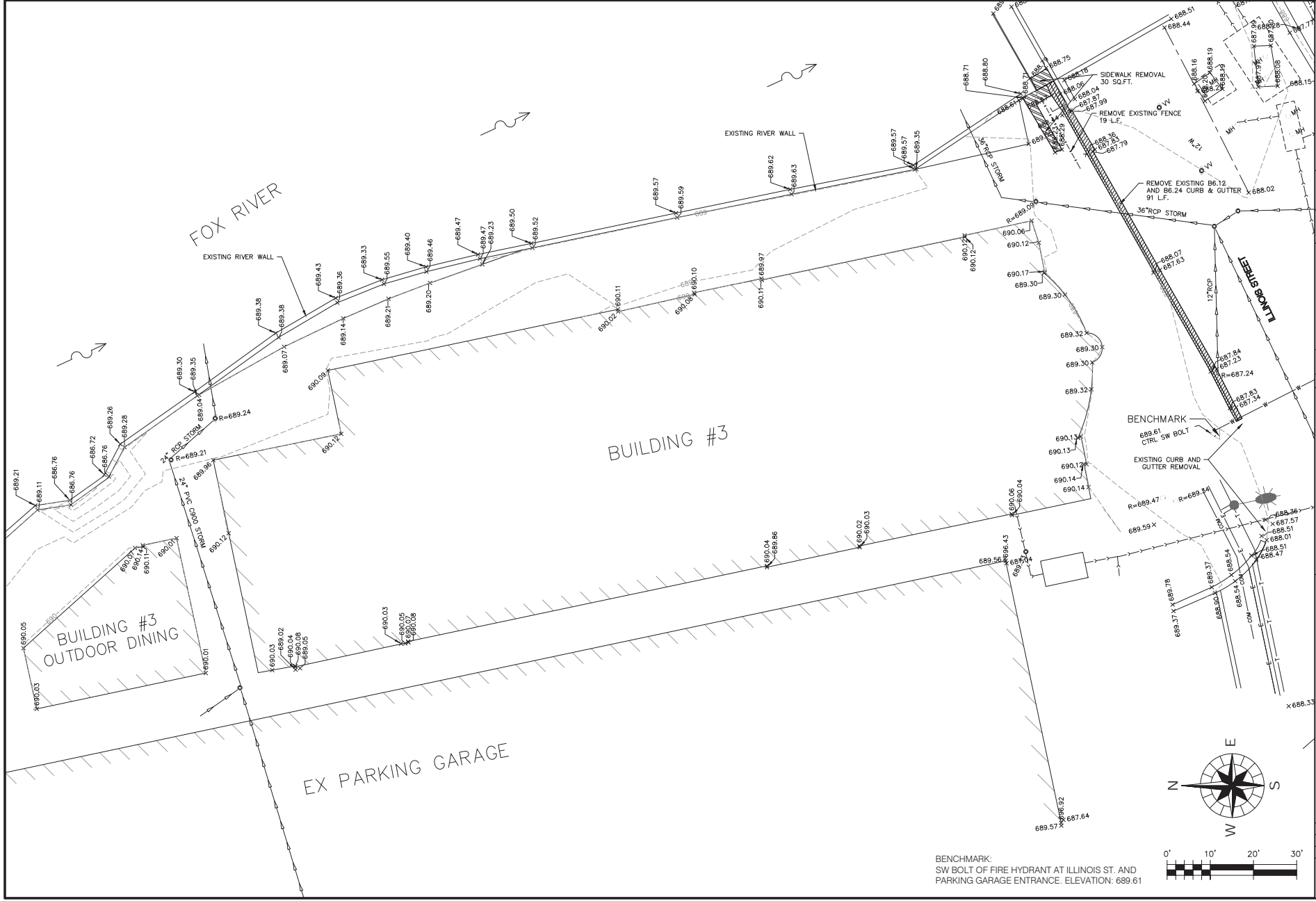
BRICK: THE PROPOSED BRICK PAVERS SHALL MATCH THE EXISTING BRICK SIDEWALK OF FIRST STREET AND SHALL BE LAID IN THE SAME HERRINGBONE PATTERN AS THE EXISTING BRICK SIDEWALK PAVERS. INFORMATION AVAILABLE FROM THE CITY OF ST. CHARLES INDICATES THAT THE EXISTING BRICK PAVERS ARE "OLD TAVERN" (BY PINE HALL BRICK, WINSTON SALEM N.C.) FOR THE HERRINGBONE PAVEMENT AND "OLD SOUTH" (BY PINE HALL BRICK, WINSTON SALEM, N.C.) FOR THE BORDER, ALL 4" X 8" X 2-1/4" SIZE. HOWEVER, THE CONTRACTOR SHALL PROVIDE A SAMPLE OF EACH REFERENCED PINE HALL BRICK TYPE TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO ORDERING THE SIDEWALK BRICK TO ENSURE THAT THEY MATCH THE EXISTING CROSSWALK BRICK.

SCHEDULE OF QUANTITIES

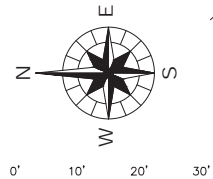
Table with columns: QTY, PAY ITEM DESCRIPTION, QUANTITY, UNIT. Items include: COMBINATION CURB AND GUTTER REMOVAL, SIDEWALK REMOVAL, FENCE REMOVAL, COMBINATION CONCRETE CURB AND GUTTER, CONCRETE CURB AND GUTTER, MANHOLE/INLET STRUCTURE ADJUSTMENT, FRAME AND LID, TY 1 CLOSED, FRAME AND LID, TY 8 BEEHIVE, DECORATIVE BRICK PAVERS, PCC PAVER BASE BASE 5", PORTLAND CEMENT CONCRETE SIDEWALK 5", DETECTABLE WARNINGS, CONCRETE RETAINING WALL, RIVERWALK RAILING, RAISED PLANTER CURB, BIN, WIDTH, PLANTER EXCAVATION AND MATERIAL DISPOSAL, TOPSOIL FURNISH AND PLACE, TREE, CANOPY, SHRUB, DECIDUOUS, PERENNIAL PLANTS, BULBS, LIGHT POLE, PEDESTRIAN, LIGHT POLE FOUNDATION, PEDESTRIAN, WALKWAY LIGHTING BOLLARD, BOLLARD FOUNDATION, LIGHTING CONTROLLER, LIGHTING CONTROLLER, CT ERICKSON, LIGHTING CONTROLLER PAD, 4" PVC CONDUIT, 3" PVC CONDUIT, 2" PVC CONDUIT, 1 1/4" PVC CONDUIT, SEAT WALL BENCH, INLET FILTERS, CONCRETE WASHOUT FACILITY, TRAFFIC CONTROL AND PROTECTION, MOBILIZATION, TEMPORARY ASPHALT PATH TO NORTH PARKING LOT.

CITY OF ST. CHARLES
2 EAST MAIN STREET
ST. CHARLES, IL 60174
630.377.4400
TITLE: ST. CHARLES RIVERWALK BLDG 3
SITE IMPROVEMENTS
GENERAL NOTES AND
SCHEDULE OF QUANTITIES

WBK ENGINEERING, LLC
116 WEST MAIN STREET, SUITE 201
ST. CHARLES, ILLINOIS 60174
(630) 445-9753
PROJECT NO. 170319
DATE: 03/01/2018
DRAWING NO. GN2
SHEET:
3 OF 14

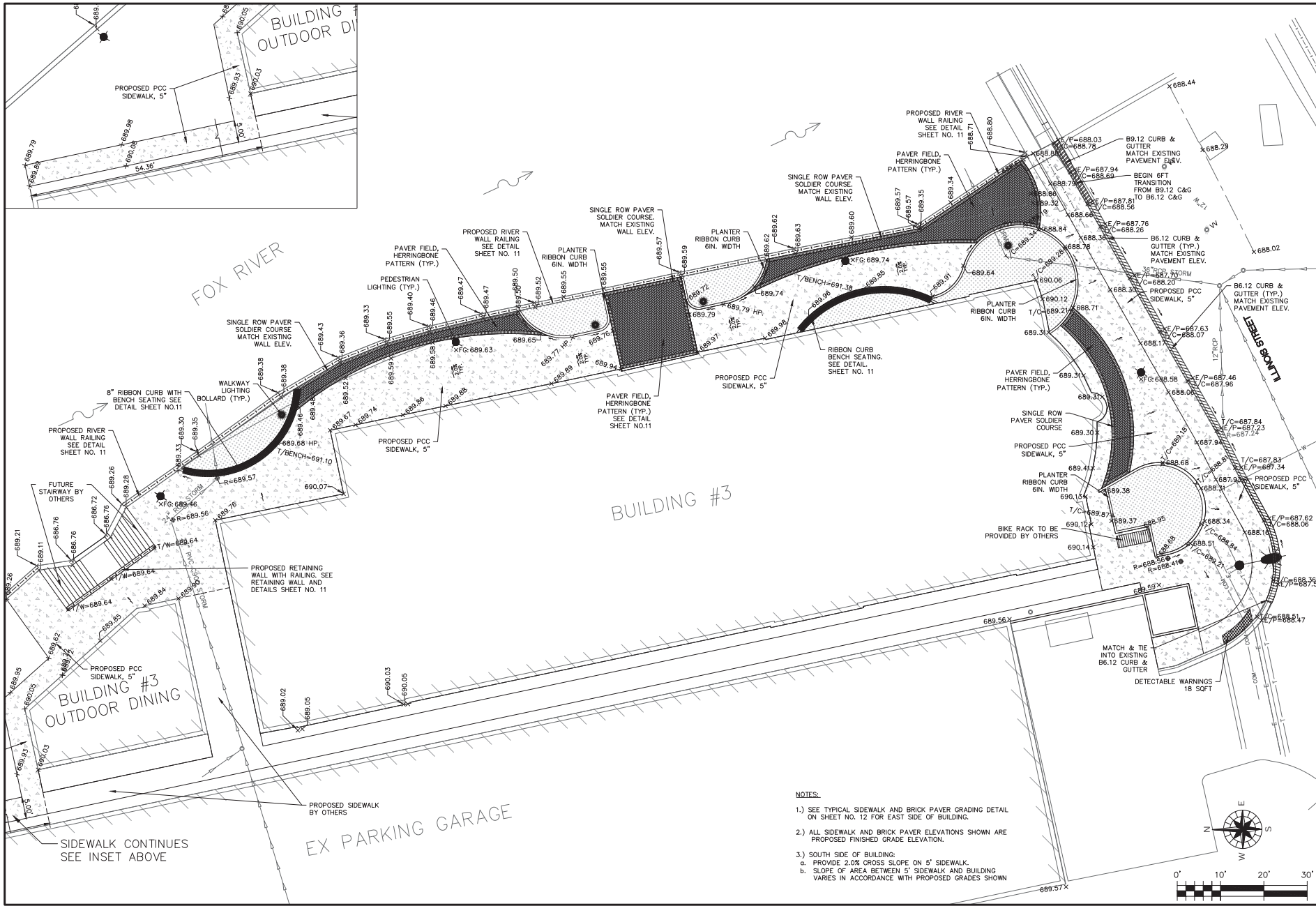


TITLE		ST. CHARLES RIVERWALK BLDG 3	
DISG.		SITE IMPROVEMENTS	
DRN.	MRP	DRN	DRN
CHD.	SCALE	AS NOTED	
NO. DATE	NATURE OF REVISION		EC170319.DWG
CLIENT:			
CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL 60174 630.377.4400			
PROJECT NO. 170319			
DATE: 03/01/2018			
DRAWING NO. EC1			
SHEET:			
4 OF 14			

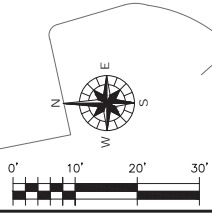


BENCHMARK:
SW BOLT OF FIRE HYDRANT AT ILLINOIS ST. AND
PARKING GARAGE ENTRANCE. ELEVATION: 689.61

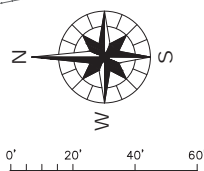
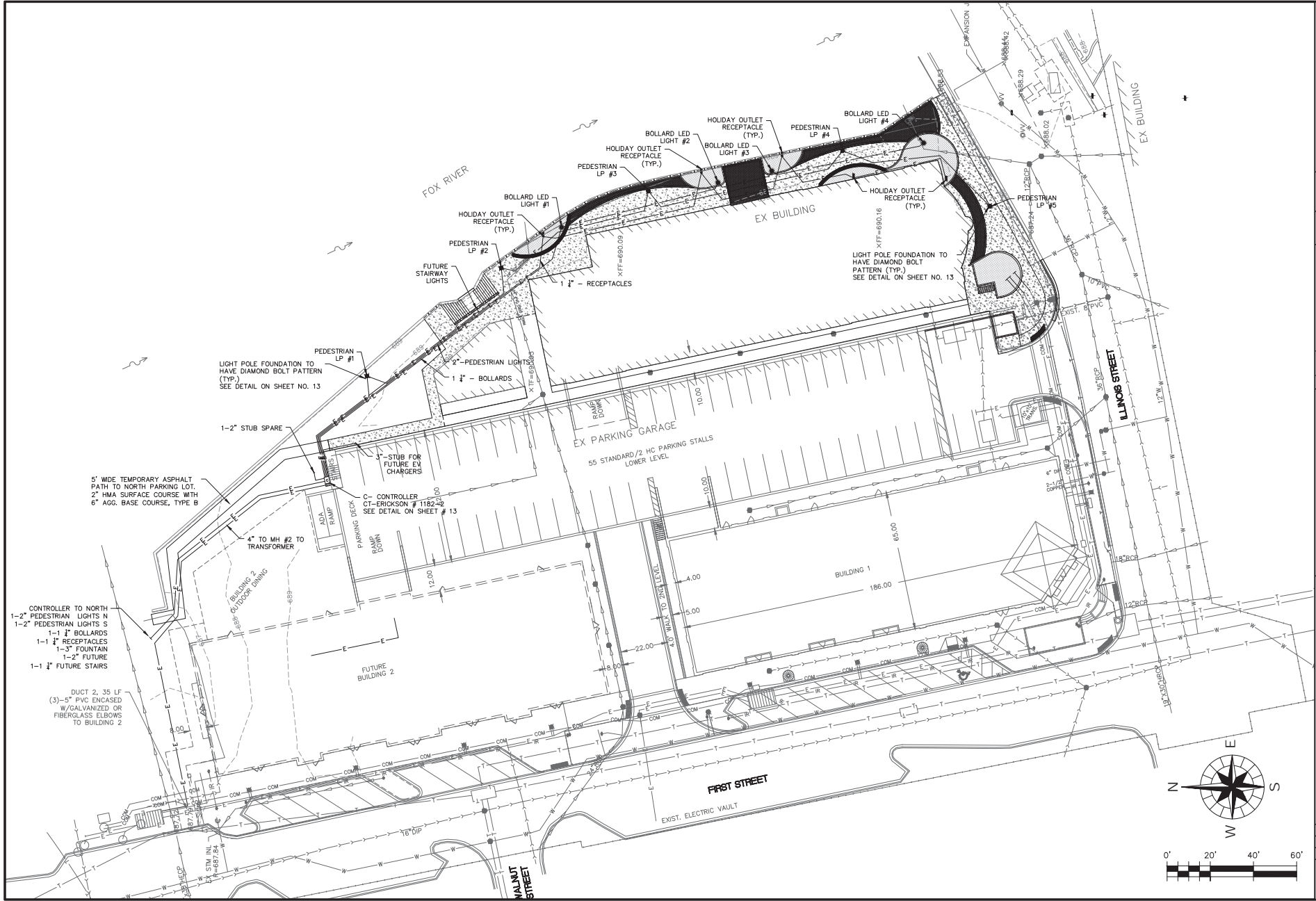
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- NOTES:**
- 1) SEE TYPICAL SIDEWALK AND BRICK PAVER GRADING DETAIL ON SHEET NO. 12 FOR EAST SIDE OF BUILDING.
 - 2) ALL SIDEWALK AND BRICK PAVER ELEVATIONS SHOWN ARE PROPOSED FINISHED GRADE ELEVATION.
 - 3) SOUTH SIDE OF BUILDING:
 - a. PROVIDE 2.0% CROSS SLOPE ON 5' SIDEWALK.
 - b. SLOPE OF AREA BETWEEN 5' SIDEWALK AND BUILDING VARIES IN ACCORDANCE WITH PROPOSED GRADES SHOWN



TITLE ST. CHARLES RIVERWALK BLDG 3 SITE IMPROVEMENTS		DPR	MRP	DPR
DSGN	DWN.	CHKD.	SCALE	AS NOTED
RGT. DATE		NATURE OF REVISION		
CLIENT CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL 60174 630.377.4400		PROJECT NO. 170319		
WBK engineering WBK ENGINEERING, LLC 118 WEST MAIN STREET, SUITE 201 ST. CHARLES, ILLINOIS 60174 (630) 443-9735		DATE: 03/01/2018		
		DRAWING NO. GR1		
		SHEET: 6 OF 14		



TITLE: ST. CHARLES RIVERWALK BLDG 3
 SITE IMPROVEMENTS
 ELECTRICAL PLAN

DISG.	DPR	DPR	DPR

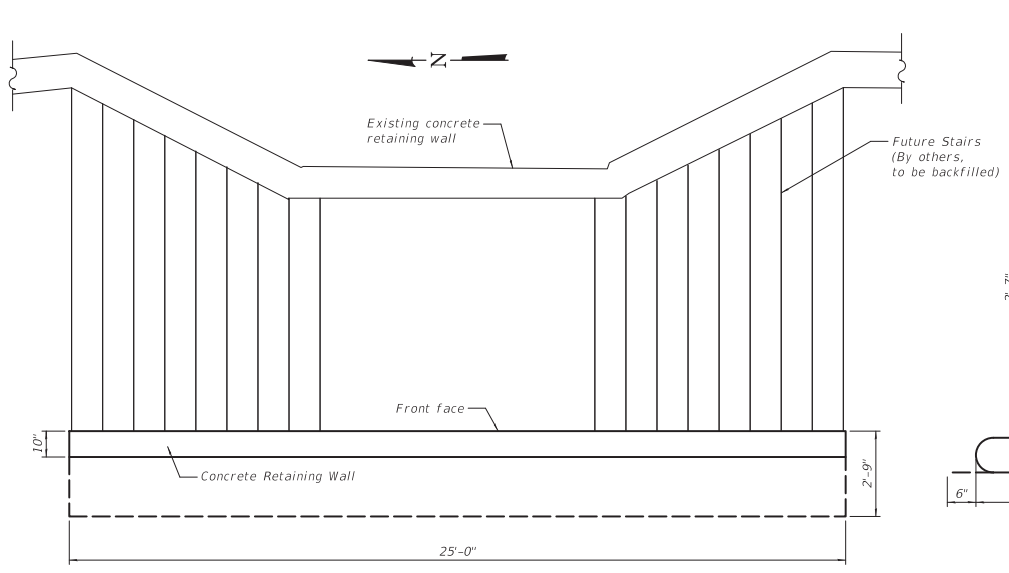
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 REG. DATE: NATURE OF REVISION: ELEC: 70316.DWG

CLIENT: CITY OF ST. CHARLES
 2 EAST MAIN STREET
 ST. CHARLES, IL 60174
 630.377.4400

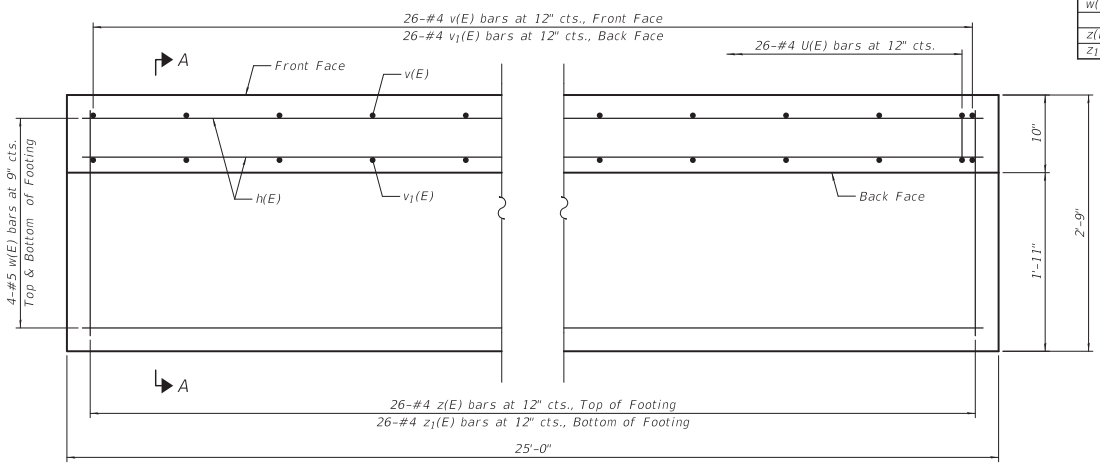
WBK engineering
 WBK ENGINEERING, LLC
 116 WEST MAIN STREET, SUITE 201
 ST. CHARLES, ILLINOIS 60174
 (630) 443-9733

PROJECT NO. 170319
 DATE: 03/01/2018
 DRAWING NO. ELEC1
 SHEET: 7 OF 14

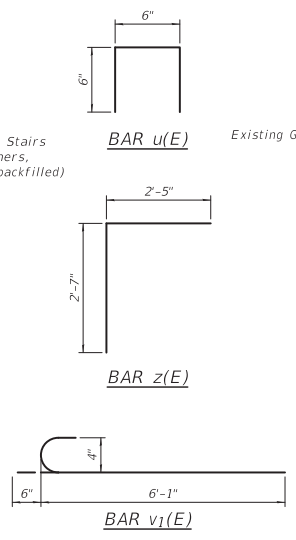
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PLAN

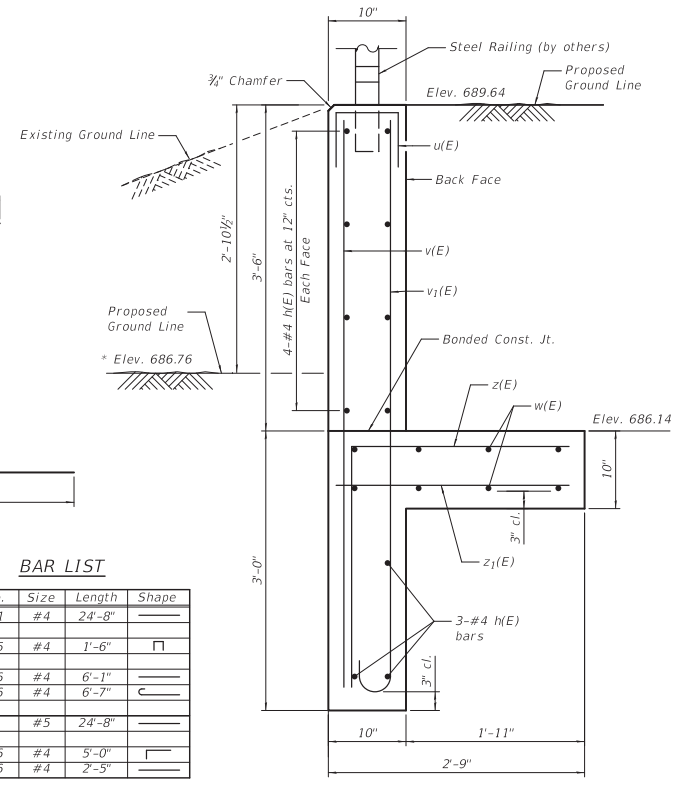


WALL PLAN
 (Showing Reinforcement, N.T.S.)



BAR LIST

Bar	No.	Size	Length	Shape
h(E)	11	#4	24'-8"	—
u(E)	26	#4	1'-6"	⊏
v(E)	26	#4	6'-1"	—
v1(E)	26	#4	6'-7"	⌋
w(E)	8	#5	24'-8"	—
z(E)	26	#4	5'-0"	⌋
z1(E)	26	#4	2'-5"	—



SECTION A-A

* Proposed future elevation of stair landing.

DESIGN STRESSES
 FIELD UNITS

f'c = 3,500 psi
 fy = 60,000 psi (Reinforcement)

Notes:
 Concrete Structures, Reinforcement Bars, Epoxy Coated and Structure Excavation shall not be paid for separately but included in the cost of Lump Sum for "Concrete Retaining Wall."
 All concrete shall be class SI.
 Reinforcement bars shall conform to the requirements of ASTM A706 Gr. 60.
 Reinforcement bars designated (E) shall be epoxy coated.
 Reinforcement shall maintain a 2" concrete cover unless otherwise noted.
 All construction joints shall be bonded.
 This work shall conform to the requirements of the applicable portions of Sections 502, 503 and 508 of the Standard Specifications.
 Future stairwell in front of wall to be constructed at a later date. This area is to be backfilled at the direction of the Engineer/Owner.
 Contractor shall coordinate with Fencing Contractor prior to construction in order to verify wall geometry and rebar placement can accommodate the fence/posts. Any adjustments required to the retaining wall shall be approved by the Engineer/Owner.
 Obstruction mitigation from boulders or solid rock strata shall be paid for in accordance with Section 109.04 of the IDOT Standard Specifications.
 See Site Geometric Plan for wall location.

PROJECT NO. 17-0319
 DATE: 02/26/18
 DRAWING NO. RW1
 SHEET

8 OF 14

CLIENT: CITY OF ST. CHARLES
 2 EAST MAIN STREET
 ST. CHARLES, IL 60174
 630.377.4400

WBK engineering
 WBK ENGINEERING, LLC
 116 WEST MAIN STREET, SUITE 201
 ST. CHARLES, ILLINOIS 60174
 (630) 483-7255

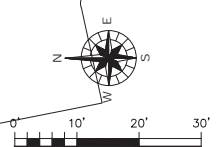
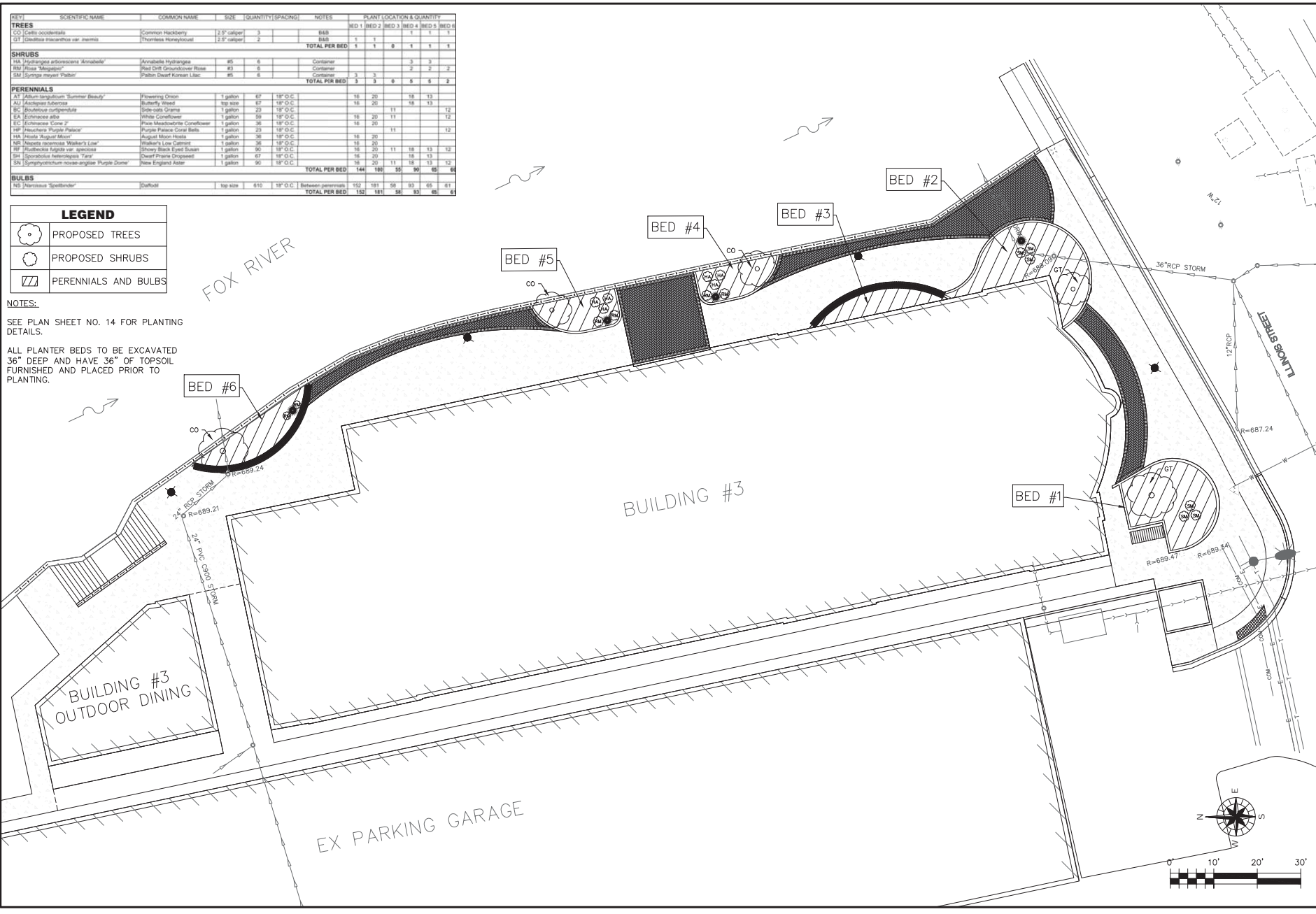
DESIGNER: JMM
 DIVISION: JMM
 CHECKED: JSP
 SCALE: 1/8"=1'-0"
 NATURE OF REVISION:
 1
 2
 3
 4
 5
 6
 7
 NO. DATE

TITLE: ST. CHARLES RIVERWALK BLDG 3
 SITE IMPROVEMENTS
 RETAINING WALL

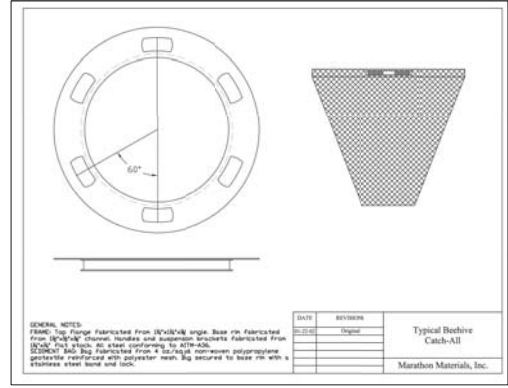
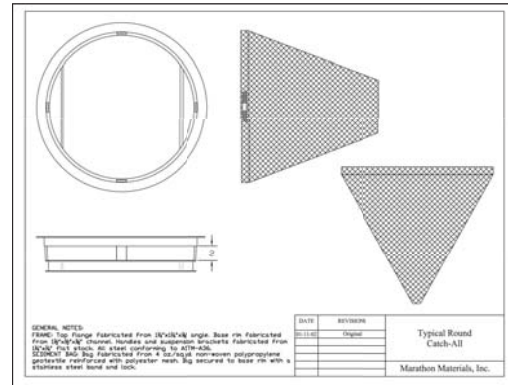
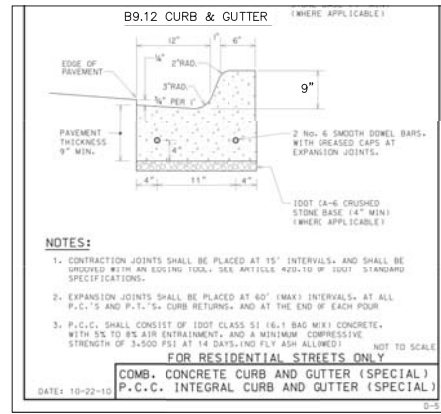
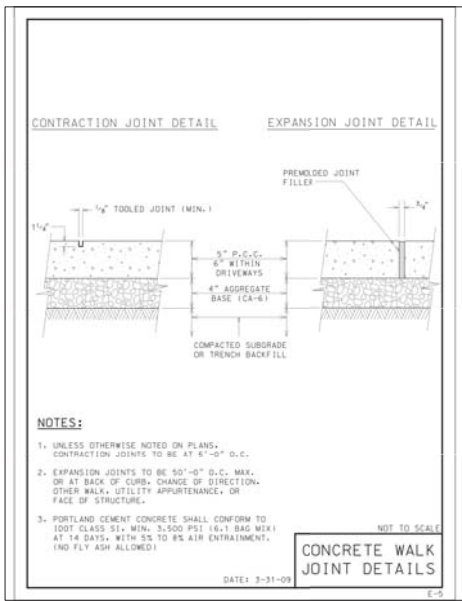
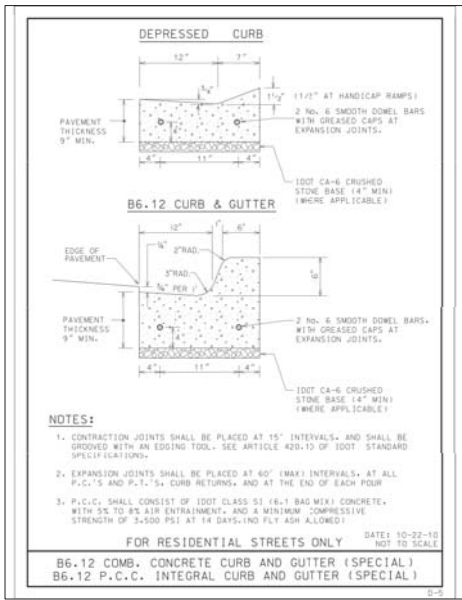
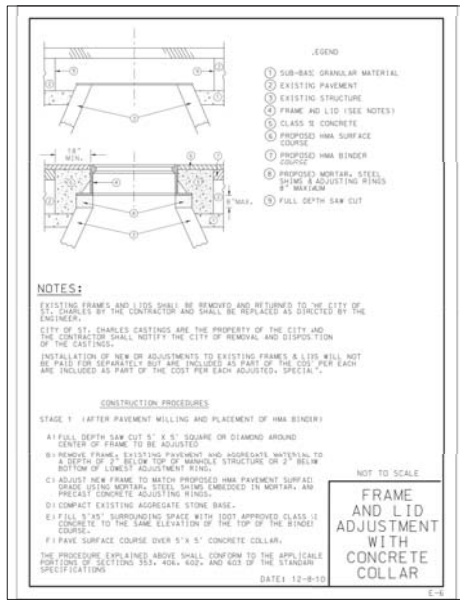
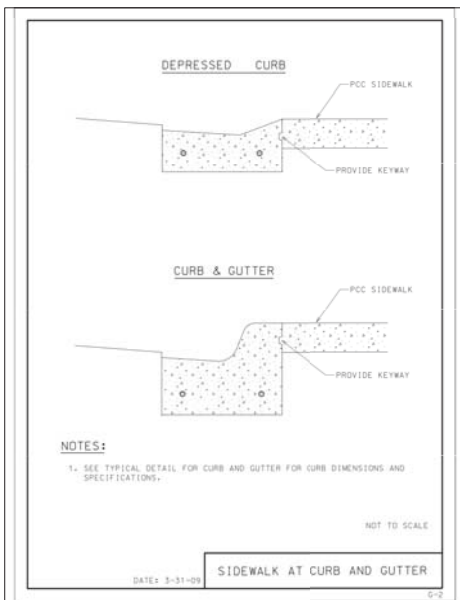
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY (SPACING)	NOTES	PLANT LOCATION & QUANTITY					
TREES						BED 1	BED 2	BED 3	BED 4	BED 5	BED 6
CO	<i>Cornus occidentalis</i>	Common Hackberry	2" container	3				1		1	1
CT	<i>Cornus stolonifera</i> var. <i>sericea</i>	Thornless Honeylocust	2.5" container	2		1					1
SHRUBS											
HA	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	#5	6	Container				3	3	
HR	Rose 'Magellan'	Red Duff Groundcover Rose	#3	6	Container			2	2	2	2
HM	<i>Hemerocallis flava</i>	Yellow Dawn Lilies	#5	6	Container	3	3				
PERENNIALS											
AT	<i>Asplenium adnigrum</i> 'Summer Beauty'	Flowering Onion	1 gallon	67	18" O.C.	16	20		11	13	
AJ	<i>Andropogon furcatus</i>	Butterfly Weed	180 top	67	18" O.C.	16	20	11	11	13	
BC	<i>Baccharis arborescens</i>	English Spirea	1 gallon	23	18" O.C.						13
EA	<i>Echinacea alba</i>	White Coneflower	1 gallon	59	18" O.C.	16	20	11			13
EC	<i>Echinacea conozza</i>	Pink Macleod's Coneflower	1 gallon	36	18" O.C.						13
EP	<i>Heuchera 'Purple Palace'</i>	Purple Palace Coral Bells	1 gallon	23	18" O.C.	16	20		11		13
HA	<i>Hemerocallis 'August Moon'</i>	August Moon Hosta	1 gallon	36	18" O.C.	16	20				13
HR	<i>Hemerocallis 'Summer Star'</i>	Summer Star Daylily	1 gallon	36	18" O.C.	16	20				13
HM	<i>Hemerocallis 'Bleeding Heart'</i>	Bleeding Heart Daylily	1 gallon	36	18" O.C.	16	20				13
HR	<i>Hemerocallis 'Summer Star'</i>	Summer Star Daylily	1 gallon	36	18" O.C.	16	20				13
HM	<i>Hemerocallis 'Bleeding Heart'</i>	Bleeding Heart Daylily	1 gallon	36	18" O.C.	16	20				13
HM	<i>Hemerocallis 'Summer Star'</i>	Summer Star Daylily	1 gallon	36	18" O.C.	16	20				13
HM	<i>Hemerocallis 'Bleeding Heart'</i>	Bleeding Heart Daylily	1 gallon	36	18" O.C.	16	20				13
BULBS											
FD	<i>Fritillaria 'Spitfire'</i>	Buttercup	120 top	650	18" O.C.	152	191	59	93	95	61
TOTAL PER BED											
TOTAL PER BED						144	180	55	90	65	61
TOTAL PER BED						152	191	59	93	95	61

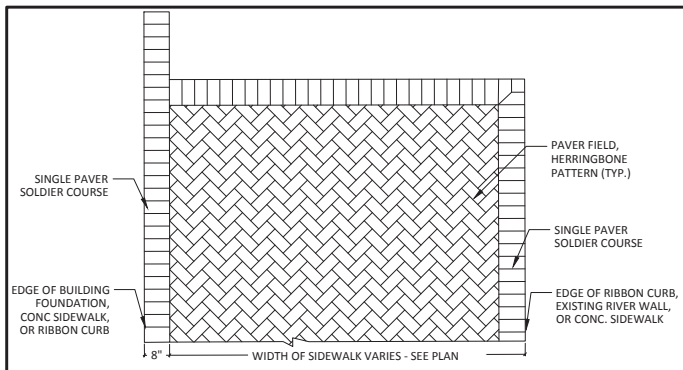
LEGEND	
	PROPOSED TREES
	PROPOSED SHRUBS
	PERENNIALS AND BULBS

NOTES:
 SEE PLAN SHEET NO. 14 FOR PLANTING DETAILS.
 ALL PLANTER BEDS TO BE EXCAVATED 36" DEEP AND HAVE 36" OF TOPSOIL FURNISHED AND PLACED PRIOR TO PLANTING.

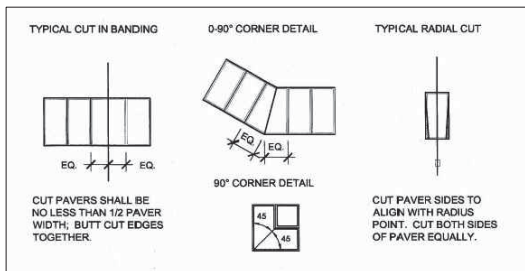


TITLE		ST. CHARLES RIVERWALK BLDG 3 SITE IMPROVEMENTS	
CLIENT		CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL 60174 630.377.4400	
DISN	DPR	MRP	DPR
DVN	CHKD.	SCALE	NA
PROJECT NO.		170319	
DATE		03.01.2018	
DRAWING NO.		LD1	
SHEET		9 OF 14	
FIG. DATE	REVISION	NATURE OF REVISION	
WBK ENGINEERING, LLC 116 WEST MAIN STREET, SUITE 201 ST. CHARLES, ILLINOIS 60174 (630) 443-7735			
PROJECT NO. 170319 DATE: 03.01.2018 DRAWING NO. LD1 SHEET: 9 OF 14			

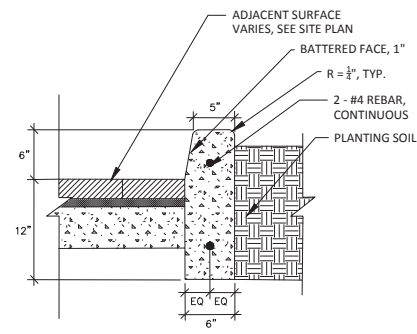




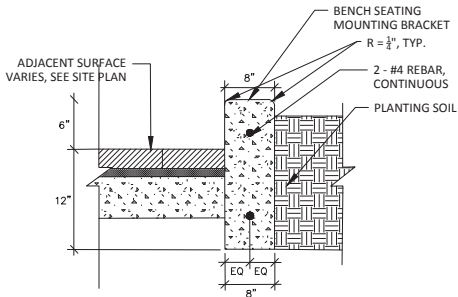
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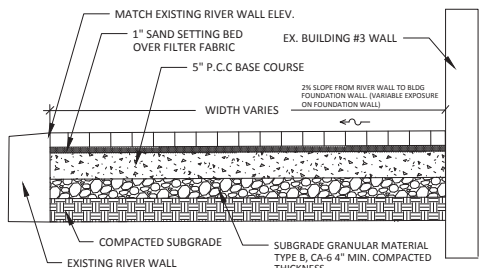
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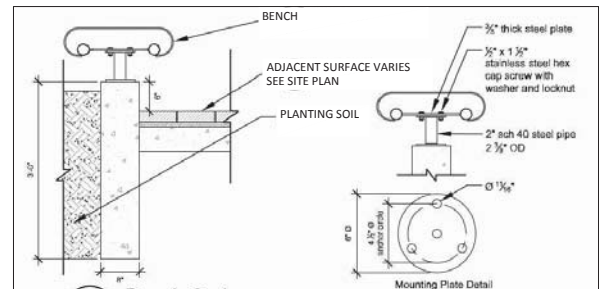
3 PLANTER RIBBON CURB, 6"
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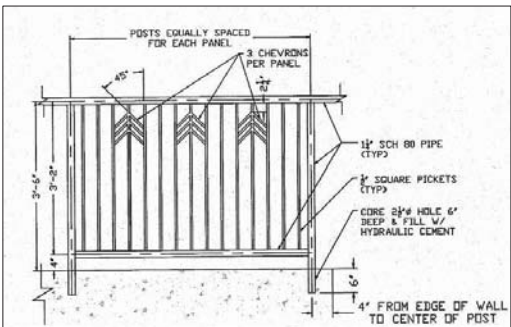
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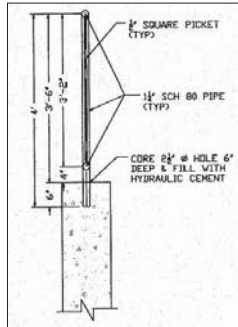
5 TYPICAL SECTION EAST SIDE OF BUILDING
NO SCALE



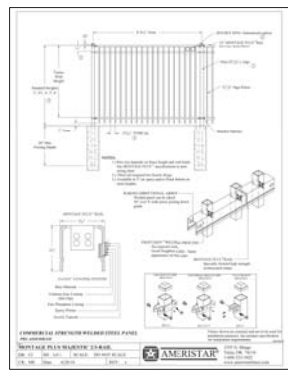
6 RIBBON CURB BENCH SEATING
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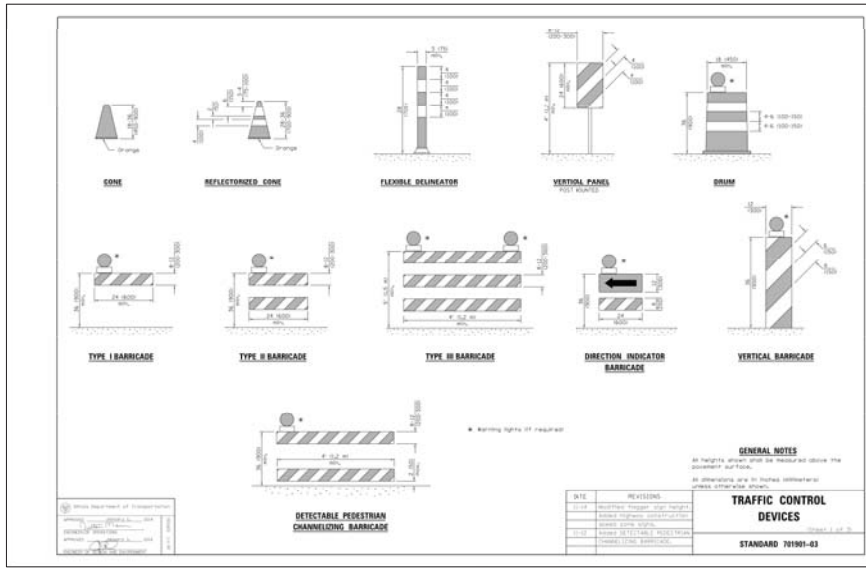
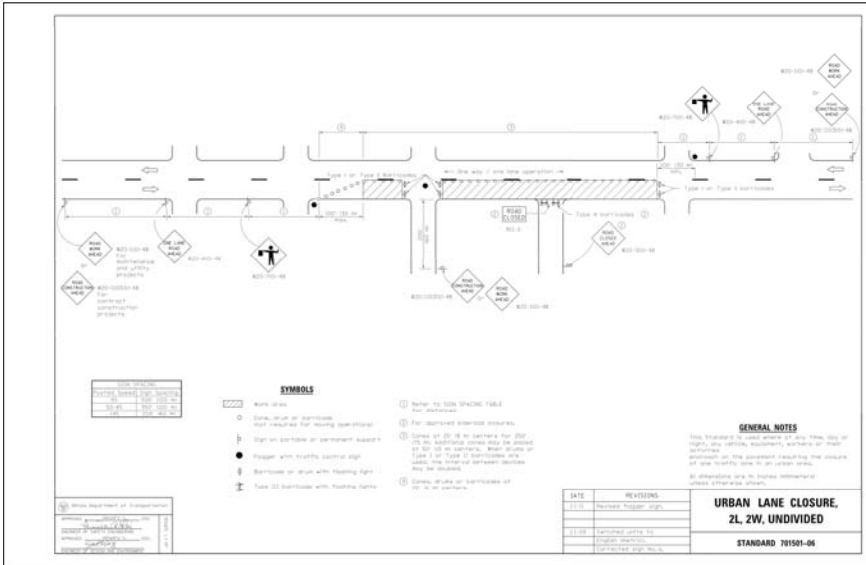
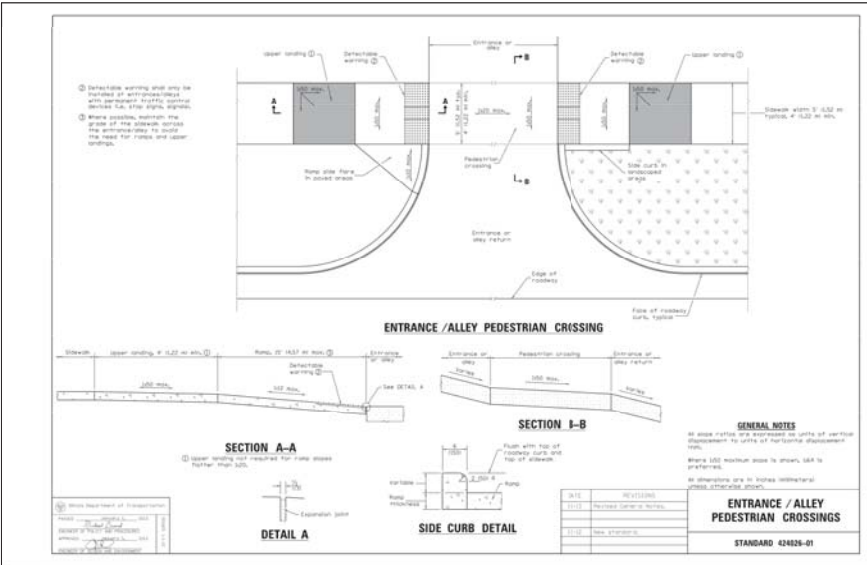
7 ALTERNATE BID CHEVRON RAILING
NO SCALE



8 RAILING SIDE VIEW DETAIL
NO SCALE



8 BASE BID RAILING DETAIL
NO SCALE



CLIENT:
 CITY OF ST. CHARLES
 2 EAST MAIN STREET
 ST. CHARLES, ILLINOIS 60174
 630.377.4400

PROJECT NO. 170319
DATE: 03/01/2018
DRAWING NO. DT3
SHEET:

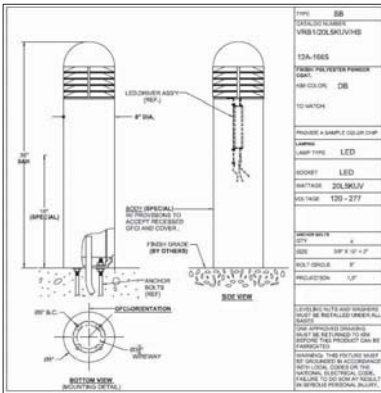
WBK engineering
 WBK ENGINEERING, LLC
 116 WEST MAIN STREET, SUITE 201
 ST. CHARLES, ILLINOIS 60174
 (630) 443-7735

TITLE: ST. CHARLES RIVERWALK BLDG 3
SITE IMPROVEMENTS

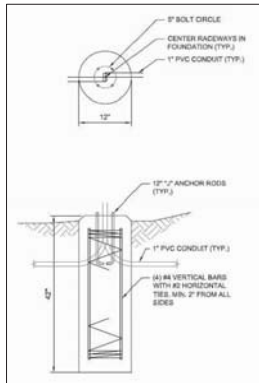
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DWN: MRP
CHKD: DPR
SCALE: N/A

NATURE OF REVISION: DT170319.DWG

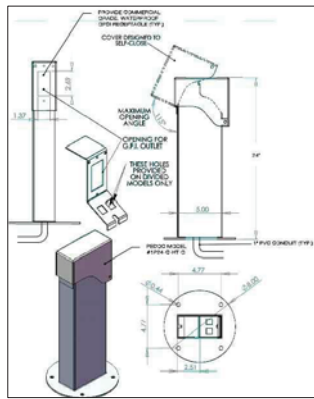
DETAILS



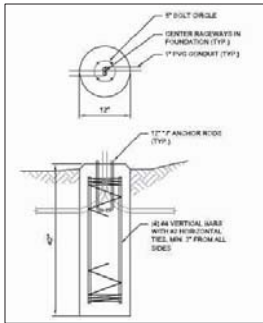
1 BOLLARD LED LIGHTING DETAIL
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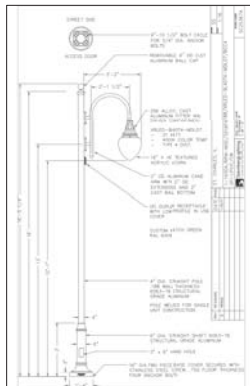
2 BOLLARD LIGHTING FOUNDATION DETAIL
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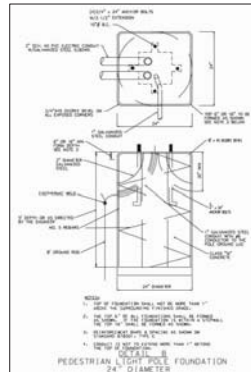
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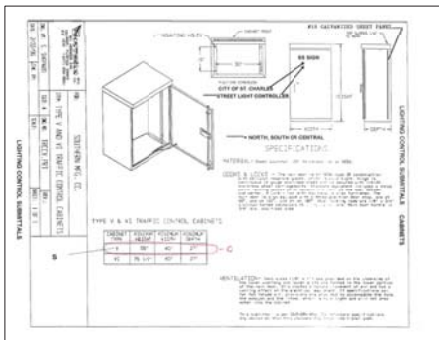
4 HOLIDAY OUTLET FOUNDATION DETAIL
NO SCALE



5 PEDESTRIAN LIGHT POLE DETAIL
NO SCALE



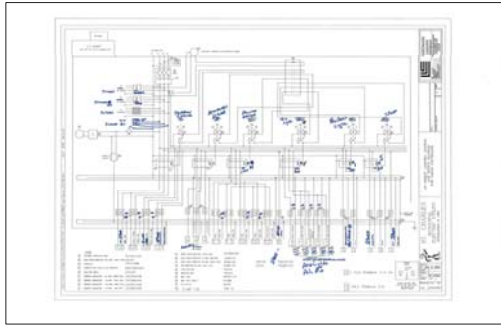
6 PEDESTRIAN LIGHT POLE FOUNDATION
NO SCALE



7 LIGHTING CONTROLLER CABINET DETAIL
NO SCALE



8 LIGHTING CONTROLLER CABINET DETAIL
NO SCALE

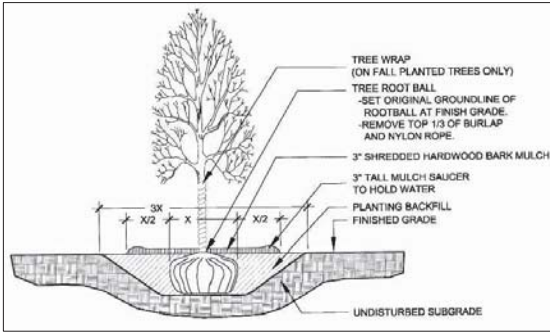


9 LIGHTING CONTROLLER WIRING DETAIL
PROVIDED BY CITY OF ST. CHARLES ELECTRICAL
ENGINEERING DEPARTMENT PHONE NO. (630) 377-4407

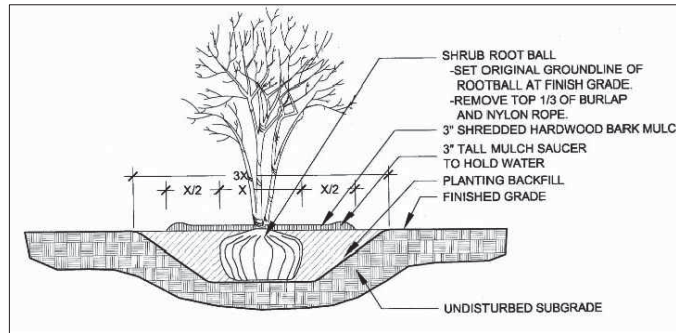
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DESIGN	DPR	MRP	DPR	DETAILS
DWN.				
CHKD.				
SCALE: NA				
NO. DATE				NATURE OF REVISION
				DT170319.DWG
CLIENT: CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL 60174 630.377.4400				
PROJECT NO. 170319				
DATE: 03/01/2018				
DRAWING NO. DT1				
SHEET:				
13 OF 14				

WBK
engineering

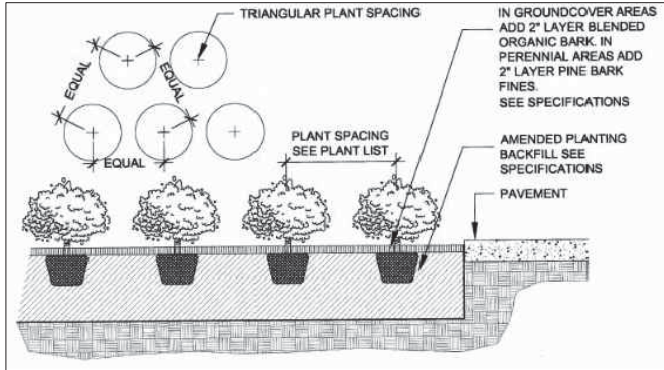
WBK ENGINEERING, LLC
118 WEST MAIN STREET, SUITE 201
ST. CHARLES, ILLINOIS 60174
(630) 443-9735



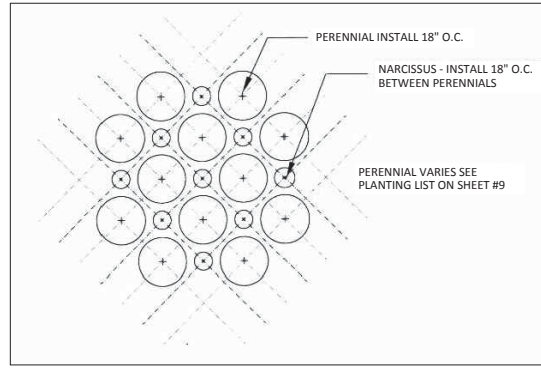
1 SHADE TREE PLANTING DETAIL
NO SCALE



2 SHRUB PLANTING DETAIL
NO SCALE



3 PERENNIAL PLANTING DETAIL
NO SCALE



4 BULB/PERENNIAL INTERPLANTING DETAIL
NO SCALE

TITLE: ST. CHARLES RIVERWALK BLDG 3 SITE IMPROVEMENTS		DETAILS	
DISGN	DPR	MRP	DPR
DWN.		CHKD.	
SCALE: NA		SCALE: NA	
FIG. DATE		NATURE OF REVISION	DT170319.DWG
CLIENT: CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL 60174 630.377.4400			
WBK ENGINEERING, LLC 116 WEST MAIN STREET, SUITE 201 ST. CHARLES, ILLINOIS 60174 (630) 443-9733			
PROJECT NO. 170319			
DATE: 03.01.2018			
DRAWING NO. DT3			
SHEET:			
14 OF 14			

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 DT3



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3d

Title:

Plan Commission recommendation to approve a Plat of Vacation and Final Plat of Subdivision for First Street Building #2

Presenter:

Russell Colby

Meeting: Planning & Development Committee

Date: March 12, 2018

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Preliminary Plans for construction of First Street Building #2 were approved in November 2017. Building permit plans for the building have been submitted and are under review. Construction is to begin this spring.

The current Building #2 lot follows the footprint of the previous building approved in 2015. Along the First Street frontage, the lot lines followed the exact building face, including bump outs and recesses for the building walls.

The City has prepared documents to replat the Building #2 lot to follow the approved plan. This will require two documents:

- A Plat of Vacation of a few small sections of street right-of-way where the building would encroach.
- A Plat of Subdivision to replat the lot based on the current building footprint, and to dedicate right-of-way in the previous “bump outs” in the lot.

The building will not encroach any further into First Street than the previous building. Also, you may recall there are no balconies planned on the First Street elevation of the building.

Plan Commission recommendation

On 3/6/18, the Plan Commission recommended approval of the Final Plat of Subdivision, 8-0.

Attachments *(please list):*

Plan Commission Resolution; Application, Plat documents, Ordinance approving Preliminary Plan

Recommendation/Suggested Action *(briefly explain):*

Plan Commission recommendation to approve a Plat of Vacation and Final Plat of Subdivision for First Street Building #2

City of St. Charles, Illinois
Plan Commission Resolution No. 4-2018

**A Resolution Recommending Approval for Final Plat of Subdivision for
Building #2 for First Street Redevelopment PUD (City of St. Charles)**

Passed by Plan Commission on March 6, 2018

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review Final Plats of Subdivision; and

WHEREAS, the Plan Commission has reviewed the Final Plat of Subdivision for the First Street Building #2; and

WHEREAS, the Plan Commission finds the Final Plat of Subdivision to be in conformance with the requirements of Title 16 of the City Code entitled, "Subdivisions and Land Improvement" and the requirements of the First Street PUD Preliminary Plan for Building #2, Ordinance No. 2017-Z-20.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of the Final Plat of Subdivision for First Street Building #2; contingent upon the resolution of all staff comments prior to City Council action.

Roll Call Vote:

Ayes: Pretz, Purdy, Kessler, Wallace, Holderfield, Funke, Pietryla, Vargulich

Nays: None

Absent: Schuetz

Motion carried: 8-0

PASSED, this 6th day of March 2018.

Chairman
St. Charles Plan Commission

CITY OF ST. CHARLES
 TWO EAST MAIN STREET
 ST. CHARLES, ILLINOIS 60174-1984

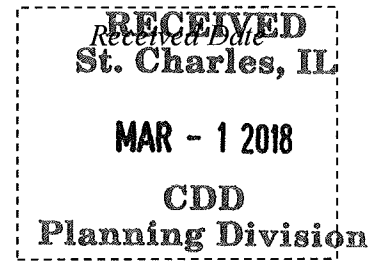


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

FINAL PLAT OF SUBDIVISION APPLICATION

For City Use	
Project Name:	First Street Phase 3
Project Number:	2013 -PR- 018
Application Number:	2018 -AP- _____



To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.

When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: First Street PUD, Lot #2	
	Parcel Number (s): 09-34-127-014	
	Proposed Subdivision Name: Resubdivision of Lot 2 of the Resubdivision of the Resubdivision of Phase III	
2. Applicant Information:	Name City of St. Charles	Phone 630-377-4443
	Address 2 E. Main Street St. Charles, IL 60174	Fax
		Email rcolby@stcharlesil.gov
3. Record Owner Information:	Name Same as Applicant	Phone
	Address	Fax
		Email

Please check the type of application:

- Subdivision:**
 - Preliminary Subdivision Plat was previously approved by the City
 - Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)
- Planned Unit Development (PUD):**
 - PUD Preliminary Plan was previously approved by the City
 - Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
 - PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

□ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

□ SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the plat.

NA **□ FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

NA **□ ENGINEER'S COST ESTIMATE SPREADSHEET:**

See attached form.

NA **□ STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)**

NA **□ STORMWATER REPORT**

NA **□ FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT**

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.

NA **□ COPIES OF THIRD PARTY PERMIT/APPROVALS**

- Illinois EPA Water Pollution Control Permit for sanitary sewer extension

- Illinois EPA Division of Public Water Supplies Permit for water mains
- Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
- IDNR Office of Water Resources Permit (for work in flood plain)
- Wetlands Permit from Army Corps of Engineers
- Kane County DOT and/or IDOT signature on Final Plat (if applicable)
- Offsite easements and right of way necessary to construct the required Land Improvements

NA **PARK AND SCHOOL LAND/CASH WORKSHEETS:** For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

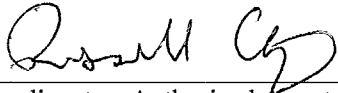
NA **INCLUSIONARY HOUSING SUMMARY:** For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

City of St. Charles

Record Owner

Date

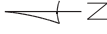


3/1/18

Applicant or Authorized Agent

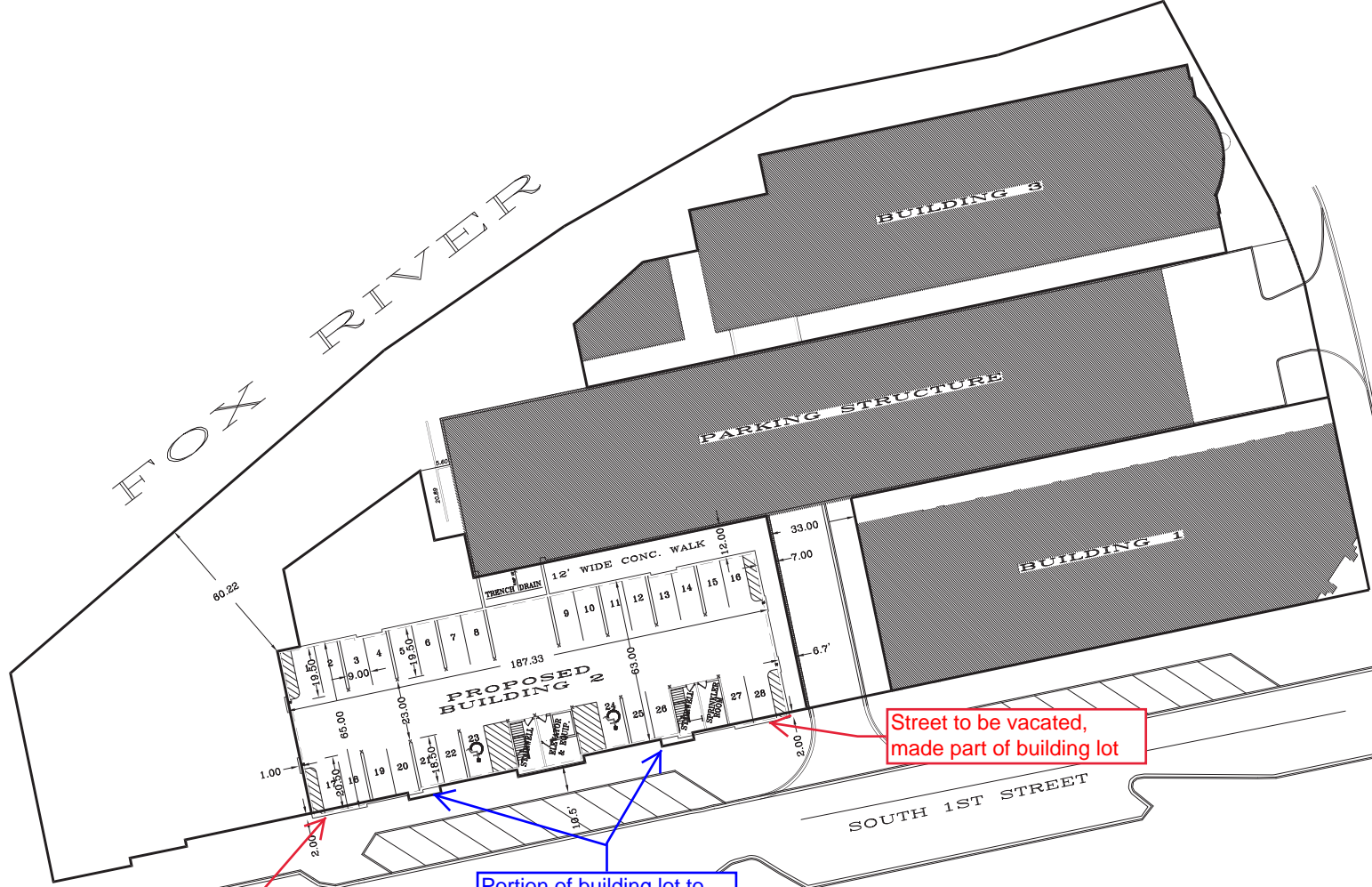
Date

FOX RIVER



ILLINOIS STREET

SOUTH 1ST STREET



Street to be vacated, made part of building lot

Portion of building lot to be dedicated as street right-of-way

Street to be vacated, made part of building lot

NOTES:

- 1- RESUBDIVISION OF THE RESUBDIVISION OF PHASE III, FIRST STREET REDEVELOPMENT SUBDIVISION RECORDED 10/4/2016, DOCUMENT No. 2016K053789.
- 2- BUILDINGS 1, 3, AND PARKING STRUCTURE SHOWN BASED ON AS-BUILT DATED MAY 7, 2017.
- 3- PROPOSED BUILDING 2 AREA IS AT 11,695 sf.

FIRST STREET PHASE 3 / BUILDING No.2

OCTOBER 11, 2017

COUNTY ENGINEERS, INC. <small>CONSTRUCTION MANAGEMENT</small>	
OWNER: COUNTY OF ILLINOIS, ILLINOIS 60134	
Common Address :	
Builder/Client :	
Job No. :	Scale: 1" = 20'
1	2
2	3
3	
REVISIONS:	
1	2
2	3
3	
BUILDING - 2 GEOMETRIC PLAN	
SHEET 1 OF 1	

PLAT OF VACATION

of

PIN NO.: 09-34-127-014

PART OF FIRST STREET LYING WESTERLY OF AND ADJOINING LOT 2 IN THE RESUBDIVISION OF THE RESUBDIVISION OF PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTY-FOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 4, 2016 AS DOCUMENT NO. 2016K053789 , ALL IN KANE COUNTY, ILLINOIS.



FIRST STREET

LOT 2

RESUBDIVISION OF THE RESUBDIVISION OF PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION RECORDED OCTOBER 4, 2016 AS DOCUMENT NO. 2016K053789

LOT 4

EASEMENT FOR INGRESS AND EGRESS FOR LOTS 1, 2 AND 3

LOT 1

LOT 4

EASEMENT FOR INGRESS AND EGRESS FOR LOTS 1, 2 AND 3

Survey measurements for the western boundary of Lot 2: N11-54-51W 21.33, HEREBY VACATED, N78-05-09E 1.00, N11-54-51W 16.17, 37.50 S11-54-51E, 1.00 N78-05-09E, 2.00 S78-05-09W, 7.00 N11-54-51W, POINT OF COMMENCEMENT FOR PARCEL TWO.

Survey measurements for the eastern boundary of Lot 2: N11-54-51W 16.17, 37.50 S11-54-51E, 1.00 N78-05-09E, 2.00 N11-54-51W 21.33, HEREBY VACATED, S78-05-09W 1.00, POINT OF BEGINNING FOR PARCEL ONE.

RECORDER'S CERTIFICATE

INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF KANE COUNTY, ILLINOIS, ON THE _____ DAY OF _____ 20____ AT _____ O'CLOCK _____ M.

RECORDER OF DEEDS

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) SS

COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, PAUL N. MARCHESE, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-02461, HAVE PREPARED THE PLAT OF VACATION THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1: THAT PART OF FIRST STREET LYING WESTERLY OF AND ADJOINING LOT 2 IN THE RESUBDIVISION OF THE RESUBDIVISION OF PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTYFOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 4, 2016 AS DOCUMENT NO. 2016K053789 BOUNDED AND DESCRIBED AS FOLLOWS BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 2 THENCE SOUTH 78 DEGREES 54 MINUTES 11 SECONDS EAST BEING AN ASSUMED BEARING ON THE WESTERLY LINE OF SAID LOT 2, A DISTANCE OF 37.50 FEET; THENCE SOUTH 78 DEGREES 05 MINUTES 09 SECONDS WEST, 1.00 FOOT; THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 16.17 FEET; THENCE SOUTH 78 DEGREES 05 MINUTES 09 SECONDS WEST, 1.00 FOOT; THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 21.33 FEET; THENCE NORTH 78 DEGREES 05 MINUTES 09 SECONDS EAST, 2.00 FEET TO THE POINT OF BEGINNING, ALL IN KANE COUNTY, ILLINOIS.

CONTAINING 59 SQUARE FEET OR 0.001 ACRES, MORE OR LESS

PARCEL 2: THAT PART OF FIRST STREET LYING WESTERLY OF AND ADJOINING LOT 2 IN THE RESUBDIVISION OF THE RESUBDIVISION OF PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTYFOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 4, 2016 AS DOCUMENT NO. 2016K053789 BOUNDED AND DESCRIBED AS FOLLOWS COMMENCING AT THE SOUTHWESTERLY CORNER OF SAID LOT 2 THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST BEING AN ASSUMED BEARING ON THE WESTERLY LINE OF SAID LOT 2, A DISTANCE OF 37.50 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 78 DEGREES 05 MINUTES 09 SECONDS WEST, 1.00 FEET; THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 16.17 FEET; THENCE SOUTH 78 DEGREES 05 MINUTES 09 SECONDS WEST, 1.00 FOOT; THENCE NORTH 11 DEGREES 54 MINUTES 51 SECONDS WEST, 21.33 FEET; THENCE NORTH 78 DEGREES 05 MINUTES 09 SECONDS EAST, 2.00 FEET; THENCE SOUTH 78 DEGREES 05 MINUTES 09 SECONDS EAST, 1.00 FOOT; THENCE SOUTH 11 DEGREES 54 MINUTES 51 SECONDS EAST, 16.17 FEET TO THE POINT OF BEGINNING, ALL IN KANE COUNTY, ILLINOIS.

CONTAINING 59 SQUARE FEET OR 0.001 ACRES, MORE OR LESS

AS SHOWN BY THE PLAT WHICH IS A CORRECT REPRESENTATION OF SUCH VACATION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

GIVEN UNDER MY HAND AND SEAL AT ROSSELLE, ILLINOIS, THIS 20th DAY OF MARCH, 2018.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-02461 My Current License Expires November 14, 2018

PAUL N. MARCHESE 10 MONACO DRIVE ROSSELLE, ILLINOIS, 60172 (833) 994-5689

FILE NO. : 05-14966

SHEET : 1 of 1

SCALE : ONE INCH = TEN FEET

ORDER NO.: 05-14966 (Vacation)

ORDERED BY : THE CITY OF ST. CHARLES

PLAT OF VACATION

MARCHESE AND SONS, Inc.

land - marine - construction surveys 19 Marine Drive Roselle, Illinois 60172 (815) 984-5689 FAX : (815) 884-8889

Please Return the recorded Mylar to:

City of St. Charles 2 E Main Street St. Charles, IL 60174

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) SS

COUNTY OF KANE)

_____, COUNTY CLERK OF KANE COUNTY,

ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT GENEVA, ILLINOIS

THIS _____ DAY OF _____, A.D. 20____

COUNTY CLERK

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS) SS

COUNTY OF DUPAGE)

APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D. 20____

CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS

MAYOR

ATTEST:

CITY CLERK

PAUL N. MARCHESE, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-02461

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PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS
APPROVED THIS ___ DAY OF ___ A.D. 20__
CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

DIRECTOR OF COMMUNITY DEVELOPMENT (or Designee) CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS
I, _____ DO HEREBY CERTIFY
THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT
DATED AT ST. CHARLES, ILLINOIS, THIS ___ DAY OF ___ A.D. 20__

CERTIFICATE AS TO SPECIAL ASSESSMENT

STATE OF ILLINOIS)
COUNTY OF KANE) SS
I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPROPRIATED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAN.

COLLECTOR OF SPECIAL ASSESSMENTS
DATED AT ST. CHARLES, ILLINOIS THIS ___ DAY OF ___ A.D. 20__

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS
APPROVED AND ACCEPTED THIS ___ DAY OF ___ A.D. 20__
CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS

MAYOR
ATTORNEY
CITY CLERK

CERTIFICATION CONCERNING DRAINAGE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATERS DRAINAGE WILL CHANGE, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DRAINAGE OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR AREAS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTY RESULTING FROM THE CONSTRUCTION OF THE SUBDIVISION.

PERSONALLY KNOWN
TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS ___ DAY OF ___ 20__
REGISTERED PROFESSIONAL ENGINEER

OWNER OR ATTORNEY

NOTARY PUBLIC
MY COMMISSION EXPIRES

LOT TWO RESUBDIVISION

of

LOT 2 IN THE RESUBDIVISION OF THE RESUBDIVISION OF PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTY-FOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS.

RECORDER'S CERTIFICATE

INSTRUMENT NO. _____
WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS, ON THE ___ DAY OF ___ 20__ AT ___ O'CLOCK P.M.

RECORDER OF DEEDS

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS
CLERK OF KANE COUNTY.
ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, UNPAID FORECLOSED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.
GIVEN UNDER MY HAND AND SEAL AT GENEA, ILLINOIS
THIS ___ DAY OF ___ A.D. 20__

COUNTY CLERK

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS
THIS IS TO CERTIFY THAT I, PAUL N. MARCHESE, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-020461, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:
LOT 2 IN THE RESUBDIVISION OF THE RESUBDIVISION OF PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTYFOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 4, 2016 AS DOCUMENT NO. 20160053789, ALL IN KANE COUNTY, ILLINOIS.
GIVEN UNDER MY HAND AND SEAL AT ROSELLE, ILLINOIS, THIS 5TH DAY OF FEBRUARY, A.D. 2016.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-020461
My Current License Expires November 30, 2018
PAUL N. MARCHESE
10 MONACO DRIVE
ROSELLE, ILLINOIS 60172
(815) 984-8080
FILE NO.: 05-40986

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE CITY OF ST. CHARLES, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, PANEL NO. 17081-C-02E18 DATED AUGUST 1, 2005.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-020461

SHEET: 1 OF 2

PLN NO.: 09 - 34 - 127 - 014
ADDRESS: FIRST STREET
ST. CHARLES, ILLINOIS
ORDERED BY: CITY OF ST. CHARLES

PLAT OF SUBDIVISION
MARCHESE AND SONS, INC.
land - marine - construction surveys
18 Wacker Dr. Phone: (815) 984-8080
Barrington, Illinois 60015 FAX: (815) 984-8889

BLANKET UTILITY AND ACCESS EASEMENT PROVISIONS:

A BLANKET UTILITY AND ACCESS EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND ITS FRANCHISEES, OVER LOTS 1, 2, 3 AND 4 (EXCLUSIVE OF BUILDINGS, NOT INCLUDING THE OPEN CORRIDOR THROUGH THE BUILDING ON LOT 3) HEREON PLATTED AND DESIGNATED AS "BLANKET UTILITY AND ACCESS EASEMENT", (OR SIMILAR DESIGNATION), TO CONSTRUCT, INSTALL, RECONSTRUCT, REPAIR, REMOVE, REPLACE, INSPECT, MAINTAIN AND OPERATE UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS AND LINES IN UNDER, OVER, ACROSS, ALONG AND UPON THE SURFACE OF SAID EASEMENT, INCLUDING WITHOUT LIMITATION, WATER MAINS, STORMWATER RUNOFF, STORM SEWERS, SANITARY SEWERS, GAS MAINS, TELEPHONE CABLES, ELECTRICAL LINES, AND CABLE TELEVISION

NO ENCROACHMENT OF ANY KIND SHALL BE ALLOWED WITHIN SAID EASEMENT UNLESS THE CITY DETERMINES AND APPROVES THAT SAID ENCROACHMENT SHALL NOT INTERFERE WITH THE PROPER FUNCTIONING OF SUCH UTILITY FACILITIES, SUCH AS NON-INTERFERING ENCROACHMENT BY FENCES, GARDENS, SHRUBS, AND OTHER LANDSCAPING MATERIAL.

THE CITY AND ITS FRANCHISEES WITH PERMITS FROM THE CITY MAY ENTER UPON SAID EASEMENT FOR THE USES HEREIN SET FORTH AND HAVE THE RIGHT TO CUT, TRIM OR REMOVE ANY FENCES, TREES, SHRUBS OR OTHER PLANTS WITHIN THE AREAS DESIGNATED "BLANKET UTILITY AND ACCESS EASEMENT", "BLAZE" (OR SIMILAR DESIGNATION), WHICH ENCROACH ON AND INTERFERE WITH THE CONSTRUCTION, INSTALLATION, RECONSTRUCTION, REPAIR, REMOVAL, REPLACEMENT, MAINTENANCE AND OPERATION OF THE UNDERGROUND TRANSMISSION AND DISTRIBUTION SYSTEMS AND SUCH FACILITIES APPURTENANT THERETO.

FOLLOWING ANY WORK TO BE PERFORMED BY CITY FRANCHISEES WITH PERMITS FROM THE CITY, IN THE EXERCISE OF THE EASEMENT RIGHTS GRANTED HEREIN, SAID ENTITIES SHALL MAKE SURFACE RESTORATIONS OR REPAIRS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: BACKFILL ANY TRENCH, RESTORE CONCRETE AND ASPHALT SURFACES, TOPSOIL AND SEED, REMOVE EXCESS DEBRIS, MAINTAIN AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION. ALL SAID RESTORATION SHALL BE COMPLETED IN ACCORDANCE WITH CITY STANDARDS.

FOLLOWING ANY WORK TO BE PERFORMED BY THE CITY IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE CITY SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION OR REPAIRS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, FENCES, LANDSCAPING MATERIALS, LAWN OR SHRUBBERY, PROVIDED, HOWEVER, THAT THE CITY SHALL BE OBLIGATED FOLLOWING MAINTENANCE WORK TO BACKFILL AND MOUND ANY TRENCH CREATED SO AS TO RETAIN SUITABLE DRAINAGE, TO REMOVE ALL EXCESS DEBRIS AND SHOULDS AND TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

SAID BLANKET UTILITY AND ACCESS EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES ITS SUCCESSORS AND ASSIGNS FOR THE PURPOSES OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RESIZING, ENLARGING, REMOVING, REPAIRING, CLEANING AND MAINTAINING ALL CONSTRUCTION IMPROVEMENTS LOCATED COMMON TO LOT 4, AND SUCH APPURTENANCES AND ADDITIONS THERETO AS SAID CITY MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK.

INGRESS AND EGRESS EASEMENT

A PERPETUAL, NON-EXCLUSIVE ACCESS EASEMENT FOR INGRESS/EGRESS PURPOSES, THAT RUNS WITH THE LAND IS HEREBY RESERVED FOR AND GRANTED TO THE OWNERS OF LOT 1, LOT 2 AND LOT 3 OR ANY PART(S) THEREOF, IN, UPON, OVER AND THROUGH THE INGRESS AND EGRESS EASEMENT ON LOT 4 AND ON THE PLAN OF RESUBDIVISION HEREOF DRAWN, FOR THE PURPOSE OF PEDESTRIAN AND VEHICULAR ACCESS OVER AND UPON LOT 4, INCLUDING BUT NOT LIMITED TO THE LOWER AND GROUND LEVEL OF ANY STRUCTURE EVER LOCATED ON LOT 4, TO THE UNDERGROUND PARKING AREAS LOCATED ON LOT 1, LOT 2 AND LOT 3. THIS PERPETUAL NON-EXCLUSIVE INGRESS/EGRESS EASEMENT SHALL INURE TO THE BENEFIT OF ANY OWNER'S SUCCESSORS OR ASSIGNS.

Please Return the recorded Mylar to:
City of St. Charles
2 E Main Street
St. Charles, IL 60174

LOT TWO RESUBDIVISION

of

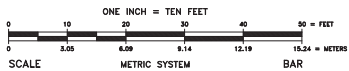
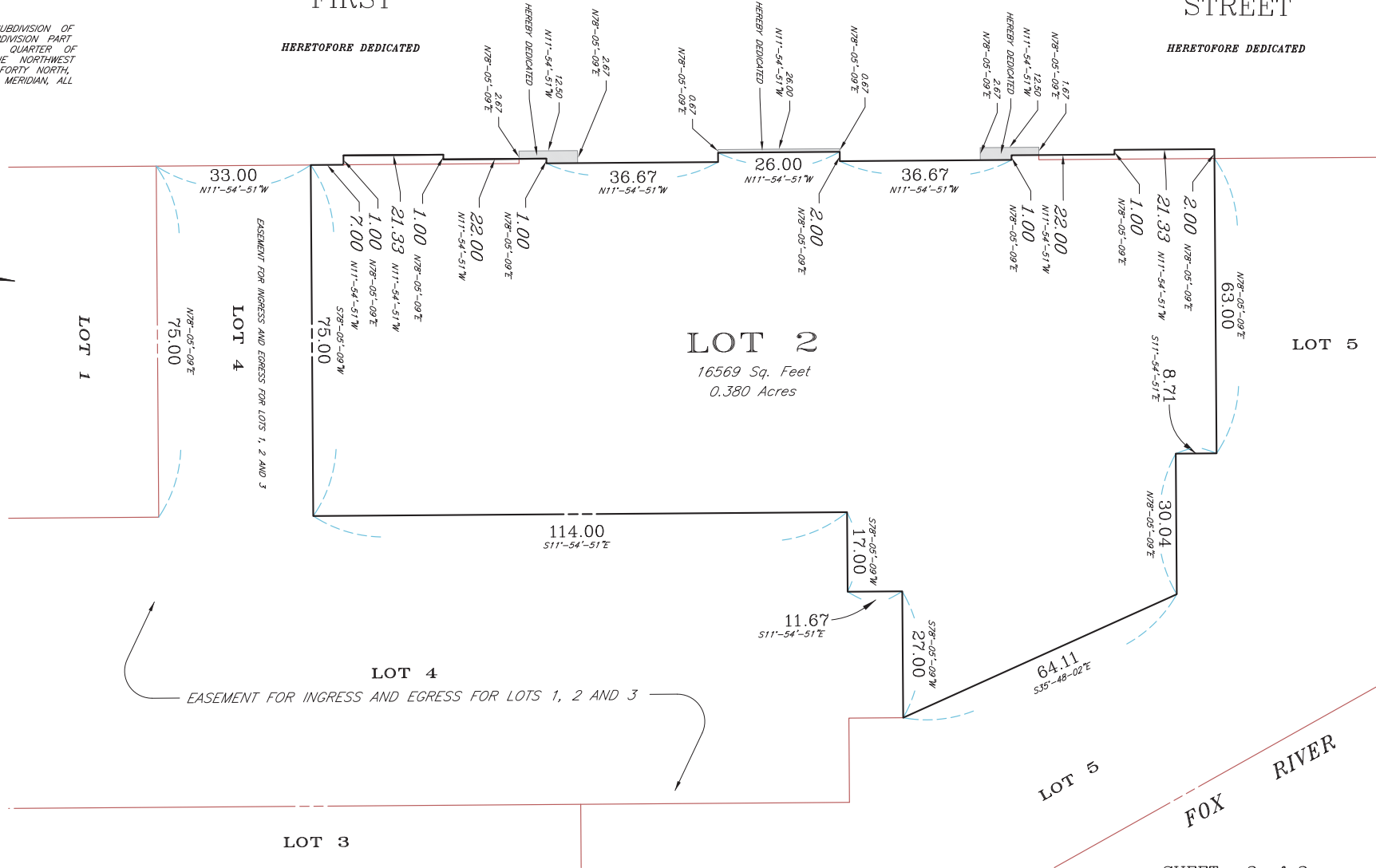
FIRST

STREET

LOT 2 IN THE RESUBDIVISION OF THE RESUBDIVISION OF PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTY-FOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS.

HERETOFORE DEDICATED

HERETOFORE DEDICATED



INGRESS AND EGRESS EASEMENT
 A PERPETUAL, NON-EXCLUSIVE ACCESS EASEMENT FOR INGRESS/EGRESS PURPOSES, THAT RUNS WITH THE LAND IS HEREBY RESERVED FOR AND GRANTED TO THE OWNERS OF LOT 1, LOT 2 AND LOT 3 OR ANY PART(S) THEREOF, IN, UPON, OVER AND THROUGH THE INGRESS AND EGRESS EASEMENT ON LOT 4 AND ON THIS PLAT OF RESUBDIVISION HEREOF, DRAIN, FOR THE PURPOSE OF PEDESTRIAN AND VEHICULAR ACCESS OVER AND UPON LOT 4, INCLUDING BUT NOT LIMITED TO THE LOWER AND GROUND LEVEL OF ANY STRUCTURE OVER LOCATED ON LOT 4, TO THE UNDERGROUND PARKING AREAS LOCATED ON LOT 1, LOT 2 AND LOT 3. THIS PERPETUAL, NON-EXCLUSIVE INGRESS/EGRESS EASEMENT SHALL INURE TO THE BENEFIT OF ANY OWNER'S SUCCESSORS OR ASSIGNS.

SHEET : 2 of 2
 DATE : February 5, 2016
 SCALE : ONE INCH = TEN FEET
 ORDER NO.: 05-14966 (Lot 2)
 ORDERED BY : THE CITY OF ST. CHARLES

PLAT OF SUBDIVISION
MARCHESE AND SONS, Inc.
 Design Firm No. 184-02761
 land - marine - construction surveys
 12 Wilson Dr. Phone : (815) 284-5800
 Moline, Illinois 61712 FAX : (815) 884-8888

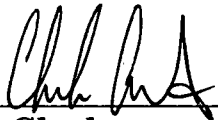
City of St. Charles, Illinois

Ordinance No. 2017-Z-20

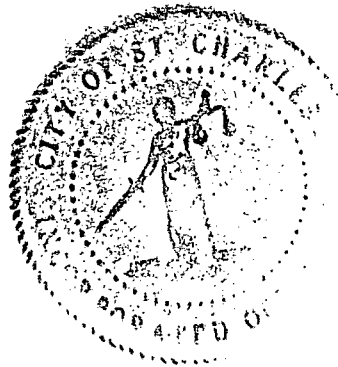
**An Ordinance Granting Approval of a Revised PUD
Preliminary Plan for First Street Building #2.**

**Adopted by the
City Council
of the
City of St. Charles
November 6, 2017**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, November 12, 2017**



City Clerk



(SEAL)

City of St. Charles, Illinois
Ordinance No. 2017-Z- 20

**An Ordinance Granting Approval of a Revised PUD Preliminary Plan for
First Street Building #2**

WHEREAS, on or about September 5, 2017, First Street Development II, LLC (the "Applicant") filed an application for PUD Preliminary Plan for Lot 2 of First Street Redevelopment PUD Phase 3, said realty being legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Realty"); and,

WHEREAS, the Plan Commission recommended approval of the PUD Preliminary Plan on or about October 17, 2017; and,

WHEREAS, the Government Services Committee of the City Council recommended approval of the PUD Preliminary Plan on or about October 23, 2017; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Government Services Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "B", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Development Data for Phase 3, dated 10/25/17
- Geometric Plan, prepared by County Engineers, dated 10/11/17
- Architectural Elevations, prepared Marshall Architects, dated 8/28/17

3. That the subject property may be developed and used only in accordance with all ordinances of the City now in effect or hereafter amended or enacted.

4. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

Ordinance No. 2017-Z-20

Page 2

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 6th day of November, 2017.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 6th day of November, 2017.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 6th day of November, 2017.



Attest:

Handwritten signature of Charles Amenta in black ink.

Charles Amenta, City Clerk

Handwritten signature of Raymond P. Rogina in black ink, written over a horizontal line.

Raymond P. Rogina, Mayor

Vote:

Ayes: 9

Nays: 0

Absent: 1

Abstain: 0

Date: _____

APPROVED AS TO FORM:

City Attorney

DATE: _____

EXHIBIT "A"

LEGAL DESCRIPTION

LOT 2 OF RESUBDIVISION OF THE RESUBDIVISION OF THE PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION, BEING A RESUBDIVISION IN THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, AS RECORDED WITH THE KANE COUNTY RECORDER'S OFFICE AS DOCUMENT NO. 2016K053789.

EXHIBIT "B"

PUD PRELIMINARY PLANS

- Development Data for Phase 3, dated 10/25/17
- Geometric Plan, prepared by County Engineers, dated 10/11/17
- Architectural Elevations, prepared Marshall Architects, dated 8/28/17

FIRST STREET PHASE 3 DEVELOPMENT DATA
10/25/17

Building No.	Type	Floor Level	Area/Units
Building 1	Parking	Basement	29 spaces
	Retail/Commercial	1 st level	11,865 sf
	Office	2 nd level	11,865 sf
	Office	3 rd level	11,865 sf
	Office	4 th level	11,865 sf
	<i>Total Office</i>		
Total Building area			47,460 sf
Parking Deck			
	Parking	1 st level	57 spaces
	Parking	2 nd level	53 spaces
Total Parking Count			110 spaces
Building 2	Parking	Basement	28 spaces
	Retail/Commercial	1 st level	12,251 sf
	Office	2 nd level	12,312 sf
	Residential	3 rd level	12,378 sf
	Residential	4 th level	12,441 sf
	Residential	5 th level	11,158 sf
	Total Residential (2 1-Bedroom, 12 2-Bedroom)		
Total Building area			60,543 sf
Building 3	Parking	Basement	28 spaces
	Bank/office	1 st level	13,092 sf
	Office/residential*	2 nd level	12,542 sf
	Office/residential*	3 rd level	13,245sf
	Office/residential*	4 th level	13,245sf
	Office/residential*	5 th level	13,245 sf
	Total Residential (Bedroom Count TBD)		
Total Building area			65,369 sf

**Split between office/residential square footage as shown on Architectural Plans dated 12/22/16*

FOX RIVER

BUILDING 3

PARKING STRUCTURE

BUILDING 1

ILLINOIS STREET

SOUTH 1ST STREET

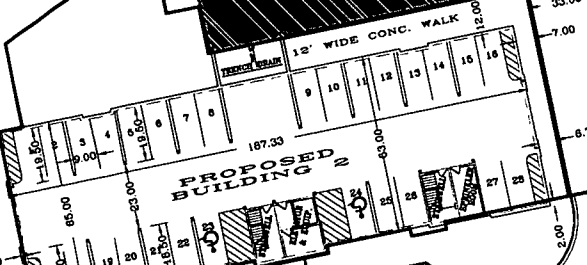
WALNUT STREET

PROPOSED BUILDING 2

12' WIDE CONC. WALK

187.33

65.00



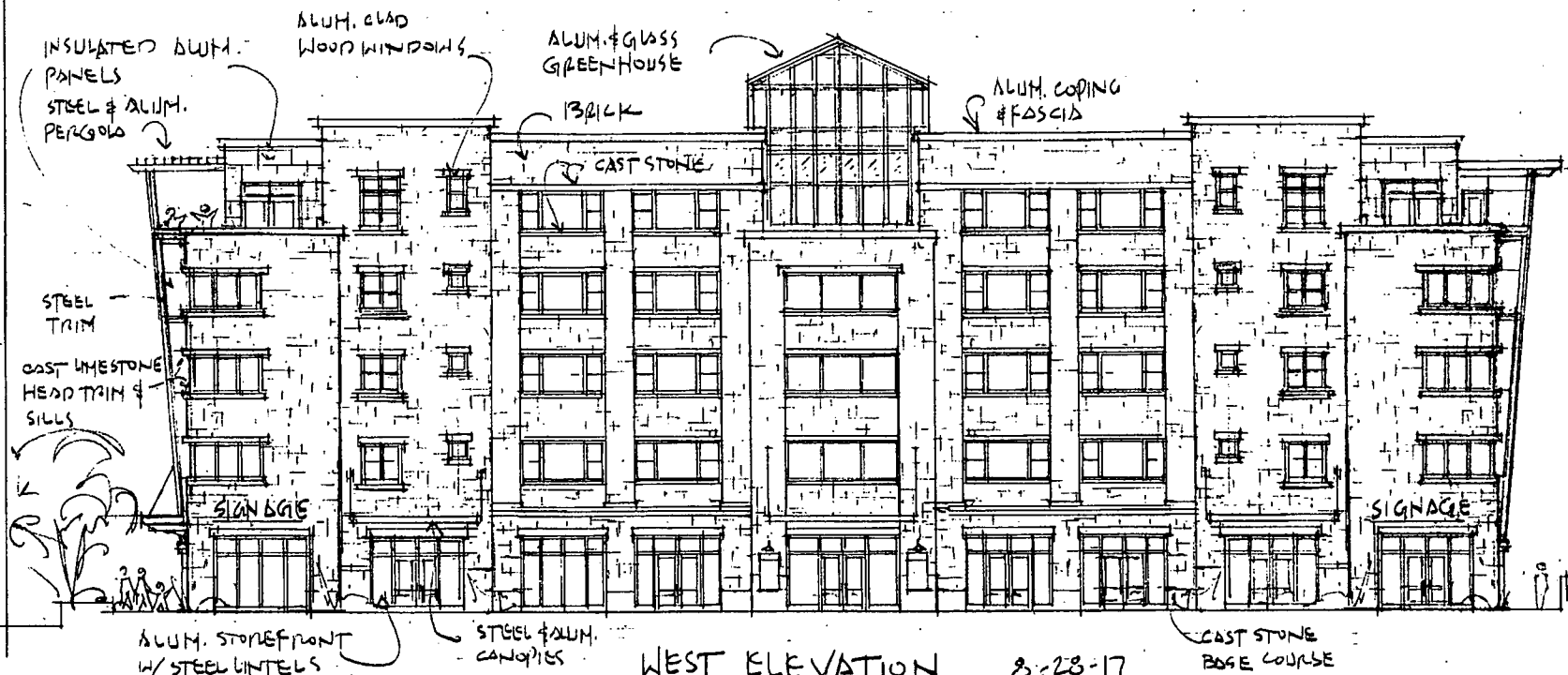
NOTES:

- 1- RESUBDIVISION OF THE RESUBDIVISION OF PHASE III, FIRST STREET REDEVELOPMENT SUBDIVISION RECORDED 10/4/2016, DOCUMENT No. 2016K053789.
- 2- BUILDINGS 1, 3, AND PARKING STRUCTURE SHOWN BASED ON AS-BUILT DATED MAY 7, 2017.
- 3- PROPOSED BUILDING 2 AREA IS AT 11,695 sf.

FIRST STREET PHASE 3 / BUILDING No.2

OCTOBER 11, 2017

COUNTY ENGINEERS INC. COUNTY ENGINEERS INC. 1111 N. WISCONSIN STREET, SUITE 100 CHICAGO, IL 60610	Common Address: Building/Client: Job No.:	Scale: 1" = 20' Date: 10/11/17
REVISIONS: 1 2 3	Cadd Author Designer	SHEET 2 OF 2 GEOMETRIC PLAN SHEET 1 OF 1



WEST ELEVATION 8-23-17

1/16" = 1'-0" FIRST STREET BUILDING TWO

FIRST STREET II LLC · MARSHALL ARCHITECTS, INC.
 RIVER LOFT · ST. CHARLES, IL.

GREENHOUSE & PRIVATE
ROOF DECK BEYOND

INSUL. ALUM.
PANELS

ALUM. CURT
FLOOR WINDOWS
& FLOORS (FLOORS
2-5)

ALUM. RAILINGS
& STEEL & CONC.
BALCONIES

FABRIC AWNING
AT SIDE DOOR
BEYOND

ALUM. COPING
& FASCIA

STEEL & ALUM.
PERGOLA

STEEL (4M ID)
INSUL. ALUM.
PANELS

CAST STONE
HEAD TRIM &
SILLS

ALUM. & STEEL
CANOPIES

BRICK

BRICK & CAST STONE

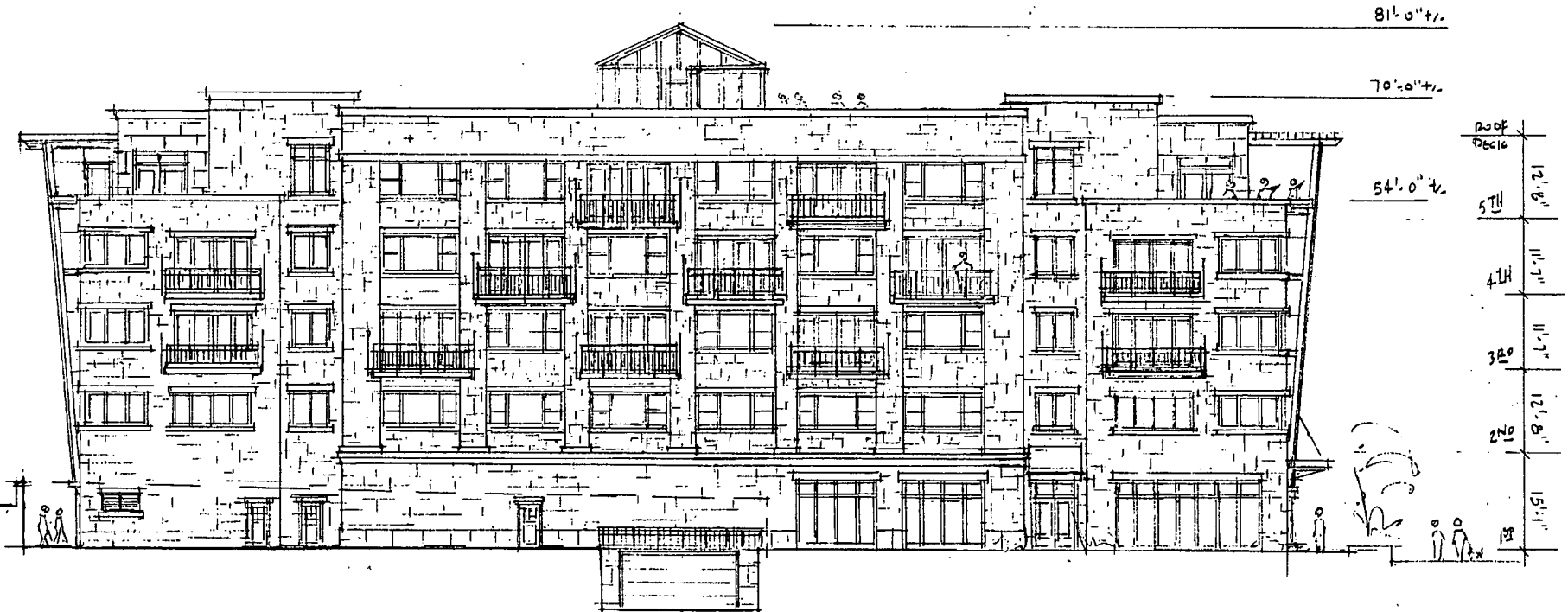
ALUM. STORE FRONT

NORTH ELEVATION 8.28.17

1/4" = 1'-0" FIRST STREET BUILDING TWO

FIRST STREET LLC. MARSHALL ARCHITECTS, INC.

121 VERMONT LOFT ST. CHARLES, IL

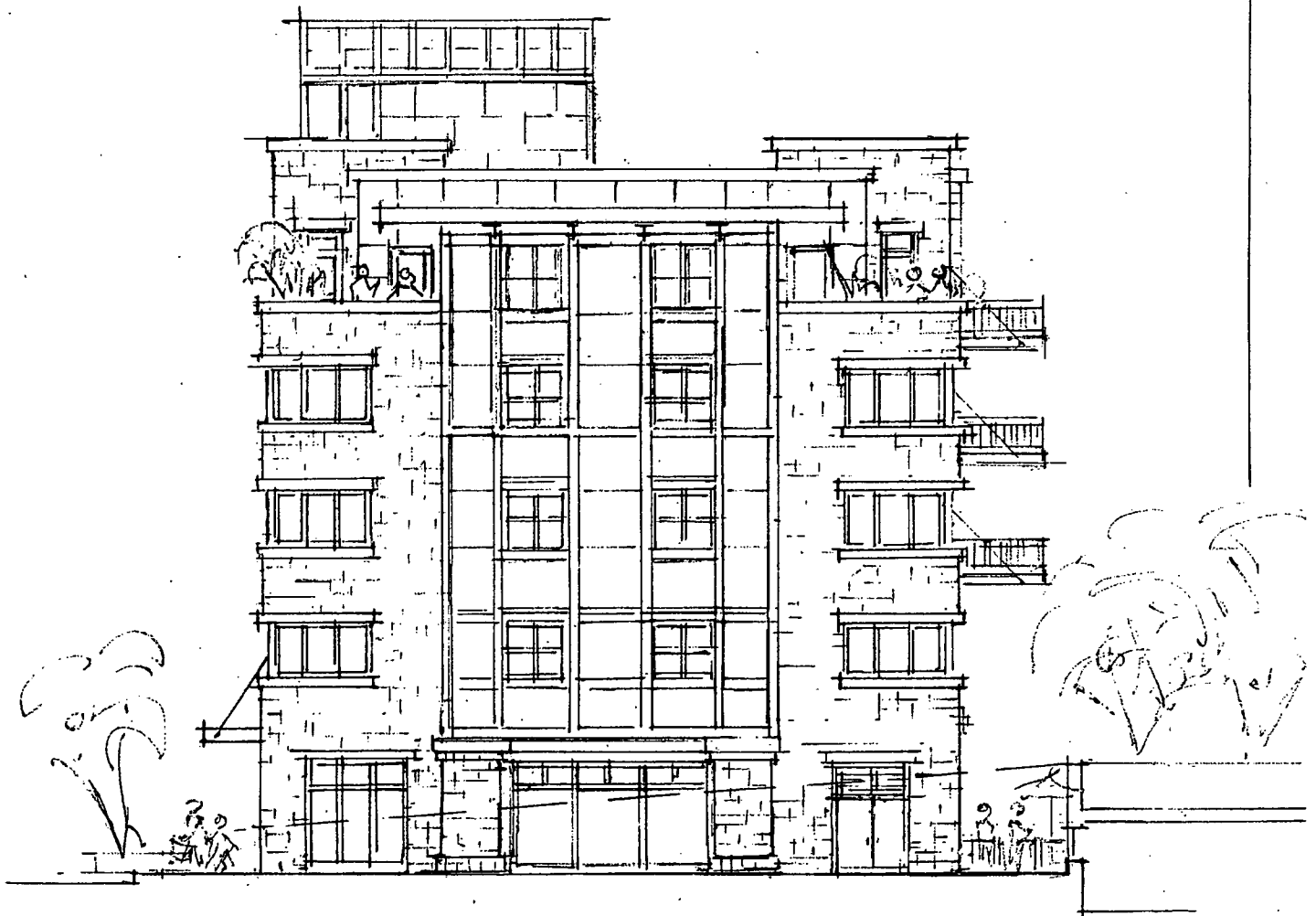


EAST ELEVATION 8.28.17

1/4" = 1'-0" FIRST STREET BUILDING TWO

FIRST STREET ILLC. MARSHALL ARCHITECTS, INC.

RIVER LOFT, ST. CHARLES, IL



SOUTH ELEVATION

8-28-17

FIRST STREET BUILDING TWO

140'-5 1/2" H

FIRST STREET II, LLC • MARSHALL ARCHITECTS, INC.

RIVER LOFT • ST. CHARLES, IL.

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, CHUCK AMENTA, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on November 6, 2017, the Corporate Authorities of such municipality passed and approved Ordinance No. 2017-Z-20, entitled

" An Ordinance Granting Approval of a Revised PUD
Preliminary Plan for First Street Building #2."

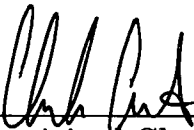
which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2017-Z-20, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on November 12, 2017 and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 6th day of November, 2017.

(S E A L)




Municipal Clerk



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 3e

Title:

Discussion regarding amendments to the Zoning Ordinance, Chapter 17.28 “Signs”

Presenter:

Russell Colby

Meeting: Planning & Development Committee

Date: March 12, 2018

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary (if not budgeted please explain):

The City’s Sign Code, Chapter 17.28 of the Zoning Ordinance, was last significantly updated in 2006. Since that time, the sign code has been amended periodically for specific issues that have arisen.

Over the past few months, staff has identified the following issues with the Sign Code, which may warrant a more significant overhaul of the regulations:

- Regulation of temporary signs (such as yard signs) is limited. Currently, only temporary signs displaying certain types of information are regulated, and the code lacks standards regarding size, number, or placement for most types of temporary signs.
- Historically, messages contained on signage have been viewed by courts as protected speech under the First Amendment of the U.S. Constriction, which limits the City’s ability to regulate the actual content or speech on a sign. More recently, the Supreme Court ruled that classifying signs by type (by categories such as real estate sign or political sign) in effect regulates the content of the signs, which may violate the First Amendment. The City’s Sign Code currently regulates a number of temporary, permanent and permit-exempt signs by sign type or function.
- The Supreme Court also opined that setting different sign standards for different businesses or land uses within the same Zoning District would similarly be considered unconstitutional. The City’s Sign Code currently contains some sign standards for specific businesses or land uses.

In order to address these issues, staff proposes to amend the Sign Code, with the goals of:

- Regulating all temporary signs by zoning district, with standards for size, number, placement location and setbacks.
- Eliminating categories in the code based on function or content (such as “garage sale sign”).
- Eliminating sign regulations that apply only to specific businesses or land uses.
- Changing terminology but keeping existing regulations for permanent signs (including number, face area, height, etc.)
- Generally cleaning up and simplifying code language and terminology.

Attachments (please list):

Chapter 17.28 of the City Code, “Signs”

Recommendation/Suggested Action (briefly explain):

Provide feedback to staff. If the Committee supports amending the code, then recommend to direct staff to file a General Amendment to amend the Sign Code, Title 17 “Zoning”, Chapter 17.28 “Signs”.

Staff will then prepare a draft of the code amendments and file a General Amendment application for review and public hearing by the Plan Commission. The amendments and Plan Commission recommendation would then be presented to the Committee for consideration.

Chapter 17.28

SIGNS

Sections:	17.28.010	Purpose
	17.28.020	General Provisions
	17.28.030	Sign Area Computation
	17.28.040	Sign Standards By Type
	17.28.050	Permitted Signs By Zoning District
	17.28.060	Illumination
	17.28.070	Historic Signs
	17.28.080	Prohibited Signs
	17.28.090	Exemptions
	17.28.100	Temporary Signs
	17.28.110	Master Sign Plan
	17.28.120	Amortization of Nonconforming Signs

17.28.010 Purpose

The purpose of this Chapter is to establish a framework for a comprehensive system of sign controls governing the display, design, construction, installation and maintenance of signs that will:

- A. Balance the rights of individuals to identify their businesses and convey their messages, and the rights of the public to be protected against the unrestricted proliferation of signs.
- B. Protect the public health, safety, comfort, convenience and general welfare.
- C. Reduce traffic hazards.
- D. Enhance the attractiveness of the City.
- E. Protect property values.
- F. Promote economic development.
- G. Further the objectives of the Comprehensive Plan.
- H. Preserve the right of free speech exercised through the use of signs containing noncommercial messages.

17.28.020 General Provisions**A. Violations**

It shall be unlawful for any person to erect, relocate, modify or alter any sign, or structure supporting a sign, in violation of the provisions of this Title. Signs which are not allowed by this Chapter as permitted signs or exempt signs, shall be prohibited. No sign shall be placed on a lot without prior consent of the property owner.

B. Placing Signs on Public Right of Way

No signs shall be erected on any public right of way other than those placed by agencies of government or signs whose placement has been authorized by the jurisdiction having authority over the right of way. The City, without notice, may remove any sign placed on public right of way without authorization.

C. View Obstruction

All signs and attention getting devices shall comply with the sight triangle provisions of Section 17.22.010 F and the provisions of Section 12.04.200 of Title 12 of the St. Charles Municipal Code regarding corner obstructions, except that directional signs otherwise meeting the requirements of this Chapter may be located within the sight triangle.

D. Removal of Unused Structural Supports

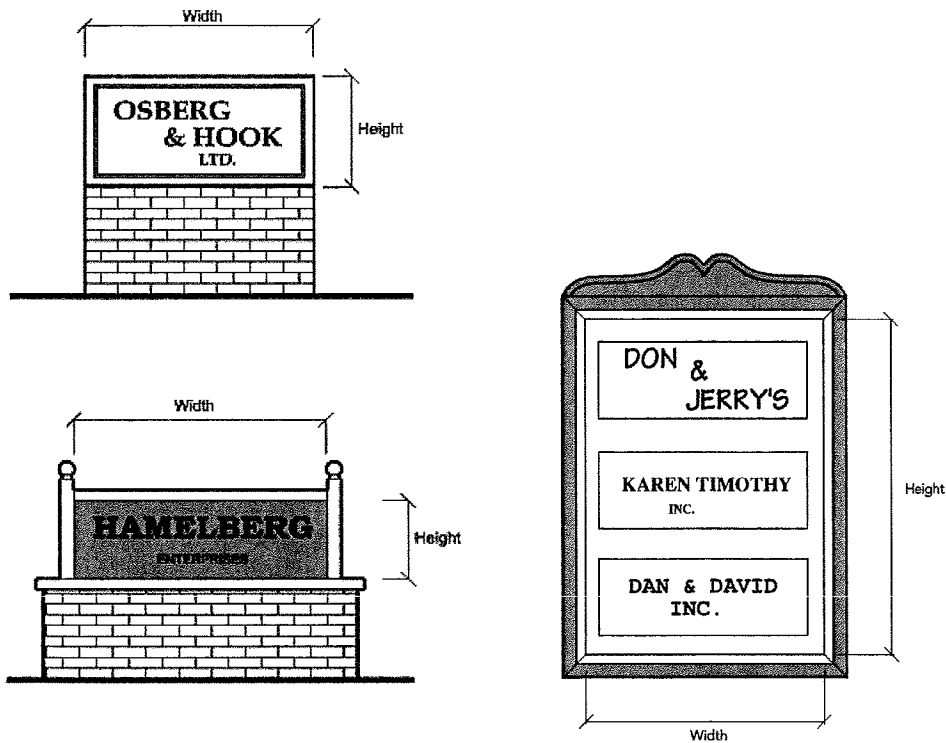
No foundation, pole, frame, cabinet, or other structural support for a sign shall be erected or maintained independently of a sign allowed by this Chapter. All such structural supports shall be removed at the time of removal of any sign or signs for which they provide support, except that a

structural support may remain for a period of not more than 30 days following the issuance of a permit to change the face of a sign, or erect a different sign, using the same structural support.

17.28.030 Sign Area Computation

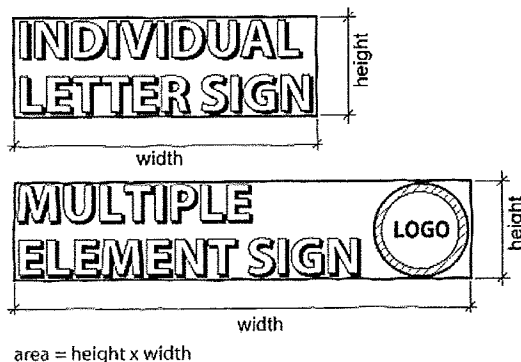
A. Area of Signs in Cabinets, Frames, and on Panels:

The area of a sign enclosed in a frame or cabinet or painted on or affixed to a panel shall be the area of the sign contained within the outer limits of the frame, cabinet or panel. The area of such sign shall not include any external architectural framing elements or supporting structure such as a post, unless the architectural elements, or supporting structure is designed as an integral part of the message or face of the sign. When there are multiple display signs within a frame, cabinet, or panel, the sign area shall be the area encompassed by the entire frame, cabinet, or panel, and not the area of the individual display signs.



B. Area of Signs Composed of Individual Letters or Elements

The area of a sign comprised of individual letters or other elements attached to a building wall or freestanding wall shall be the area of the smallest square or rectangle that can be drawn around the letters and/or elements.

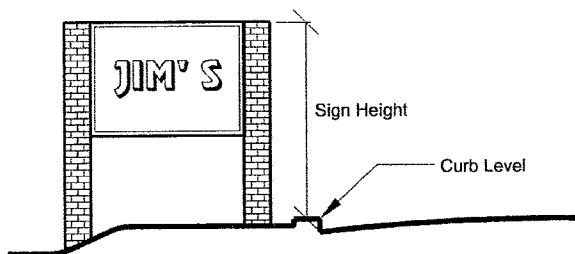


C. Area of Double-Faced Signs

The sign area for a sign with two faces shall be a) when the sign faces are connected at an interior angle of sixty degrees (60°) or more, the sign area shall be computed by measurement of both faces; when the sign faces are parallel or connected at an interior angle of sixty degrees (60°) or less, the sign area shall be computed by the measurement of one (1) of the faces.

D. Measurement of Sign Height

Sign height shall be the vertical distance from the highest point of the sign to the grade of the adjoining street curb; if there is no adjoining curb, to the grade of the edge of the adjoining street pavement.



E. Measurement of Sign Setback

Required setbacks for freestanding signs shall be measured horizontally, from the closest point of the sign structure to the property line extended vertically.

17.28.040 Sign Standards By Type

A. Freestanding Signs

1. The primary support of a permanent freestanding sign shall be erected in such a manner that at least forty-two (42) inches of the length of the structural support is underground. This requirement may be increased based upon the size of the sign and the height of the sign if necessary to provide for wind loads or other structural factors, as determined by the Building Commissioner. The Building Commissioner may require documentation from a structural engineer or manufacturer that indicates proper design and installation in relation to the sign's structural support.
2. Freestanding monument signs shall be mounted on a decorative masonry, metal or natural stone base. Alternative materials may be approved where they correspond with the appearance of one or more materials used on the exterior of the building. The width of the base of any monument sign, as measured parallel to the sign face, shall be a minimum of fifty percent (50%) of the width of the sign face.

B. Wall and Projecting Signs

1. Wall and projecting signs shall be safely and securely attached to the building wall. No sign affixed to a building shall project higher than the building height.

2. Except as permitted in the CBD-1 and CBD-2 Districts, signs shall not project into the public right-of-way.
3. Wall signs shall be affixed flat against the building wall and shall not project more than twelve (12) inches. No wall sign shall cover wholly or partially any wall opening or architectural feature.

17.28.050 Permitted Signs By Zoning District

A. Residential Districts

Table 17.28-1 lists signs permitted in residential districts. Other signs may be permitted in residential districts, as specifically provided elsewhere in this Chapter.

B. Business and Mixed Use Districts

Table 17.28-2 lists signs permitted in business and mixed use districts CBD-1, CBD-2, BL, BC, and BR. Other signs may be permitted in these districts, as specifically provided elsewhere in this Chapter.

C. Office Research, Manufacturing, and Public Lands Districts

Table 17.28-3 lists signs permitted in office research, manufacturing, and public lands districts. Other signs may be permitted in these districts, as specifically provided elsewhere in this Chapter.

TABLE 17.28-1
PERMITTED SIGNS FOR RESIDENTIAL DISTRICTS (RE, RS, RT, RM)

Type	Maximum Number	Minimum ROW setback	Maximum Area	Maximum Height	Other Requirements
Residential Uses:					
Development Identification Signs	Two, plus one for each additional external street frontage for developments of more than ten acres	5 ft	10-30 units: 50 sf 30+ units: 75 sf	8 ft	Monument signs only; Shall not be internally illuminated
Nameplates	One per single family dwelling	5 ft if freestanding	2 sf	8 ft	May be attached to the building or freestanding
Bed and Breakfast Establishments:					
Identification signs	One	10 ft	6 sf	8 ft	Shall not be internally illuminated
Wall, awning and canopy signs	One	--	6 sf	--	Shall not be internally illuminated
Places of Worship:					
Identification Signs	One per street frontage	5 ft	On lots of 35,000 sf or more: 50 sf All other lots: 25 sf	8 ft	
Wall, awning and canopy signs	1 per building wall, but no more than 2 signs	--	1.5 sf per linear ft of wall on which located	--	
Other Non-Residential Uses (Includes non-residential uses allowed in the BT Overlay District; not permitted for Home Occupations):					
Identification Signs	One per lot	10 ft.	16 sf	8 ft	Shall not be internally illuminated
Wall signs	One per business or one per street frontage, whichever is greater	--	1.5 sf per linear ft of wall on which located	--	Shall not be internally illuminated
Awnings and Canopies	One per business or one per street frontage, whichever is greater	--	Lettering = 1 sf per linear ft frontage of awning/canopy	--	Awnings shall be made of cloth. Backlit awnings are prohibited

(Ord. 2004-Z-5 § 2; Ord. 1998-Z-18 § 1; Ord. 1995-Z-6 § 3; Ord. 1991-Z-14 § 2; Ord. 1989-Z-4 § 1; Ord. 1988-Z-8 § 1; Ord. 1986-Z-22 § 1, 2; Ord. 1960-16 § VII (A)(2).)

**TABLE 17.28-2
PERMITTED SIGNS FOR BUSINESS AND MIXED USE DISTRICTS**

Type	Maximum Number	Minimum ROW Setback	Maximum Area	Maximum Height	Other Requirements
CBD-1 District:					
Shopping Center Signs (freestanding)	One per street frontage	10 ft	100 sf	15 ft	
Identification Signs	One per lot	Type A signs: none Type B signs: 10 ft.	Type A signs: 16 sf Type B signs: 50 sf	Type A signs: 8 ft. Type B signs: 12 ft.	Type B signs permitted only on lots with ten or more accessory parking spaces
Primary	One per business, one per building street frontage, or one per business street frontage, whichever is greater	--	1.5 sf per linear ft of wall on which located, or 125 sf, whichever is less	No higher than height of building	
Wall Signs	One per wall without street frontage facing a parking lot or public plaza or One per additional public entrance to a building located on a wall without street frontage	--	1.5 sf per linear ft of wall on which located, or 100 sf, whichever is less	No higher than height of building	Only permitted on wall meeting the conditions for Secondary Wall signs
Awnings and Canopies	One per business, one per building street frontage, one per business street frontage, or one per public entrance to business, whichever is greater	--	Lettering = 1 sf per linear ft frontage of awning/canopy	No higher than height of building	Awnings shall be made of cloth. Backlit awnings are prohibited
Primary	One per business	Maximum projection 4 ft from wall	18 sf; Additional 12 sf permitted for a clock or time display.	No higher than height of building	Minimum spacing between signs with a clock or time display is 200 ft; changeable copy prohibited
Secondary	For buildings with street frontage on Main Street: One per business, plus one additional per business for upper floor businesses	Maximum projection 2 ft from wall	8 sf per sign	No higher than height of building	Must be located on wall directly opposite Main Street frontage; changeable copy prohibited

SIGNS

TABLE 17.28-2
PERMITTED SIGNS FOR BUSINESS AND MIXED USE DISTRICTS

Type	Maximum Number	Minimum ROW Setback	Maximum Area	Maximum Height	Other Requirements
Banners on freestanding poles	Not more than two designs or color schemes per lot	5 ft. ¹	Total area = 1 sf per 10 sf of lot frontage	--	Only permitted in parking lots ¹ ; minimum vertical clearance 9 ft
Shopping District Signs/Banners	One per building	Maximum projection 4 ft. from wall	20 sf	15 ft	May identify only the Shopping District ² in which located; shall be of a uniform design within a Shopping District

(Ord. 2010-Z-3 § 2; Ord. 2008-Z-24 § 19.)

¹ Not applicable when banners are located on right of way or other public property.

² Shopping Districts include First Street South (First Street Redevelopment District); Third Street North (Old St. Charles); Riverside Drive/First Avenue (East Bank); and Century Corners.

TABLE 17.28-2 Continued

CBD-2 District:						
Identification Signs	1 per lot	Type A signs: none Type B signs: 10 ft.	Type A signs: 16 sf Type B signs: 50 sf	Type A signs: 8 ft. Type B signs: 10 ft.	Type B signs permitted only on lots of more than 35,000 sf and at least one nonresidential use	
Wall Signs	One per business or one per street frontage, whichever is greater	--	1.5 sf per linear ft of wall on which located	No higher than height of building		
Awnings and Canopies	One per business or one per street frontage, whichever is greater	--	Lettering = 1 sf per linear ft frontage of awning/canopy	--	Awnings shall be made of cloth. Backlit awnings are prohibited	
Projecting Signs	1 per business or 1 per 50 linear feet of wall, whichever is less	Maximum projection 4 ft. from wall	8 sf	--	Changeable copy prohibited	
Shopping District Signs/Banners	One per building	Maximum projection 4 ft. from wall	20 sf	15 ft	May identify only the Shopping District ³ in which located; shall be of a uniform design within a Shopping District	

³ Shopping Districts include First Street South (First Street Redevelopment District); Third Street North (Old St. Charles); Riverside Drive/First Avenue (East Bank); and Century Corners.

TABLE 17.28-2 Continued

BL, BC, and BR Districts:					
Type	Maximum Number	Minimum ROW Setback	Maximum Area	Maximum Height	Other Requirements
Shopping Center Sign	1 per Shopping Center	10 ft	225 sf	30 ft	
Additional Shopping Center Signs	1 per additional Shopping Center street frontage	10 ft	100 sf	15 ft	Only permitted if Shopping Center has more than one street frontage
Identification Signs	1 per lot	10 ft	1.5 sf per linear frontage of the building, or 100 sf, whichever is less	15ft.	Minimum separation between freestanding signs = 100 ft
Additional Identification Signs	1 per additional principal building	10 ft	0.75 sf per linear frontage of the additional building or 50 sf, whichever is less	15 ft	Minimum separation between freestanding signs = 100 ft
Additional Identification/Motor Vehicle Sales/Leasing Signs	1 Manufacturer: 0 2 Manufacturers: 1 3 or more Manufacturers: 2	10 ft	0.75 sf per linear frontage of the additional building or 50 sf, whichever is less	15 ft	Minimum separation between freestanding signs = 100 ft
Wall Signs	One per business or street frontage, whichever is greater	--	1.5 sf per linear ft of wall on which located	No higher than height of building	Where use has no exterior wall frontage the area shall not exceed 1.5% of the floor area
Awnings and Canopies	1 per business or street frontage, whichever is greater	--	Lettering = 1 sf per linear ft frontage of awning/canopy	--	Awnings shall be made of cloth. Backlit awnings are prohibited
Projecting Signs	1 per business	Maximum projection 4 ft. from wall	8 sf	--	
Banners on freestanding poles	Not more than two designs or color schemes per lot	10 ft.	Total area = 1 sf per 10 sf of lot frontage	--	Only permitted in parking lots; minimum vertical clearance 9 ft

(Ord. 2005-Z-7 § 1; Ord. 2004-Z-6 § 1; Ord. 2002-Z-18 § 1; Ord. 2002-Z-3 § 1; Ord. 1999-Z-26 § 1; Ord. 1994-Z-12 § 1, 2; Ord. 1993-Z-15 § 5, 6; Ord. 1992-Z-9 § 1; Ord. 1991-Z-14; Ord. 1988-Z-21 § 1; Ord. 1972-Z-46 (A, B, C) (part); Ord. 1968-31 (part); Ord. 1966-4 (part); Ord. 1960-16 § VIII (F) (6); Ord. 1960-16 § VIII (D) (8); Ord. 1960-16 § VIII(B) (6).)

**TABLE 17.28-3
PERMITTED SIGNS FOR OFFICE RESEARCH, MANUFACTURING, AND PUBLIC LAND DISTRICTS**

Type	Maximum Number	Minimum ROW Setback	Maximum Area	Maximum Height	Other Requirements
O-R District:					
Identification Signs	1 per street frontage	10 ft	50 sf	8 ft.	
Office Park Sign	1 monument sign per office park, in lieu of one Identification Sign	10 ft	100 sf	Office park 2.5 to 5 acres: 12 ft Office park over 5 acres: 15 ft	Office park under unified ownership or control. Monument sign only.
Wall Signs	One per business or one per street frontage, whichever is greater	--	1.5 sf per linear ft of wall on which located	No higher than height of building	
Awnings and Canopies	One per business or one per street frontage, whichever is greater	--	Lettering = 1 sf per linear ft frontage of awning/canopy	--	Awnings shall be made of cloth. Backlit awnings are prohibited
M-1, M-2 Districts:					
Identification Signs	1 per lot	10 ft	1.5 sf per linear ft frontage of the building or 100 sf, whichever is less	10 ft	Minimum separation between freestanding signs = 100 ft
Additional Identification Signs	1 per additional principal building	10 ft	0.75 sf per linear ft frontage of the additional building or 64 sf, whichever is less	15 ft	Minimum separation between freestanding signs = 100 ft
Wall Signs	One per business or one per street frontage, whichever is greater	--	1.5 sf per linear ft of wall on which located	No higher than height of building	
Awnings and Canopies	One per business or one per street frontage, whichever is greater	--	Lettering = 1 sf per linear ft frontage of awning/canopy	--	Awnings shall be made of cloth; Backlit awnings are prohibited
PL District:					
Identification Signs	1 per lot, plus one per public vehicular entrance	5 ft	64 sf	10 ft	
Wall Signs	One per business or one per street frontage, whichever is greater	--	1.0 sf per linear ft of wall on which located	No higher than height of building	Where use has no exterior wall frontage the area shall not exceed 1.5% of the floor area

(Ord. 2013-Z-7 § 2; Ord. 1991-Z-14; Ord. 1968-32; Ord. 1960-16 § IX (B) (5).)

17.28.060 Illumination**A. Flashing Signs**

No sign or other advertising structure shall have lights or illuminations that flash, move, rotate, scintillate, blink, flicker, vary in intensity or color, or use intermittent electrical pulsations, except that electronic reader boards that change copy or illumination are permitted in all Zoning Districts where internally illuminated signs are permitted as follows:

1. Electronic reader board signs shall be permitted to change no more frequently than once per every 15 seconds and shall not exceed 50% or 50 square feet, whichever is less, of the sign on which it is located.
2. Electronic reader board signs in the CBD-1 and CBD-2 Districts shall be permitted to change no more frequently than once per every 30 seconds and shall not exceed 30% or 30 square feet, whichever is less, of the sign on which it is located.
3. The change of copy or illumination is of a duration of one second or less, shall be permitted.

(Ord. 2012-Z-5 § 6.)

B. Limitations on Neon and Series Lighting

1. Neon advertising signs shall be permitted as wall signs, subject to the standards of this Chapter and this Title.
2. Series lighting or neon tubing used to accentuate or trim windows, architectural features, or to outline borders of signs or buildings, is specifically prohibited.

C. Hours of Illumination

Exterior signs shall be illuminated only during business hours or between the hours of 7:00am and 11:00pm, whichever is later.

D. Direction of Illumination

All sign illumination shall be designed, located, shielded and directed so as to prevent the casting of glare or direct light upon adjacent streets and surrounding properties.

(Ord. 2012-Z-5 § 7.)

17.28.070 Historic Signs

A small number of existing signs in the City may be closely identified with a cultural or commercial entity or building that forms a part of the character or history of the community. Such signs, however, may have been erected under a previous code and may not conform to all of the provisions of this Chapter. The intent of this Section is to permit such signs to be maintained. Therefore, a sign erected prior to January 1, 1966 that does not conform to one or more provisions of this Chapter may continue to be maintained and shall not be subject to the amortization provisions of this Title, if the City Council determines, upon the recommendation of the Historic Preservation Commission, that all of the following standards have been met:

- A. The sign was lawfully erected prior to January 1, 1966, and has been continuously maintained in the same location since that date.
- B. The sign:
 1. Is attached to a significant historic building or landmark, and has come to be identified with that building or landmark, whether or not it is original to it; or
 2. Is located on a site that has been continuously operated for the same business use since January 1, 1966 or earlier.
- C. The sign is of a unique shape or type of design representative of its era, and that is not commonly found in contemporary signs.
- D. The sign identifies a building or business that is associated with a family, business or organization that was noteworthy in the history of the St. Charles community.
- E. The sign does not violate Section 17.28.080, Prohibited Signs.

17.28.080 Prohibited Signs

It shall be unlawful to erect or maintain the following signs:

A. Signs which Constitute a Traffic Hazard

No sign shall:

1. Obstruct free and clear vision at any street, intersection, parking lot entrance or exit, or driveway.
2. Interfere with, obstruct the view of, or be designed so as to be confused with any authorized traffic sign, signal or device because of its position, shape or color.
3. Make use of the words STOP, LOOK, DETOUR, DANGER or any other word, phrase, symbol or character in a manner that misleads, interferes with or confuses traffic.
4. No sign in direct line of vision of a traffic signal shall be illuminated in red, green or amber color in such a manner that the sign illumination could be confused with the illumination from a traffic signal.

B. Moving Parts

No sign shall have visible moving, revolving or rotating parts or visible mechanical movement of any kind, except for the movable hands of street clocks, and movement caused by the wind in the case of banners or flags.

C. Signs of an Offensive Nature

No sign shall display any matter in which the dominant theme of the material taken as a whole appeals to a prurient interest in sex, or is patently offensive because it affronts contemporary community standards relating to the description or representation of sexual matters, and is utterly without redeeming social value.

D. Obstruction of Doors, Windows or Fire Escapes

No sign or other advertising structure shall be erected, relocated or maintained so as to prevent free ingress to and egress from any door, window or fire escape. No sign of any kind shall be attached to a standpipe or fire escape.

E. Signs on Parked Vehicles

No sign shall be displayed on a vehicle parked in an off-street parking or loading area, or in an outdoor motor vehicle display area, except in the following instances:

1. The sign pertains to the sale, lease or rental of the vehicle on which it is displayed; or
2. The sign is painted or otherwise affixed to a truck, bus or other vehicle that is used to carry goods or people or to provide services at least one day per week, as an accessory use to the business identified on the sign.

Signs resting on, or attached to, vehicles or trailers used as a means to circumvent the provisions of this Chapter are prohibited.

(Ord. 1991-Z-35; Ord. 1975-Z-7; Ord. 1968-30; Ord. 1960-16 § IV (M).)

F. Portable Signs

Portable signs are prohibited, except when authorized by a governmental agency in conjunction with construction or enforcement activities.

G. Off-Premise Signs

Signs which advertise a business or service not located on the same lot or within the same PUD or Shopping Center, or which otherwise do not relate to the uses permitted on the lot or within the same PUD or Shopping Center, such as billboards, are prohibited in all districts except:

1. In the PL District, an Identification Sign advertising a business or service may be located off-premise on an adjacent lot in the PL District.
2. In the CBD-1 and CBD-2 District, for lots without street frontage, in lieu of an Identification Sign located on the lot, an Identification Sign may be located off-premise on an adjacent lot with street frontage in either the CBD-1 or CBD-2 zoning district, subject to the authorization of the property owner.

Any off-premise sign that is no longer utilized shall be removed by the owner of the sign or the owner of the property on which the sign is located.
(Ord. 2014-Z-11 § 2.)

17.28.090 Exemptions

A. Maintenance Operations

The following maintenance operations are allowed and do not require a permit:

1. Changing the advertising copy or message on an existing changeable copy sign or similar approved sign, whether illuminated or non-illuminated.
2. Painting, repainting, cleaning, or other normal maintenance of a sign, not involving structural changes, changes to the permanent copy displayed on the sign, or changes in the electrical components of the sign.

B. Political Signs

Political signs are allowed and do not require a permit.

C. Community Event Signs

Temporary signs in conjunction with special events conducted by governmental agencies, educational institutions or charitable, not-for-profit organizations, such as philanthropic campaigns, church activities and other community activities, are allowed and do not require a permit, subject to the following:

1. Such signs shall not exceed thirty-two (32) square feet in area.
2. Such signs shall not be erected earlier than 30 days prior to the event or series of events, and shall be removed not later than 7 days following the conclusion of the event or series.
3. Such signs may be located on a lot or lots owned by Federal, State or local governmental agencies with permission of the lot owner, not including public rights of way unless specifically authorized by the agency having jurisdiction.

D. Regulatory Signs

Permanent signs erected by a governmental agency regulating vehicular or pedestrian traffic, or designating or giving directions to streets, schools, historic sites, community facilities or public buildings, posting rules of use for a facility, identifying or interpreting features of a site, sports scoreboards, and similar signs are allowed and do not require a permit.

Signs erected on a lot containing a public facility owned by a governmental agency may include sponsor identification and advertising, provided that the advertising is sized, located and oriented so as to be viewed primarily by patrons of the public facility, and not by the general public traveling on public streets or adjoining property. Such signage is allowed in any non-residential district and does not require a permit unless the sign is electrically operated or illuminated, in which case a permit is required to ensure compliance with applicable codes.

E. Memorial Plaques

Memorial or commemorative plaques or tablets such as those denoting a person or persons memorialized, a natural or manmade feature, a building name and/or date of erection, or a location of historic significance, and not exceeding eight (8) square feet in area are allowed and do not require a permit.

F. Flags

Flags of any government or governmental agency, or any patriotic, religious, charitable, civic, educational or fraternal organization are allowed and do not require a permit.

G. Temporary Displays or Decorations for Holidays and Special Occasions

Temporary displays or decorations for holidays and special occasions are allowed and do not require a permit, subject to the following:

1. Temporary displays or decorations customarily associated with any national, state, local or religious holiday or celebration shall be erected no earlier than forty-five (45) days before and removed no later than fourteen (14) days after the holiday or celebration.
2. Temporary displays or decorations announcing special occasions including, but not limited

to, the birth of a child and birthdays shall be displayed for a maximum of five days.

- H. **Small Real Estate Signs**
Non-illuminated real estate signs that are six square feet or less in area and a) if freestanding, do not exceed 5 feet in height, or b) if attached to a building or structure, do not exceed 20 feet above grade, are allowed and do not require a permit; there shall be not more than one such sign per lot, except that on a corner or through lot, two signs, one adjoining each street, are allowed.
- I. **Garage Sale Signs**
Temporary signs advertising a permitted garage or yard sale are allowed and do not require a permit. Such signs shall only be located on the lot or lots that are participating in the garage or yard sale. Such signs shall be posted no earlier than forty-eight (48) hours prior to the commencement of the event, and removed no later than twenty-four (24) hours after the conclusion of the event.
- J. **Directional Signs**
Directional signs are allowed and do not require a permit unless the sign is electrically operated or illuminated, in which case a permit is required to ensure compliance with applicable codes, Such signs shall be subject to the following:
 1. One (1) directional sign is permitted for each driveway access from a public street. One (1) additional directional sign is permitted for each intersection of driveways within a site, to identify traffic routing, entrances, and services, such as drive-in lanes.
 2. Directional signs shall be set back from the right-of-way a minimum of five (5) feet.
 3. Directional signs may have a maximum surface area of five (5) square feet and shall not exceed a maximum height of four (4) feet above the adjacent street or driveway grade, as measured at a point on the street or driveway pavement closest to the sign.
 4. Pavement markings such as directional arrows, stop bars, and parking space boundaries are not subject to the limitation on area.
- K. **Miscellaneous Information**
Information appearing on gasoline pumps, newspaper vending boxes and other vending machines, automatic teller machines, or matter appearing on or adjacent to entry doors such as PUSH, PULL, OPEN and/or CLOSED, or matter appearing on display windows or doors denoting hours of operation, credit cards accepted, and similar information, are allowed and do not require a permit.
- L. **Drive-Through Menu Board Signs**
One permanent freestanding Drive-Through Menu Board Sign shall be permitted per each permanent ordering station related to the approved Special Use for a Drive-Through. Drive-Through Menu Boards Signs shall not exceed thirty-two (32) square feet in area. Drive-Through Menu Board Signs require a building permit to ensure compliance with applicable codes. (Ord. 2012-Z-5 § 8.)
- M. **Window Signs**
Window Signs shall not exceed fifty percent (50%) of the total area of the window frame on which the sign is located. Signs that are not permanently affixed to the window do not require a permit. (Ord. 2012-Z-5 § 9.)

17.28.100 Temporary Signs Requiring A Permit

Temporary signs, including attention getting devices, are permitted in accordance with the provisions of this Section, except that where other sections of this Title regulate such signs, the more restrictive regulation shall apply.

- A. **Permit Required**
A permit is required to erect the temporary signs and attention getting devices listed in the following paragraphs of this Section 17.28.100, in accordance with Section 17.28.020 A (Sign Permit).
- B. **Time Limit**
Unless otherwise permitted, displays of temporary signs shall be limited to fourteen (14) days per permit, and not more than four (4) such permits shall be issued to an applicant per calendar year. There shall be a minimum separation of thirty (30) days between temporary sign displays. All

temporary signs permitted by this Section shall be removed no later than seven (7) days following the conclusion of the event or other condition to which the sign pertains.

C. Setbacks

No setback is required for temporary signs and attention getting devices that are six (6) square feet or less in surface area and five (5) feet or less in height. All other freestanding temporary signs and attention getting devices shall be set back a minimum of five (5) feet from all right-of way lines.

D. Real Estate and Other Temporary Signs Requiring a Permit

1. In the BL, BC, BR, CBD-1, O-R, M-1, M-2, and PL Districts, one (1) temporary sign is permitted for each street frontage of the lot. The maximum sign area and height shall be:
 - a. For lots one (1) acre and under: Thirty-two (32) square feet of surface area. Freestanding signs shall not exceed eight (8) feet in height.
 - b. For lots one (1) to five (5) acres: Sixty-four (64) square feet of surface area. Freestanding signs shall not exceed eight (8) feet in height.
 - c. For lots five (5) acres and above: One hundred (100) square feet of surface area. Freestanding signs shall not exceed ten (10) feet in height.
 - d. Real estate and other temporary signs of 6 square feet or less are allowed without a permit in accordance with Paragraph 17.28.090.
2. In the BT Overlay and CBD-2 Districts, one (1) temporary sign is permitted for each street frontage of the lot. Each sign shall not exceed sixteen (16) square feet in surface area. Freestanding signs shall not exceed six (6) feet in height.
3. Real Estate signs advertising a property for sale or lease shall not be subject to a time limit but shall be removed no later than seven (7) days following the sale or lease of the property.
4. During construction or reconstruction of public improvements, if the Director of Community Development determines that the construction activity will disrupt access to lots and/or visibility of lots directly adjacent to the construction, the Director may authorize the following for lots adjacent to the construction:
 - a. Temporary signs shall not be subject to time limits specified in Section 17.28.100.B, but shall not be placed for longer than the duration of the construction.
 - b. One (1) additional temporary sign per lot shall be permitted, subject to all other applicable requirements.
 - c. A permit for temporary sign authorized under this Section may be terminated if the conditions stated herein are not complied with.

(Ord. 2012-Z-8 § 2.)

(Ord. 2009-Z-10 § 2; Ord. 2008-Z-24 § 20.)

E. Real Estate and Other Temporary Signs in Residential Districts

1. In residential districts, one temporary sign is permitted for each street frontage of the lot. The maximum sign area and height shall be:
 - a. For developed lots over 4 acres and vacant lots over 1 acre: 32 square feet in surface area; freestanding signs shall not exceed 8 ft. in height and wall signs shall not exceed the building height.
 - b. For developed lots 4 acres or less and vacant lots 1 acre or less: Real estate and other temporary signs are limited to 6 square feet or less and are allowed without a permit in accordance with Paragraph 17.28.090.
2. Real Estate signs advertising a property for sale or lease shall not be subject to a time limit but shall be removed no later than seven (7) days following the sale or lease of the property.

(Ord. 2008-Z-24 § 21.)

F. Construction Signs

Construction signs identifying the architect, engineer, developer and/or contractor placed upon a construction site shall not exceed thirty-two (32) square feet in area and eight (8) feet in height for lots 4 acres or less, and 64 square feet for lots of more than 4 acres. Such signs shall not be erected prior to issuance of building or site development permit and shall be removed no later than seven

(7) days after issuance of an occupancy permit or completion of the project. Construction signs shall be limited to one (1) sign per street frontage.

G. Attention-Getting Devices

Attention-getting devices are permitted only in the BL, BC, BR, CBD-1, O-R, M-1, M-2 and PL Districts. Attention getting devices shall be displayed only in association with a grand opening or special event. Attention getting devices shall comply with the following restrictions:

1. **Balloon Signs**
The longest dimension of the balloon portion of a balloon sign shall not exceed seven (7) linear feet. The length of the entire balloon sign, as measured from the longest dimension of the balloon and including the tether, shall not exceed ten (10) feet.
2. **Pennants, Flags, Valences and Streamers**
 - a. Pennants, flags, valences and streamers, if attached to the building, shall not extend above the building height; if attached to a freestanding permanent sign, they shall not extend above the height of the sign.
 - b. Pennants, flags, valences and streamers shall be mounted with a vertical clearance of at least 9 feet from the ground.
3. **Searchlights**
Searchlights shall be oriented skyward not breaking an angle of forty-five degrees (45°) from the ground. Searchlights shall not be operated between the hours of 11:00pm and 7:00am.

H. Christmas Tree Sales

Where Christmas tree sales are a permitted temporary use, one (1) temporary sign is permitted per sales operation, for a maximum period of thirty-five (35) days. Such sign shall not exceed thirty-two (32) square feet in area and eight (8) feet in height.
(Ord. 1996-Z-1 § 1.)

17.28.110 Master Sign Plan Required

When more than one (1) wall sign, awning or canopy is proposed on any building with multiple tenants, the applicant shall submit a master sign plan for review by the Building Commissioner. Any master sign plan lawfully approved prior to the effective date of these regulations shall remain valid after such effective date only to the extent it complies with the regulations of this Title. No sign shall be installed pursuant to any master sign plan except in conformance with the regulations of this Title.

17.28.120 Amortization of Nonconforming Signs

See Section 17.08.060 for provisions regarding amortization of non-conforming signs.

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 4a

Title:

Recommendation of Funding Amount of the Greater St. Charles Convention and Visitor's Bureau (GSCCVB) Funding Request of \$503,382 for Fiscal Year 2018/2019

Presenter:

Chris Minick, Finance Director

Meeting: Planning & Development Committee

Date: March 12, 2018

Proposed Cost: \$503,382

Budgeted Amount: TBD

Not Budgeted: **Executive Summary** *(if not budgeted please explain):*

Representatives of the Greater St. Charles Convention and Visitors Bureau (GSCCVB) will make a presentation outlining their activities and Marketing Plan for the GSCCVB's upcoming fiscal year (2018-2019) and reviewing the organization's status and results for FY 2017-2018 to date. They will be requesting the annual allocation of hotel/motel tax revenue from the City for FY 2018-2019.

The CVB has requested funding in the amount of \$503,382 for fiscal year 2018-2019. Staff is seeking direction as to whether this level of funding is acceptable to the Committee and ultimately to the City Council.

The funding level for FY 17/18 is currently \$526,500 and incorporates previous direction to reduce the City funding to civic groups by 10%.

Staff has included the proposed fiscal year 2018 – 2019 service agreement based on the CVB's proposed funding level as well as a recent history of hotel/motel tax revenues.

Attachments *(please list):*

- 1. Funding Request Letter from the CVB**
- 2. GSCCVB FY 2019 Budget**
- 3. FY 19 Marketing Plan**
- 4. Survey Data Results**
- 5. Proposed 2018-19 Service Agreement**
- 6. Hotel/Motel Tax History STC**

Recommendation/Suggested Action *(briefly explain):*

Recommendation of funding amount for the Greater St. Charles Convention and Visitor's Bureau Funding Request of \$503,382 for Fiscal Year 2018-2019



March 5, 2018

Chris Minick, Finance Director, City of St. Charles
2 E. Main Street
St. Charles, Illinois 60174

Dear Chris:

On Monday, March 12, 2018, the Greater St. Charles Convention and Visitor Bureau will address the City of St. Charles' Government Operations Committee to request a local funding commitment of \$503,382.

Enclosed please find:

FY 2019 Marketing Plan
FY 2019 Summary Budget
Detailed 2018 Scarecrow Fest Tracking Initiatives Report

We look forward to our March 12th presentation. Should you or any St. Charles official have a question or comment you wish to share beforehand, please feel free to contact me.

Very best regards,

Tom Donahue, President Board of Directors

C/GSCCVB Board of Directors



	FY 19 Budget	FY 18 Budget
Estimated Income		
4010-0 Hotel/Motel Tax Fund Income	503,382.00	526,500.00
4030-0 Interest Income	600.00	600.00
4040-0 Visitors Magazine Income	15,000.00	11,700.00
4060-0 Other Misc. Income	1,000.00	1,000.00
4065-0 Local Coop Income	-	-
4070-0 Marketing Partner Grant Income	-	-
4075-0 Fox Valley Coop MPP Income	-	-
4090-0 LTCB State Grant Income	229,220.00	240,103.00
4100-0 In-Kind and Trade	540.00	540.00
4050-0 Scarecrow Fest Income	240,600.00	242,000.00
4150-0 Scarecrow Fest In-Kind and Trade	2,000.00	2,000.00
Total Income	992,342.00	1,024,443.00
Estimated Expenses		
Total Administrative	512,524.00	557,084.00
Total Meetings & Conventions	69,100.00	75,370.00
Total Tour and Travel	4,000.00	1,000.00
Total Leisure	66,500.00	81,000.00
Total Promotional	61,700.00	75,000.00
Total State	7,500.00	6,700.00
Total Scarecrow	242,600.00	244,000.00
Total Visitor Guide	41,000.00	46,000.00
Total Sports	23,550.00	30,820.00
Total International	-	1,000.00
Total Estimated Expense	1,028,474.00	1,117,974.00
Net Income or Loss	(36,132.00)	(93,531.00)



Greater St. Charles Visitor and Conventions Bureau

2019 Marketing Plan

(Return On Investment)

FY 2018

HIGHLIGHTS

Digital Marketing (VisitStCharles.com)

FY 2018

- Actively authentic activities began to drive a 23% increase in new users since brand launch in October 2017.
- Visitors are looking for events, lodging, and dining options.
- Leisure destination promotions like “Home for the Holidays”, “Holiday Cheer”, “Sugar Crush”, and “Scarecrow Fest” drive high traffic to our website.
- International interest goes to 1,672 people from 65 people from same time last year.
- The increase primarily comes from the Spanish speaking population.

128,375

Impressions
(Views) to our
hometown website
since brand launch

Digital Marketing (Google AdWords)

FY 2018



GSCCVB's reach for keyword google searches tops 2.5 million people. 82% of our Visitors are looking for events in St. Charles and surrounding areas, and superior dining options.



Source: MCD Digital

Digital Marketing (Facebook)

FY 2018



GSCCVB's projection of sight-doers begins to grow. FY 2018, Facebook postings influence over 450,000 users that come to our city.



See it! Do it! LIVE it!

FY 2018

*Launched in October 2017, new brand strength
proves to be a winner*

3.5%

Increase in
engagement on
social media
post



10,000

New
destination
followers
on social
media
following
Actively
Authentic

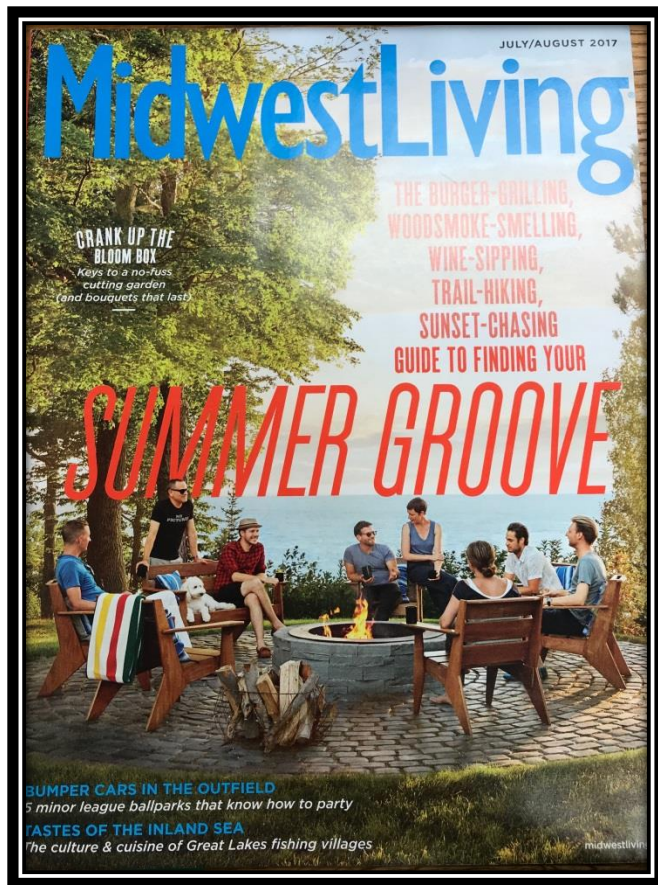
FY 2018 Public Relations

Look at where this brand has traveled...



Leisure (Midwest Living) FY 2018

Ads in Midwest Living have brought 7955 leads to GSCCVB, requesting visitor guides and destination inquiry.



Greater ST. CHARLES
ACTIVELY AUTHENTIC

Doing SIGHT-SEEING

Nothing is better than
this time of year!
See it. Do it. Live it.

You're invited to our enchanting holiday street corners for a big cup of cocoa, shopping & some authentic holiday cheer.

Pictured: Town House Café and Book Store

f y t p

Download our holiday carol, get ideas and inspiring photos at visitstcharles.com/homefortheholidays
#stcilaauthenticolidays

ILLINOIS ARE YOU UP FOR AMAZING?
Alin

Home for the Holidays

FY 2018

In December, our “Home for the Holidays” Facebook campaigns had an increase in views of 18%.

18%

Increase in impressions
(Views)

498

Engaging Posts

Visit Greater St. Charles, Illinois
Sponsored

Like Page

HOME FOR THE HOLIDAY PHOTO CONTEST! Tag pics of holiday fun in St. Charles, IL with #STCPicturePerfectHoliday. Best photo will WIN A LUXURY OVERNIGHT STAY at Hotel Baker plus \$50 off dinner at ROX City Grill! Click learn more for full contest details.

Visit Greater St. Charles, Illinois
Tourist Information Center

Learn More

189 Reactions · 5 Comments · 14 Shares

Sugar Crush Leisure Campaign

FY 2018

From FY 2016-2017, Sugar Crush returns as a lead campaign to “Say Yes in St. Charles” to the first crush, first date, romance, heartfelt proposals and perfect overnight weekends in St. Charles. Results showing a 12% average click through rate to www.visitstcharles.com which is 5% above industry average and a 30% open average with the industry average being 15%.

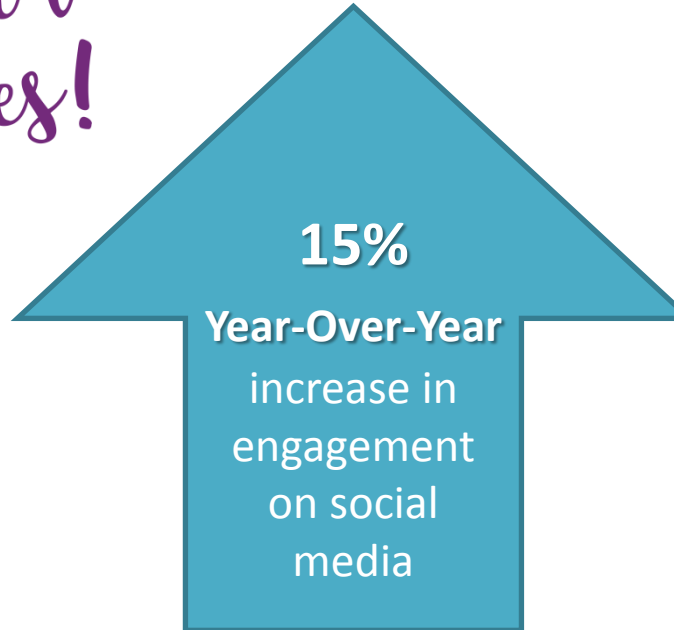


Destination Weddings

FY 2018

Since launching "Say Yes" in St. Charles as the CVB's destination campaign for weddings, social media reports show increases of 15% year-over-year.

Say Yes in
St. Charles!



Say Yes in
St. Charles!

Fall in love and host the destination wedding of your dreams in St. Charles, IL. Enjoy the mystique of our wide open prairies, enchanted forests, farm-to-fork spreads, our baseball field of dreams, country barn dances, English gardens, 1920s time traveling glamour, rustic barns or the traditional ceremony of a celebrity socialite. Whether you choose to roast s'mores in a designer dress or wear cowgirl boots to the country club, **you'll love saying yes in St. Charles!**

photos by Heidi Burke, Angel Eyes Photography and Sarine Zurba

f y t p
www.visitstcharles.com

ILLINOIS
ARE YOU UP FOR
AMAZING?
Illini

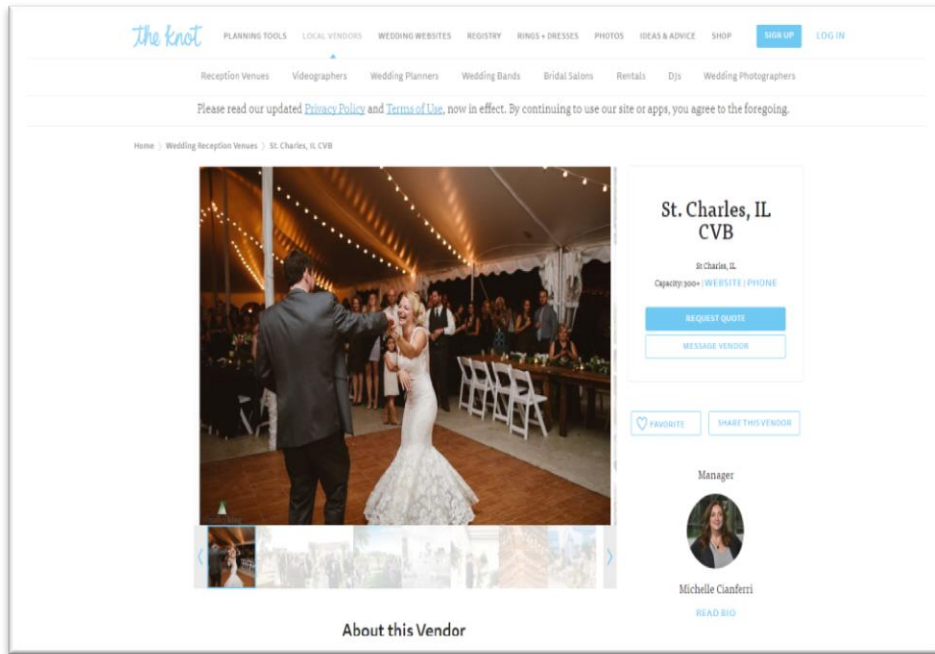
ST. CHARLES
ACTIVELY AUTHENTIC

Source: MCD Digital

Advertising

FY 2018

By creating a landing page on "The Knot", planners, brides, and venues are entered through the CVB's platform.



437
Click Through

575
Engaging Posts

1,035
Unique Visitors

1,260
Impressions (Views)

58
Required Bureau Assistance

66
Generated Bureau Inquiries

71
Storefront Saves

Spreading Holiday Cheer Campaign

Working in collaboration with destination partner #TheJankGuitarStore, in facilitating a “Holiday Cheer” hometown Holiday Christmas Carol.

13,400
unique
website
visitors

EVENTS

[view all](#)



DINING

[view all](#)



SHOPPING

[view all](#)



SPREAD SOME HOLIDAY CHEER!

#THEJANKGUITARSTORE

DOWNLOAD OUR HOLIDAY CAROL, READ IDEAS AND INSPIRING PHOTOS THROUGHOUT THE ENTIRE HOLIDAY SEASON! COURTESY OF #THEJANK GUITAR STORE.



Scarecrow Fest 2017/Community Matters

“All Wheels In for Scarecrow”

Bike Ride

- 132 Cyclists
- 70% were Distance riders
- 30% were Family riders



Farm to Table Dinner:

The Finery & Blacksmith Bar

- Total Eventbrite Sign Ups: **69**
- Total Eventbrite Views: **242**
- Actual Guests from Finery: **47**



Thank you,
Sammy's Bikes &
The Finery

Scarecrow Fest Survey

FY 2018



6

Motor Coach
Groups
Surveyed

76

Attendees
Residing in
Greater St.
Charles
Surveyed

348

Attendees
represented by
surveyed

241

Illinois
Attendees
Surveyed

1,053

Attendees
Represented
by Surveyed

80,000+

Estimated
People
Attended

69

Different Illinois
Communities
Identified

Thank you, St. Charles Library & Aurora
University Students

Conventions, Meetings, & Events Advertising FY 2018

New advertisements in top meeting publications geared towards conferences and conventions.

illinois
meetings + events

MIDWEST MEETINGS®

ILLINOIS
GREATER ST. CHARLES
CONVENTION & VISITORS BUREAU

MEMORABLE MEETINGS
Inspire More
THAN OTHERS



SOME MEETINGS
Train Harder
THAN OTHERS

Meet You in St. Charles, IL

Sure, we have top-notch meeting facilities, the latest technology and big-city conveniences. But that's not why Greater St. Charles is one of the best places in northern Illinois to focus, train and get down to business. It's kayaking on the Fox River that pushes team building. It's our miles of trails that make for perfect meet and greets while you bike or run. It's hands-on cooking and art classes that foster new skills. And it's our small-town, midwestern ambience that has professionals wishing they could call us home. Our expert meetings planners, free parking and delicious farm-to-fork dishes are just added perks.

SEE IT. DO IT. LIVE IT.
visitstcharles.com/meetings
800-777-4373



The Stella Awards

HONORING EXCELLENCE IN THE MEETINGS INDUSTRY

- Competed in 16 different categories against 300 other CVB's.
- Named a finalist in the Midwest/Regional Best CVB/DMO.





ILLINOIS GOVERNOR'S
**Conference
on Travel
& Tourism**

**THE POWER
OF PEOPLE AND
TRAVEL**

GSCCVB received the Excellence in Tourism Award for *(Category A) Best Visitors Publication* at the *Illinois Governor's Conference on Travel and Tourism*.

Scarecrow Fest was named one of the *Best Festivals* in of Kane County competing with over 100 festivals. *Scarecrow Fest* continues to be a top attraction.

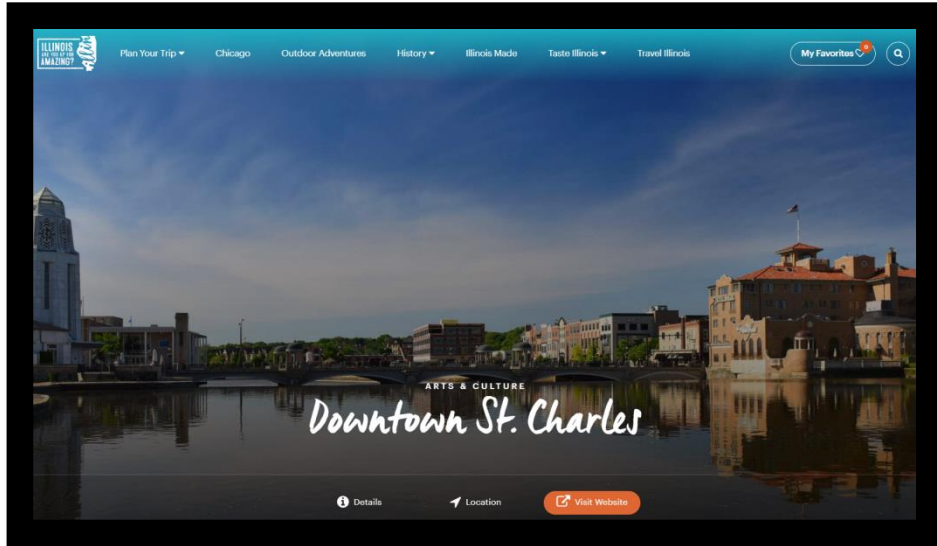


State of the Industry

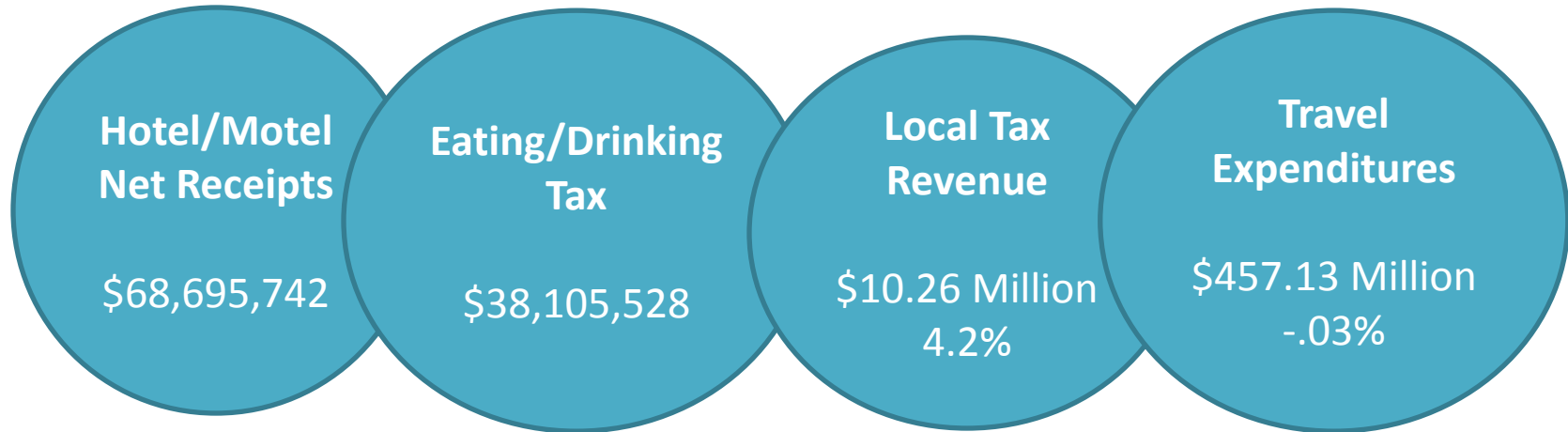
(Tourism Investment)

Illinois

- Every \$1 invested in Illinois tourism generates \$9 in economic impact
- Illinois welcomed 110 million domestic visitors (an additional one million visitors over 2015)
 - Of Illinois' 110 million domestic visitors, 17% were for business and 83% for leisure
 - In the past 10 years, domestic travel to Illinois has increased by 19 million visitors
- Domestic travelers spent nearly \$35.1 billion in Illinois during 2016, a 1.8% increase over 2015
 - In 2016, domestic travelers to Illinois generated \$2.6 billion in state and local tax revenue, an increase of \$122 million over 2015
- Length of stay per visitor increased by 3%, surpassing the US average of 2.4%



Kane County, IL



Smith Travel Research-Yearly Occupancy Report: Calendar YTD Fox River Valley including Elgin and Aurora 2016-2017

Occupancy

54.0%
-1.4

ADR

93.78%
1.14

RevPar

50.63%
-0.73

St. Charles, IL

2016-2017

Hotel/Motel
Net Receipts

\$42,880,346.91
62.42% of Kane
County

Eating/Drinking
Tax

\$6,430,404.07
16.8% of Kane
County



THE ROAD AHEAD

FY 2019

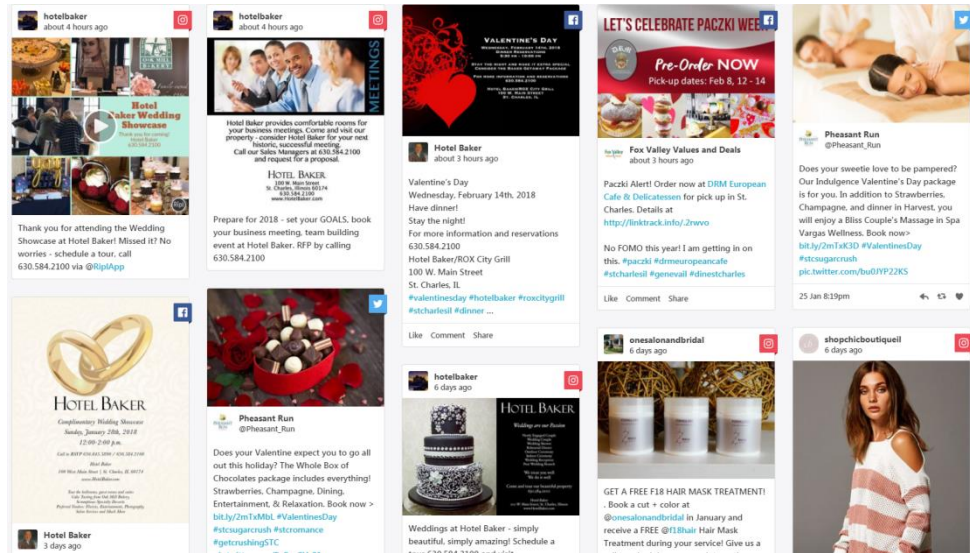


Leisure & the Visitor Experience- Marketing Plan FY 2019

The Greater St. Charles Convention and Visitors Bureau will continue to strengthen our tourism brand and align with our destination.

Strategies

- Target Gen X, Millennial groups. While still honing in on baby boomer niches – especially those who love the arts, outdoor activity, good food, music and culture.
- Focus on cities and market areas that offer convenient access to the St. Charles area.
- Building brand equity and powerful story telling.
- Attract new residents and investors who enhance the quality of life in the Greater St. Charles area.
- Boost visitor volume through targeted digital marketing that will reach the right potential visitors on multiple devices.



Distribution Centers

The GSCCVB has 18 distribution centers throughout the State of Illinois that are supplied with visitor guides and various pamphlets for businesses in the destination region.

1st Street Parking Garage

North & South Lobbies
St. Charles, IL 60174

Fox Valley Ice Arena

1996 S Kirk Rd
Geneva, IL 60134

Kane County Fairgrounds

525 Randall Rd
St Charles, IL 60174

Greater St. Charles Convention & Visitors Bureau

2 East Main Street
St. Charles, IL 60174

Cumberland Road Information Center

I-70 Rest Area-Westbound / Route 3
Marshall, IL 62441

DeKalb Oasis

2700 N. Crego Road
DeKalb, IL 60115

Fort Massac

Information Center

5402 Highway 45
South
Metropolis, IL 62960

Homestead

Information Center

I-55 Rest Area –
Northbound
Hamel, IL 60246

Mississippi Rapids

Information Center

I-80 Rest Area -
Eastbound
Rapids City, IL
61278

Old State Capital

Tourist Information Center

1 SW Old State
Capital Plaza
Springfield, IL 62701

Prairie View North Tourist Information Center

I-57 Rest Area - Northbound /
North of Peotone Entrance
Monee, IL 60449

Prairie View South Tourist Information Center

I-57 Rest Area-Southbound /
South of Monee Exit
Monee, IL 60449

Rend Lake North Information Center

80 N I-57 Rest Area Northbound
Whittington, IL 62897

Rend Lake South Information Center

I-57 Rest Area-Southbound
Whittington, IL 62897

Salt Kettle Information Center

I-74 Westbound
Oakwood, IL 61858

International Marketing Plan

FY 2019

Explore International markets already coming to Chicago and nearby suburbs for opportunities to visit or extend their overnight stay in the GSCCVB service area.

Strategies

- Host FAM for IL Office of Tourism's Agency to determine the level of opportunity with International Marketing
- Work with the Illinois Office of Tourism to be included on Travel Agent and International Fam tour stops

Group Tour, Agri-tourism, and Ecology-Marketing Plan

FY 2019

Provide group tour & travel experiences celebrating heritage, history, farming, and natural ecology.

Strategy 1: Promote programs to Illinois Universities and Colleges with organized itineraries

Strategy 2: Provide affordable tour and travel itineraries with organized trip itineraries offered the Boy Scouts, Girl Scouts, 4-H and other youth programs with educational content based within this segment.

Strategy 3: Establish energy, nature, and ecology itinerary programs.

Strategy 4: Utilize senior itinerary arts program with Elderhostel and Road Scholar offering photography, scenic painting and other activities.

Events-Marketing Plan

FY 2019

The GSCCVB recognizes the importance of connecting the destinations events with incoming tourist. This leisure segment influences 82% of the reason incoming social engagements flourish. Investments in this area will yield economic impact for all businesses, tourists, and stakeholders.

Strategy 1: List all local events, activities on the VisitStCharles.com website.

Strategy 2: Facilitate with the special events committee of the City of St. Charles all special events incoming to the St. Charles area requiring permits are made aware of the Greater St. Charles CVB and their services.

Strategy 3: Collaborate with Illinois Office of Tourism to promote events, activities and promotions in the GSCCVB service area at the state level on the www.enjoyillinois.com site.

Strategy 4: Partner with all destination stakeholders to carry the GSCCVB'S website link to secure greater occupancy in the service area.

Strategy 5: Distribute visitors guides

Destination Weddings-Marketing Plan

FY 2019

Strategy 1: Expand on the newly created and successful campaign “Say Yes” that encompasses all bridal themes and experiences found in one destination.

Strategy 2: In the new VisitStCharles.com website, include the “Say Yes in St. Charles” campaign dedicated to romance in venues in the Greater St. Charles and our service areas.

Strategy 3: The “Say Yes” campaign beginning January 2, 2019 to target newly & soon to be engaged.



Sports, Tournaments, & Events

FY 2019

The mission of the GSCCVB is to attract sporting events and tournaments that stimulate the tourism economic impact throughout our service area.

Strategy 1: Increase state, regional, and national tourism awareness in the GSCCVB brand of sports marketing for the service area by securing national sports events and tournaments.

Strategy 2: Target high-profile sporting events that utilize venues fitting the destinations profile.

Strategy 3: Develop a strong network of local and regional stakeholders to assist in capitalizing on increased sales opportunities.

Strategy 4: Use the platform of those events to gain more exposure by livestreaming major events happening in the Greater St. Charles area.

Strategy 5: Increase sales in amateur sports events held in the destination.



Conventions, Training Conferences, Trade Shows, & Expos-Marketing Plan

FY 2019

The Tourism Development team will promote the Greater St. Charles area as a high tech, high quality destination in hosting conventions, training conferences, team building experiences, meetings, trade shows and expos.

Strategy 1: Develop and increase the Illinois Association, National Association, religious, government, fraternal, social, multicultural and sports conventions held in the destination.

Strategy 2: Increase convention sales from Illinois meetings and convention market to be one of our strongest producing market segments in the destination.

Strategy 3: Support destination in weak occupancy times through increased meetings, conventions, and expos through niche markets and special interest groups.

Strategy 4: Promote the destination for entrepreneurial expos that seek high tech surroundings dedicated to teambuilding and collaborating efforts.

Strategy 5: Provide visitor convention information to support city wide efforts.

Scarecrow Fest

FY 2019

To grow a renewed interest within the youth of the GSCCVB service area community in the heritage of the Scarecrow Fest. Foster community pride in a festival that was in the running for “one of the best festivals in Illinois” at the Illinois Governors Tourism conference as well as the Kane County Chronicle. We strive to strengthen relationships with festival goers by providing families sight-doing experiences.

Strategy 1: Create, Develop, Deploy and Secure a plan to strengthen overnight accommodations during Scarecrow Fest weekend. Allowing Fest goers to experience the destination longer.

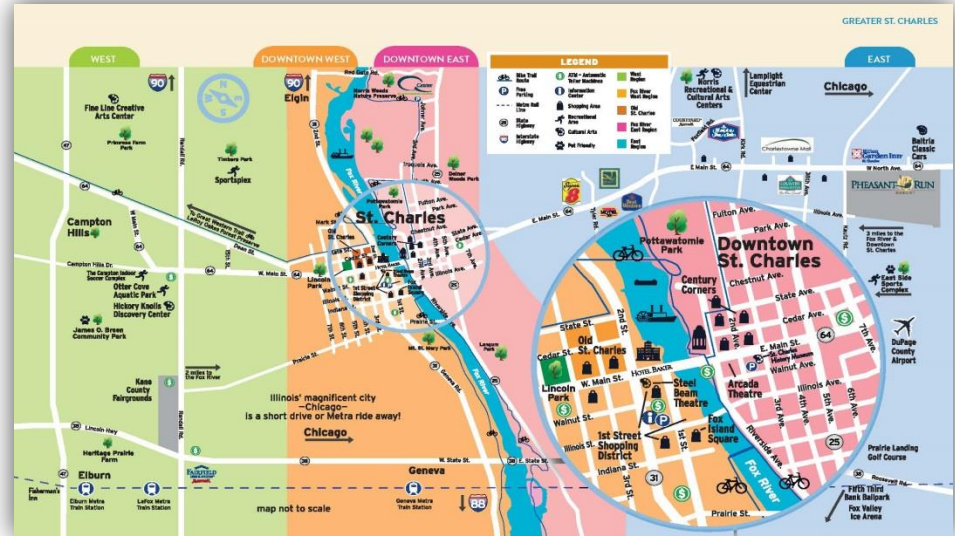
Strategy 2: Demonstrations and Education for crowds related to our community, heritage and culture.

Strategy 3: Improve stakeholder/GSCCVB service area community involvement in event & contest.

Greater St. Charles, Illinois Service Area Map

Along the final discovery as we approach the next journey, we learned that our destination is full of experiences to not only see, but to experience, enjoy and interact with.

As in the community and heritage of the GSCCVB service area, history has shown from the past, once a historical town of entrepreneurs and opportunities in economic growth and commerce. Through the growth and experiences surrounding our scenic beauty that you will see reflected in our marketing plan. We stay true to our historical roots. Created a tourism destination that is based on sight doing, experiencing, educating families, training corporations and providing settings for social events that the photography will be considered artistic works of art.



Authentic-Marketing Plan

FY 2019



Authentic St. Charles is a sub-brand that focuses on farm-to-table foods, and other locally sourced and made items, reaffirming the authenticity of the area and its way of life, while giving local artisans and makers a way to promote their connection to St. Charles and its rich culture and atmosphere. Developing authentic videos and photos will be key to our success in marketing creative experiences to visitors. Painting a canvas of what it is like to visit and interact with the people and attractions of the Greater St. Charles area and share that story across all media.



Greater St. Charles Farm Tour

Destination Marketing Cooperative and Engagement-Marketing Plan

FY 2019

The GSCCVB seeks to engage and unify the destination in the pursuit of a higher tourism financial impact for the well-being of all, by developing a strategic destination cooperative that directly connects business to tourism.

- **Inform** the community and press of bureau campaigns, promotions, initiatives and events using all channels of media (newspaper, video, television, social sites).
- **Build** awareness and understanding amongst businesses, stakeholders, and tourism partners.
- **Connect** tourism partners growth for overall economic impact in businesses.
- Partner with Stakeholders in promotional opportunities that fit the mission.

New Growth: LinkedIn

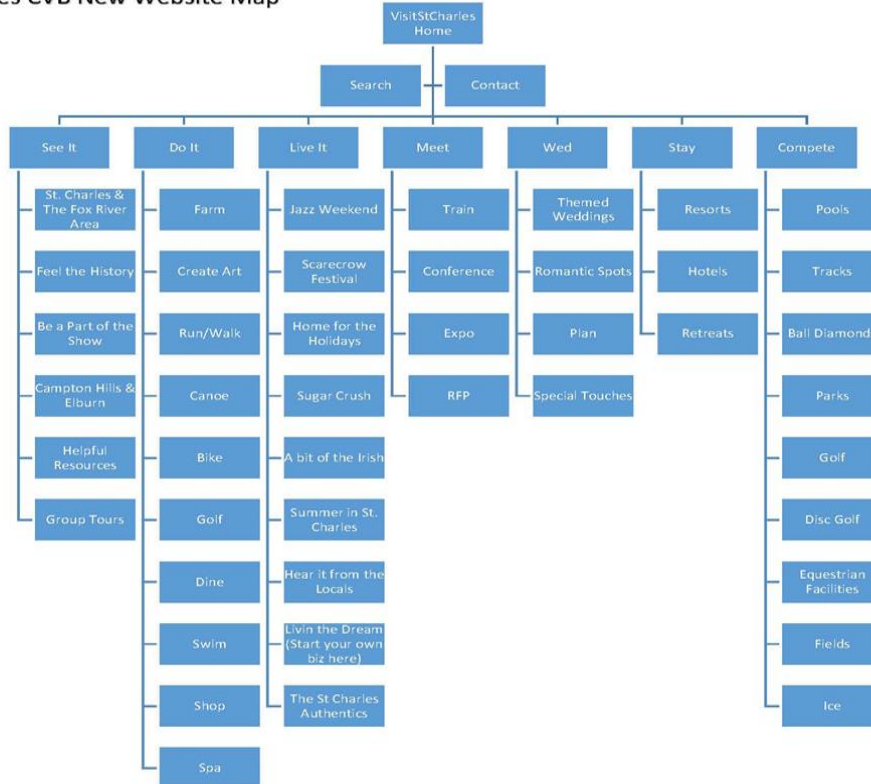


- Promotes our two largest meeting spaces, the MegaCenter at Pheasant Run Resort and Q Center.
- Gives insight to meetings and convention planners that we want them to experience our sight-doing team building experiences in conventions.
- Online “Book Now” option with convention service support.



New Growth: Website Layout Coming

St. Charles CVB New Website Map



Board of Directors

President

Tom Donahue
General Manager
Q Center

VP/Treasurer

Holly Cabel
Executive Director
St. Charles Park District

Secretary

France Langan
General Manager
Pheasant Run Resort

Director Ex Officio

Art Lemke, Alderman
City of St. Charles

Sue Henry

Owner
Mixology Salon Spa

Darius Grigaliunas

President
Baltria Vintage Auto Gallery

Joseph J. Klein

Attorney at Law
Klein, Daday, Aretos &
O'Donoghue

Rowena Salas

Owner
Hotel Baker

Ron Onesti

President and CEO
Onesti Entertainment

2017

Survey Data Results



www.scarecrowfest.com

Greater St. Charles
Convention & Visitors Bureau

SURVEY DATA RESULTS

SCARECROW FEST 2017

TOTAL SURVEYS OVERVIEW

Surveys completed: 252

Average # of people in party: 4.47

Surveyed people represented: 1,127 attendees

Number of States represented: 8

States include: Arizona, Colorado, Illinois, Indiana, Iowa, Kentucky, Michigan and Wisconsin

Number of Attendees in Illinois but OUTSIDE the Greater St. Charles CVB area:

(e.g. St. Charles, Elburn, and Campton Hills)

- ❖ 164 Surveyed
- ❖ 705 Attendees represented by Surveyed

Number of Attendees surveyed RESIDING in Greater St. Charles CVB area:

(e.g. St. Charles, Elburn, and Campton Hills)

- ❖ 76 Surveyed
- ❖ 348 Attendees represented by Surveyed

Total Number of Illinois Attendees Surveyed:

- ❖ 241 Surveyed
- ❖ 1,053 Attendees represented by Surveyed
- ❖ 69 Different Illinois communities identified
- ❖ 3 Unidentified communities were surveyed
- ❖ 6 Motor coach groups were surveyed (number is approximate as CVB assumes groups larger than 10 are a motor coach)

GREATER ST. CHARLES CVB ATTENDEE ESTIMATE: 80,000+ People

FIRST TIME SCARECROW FEST ATTENDEES

A total of 83 attendees surveyed reported that this was their First Time attending the fest (32.94%). This number of attendees represented 382 attendees within their group. A breakdown of how First Time attendees heard about the fest, and what they report as their “Favorite Thing” is indicated in the chart below:

Indicator #1: How did you hear about the Fest?			Indicator #2: What was your Favorite Thing?		
Characteristics	# Surveyed	# Attendees	Characteristics	# Surveyed	# Attendees
Advertising	1	8	Atmosphere	3	29
Community	2	6	Bubble Guy	1	5
Drive-by	4	33	Carnival	6	35
Facebook	5	24	Craft Fair	5	23
Family	18	101	Dog Friendly	1	2
Flyer	1	2	Everything	6	26
Friends	17	61	Family Friendly	1	2
Internet	4	17	Food	13	63
Media	11	46	Kid Activities	4	18
School	4	11	Music & Performances	6	19
Visitor Guide	1	5	MYOS	2	8
Volunteer	1	4	Petting Zoo	1	5
Website	1	3	Scarecrows	19	70
Word of Mouth	6	40	Variety of Reasons	7	23
Work	5	18	Vendors	2	5
Unknown	2	3	Volunteers	1	27
			Unknown/Other	5	22

Other Anecdotal Details:

Of the First Time attendees surveyed, 19 or (22.89%) report the Scarecrows continue to be their No. 1 “Favorite” component of the Fest. Food offered at the Fest coming in as a second favorite 13 (15.66%).

Of the First Time attendees surveyed, the vast majority 35 (42.17%) reported learning of the Scarecrow Fest through “non-traditional” advertising e.g. Family and Friends. As opposed to 12 (14.46%) through more “traditional” e.g. advertising and media.

RETURNING SCARECROW FEST ATTENDEES

A total of 169 attendees surveyed reported that this was NOT their first time attending the fest (67.06%). This number of attendees represented 746 attendees within their group. A breakdown of how Returning attendees were reminded about the fest and what they report as their “Favorite Thing” is indicated in the chart below:

Indicator #1: How did you hear about the Fest?			Indicator #2: What was your Favorite Thing?		
Characteristics	# Surveyed	# Attendees	Characteristics	# Surveyed	# Attendees
Advertising	8	18	Atmosphere	5	16
Always attend	19	96	Carnival	14	55
Community	56	238	Craft Fair	10	36
Drive-by	5	17	Everything	3	8
Facebook	4	12	Family Friendly	9	33
Family	13	62	Food	11	116
Flyer	1	4	Music & Performances	4	15
Friends	20	114	MYOS	2	11
Internet/Website	5	16	Petting Zoo	2	4
Media/Paper	11	37	Scarecrows	57	227
Return Visit	9	36	Variety of Reasons	32	143
School	3	9	Vendors	5	12
Participant/Vendor	3	13	Other	4	14
Word of Mouth	5	51	N/A	11	56
Work	3	8			
Unknown	4	15			

Other Anecdotal Details:

Of the Returning attendees surveyed, the vast majority 57 (33.73%) reported their “Favorite Thing” were the Scarecrows.

Of the Returning attendees surveyed that listed a “Variety” of reasons; the top four consisted of:

- ❖ Scarecrows (17) 53.13%
- ❖ Carnival/Rides (12) 37.5%
- ❖ Crafts/Craft Fair (10) 31.25%
- ❖ Food (9) 28.13%

Of the Returning attendees surveyed, the vast majority 56 (33.14%) reported being reminded of the Scarecrow Fest by Community. Community consists of people who live in the area or have lived in the area so they know that the Scarecrow Fest happens every year – it’s Tradition!

EXCITING ADDITIONS TO 2017 SCARECROW FEST

This year the GSCCVB decided to work with some of our local businesses and farms on creating “Events within The Event” with great success.

Farm Tours:

Five (5) local Farms opened up their locations for tours:

- ❖ Norton Farms (Fee \$5 Fri-Sun)
- ❖ Primrose Farms (FREE Fri-Sun)
- ❖ Garfield Farms (Fee \$3-\$5 Sat-Sun)
- ❖ Corron Farms (FREE Sat-Sun)
- ❖ Royal Lusitano Farm (\$6-\$12 Saturday only)
 - 84 Total Eventbrite Signups
 - 430 Total Eventbrite Views

“All Wheels In” Bike Ride

In collaboration with Sammy’s Bikes

- ❖ 132 Bike Entries
- ❖ Of those 132
 - approx. 70% were Distance riders
 - approx. 30% were Family riders

Farm to Table Dinner:

The Finery & Blacksmith Bar

(Sunday evening at the end of the fest)

- ❖ 69 Total Eventbrite Sign Ups
- ❖ 242 Total Eventbrite Views
- ❖ 47 Actuals from Finery
- ❖ \$40 pp++

Character Lunch:

Abby’s Breakfast & Lunch

(Wizard of Oz Characters, performances by Marquee Youth Stage performers “Into the Woods Jr.” & “Lion King Jr.” & the Chicago Steel mascot “Rusty”)

- ❖ 25 people attended
- ❖ \$15.00 per person incl. tax & gratuity

Grave Reminder Cemetery Walk:

In collaboration with St. Charles History Museum

- ❖ 75 people attended walk
- ❖ Price: RES \$5/NR \$8 per person
- ❖ Ages 5 & under are free
- ❖ Of those 75 – 12 (16%) took the bus provided by GSCCVB

**AGREEMENT FOR SERVICES BETWEEN THE CITY OF ST. CHARLES AND
THE ST. CHARLES CONVENTION AND VISITORS BUREAU**

WHEREAS, the City of St. Charles, hereinafter referred to as "City," is desirous of promoting and developing tourism and conventions; and,

WHEREAS, Chapter 3.32, "Municipal Hotel Operators' Occupation Tax," of the City of St. Charles, Illinois, Municipal Code (hereinafter referred to as "Hotel Tax Ordinance") provides for such activities in accordance with the limitations of the ordinance; and,

WHEREAS, the St. Charles Convention and Visitors Bureau, , (hereinafter referred to as "the Bureau") an Illinois not-for-profit organization certified by the State of Illinois to promote a designated service area including the City of St. Charles and St. Charles and Campton Townships, can provide marketing, sales, and convention servicing as required by the Illinois Bureau of Tourism to promote City.

NOW THEREFORE, IT IS HEREBY AGREED AS FOLLOWS:

- I. In consideration of the promises, terms and conditions set forth, the Bureau shall devote its energies to tourism promotion of the Greater St. Charles area including, but not limited to, meetings, conventions, sports events, motorcoach visits and individual leisure visits for the purpose of increasing hotel overnight stays and day trips. Activities to include, but not limited to:
 - A. Analyze the area's major attributes with the purpose of capitalizing on those characteristics;
 - B. Serve as an information source to those inquiring about St. Charles;
 - C. Create and execute an annual marketing plan to include its mission statement, situation analysis, defined goals and objectives for all target markets, past results of promotional initiatives based on tracking of leads generated, booked business, overnight leisure stays, convention servicing endeavors, advertising responses, future advertising placements, and anticipated return on investment;
 - D. Continue to provide convention services to meeting, event, and sports planners who have chosen St. Charles as a destination and to communicate specific needs to Greater St. Charles businesses, City, and other government units when appropriate;
 - E. Maintain and enhance existing relationships with St. Charles hotels. Continue to meet with the hotel community on a quarterly basis. Serve as a

resource to Greater St. Charles merchants, restaurants, and other hospitality-related venues;

F. Seek grants on all levels to assist in the funding of planned activities;

G. Interface with other local, state and regional tourist and convention bureaus;

H. Continue to assess the results of the Bureau's work and provide annual written reports to the City Council.

II. In consideration of the foregoing services provided by the Bureau, City agrees to pay to the Bureau Five Hundred Three Thousand, Three Hundred Eighty Two and no/100 cents (\$503,382) less the amount of any operating cash balance in excess of \$200,000 on hand at June 30, 2018 for the period beginning May 1, 2018 and ending April 30, 2019, subject to the provisions contained in Section II A below. Equal payments shall be made on a monthly basis, subject to deductions by City for collection costs (including expenses of litigation to defend the imposition or collection of the tax). Any non-tourism, matching funds grants which the Bureau assists City in obtaining shall be treated as a separate matter.

III. In addition to the operating cash balance identified in Section II above, the Bureau shall be entitled to retain an additional reserve of \$30,000 for the purposes of mitigating poor financial performance of the Scarecrow Festival held in October of each year. Said reserve shall not count in the computation of the reserve identified in Section II above.

IV. The Bureau will not enter into any relationship, contractual or otherwise, which will subject City to any liability. The Bureau, an independent contractor, receives funding from City to provide consulting and planning services with respect to tourism development and has no authority to bind City in any matter. The Bureau further agrees to indemnify and hold harmless City from any and all liability, losses or damages, including reasonable attorneys' fees, arising from the execution or implementation of this agreement, including any action against City with respect to the collection of the special tax provided for by the Hotel Tax Ordinance.

V. The Bureau shall maintain records of all of its activities for a period of at least seven years, which records shall upon request be subject to inspection and copying by City or its designated agent at City's sole expense at any reasonable time or times during the operation of this agreement and for a period of three years thereafter.

- VI. This agreement shall terminate on April 30, 2019, and the consideration therefore may be renewed by a written instrument executed by both parties.
- VII. The Bureau shall provide City with a monthly financial report including a profit and loss statement, along with an annual balance sheet. The current profit and loss statement shall be provided to City within thirty (30) days after the end of the month for which the statement is prepared. The Bureau shall comply with the terms and conditions of City's Policy Regarding Funding for External Agencies, as it exists on May 1, 2018.
- VIII. The Bureau agrees that it will continue to identify, recruit, and appoint new and/or additional members to its Board of Directors to represent the hotel and restaurant industry of the City of St. Charles. The Bureau also agrees to maintain its by-laws so as to restrict the duration and number of terms of office members of the Board of Directors may serve.
- IX. Upon termination of this agreement, any funds paid to the Bureau and not used or otherwise subject to pending contract requirements of the Bureau shall be returned to the City.
- X. In the event of a default by either party under this agreement, the other party may elect to terminate the agreement by serving ten-day written notice upon the other party.
- XI. The foregoing is the entire agreement made by and between the parties hereto and has been examined by each of the said parties.
- XII. Any amendment to this agreement shall be effective only if evidenced by a written instrument executed by the parties hereto.

IN WITNESS WHEREOF, the undersigned have hereto set their hands and seals this _____ day of _____, 2018.

ST. CHARLES CONVENTION AND VISITORS BUREAU

CITY OF ST. CHARLES

By _____
President

Mayor

City of St Charles
Hotel Tax Receipts and CVB Contributions Analysis
3/6/2018

<u>Year</u> <u>Ended</u> <u>April 30</u>	<u>Hotel Tax</u> <u>Receipts</u>	<u>Change</u>	<u>Percentage</u> <u>Change</u>	<u>City</u> <u>Contributions</u> <u>to CVB</u>
2007	\$1,948,562	N/A	N/A	\$612,547
2008	\$2,047,977	\$99,415	5.10%	\$533,235
2009	\$1,737,237	(\$310,740)	-15.17%	\$585,000
2010	\$1,582,359	(\$154,878)	-8.92%	\$526,500
2011	\$1,612,461	\$30,102	1.90%	\$526,500
2012	\$1,749,895	\$137,434	8.52%	\$526,500
2013	\$1,778,810	\$28,915	1.65%	\$526,500
2014	\$1,630,810	(\$148,000)	-8.32%	\$526,500
2015	\$1,768,106	\$137,296	8.42%	\$585,000
2016	\$2,007,436	\$239,330	13.54%	\$526,500
2017	\$1,905,544	(\$101,892)	-5.08%	\$526,500
2018**	\$1,895,019	(\$10,525)	-0.55%	\$526,500

** 2018 Amount Estimated based on January Forecast amount.

All other amounts from the City's Comprehensive Annual Financial Report for the fiscal year indicated.