

**AGENDA**  
**CITY OF ST. CHARLES**  
**PLANNING & DEVELOPMENT COMMITTEE**  
**ALD. ED BESSNER – CHAIRMAN**  
**MONDAY, MAY 14, 2018 - 7:00 PM**  
**CITY COUNCIL CHAMBERS**  
**2 E. MAIN STREET**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. COMMUNITY & ECONOMIC DEVELOPMENT**

- a. Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for Meijer – Drive-Thru, Parking, Signage (Meijer PUD).
- b. Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for Meijer Outlot (Meijer PUD).
- c. Recommendation to approve a Corridor Improvement Grant for 619 W. Main Street (Eric Larson – Property Owner).
- d. Historic Preservation Commission recommendation to approve a Façade Improvement Grant for 423 S. 2nd St.
- e. Historic Preservation Commission recommendation to approve a Façade Improvement Grant for 113 N. 2nd Ave.
- f. Recommendation to approve the Third Amendment to Intergovernmental Agreement between the City of St. Charles and the City of Geneva (1337 Geneva Rd.)

**4. ADDITIONAL BUSINESS**

**5. EXECUTIVE SESSION**

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

**6. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS.**

**7. ADJOURNMENT**

### ***ADA Compliance***

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at [jmcmahon@stcharlesil.gov](mailto:jmcmahon@stcharlesil.gov). Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).



**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3a

Title:	Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for Meijer – Drive-Thru, Parking, Signage (Meijer PUD).
Presenter:	Ellen Johnson

Meeting: Planning & Development Committee

Date: May 14, 2018

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

**Executive Summary** (if not budgeted please explain):

The subject property is the site of the Meijer store, which is part of the Meijer PUD approved under Ordinance 1999-M-24.

Craig M. Armstrong of Elevatus Architecture, on behalf of Meijer, Inc., is requesting approvals related to the following:

1. Pharmacy Drive-Thru – Change the location of the pharmacy drive-thru from the approved location at the north side of the store to the northeast corner of the store along the front of the building.
2. Parking Requirement – Reduce the parking requirement for the store from 831 spaces to 792 spaces to allow for an outlot development at the northeast corner of the parking lot. (The outlot development is a separate item on the agenda for this meeting.)
3. Signage – Modify the permitted signage for the Meijer property.

The proposal requires a PUD Amendment to change the approved location of the pharmacy drive-thru, reduce the parking requirement, and change the permitted signage.

A PUD Preliminary Plan pertaining to the drive-thru related improvements has also been submitted.

**Plan Commission Review**

Plan Commission held a public hearing on 5/8/18 and recommended approval, subject to resolution of staff comments, by a vote of 8-0. The applicant has provided revised plans conforming to the following staff comments in the staff report:

- The crosswalk to the Garden Center has been shifted north so that it does not extend through the drive-thru stacking lane.
- Left turns out of the drive-thru lane will be prohibited.

**Annexation Agreement Amendment**

Property within the Meijer PUD is subject to the provisions of an annexation agreement between the City and property owner, expiring in 2019. The annexation agreement will need to be amended to incorporate the proposed changes to the Meijer PUD. A public hearing to consider the annexation agreement amendment will be scheduled for the City Council meeting on June 4, pending a recommendation from Planning & Development Committee.

**Attachments** (please list):

Plan Commission Resolution, Staff Memo, Applications, Plans, PUD Ordinances

Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for Meijer – Drive-Thru, Parking, Signage (Meijer PUD), contingent upon resolution of all staff comments prior to final Council action.

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 5-2018**

**A Resolution Recommending Approval of an Application for Special Use to amend Ordinances 1999-M-24 and 2017-Z-11 (Meijer PUD) regarding a Pharmacy Drive-Thru, Parking, and Signage and Approval of a PUD Preliminary Plan for Meijer, 855 S. Randall Rd. (Craig M. Armstrong, Elevatus Architecture)**

**Passed by Plan Commission on May 9, 2018**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Uses; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the petitions for a Special Use and PUD Preliminary Plan for Meijer, 855 S. Randall Rd. regarding pharmacy drive-thru, parking, and signage (Craig M. Armstrong, Elevatus Architecture) and;

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

**i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**

**Pharmacy Drive-Thru:** The Pharmacy Drive-thru canopy addition would be constructed in a manner that would blend in with the existing architectural style and materials that exist today. The location on the front would only require a slight alteration to one parking island, resulting in maintaining the overall integrity of the existing vegetation and topographic features. This location also would be more recognizable from the south-east entrance, whereas if it were on the north, it may not be. This feature would help promote economic development in offering a popular service to the people of St. Charles and the surrounding communities.

**Signage Revisions:** Allowing for this requested increase in signage area from the latest amendment would help the public navigate the site to get to their desired destination. Signs assist the public in going to the right place without additional need for circulation or walking. If customers are able to enter the Meijer parking lot and be able to tell immediately which side of the store they would like to visit, it will reduce driving and thus reduce the possibility of vehicle/pedestrian issues.

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**Parking Reduction:** A reduction in the required parking spaces from 831 parking spaces to 792 (39 space reduction) is necessary to allow for the new Outlot to be parceled off and developed to offer new dining and retail to the residents of St. Charles and the surrounding areas. This initiative, in conjunction with the Outlot Development, promotes not only an economic development aspect, but makes more efficient use of the existing, underutilized area of the parking lot associated with Meijer. The existing Meijer parking closest to Randall Rd. is rarely used and provides no amenity to residents of St. Charles. The addition of restaurants and retail in this location keeps commercial development in the commercial district while not overburdening any single location.

- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
  - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Pharmacy Drive-Thru:** The currently approved location of the Pharmacy Drive-thru on the north side of the building is not readily visible from the traffic entering the site from the east and southeast portions of the site. This may result in difficulty for customers to locate the Pharmacy Drive-thru. Locating it on the front of the building would assist with wayfinding. With the construction of this highly sought-after amenity, it would enable customers who utilize the Pharmacy to not have to leave their vehicle when filling their prescription. Finally, the revised location would be more advantageous to preserve the existing conditions of the site from both a hardscape and softscape perspective.

**Signage Revisions:** As stated above, these signage revisions would assist the public with wayfinding and could ultimately make circulation easier for drivers coming into the site. Also, the proposed outlot development would screen a significant portion of the Meijer building frontage, meaning the additional signage would not be readily visible from the public right of way (Randall Rd.). All locations, mounting heights, and illumination requirements would comply with local regulations.

**Parking Reduction:** Conforming to the requirements of the zoning ordinance with respect to the amount of parking spaces required is impractical and an inefficient use of the land. At no point does Meijer currently use all of their existing parking spaces. This Meijer store's actual area that the customers shop in is around 65% of the total GFA. The other 35% of the store is primarily warehouse space with some staff and food preparation areas not accessible to customers. Also, granting this small parking reduction requirement would allow for the outlot development to proceed and to draw patrons from St. Charles, surrounding communities and the broader region. It should also be noted that several

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landscaping enhancements are associated with outlot development which could not occur without granting this parking requirement quantity.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

A. **Public Convenience: The Special Use will serve the public convenience at the proposed location.**

**Pharmacy Drive-Thru:** The proposed drive-thru will offer the public the convenience of not having to leave their car to pick up their prescriptions. This is a definite benefit for people who are not feeling well or have a disability that makes it difficult to enter the store to purchase their prescriptions. Meijer has received feedback that parents with sick children and elderly customers specifically seek the drive-thru amenity to allow them to pick up prescriptions without having to walk into the Meijer store.

**Signage:** Increasing the size of the signs on the building will be a convenience to the public by helping the customers find the side of the store where the desired product types are located as soon as they enter Meijer property.

**Parking Reduction:** If the reduction of the parking spaces is allowed it will offer new amenities to the area. New dining and retail will be available to the residents of the City if the parking spaces are allowed to be reduced.

B. **Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

**Pharmacy Drive-Thru:** The location of this drive-thru is located within Meijer's existing site so there is sufficient infrastructure for it. It also does not increase the impervious area that exists today on site. It does slightly alter the drive.

**Signage:** The proposed signage will only need power for the illuminated ones. Sufficient structure is or will be provided to support signage.

**Parking Reduction:** The reduction of the amount of parking spaces required will not impact the existing infrastructure in a negative way. The utilities are all in place to allow for these new businesses to connect.

C. **Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

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**Pharmacy Drive-Thru:** The design of the drive-thru will not be injurious to the surrounding properties nor will it diminish or impair the surrounding property values in the area. The drive-thru sits back from Lincoln Highway 370 feet and 760 feet back from Randall Road. Existing parking lots, retention pond, garden center and landscaping will provide some screening and buffers of the drive-thru from the neighboring properties.

**Signage:** The signs are located on the front of the building approximately 760 feet away from Randall Road and will be partially screened by the outlot development so it would not adversely impact the surrounding properties.

**Parking Reduction:** The reduction in the amount of parking spaces required will not adversely impact the surrounding properties. As previously stated, the actual area of the building that is accessible to the consumer is around 65% of the total GFA. The loss of these 39 spaces would not impact the day-to-day operations of this store.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

**Pharmacy Drive-Thru:** Since the drive-thru is being located where existing pavement is today on Meijer's existing site, the drive-thru will not impede any development or improvements to any of the surrounding properties.

**Signage:** The proposed signs will not impede any development or improvements to the surrounding properties because these signs are being located on the front of Meijer's existing building which is approximately 790 feet away from Randall Road. This distance away from the road, along with the outlot development, will make it difficult for the surrounding properties to see the proposed wayfinding signs. The signs will not face Lincoln Highway.

**Parking Reduction:** The reduction of the amount of parking spaces required will not adversely impact the surrounding properties. The existing parking lot is underutilized for the Meijer site. By reducing the amount provided it will neither result in any issues to the surrounding properties nor impair their property values. The outlot uses that are being proposed are permitted in the district and fit the character and type of development of the Randall Road corridor. Adding commercial development to an already commercial site will limit expansion and keep those uses in the intended corridor.

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- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

**Pharmacy Drive-Thru:** The drive-thru lane will be marked with traffic control signage to direct vehicular traffic to stop and allow the crossing of pedestrians into the store entrance and Garden Center area. Meijer's customers cross the existing front access lane today and the new drive-thru lane will not impact the majority of Meijer's customers. The cars using this lane will be driving slower than the cars that use the existing front access lane, so this drive-thru lane will not be a detriment to the public's safety, comfort or general welfare. The Drive- thru could actually improve upon the general welfare as it should reduce pedestrians who were crossing the main drive solely to visit the Meijer pharmacy to pick up a prescription.

**Signage:** The general welfare of the people will not be harmed as this addition will actually improve the general welfare.

**Parking Reduction:** The general welfare of the residents of St. Charles will not be impacted in a negative way. There is excess existing parking and by removing unused spaces, there will be no impact on Meijer customers.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

**Pharmacy Drive-Thru:** The Pharmacy drive-thru will conform to all codes with the exception of this request to locate the drive-thru along the front of the store in lieu of the side as originally approved.

**Signage:** Other than the signs requested to be larger than permitted by the existing PUD ordinance, all other aspects of the signage will conform to the local, state and federal regulations.

**Parking Reduction:** All local, state and federal codes will be followed with the exception of this request to reduce the parking requirement for the site.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

**Pharmacy Drive-Thru:** By allowing the Pharmacy drive-thru to be located in the front of the store it will be a benefit to Meijer's customers because it allows for the Garden Center's size to remain as it is today. This specific Garden Center ranks among the



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highest utilized within the entire fleet of stores. If there was a reduction in the area of the Garden Center, it would reduce the amount of products available to the consumer. This would impact the economic well-being of Meijer and in turn would reduce product selection to the customers.

**Signage:** The proposal to increase to size of the proposed signs on the Meijer building will be a benefit to the economic well-being of the City by allowing their customers to better maneuver around the site and know what is being offered at Meijer, which could increase their spending. The more comfortable someone is in an area the greater chance they will return to the area.

**Parking Reduction:** The proposal to reduce the amount of parking spaces required on the Meijer site will benefit the City economically because it will allow for the development of a new outlot within the area of the existing parking lot. The new outlot businesses will be attractive developments that will enhance St. Charles, will provide additional services to the residents, will make a significant contribution to the tax base over the existing vacant parking lot use, and will contribute to the economic well-being of the city through added real estate and sales tax.

### v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

**Pharmacy Drive-Thru:** This area is located in the West Gateway Subarea region as outlined in the Comprehensive Plan. This area is comprised of a mixture of retail and commercial businesses. The area of the proposed Pharmacy Drive-Thru is located within development that already exists. The use of the site is not changing from what it is today which is a retail/grocery store. It conforms to the uses as outlined in the West Gateway Subarea region designation. The drive-thru also will not impact the existing landscaping which borders the surrounding streets so it will not impact the area in a negative manner.

**Signage:** The larger signs being submitted will conform to the Comprehensive Plan since they will be located on the existing building which is already a part of the larger retail/commercial business area. The larger signs will help avoid confusion for its customers without being excessive in size.

**Parking Reduction:** The proposal to reduce the amount of parking spaces required on the Meijer site will conform to the intent and purposes of the Comprehensive Plan since it will not change the use of the site. The new Outlot development that will be located in the area of the existing, underutilized portion of the parking lot will also conform to the types of facilities which are classified to be located in the West Gateway Subarea region.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a Special Use requesting an amendment to Ordinances 1999-M-24 and 2017-Z-11 regarding a pharmacy drive-thru, parking, and signage and a PUD Preliminary

**Resolution 5-2018**

Plan for Meijer, 855 S. Randall Rd., subject to resolution of outstanding staff comments prior to City Council action.

Roll Call Vote:

Ayes: Holderfield, Schuetz, Vargulich, Purdy, Wallace, Pretz, Kessler, Pietryla

Nays:

Absent: Funke

Motion carried: 8-0

PASSED, this 8th day of May 2018.

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Chairman  
St. Charles Plan Commission

Community & Economic Development  
 Planning Division

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**Staff Report**

**TO:** Chairman Ed Bessner  
 And the Members of the Planning & Development Committee

**FROM:** Ellen Johnson, Planner

**RE:** Amendment to Special Use for Planned Unit Development & PUD Preliminary Plan –  
 Meijer PUD (855 S. Randall Rd.)

**DATE:** May 9, 2018

**I. APPLICATION INFORMATION**

**Project Name:** Meijer Pharmacy Drive-Through, Parking, Signage

**Applicant:** Craig M. Armstrong, Elevatus Architecture

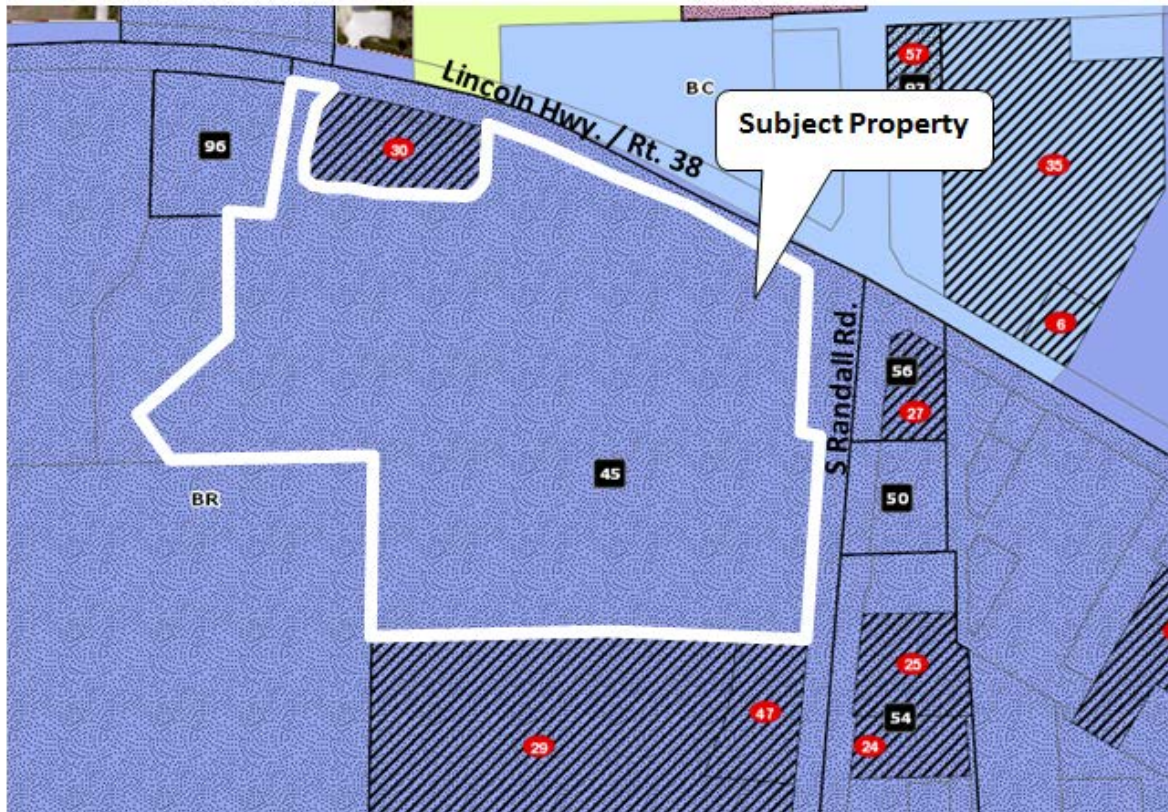
**Purpose:** To amend the location of the pharmacy drive-thru, reduce the parking requirement, and modify the permitted signage

<b>General Information:</b>		
<b>Site Information</b>		
Location	855 S. Randall Rd.	
Acres	27.8 acres	
Applications	<b>1) Special Use (PUD Amendment)</b> <b>2) PUD Preliminary Plan</b>	
Applicable Ordinances and Zoning Code Sections	17.04 Administration Ordinance No. 1999-M-24 “An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)” Ordinance No. 2017-Z-11 “An Ordinance Amending Ordinance No. 1999-M-24 to Modify the Permitted Wall Signage for Meijer, 855 S. Randall Road”	
<b>Existing Conditions</b>		
Land Use	Commercial- Meijer store	
Zoning	BR Regional Business & PUD (Meijer PUD)	
<b>Zoning Summary</b>		
North	BC Community Business PL Public Lands	Retail strip center, Moose Lodge, Fair Grounds
East	BR Regional Business & PUD (Randall Road Commercial PUDs)	Commercial uses
South	BR Regional Business & PUD (Meijer PUD)	Lowe’s
West	BR Regional Business & PUD (Bricher Commons PUD & Metro Storage PUD)	Metro Storage facility, vacant land
<b>Comprehensive Plan Designation</b>		
Corridor/Regional Commercial		

**Aerial**



**Zoning**



## II. BACKGROUND

The subject property is the site of the Meijer store, located at the southwest corner of Randall Rd. and Lincoln Hwy. The property is 27.8 acres in size and contains the Meijer building and adjacent parking lot, Meijer gas station, and two detention ponds.

The Meijer store was constructed in 2000. Development of the property was approved under Ordinance 1999-M-24 “An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)”. The PUD Preliminary Plan for the property was approved under Resolution 1999-24 “Resolution Approving a Preliminary Plan for the Meijer PUD”.

A PUD Amendment for changes to the wall signage was approved in 2017 under Ordinance 2017-Z-11 “An Ordinance Amending Ordinance No. 1999-M-24 to Modify the Permitted Wall Signage for Meijer, 855 S. Randall Road”. That amendment brought wall signage that existed on the building into compliance with the PUD ordinance and allowed for an additional sign for a future pharmacy drive-thru.

## III. PROPOSAL

Craig M. Armstrong of Elevatus Architecture, on behalf of Meijer, Inc., is requesting approvals related to the following:

1. Pharmacy Drive-Thru – Change the location of the pharmacy drive-thru from the approved location at the north side of the store to the northeast corner of the store along the front of the building.
2. Parking Requirement – Reduce the parking requirement for the store from 831 spaces to 792 spaces.
3. Signage – Modify the permitted signage for the Meijer property.

The following zoning applications were submitted in support of this project:

- **Special Use (PUD Amendment)** – To change the approved location of the pharmacy drive-thru, reduce the parking requirement, and change the permitted signage.
- **PUD Preliminary Plan** – Approval of the site plan showing the layout of the pharmacy drive-thru and parking lot and architectural elevations. [Note the architectural elevations depict a number of cosmetic changes related to painting of the building. These types of changes do not require review/approval by Plan Commission.]

## IV. ANALYSIS

### A. PHARMACY DRIVE-THRU

Exhibit III of the Meijer PUD Ordinance includes the following on the list of permitted uses for the Meijer property:

*“Drive-in Pharmacy (as shown on the Preliminary Plan)”*

The approved PUD Preliminary Plan shows the pharmacy drive-thru on the north side of the building, north of the garden center. The drive-thru was never constructed.

The applicant is proposing to locate the pharmacy drive-thru at the northeastern corner of the store, along the front of the Garden Center and building. Details of the drive-thru are as follows:

- The main north-south drive aisle along the front of the store will be shifted to the east to create the drive-thru lane. 18 parking spaces will be eliminated.
- The drive-thru will be oriented north to south, with stacking for five (5) vehicles.
- The drive-thru lane will be separated from the main drive aisle by a raised barrier median.
- Sidewalk along the Garden Center entrance will be straightened out and widened to the west edge of the drive-thru lane. A decorative fence will run between the sidewalk and drive-thru.
- A canopy is proposed over the drive-thru window.
- Pedestrian access to the Garden Center through the north end of the drive-thru lane.

The table below compares the plans with the standards of Section 17.24.100 “Drive-Through Facilities”. All standards are met.

Category	Zoning Ordinance Standard	Proposed
<b>Screened from Public Street</b>	Stacking spaces concealed from view from public streets to greatest extent possible by orientation, design or screening	Meets requirement based on location within the site
<b>Obstruction of Required Parking</b>	Stacking spaces cannot obstruct access to required parking spaces	Meets requirement
<b>Obstruction of Ingress/Egress</b>	Location of stacking spaces cannot obstruct ingress/egress to the site or interfere with vehicle circulation	Meets requirement
<b>Lane Configuration</b>	Stacking spaces must be placed in a single line up to point of service	Meets requirement
<b>Required Stacking Spaces</b>	5	5
<b>Required Stacking Space Size</b>	9' x 20'	9' x 20'

**Aerial of Proposed Drive-Thru Area**



### **Traffic Study**

A Traffic Study prepared by Gewalt Hamilton Associates, Inc. dated 4/2/18 was submitted by the applicant. The following information is a summary of the study's findings.

Traffic counts were conducted at the Oswego Meijer to provide a basis for projecting traffic at the St. Charles store. The study projects a total of 43 drive-thru transactions per day, with 6-10 transactions per hour during the peak periods.

Regarding vehicle stacking, observed stacking at the Oswego Meijer averaged just over 1 vehicle during the morning peak hour and almost 3 vehicles at the evening peak hour. No more than 4 vehicles were queued at one time during the observation period.

A capacity analysis was performed at the exit of the proposed drive-thru which shows, "the introduction of the drive-through traffic is expected to have a minimal impact on the operations along the main drive aisle fronting the store".

The study provides a number of recommendations regarding signage:

- Add signage at the Rt. 38 and Randall Rd. access points to direct patrons to arrive from the north for the pharmacy drive-thru.
- Add signage to restrict U-turns from the main drive aisle into the drive-thru.
- Add signage to restrict vehicles exiting the drive-thru to right-turns only.
- Add "Do Not Enter" signage at the exit end of the drive-thru lane.

### **Staff Comments**

- At staff's request, the plans have been revised to shift the crosswalk to the north, behind the start of the drive-thru lane to minimize interference with pedestrian traffic.
- At staff's request, signage restricting left turns for vehicles exiting the drive-thru lane has been added. Other signage recommended in the traffic study has also been added, however staff needs to further review the plans to ensure that all required signage has been incorporated.

## **B. PARKING**

A significant portion of the Meijer parking lot is proposed to be sold for an outlet development. The outlet is proposed at the northeast corner of the parking lot. Applications for the outlet development are also scheduled for review by the Plan Commission.

A total of 372 existing Meijer parking spaces are proposed to be removed, including the spaces eliminated for the pharmacy drive-thru and the outlet development.

The parking requirement for Meijer based on the PUD Ordinance is 5 spaces per 1,000 sf of net floor area of the building. Net floor area does not include stairs/elevators, mechanical/utility rooms, interior mezzanines, loading areas, restrooms, storage areas, or foyers.

Per the applicant, the net floor area of the building is 166,180 sf. This equates to a parking requirement of 831 spaces. There are currently 1,164 parking spaces for the store, which is 333 spaces in excess of the requirement.

Based on the site plan, a total of 792 spaces are proposed (372 spaces will be removed). This is **39 spaces** less than required under the PUD Ordinance. The applicant has requested to amend the PUD Ordinance to reduce the parking requirement.

According to the applicant, Meijer’s parking standard is 3.5 parking spaces per 1,000 sf of gross floor area. This equates to 773 spaces. The proposed parking count of 792 spaces meets Meijer’s standard.

**C. SIGNAGE**

Permitted signage on the property was amended in 2017 under ordinance 2017-Z-11. The applicant is now proposing to change the sign standards to allow a greater total sign area for wall signs on the Meijer building.

The table below lists the Meijer signage currently permitted per the PUD Ordinance, alongside the signage proposed by the applicant.

<b>PUD Ordinance (2017-Z-11)</b>		<b>Proposed</b>	
<b>Sign</b>	<b>Sign Area (square feet)</b>	<b>Sign</b>	<b>Sign Area (square feet)</b>
Meijer	410.90 sf	Meijer	395.67 sf
Welcome	12 sf	Fresh	51.7 sf
Welcome	12 sf	Home	49.5 sf
Pharmacy	16.11	Pharmacy Drive-Up	30.74 sf
Pharmacy Drive-Up	43.88 sf	Starbucks	16 sf
Garden Center	19.28 sf	US Bank	27 sf
Starbucks	16 sf		
US Bank	27 sf		
<b>TOTAL WALL MOUNTED</b>	<b>8 signs; 557.17 sf</b>	<b>TOTAL WALL MOUNTED</b>	<b>6 signs; 570.61 sf</b>
Meijer Monument Signs (2)	58 sf each, 116 sf total	Meijer Monument Signs (2)	57.56 sf each; 115.12 sf total (Reface existing)
Gas Station Freestanding Price Cabinet	69 sf	Gas Station Freestanding Price Cabinet	70.63 sf (Reface existing)
Gas Station Canopy Signs (3)	20 sf each, 60 sf total	Gas Station Canopy Signs (3)	14.6 sf each; 43.8 sf total

Per the PUD Ordinance, eight (8) total building mounted signs are permitted with a total sign area of 557.17 sf. Proposed is to update the signage on the building, replacing some signs and removing others. A total of six (6) building mounted signs are proposed, with a total sign area of 570.61 sf, which constitutes 13.44 sf more sign area than currently permitted.

The freestanding signs on the site, two Meijer monument signs and the gas station price cabinet, will be refaced. The sign areas shown on the plan reflect the signs that currently exist. These measurements are more accurate than currently listed in the PUD ordinance.

**D. ENGINEERING REVIEW**

Review comments on the engineering plans were provided to the applicant and a revised plan submittal is under review to ensure all comments are addressed prior to City Council action.

Engineering staff have identified that the detention facility located west of the store, to which the development is tributary, has not operated effectively or property and has caused issues for



the adjacent property owners. Staff has requested that modifications be made to the pond to limit future issues.

## **V. PLAN COMMISSION RECOMMENDATION**

Plan Commission held a public hearing on the Special Use (PUD Amendment) application on 5/8/18 and recommended approval of the Special Use (PUD Amendment) and PUD Preliminary Plan applications, subject to resolution of staff comments, by a vote of 8-0.

## **VI. ATTACHMENTS**

- Application for Special Use; received 4/4/2018
- Application for PUD Preliminary Plan; received 4/4/2018
- Engineering Plans; dated 3/12/2018
- Sign Package
- Architectural Renderings; dated 1/2/2018
- Ordinance 1999-M-24 & 2017-Z-11
- Resolution 1999-24

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**SPECIAL USE APPLICATION**

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	Meijer Drive-Thru, signage, Parking
Project Number:	2018 -PR- 003
Application Number:	2018 -AP- 005



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location: 855 S. Randall Road, St. Charles, IL 60174	
	Parcel Number (s): 09-32-476-008	
	Proposed Name: Meijer 182 - Pharmacy Drive-Thru	
<b>2. Applicant Information:</b>	Name Craig M. Armstrong, Elevatus Architecture	Phone (260) 424-9080
	Address 111 E. Wayne St., Suite 555 Fort Wayne, IN 46802	Fax
		Email carmstrong@elevatusarchitecture.com
<b>3. Record Owner Information:</b>	Name Meijer Stores Limited Partnership	Phone (616) 735-8713
	Address 2929 Walker Avenue NW Grand Rapids, MI 49544	Fax
		Email christopher.mankowski@meijer.com

**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** 1999-M-24 Meijer PUD
- New PUD
- Amendment to existing PUD- Ordinance #: 2017-Z-11, 1999-M-24
- PUD Preliminary Plan filed concurrently
  
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: West Gateway Subarea area

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR - Regional Business

What is the property currently used for? Retail / Grocery Store

If the proposed Special Use is approved, what improvements or construction are planned?

A new pharmacy drive-thru will be constructed at the northeast corner along the front of the building. Building Signage will be upgraded.  
 Required parking as outlined in the ordinance would be reduced to allow for a new parcel development. Construction is scheduled to commence in June 2018 and the meijer work completed by October 2018.

**For Special Use Amendments only:**

Why is the proposed change necessary?

The drive-thru was originally approved to be located on the north side of the building, not along the front where we would now like to have it. This will afford Meijer to keep the Garden Center extents in tact for this highly utilized location. The signage aspect of this application would more closely match Meijer's current prototypical sizes and styles. The Reduction in Parking aspect of this application is to allow for the Outlot development within the existing parking lot.

What are the proposed amendments? (Attach proposed language if necessary)

Relocate the Existing Approved Drive-through from the north side of the building to be in front at the Northeast corner.  
 Increase the sizes of previously approved signs.  
 Reduce the Required Parking Counts to allow for Outlot Development project.

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**☒ APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**☒ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**☒ PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**☒ LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper Refer to Exhibit 'A'

**☒ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**☒ FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

**☒ LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

**SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**  
N/A

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

**ENDANGERED SPECIES REPORT:**  
N/A

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

**TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

**PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

**SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

  
 \_\_\_\_\_  
 Record Owner

  
 \_\_\_\_\_  
 Date

  
 \_\_\_\_\_  
 Applicant or Authorized Agent

  
 \_\_\_\_\_  
 Date



**Meijer Real Estate**

Matthew Levitt  
Real Estate Manager  
2350 3 Mile Rd NW  
Grand Rapids, MI 49544  
Telephone: (616) 791-3909  
[matt.levitt@meijer.com](mailto:matt.levitt@meijer.com)

**VIA EMAIL**

Mr. Craig Armstrong  
Elevatus Architecture  
111 East Wayne Street, Suite 555  
Fort Wayne, IN 46802

Craig:

Please utilize this letter as evidence of Meijer's authorization of you and Elevatus to make submission and represent Meijer to the City of St. Charles regarding the Meijer project to take place at the store located at 855 S. Randall Rd., St. Charles, IL 60123.

Elevatus is authorized to represent Meijer, Inc. and Meijer Stores, L.P. in all respects for the project.

Best regards,

A handwritten signature in black ink that reads "Matt Levitt". The signature is written in a cursive style.

Matt Levitt

OWNERSHIP DISCLOSURE FORM  
PARTNERSHIPS

MICHIGAN )  
STATE OF ILLINOIS )  
KENT ) SS.  
KANE COUNTY )

I, Michael L. Kinstle, being first duly sworn on oath depose and say that I am  
the Vice President-Real Estate of Meijer Group, Inc., the  
General Partner of Meijer Stores Limited Partnership, a Michigan, ~~an Illinois~~

~~(General)~~ (Limited) Partnership and that the following ~~persons~~ are all of the partners thereof:

- Meijer Group, Inc. ~~(General)~~ (Limited) Partner
- Meijer Distribution, Inc. ~~(General)~~ (Limited) Partner
- \_\_\_\_\_ (General)(Limited) Partner
- \_\_\_\_\_ (General)(Limited) Partner
- \_\_\_\_\_ (General)(Limited) Partner
- \_\_\_\_\_ (General)(Limited) Partner

MEIJER STORES LIMITED PARTNERSHIP

By: Meijer Group, Inc., its general partner

By: [Signature] ~~(General)(Limited) Partner~~

Michael L. Kinstle

Its: Vice President-Real Estate

Subscribed and Sworn before me this 30th day of

March, 2018.

Cindy L. Conrad  
Notary Public







**ELEVATUS**  
ARCHITECTURE

April 13<sup>th</sup>, 2018

Ellen Johnson, City Planner  
City of St. Charles  
2 E. Main Street  
St. Charles, IL 60174-1984

*Subject: Meijer Pharmacy Drive-thru Project*  
*Project No.: 1701812*

Ellen:

We are submitting this Parking Count Summary letter per your request to supplement the Meijer's PUD Amendment for the Meijer located at 855 S. Randall Street, St. Charles, Illinois.

The parking count at this property is based on 5 parking spaces per 1,000 sf of Net Floor Area. Please see the following parking summary:

- Net Building Floor Area: 166,180 sf
- Parking Calculation: 166,190 sf/1,000 sf x 5 = 831 parking spaces required.
- Parking Required: 831 parking spaces
- Parking Provided: 792 parking spaces
- Parking Reduction: 39 space parking space reduction requested.

It is Meijer's parking standards for stores the size of this one to design to meet 3.5 parking spaces per 1,000 sf of Gross Floor Area. So, based on these standards the parking required would be 773 parking spaces (220,791 sf/1,000 sf x 3.5 = 773 parking spaces). Based on Meijer's standards for a store this size they would have sufficient parking stalls to provide for their client's demands.

Sincerely,

ELEVATUS Architecture

Craig M. Armstrong, AIA  
Architect, Project Manager

Exhibit B, Legal Description

cc:

## EXHIBIT "B"

### MEIJER PHARMACY DRIVE-THRU

#### CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)

There are three separate items that Meijer is submitting for consideration for the amendment to their existing PUD #1999-M-24. The three items are as follows: providing a Pharmacy Drive-Thru in the front of the store instead of on the side of the store, increasing the size of three proposed signs that were approved during the amendment process per Ordinance #2017-Z-11, and a variance to reduce the amount of parking provided beyond what the zoning ordinance requires due to a sale of a portion of Meijer's property for outlot development. We have answered all the questions on the criteria for planned unit developments for each separate item being submitted. Please see below:

i. **The proposed PUD amendment advances one or more of the Planned Unit Development procedure stated in Section 17.04.400.A:**

**Pharmacy Drive-Thru:** The Pharmacy Drive-thru canopy addition would be constructed in a manner that would blend in with the existing architectural style and materials that exist today. The location on the front would only require a slight alteration to one parking island, resulting in maintaining the overall integrity of the existing vegetation and topographic features. This location also would be more recognizable from the south-east entrance, whereas if it were on the north, it may not be. This feature would help promote economic development in offering a popular service to the people of St. Charles and the surrounding communities.

**Signage Revisions:** Allowing for this requested increase in signage area from the latest amendment would help the public navigate the site to get to their desired destination. Signs assist the public in going to the right place without additional need for circulation or walking. If customers are able to enter the Meijer parking lot and be able to tell immediately which side of the store they would like to visit, it will reduce driving and thus reduce the possibility of vehicle/pedestrian issues.

**Parking Reduction:** A reduction in the required parking spaces from 831 parking spaces to 792 (39 space reduction) is necessary to allow for the new Outlot to be parceled off and developed to offer new dining and retail to the residents of St. Charles and the surrounding areas. This initiative, in conjunction with the Outlot Development, promotes not only an economical development aspect, but makes more efficient use of the existing, underutilized area of the parking lot associated with Meijer. The existing Meijer parking closest to Randall Rd. is rarely used and provides no amenity to residents of St. Charles. The addition of restaurants and retail in this location keeps commercial development in the commercial district while not overburdening any single location.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

A. **Conforming to the requirements would inhibit creative design that serves community goals,**  
or

B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Pharmacy Drive-Thru:** The currently approved location of the Pharmacy Drive-thru on the north side of the building is not readily visible from the traffic entering the site from the east and southeast portions of the site. This may result in difficulty for customers to locate the Pharmacy Drive-thru. Locating it on the front of the building would assist with wayfinding. With the construction of this highly sought-after amenity,

it would enable customers who utilize the Pharmacy to not have to leave their vehicle when filling their prescription. Finally, the revised location would be more advantageous to preserve the existing conditions of the site from both a hardscape and softscape perspective.

**Signage Revisions:** As stated above, these signage revisions would assist the public with wayfinding and could ultimately make circulation easier for drivers coming into the site. Also, the proposed outlot development would screen a significant portion of the Meijer building frontage, meaning the additional signage would not be readily visible from the public right of way (Randall Rd.). All locations, mounting heights, and illumination requirements would comply with local regulations.

**Parking Reduction:** Conforming to the requirements of the zoning ordinance with respect to the amount of parking spaces required is impractical and an inefficient use of the land. At no point does Meijer currently use all of their existing parking spaces. This Meijer store's actual area that the customers shop in is around 65% of the total GFA. The other 35% of the store is primarily warehouse space with some staff and food preparation areas not accessible to customers. Also, granting this small parking reduction requirement would allow for the outlot development to proceed and to draw patrons from St. Charles, surrounding communities and the broader region. It should also be noted that several landscaping enhancements are associated with outlot development which could not occur without granting this parking requirement quantity.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

**A. Public Convenience: The special use will serve the public convenience at the proposed location.**

**Pharmacy Drive-Thru:** The proposed drive-thru will offer the public the convenience of not having to leave their car to pick up their prescriptions. This is a definite benefit for people who are not feeling well or have a disability that makes it difficult to enter the store to purchase their prescriptions. Meijer has received feedback that parents with sick children and elderly customers specifically seek the drive-thru amenity to allow them to pick up prescriptions without having to walk into the Meijer store.

**Signage:** Increasing the size of the signs on the building will be a convenience to the public by helping the customers find the side of the store where the desired product types are located as soon as they enter Meijer property.

**Parking Reduction:** If the reduction of the parking spaces is allowed it will offer new amenities to the area. New dining and retail will be available to the residents of the City if the parking spaces are allowed to be reduced.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

**Pharmacy Drive-Thru:** The location of this drive-thru is located within Meijer's existing site so there is sufficient infrastructure for it. It also does not increase the impervious area that exists today on site. It does slightly alter the drive.

**Signage:** The proposed signage will only need power for the illuminated ones. Sufficient structure is or will be provided to support signage.

**Parking Reduction:** The reduction of the amount of parking spaces required will not impact the existing infrastructure in a negative way. The utilities are all in place to allow for these new businesses to connect.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

**Pharmacy Drive-Thru:** The design of the drive-thru will not be injurious to the surrounding properties nor will it diminish or impair the surrounding property values in the area. The drive-thru sits back from Lincoln Highway 370 feet and 760 feet back from Randall Road. Existing parking lots, retention pond, garden center and landscaping will provide some screening and buffers of the drive-thru from the neighboring properties.

**Signage:** The signs are located on the front of the building approximately 760 feet away from Randall Road and will be partially screened by the outlot development so it would not adversely impact the surrounding properties.

**Parking Reduction:** The reduction in the amount of parking spaces required will not adversely impact the surrounding properties. As previously stated, the actual area of the building that is accessible to the consumer is around 65% of the total GFA. The loss of these 39 spaces would not impact the day-to-day operations of this store.

**D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

**Pharmacy Drive-Thru:** Since the drive-thru is being located where existing pavement is today on Meijer's existing site, the drive-thru will not impede any development or improvements to any of the surrounding properties.

**Signage:** The proposed signs will not impede any development or improvements to the surrounding properties because these signs are being located on the front of Meijer's existing building which is approximately 790 feet away from Randall Road. This distance away from the road, along with the outlot development, will make it difficult for the surrounding properties to see the proposed wayfinding signs. The signs will not face Lincoln Highway.

**Parking Reduction:** The reduction of the amount of parking spaces required will not adversely impact the surrounding properties. The existing parking lot is underutilized for the Meijer site. By reducing the amount provided it will neither result in any issues to the surrounding properties nor impair their property values. The outlot uses that are being proposed are permitted in the district and fit the character and type of development of the Randall Road corridor. Adding commercial development to an already commercial site will limit expansion and keep those uses in the intended corridor.

**E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

**Pharmacy Drive-Thru:** The drive-thru lane will be marked with traffic control signage to direct vehicular traffic to stop and allow the crossing of pedestrians into the store entrance and Garden Center area. Meijer's customers cross the existing front access lane today and the new drive-thru lane will not impact the majority of Meijer's customers. The cars using this lane will be driving slower than the cars that use the existing front access lane, so this drive-thru lane will not be a detriment to the public's safety, comfort or general welfare. The Drive-thru could actually improve upon the general welfare as it should reduce pedestrians who were crossing the main drive solely to visit the Meijer pharmacy to pick up a prescription.

**Signage:** The general welfare of the people will not be harmed as this addition will actually improve the general welfare.

**Parking Reduction:** The general welfare of the residents of St. Charles will not be impacted in a negative way. There is excess existing parking and by removing unused spaces, there will be no impact on Meijer customers.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State, and local legislation and regulation and meets or exceeds all applicable provisions of this Title except as may be varied pursuant to a Special Use for Planned Unit Development.**

**Pharmacy Drive-Thru:** The Pharmacy drive-thru will conform to all codes with the exception of this request to locate the drive-thru along the front of the store in lieu of the side as originally approved.

**Signage:** Other than the signs requested to be larger than permitted by the existing PUD ordinance, all other aspects of the signage will conform to the local, state and federal regulations.

**Parking Reduction:** All local, state and federal codes will be followed with the exception of this request to reduce the parking requirement for the site.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City:**

**Pharmacy Drive-Thru:** By allowing the Pharmacy drive-thru to be located in the front of the store it will be a benefit to Meijer's customers because it allows for the Garden Center's size to remain as it is today. This specific Garden Center ranks among the highest utilized within the entire fleet of stores. If there was a reduction in the area of the Garden Center, it would reduce the amount of products available to the consumer. This would impact the economic well-being of Meijer and in turn would reduce product selection to the customers.

**Signage:** The proposal to increase to size of the proposed signs on the Meijer building will be a benefit to the economic well-being of the City by allowing their customers to better maneuver around the site and know what is being offered at Meijer, which could increase their spending. The more comfortable someone is in an area the greater chance they will return to the area.

**Parking Reduction:** The proposal to reduce the amount of parking spaces required on the Meijer site will benefit the City economically because it will allow for the development of a new outlot within the area of the existing parking lot. The new outlot businesses will be attractive developments that will enhance St. Charles, will provide additional services to the residents, will make a significant contribution to the tax base over the existing vacant parking lot use, and will contribute to the economic well-being of the city through added real estate and sales tax.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan:**

**Pharmacy Drive-Thru:** This area is located in the West Gateway Subarea region as outlined in the Comprehensive Plan. This area is comprised of a mixture of retail and commercial businesses. The area of the proposed Pharmacy Drive-Thru is located within development that already exists. The use of the site is not changing from what it is today which is a retail/grocery store. It conforms to the uses as outlined in the West Gateway Subarea region designation. The drive-thru also will not impact the existing landscaping which borders the surrounding streets so it will not impact the area in a negative manner.

**Signage:** The larger signs being submitted will conform to the Comprehensive Plan since they will be located on the existing building which is already a part of the larger retail/commercial business area. The larger signs will help avoid confusion for its customers without being excessive in size.

**Parking Reduction:** The proposal to reduce the amount of parking spaces required on the Meijer site will conform to the intent and purposes of the Comprehensive Plan since it will not change the use of the site. The new Outlot development that will be located in the area of the existing, underutilized portion of the parking lot will also conform to the types of facilities which are classified to be located in the West Gateway Subarea region.

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**PUD PRELIMINARY PLAN APPLICATION**

<b>For City Use</b>	
Project Name:	Meijer Drive-Thru, Signage, Parking
Project Number:	2018 -PR- 003
Application Number:	2018 -AP- 006



*To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.*

*When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location:	855 S. Randall Road, St. Charles, IL 60174	
	Parcel Number (s):	09-32-476-008	
	Proposed PUD Name:	Meijer 182 Minor Reset - Pharmacy Drive-Thru	
<b>2. Applicant Information:</b>	Name	Craig M. Armstrong, Elevatus Architecture	Phone (260) 424-9080
	Address	111 E. Wayne St., Suite 555 Fort Wayne, IN 46802	Fax
			Email carmstrong@elevatusarchitecture.com
<b>3. Record Owner Information:</b>	Name	Meijer Stores Limited Partnership	Phone
	Address	2929 Walker Avenue NW Grand Rapids, MI 49544	Fax
			Email christopher.mankowski@meijer.com

**Please check the type of application:**

- New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development**
  - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

**Subdivision of land:**

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
  - Final Plat of Subdivision Application filed concurrently
  - Final Plat of Subdivision Application to be filed later

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

*Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.*

**APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

N/A ☐ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

N/A ☐ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

**PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with



the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
  - Location, height, intensity and fixture type of all proposed exterior lighting
  - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

**N/A □ SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

**☒ ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

**N/A ☐ TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, “Tree Preservation Requirements for Preliminary Plans”.

**N/A ☐ LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

**N/A ☐ STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

**N/A ☐ SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

**☒ PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

See Exhibit "B" - Criteria for Planned Unit Developments (PUD)s attached for this information.

**N/A ☐ SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.



**N/A ☐ PARK AND SCHOOL LAND/CASH WORKSHEETS**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

**N/A ☐ INCLUSIONARY HOUSING SUMMARY**

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

	<u>3/30/18</u>
Record Owner	Date
	<u>4/2/2018</u>
Applicant or Authorized Agent	Date

## Traffic Planning Study

To: Mr. Craig Armstrong, AIA  
Elevatus Architecture

From: Daniel P. Brinkman, P.E., PTOE  
Senior Transportation Engineer

Date: April 2, 2018

Subject: Proposed Pharmacy Drive-Through  
Meijer #182  
855 S Randall Road  
St Charles, Illinois

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### Part I. Introduction and Project Context

Gewalt Hamilton Associates, Inc. (GHA) has conducted a traffic planning study for the proposed addition of a Pharmacy drive through to the northeast corner of the existing Meijer building located at 855 S. Randall Road in St Charles, IL.

As proposed, the drive through will be located near the northeast corner of the building, south of the existing entrance to the Garden Center. The drive through will consist of a new drive aisle separated from the existing main north-south drive aisle in front of the building by a barrier median and a new canopy. The drive through will be oriented north to south, with all transactions between Meijer Pharmacy staff and patrons occurring through an overhead pneumatic tube.

The following provides a summary of existing conditions, site traffic characteristics, and the analyses of the proposed drive through's impact on the existing parking lot circulation. *Exhibits* and *Appendices* referenced are located at the end of this document.

### Part II. Background Information

#### *Site Location Map and Roadway Inventory*

*Exhibit 1* provides a location map of the site vicinity. *Exhibit 2* provides a photo inventory of current site conditions. Pertinent comments to the adjacent roadways include:

#### Meijer #182

- Meijer #182 is located at the southwest corner of the IL Rte 38 (Roosevelt Road) and S Randall Road intersection in St Charles, IL.
- The main north-south drive aisle in front of the store provides direct access to IL Rte 38 via a signalized intersection.
- An internal ring road intersects the main north-south aisle at a three way Stop intersection (inbound traffic does not stop) approximately 300 feet north of the north end of the existing building.
- The main drive aisle provides a single wide travel lane in each direction and has Stop signs posted at the existing marked pedestrian crossings from the parking field located east of the store.

- There is currently a bypass or parking lane in front of the Garden Center that will be relocated as part of the development of the Pharmacy Drive Through.

### ***Existing Traffic***

*Exhibit 3* summarizes the existing weekday morning and evening peak hour traffic volumes. GHA conducted peak period (8:30-10:30 am and 3:00-6:00 pm) manual traffic counts at the intersection of the parking lot aisle and the main drive aisle on Thursday March 8, 2018. The observed weekday morning and evening peak hours occurred between 9:30 to 10:30 AM and 4:00 to 5:00 PM respectively.

Additionally, GHA conducted similar peak period counts and observations at an existing Meijer Pharmacy Drive Through in Oswego, IL on Wednesday March 7, 2018 to establish a basis for estimating Drive-Through traffic at the St. Charles store.

A summary of our manual observations is attached as *Appendix A*.

## **Part III. Traffic Evaluation**

### ***Proposed Plan***

*Exhibit 4* provides an excerpt from the March 12, 2018 site development plan prepared by Elevatus Architecture and Engineering Resources, Inc. As can be seen, to provide for the construction of the Pharmacy drive through, portions of the existing sidewalk and aforementioned Garden Center bypass will be eliminated to make room for the new drive through lane. To ensure that the main drive aisle width is preserved, several parking “trees” will be shortened and the accessible parking spaces relocated. Lastly, an existing landscaped island will be modified to maintain the width of the main drive aisle.

### ***Trip Generation Observations and Projections***

*Exhibit 5* tabulates the traffic generation calculations for the proposed drive through. Normally trip generation rates for development are based on information published by the Institute of Transportation Engineers (ITE) in the 10<sup>th</sup> Edition of the Manual *Trip Generation*. However, there is no ITE data for the addition of a Drive-Through to an existing Pharmacy. Therefore, GHA conducted counts and observations at the existing Oswego store to serve as a basis for projecting traffic in St Charles.

During the observation period, the peak activity of the Oswego store resulted in between 8 and 11 Drive-Through transactions (15 to 23 trips) per hour. Based on transaction data provided by Meijer (See *Appendix B*) there were 50 Drive-Through transactions at the Oswego store on the day of our observations and 133 total Pharmacy transactions. Accordingly, the drive through transactions at Oswego were approximately 38% of the daily total. The observed Morning and Evening Peak Hours through the Drive-Through represented 11% and 17% respectively of the daily total transactions.

*Note: A car entering and exiting the drive through is considered two trips, but only one transaction.*

Projecting the observed percentage of drive through transactions at Oswego to the 112 daily transactions at the St Charles store suggest that the new Pharmacy drive through will represent about 43 trips (38%) and generate between 6 and 10 transactions, resulting in between 12 and 19 trips during the peak periods.

In addition to volume observations at the Oswego Meijer, GHA also observed and tabulated data related to the maximum number of vehicles queued (stacked) at the Drive-Through window. As can be seen in *Appendix A* during the Morning Peak Hour the observed queue at the window averaged just over one vehicle and during the Evening Peak Hour, the average increased to nearly 3 vehicles with the queue during our observation period never extending to more than 4 vehicles including the vehicle at the Pharmacy window.

### ***Site and Total Traffic Assignments***

*Exhibit 6* illustrates the drive through traffic assignments during the weekday peak hours, which are based on the traffic characteristics summarized in *Exhibit 5* (traffic generations) and assigned to the parking lot circulation system. Drive Through and Existing traffic (see *Exhibits 6* and *3*, respectively) were combined to develop Total Traffic, which is illustrated on *Exhibit 7*.

To be conservative we assumed that all of the Pharmacy drive through traffic is new, when in reality it is much more likely that existing patrons will choose to make use of the convenient drive through in lieu of parking and walking into the store if not making a trip as part of their normal shopping habits.

### ***Capacity Analysis***

Capacity analyses are a standard measurement in the industry that identifies how an intersection operates. *Exhibit 8 – Part A* lists the analysis parameters, as published in the Transportation Research Board's (TRB) Highway Capacity Manual (HCM), sixth edition, 2016. They are measured in terms of level of service (LOS). The concept of LOS is defined as a qualitative measure describing operational conditions within a traffic stream and their perception by motorists and/or passengers. A level-of-service definition provides an index to quality of traffic flow in terms of such factors as speed, travel time, freedom to maneuver, traffic interruptions, comfort, convenience, and safety.

Six levels of service are defined for each type of facility. They are given letter designations from A to F, with LOS A representing the best operating conditions and LOS F the worst. LOS C is often considered acceptable for design purposes and LOS D is usually considered as providing the lower threshold of acceptable operations. Since the level of service of a traffic facility is a function of the traffic flows placed upon it, such a facility may operate at a wide range of levels of service, depending on the time of day, day of week or period of year.

Capacity analyses were performed at the exit of the proposed Drive-Through using the Highway Capacity Software (HCS) for the following scenarios:

- *Total Traffic* – Existing traffic (year 2018) plus the addition of Drive-Through traffic.

*Exhibit 8 - Part B* summarizes the intersection capacity analysis results and calculated 95<sup>th</sup>-percentile queues. As can be seen, the introduction of Drive-Through traffic is expected to have a minimal impact on the operations along the main drive aisle fronting the store.

Capacity analysis summary printouts are provided in *Appendix C*.

### *Drive Through Operations*

As proposed, the drive through will be located near the northeast corner of the building, south of the existing entrance to the Garden Center. The drive through will consist of a new drive aisle separated from the existing main north-south drive aisle in front of the building by a barrier median and a new canopy. The drive through will be oriented north to south, with all transactions between Meijer Pharmacy staff and patrons occurring through an overhead pneumatic tube. We offer the following comments and recommendations regarding the drive through operation.

- The proposed drive through can accommodate approximately 5 queued (stacked) vehicles before impacting on site circulation. See Exhibit 9 for an excerpt from the Elevatus / Engineering Resources site plan. This is consistent with the requirement from Section 17.24.140 and table 17.24.3 of the City of St. Charles Zoning Code.
- We recommend that signage be installed at the IL Rte 38 and Randall Road access points to direct patrons to arrive from the north at the new Pharmacy drive through.
- Signage should be installed to restrict U-Turns from the main drive aisle into the Pharmacy drive through.
- Signage should be installed to restrict exiting movements from the Pharmacy drive through to right turns only.
- DO NOT ENTER signage should be installed at the exit end of the proposed drive through to help ensure no vehicles try to approach the drive through from the south. This is particularly important given the somewhat unusual orientation of the drive through and that patrons do not interact with Pharmacy staff at a traditional "window".

### *Drive Through Queuing*

As previously noted, the proposed plan provides for queuing of 5 vehicles prior to having any impacts on the vehicular operations along the drive aisles. See Exhibit 9 for an excerpt of the Engineering Resources site plan. Based on our observations at a similar store the maximum observed queue was 4 vehicles including the vehicle at the window, with average queues during the peak hours being less than 3.

The average number of queued vehicles is important for this location as the introduction of the drive through and the approach lane will cross over the front of the Garden Center. A queue of three cars or less, does not impact the new pedestrian crossing from the parking field to the Garden Center entrance and provides clear visibility for pedestrians to see the proposed guardrail /fence along the Drive-Through lane. This will help "train" customers to walk around the raised island and to the north end of the Drive-Through to minimize conflicts.

## Part IV. Conclusions

GHA prepared a traffic study for the proposed Pharmacy Drive-Through to be located on the northeast corner of the existing Meijer store in St Charles, Illinois. Overall, the introduction of the Drive-Through is anticipated to have little effect on the existing operations along the front of the store. The queueing capacity of the proposed Drive-Through is 5 vehicles, which is adequate to accommodate the anticipated vehicle queues based on our observations at a similar store. Furthermore, based on the traffic analysis, even assuming all the Drive-Through traffic is all new traffic, the Drive-Through exit intersection is expected to operate efficiently, with minimal disturbance to the flow of traffic along the front of the store.

## Part V. Technical Addendum

The following *Exhibits* and *Appendices* were previously referenced. They provide technical support for our observations, findings and recommendations discussed in the text.

### Exhibits

1. Location Map
2. Photo Inventory
3. Existing Traffic
4. Site Plan Excerpt
5. Project Traffic Characteristics
6. Drive through Traffic
7. Total Traffic
8. Intersection Capacity Analyses
9. Drive-Through Stacking Excerpt

### Appendices

- A. Traffic observations Summary
- B. Meijer Pharmacy Transaction Data
- C. Highway Capacity Software (HCS) Summary Reports.



# Technical Addendum

# Exhibits



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Drawn By: drinkman File: P:\558-5390\552-900 Meijer St Charles, IL\GIS\Exhibit\552-900\Location Map.mxd



1 inch = 200 Feet

# Exhibit 1 - Location Map

Meijer - 855 S. Randall Road  
St Charles, IL



Looking south along front of store



Looking north along front of store



Future Drive – Thru location



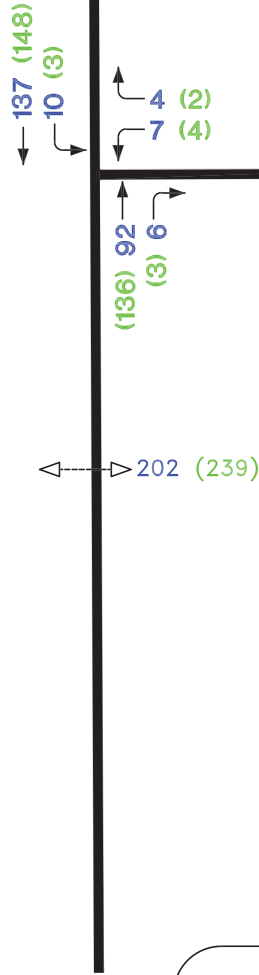
Looking across main entrance drive at Garden Center



Not to Scale

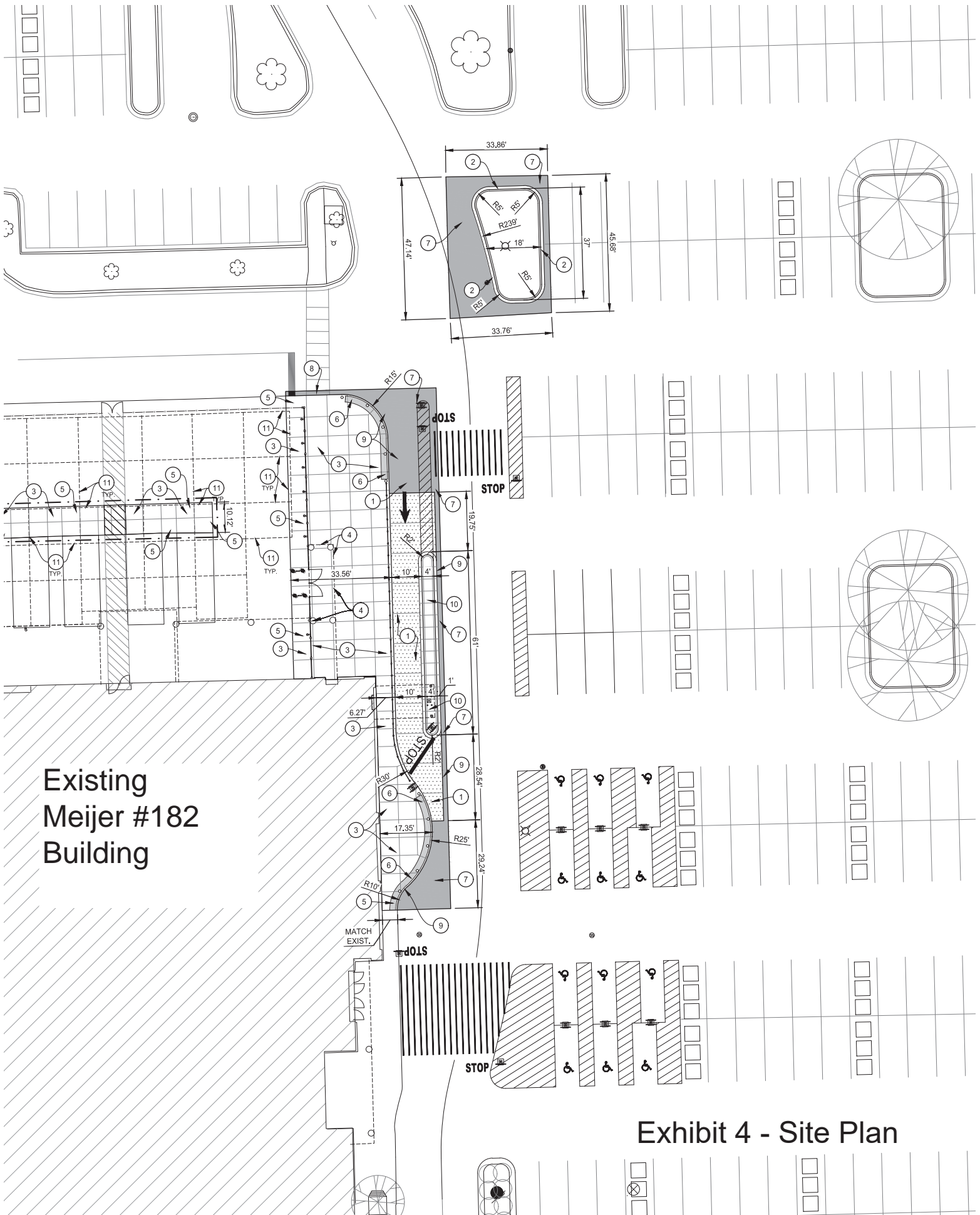


Existing  
Meijer  
Building



**Legend:**

- XX** - AM Peak Hour 9:30-10:30
- (XX)** - PM Peak Hour 3:45-4:45
- XX** - AM Peak Hour Pedestrian Volumes
- (XX)** - PM Peak Hour Pedestrian Volumes



Existing  
Meijer #182  
Building

Exhibit 4 - Site Plan

Exhibit 5

**Project Traffic Characteristics**

*Pharmacy Drive-Thru Meijer #182, 855 S Randall Rd: St Charles, Illinois*

ITE Land Use Code	Morning Peak Hour		Evening Peak Hour		Daily Total
	In	Out	In	Out	

**Observations**

Meijer Oswego #239	n/a	7	8	15	12	11	23	133
• 50 D-T Transactions								38%
• 133 Pharmacy Transactions Total								

GHA observed D-T operations at Oswego Store (#239) on March 7, 2018.

Oswego Store experienced 133 total Pharmacy Transactions

Oswego Store experienced 50 D-T Pharmacy Transactions

D-T Transactions were 38% of total Pharmacy Transactions

Observed Peak Hours represent 11% and 17% of Total Daily Pharmacy Transactions

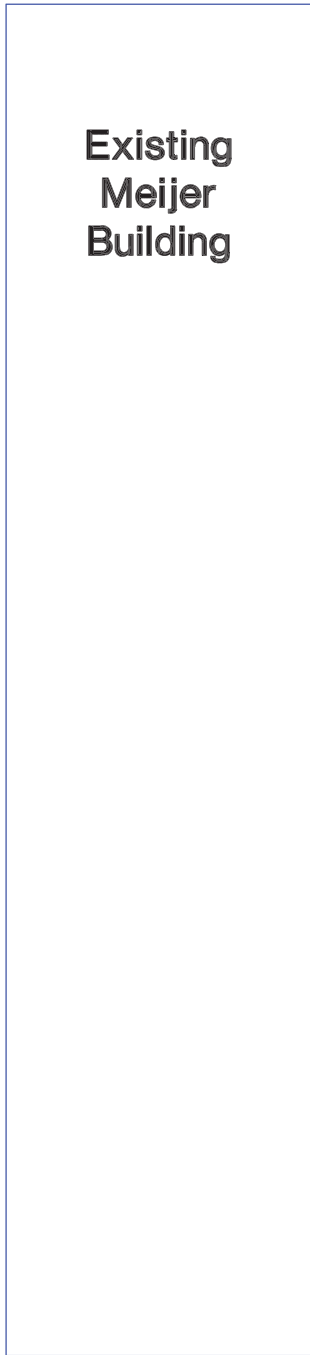
**Projections**

Using observed daily and Peak Hour Pharmacy Transaction Percentage applied to 112 Daily Pharmacy Transaction

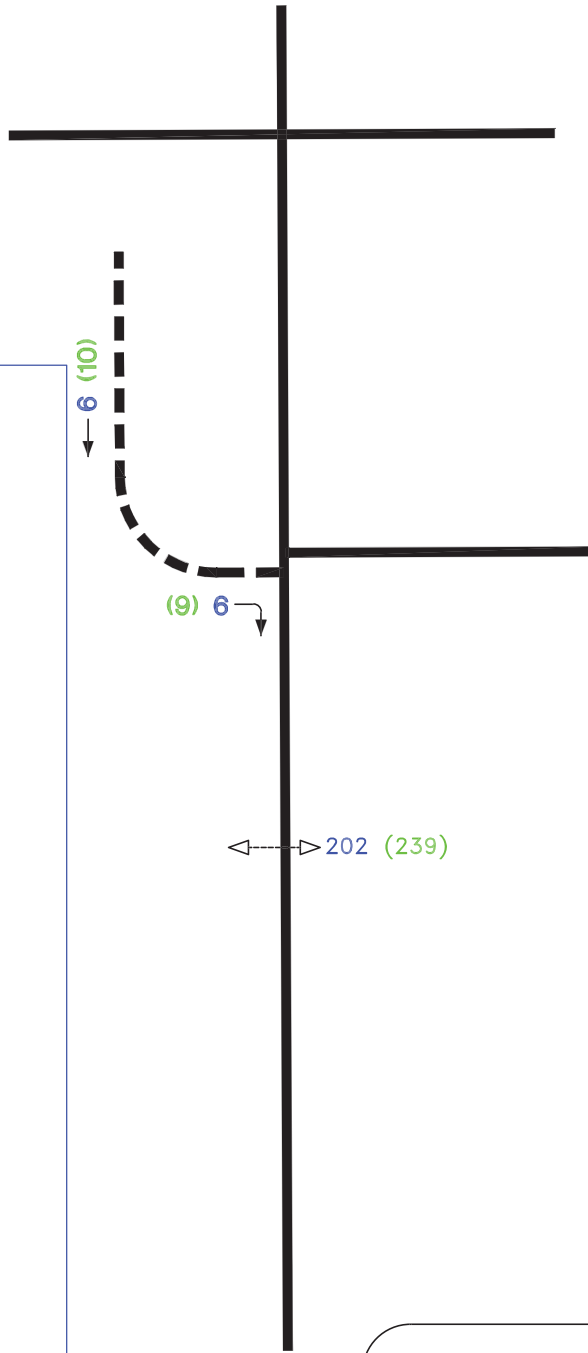
Meijer St Charles #182	n/a	6	6	12	10	9	19	112
• 112 Pharmacy Transactions Total								38%
• 43 D-T Transactions (estimated)								



Not to Scale



Existing  
Meijer  
Building



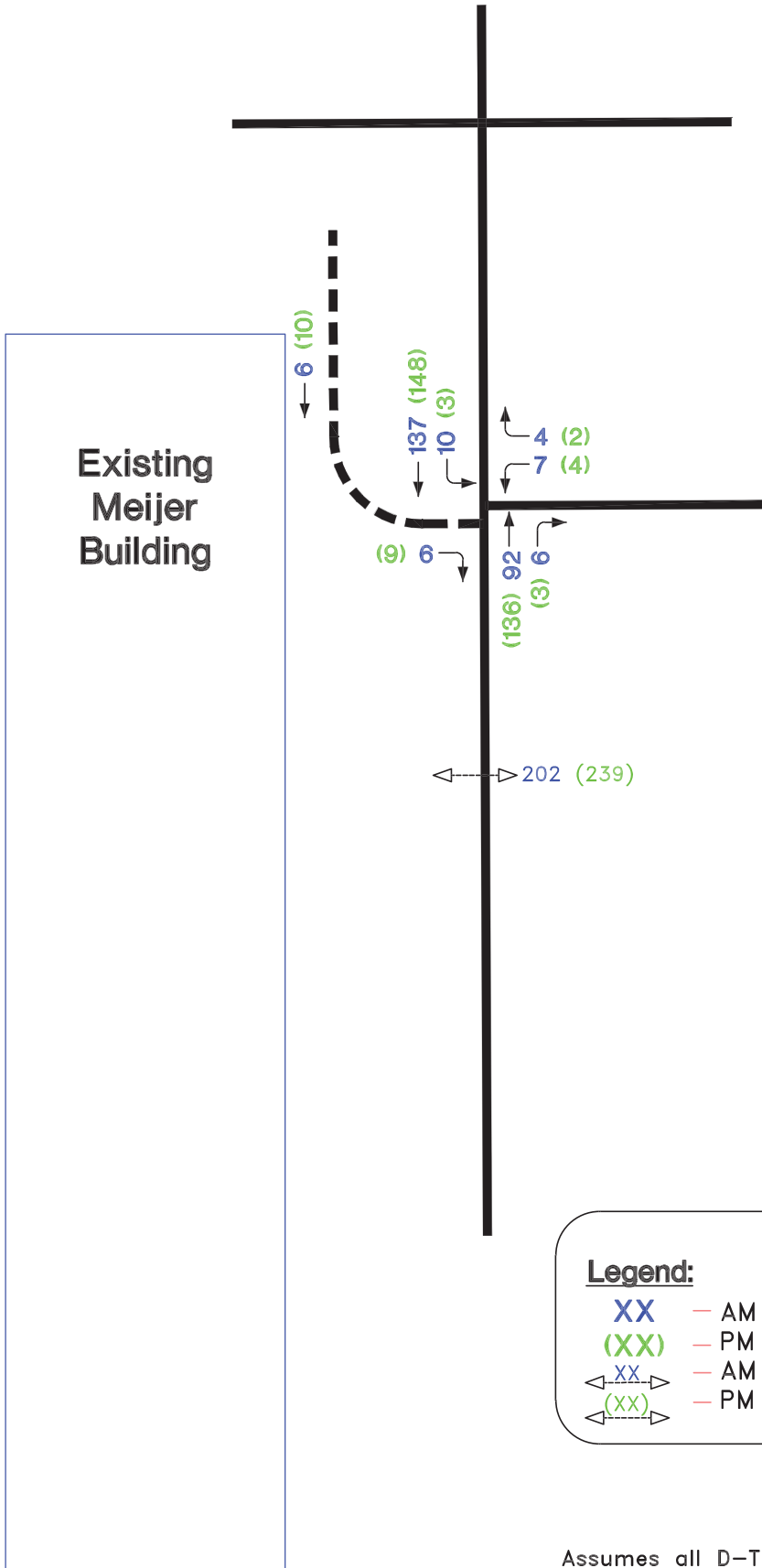
**Legend:**

- XX** — AM Peak Hour 9:30–10:30
- (XX)** — PM Peak Hour 3:45–4:45
- ↔ **XX** ↔ — AM Peak Hour Pedestrian Volumes
- ↔ **(XX)** ↔ — PM Peak Hour Pedestrian Volumes





Not to Scale



**Legend:**

- XX — AM Peak Hour 9:30–10:30
- (XX) — PM Peak Hour 3:45–4:45
- ↔ XX ↔ — AM Peak Hour Pedestrian Volumes
- ↔ (XX) ↔ — PM Peak Hour Pedestrian Volumes

Assumes all D-T Traffic is New

## Exhibit 8

# Intersection Capacity and Queue Analyses

*Pharmacy Drive-Thru Meijer #182, 855 S Randall Rd: St Charles, Illinois*

### Part A. Parameters - Type of Traffic Control (Source: Highway Capacity Manual 6th Edition)

#### I. Traffic Signals

<u>LOS</u>	<u>Delay (sec / veh)</u>	<u>Description</u>	<u>Delay (sec / veh)</u>
A	<10	All signal phases clear waiting vehicles without delay	< 10
B	>10 and < 20	Minimal delay experienced on select signal phases	>10 and < 15
C	>20 and < 35	Some delay experienced on several phases; often used as design criteria	>15 and < 25
D	>35 and < 55	Usually considered as the acceptable delay standard	>25 and < 35
E	>55 and < 80	Very long delays experienced during the peak hours	>35 and < 50
F	>80	Unacceptable delays experienced throughout the peak hours	>50

#### Part B. Results

Roadway Conditions	LOS Per Movement By Approach						Intersection / Approach										
	> = Shared Lane - = Non Critical or not Allowed Movement						Delay (sec / veh)	LOS									
	Eastbound		Westbound		Northbound				Southbound								
LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT						
1. Drive-Thru Exit Lane at Drive Aisle	TWSC - EB/ WB Stops												DT Exit Approach Delay				
A. Weekday Morning Peak Hour Total Traffic (See Exhibit 7)	-	-	A	>	A	<	<1	<	A	<	<1	<	A	<	<1	9.0	A
B. Weekday Evening Peak Hour Total Traffic (See Exhibit 7)	-	-	A	>	A	<	<1	<	A	<	<1	<	A	<	<1	9.1	A

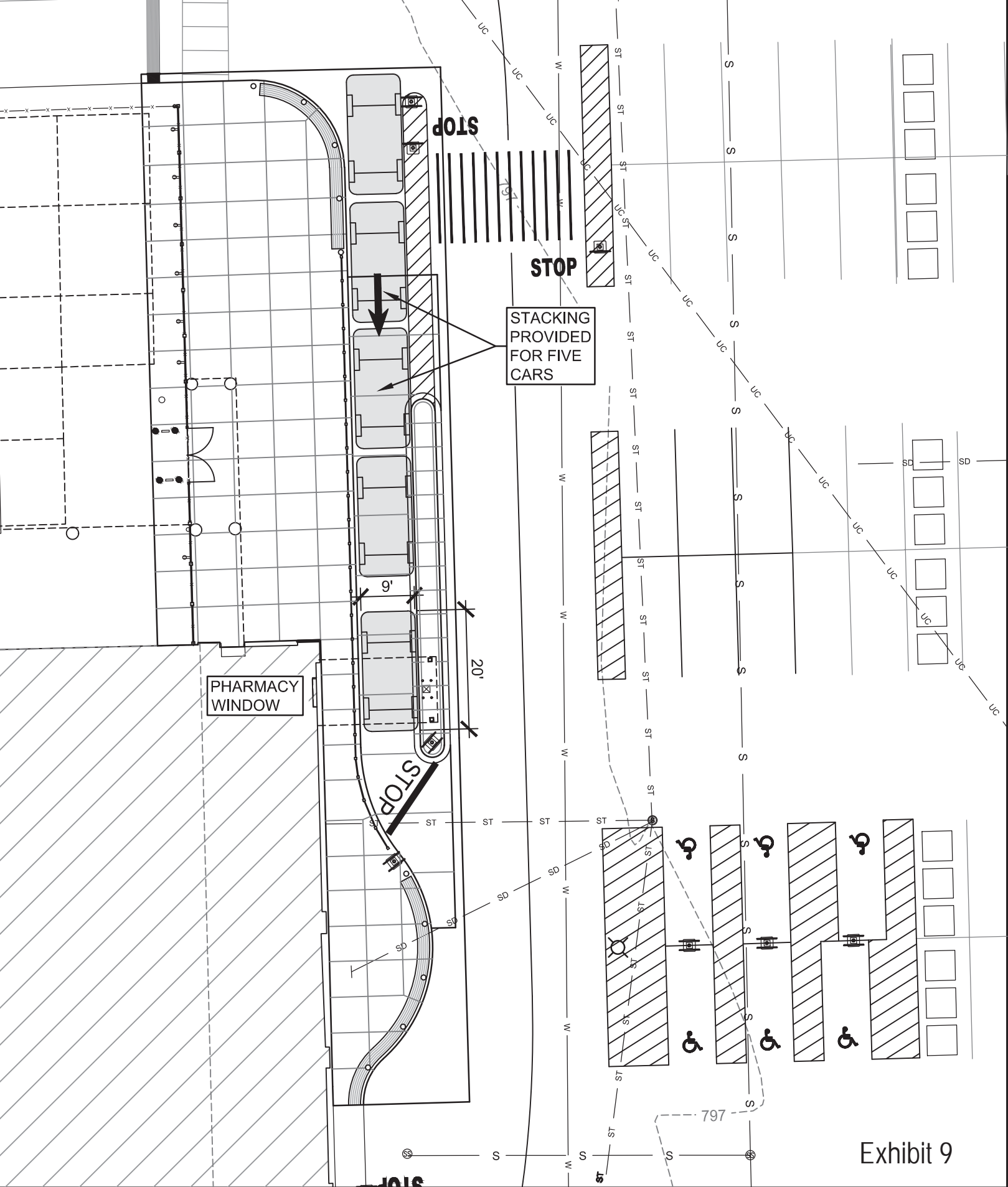


Exhibit 9



# CAR STACKING ENLARGEMENT

SCALE: 1" = 20'

# Appendices

Appendix A  
March 2018 Traffic Observations

Appendix A												
Manual Counts for St. Charles & Oswego												
3/7/2018	Oswego	Peds	Cars on Main Drive	TMC into Aisle (from)			Parking Aisle TMC		Pharmacy Drive up			
				Oswego North	Oswego South	Oswego Left Turn	Oswego Right Turn	Queue	Exit			
8:30 AM	25	N-5; S-20	0	0	0	0	0	1	1			
8:45 AM	39	N-1; S-10	2	0	0	0	0	1	1			
9:00 AM	19	N-9; S-6	0	1	0	0	0	1	1			
9:15 AM	38	N-13; S-15	1	2	0	1	3	3	3			
9:30 AM	26	N-20; S-18	1	0	0	0	2	2	1			
9:45 AM	37	N-13; S-22	0	1	0	1	1	1	2			
10:00 AM	17	N-23; S-16	1	0	0	0	1	1	2			
10:15 AM	23	N-26; S-11	0	0	1	3	0	0	1			
10:30 AM	Finish					AVG=	1.3					
3:00 PM	38	N-7; S-22	0	0	0	0	3	3	3			
3:15 PM	41	N-25; S-33	0	2	0	0	4	4	3			
3:30 PM	39	N-12; S-31	0	0	1	0	0	0	1			
3:45 PM	53	N-24; S-27	0	0	2	1	1	1	1			
4:00 PM	40	N-7; S-41	1	3	0	0	2	2	1			
4:15 PM	66	N-45; S-18	2	0	1	4	1	1	2			
4:30 PM	59	N-34; S-41	0	0	0	0	4	4	2			
4:45 PM	53	N-18; S-34	2	1	0	0	4	4	3			
5:00 PM	68	N-34; S-27	0	1	0	0	4	4	3			
5:15 PM	71	N-15; S-31	1	1	0	2	3	3	3			
5:30 PM	69	N-23; S-47	0	0	0	1	4	4	3			
5:45 PM	46	N-19; S-33	0	0	0	0	2	2	3			
6:00 PM	Finish					AVG=	2.7		3			

Appendix A											
Manual Counts for St. Charles & Oswego											
3/8/2018	St. Charles	Peds	TMC into Aisle (from)				Parking Aisle TMC		Pharmacy Drive up		
			St. Charles North	St. Charles South	St. Charles Left Turn	St. Charles N. Right Turn					
8:30		34	3	2	0	0					
8:45		40	1	0	2	1					
9:00		50	1	4	0	2					
9:15		42	2	6	1	1					
9:30		56	0	3	2	0					
9:45		69	1	0	2	1					
10:00		62	5	2	3	2					
10:15		50	4	1	0	0					
10:30											
3:00		60	2	4	2	3					
3:15		56	0	3	4	5					
3:30		60	2	0	2	3					
3:45		61	0	0	1	0					
4:00		74	0	0	0	0					
4:15		79	1	0	1	0					
4:30		70	2	3	0	0					
4:45		48	0	1	2	4					
5:00		66	2	0	0	0					
5:15		60	2	3	0	0					
5:30		56	0	3	1	1					
5:45		56	0	4	3	0					
6:00		Finish									

Appendix B  
Meijer Pharmacy Transaction Data



Appendix B – Meijer Store Pharmacy Transaction Data

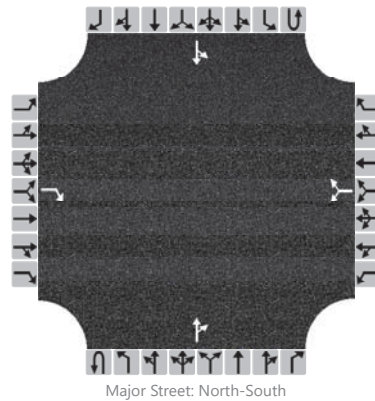
<b>Store Number</b>	<b>Drive Thru Count</b>	<b>Pharm Terminal Count</b>	<b>Total</b>
<u>Store 239</u>			
7-Mar – Wed	50	83	133
<u>Store 182</u>			
7-Mar – Wed	N/A	112	112
8-Mar – Thur	N/A	110	110
9-Mar – Fri	N/A	112	112
10-Mar – Sat	N/A	102	102
11-Mar – Sun	N/A	68	68

Appendix C  
Highway Capacity Software (HCS) Summary Reports

# HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	DPB	Intersection	DT EXIT				
Agency/Co.	GHA	Jurisdiction	LOCAL				
Date Performed	4/2/2018	East/West Street	DT - PARKING				
Analysis Year	2018	North/South Street	MAIN AISLE				
Time Analyzed	AM	Peak Hour Factor	0.92				
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25				
Project Description	MEIJER 182 DT						

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	1	0	0	0	1	0	0	0	1	0
Configuration				R			LR					TR		LT		
Volume, V (veh/h)				6		7		4			92	6		10	137	
Percent Heavy Vehicles (%)				2		2		2						2		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

## Critical and Follow-up Headways

Base Critical Headway (sec)				6.2				7.1				6.2				4.1
Critical Headway (sec)				6.22				7.12				6.22				4.12
Base Follow-Up Headway (sec)				3.3				3.5				3.3				2.2
Follow-Up Headway (sec)				3.32				3.52				3.32				2.22

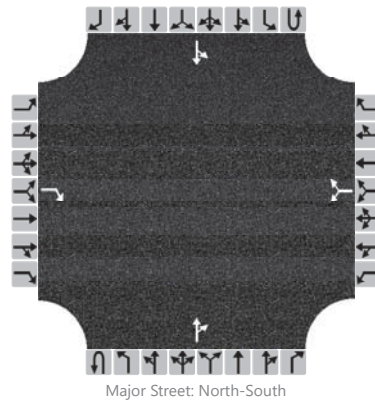
## Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				7				12								11
Capacity, c (veh/h)				897				739								1483
v/c Ratio				0.01				0.02								0.01
95% Queue Length, Q <sub>95</sub> (veh)				0.0				0.0								0.0
Control Delay (s/veh)				9.0				10.0								7.4
Level of Service, LOS				A				A								A
Approach Delay (s/veh)	9.0				10.0								0.6			
Approach LOS	A				A											

# HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	DPB			Intersection	DT EXIT		
Agency/Co.	GHA			Jurisdiction	LOCAL		
Date Performed	4/2/2018			East/West Street	DT - PARKING		
Analysis Year	2018			North/South Street	MAIN AISLE		
Time Analyzed	PM			Peak Hour Factor	0.92		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	MEIJER 182 DT						

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	1		0	1	0	0	0	1	0	0	0	1	0
Configuration				R			LR					TR		LT		
Volume, V (veh/h)				9		4		2			136	3		3	148	
Percent Heavy Vehicles (%)				2		2		2						2		
Proportion Time Blocked																
Percent Grade (%)	0				0											
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

## Critical and Follow-up Headways

Base Critical Headway (sec)				6.2				7.1				6.2				4.1
Critical Headway (sec)				6.22				7.12				6.22				4.12
Base Follow-Up Headway (sec)				3.3				3.5				3.3				2.2
Follow-Up Headway (sec)				3.32				3.52				3.32				2.22

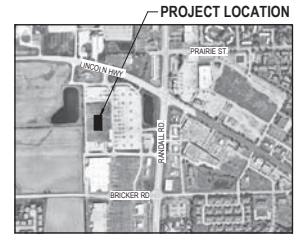
## Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)				10				6								3
Capacity, c (veh/h)				884				693								1429
v/c Ratio				0.01				0.01								0.00
95% Queue Length, Q <sub>95</sub> (veh)				0.0				0.0								0.0
Control Delay (s/veh)				9.1				10.2								7.5
Level of Service, LOS				A				B								A
Approach Delay (s/veh)	9.1				10.2								0.2			
Approach LOS	A				B											

# STORE 182 MINOR RESET

## CP-18-00182

855 South Randall Rd.  
St Charles, IL 60174



PLAN NORTH  
Location Map  
Not To Scale



111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802  
260 424-9080  
ElevatusArchitecture.com

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SEAL  
NOT RELEASED FOR CONSTRUCTION

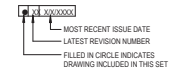
### Design Team

**ELEVATUS Architecture**  
111 E. Wayne Street, Suite 555  
Fort Wayne, IN 46802  
260 424-9080

**Engineering Resources, Inc.**  
11020 Diebold Rd.  
Fort Wayne, IN 46845  
260 490-1025

GENERAL			
■	T	1/26/2018	G-001 Cover Sheet
CIVIL			
■		C-100	Overall Site Plan
■		C-100E	Site Survey
■		C-101	Site Demolition Plan
■		C-200	Site Layout and Pavement Plan
■		C-301	Site Storage, Storage, and Amenity Plan
■		C-300	Site Grading and Utility Plan
■		C-400	Site Details
ELECTRICAL			
■		ES101	Electrical Site Plan
■		ES102	Electrical Site Plan - Photometrics

#### SHEET INDEX LEGEND



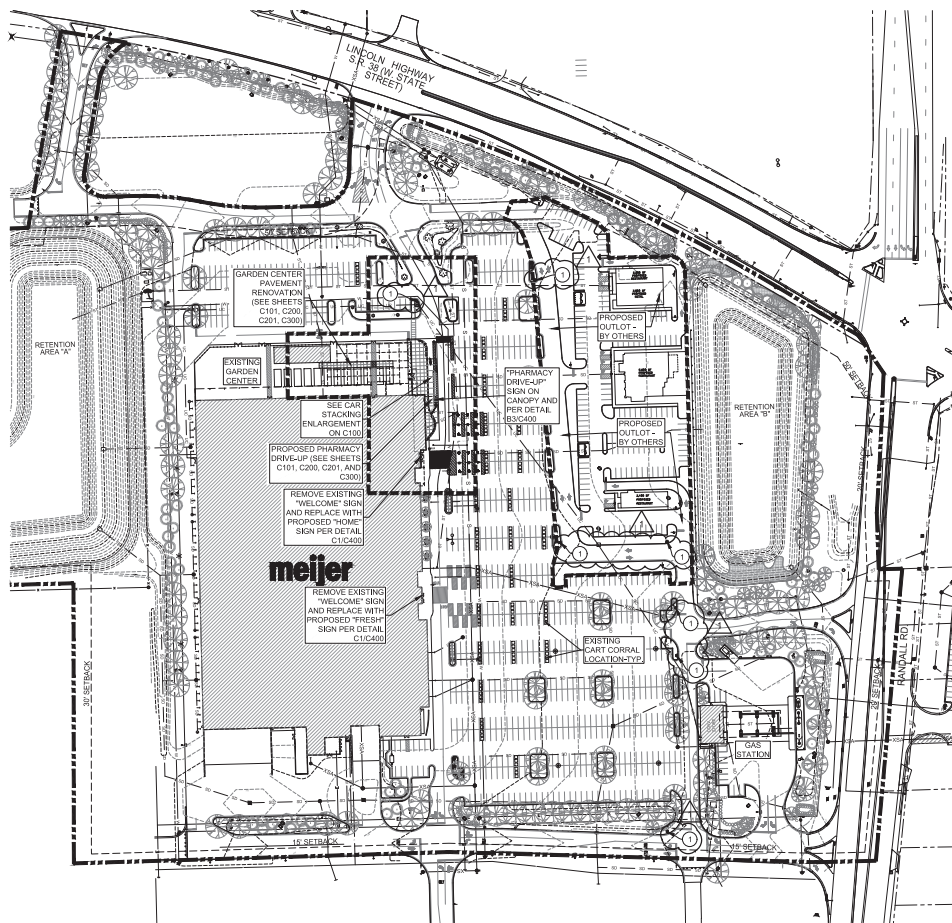
STORE 182 MINOR RESET  
CP-18-00182  
855 South Randall Rd.  
St Charles, IL 60174

REVISIONS		
NO.	DESCRIPTION	DATE
1	Addendum #1	1/26/2018

PROJECT NO. 1701812  
ISSUE DATE 3/12/2018  
SUBMITTAL  
Bids, Permits, & Construction

Cover Sheet

G-001



**LANDSCAPE LEGEND:**

- ORIGINAL LANDSCAPE TREES AND SHRUBS FROM DESIGN PLANS
- EXISTING TREES AS SURVEYED

**SURVEY NOTE:**  
 EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY DALE FLOYD SURVEYING, L.L.C. PROJECT #117451 DATED DECEMBER 15, 2017. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.  
 CONTROL POINTS PROVIDED FROM TOPOGRAPHIC SURVEY BY EXCEL ENGINEERING, INC.

**LOT INFORMATION:**  
 MAIN STORE AND GAS STATION PARCEL #: 409-32-476-008  
 PROPERTY ZONING: BR REGIONAL BUSINESS  
 COUNTY: KANE COUNTY  
 ACRES: 39.3± ACRES  
 DISTURBED AREA: 9,500± SQUARE FEET  
 NEW IMPERVIOUS AREA: 290± SQUARE FEET

**SURROUNDING LAND USE:** RETAIL, RESTAURANTS, BANKS AND BUSINESSES BORDER MEIJER ON THE NORTH, EAST AND SOUTH. OPEN FARM LAND BORDERS MEIJER ON THE WEST.

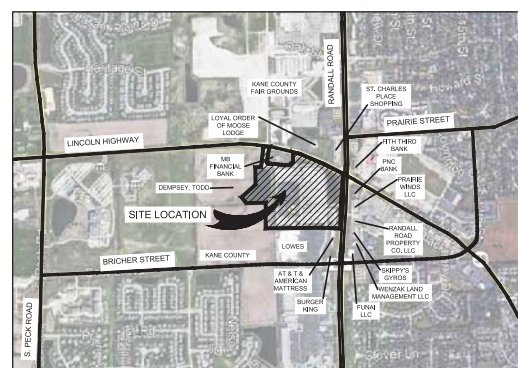
**EXISTING PARKING (MAIN STORE AND GAS STATION):**  
**STORE PARKING LOT:**  
 1,140 STANDARD SPACES  
 24 HANDICAP ACCESSIBLE SPACES  
 116 TOTAL SPACES  
**GAS STATION PARKING LOT:**  
 11 STANDARD SPACES  
 1 HANDICAP SPACE  
 12 TOTAL SPACES  
 EXISTING CART CORRALS: 25 CORRALS

**PROPOSED PARKING (MAIN STORE AND GAS STATION):**  
**STORE PARKING LOT:**  
 768 STANDARD SPACES  
 24 HANDICAP ACCESSIBLE SPACES  
 792 TOTAL SPACES PROVIDED (89 UNDER REQUIRED)  
 831 PARKING SPACES REQUIRED (8 SPACES PER 1,000 SF OF GFA (166,180 SF) X 5.100 = 831)  
**GAS STATION PARKING LOT:**  
 11 STANDARD SPACES  
 1 HANDICAP SPACE  
 12 TOTAL SPACES  
 EXISTING CART CORRALS: 25 CORRALS

**MEIJER PARKING STANDARDS:**  
 1.5 PARKING SPACES PER 1,000 SF OF BUILDING AREA. (220,791 / 1,000 x 3.5 = 773 SPACES MINIMUM)  
 MEIJER STANDARD PARKING SPACE SIZES ARE 9.5' X 19'

- SITE PLAN NOTES:**
- OWNER INFORMATION: MEIJER, INC. (GOOD WILL INC.) 2300 THREE MILE ROAD GRAND RAPIDS, MI 49544
  - STORM DRAINAGE PATTERNS AND STORM WATER MANAGEMENT SHALL REMAIN AS EXISTING. NO INCREASE IN STORMWATER QUANTITY OR IMPERVIOUS AREA.
  - PROPOSED CONSTRUCTION IS NOT LOCATED IN A DESIGNATED FLOODPLAIN OR WETLAND AREA.
  - EXISTING UTILITIES SHALL REMAIN EXCEPT AS INDICATED ON THE DRAWINGS.
  - EXISTING BUILDING AND POLE-MOUNTED SITE LIGHTING FIXTURES SHALL REMAIN. TWO LIGHTS WILL BE RELOCATED SEE MS-2 FOR NEW LOCATIONS. ALL PROPOSED LIGHT FIXTURES IN PROPOSED CANOPIES (E.G. PHARMACY DRIVE-UP) SHALL BE SHIELDED AS REQUIRED BY ZONING ORDINANCE LIGHTING REQUIREMENTS.
  - EXISTING LANDSCAPING SHALL REMAIN. LANDSCAPING IN RELOCATED CURB ISLAND TO BE REPLANTED TO MATCH THE RELOCATION THAT WAS REMOVED.
  - CONSTRUCTION DRAWINGS WILL INCLUDE REQUIRED SOIL EROSION CONTROL MEASURES INCLUDING INLET PROTECTION AT ALL AFFECTED STORMWATER INLETS.
  - SEE ARCHITECTURAL DRAWINGS FOR CHANGES TO EXTERIOR SIGNAGE.

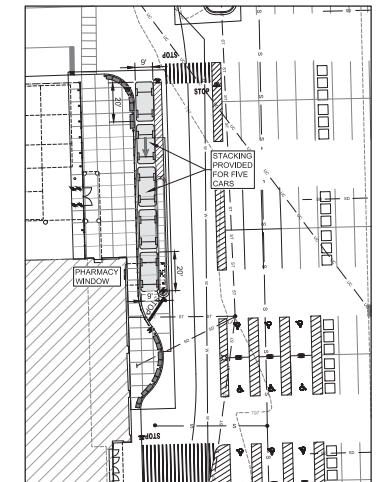
- FIRE DEPARTMENT NOTES:**
- THE EXISTING BUILDING ADDRESS(S) SHALL REMAIN UNCHANGED.
  - THE PROPOSED BUILDING ADDITION SHALL BE FULLY SPRINKLED AS REQUIRED BY BUILDING AND FIRE CODES.
  - EXISTING FIRE LINES AND FIRE DEPARTMENT ACCESS ROAD WIDTHS SHALL REMAIN.
  - ALL FIRE HYDRANTS SHALL REMAIN.



**SITE LOCATION MAP**  
 SCALE: 1" = 1,000±

**BUILDING SQUARE FOOTAGE:**  
 BUILDING EXISTING: 220,791 SF  
 BUILDING PROPOSED: 220,791 SF  
 BUILDING NET FLOOR AREA: 166,180 SF  
 CANOPY: 3,435 SF

**LEGAL DESCRIPTION:**  
 MEIJER STORE #182 - ST. CHARLES, KANE COUNTY, ILLINOIS  
 CORPORATE OWNER: MEIJER STORES LIMITED PARTNERSHIP  
 SITUATE IN SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN CITY OF ST. CHARLES, COUNTY OF KANE, STATE OF ILLINOIS, AND BEING LOT 1 OF THE RESUBDIVISION #2 OF THE RESUBDIVISION OF THE MEIJER #182 SUBDIVISION AS RECORDED IN DOCUMENT NO. 2002K140590 OF THE KANE COUNTY, ILLINOIS RECORDERS' OFFICE.



**CAR STACKING ENLARGEMENT**  
 SCALE: 1" = 30'

**SITE SIGNAGE NOTES:**  
 ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS/HER EXPENSE PER THE CONTRACT DOCUMENTS.  
 1. PHARMACY DRIVE-UP WAYFINDING SIGN "E" PER DETAIL C4040.

**PROPOSED SITE LAYOUT**  
 SCALE: 1" = 100'

**MEIJER MAIN STORE BUILDING SIGNAGE SUMMARY**

TYPE	LOGO	NUMBER	2017 FILED APPROVED SQ.FT. OF EACH	STARTING TOTAL SQ.FT.	NO CHANGE	REMOVE	NEW SIGN	UPDATE SIGN	2018 SIGN SQ.FT. OF EACH	2018 SIGN TOTAL SQ. FT.
WALL SIGN	MEIJER	1	495.00	395.07			X	395.07	395.07	395.07
WALL SIGN	WELCOME	1	12.00	12.00	X				0	0
WALL SIGN	WELCOME	1	12.00	12.00		X			0	0
WALL SIGN	PHARMACY	1	16.11	16.11	X				0	0
WALL SIGN	GARDEN CENTER	1	16.28	16.28		X			0	0
WALL SIGN	PHARMACY DRIVE-UP	1	43.88	0			X		43.88	43.88
WALL SIGN	STARBURKS	1	16.00	16.00	X				16.00	16.00
WALL SIGN	US BANK	1	37.00	37.00	X				37.00	37.00
			TOTAL AREA OF EXISTING MAIN STORE SIGNS = 439.27							

**MEIJER SITE SIGNAGE SUMMARY**

TYPE	LOGO	NUMBER	2017 FILED APPROVED SQ.FT. OF EACH	EXISTING TOTAL SQ.FT.	NO CHANGE	REMOVE	NEW SIGN	UPDATE SIGN	2018 SIGN SQ.FT. OF EACH	2018 SIGN TOTAL SQ. FT.
MONUMENT SIGN	MEIJER	2	58.00	115.42			X		57.26	115.10
GAS STATION	WALL SIGN	1	69.00	70.53			X		70.63	70.63
			2018 TOTAL SQ. FT. OF SITE SIGNAGE REQUESTED = 185.75 S.F.							

**PROPOSED MAIN STORE BUILDING SIGNAGE SUMMARY**

TYPE	LOGO	NUMBER	2017 FILED APPROVED SQ.FT. OF EACH	STARTING TOTAL SQ.FT.	NO CHANGE	REMOVE	NEW SIGN	UPDATE SIGN	2018 SIGN SQ.FT. OF EACH	2018 SIGN TOTAL SQ. FT.
WALL SIGN	HOME	1	0.00	0		X			25.20	25.20
WALL SIGN	FRESH	1	0.00	0		X			25.20	25.20
WALL SIGN	PHARMACY DRIVE-UP	1	0.00	0			X		32.30	32.30
			TOTAL AREA OF NEW MAIN STORE SIGNS = 112.70							
			2018 TOTAL SQ. FT. OF MAIN STORE SIGNAGE REQUESTED = 570.81 S.F.							

**MEIJER GAS STATION BUILDING SIGNAGE SUMMARY**

TYPE	LOGO	NUMBER	2017 FILED APPROVED SQ.FT. OF EACH	EXISTING TOTAL SQ.FT.	NO CHANGE	REMOVE	NEW SIGN	UPDATE SIGN	2018 SIGN SQ.FT. OF EACH	2018 SIGN TOTAL SQ. FT.
GAS STATION	MEIJER	3	20.00	43.80			X		14.4	43.80
WALL SIGN	WELCOME	1	0.00	12.0	X				12.0	12.00
			2018 TOTAL SQ. FT. OF GAS STATION BUILDING SIGNAGE REQUESTED = 65.80 S.F.							

2018 TOTAL SQ. FT. OF ALL SIGNAGE (EXISTING & PROPOSED) REQUESTED FOR THE MEIJER PROPERTY = 812.16 S.F.



**ELEVATUS ARCHITECTURE**  
 111 E. River Street, Suite 201, Peoria, IL 61602  
 301.424.9000  
 ELEVATUS@ELEVATUS.COM



**Siwek CONSTRUCTION MANAGEMENT**  
 11000 Orchard Road, Peoria, Illinois, 61604  
 301.686.0521, Fax: 301.686.0522  
 www.siwekconstruction.com



**meijer**  
 STORE #182 MNOR RESET  
 MEIJER PROJECT #: CP-18-00-182  
 855 S. Randall road  
 St. Charles, IL 60174  
 2018 MNOR RESET

**REVISIONS**

NO.	DESCRIPTION	DATE
1	City Review Comments	5/13/2018

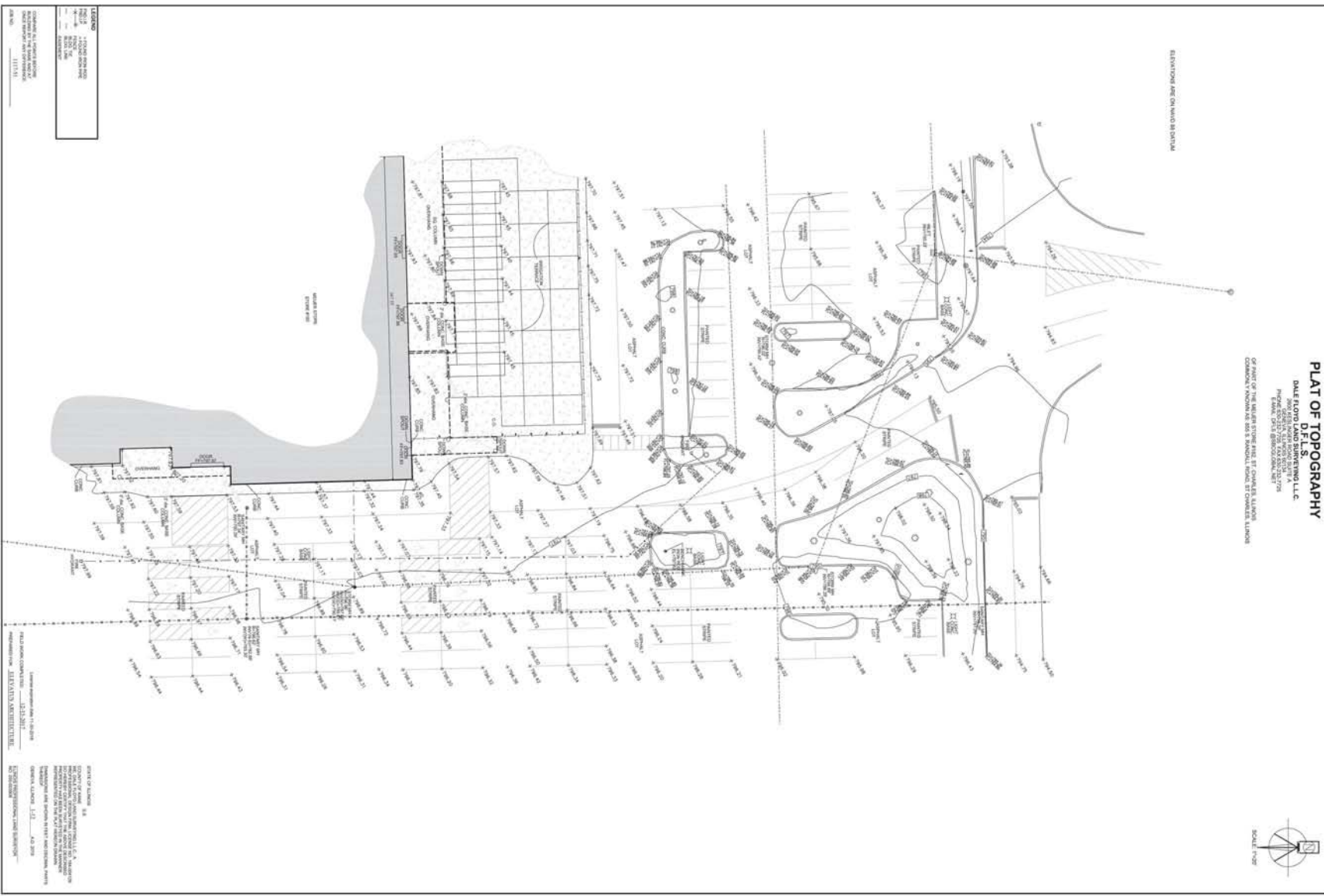
PROJECT NO: 1701912  
 ISSUE DATE: 09/12/2018  
 SUBMITTAL: Blg. Permits and Construction Set

Overall Site Plan

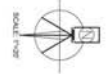
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 User: jay



**PLAT OF TOPOGRAPHY**  
**D.E.I.S.**  
 DALE FLOYD LAND SURVEYING LLC  
 1100 N. RANDALL ROAD, SUITE 200, ST. CHARLES, ILLINOIS 60174  
 PHONE: 618.338.7343 FAX: 618.338.7347  
 EMAIL: DFL@DFSLANDSURV.COM



**LEGEND**

—	PROPERTY BOUNDARIES
- - -	ADJACENT PROPERTY BOUNDARIES
—	EXISTING ELEVATION
- - -	PROPOSED ELEVATION
—	EXISTING CONTOUR
- - -	PROPOSED CONTOUR
—	EXISTING BUILDING FOOTPRINT
- - -	PROPOSED BUILDING FOOTPRINT
—	EXISTING DRIVE
- - -	PROPOSED DRIVE
—	EXISTING UTILITY
- - -	PROPOSED UTILITY

ON DAY  
 11/11/18  
 THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT OF 1895 AND THE SURVEYING BOARD OF ILLINOIS.



**ELEVATUS ARCHITECTURE**  
 111 E. WYOMING STREET, SUITE 200, ST. CHARLES, IL 60174  
 618.338.8660  
 elevatusarchitecture.com

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**FOR PERMITTING ONLY**  
 OWNER'S CONSTRUCTION MEMORANDUM

**Siwerk Engineering & Construction**  
 3000 Higgins Road • P.O. Box 48557  
 Chicago, IL 60648-0557  
 Phone: 773.271.7343 Fax: 773.271.7347  
 www.siwerkengineering.com

**meijer**  
 STORE #182 MINOR  
 RESET

MEIJER PROJECT #:  
 CP-18-00-182  
 855 S. RANDALL ROAD  
 ST. CHARLES, IL 60174

2018 MINOR RESET

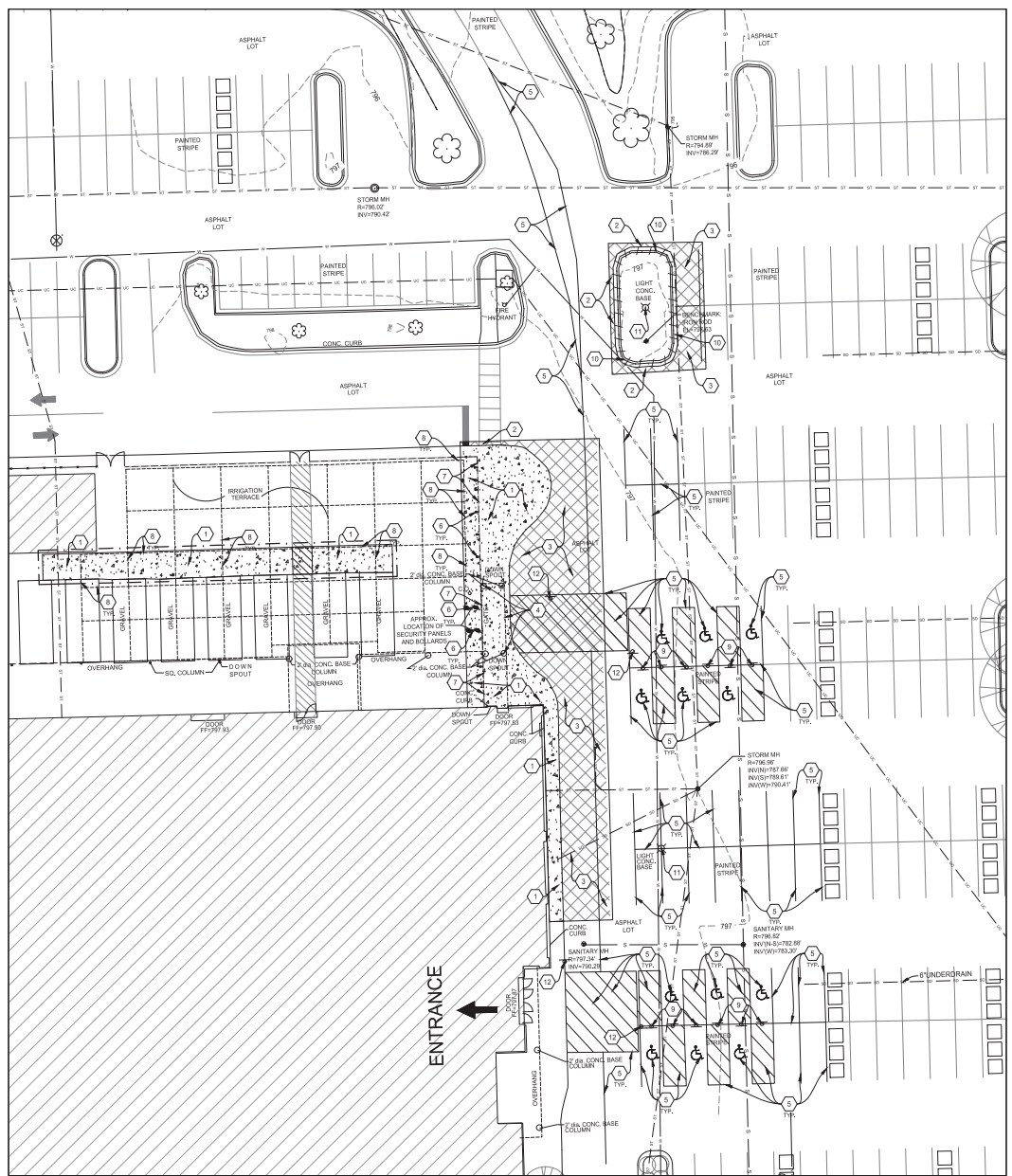
REVISIONS	
NO.	DESCRIPTION

PROJECT NO. 1701812	ISSUE DATE 03/12/2018
SUBMITTAL Set, Permits and Construction Set	

Site Survey

**C100E**

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**SITE DEMOLITION PLAN**  
 SCALE: 1" = 20'

**DEMOLITION NOTES:**

- 1 SAWCUT AND REMOVE CONCRETE SIDEWALK/PAVEMENT TO NEAREST JOINT.
- 2 SAWCUT AND REMOVE 18" MINIMUM OF ASPHALT PAVEMENT TO PROVIDE CLEAN EDGE.
- 3 SAWCUT AND REMOVE ASPHALT PAVEMENT.
- 4 GARDEN CENTER ENTRY FEATURE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 5 REMOVE PAVEMENT MARKINGS AS NECESSARY BY GRINDING.
- 6 ELECTRICAL OUTLETS, ELECTRIC PANEL SENSOR AND SOLAROS TO REMAIN. PROTECT DURING CONSTRUCTION.
- 7 REMOVE ALUMINUM FENCE AND GATE INCLUDING FOUNDATIONS. SEE ARCHITECTURAL DRAWINGS FOR LIMITS OF FENCE REMOVAL.
- 8 STEEL SHADECLOTH STRUCTURE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 9 REMOVE HANDICAP SIGNS AND RESET AFTER CONSTRUCTION IS COMPLETE.
- 10 REMOVE CONCRETE CURB.
- 11 REMOVE AND RELOCATE LIGHT. SEE ELECTRICAL SHEETS FOR INFORMATION.
- 12 REMOVE STOP SIGNS AND RESET AFTER CONSTRUCTION IS COMPLETE.

**DEMOLITION LEGEND:**

- SAWCUT AND REMOVE ASPHALT PAVEMENT.
- SAWCUT AND REMOVE CONCRETE SIDEWALK OR SLAB.
- REMOVE CURB
- ALTERNATE BOUNDARY. SEE ALTERNATE SPECIFICATION SECTION 9012300 FOR ADDITIONAL INFORMATION.

**LOCAL UTILITY LOCATING AGENCY:**

1. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CONTACT "JULIE" LOCAL UTILITY LOCATING AGENCY AT [illinoiscall.com](http://illinoiscall.com).
2. EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

**SURVEY:**

EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY DALE FLOYD AND SURVEYING PROJECT #11134 DATED DECEMBER 15, 2017. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.  
 CONTROL POINTS PROVIDED FROM TOPOGRAPHIC SURVEY BY EXCEL ENGINEERING, INC.

**DEMOLITION GENERAL NOTES:**

1. OBTAIN ALL REQUIRED PERMITS AND COORDINATE INSPECTIONS FROM AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL NOT INTERRUPT ANY SERVICE TO ADJACENT PROPERTIES WITHOUT WRITTEN AUTHORIZATION FROM PROPERTY OWNER. AN EMERGENCY PLAN SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION TO OUTLINE CORRECTIVE MEASURES IN THE EVENT OF ANY UNAUTHORIZED UTILITY SHUTDOWN.
3. CONTRACTOR SHALL STUDY ALL DRAWINGS PRIOR TO CONSTRUCTION. RESEARCH PUBLIC UTILITY RECORDS, CONTACT THE LOCAL UTILITY LOCATOR SERVICE, AND FIELD VERIFY ALL EXISTING STRUCTURES PRIOR TO CONSTRUCTION. CONTACT ENGINEER FOR DIRECTION IF EXISTING UTILITY CONDITIONS CONFLICT WITH PROPOSED WORK. OR ANY ALTERATIONS SHALL BE THE CONTRACTORS RESPONSIBILITY.
4. EXISTING UTILITIES ARE APPROXIMATIONS BASED ON BEST AVAILABLE DATA. CAUTION SHALL BE EXPRESSED TO NOT INTERRUPT SERVICE TO ANY BUILDING. EXPLORATORY TRENCH TO VERIFY DEPTH AND LOCATION OF SERVICES PRIOR TO CONSTRUCTION OF NEW SEWER UTILITIES. ASSURE ALL SANITARY FLOW IS DIRECTED INTO THE SANITARY SEWER ON-SITE AND ALL STORM WATER IS DIRECTED INTO THE STORM SEWER SYSTEM.
5. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION REQUIRED BY UTILITY OWNERS TO CONSTRUCT PROJECT.
6. CONTRACTOR SHALL LOCATE ALL PRIVATE UTILITIES NOT COVERED BY THE PUBLIC UTILITY SERVICES.
7. ADJUST ALL EXISTING MANHOLES, VALVES, HYDRANTS, HANDHOLES THAT ARE WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
8. CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES DURING CONSTRUCTION OF ADJACENT WORK.
9. SEE SITE SURVEY FOR EXISTING CONDITIONS.
10. COORDINATE ALL DEMOLITION WORK WITH OWNER.
11. CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES, TAPPING FEES, INSPECTION FEES, ETC.
12. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.



**CONSULTANT**  

 11000 National Road, Oak Brook, IL 60452  
 Tel: 630.480.1200, Fax: 630.480.1201  
[www.excelengineering.com](http://www.excelengineering.com)



**meijer**  
 STORE #182 MNOR  
 RESET

MEIJER PROJECT #:  
 CP-18-00-182  
 855 S. Randall road  
 St. Charles, IL 60174  
 2018 MNOR RESET

REVISIONS		
NO.	DESCRIPTION	DATE

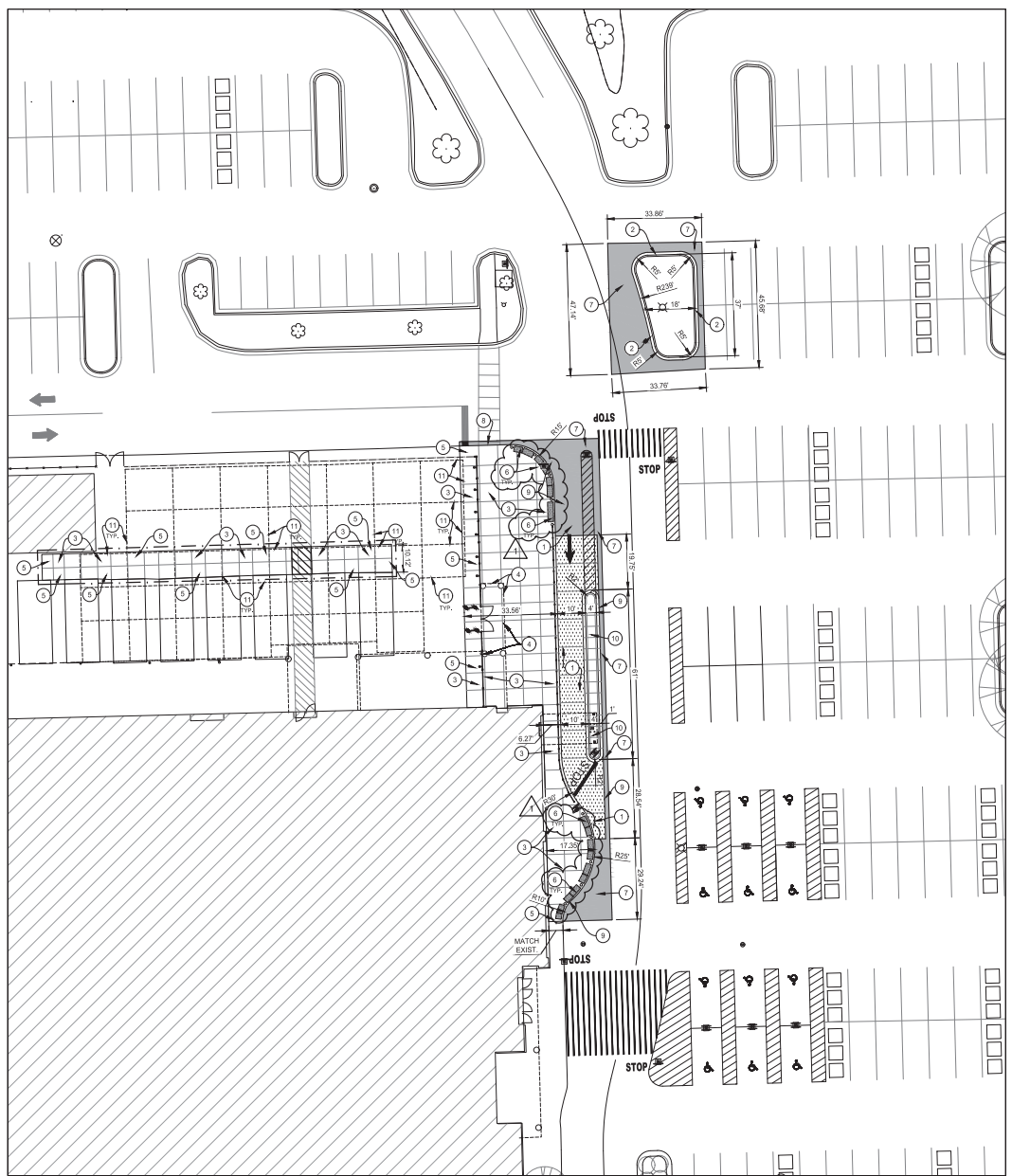
PROJECT NO.	ISSUE DATE
1701812	03/20/18
SUBMITTAL	
Bld. Permits and Construction Set	

Site Demolition Plan

C101



May 6, 2018 3:07 PM  
 C:\Users\jstern\OneDrive\Documents\Projects\4150-1182\4150-1182.dwg - 182 - SITE LAYOUT AND PAVEMENT PLAN



**SITE LAYOUT AND PAVEMENT PLAN**  
SCALE: 1" = 20'

- ### LAYOUT AND PAVEMENT NOTES:
- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS HER EXPENSE PER THE CONTRACT DOCUMENTS.
- 6" CONCRETE SLAB W/ 6"x6" W2.9W2.9 WWF AND HEAVY BROOM FINISH OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. (TYP.) SEE A1/C400 FOR CONCRETE JOINT DETAILS AND A2/C400 FOR PAVEMENT EDGE DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING OR CONCRETE.
  - STRAIGHT CURB AND GUTTER PER DETAIL D3/C400.
  - 5" CONCRETE SLAB W/ 6"x6" W2.9W2.9 WWF OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. SEE A1/C400 FOR CONCRETE JOINT DETAILS AND A2/C400 FOR PAVEMENT EDGE DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING OR CONCRETE.
  - EXISTING BUILDING CANOPY AND COLUMNS TO REMAIN. PROTECT DURING CONSTRUCTION.
  - DOWELED BUTT JOINT PER DETAIL A3/C400.
  - DETECTABLE WARNING AREA PER DETAIL A4/C400.
  - HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL B1/C400.
  - THICKENED PAVEMENT EDGE PER DETAIL A2/C400.
  - BITUMINOUS PAVEMENT EDGE WITH UNDERDRAIN PER DETAIL C3/C400.
  - CONCRETE MEDIAN WITH CURB AND GUTTER PER DETAIL D3/C400.
  - PROTECT EXISTING SHADE CLOTH STRUCTURE COLUMNS. ANY DAMAGED COLUMNS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
  - 3" OF HARDWOOD SHREDDED MULCH.
  - PLANT SHRUBS PER PLANTING DETAIL D4/C400.

### LAYOUT LEGEND:

- HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL B1/C400.
- 6" CONCRETE SLAB W/ 6"x6" W2.9W2.9 WWF AND HEAVY BROOM FINISH OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. (TYP.) SEE A1/C400 FOR CONCRETE JOINT DETAILS.

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

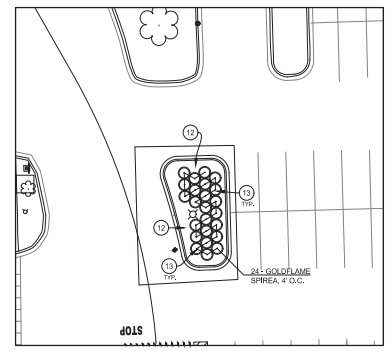
### PROPOSED LEGEND:

- SIGN
- ORNAMENTAL FENCE
- BOLLARDS WITH DETECTABLE WARNING AREA
- SHRUBS
- CONCRETE SCORE JOINTS
- LIGHT - SEE ELECTRICAL PLANS
- ALTERNATE BOUNDARY - SEE ALTERNATE SPECIFICATION SECTION 012300 FOR ADDITIONAL INFORMATION.

- ### LAYOUT GENERAL NOTES:
- NO DIMENSION MAY BE SCALED. REFER UNCLER ITEMS TO THE CONSTRUCTION MANAGER FOR INTERPRETATION.
  - REFER TO SHEET C100 FOR PARKING COUNT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTOR OPERATIONS.
  - PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
  - NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
  - WORK SHALL CONFORM TO THE REQUIREMENTS OF MEMBER STANDARD SPECIFICATIONS & GOVERNING AGENCIES HAVING JURISDICTION. ORDERS, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
  - EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON A NEW COMPACTED AGGREGATE BASE COURSE. UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - AGGREGATE BASE FOR CONCRETE ADJACENT TO BUILDING SHALL BE AS SPEC'ED IN DETAIL S12306.
  - AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE DETAIL A2/C400.
  - SEE ARCHITECTURAL PLANS FOR TREATMENT OF CONCRETE CURB AGAINST BUILDING.
  - PROVIDE SHOP DRAWING SUBMITTAL FOR SCORING JOINT & EXPANSION JOINT LAYOUT FOR ALL CONCRETE WALKS, DRIVES & SLABS. INCLUDE LOCATIONS OF EXISTING SCORE JOINTS FOR REFERENCE.
  - SEE ARCHITECTURAL PLANS AND/OR OTHER DOCUMENTS FOR BUILDING ELEVATIONS FOR NEW SIGN LOCATIONS, ELEVATIONS AND MOUNTING SYSTEMS.

### PLANTING SCHEDULE

QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SPACING
23	Goldflame Spirea	Spiraea x bumalda 'Goldflame'	15"-18"	3 Gallon	4' O.C.



**LANDSCAPE ENLARGEMENT**  
SCALE: 1" = 20'

1111 W. Lake Street, Suite 910, Oak Brook, IL 60110  
312.434.9000  
ElevatusArchitecture.com

**CONTRACTOR COMPASS 2017**  
 15 ARCHITECTS, LLC AN ELEVATUS ARCHITECTURE  
 MEMBER FIRM OF THE CONSTRUCTION CONTRACTORS ASSOCIATION OF ILLINOIS  
 1111 W. Lake Street, Suite 910, Oak Brook, IL 60110  
 312.434.9000  
 ELEVATUSARCHITECTURE.COM

**CONSULTANT**

**KURT HEIDENREICH**  
 062.064919  
 STATE OF ILLINOIS  
 FOR PERMITTING ONLY  
 SIGNED CONSTRUCTION MANAGER

11800 Midland Road, Deer Park, IL 60015  
 815.386.6825 Fax: 815.386.3222  
 www.enr.com

**meijer**

STORE #182 MINOR RESET

MEIJER PROJECT #:  
CP-18-00-182

855 S. Randall road  
St. Charles, IL 60174

2018 MINOR RESET

NO.	DESCRIPTION	DATE
1	City Review Comments	5/11/2018

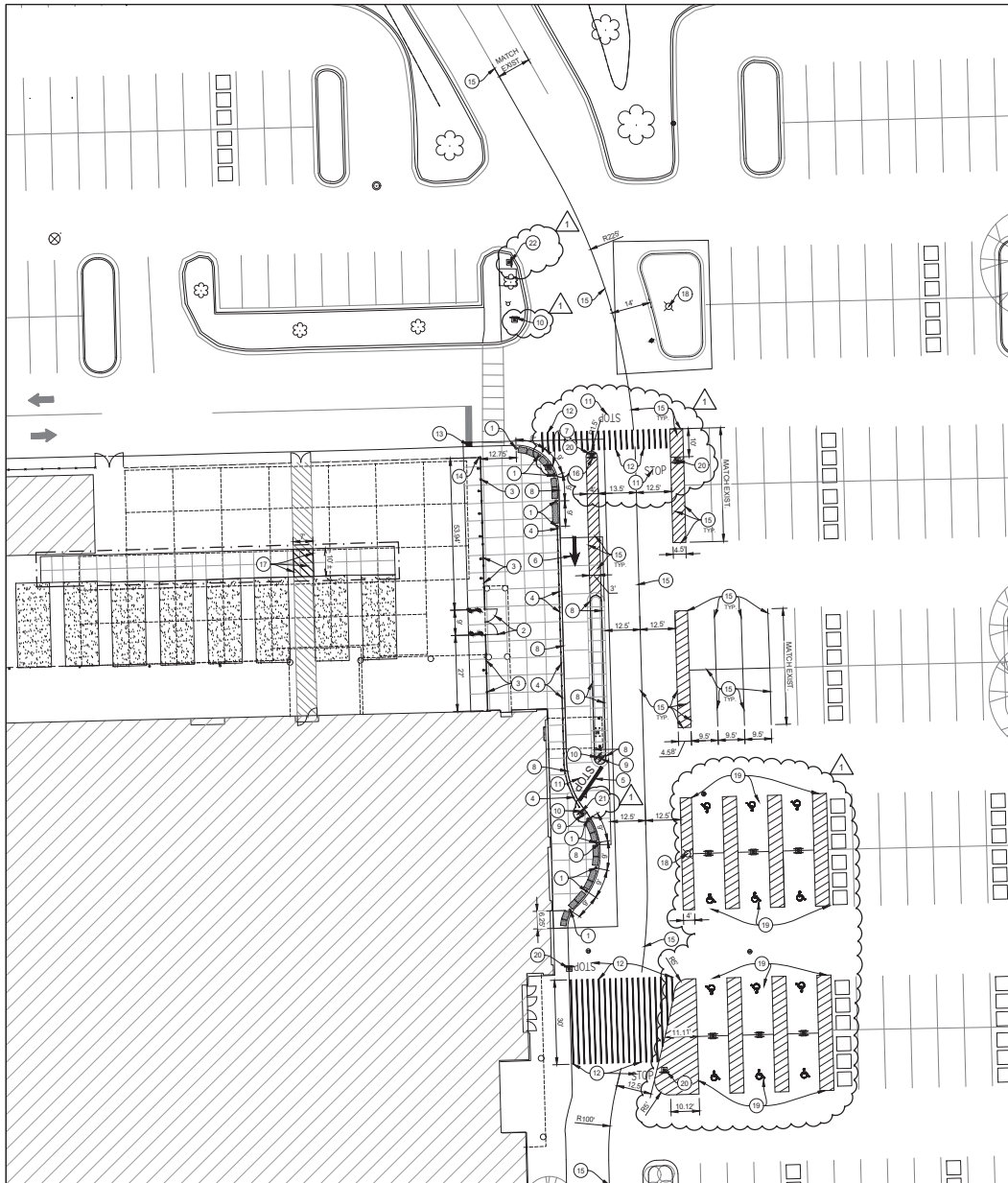
PROJECT NO. 1701812  
 ISSUE DATE 09/13/2018

SUBMITTAL  
 (S) Permits and Construction Set

Site Layout and Pavement Plan

**C200**

May 10, 2018 10:07 PM  
 C:\Users\jwheeler\OneDrive\Documents\Projects\4100-1182\4100-1182-CP21 Site Striping, Signage, and Site Amenity Plans.dwg



**SITE SIGNAGE, STRIPING AND SITE AMENITY PLAN**  
 SCALE: 1" = 20'

**SITE STRIPING, SIGNAGE & SITE AMENITY NOTES:**

- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS HER EXPENSE PER THE CONTRACT DOCUMENTS.
- 1 DECORATIVE BOLLARD. SEE GUARD POST DETAIL A5/C400.
  - 2 GARDEN CENTER GATE (SEE ARCH. PLANS).
  - 3 6'-0" HIGH GARDEN CENTER ORNAMENTAL FENCE (SEE ARCH. PLANS).
  - 4 3'-0" HIGH ORNAMENTAL FENCE (SEE ARCH. PLANS).
  - 5 12" STOP LINE, WHITE.
  - 6 LANE ARROW, SEE DETAIL A6/C400.
  - 7 "PHARMACY DRIVE-UP" SIGN WITH ARROW TO LANE, SIGN "A", SEE DETAIL B2/C400. (ONE SIDE)
  - 8 4" SINGLE SOLID, YELLOW, LINE ALONG EDGE OF DRIVEWAY AND TOP OF CURB.
  - 9 "WRONG WAY" SIGN "C" PER DETAIL B2/C400. (ONE SIDE)
  - 10 "STOP" SIGN "D" PER DETAIL B2/C400. (ONE SIDE)
  - 11 3'-0" TALL X 6'-0" SOLID PAINTED LETTERS, WHITE, SEE PLAN FOR WORKINGS.
  - 12 CROSSWALK PER DETAIL D1/C400.
  - 13 STOP LINE, WHITE, MATCH EXISTING WIDTH.
  - 14 PROVIDE NEW END POST FOR EXISTING CHAIN LINK FENCE AS REQUIRED. SEE ARCHITECTURAL PLANS.
  - 15 4" SINGLE SOLID, YELLOW, LINE.
  - 16 "NO LEFT TURN" SIGN "F" PER DETAIL B2/C400. (ONE SIDE)
  - 17 EMERGENCY EGRESS STRIPING, 4" SINGLE SOLID YELLOW LINES.
  - 18 LIGHT POLE, SEE SITE ELECTRICAL PLAN.
  - 19 HANDICAP PARKING PER DETAIL C2/C400.
  - 20 RELOCATED STOP SIGNS REMOVED DURING DEMOLITION.
  - 21 "NO LEFT TURN" SIGN "F" PER DETAIL B2/C400. (ONE SIDE) - ATTACH SIGN TO STOP SIGN POST.
  - 22 PHARMACY DRIVE-UP WAYFINDING SIGN "E" PER DETAIL C4/C400.

**PROPOSED LEGEND:**

- SIGN
- ORNAMENTAL FENCE
- BOLLARDS WITH DETECTABLE WARNING AREA
- CONCRETE SCORE JOINTS
- LIGHT - SEE ELECTRICAL PLANS
- ALTERNATE BOUNDARY: SEE ALTERNATE SPECIFICATION SECTION #012300 FOR ADDITIONAL INFORMATION.

- PAVEMENT STRIPING NOTES:**
1. REFER TO SHEET C400 FOR SIGNAGE/STRIPING DETAILS
  2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.

- BUILDING AND SITE SIGNAGE NOTES:**
1. STOP SIGNS AND FIRE LANE SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES



111 E. Wacker Drive, Suite 900, Fort Wayne, IN 46802  
 260.424.4500  
 Elevation@elevatus.com

CONTRACTOR: 12 ARCHITECTS, LLC  
 12 ARCHITECTS, LLC ARCHITECTS ARCHITECTURE  
 1111 W. Wacker Drive, Suite 900, Fort Wayne, IN 46802  
 260.424.4500  
 12architects.com



3-12-2018



**meijer**

STORE #182 MINOR RESET

MEJER PROJECT #:  
 CP-18-00-182

855 S. Randall road  
 St. Charles, IL 60174

2018 MINOR RESET

REVISIONS		
NO.	DESCRIPTION	DATE
1	City Review Comments	5/11/2018

PROJECT NO.  
 1701812

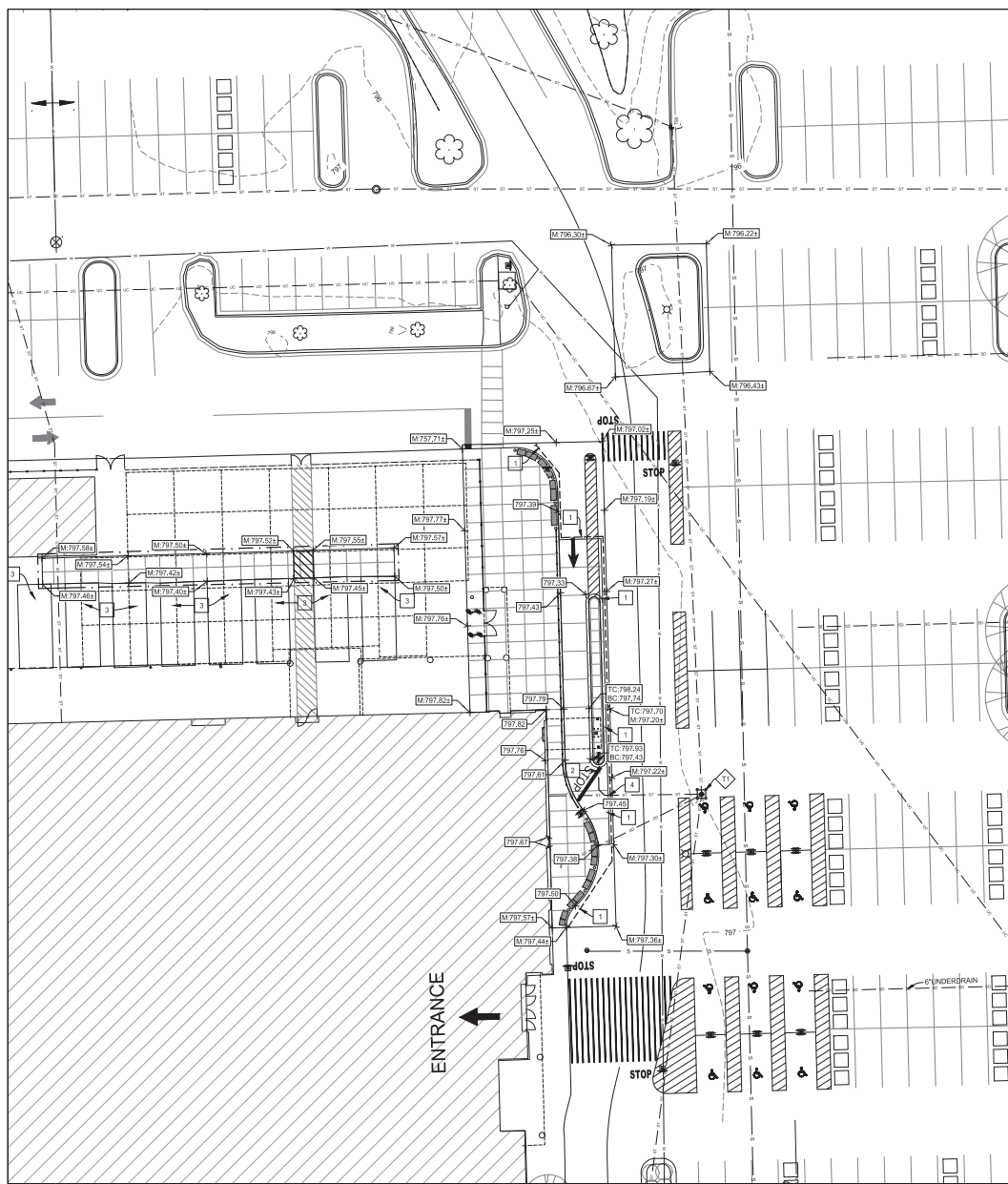
ISSUE DATE  
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SUBMITTAL  
 Bld. Permits and Construction Set

Site Signage, Striping and Site Amenity Plan

C201

May 16, 2018 4:07 PM  
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**SITE GRADING AND UTILITY PLAN**  
 SCALE: 1" = 20'

**GRADING LEGEND:**

- 801 --- EXISTING CONTOUR
- PROPOSED CONTOUR
- MATCH EXISTING ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB
- PROPOSED BOTTOM OF CURB

NOTE: ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.

**GRADING NOTES:**

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.

- GENERAL NOTE (NOT LABELED ON PLAN): MAINTAIN A MINIMUM SLOPE OF 0.5% AND NO GREATER SLOPE THAN 2% ON PROPOSED CONCRETE SIDEWALK. CONTRACTOR TO ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING STRUCTURE WHILE MAINTAINING MIN. MAX. SLOPES. CONTACT ENGINEER IF CONFLICT EXISTS FOR FURTHER INSTRUCTION.
- GENERAL NOTE (NOT LABELED ON PLAN): SURVEY PROVIDED DURING THE DESIGN PHASE DID NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO FIELD VERIFY AND ADJUST ANY UTILITY CASTINGS WITHIN PROJECT LIMITS TO PROPOSED GRADE.

**EROSION CONTROL SEQUENCING**

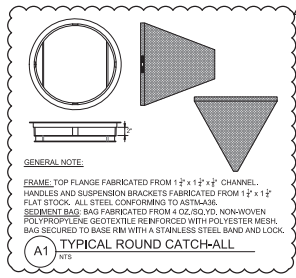
NOTE: CONTRACTOR SHALL DETERMINE INSTALLATION SCHEDULE TO MINIMIZE EROSION.

**PRE-CONSTRUCTION ACTIVITY**

- CONTACT THE ILLINOIS ONE-CALL SYSTEM "JULIE" TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT SITE.
- PRESERVE AND PROTECT TREES, SHRUBS, EXISTING VEGETATION, AND EXISTING ITEMS TO REMAIN ON THE SITE.
- ESTABLISH EQUIPMENT AND EMPLOYEE PARKING AND STAGING AREAS.
- PROTECT EXISTING STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES.

**CONSTRUCTION ACTIVITY**

- DE-WATER THE CONSTRUCTION SITE WHEN NEEDED.
- BEGIN DEMOLITION OF ITEMS TO BE REMOVED FOR THE PROPOSED CONSTRUCTION.
- INSTALL CONCRETE WASHOUT AREAS TO BE USED DURING CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED PORTABLE CONCRETE WASHOUT SYSTEMS / CONTAINERS WITH A MINIMUM SUMP CAPACITY OF 2 CU YDS.
- PLACE INLET PROTECTION DEVICES AT ALL INLETS SPECIFIED ON THE SITE GRADING PLAN.
- CONSTRUCT SIDEWALKS AND DRIVEWAY.
- REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.



**UTILITY NOTES:**

ALL UTILITIES AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.

- PERFORATED UNDERDRAIN PER DETAIL C3/C400. TIE INTO STORM SEWER NETWORK.
- ROOF DRAIN COLLECTION SYSTEM - 6" STORM SEWER @ 1.0% MINIMUM SLOPE AND 30" MINIMUM COVER.
- PROTECT EXISTING SUBDRAIN BELOW GRAVEL BEDS DURING ALL PHASES OF CONSTRUCTION.
- APPROXIMATE LOCATION OF EXISTING STORM COLLECTOR PIPE. FIELD VERIFY EXACT LOCATION AND DEPTH AND MAKE CONNECTION WITH PROPOSED SUBDRAIN AND ROOF DRAIN.

**UTILITY LEGEND:**

--- SUBDRAIN

**NOTE:**

ALL UTILITIES SHOWN ARE APPROXIMATE LOCATION FROM FIELD DATA, DESIGN DRAWINGS, AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.

**EROSION CONTROL LEGEND:**

--- INLET PROTECTION

**EROSION CONTROL KEY:**

INSTALL INLET PROTECTION IN CATCH BASIN PER DETAIL A1/C300.

**Call Before You Dig**  
**JULIE**  
 ILLINOIS ONE-CALL SYSTEM  
 illinois1call.com

**ELEVATUS**  
 ARCHITECTURE  
 1111 N. State Street, Suite 900, Fort Worth, TX 76102  
 202.424.9000

**CONTRACTOR CONTACT:**  
 1812 ARCHITECT, L.L.C. AN ELEVATUS ARCHITECTURE  
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 202.424.9000  
 1812 ARCHITECT, L.L.C. AN ELEVATUS ARCHITECTURE  
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**CONSULTANT**  
**Engineering**  
**PROFESSIONAL ENGINEER**  
 11800 Rockwood Road, Fort Worth, TX 76185  
 817.336.6622, Fax: 817.336.6623  
 www.engineeringprofs.com

**3-12-2018**  
**KURT HEIDENREICH**  
 062.064919  
 STATE OF ILLINOIS  
 FOR PERMITTING ONLY

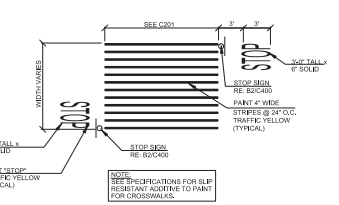
**SINCE'S CONSTRUCTION MANAGER**  
**Siwek**  
 5500 Higgins Road • Hunt, MO 65057  
 636.728.7943 • 636.728.7927

**meijer**  
 STORE #182 MNOR RESET  
 MEIJER PROJECT #:  
 CP-18-00-182  
 855 S. Randall Road  
 St. Charles, IL 60174  
 2018 MNOR RESET

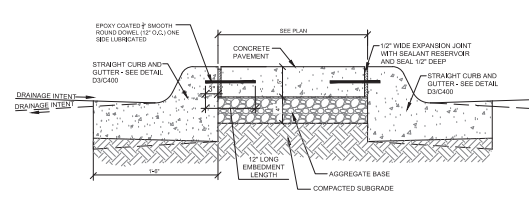
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NO.	DESCRIPTION	DATE
1	City Review Comments	5/13/18

**PROJECT NO.** 170912  
**ISSUE DATE** 03/10/2018  
**SUBMITTAL**  
 Blk. Permits and Construction Set

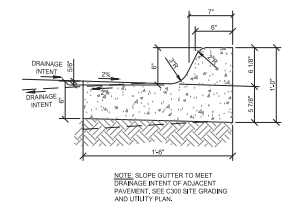
**Site Grading and Utility Plan**  
**C300**



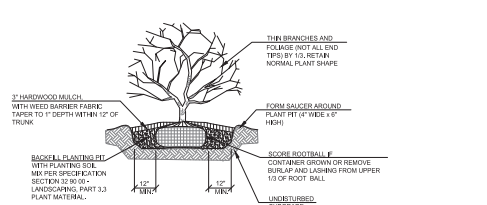
D1 CROSSWALK STRIPING PLAN  
NTS



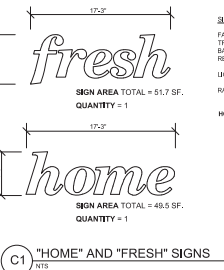
D2 CONCRETE MEDIAN WITH CURB AND GUTTER  
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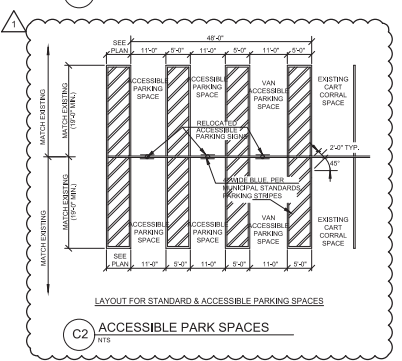
D3 STRAIGHT CURB AND GUTTER  
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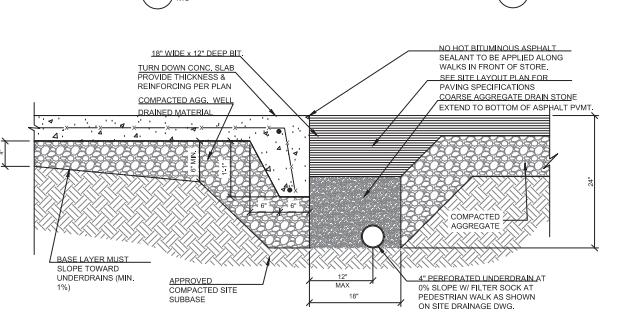
D4 SHRUB PLANTING  
NTS



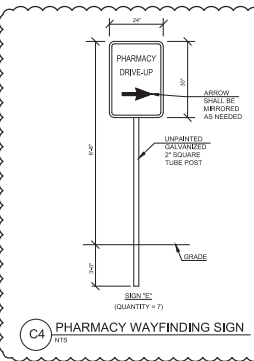
C1 "HOME" AND "FRESH" SIGNS  
NTS



C2 ACCESSIBLE PARK SPACES  
NTS

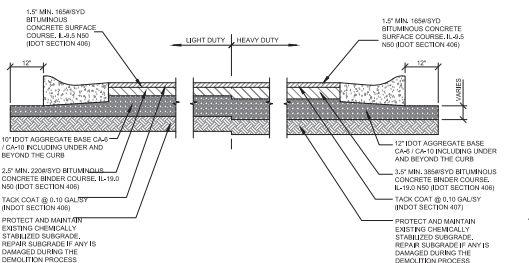


C3 BITUMINOUS PAVEMENT EDGE WITH UNDERDRAIN  
NTS

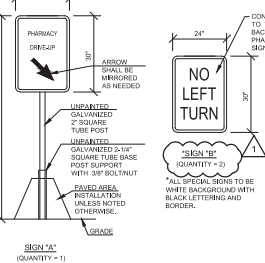


C4 PHARMACY WAYFINDING SIGN  
NTS

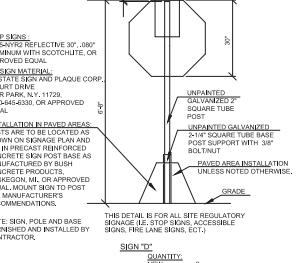
- NOTE:
1. ALL ITEM NUMBERS REFER TO STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  2. THE SURFACE FOR BOTH TYPES CAN BE COMPLETED AT THE SAME TIME. ALL PAVEMENT JOINTS SHOULD BE SQUARE WITHOUT FEATHERING.
  3. SEE SPECIFICATIONS FOR MODIFICATIONS TO STANDARD BITUMINOUS DOT, 1 WIVES.
  4. ANY EXISTING PAVEMENT REMOVED SHALL BE SAWCUT FULL DEPTH AND RESTORED TO MATCH THE EXISTING PAVEMENT CROSS SECTION WITH THE CROSS SECTION SHOWN IN THE DETAIL, AS A MINIMUM.
  5. AFTER BITUMINOUS PAVEMENT HAS BEEN REPLACED, SAWCUT OR ROUTE JOINT BETWEEN EXISTING AND NEW PAVEMENT AND FILL HOT FOAMED RUBBER JOINT SEALER PRODUCT, OR FOAMED RUBBER JOINT SEALER SHALL BE ONE OF THE FOLLOWING OR APPROVED EQUAL:
    - 5.1. ROADMAKER 921 CRAFTCO INC. PRODUCT #068 F #003; KOCH MATERIAL COMPANY
    - 5.2. BEALIGHT H-ASPEC; WJL WEADOWS, INC.
    - 5.3. ELASTOR EX 63 BY MAXWELL PRODUCTS.



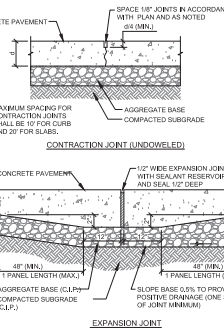
B1 LIGHT DUTY/HEAVY DUTY PAVEMENT SECTION  
NTS



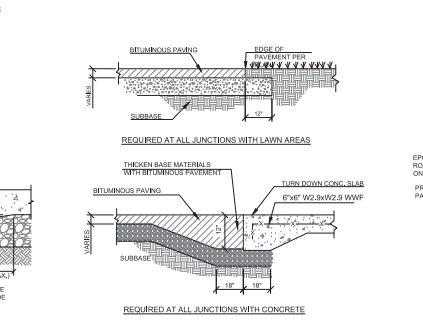
B2 TRAFFIC CONTROL SIGNAGE  
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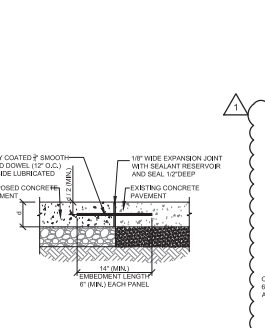
B3 "PHARMACY DRIVE-UP" SIGN  
NTS



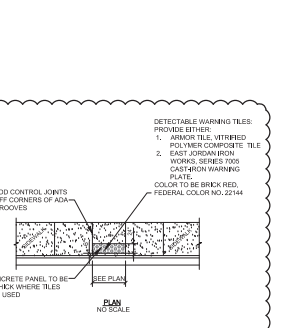
A1 CONCRETE JOINT DETAILS  
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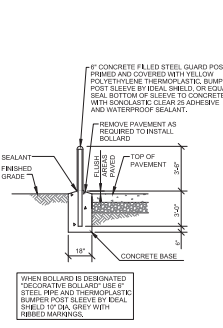
A2 PAVEMENT EDGE DETAILS  
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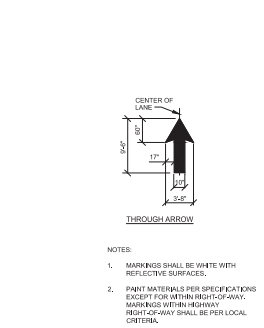
A3 DOWELED BUTT JOINT DETAIL  
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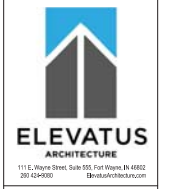
A4 DETECTABLE WARNING AREA  
NTS



A5 GUARD POST DETAIL  
1/2" = 1'-0"



A6 PAVEMENT MARKING  
NTS



CONTRACTOR CONTACT: 150 ARCHITECT, LLC AN ELEVATUS ARCHITECTURE COMPANY  
111 E. Wacker Drive, Suite 1800, Chicago, IL 60601  
www.elevatusarch.com



11000 Industrial Road, Oak Woods, IL 60455  
630-996-0281, Fax: 630-996-0282  
www.siwек.com



FOR PERMITTING ONLY  
SIWEK CONSTRUCTION NUMBER



STORE #182 MNOR  
RESET  
MEIJER PROJECT #:  
CP-18-00-182  
855 S. Randall Road  
St. Charles, IL 60174  
2018 MNOR RESET

REVISIONS		
NO.	DESCRIPTION	DATE
1	City Review Comments	5/11/2018

PROJECT NO: 170912 ISSUE DATE: 09/10/2018  
SUBMITTAL: Bl, Permits and Construction Set


Site Details

C400






**ELEVATUS**  
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111 E. Wacker Drive, Suite 300, Fort Wayne, IN 46802  
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ElevatusArchitecture.com



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Indianapolis

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CONSULTANT

SEAL



OWNER'S CONSTRUCTION MANAGER



**Siwek**  
CONSTRUCTION  
2020 Progress Road • Fort Wayne, IN 46802  
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**meijer**

STORE #182 MINOR  
RESET

MEJER PROJECT #:  
CP-18-00182

855 S Randall Rd  
St Charles, IL 60174

2018 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE

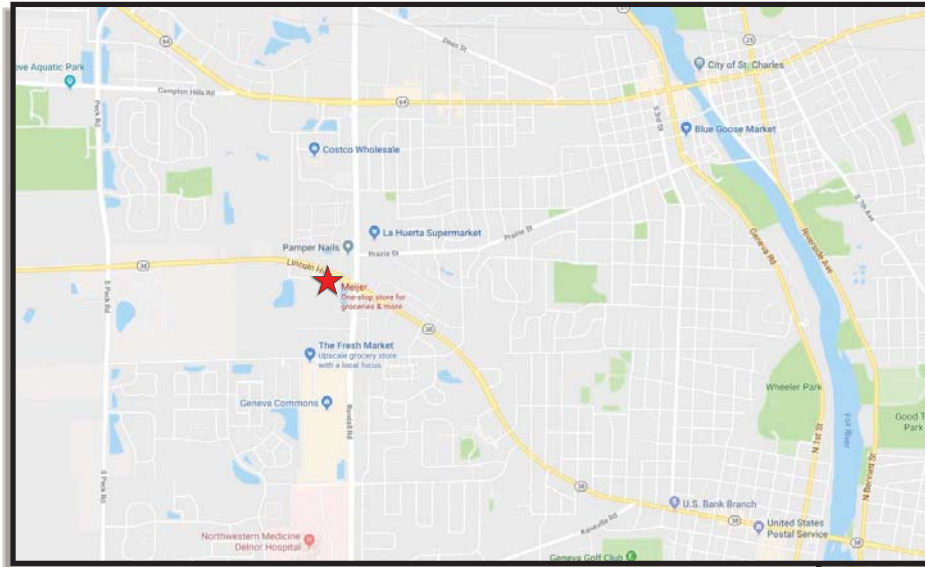
PROJECT NO. 170182  
ISSUE DATE 04/02/2018  
SUBMITTAL  
Issue for Bids, Permits, & Construction

Electrical Site Plan

ES102

# meijer

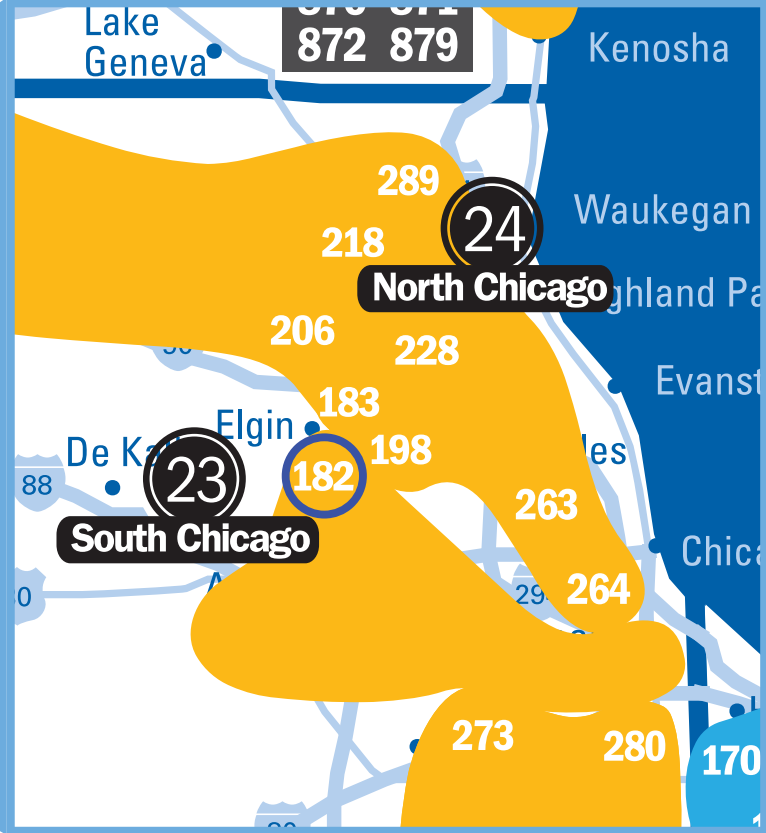
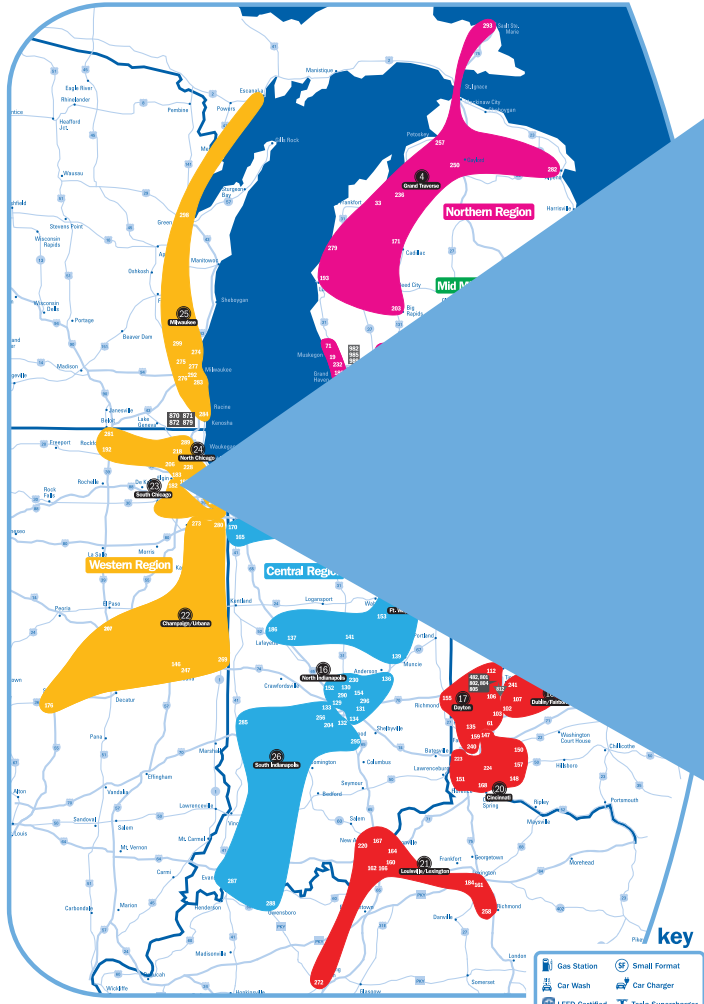
**Meijer #182**  
855 S. Randall Rd.  
St. Charles, IL 60174



---

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**HARMONSIGN DIVISION**

# meijer 2017 stores



For location addresses, visit the [Meijer Portal Site](#) Properties, Real Estate & Procurement > Services > Meijer Unit Addresses

**key**

- Gas Station
- Small Format
- Car Wash
- Car Charger
- LEED Certified
- Tesla Supercharger

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**HARMONSIGN DIVISION**  
 419.841.6656 / 800.338.9773  
 www.allenindustries.com

**Directional Reference**



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MJR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-STORES

**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #** 00

**Client Review Status**

Approved" drawing to be obtained from client prior to any production release or production release revision.  
 Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_  
 Title: \_\_\_\_\_ Date: \_\_\_\_\_

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# Signage Location Plan



EXISTING SIGN	NEW SIGN	PHOTO #	DESCRIPTION	SqFt
E1	N1	1; 2	MEIJER LIGHTED LETTERS	395.67
E2	N2	3; 4	FRESH LIGHTED LETTERS	51.7
E3	N3	5; 6	HOME LIGHTED LETTERS	49.5
E4	N/A	7; 8	US BANK	N/A
E5	N/A	3; 4	STARBUCKS	N/A
E6	N4	10; 12	PHARMACY NONLIGHTED LETTERS	30.74
E7	N/A	11; 12	GARDEN CENTER	N/A
E8	N5	13; 14	GAS STATION CANOPY	14.6
E9	N6	15; 17	GAS STATION CANOPY	14.6
E10	N7	18; 20	GAS STATION CANOPY	14.6
E11	N/A	21	NON LIGHTED WELCOME	N/A
E12	N8/N9	24; 25	MONUMENT FACE REPLACEMENT	57.56
E13	N10/N11	22; 23	MONUMENT FACE REPLACEMENT	57.56
E14	N12	26; 27	GAS STATION PRICER	70.625
N/A	N13	N/A	GAS STATION BANDING	N/A
<b>TOTAL NEW SIGNAGE SqFt</b>				<b>757.16</b>

**Directional Reference**



**CUSTOMER** MEIJER #182  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MJR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-SP

**DRAWN BY** KARA FREY  
**DATE** 2-19-18  
**REVISION #** 2-28-18 3-8-18 4-3-18

**Client Review Status**

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Approved  Approved as Noted  Revise & Resubmit

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Title: \_\_\_\_\_

Date: \_\_\_\_\_

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**E1 - East Elevation - Lighted Letters**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N1 Meijer Lighted Letters**

**SIGN TYPE** LIGHTED LETTERS

**PHOTO #** 1;2

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 25'

**CABINET/LETTER HEIGHT:** 86" M

**OVERALL SIGN LENGTH:** 47' 7"

**CABINET/LETTER DEPTH:** 7-1/4"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E1  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 2-21-18 3-9-18

**ADDITIONAL COMMENTS:**

- Faces stapled to retainers
- Self contained primary back wiring behind sheet metal backer
- F moulding retainers attached to faces
- Rivets inside through flange & into plex
- Second surface vinyl
- Replace with new
- Re use existing backer
- Backer repainted by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

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# N1 - Lighted Letters



**ELEVATION**



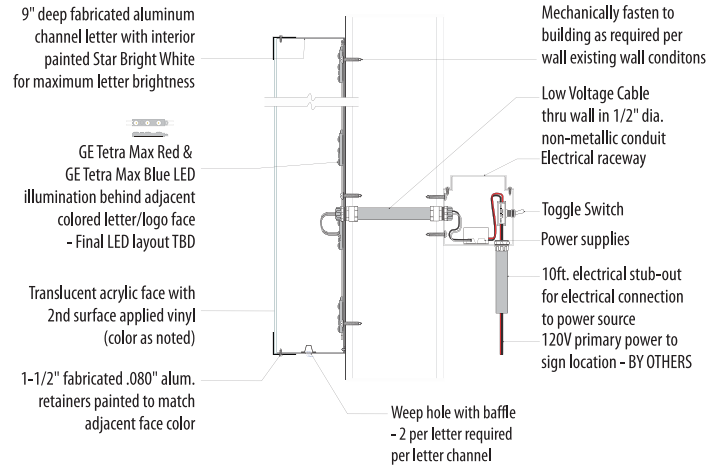
**INSTALLED RENDERING NEW SIGN**

**"MEIJER" COPY:**

- FACES:** .177 Clear polycarbonate with 2nd surface applied Translucent Red vinyl overlays
- RETAINERS:** 1-1/2" fabricated .080" alum. retainers painted Red (per spec)
- BACKS:** .100" alum. - interior painted Star Brite White
- RETURNS:** 9" deep fabricated .063" alum. - interior painted Star Brite White, exterior painted Red (per spec)
- LIGHTING:** GE Tetra Max Red LED (qty. & layout as req. by manufacturer)
- DOTS :**
- FACES:** .177 Clear polycarbonate with 2nd surface applied Translucent Red vinyl overlays
- RETAINERS:** 1-1/2" fabricated .080" alum. retainers painted Red (per spec)
- BACKS:** .100" alum. - interior painted Star Brite White
- RETURNS:** 9" deep fabricated .063" alum. - interior painted Star Brite White, exterior painted Red (per spec)
- LIGHTING:** GE Tetra Max Red LED (qty. & layout as req. by manufacturer)

**GENERAL SPECS:**

- Letters flush mounted to existing backer; mechanical fasteners as required
  - Remote located LED power supplies (in box as required)
  - 120V primary electrical feed with disconnect by others
  - All paint finishes to be high gloss
  - Re use existing backer - (OTHERS TO REPAINT BACKER)
- Allowable Signage: 410 sf  
New Signage: 395.67 sf



**SECTION DETAIL**

Not to Scale

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**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/4" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-LL N1  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION #** 2-21-18 2-28-18 3-8-18 4-3-18

**SIGN TYPE** LIGHTED LETTERS

**QUANTITY** 1

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**ARTWORK**

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

**COLORS:**

- P1 Star Brite White #83990
- P2 Alzo Red to match 3M 3635-33 Red
- P3 Alzo Red to match PMS 286 C Blue
- V1 3M 3635-70 White Diffuser Vinyl
- V2 3M 3635-33 Red (trans) Vinyl
- V3 3M 3635-97 Brilliant Blue (trans) Vinyl

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**FACE**

- SINGLE
- DOUBLE

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

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**E2 - East Elevation - Non Lighted Letters**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N2 FRESH Lighted Letters**

**SIGN TYPE** NON LIGHTED LETTERS

**PHOTO #** 3;4

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
  - NON-LIGHTED
- TYPE: INTERNALLY

**FASCIA** COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 12' 9"

**CABINET/LETTER HEIGHT:** 18"

**OVERALL SIGN LENGTH:** 8'

**CABINET/LETTER DEPTH:** 1"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E2  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #** 2-21-18 2-28-18 3-20-18

**ADDITIONAL COMMENTS:**

- REMOVED BY OTHERS
- Patch, paint & repair by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

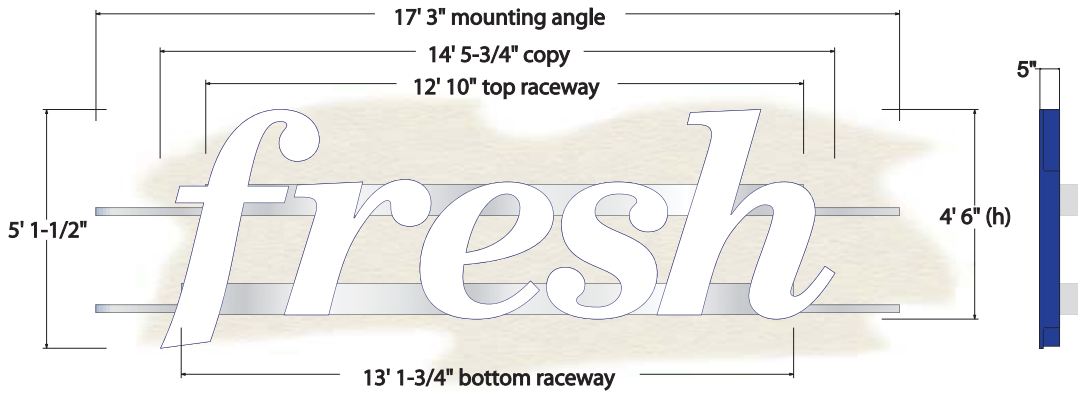
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

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## N2 - Lighted Channel Letters



**ELEVATION - N2**

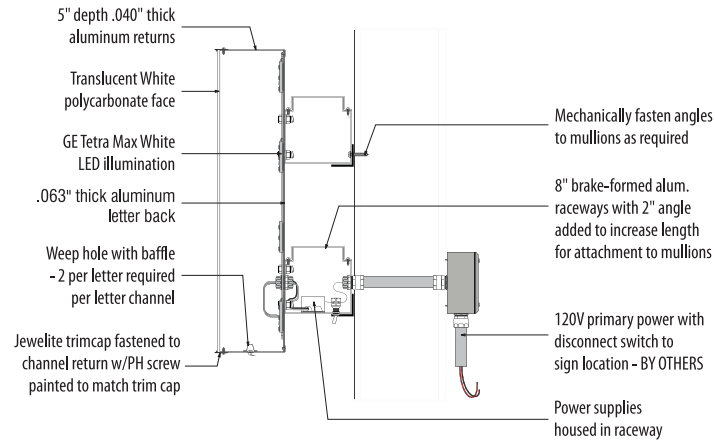
**END VIEW**

**LETTER SPECS:**

- FACES:** .177 White polycarbonate
- TRIM CAP:** 1" White Jewelite trim cap, painted as noted
- BACKS:** .063" alum. - prefinished White interior
- RETURNS:** 5" deep .040" alum. - prefinished White interior, exterior painted as noted
- LIGHTING:** GE Tetra Max WHITE LED (qty. & layout as req. by manufacturer)
- RACEWAY:** 8"H brake-formed .063" aluminum, painted as noted

**GENERAL SPECS:**

- Raceway mounted letters mounted to upper glass of entry tower
- New channel letters to be installed on pre-mounted 2" angle by Allen
- Installation of 2" angle to mullions by others, Allen to provide mounting patterns only
- LED power supplies contained within raceway
- 120V primary electrical feed with disconnect by others
- Existing signage: N/A
- New signage: 51.7 SF



**SECTION DETAIL**

Not to Scale



**INSTALLED RENDERING NEW SIGN**

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www.allenindustries.com

**CUSTOMER:** MEIJER  
**LOCATION:** ST CHARLES, IL  
**ADDRESS:** 855 S RANDALL RD

**SALESPERSON:** PM REBEKAH SZCZERBIAK  
**DRAWING #:** 00

**SCALE:** 3/8" = 1'-0"  
**FILENAME:** MEIJER-STCHARIL-18-LL N2  
**DRAWN BY:** KARA FREY  
**DATE:** 2-28-18  
**REVISION#:** 3-8-18 4-3-18

**SIGN TYPE:** LIGHTED LETTERS

**QUANTITY:** 1

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**ARTWORK**

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

**COLORS:**

- WHITE
- PANTONE 286 BLUE
- AKZO NOBEL BRUSHED ALUMINUM

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**FACE**

- SINGLE
- DOUBLE

**LIGHTING**

- LIGHTED
  - NON-LIGHTED
- TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE:** N/A

**SITE MEASUREMENTS:** N/A

**ADDITIONAL NOTES:** N/A

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

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**E3 - East Elevation - Non Lighted Letters  
EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N3 HOME Lighted Letters**

**SIGN TYPE** NON LIGHTED LETTERS

**PHOTO #** 5;6

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 12' 9"

**CABINET/LETTER HEIGHT:** 18"

**OVERALL SIGN LENGTH:** 8'

**CABINET/LETTER DEPTH:** 1"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E2  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 2-21-18 2-28-18 3-20-18

**ADDITIONAL COMMENTS:**

- REMOVED BY OTHERS
- Patch, paint & repair by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

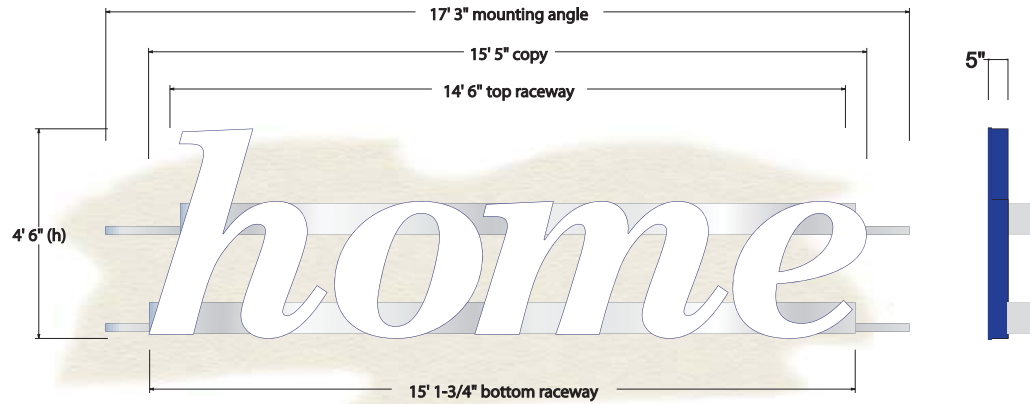
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

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# N3 - Lighted Channel Letters



**ELEVATION - N3**

**END VIEW**



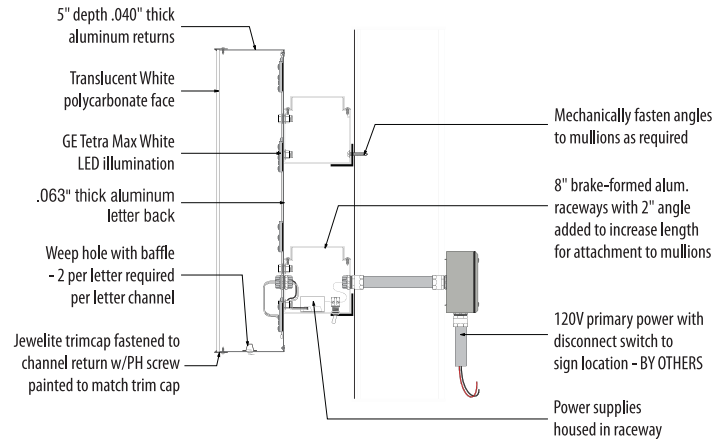
**INSTALLED RENDERING NEW SIGN**

**LETTER SPECS:**

- FACES:** .177 White polycarbonate
- TRIM CAP:** 1" White Jewelite trim cap, painted as noted
- BACKS:** .063" alum. - prefinished White interior
- RETURNS:** 5" deep .040" alum. - prefinished White interior, exterior painted as noted
- LIGHTING:** GE Tetra Max White LED (qty. & layout as req. by manufacturer)
- RACEWAY:** 8"H brake-formed .063" aluminum, painted as noted

**GENERAL SPECS:**

- Raceway mounted letters mounted to upper glass of entry tower
- New channel letters to be installed on pre-mounted 2" angle by Allen
- Installation of 2" angle to mullions by others; Allen to provide mounting pattern only
- LED power supplies contained within raceway
- 120V primary electrical feed with disconnect by others
- Existing signage: N/A
- New signage: 49.5 SF



**SECTION DETAIL**

Not to Scale

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**HARMONSIGN DIVISION**

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**CUSTOMER:** MEIJER  
**LOCATION:** ST CHARLES, IL  
**ADDRESS:** 855 S RANDALL RD

**SALESPERSON:** PM REBEKAH SZCZERBIAK  
**DRAWING #:** 00

**SCALE:** 3/8" = 1'-0"  
**FILENAME:** MEIJER-STCHARIL-18-LL N3  
**DRAWN BY:** KARA FREY  
**DATE:** 2-28-18  
**REVISION #:** 3-8-18 4-3-18

**SIGN TYPE:** LIGHTED LETTERS

**QUANTITY:** 1

- GRAPHICS**
- DIGITAL PRINT
  - VINYL
  - PAINTED

- ARTWORK**
- PRODUCTION READY
  - PRESENTATION ONLY
  - NETWORK

- COLORS:**
- WHITE
  - PANTONE 286 BLUE
  - AKZO NOBEL BRUSHED ALUMINUM

- MOUNTING**
- FLUSH
  - RACEWAY
  - FLAG MOUNTED
  - STAND-OFFS
- FACE**
- SINGLE
  - DOUBLE

- LIGHTING**
- LIGHTED
  - NON-LIGHTED
- TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE:** N/A

**SITE MEASUREMENTS:** N/A

**ADDITIONAL NOTES:** n/a

**Client Review Status**

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Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

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**E4 - East Elevation - Lighted Cabinet**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: Existing to Remain**

**SIGN TYPE** LIGHTED CABINET

**PHOTO #** 7;8

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUNDED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: SW 7499U

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** 36"

**OVERALL SIGN LENGTH:** 9'

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E4  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18 4-3-18

**ADDITIONAL COMMENTS:**  
- NO ACTION

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Title: \_\_\_\_\_

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**E5 - East Elevation - Lighted Sign**  
**EXISTING**



**Day Photo**

**Replaced by: Existing to Remain**

**SIGN TYPE** LIGHTED SIGN

**PHOTO #** 9

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** 48"

**OVERALL SIGN LENGTH:** 48"

**CABINET/LETTER DEPTH:** 6"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E5  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18 4-3-18

**ADDITIONAL COMMENTS:**

- NO ACTION

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

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**E6 - East Elevation - Non Lighted Letters**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N4 Pharmacy Non Lighted Letters**

**SIGN TYPE** NON LIGHTED LETTERS

**PHOTO #** 10; 12

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** 18"

**OVERALL SIGN LENGTH:** 8'

**CABINET/LETTER DEPTH:** 1"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E6  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- REMOVED BY OTHERS
- Patch, paint & repair by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

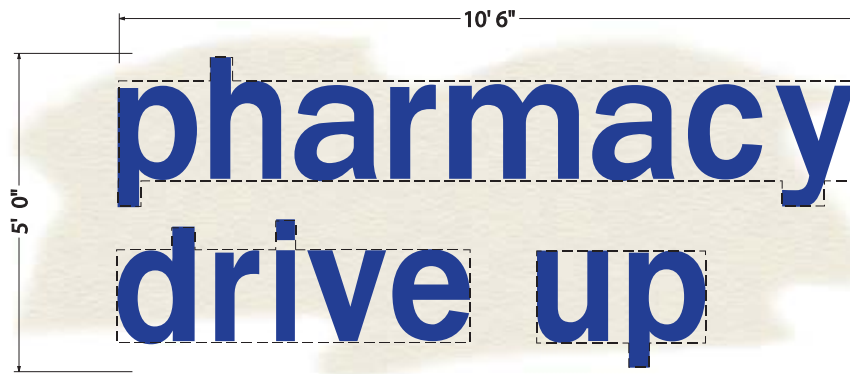
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

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## N4 - Non-Lighted Letters



**ELEVATION**



**END VIEW**

### SIGNAGE SPECS:

- #10 pound 1" deep sign foam routed flat cut letters
- Faces & returns painted **PMS 286 C Blue**
- Flush mounted with 1/4"-20 aluminum threaded (rod) stud fasteners in silicone filled holes
- Minimum (3) fasteners per letter

### GENERAL SPECS:

- Non Lighted Letters flush mounted to building
- Installation by Allen
- Existing signage: N/A
- New signage: **30.74 ft<sup>2</sup>**



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-NLL N4  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION#** 2-28-18 4-3-18

**SIGN TYPE** NON-LIGHTED LETTERS

**QUANTITY** 1

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 286 C BLUE

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

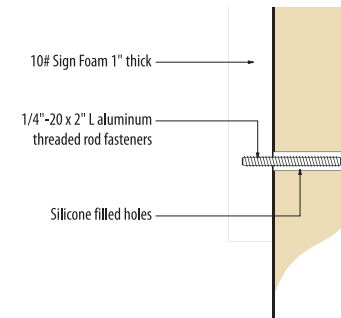
Title: \_\_\_\_\_ Date: \_\_\_\_\_

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**INSTALLED RENDERING NEW SIGN**



**SECTION DETAIL (not to scale)**

**E7 - East Elevation - Non Lighted Letters  
EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: Removal by Others**

**SIGN TYPE** NON LIGHTED LETTERS

**PHOTO #** 11; 12

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** 18"

**OVERALL SIGN LENGTH:** 12' 10-1/2"

**CABINET/LETTER DEPTH:** 1"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E7  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18 4-3-18

**ADDITIONAL COMMENTS:**

- REMOVED BY OTHERS
- Patch, paint & repair by others

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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**E8 - East Elevation - Gas Canopy**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N5 Gas Canopy Replacement Face**

**SIGN TYPE** LIGHTED SIGN

**PHOTO #** 13; 14

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 18'

**CABINET/LETTER HEIGHT:** 48"

**OVERALL SIGN LENGTH:** 9' 9-3/4"

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
- 277 VOLT

CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E8  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

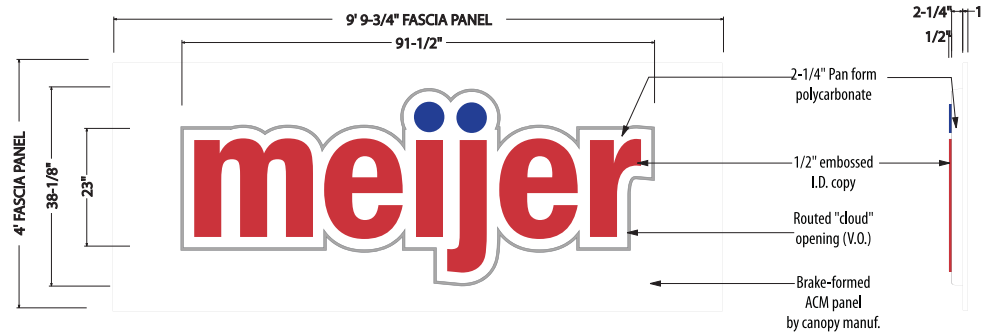
Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Title: \_\_\_\_\_

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## N5 (East) - Replacement Face w/ Embossed Canopy Logo



**ELEVATION**

**END VIEW**



**INSTALLED RENDERING NEW SIGN**

### REFURBISH SIGNAGE SPECS:

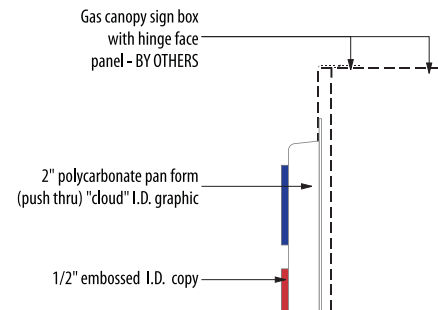
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
  - Qty. 27 modules - GEMX2471-W1
  - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

### GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

### ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**SECTION DETAIL (Not To Scale)**



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18- LS N5  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION #** 00

**SIGN TYPE** LIGHTED PANFORM SIGN

**QUANTITY** 1

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

#### ADDITIONAL NOTES

N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

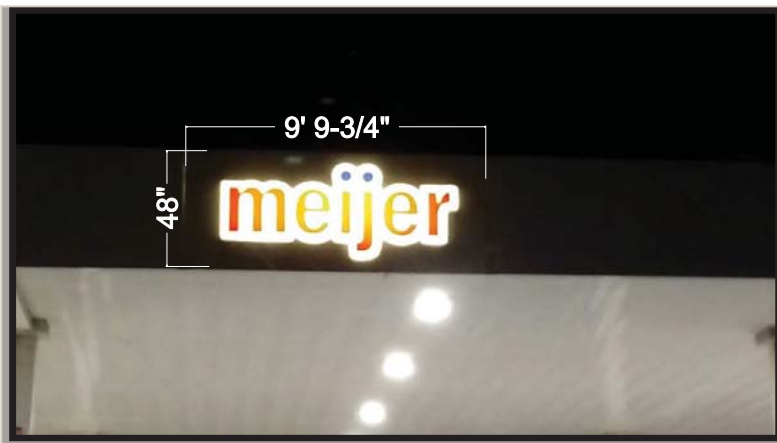
#### Declaration

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**E9 - North Elevation - Gas Canopy**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N6 Gas Canopy Replacement Face**

**SIGN TYPE** LIGHTED SIGN

**PHOTO #** 15; 17

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 18'

**CABINET/LETTER HEIGHT:** 48"

**OVERALL SIGN LENGTH:** 9' 9-3/4"

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
- 277 VOLT

CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E9  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

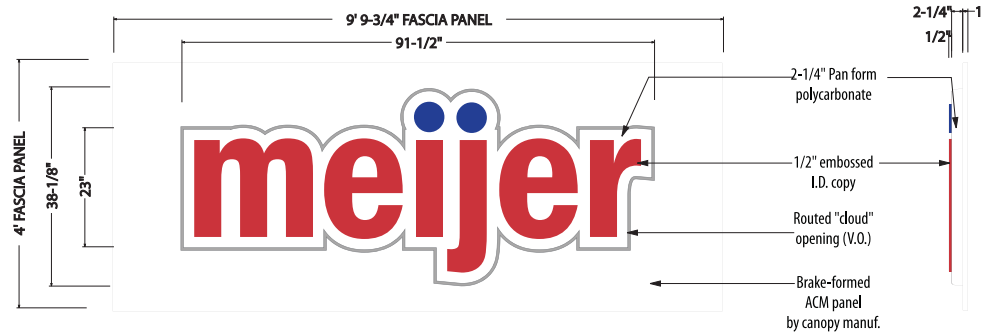
Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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## N6 (North) - Replacement Face w/ Embossed Canopy Logo



**ELEVATION**

**END VIEW**



**INSTALLED RENDERING NEW SIGN**

### REFURBISH SIGNAGE SPECS:

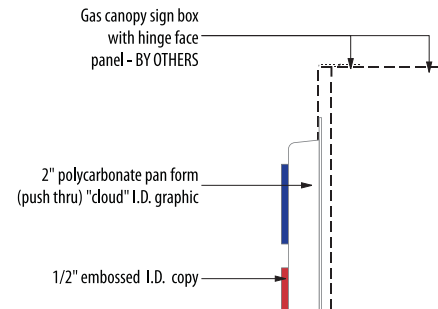
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
  - Qty. 27 modules - GEMX2471-W1
  - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

### GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

### ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**SECTION DETAIL (Not To Scale)**



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18- LS N6  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION #** 00

**SIGN TYPE** LIGHTED PANFORM SIGN

**QUANTITY** 1

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

#### Declaration

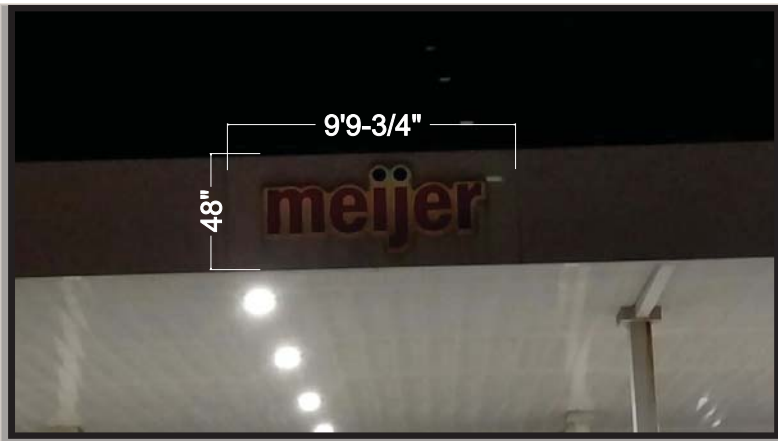
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**E10 - South Elevation - Gas Canopy**  
**EXISTING**



**Day Photo**



**Night Photo**

**Replaced by: N7 Gas Canopy Replacement Face**

**SIGN TYPE** LIGHTED SIGN

**PHOTO #** 18; 20

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 18'

**CABINET/LETTER HEIGHT:** 48"

**OVERALL SIGN LENGTH:** 9' 9-3/4"

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
- 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E10  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- New cabinet & LED retrofit
- 1" bends on all sides
- (2) F96T12CW-HW lamps (existing)
- 1 Ballast (existing)

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

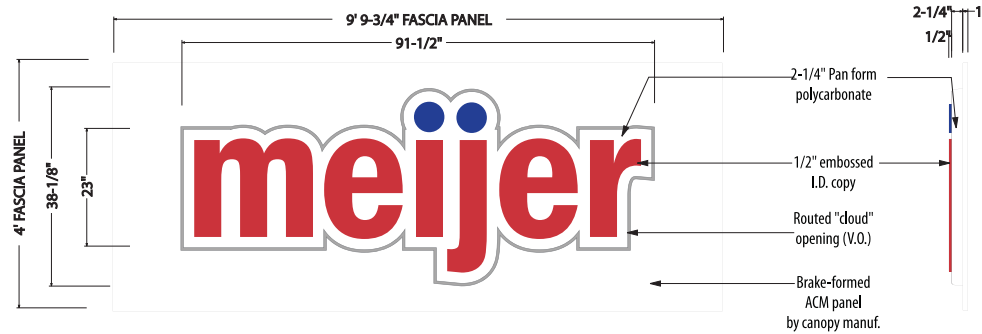
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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## N7 (South) - Replacement Face w/ Embossed Canopy Logo



**ELEVATION**

**END VIEW**



**INSTALLED RENDERING NEW SIGN**

### REFURBISH SIGNAGE SPECS:

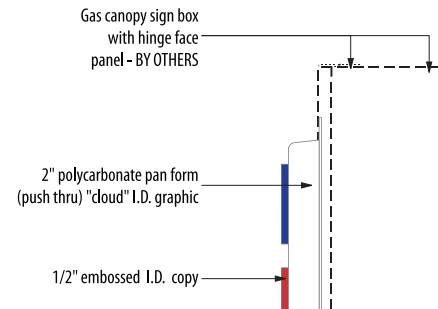
- Replacement face panels for back-lighted gas canopy sign
- Brake-formed ACM panel with routed "cloud" I.D. logo painted PAC CLAD Bone White (*panel by canopy manufacturer*)
- Pan form embossed polycarbonate I.D. logo pushed thru pan
- Copy & dots 1/2" embossed
- 2nd surface color decoration and back sprayed White
- GE Tetra Max White LED lighting kit (replaces fluorescent)
  - Qty. 27 modules - GEMX2471-W1
  - Qty. 1 - GEPS24-100U-NA power supplies 1.1 amps each max input @ 120V

### GENERAL SPECS:

- Aluminum face replacement with routed push thru logo
- Removal and Installation by Allen
- Canopy painted white by others
- Existing signage: 14.6 SF
- New signage: 14.6 SF
- All paint high gloss

### ELECTRICAL / POWER NOTES:

- GE Tetra Max White LED lighting (replaces fluorescent)
- POWER: (system draws) 1.1 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**SECTION DETAIL (Not To Scale)**

**Allen Industries**  
YOUR BRAND AT ITS BEST™

**HARMONSIGN DIVISION**  
419.841.6656 / 800.338.9773  
www.allenindustries.com

**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18- LS N7  
**DRAWN BY** KARA FREY  
**DATE** 2-15-18  
**REVISION #** 00

**SIGN TYPE** LIGHTED PANFORM SIGN

**QUANTITY** 1

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 1797 C
- PANTONE 286 C BLUE
- PAC CLAD BONE WHITE

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED  NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

#### Declaration

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**E9 - East Elevation - Nonlighted Letters**  
**EXISTING**



**Day Photo**

**Replaced by: Existing to Remain**

**SIGN TYPE** NONLIGHTED LETTERS

**PHOTO #** 21

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: N/A

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** N/A

**CABINET/LETTER HEIGHT:** N/A

**OVERALL SIGN LENGTH:** N/A

**CABINET/LETTER DEPTH:** N/A

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E11  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18 4-3-18

**ADDITIONAL COMMENTS:**

-NO ACTION

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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**E12 - North Elevation - Monument**  
**EXISTING**



Day Photo



Night Photo

**Replaced by: N8/N9 Monument Face Replacement**

**SIGN TYPE** LIGHTED MONUMENT SIGN

**PHOTO #** 24; 25

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
  - NON-LIGHTED
- TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 36"

**CABINET/LETTER HEIGHT:** 4' 8"

**OVERALL SIGN LENGTH:** 12' 4"

**CABINET/LETTER DEPTH:** 24-1/2"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E12  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- 14 F48T12CW - HO lamps
- 3 ballasts
- Step down transformer inside sign
- 3M wedge clamp clips
- Replace faces & LED Retrofit

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

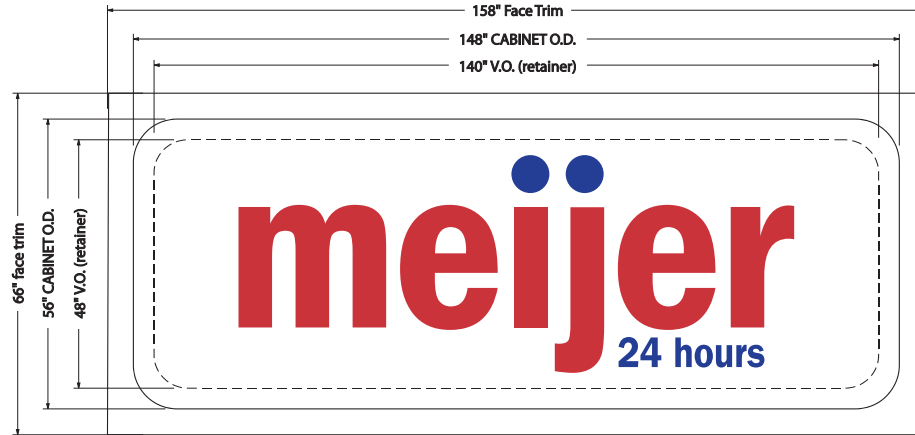
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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## N8/N9 - Lighted Face Replacement & Cabinet Repair



**ELEVATION**



**EXISTING SIGN**



**RENDERING REFRUBISHED SIGN**

### REFURBISHED SIGNAGE SPECS:

- 3M Flex face replacement w/ vinyl graphics (Meijer)
- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
  - Qty. 10 - 48" Sign White LED Lamps (5400k)
  - Qty. 3 - GEPS24-100U-NA power supplies  
1.1 amps each max input @ 120V
- EXISTING D/F cabinet repainted to match PMS 286 BLUE
- All paint finishes to be high gloss

### GENERAL SPECS:

- Flex face replacements
- Removal & installation by Allen Industries
- Existing signage: 56.76 SF
- New signage: 56.76 SF

### ELECTRICAL / POWER NOTES:

- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
  - POWER: (system draws) 3.3 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**CUSTOMER** MEIJER  
**LOCATION** LUDINGTON, MI  
**ADDRESS** 3900 W US HWY 10

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-FR N8N9  
**DRAWN BY** KARA FREY  
**DATE** 2-19-18  
**REVISION#** 00

**SIGN TYPE** FACE REPLACEMENT

**QUANTITY** 2

#### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

#### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

#### COLORS:

- PANTONE 286 C BLUE/3M 3630-97 BRISTOL BLUE
- PANTONE 1797 C RED/3M 3630-33

#### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

#### FACE

- SINGLE
- DOUBLE

#### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

#### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Title: \_\_\_\_\_

#### Declaration

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**E13 - South Elevation - Monument**  
**EXISTING**



Day Photo



Night Photo

**Replaced by: N10/N11 Monument Face Replacement**

**SIGN TYPE** LIGHTED MONUMENT SIGN

**PHOTO #** 22; 23

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 36"

**CABINET/LETTER HEIGHT:** 4' 8"

**OVERALL SIGN LENGTH:** 12' 4"

**CABINET/LETTER DEPTH:** 24-1/2"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E13  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- 14 F48T12CW - HO lamps
- 3 ballasts
- Step down transformer inside sign
- 3M wedge clamp clips
- Replace faces & LED Retrofit

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

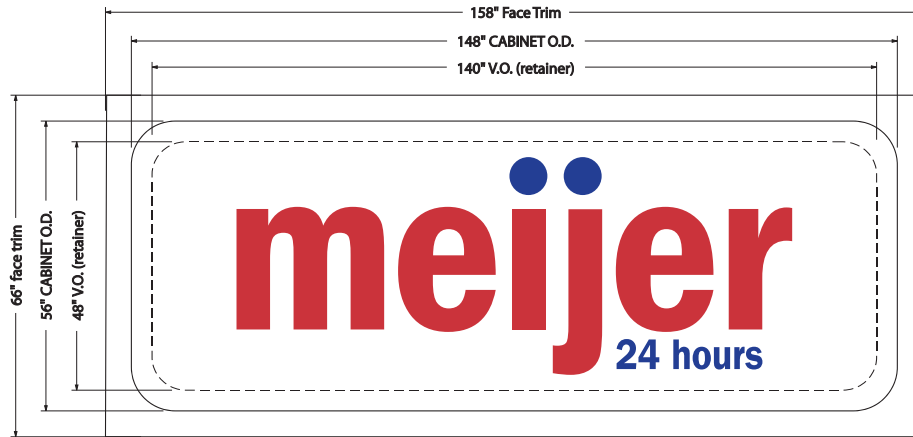
Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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# N10/N11 - Lighted Face Replacement & Cabinet Repaint



**ELEVATION**



**EXISTING SIGN**



**RENDERING REFURBISHED SIGN**

**REFURBISHED SIGNAGE SPECS:**

- 3M Flex face replacement w/ vinyl graphics (Meijer)
- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
  - Qty. 10 - 48" Sign White LED Lamps (5400k)
  - Qty. 3 - GEPS24-100U-NA power supplies  
1.1 amps each max input @ 120V
- EXISTING D/F cabinet repainted to match PMS 286 BLUE
- All paint finishes to be high gloss

**GENERAL SPECS:**

- Flex face replacements
- Removal & installation by Allen Industries
- Existing signage: 56.76 SF
- New signage: 56.76 SF

**ELECTRICAL / POWER NOTES:**

- GE Line Fit LED Retrofit lighting kit (replaces fluorescent)
  - POWER: (system draws) 3.3 amps total @ 120V**
- Re-use *EXISTING* 120V primary power in *EXISTING* sign



**CUSTOMER** MEIJER  
**LOCATION** LUDINGTON, MI  
**ADDRESS** 3900 W US HWY 10

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-FR N10N11  
**DRAWN BY** KARA FREY  
**DATE** 2-19-18  
**REVISION#** 00

**SIGN TYPE** FACE REPLACEMENT

**QUANTITY** 2

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**ARTWORK**

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

**COLORS:**

- PANTONE 286 C BLUE/3M 3630-97 BRISTOL BLUE
- PANTONE 1797 C RED/3M 3630-33

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**FACE**

- SINGLE
- DOUBLE

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

**ADDITIONAL NOTES**  
N/A

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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**E14 - East Elevation - Gas Monument**  
**EXISTING**



Day Photo



Night Photo

**Replaced by: N12 Monument Retrofit**

**SIGN TYPE** LIGHTED MONUMENT SIGN

**PHOTO #** 24; 25

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**FACE**

- ALUMINUM ROUTED
- FLEX FACE
- PANFORM
- LEXAN
- ACRYLIC
- FORMED LETTERS

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**FASCIA** COLOR: N/A

- BRICK
- EIFS
- GLASS
- WOOD
- METAL
- DRYWALL
- VENEER
- PRECAST
- STUCCO
- WALL PAPER
- TILE

**FACE**

- SINGLE
- DOUBLE

**HEIGHT ABOVE GROUND:** 35"

**CABINET/LETTER HEIGHT:** 6' 3"

**OVERALL SIGN LENGTH:** 11' 3-1/2"

**CABINET/LETTER DEPTH:** 28"

**RETAINER SIZE:** N/A

**ACCESS BEHIND WALL?**

- YES
- NO

**ACCESS ABOVE ROOF?**

- YES
- NO

**ACCESS OBSTURCTIONS?**

N/A

**ELECTRICAL OUTLET**

- WITHIN 8' 0"
- NEW CIRCUIT REQ'D
- ELEC. BEHIND WALL
- ELEC. ON FACE OF WALL
- OTHER:

**EXISTING CIRCUITS**

- 120 VOLT
  - 277 VOLT
- CIRCUIT BREAKER AMPERAGE:

**PENETRATION PLACEMENT**

- TOP
- MIDDLE
- LOW
- OTHER:

**RACEWAY** COLOR: N/A

- EXPOSED
- BEHIND WALL
- WIREWAY
- NONE

**ESTIMATED TRUCK SIZE/EQUIPMENT:**

N/A



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-E14  
**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION#** 3-20-18

**ADDITIONAL COMMENTS:**

- 12 F48T12CW - HO lamps
- 2 ballasts
- Daktronics digital pricers
- LED Retrofit product panels ONLY

**Client Review Status**

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**Declaration**

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## N12 - LED Retrofit & Cabinet Repaint



**EXISTING SIGN**

### PRODUCT PANEL SPECS:

- LED retrofit existing product panels
- Re-use *EXISTING* 120V primary power in *EXISTING* sign
- Re-use *EXISTING* EMC gas pricers

### GENERAL SPECS

- Repaint cabinet/dividers PMS 286 blue



**RENDERING REFURBISHED SIGN**



**CUSTOMER** MEIJER  
**LOCATION** LUDINGTON, MI  
**ADDRESS** 3900 W US HWY 10

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-FR N12  
**DRAWN BY** KARA FREY  
**DATE** 2-19-18  
**REVISION#** 2-21-18 3-8-18

**SIGN TYPE** REFURBISH

**QUANTITY** 1

### GRAPHICS

- DIGITAL PRINT
- VINYL
- PAINTED

### ARTWORK

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

### COLORS:

- PMS 286C BLUE

### MOUNTING

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

### FACE

- SINGLE
- DOUBLE

### LIGHTING

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
N/A

### ADDITIONAL NOTES

N/A

### Client Review Status

Approved\* drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_

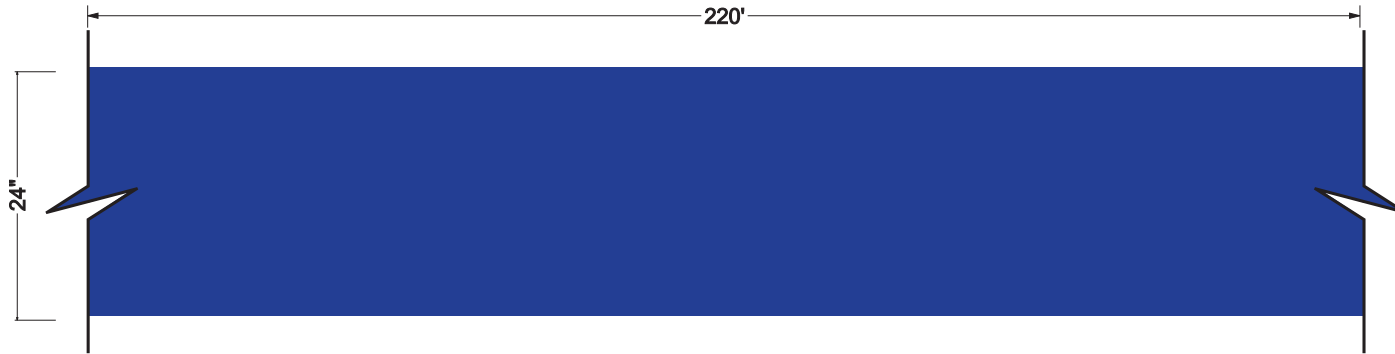
Title: \_\_\_\_\_ Date: \_\_\_\_\_

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# N13 - Blue Vinyl Band



**ELEVATION**

**SIGNAGE SPECS:**

- 24" tall vinyl strip to go on canopy

**GENERAL SPECS:**

- Centered vertically & horizontally on fascia panel  
 - Installation by ALLEN



**INSTALLED RENDERING NEW SIGN**

**Allen Industries**  
 YOUR BRAND AT ITS BEST™  
**HARMONSIGN DIVISION**  
 419.841.6656 / 800.338.9773  
 www.allenindustries.com

**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD

**SALESPERSON** PM REBEKAH SZCZERBIAK  
**DRAWING #** 00

**SCALE** 1/2" = 1'-0"  
**FILENAME** MEIJER-STCHARIL-18-VIN N13  
**DRAWN BY** KARA FREY  
**DATE** 4-3-18  
**REVISION#** 00

**SIGN TYPE** VINYL

**QUANTITY** 1

**GRAPHICS**

- DIGITAL PRINT
- VINYL
- PAINTED

**ARTWORK**

- PRODUCTION READY
- PRESENTATION ONLY
- NETWORK

**COLORS:**

- PANTONE 286 C BLUE
- PAC-CLAD BONE WHITE

**MOUNTING**

- FLUSH
- RACEWAY
- FLAG MOUNTED
- STAND-OFFS

**FACE**

- SINGLE
- DOUBLE

**LIGHTING**

- LIGHTED
- NON-LIGHTED

TYPE: INTERNALLY

**SQ. FTG. ALLOWANCE** N/A

**SITE MEASUREMENTS**  
 N/A

**ADDITIONAL NOTES**  
 N/A

**Client Review Status**

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Approved  Approved as Noted  Revise & Resubmit

Name: \_\_\_\_\_ Date: \_\_\_\_\_

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# Digital Photograph Overview



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MJR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-PHOTOS

**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #**

**Client Review Status**

Approved" drawing to be obtained from client prior to any production release or production release revision.

Approved  Approved as Noted  Revise & Resubmit

**Name:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Declaration**

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# Digital Photograph Overview



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**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MUR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-PHOTOS

**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #**

**Client Review Status**

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Name:

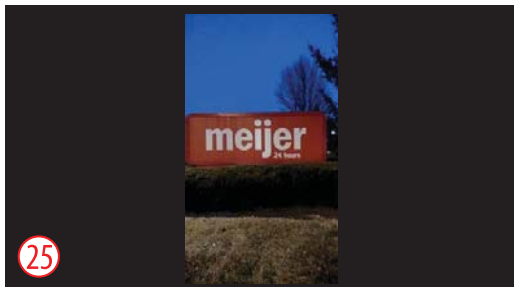
Title:

Date:

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# Digital Photograph Overview



**CUSTOMER** MEIJER  
**LOCATION** ST CHARLES, IL  
**ADDRESS** 855 S RANDALL RD  
**PROJECT MGR** REBEKAH SZCZERBIAK

**DRAWING #** MJR.182  
**SCALE** NTS  
**FILENAME** MEIJER-STCHARIL-18-PHOTOS

**DRAWN BY** KARA FREY  
**DATE** 2-14-18  
**REVISION #**

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**Name:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

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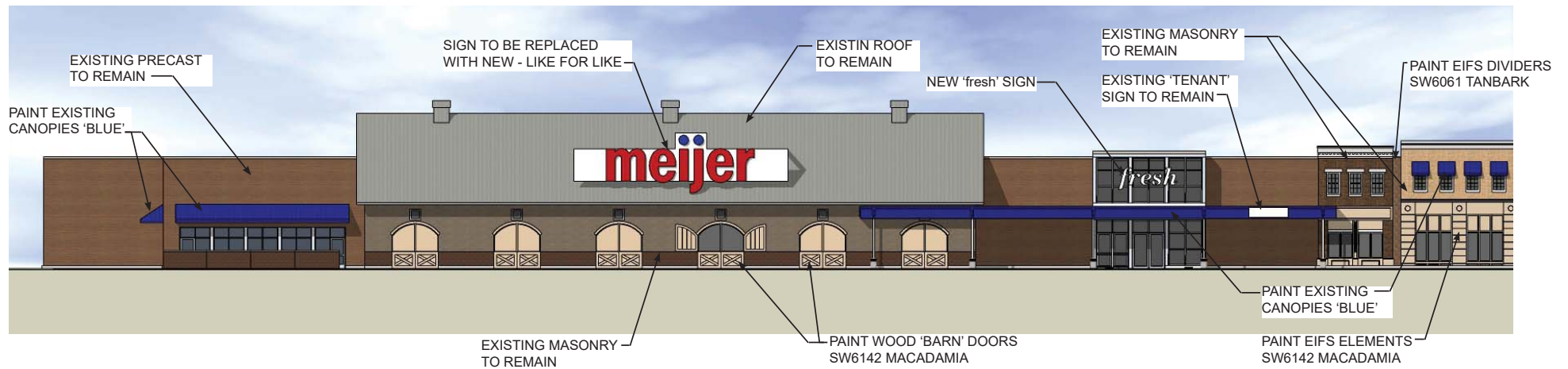
Existing Conditions Images



Proposed Elevation



Proposed Elevation - Store Entrance and Pharmacy Drive-up



Proposed Elevation - Grocery Entrance



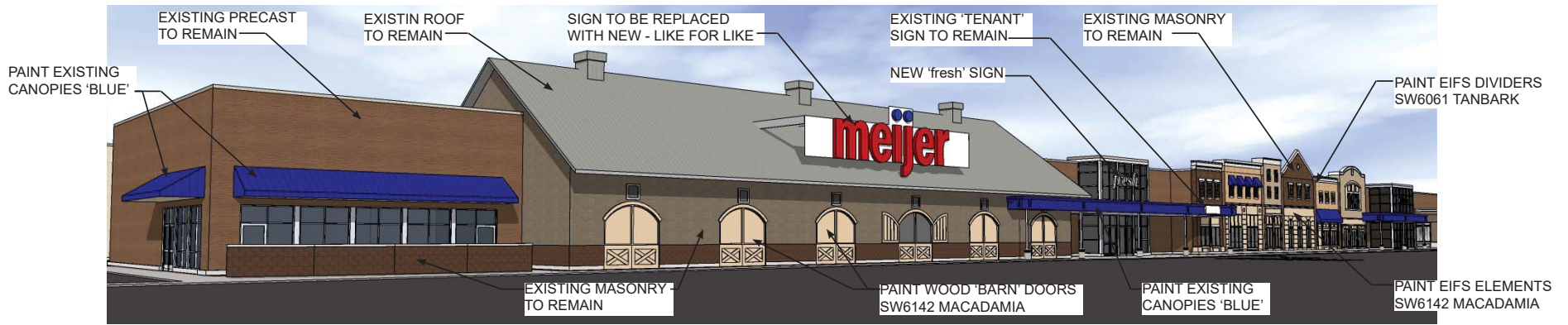
**ELEVATUS**  
ARCHITECTURE



**MEIJER 182**

St. Charles, IL

01.02.18



Proposed Perspective - Grocery Entrance



Proposed Perspective - Store Entrance and Pharmacy Drive-up



**ELEVATUS**  
ARCHITECTURE



**MEIJER 182**

St. Charles, IL

01.02.18



Paint 'Green' Roof 'Gray'

Add 'Blue' vinyl to canopy



Paint 'Green' Awning 'Blue'

Existing Gas Station

Add 'Blue' vinyl to canopy

Paint 'Green' Roof 'Gray'



Paint 'Green' Awning 'Blue'

Proposed Perspective - Gas Station

Paint 'Tan' EIFS to be 'Tan'

Add 'Blue' vinyl to canopy



Paint 'Green' Awning 'Blue'

Existing Gas Station

Paint 'Tan' EIFS to be 'Tan'

Paint 'Green' Roof 'Gray'



Proposed Perspective - Gas Station



ELEVATUS  
ARCHITECTURE



MEIJER 182

St. Charles, IL

01.02.18

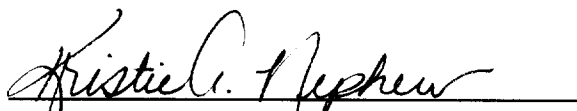
**City of St. Charles, Illinois**

**Ordinance No. 1999-M-24**

**An Ordinance Granting a Special Use as a  
Planned Unit Development (Meijer PUD)**

**Adopted by the  
City Council  
of the  
City of St. Charles  
April 19, 1999**

**Published in pamphlet form by  
authority of the City Council  
of the City of St. Charles,  
Kane and Du Page Counties,  
Illinois, April 23, 1999**

  
**City Clerk**

**(SEAL)**

DATE OF PUBLICATION 4/23/99  
NEWSPAPER Pamphlet Form

ORDINANCE NO. 1999-M-24

REFER TO:  
MINUTES 4/19/99  
PAGE \_\_\_\_\_

AN ORDINANCE GRANTING A SPECIAL USE AS A PLANNED  
UNIT DEVELOPMENT (MEIJER PUD)

WHEREAS, a petition for rezoning from the E-1 Estate Residence District to the B-3 General Business District for the real estate described in Exhibit "I" attached hereto and made a part hereof, and a petition for the granting of a Special Use as a Planned Unit Development for the real estate described in Exhibit "I" and Exhibit "II" attached hereto and made a part hereof, (hereinafter sometimes collectively referred as the "Real Estate"), has been filed by FIRSTAR BANK ILLINOIS as Trustee Under the provisions of Trust No 2640 dated December 7, 1987 and the KANE COUNTY FAIR ASSOCIATION, a general Illinois not-for-profit corporation, being the owners of record (hereinafter collectively referred to as "RECORD OWNERS") of the property hereinafter described, and MEIJER, INC., a Michigan corporation, ("DEVELOPER"), ("RECORD OWNERS" AND "DEVELOPERS" being sometimes hereinafter referred to as "OWNERS"); and

WHEREAS, the Plan Commission has held a public hearing on said petitions in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered same; and

WHEREAS, the City of St. Charles ("CITY") and OWNERS have entered into an Annexation Agreement dated February 26, 1999 entitled "ANNEXATION

AGREEMENT (MEIJER/DGT PARTNERSHIP)” (hereinafter, the “Annexation Agreement”);  
and

WHEREAS, the City Council of the City of St. Charles hereby makes the following findings:

1. **That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The proposed development will provide a land use that conforms with the Comprehensive Plan and that is compatible with surrounding present and future uses as well as the trend of development in the area. Appropriate design and operation will ensure that the development does not generate pollution, foster crime, or otherwise produce a detrimental impact on the community. Meijer as a company has extensive experience in developing and operating this type of store, and no evidence was presented that indicates any problems associated with their stores in other locations.

2. **That the special use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purpose already permitted, nor substantially diminish or impair property values within the neighborhood.**

The property in the vicinity is characterized by retail development, vacant land and public and semi-public uses that will be complemented by the proposed development. The Special Use for a PUD will provide appropriate site plan review to ensure compatibility. The addition of a major grocery/retail establishment that tends to draw customers from a wide area should help to revitalize nearby locations that are in decline, such as the St. Charles Mall

3. **That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The plans submitted with the Special Use include an orderly approach to developing the site that includes coordination of road access and utility services with potential future development on adjoining land. For example, development of the land immediately south of the site will be aided by providing access roads between Bricher Road and the site, as well as improvements to Bricher Road. The land use is compatible with the uses anticipated in the St. Charles and Geneva Comprehensive Plans, and contemplated in annexation agreements for various nearby and adjoining West Gateway and Fisher Farms properties.

4. **That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Water, sanitary sewer, drainage, and electric service will all be provided in accordance with the City's ordinances and standards. While a determination needs to be made as to whether a permanent connection to the west side wastewater treatment facility will be made now or later, either alternative will provide adequate facilities.

5. **That adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in public streets.**

The traffic study indicates that the proposed development will not reduce levels of service for the adjacent roadways if the recommended improvements are provided. Approval will be required from the Illinois Department of Transportation and Kane County, and a series of preliminary meetings indicates that these approvals are probable if the recommended improvements are provided.

6. **That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission.**

The Planned Unit Development will conform to all the applicable regulations of the underlying zoning district except the requested variances.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:**

SECTION 1. That Section 17.02.180 of Title 17 of the St. Charles Municipal Code, as amended, and as set forth in the Zoning District Map as described therein and on file in the Office of the City Clerk, is hereby amended by rezoning that part of the Real Estate described in Exhibit "T" hereto from the E-1 Estate Residence District to the B-3 General Business District, and by the granting of a Special Use as a Planned Unit Development for the entire Real Estate (as described in Exhibits "T" and "II" hereto), pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended,

all of the Real Estate being subject to the additional conditions, variations and restrictions hereinafter set forth.

SECTION 2. That the Real Estate may be developed only in accordance with all ordinances of the CITY as now in effect or hereafter amended (except as specifically varied herein or as otherwise provided in the Annexation Agreement), and in accordance with the additional procedures, definitions, uses, and restrictions contained herein and set forth in Exhibit "III", all as attached hereto and made a part hereof, which shall survive the expiration of the Annexation Agreement.

A. PERMITTED AND SPECIAL USES AND ZONING REQUIREMENTS:

The provisions of the B-3 General Business District in Chapter 17.28 of the St. Charles Zoning Ordinance in effect as of February 15, 1999 attached hereto as Exhibit "IV", shall apply to the development and use of the Real Estate, except as specifically provided herein and in Exhibit "III" attached hereto.

B. RESTORATION AND MAINTENANCE

OWNERS shall repair and replace, in accordance with their original sizes, standards and topography, in a manner reasonably satisfactory to the CITY, all CITY property damaged or disturbed by the development of the Real Estate. The OWNERS and DEVELOPERS shall maintain streets within the Real Estate in an acceptable condition and shall be responsible for snow removal until City Council acceptance of all but the surface course of such streets. At all times during construction the OWNERS shall be responsible for removal of construction debris and waste related to the development of the Real Estate.

C. LANDSCAPING

Landscaping shall be installed within the Real Estate in accordance with the approved preliminary plan. OWNERS shall submit a final landscape plan for any portions of the Real Estate for which a landscape plan was not approved as part of the Preliminary Plan. Such submittal shall be made prior to approval of a final plat encompassing such portions of the Real Estate, and shall be reviewed in the same manner as the preliminary plan.

Landscaping for a phase or subphase of the development of the Real Estate shall be completed prior to the occupancy of any structure for that phase or subphase. However, if conditions beyond the control of the owner of the phase or subphase prohibit the installation of the landscaping prior to a request of occupancy of a structure, a conditional certificate of occupancy may be issued for a period not to exceed six months. If the landscaping is not completed as of the expiration of a conditional certificate of occupancy, the Building Commissioner shall not be required to issue a final certificate of occupancy or any additional conditional certificates of occupancy, but may do so in his discretion as governed by the St. Charles Municipal Code; if the Building Commissioner does not issue any additional conditional certificates of occupancy, continued occupancy shall be considered a violation of this Ordinance. Provided, however, landscaping need not be completed prior to the occupancy of a model home or sales facility.

D. MISCELLANEOUS

Provisions of the Annexation Agreement set forth in Exhibit "V" attached hereto are incorporated herein by reference as if fully set forth herein, and shall survive the expiration of the Annexation Agreement. The zoning classifications, special use for planned unit development, variations and other zoning rights and authorities granted under this Ordinance shall survive the

expiration of the Annexation Agreement and shall run to the benefit of the Real Estate until hereafter amended, modified, abrogated or reclassified pursuant to ordinance duly adopted by the CITY pursuant to application of the legal owner of the affected portion of the Real Estate.

SECTION 3. That this ordinance shall become effective from and after its passage and approval in accordance with law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of April, 1999.

PASSED by the City Council of the City of ST. Charles, Kane and DuPage Counties, Illinois this 19th day of April, 1999.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of April, 1999.

Susan A. Klink  
Mayor

ATTEST:

Kristie C. Nepeur  
City Clerk

COUNCIL VOTE:

AYES:	<u>11</u>
NAYS:	<u>0</u>
ABSENT:	<u>0</u>
Abstain:	<u>1</u>



**EXHIBIT "I"**

**FIRSTAR BANK ILLINOIS AS TRUSTEE  
UNDER LAND TRUST NO. 2640/DGT PARTNERSHIP  
(as part of the Meijer, Inc. development)**

**LEGAL DESCRIPTION**

That part of the Southeast Quarter of Section 32, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southwest corner of said Southeast Quarter; thence northerly along the west line of said Quarter 1,068.54 feet; thence easterly parallel with the south line of said Quarter 2,638.88 feet to the center line of Randall Road for a point of beginning; thence southerly along said center line being a curve to the right having a radius of 9544.38 feet, 258.98 feet; thence southerly along said center line tangent to the last described curve at the last described point 241.0 feet; thence westerly parallel with said south line 1227.96 feet; thence northerly along a line forming an angle of 89° 59' 41" with the last described course (measured counter-clockwise therefrom) 496.63 feet to a line drawn parallel with said south line from the point of beginning; thence easterly parallel with said south line 1285.51 feet to the point of beginning, in the City of St. Charles, Kane County, Illinois and containing 14.341 acres.

**EXHIBIT "II"**

**KANE COUNTY FAIR ASSOCIATION PROPERTY  
(as part of the Meijer, Inc. development)**

**LEGAL DESCRIPTION**

That part of the Southeast Quarter of Section 32, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southwest corner of said Southeast Quarter; thence northerly along the west line of said Quarter 1068.54 feet for a point of beginning; thence continuing northerly along said west line 993.14 feet to a line drawn parallel with and 60.0 feet southerly of the center line (measured at right angles thereto) of Illinois State Route No. 38 (Federal Aid Route No. 7); thence easterly parallel with said center line 507.88 feet; thence easterly concentric with and 60.0 feet southerly of said center line, being a curve to the right having a radius of 3448.02 feet tangent to the last described course, 2003.13 feet; thence southeasterly parallel with and 60.0 feet southwesterly of said center line, tangent to the last described curve at the last described point, 87.27 feet to a point that is 160.0 feet westerly of the center line of Randall Road (measured radially thereto), said point being also the northwest corner of Parcel 0006 acquired by the Department of Transportation of the State of Illinois through proceedings of the Circuit Court of the 16<sup>th</sup> Judicial Circuit in Kane County and known as Case No. ED KA 93 0006; thence southerly along the westerly line of said parcel, concentric with the center line of said Randall Road and being a curve to the right having a radius of 9389.34 feet, 439.72 feet to a line drawn parallel with the south line of said Quarter from the point of beginning; thence westerly parallel with said south line 2478.14 feet to the point of beginning, in the City of St. Charles, Kane County, Illinois and containing 49.512 acres.

EXHIBIT III

**DEVELOPMENT STANDARDS AND DESIGN CRITERIA  
MEIJER PUD**

- A. Additional Permitted Uses on the Meijer Store Parcel:
1. Outdoor Sales Area (as shown on the Preliminary Plan)
  2. Automobile Service Station (one only, as shown on the Preliminary Plan)
  3. Drive-in Pharmacy (as shown on the Preliminary Plan)
- B. A twenty-five foot (25') parking lot setback and a fifty foot (50') building setback shall be required from the Rt. 38/Lincoln Highway right of way.
- C. Eleven signs shall be permitted on the Meijer Store parcel, in accordance with the attached schedule.
- D. Outlots shall be generally developed in concurrence with the overall theme of the Meijer Store.

SCHEDULE "A"

MEIJER

SIGNAGE SUMMARY

Randall Road and Lincoln Highway (SR. 38)

St. Charles, Illinois

TYPE	ID	LOGO	NO. SIGNS EACH	TOTAL SQ. FT.
Wall Mounted Logo w/Fresh	GF-4	Meijer, Fresh	1	414
Routed Welcome	DS2000.1	Welcome	1	12
Routed Pharmacy Drive Thru	DS2000.2	Pharmacy Drive Thru	1	33
Routed Pharmacy	DS2000.3	Pharmacy	1	33
Routed Garden Center	DS2000.4	Garden Center	1	19
Total Mounted on Main Store				511

Monument Sign	GP-2	Meijer, 24 Hours	2	58	116
Total Monument					116

Gas Station Multiple Canopy Logos	GS-4.1	Meijer	3	20	60
Total Mounted on Gas Station Canopy					60

Gas Station Monument Price Cabinet w/o Logo	GS-5	Type of Gas/Price	1	69	69
Total Free Standing					69

Total Sign Area					756 sq. ft.
-----------------	--	--	--	--	-------------

EXHIBIT "IV"

**B-3 SERVICE BUSINESS DISTRICT**

Chapter 17.28

**B-3 SERVICE BUSINESS DISTRICT**

Sections:

17.28.010	General conditions.
17.28.020	Permitted Uses.
17.28.030	Special uses.
17.28.040	Floor area ratio.
17.28.050	Yards.
17.28.060	Signs.
17.28.070	Off-street loading.
17.28.080	Off-street parking.

**17.28.010 General conditions.**

Dwelling units and lodging rooms, other than those in a transient hotel or motel, funeral establishments or funeral parlors, are not permitted; provided, that, if the conditions herein stated are met, one dwelling (on the second story above ground level) of any building existing on January 1, 1964, and which was originally designed and built as a single-family dwelling, subject to the conditions that:

- A. Yards shall be provided in accordance with the requirements for R4 general residence districts set out in Chapter 17.16; and
- B. Off-street parking shall be provided to satisfy the minimum requirements of Chapter 17.38 for both business and the residence uses.

(Ord. 1972-Z-46(A); Ord. 1966-22; Ord. 1964-11(part); Ord. 1963-2(part); Ord. 1960-16 § VIII(E)(1).)

**17.28.020 Permitted uses.**

Permitted uses in a B3 district shall be as follows:

1. Uses permitted in the B2 district, except uses designated in Chapter 17.24 with an asterisk, may be located on the first story, nearer than fifty feet of a street;
2. Amusement establishments, including bowling alleys, pool halls, dancehalls, gymnasiums, swimming pools and skating rinks;
3. Auction rooms;
4. Automobile accessory stores;
5. Automotive vehicle and automotive equipment sales;
6. Blueprinting and photocopying establishments;
7. Building material sales, with accessory outside storage, provided outside storage does not exceed sixteen feet in height;
8. Caskets and casket supplies;
9. Catering establishments;
10. Clothing establishments;
11. Clubs and lodges, private, fraternal, or religious;
12. Contractors' and construction offices;
13. Dry-cleaning establishments, retail, employing not more than five persons;
14. Employment agencies;
15. Exterminating shops;
16. Feed stores;
17. Fire stations;

## B-3 SERVICE BUSINESS DISTRICT

18. Frozen food shops, including locker rental in conjunction therewith;
  19. Fuel and ice sales, retail only;
  20. Job printing shops, using presses having beds of not more than fourteen inches and twenty inches;
  21. Landscape contractors;
  22. Libraries;
  23. Machinery and equipment sales, but not including service, repair, or reconditioning and storage of all machinery shall be within enclosed buildings;
  24. Mail order houses;
  25. Meat markets, including the sale of meat and meat products to restaurants, motels, clubs and other similar establishments when conducted as part of the retail business on the premises;
  26. Meeting halls;
  27. Monument sales;
  28. Motels;
  29. Nurseries;
  30. Orthopedic and medical appliance stores, but not including the assembly or manufacture of such articles;
  31. Parking lots and storage garages (automobile);
  32. Pet shops;
  33. Police stations;
  34. Plumbing showrooms and shops;
  35. Radio and television service and repair shops;
  36. Recording studios;
  37. Recreational buildings, community centers, and meeting halls;
  38. Restaurants, including live entertainment and dancing;
  39. Schools, commercial or trade, not involving any danger of fire, explosion, nor of offensive noise, vibration, smoke, dust, odor, glare, heat, or other objectionable influences;
  40. Secondhand stores and rummage shops;
  41. Signs as regulated in this chapter;
  42. Taxidermists;
  43. Telephone exchanges and telephone transmission equipment buildings and electric distribution centers;
  44. Typewriter and adding machine sales and service establishments;
  45. Undertaking establishments and funeral parlors;
  46. Accessory uses to the permitted uses listed above in this section;
  47. Vehicle Service Facilities.
  48. Other accessory uses: Communication antennas.
- (Ord. 1996-Z-12 § 13; Ord. 1993-Z-19 § 4; Ord. 1986-Z-4; Ord. 1972-Z-56 § 2; Ord. 1972-Z-46(A); Ord. 1966-33 § 1; Ord. 1960-18 § VIII(E)(2).)

### 17.28.030 Special uses.

Special uses in a B3 district shall be as follows:

- A. Special uses allowed in the B2 district, except such as are permitted in the B3 district;
- B. Animal hospitals;
- C. Automobile laundries;
- D. Dog kennels;
- E. Open-sales lots;
- F. Other service business uses, including coin-operated dry-cleaning establishments;

## B-3 SERVICE BUSINESS DISTRICT

- G. Outdoor amusement establishments, including golf driving ranges, miniature golf courses, par-three golf courses, kiddie parks, and other similar amusement centers and places of amusement such as stadiums;
- H. Fairgrounds, including the location of the annual Kane County Fair and other activities that are permissible pursuant to the not-for-profit incorporation charter of the Kane County Fair, an Illinois not-for-profit corporation;
- I. Warehouse for retail sales establishment and its sales facilities, provided the warehouse and any storage area does not exceed two hundred percent of the floor area for the retail sales establishment to which it is appended.
- J. Communication towers.  
(Ord. 1996-Z-12 § 13; Ord. 1981-Z-3 § 1; Ord. 1975-Z-8 § 1; Ord. 1972-Z-46(A); Ord. 1961-29; Ord. 1960-16 § VIII(E)(3).)

### 17.28.040 Floor area ratio.

The floor area ratio in a B3 district shall not exceed 1.3. (Ord. 1972-Z-46(A); Ord. 1960-16 § VIII(E)(4).)

### 17.28.050 Yards.

Yard requirements in a B3 district shall be as in a B2 district. (Ord. 1972-Z-46(A); Ord. 1960-16 § VIII(E)(5).)

### 17.28.060 Signs.

Sign requirements in a B3 district shall be as in a B2 district. (Ord. 1972-Z-46(A); Ord. 1960-16 § VIII(E)(6).)

### 17.28.070 Off-street loading.

Off-street loading requirements in a B3 district shall be as follows: loading berths in accordance with provisions set forth in Chapter 17.38. (Ord. 1972-Z-46(A); Ord. 1960-16 § VIII(E)(7).)

### 17.28.080 Off-street parking.

Parking spaces shall be required in a B3 district in accordance with provisions set forth in Chapter 17.38. (Ord. 1972-Z-46(A); Ord. 1960-16 § VIII(E)(8).)

**EXHIBIT V**

**Provisions of Annexation Agreement  
to be Incorporated into the PUD Ordinance**

Articles VI, VII, X, XII, XIII, XIV, XV, XVI, XVIII, XIX, XXI, XXIX, and XXX.



**ARTICLE IV  
EFFECTIVE DATE**

This Agreement shall become effective one day after the deed or deeds transferring fee simple title to all of the Real Estate to Developer have been recorded with the Kane County Recorder of Deeds.

**ARTICLE V  
ANNEXATION OF THE REAL ESTATE**

RECORD OWNERS have heretofore made application to the CITY, with consent of DEVELOPER, for annexation of the unincorporated portion of the Real Estate legally described on Exhibit "A" attached hereto and made a part hereof. At the next City Council Meeting after the effective date of this Agreement, but in no event later than thirty (30) calendar days following the effective date of this Agreement, the CITY shall do all things necessary or appropriate to cause all of the unincorporated portion of the Real Estate to be validly annexed to the CITY, including specifically, the enactment of an ordinance annexing all of the unincorporated portion of the Real Estate to the CITY. At part of the foregoing commitment, the CITY shall notify all entities or persons of such annexation and promptly record (at OWNERS' expense) all ordinances, plats and affidavits necessary to effect said annexation, in accordance with all statutory requirements.

**ARTICLE VI  
ZONING OF THE REAL ESTATE**

At the next City Council Meeting after the effective date of this Agreement but in no event later than thirty (30) calendar days following the effective date of this Agreement, the CITY shall approve an ordinance zoning the property legally described on Exhibit "A" as B-3 Service Business District (Chapter 17.28) and concurrently shall pass an Ordinance granting for the benefit of the Real Estate (the property heretofore legally described on Exhibit "A" and Exhibit "B") a Special Use as a Planned Unit Development, all as set forth herein and in the provisions of Exhibit "C" attached hereto and made a part hereof, entitled "An Ordinance Granting a Special Use as a Planned Unit Development (Meijer, Inc./DGT Partnership)" (sometimes

hereinafter, the "PUD Ordinance"). The Real Estate shall be developed and used only in accordance with the provisions hereof, of the PUD Ordinance, of applicable statutes and ordinances (except as modified by the PUD Ordinance and/or this Agreement), and of the additional conditions, restrictions and variations as set forth in Exhibit "D" attached hereto and made a part hereof.

## ARTICLE VII PRELIMINARY PLAN APPROVAL

OWNERS and CITY agree and acknowledge that the Preliminary Plan attached hereto as part of Exhibit "E" includes a preliminary plan of the site layout, and building elevations and that references to said Preliminary Plan in this Agreement include only the Preliminary Plan specifically included in Exhibit "E." OWNERS agree and acknowledge that additional plans (including but not limited to preliminary engineering and landscaping) are required to complete the Preliminary Plan for the Real Estate. CITY shall adopt the Resolution attached hereto as Exhibit "E" approving the Preliminary Plan attached thereto at the next City Council meeting after the effective date of this Agreement, but in no event more than thirty (30) calendar days following the effective date of this Agreement. The remainder of the Preliminary Plan shall be submitted by OWNERS and shall be subject to review by the City Staff and approval of the City Council and further review by the Plan Commission shall not be required.

## ARTICLE VIII AMENDMENTS

- A. OWNERS shall have the right to apply for an Amendment(s) to this Agreement.
- B. OWNERS approve of and agree to abide by all of the provisions of the PUD Ordinance. During the term of this Agreement, unless amended by the CITY at OWNERS' request, the Special Use and Zoning for the Real Estate established pursuant to the PUD Ordinance shall remain in full force and effect. The Special Use to be granted by the PUD Ordinance, in the form hereby approved by CITY and OWNERS, shall not lapse or expire at any time or upon the occurrence of any event or upon the failure of any event to occur.

Code shall not exceed the amounts in effect as of the effective date hereof with respect to the first two principal buildings constructed within the Real Estate only. Building permit and inspection fees shall be paid at the time of issuance of a building permit, as provided by the Title 15 of the St. Charles Municipal Code; provided, however, that CITY may charge a reinspection fee as provided by said Title 15, payment of which shall be due prior to the issuance of a Certificate of Occupancy. After December 31, 2001, the building permit fees applicable to the Real Estate shall be as established by ordinances of general applicability.

C. **Other Fees:** Other than the requirements specifically set forth in this Agreement, CITY shall not require OWNERS to pay any impact fee, charge, or donation.

#### ARTICLE X ELECTRIC SERVICE

OWNERS hereby agree to comply with the CITY'S electric utility ordinances of general applicability in effect as of the date of application for service. OWNERS agree to pay any current or future electrical connection charges or fees which are in force and effect at the time of connection on a basis equivalent to that imposed on other similar users in the CITY. OWNERS hereby waive all causes of action against the CITY, its officials, officers and employees and agents, and the City of St. Charles Electric Utility, its officials, officers and employees and agents challenging the validity of Sections 13.08.010 through 13.08.150 of the St. Charles Municipal Code currently in effect. The Real Estate and all parts thereof shall be serviced by the City of St. Charles Electric Utility. If the City approves a lower negotiated rate (or user fee) for a similar commercial user (defined as a supermarket/grocery store in excess of 50,000 gross square feet and/or a general merchandise, department, or discount department store in excess of 80,000 gross square feet), OWNERS shall then have the right to apply for and receive the same lower rate (or user fee). OWNERS hereby agree to accept electric services from the City of St. Charles Electric Utility, only, unless specifically otherwise authorized by the City.

The CITY shall not be held responsible for any loss or damage including consequential damage, or delay in installation to the extent caused by strikes, riots, elements, embargoes, failure of carriers, inability to obtain material, or other acts of God, or any other cause beyond CITY'S reasonable control.

It is agreed that the CITY is not liable or responsible for any restrictions on CITY'S obligations under this Agreement that may be required or imposed by any other governmental bodies or agencies having jurisdiction over the Real Estate, CITY, or OWNERS including, but not limited to, County, State and Federal regulatory bodies. The CITY has not received notice regarding any such restrictions except for the Consent Order outstanding with respect to the westside (IYC) wastewater treatment facility.

## ARTICLE XII LAND IMPROVEMENTS

OWNERS shall pay for and be responsible for the design, engineering, construction engineering, permits and installation of Land Improvements specifically identified in this Article and all onsite Land Improvements (as defined in Section 16.08.150 of the St. Charles Municipal Code) necessary (as determined in accordance with the CITY'S ordinances of general applicability, or if not so addressed, in accordance with normal and customary Civil Engineering standards, as reasonably required by the CITY) for the phase of the Real Estate being developed, and for all offsite Land Improvements related to such phase, except to the extent CITY assumes responsibility for such Land Improvements hereunder. OWNERS' obligation to install both onsite or offsite improvements for which the OWNER is responsible shall be secured by a cash bond or bonds, surety or Irrevocable Letters of Credit (as OWNERS shall choose) in such form and drawn on such company or financial institution as may be deemed acceptable to the City.

Land Improvements shall include but not be limited to the following:

**A. Water Main:**

1) Construction of a "looped" system from the existing main on Illinois State Route 38 to the existing main within the St. Charles Commercial Center (Dominick's) development east of Randall Road.

2) Extension of water main stubs for future development.

**B. Sanitary Sewer:**

**1. Phase One:**

1) Construction of a sanitary sewer to serve the Meijer Store (including convenience store) only. The sewer shall connect to the existing sanitary sewer within the St. Charles Commercial Center (Dominick's) development east of Randall Road.

2) Construction of a wastewater holding facility to compensate for downstream system conveyance limitations during wet weather flows. The holding facility shall be designed for a minimum detention period of forty-eight (48) hours during wet weather flows or as otherwise determined to be reasonably required by the City Engineer and agreed between the CITY and OWNERS.

3) Complete and secure CITY approval of final engineering plans for the Phase Two construction noted herein to route flows to the West Side WWTP (formerly IYC).

4) OWNERS shall diligently pursue permits for the Phase Two extension from IDOT or the acquisition of easements.

5) Extension of sanitary sewer stubs for future development.

**2. Phase Two:**

1) Construction of a sanitary sewer to serve approximately 110.37 acres consisting of 62.83 acres to be owned by Meijer, Inc., 47.54 acres owned by DGT Partnership as sole beneficiary of Firststar Land Trust No. 2640, and property owned by the County of Kane west of the westerly property line of Meijer to connect to the existing sanitary sewer along Illinois State Route 38 west of the subject site.

2) Abandonment of the existing temporary sewer and holding facility by removal or filling with grout or other suitable fill will be as approved by the City. Phase Two construction shall commence the later of six (6) months of notice from the City that the West Side WWTP has been certified by the IEPA that it has adequate capacity to serve the subject site or upon receiving all appropriate Federal, if applicable, and State and local permits. The construction of the sanitary sewer improvements shall be subject to the recapture provisions set forth in Article XVI.

**C. Stormwater Management:** Construction of storm sewer, detention facilities and other measures to ensure no adverse impacts result from the development of the subject realty. Existing drainage watersheds shall be maintained and stormwater facilities shall be constructed to accommodate public roadway improvements required as part of this development.

**D. Roadways:** See Article XV.

**ARTICLE XIII**  
**PRELIMINARY PLAN AND ENGINEERING PLANS AND FINAL PLAT**

No Final Plat for all or any part of the Real Estate shall be required as a condition precedent to CITY approval of the Preliminary Plan. No Final Plat shall be approved prior to approval of engineering plans for the phase being developed and for any offsite improvements (for which OWNERS are responsible) related to such phase. CITY shall review and provide written approval or denial of the Final Engineering Plans for the phase being developed within thirty (30) calendar days of acknowledged date stamped receipt of the Final Engineering Plans by the CITY

No construction of Land Improvements, except excavation, mass grading, filling and soil stockpiling and erosion control measures to the extent permitted by ARTICLE XXI hereof entitled "SOIL EROSION CONTROL," shall be commenced prior to approval of engineering plans for the Land Improvements for the phase to be constructed and approval and recording of a Final Plat for such phase.

**ARTICLE XIV**  
**OFFSITE AND ONSITE EASEMENTS AND RIGHTS-OF-WAY**

A. **Offsite Easements and Eminent Domain.** OWNERS are responsible for obtaining all offsite easements and rights of possession needed for all Land Improvements. In the event OWNERS are unable to obtain such easements or rights of possession under reasonable terms and conditions, the CITY agrees to exercise its power of eminent domain at the request of OWNERS, to obtain any such title to real estate, easements and rights of possession required by the CITY, or by the OWNERS, which are reasonably acceptable to the City Council, for the installation and maintenance of onsite and offsite Land Improvements to service any portion of the Real Estate, provided, however, that the OWNERS shall pay all costs, expenses, judgments, and settlements including reasonable attorneys fees of the CITY arising out of or in connection therewith. CITY shall provide all necessary easements, approvals, licenses and permits over, under and upon real estate which it owns or over such real estate as it has the right to grant such easements, approvals, licenses or permits, to the extent they are necessary or appropriate for the installation of Land Improvements to service any portion of the Real Estate; provided, however,

all costs and expenses therefor shall be paid by OWNERS. CITY shall from time to time provide an estimate for all such costs, expenses, judgments, and settlements including reasonable attorney's fees. Upon CITY'S request, security for payment (in the form of a letter of credit or cash deposit, as designated by OWNERS) shall be submitted to and approved by the CITY prior to CITY incurring such expense. The form, amount, and provider of such letter of credit and amount of such cash deposit shall be subject to review and approval by the City Council. Payment to or for CITY for all such costs, expenses including attorneys' fees, judgments and settlements shall be made within thirty (30) calendar days after OWNERS' receipt of an invoice therefor accompanied by documents providing reasonable evidence in support thereof. Further, in the event payment is not timely made, CITY may discontinue any action on behalf of OWNERS, and may refuse to issue any permits requested by OWNERS. CITY and OWNERS agree that as of the date of this Agreement they have no knowledge of any offsite easements or rights of possession required for the installation of the Land Improvements for the development of the Real Estate with the exception of the following:

1. A possible easement for a sanitary sewer line and a water line across a portion of certain property currently owned by Shodeen, Inc., or other Shodeen entity, located at or near the southeastern corner of the intersection of Randall Road and State Route 38.

2. Existing prescriptive dedication of Bricher Road east and west of Randall Road and any additional right-of-way or easements required to accommodate the proposed Bricher Road improvements required in Article XV hereof.

3. Ingress and egress south from the southerly property line of the Real Estate to Bricher Road across property beneficially owned by the DGT Partnership, subject to permitting by all appropriate regulatory agencies or municipalities.

4. Possible additional right-of-way dedication and/or grants of easements at the southeast, northwest and northeast corner of the intersection of



Randall Road and Illinois State Route 38 (Lincoln Highway) to accommodate the road improvements as required in Article XV hereof or as may be required by IDOT or KCDOT.

B. **Onsite Easements.** An easement or easements over, under and upon that portion of the Real Estate approximately in the easement area(s) shown on the Preliminary Plat for access for emergency vehicles and for access for maintenance, repair, replacement and customary servicing of all electrical lines, sanitary sewer, storm sewer and drainage areas, stormwater detention and retention areas, and water main systems, telephone lines, natural gas supply systems, communication facilities and other utilities and private streets, shall be granted at the CITY'S request on all Final Plats (or by separate instrument or instruments as OWNERS may designate) in favor of the CITY and all of the involved utility and communications companies, now or in the future receiving a CITY franchise, together with related emergency and service vehicles and equipment in locations consistent with the facilities as identified on the Final Engineering plans (which easement or easements shall be **subject** to restrictions reasonably required by DEVELOPER to protect the safety of public and **business** invitees, customers and employees while on the Real Estate and to assure the safe and continuous operation of, and full unobstructed access to, business establishments located thereon.) In addition to platted easements or grants of easements, OWNERS shall grant a **twenty (20)** foot electrical and communication easement lying **ten (10)** feet on either side of **installed** and future underground cable and equipment in a location or locations acceptable to Meijer, Inc.

#### **ARTICLE XV OFFSITE ROADWAY IMPROVEMENTS**

A. As part of the required Land Improvements, OWNERS shall dedicate or obtain right-of-way for, and shall be responsible for the design and construction of improvements to the streets, roads, highways and sidewalks located adjacent to or in the immediate vicinity of the Real Estate as generally shown on the Preliminary Plan and as described in Exhibit "G" attached hereto and made a part hereof.

B. OWNERS and CITY acknowledge that improvements to Randall Road and Route 38 as described herein will be required by the Kane County Division of Transportation (KCDOT) and the Illinois Department of Transportation (IDOT) as a condition of access from the Real Estate to Randall Road and Route 38. OWNERS and CITY agree that these improvements will facilitate the development of the Real Estate, will provide a benefit to the public beyond that derived by the Real Estate, and will support future access needs for the development of nearby property. OWNERS acknowledge that the provisions of the Prevailing Wage Act (820 ILCS 130) are applicable to the agreement. In consideration of the foregoing, the CITY agrees to contribute a portion of the cost of design and installation of the Randall Road and Route 38 improvements as described in Exhibit "G" according to the following schedule:

1. If the principal Meijer store shown on the Preliminary Plan is opened to the public for business on or before November 30, 2000, the CITY shall contribute forty percent (40%) of the cost of design and installation of the road improvements described in Exhibit "G" attached hereto and made a part hereof, up to a maximum of \$480,000.00.

2. If the principal Meijer store shown on the Preliminary Plan is opened to the public for business after November 30, 2000, the CITY shall contribute twenty-five percent (25%) of the cost of design and installation of the road improvements described in Exhibit "G" attached hereto and made a part hereof, up to a maximum of \$300,000.00.

C. The CITY shall have no obligation for the contribution described above unless and until the principal Meijer store shown on the Preliminary Plan is constructed and opened to the public. The CITY'S contribution for road improvements shall be paid to OWNERS in four (4) equal annual installments, at OWNERS' option, in the form of sales tax rebates or direct payment from the CITY. The first installment shall be due within thirty (30) days following the CITY'S receipt of an invoice therefor accompanied by documents evidencing that the improvements are substantially complete, that KCDOT and/or IDOT has approved the work, and that the work has been paid for as evidenced by final lien waivers. OWNERS shall invoice

CITY annually for the remaining payments which shall be due within thirty (30) days following receipt of such invoices.

D. OWNERS shall enter into:

1. A Signalization Agreement substantially in the form attached hereto as Exhibit "H" prior to recording a Final Plat for any phase of the Real Estate; and

2. Such Agreement for energy charges, maintenance, modernization and reconstruction of the proposed Route 38 traffic signal improvements as shall generally be used by IDOT for similar intersections, and as reasonably acceptable to the CITY, at the time of installation or as otherwise required by IDOT.

#### **ARTICLE XVI REIMBURSEMENT/RECAPTURE AGREEMENTS**

If any of the Land Improvements shown or referred to on the Preliminary Plan in the opinion of the corporate authorities of the CITY may be used for the benefit of property other than the Real Estate, then in accordance with Chapter 65, Paragraph 5/9-5-1 et seq. of the Illinois Compiled Statutes, 1996, as amended, the CITY shall (to the extent permitted by law) enter into agreements for reimbursement to OWNERS for a portion of the cost of such Land Improvements. Such agreements shall be substantially in the form attached hereto and made a part hereof as Exhibits "I-1 thru I-4." OWNERS hereby agree that if they are reimbursed by virtue of any existing or future reimbursement agreements (e.g. Fisher Farms, et al.), then OWNERS shall reimburse CITY on a proportional basis depending on CITY'S level of contribution as set forth in Article XV (B) hereof.

#### ~~**ARTICLE XVII BUILDING CODE**~~

~~If at any time during the term of this Agreement the provisions of Title 15 of the St. Charles Municipal Code, except those provisions establishing building permit and related fees, which shall~~

apply as provided in Article IX hereof, shall be amended or modified in any manner to impose more stringent requirements or provisions relating to the development of the Real Estate than currently exists under the provisions of Title 15, then such more stringent requirements or provisions shall not apply to the development of the Real Estate until after December 31, 2000.

### **ARTICLE XVIII BUILDING PERMIT ISSUANCE**

No building permit shall be issued for construction of any structure within the Real Estate until after the Final Engineering Plans and a Final Plat have been approved and a Final Plat has been recorded for the phase in which the building permit or permits are requested. No building permit shall be issued prior to the time that a means of emergency and inspection access and a partial water supply system acceptable to the Building Commissioner, Director of Public Works and the Fire Chief has been provided by OWNERS.

Completion of streets, sanitary sewer and water facilities shall not be required prior to issuance of a building permit. Erosion control and storm water control facilities shall be completed, to the extent necessary to ensure that no proposed construction will have an adverse impact on upstream or downstream properties, prior to the commencement of construction of any building structures permitted under any building permits. The City Engineer shall determine whether erosion control and stormwater control facilities are adequate to meet the standards set forth herein.

### **ARTICLE XIX COMPLETION OF IMPROVEMENTS PRIOR TO OCCUPANCY**

No Certificate of Occupancy shall be issued for any building within the phase of the Real Estate being developed until after City Council approval or acceptance of the Land Improvements related to such phase and of the related offsite improvements necessary to service such phase. However, depending on weather conditions, required landscaping, sodding, seeding, and the final surface course for streets and parking lots for such phase need not be completed prior to issuance of

a Certificate of Occupancy for any such building. However, these improvements shall be completed as soon as practicable, weather permitting.

**ARTICLE XX  
BUILDING AND OCCUPANCY PERMIT ADMINISTRATION**

A. Within fifteen (15) days after the filing of an application for any permit required as contemplated hereunder with respect to the Real Estate, the CITY shall notify the applicant regarding any missing or incomplete document(s) required to support such application, failing which timely notification the application shall be deemed complete. The CITY shall issue or deny such permit within thirty (30) calendar days following the later of (i) the date such application is filed; or (ii) the date any missing or incomplete documents of which applicant was timely notified are supplied or completed. If the application for such permit is denied, the CITY shall provide the applicant with a statement in writing specifying the reasons for denial, including specific reference to the code and ordinance provisions that have not been met.

B. Final inspections shall be performed as soon as possible after same are requested and City will endeavor to accomplish said inspection no later than the second (2<sup>nd</sup>) working day but in no event later than the fifth (5<sup>th</sup>) day following the request. The CITY shall issue or deny Certificates of Occupancy for any building, structure or dwelling on the Real Estate as soon as possible after final inspection, but in no event later than the second (2<sup>nd</sup>) working day following the final inspection. If the Certificate of Occupancy is denied, the CITY shall provide OWNERS with a statement in writing specifying the reasons for denial, including specific reference to the code and ordinance provisions that have not been met.

**ARTICLE XXI  
SOIL EROSION CONTROL**

OWNERS shall adhere to measures for the prevention of soil erosion during the development of the Real Estate pursuant to the ordinances of the CITY, the "Standards and Specifications for Soil Erosion and Sedimentation Control" published by the Illinois Environmental Protection Agency in 1987, as amended, the "Illinois Procedures and Standards of Urban Soil Erosion and

Sedimentation Control" published in 1988, as amended, and the recommended procedures of the Kane-DuPage Soil and Water Conservation District and any other applicable regulatory agency, whichever is more restrictive. An erosion control plan shall be submitted by OWNERS to the Director of Public Works (the "Public Works Director") and Director of Community Development (the "Development Director") with the Final Engineering Plans for each phase, and shall be subject to their review and approval. No earth moving or other construction activities shall commence prior to fulfillment of the following conditions: 1) approval of an erosion control plan by the Public Works Director and Development Director; 2) the installation of erosion control measures and field approval of those measures (as field modified at the CITY'S discretion) by the City Engineer; and 3) submittal to CITY of a cash deposit or letter of credit (as OWNERS shall choose) in form, expiration date and from an institution reasonably acceptable to the City, in the amount of one hundred fifteen percent (115%) of the engineer's estimate to level stockpiles, fill unused excavations, and restore black dirt cover and vegetation to the site, and to install erosion control measures and maintain same for a period of two (2) years; such amount shall be subject to review and approval of the City Engineer. Upon five (5) calendar days notice to OWNERS, the CITY shall have the right to stop any construction of Land Improvements, buildings and other structures if (i) the City Engineer determines that the erosion control measures shown on the approved erosion control plan and as field modified are not being adequately maintained; and (ii) OWNERS shall not have cured such inadequacies within such five (5) day period; provided, however, that if the City Engineer determines that an emergency exists such that immediate action is necessary in order to avoid substantial risk of bodily harm to members of the general public or substantial damage to public or private property, the five (5) calendar day notice shall not be required. OWNERS agree that a stop work order may be issued on such grounds against the OWNERS of the property on which the violation occurs and will not be lifted until all violations are corrected. OWNERS agree that the OWNERS shall indemnify and hold harmless the CITY from any and all losses, claims, expenses and penalties, including attorneys' fees, arising out of the CITY'S reasonable issuance of a stop work order on such grounds.

Upon submittal to and City Council approval of a cash deposit, letter of credit or other acceptable security instrument (as OWNERS shall choose) to secure OWNERS' obligation to complete the Land Improvements and other improvements required herein in connection with the approval of a Final Plat for part of the Real Estate, which includes mass grading, erosion control

installation, and maintenance, the cash deposit or letter of credit for mass grading, erosion control installation and maintenance previously deposited with the CITY for that part of the Real Estate shall be released. The substitute cash deposit, letter of credit or other security instrument shall itself be released upon completion of the Land Improvements and other improvements secured thereby.

## ARTICLE XXII LIQUOR LICENSES

A. The CITY understands that the proposed development of the Real Estate will or may include restaurants and lounges or similar facilities as well as grocery, drug, package liquor and similar stores selling packaged liquor, beer and wine, and that to offer the complete service necessary to their economic viability, each such restaurant, lounge or similar establishment will require a liquor-pouring license and each such store will require a package-liquor sales license. The CITY will issue, upon due application by OWNERS and confirmation of compliance with Chapter 5.05 of Title 5 of the St. Charles Municipal Code, at least two (2) Class B (restaurant) licenses and one (1) Class A (package liquor) license for the benefit of the Real Estate.

B. Following the annexation of the Real Estate and during the term of this Agreement, upon written request of OWNERS, CITY agrees that in the event licenses in the foregoing categories and numbers are not available for an applicant having an establishment on the Real Estate, the CITY will amend Chapter 5.08 of Title 5 of the St. Charles Municipal Code, as amended, so as to provide and allow the issuance of at least three (3) additional licenses, as provided above. The OWNERS shall not be required to attempt to acquire an existing license from another licensee as a condition to the CITY'S amendment of Chapter 5.08 as provided above.

C. It is expressly understood by the parties that, notwithstanding any other provision of this Agreement, any changes in, modifications of or amendments to said Chapter 5.08 which shall impose more restrictive requirements and regulations of general applicability on establishments serving, dispensing or selling alcoholic beverages, or operators or licensees thereof, shall be applicable to establishments situated within the Real Estate. Said Chapter 5.08, and as it may be amended from time to time, shall operate uniformly and without exception upon

**ARTICLE XXVIII**  
**NO REQUIREMENT TO DEVELOP**

The OWNERS and their successors and assigns shall not be required to develop or plat any of the Real Estate. In the event, however, that OWNERS or any of their successors and assigns develop or plat any of the Real Estate, such development and platting shall be in accordance with this Agreement.

**ARTICLE XXIX**  
**SPECIAL SERVICE AREAS**

OWNERS shall not object to the formation of and any amendment to a Special Service Area or Areas comprising the Real Estate or portion thereof for the purpose of reconstruction, repair and maintenance of storm water detention and retention facilities, surface drainage facilities, storm sewer lines, and private streets, all within the Real Estate, for a perpetual duration with a maximum rate of 0.20 % per year (\$0.20 per \$100.00) of the assessed value, as equalized, of the taxable Real Estate, excluding all taxable personal property.

**ARTICLE XXX**  
**MAINTENANCE OF PRIVATE FACILITIES**

The OWNERS shall repair and maintain at their sole expense all retention and detention basins, storm sewer lines, surface drainage facilities and private streets within the Real Estate which are not conveyed to and accepted by the CITY (herein "Private Facilities"). The Land Improvements which shall be conveyed to and accepted by the CITY shall be determined at the time of Final Plat approval as provided in Title 16 of the St. Charles Municipal Code.

In the event OWNERS fail to maintain, repair or replace the Private Facilities, the CITY shall give OWNERS written notice by hand delivery or certified mail of any such deficiency; upon receipt of such notice, OWNERS shall correct such deficiency within 60 calendar days thereafter unless the nature, extent or weather conditions for the repair, maintenance or



replacement of the storm water system prevents the OWNERS from correcting the deficiency within said time period. Under such circumstances, OWNERS shall correct such deficiency as soon as possible, using its best efforts to cause the Private Facilities to operate according to the engineering plans and specifications approved by the CITY. In the event OWNERS fail to correct any such deficiency after the CITY exhausts the procedures set forth above, then the CITY may correct such deficiencies, and may levy a Special Service Area tax to pay for the same or may cite same as a violation of City Ordinance. In the event of the conveyance or assignment of all or any part of the Real Estate to anyone other than the CITY, any such conveyance or assignment shall contain an agreement between the parties involved as to the responsibility for repair and maintenance as contemplated in this Paragraph, this being a covenant running with the land, on recording of this Agreement.

**ARTICLE XXXI  
GENERAL PROVISIONS**

A. **Recording.** This Agreement may be recorded in the Office of the Kane County Recorder of Deeds by either party; the OWNERS shall pay the recording fee.

B. **Notice.** Unless otherwise notified in writing, all notices, requests and demands shall be in writing and shall be delivered to or mailed by certified mail, return receipt requested or personally delivered with evidence of receipt, addressed as follows:

If to OWNERS:

DGT Partnership as Beneficiary of  
Firststar Trust No. LT-2640  
c/o Gerard R. Dempsey  
140 First Street  
Batavia, Illinois 60510

Kane County Fair Association  
525 South Randall Road  
St. Charles, Illinois 60174

Meijer, Inc.  
2929 Walker, NW  
Grand Rapids, Michigan 49544  
Attention: Real Estate Department & Legal Department

State of Illinois )  
 ) ss.  
Counties of Kane and DuPage )

## Certificate

I, KRISTIE A. NEPHEW, certify that I am the duly elected and acting municipal clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on April 19, 1999, the Corporate Authorities of such municipality passed and approved Ordinance No. 1999-M-24, entitled

"An Ordinance Granting a Special Use as a  
Planned Unit Development (Meijer PUD)",

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 1999-M-24, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on April 23, 1999, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 19<sup>th</sup> day of April, 1999.

  
\_\_\_\_\_  
Municipal Clerk

(S E A L)

**City of St. Charles, Illinois**

**Ordinance No. 2017-Z-11**  
**Ordinance Amending Ordinance No. 1999-M-24 to**  
**Modify the Permitted Wall Signage for Meijer,**  
**855 S. Randall Road**

**Adopted by the**  
**City Council**  
**of the**  
**City of St. Charles**  
**May 1, 2017**

Z-11

**Published in pamphlet form by**  
**authority of the City Council**  
**of the City of St. Charles,**  
**Kane and Du Page Counties,**  
**Illinois, May 9, 2017**

*Nancy Garrison*  
\_\_\_\_\_  
City Clerk

**(SEAL)**



**City of St. Charles, IL  
Ordinance No. 2017-Z-11**

**An Ordinance Amending Ordinance No. 1999-M-24 to modify the permitted wall signage for Meijer, 855 S. Randall Road**

WHEREAS, on or about March 16, 2017, Callie Robertson of Anchor Sign, Inc., (the "Applicant"), filed a petition for Special Use to amend Ordinance No. 1999-M-24 "An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)" for the real estate commonly known as 855 S. Randall Road and legally described in Exhibit "A" (the "Subject Property"), attached hereto and made part hereof, for the purpose of modifying the permitted wall signage on the Meijer building; and,

WHEREAS, Notice of Public Hearing on said petition for Special Use was published on or about March 18, 2017, in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about April 4, 2017 on said petition in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petition and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said petition on or about April 4, 2017; and,

WHEREAS, the Planning and Development Committee of the City Council recommended approval of said petition on or about April 10, 2017; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning and Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as if fully set out in this Section 1.

2. The City Council hereby finds that the amendment to the Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit "B", which is attached hereto and incorporated herein.

3. Exhibit III "Development Standards and Design Criteria – Meijer PUD" of Ordinance No. 1999-M-24 "An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)" is hereby amended as follows:

- a. "C. Fourteen (14) signs shall be permitted on the Meijer Store parcel, in accordance with the attached schedule."
- b. The Signage Summary set forth on Exhibit "C", attached hereto and incorporated herein, shall replace said "attached schedule", labeled in Exhibit III of Ordinance No. 1999-M-24 as "Schedule 'A'".

4. That the Pharmacy Drive-Up sign listed on the Signage Summary shall not be installed until construction of a Pharmacy Drive-Up on the Subject Property.

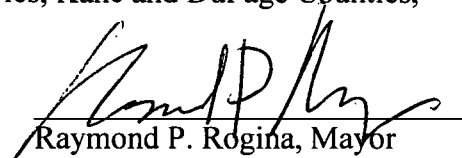
5. That the Subject Property may be developed and used only in accordance with all ordinances of the City now in effect or hereafter amended or enacted.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 1st day of May, 2017.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 1st day of May, 2017.

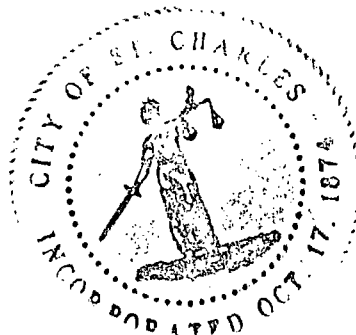
APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 1st day of May, 2017.

  
Raymond P. Rogina, Mayor

Attest:

  
Nancy Garrison, City Clerk

Vote:   
Ayes:   
Nays:   
Absent:   
Abstain:   
Date: \_\_\_\_\_



APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

DATE: \_\_\_\_\_

**EXHIBIT "A"**

**LEGAL DESCRIPTION**

LOT 1 OF RESUBDIVISION #2 OF THE RESUBDIVISION OF MEIJER #182 SUBDIVISION, BEING A RESUBDIVISION IN SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS, AS RECORDED WITH THE KANE COUNTY RECORDER'S OFFICE AS DOCUMENT NO. 2002K140590.

**EXHIBIT "B"**

**CRITERIA FOR PLANNED UNIT DEVELOPMENTS**

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
  - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
  - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
  - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
  - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
  - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
  - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
  - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The amendment of the existing Meijer PUD to include all (8) proposed signs, would help (1) promote a creative approach to the building design that allows users to understand fully every type of business which Meijer offers. The additional signage would also (6) encourage the redevelopment of the site to no longer be inappropriate, as it would make it legal to have all the current signs installed, as it seems that a portion of them were installed without the city's prior knowledge. Including all signage on the PUD would (7) encourage a collaborative process amongst Meijer, its neighbors, the government, and the community as it would support Meijer's economic growth within St. Charles by allowing it to advertise, in a non-distracting way, the businesses located within Meijer, including US Bank and Starbucks. It would also come to the aid of customers to know how to best navigate the large parking lot with signs marking entrances, different areas of the store (Starbucks, Garden Center, etc.) and eventually where to go for the Pharmacy drive-thru.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
  - A. Conforming to the requirements would inhibit creative design that serves community goals, or**
  - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements. Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**



B. Conforming to the requirements would be impractical, as the list of proposed/current signage is not excessive, it is used to clearly mark what is available and where it located within the store.

**iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The public convenience will be found in the signage alerting customers that the Meijer contains both a Starbucks and a US Bank. It also alerts them what side of the store the Garden Center is on, and where the Pharmacy Drive-thru will be.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Not applicable; only changes to permitted signage.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The Special Use will only mark the building further in a legible, yet not excessive manner. It will not diminish the use or enjoyment of other properties in the vicinity or neighborhood because it is not flashy or distracting.

**D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The establishment will not impede the normal or orderly development of the surrounding property because it will only effect the signage.

**E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The establishment will not be detrimental the general welfare of the public as it will only effect the signage.

**F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or**

**exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed PUD will conform to all existing regulation, just allow for an increased amount of signage.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The proposed PUD will be beneficial to the economic well-being of the City as it will allow customers to come to Meijer for not only groceries, which will increase business and jobs.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD conforms to the Comprehensive Plan's intent as it clearly marks the large building as to avoid confusion for its customers without being excessive in its signs.

**EXHIBIT "C"**  
**SIGNAGE SUMMARY**

<b>TYPE</b>	<b>LOGO</b>	<b>NUMBER</b>	<b>SQ. FT. of EACH</b>	<b>TOTAL SQ. FT.</b>
Wall Sign	Meijer	1	410.90	410.90
Wall Sign	Welcome	1	12.00	12.00
Wall Sign	Welcome	1	12.00	12.00
Wall Sign	Pharmacy	1	16.11	16.11
Wall Sign	Garden Center	1	19.28	19.28
Wall Sign	Pharmacy Drive Up	1	43.88	43.88
Wall Sign	Starbucks	1	16.00	16.00
Wall Sign	US Bank	1	27.00	27.00
<b>Total Mounted on Main Store</b>				<b>557.17</b>
Monument Sign	Meijer, 24 Hours	2	58	116
<b>Total Monument</b>				<b>116</b>
Gas Station Multiple Canopy Logos	Meijer	3	20	60
<b>Total Mounted on Gas Station Canopy</b>				<b>60</b>
Gas Station Monument Price Cabinet w/o Logo	Type of Gas/Price	1	69	69
<b>Total Free Standing Gas Station</b>				<b>69</b>
<b>Total Area of All Signage</b>				<b>802.17</b>

State of Illinois )  
 ) ss.  
Counties of Kane and DuPage )

## Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on May 1, 2017, the Corporate Authorities of such municipality passed and approved Ordinance No. 2017-Z-11, entitled

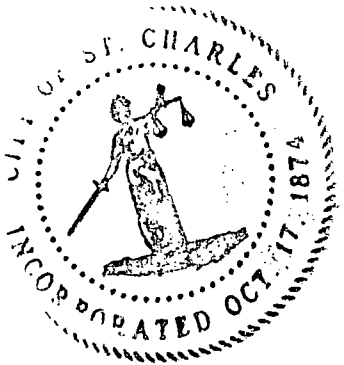
"Ordinance Amending Ordinance No. 1999-M-24 to  
Modify the Permitted Wall Signage for Meijer, 855 S.  
Randall Road"

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2017-Z- 11, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on May 9, 2017, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 1st day of May, 2017.

(SEAL)



*Nancy Garrison*  
Municipal Clerk

REFER TO:	
MINUTES	4/19/99
PAGE	-----

**RESOLUTION NO.** 1999-24

**Resolution Approving a Preliminary Plan  
for the Meijer PUD**

**BE IT RESOLVED** by the City Council of the City of St. Charles, Kane and DuPage

Counties, Illinois that elements of the preliminary plan of the Meijer PUD consisting of the following:

1. Site Plan entitled "Meijer Design Randall Road and Lincoln Highway (S.R. 38) St. Charles Illinois Preliminary Development Plan" prepared by Woolpert, Dayton, Ohio;
2. Building elevations consisting of two sheets with the notation "Elevations Scale 1/16" = 1'-0"

a reduced size copy of which is attached hereto, be and is hereby approved, subject to compliance with such conditions, corrections, and modifications to the documents described herein as may be required by the Director of Community Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code and the provisions of the Annexation Agreement by and among the CITY OF ST. CHARLES, Kane and DuPage Counties, Illinois, and FIRSTAR BANK ILLINOIS as Trustee Under the provisions of Trust No. 2640 dated December 7, 1987 and the KANE COUNTY FAIR ASSOCIATION, a general Illinois not-for-profit corporation, and MEIJER, INC., a Michigan corporation dated February 26, 1999.

**PRESENTED** to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 19th day of April, 1999.

**PASSED** by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 19th day of April, 1999.

**APPROVED** by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, this 19th day of April, 1999.

Susan L. Klunkhew  
MAYOR

ATTEST:

Kristie C. Appen  
CITY CLERK

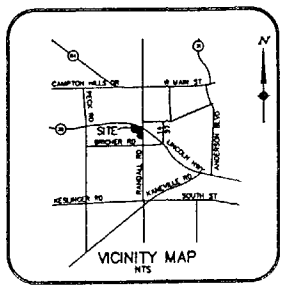
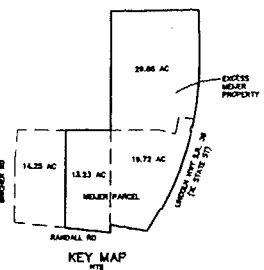
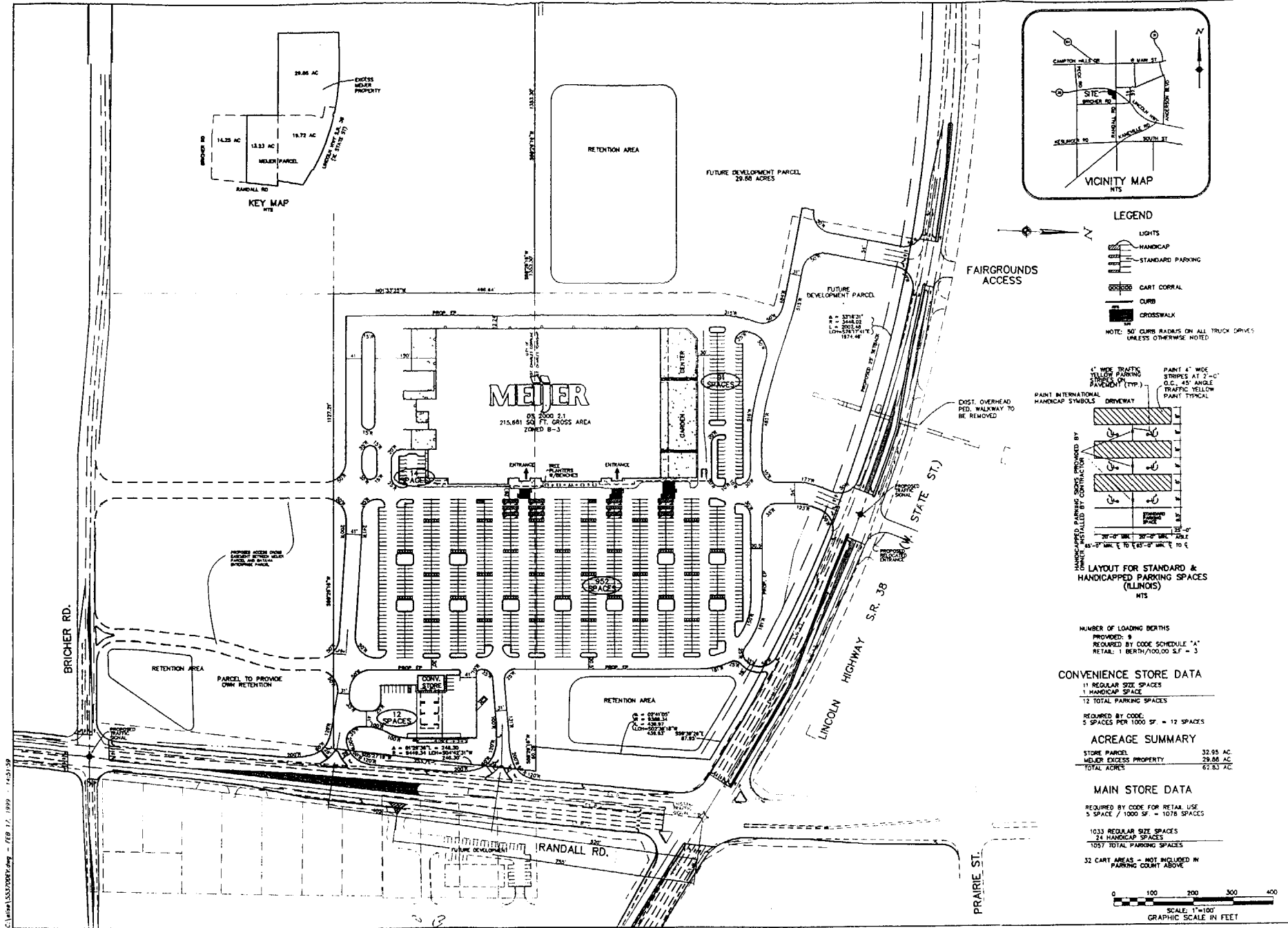
COUNCIL VOTE:

Ayes: 11

Nays: 0

Absent: 0

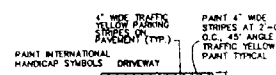
Abstain: 1



**LEGEND**

- LIGHTS
- HANDICAP
- STANDARD PARKING
- CART CORRAL
- CURB
- CROSSWALK

NOTE: 50' CURB RADIUS ON ALL TRUCK DRIVES UNLESS OTHERWISE NOTED



LAYOUT FOR STANDARD & HANDICAPPED PARKING SPACES (ILLINOIS) MTS

NUMBER OF LOADING BERTHS  
 PROVIDED: 8  
 REQUIRED BY CODE SCHEDULE "A"  
 RETAIL: 1 BERTH/100,00 S.F. = 3

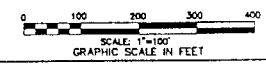
CONVENIENCE STORE DATA  
 11 REGULAR SIZE SPACES  
 1 HANDICAP SPACE  
 12 TOTAL PARKING SPACES

REQUIRED BY CODE:  
 5 SPACES PER 1000 SF. = 12 SPACES

ACREAGE SUMMARY  
 STORE PARCEL 32.95 AC  
 MEIJER EXCESS PROPERTY 29.88 AC  
 TOTAL ACRES 62.83 AC

MAIN STORE DATA  
 REQUIRED BY CODE FOR RETAIL USE  
 3 SPACE / 1000 SF. = 1078 SPACES

1033 REGULAR SIZE SPACES  
 24 HANDICAP SPACES  
 1057 TOTAL PARKING SPACES  
 32 CART AREAS - NOT INCLUDED IN PARKING COUNT ABOVE



NO.	DATE	REVISIONS
1	1/20/94	ISSUED TO CLIENT
2	2/2/94	OWNER REVIEW OF PROBLEMS FOUND
3	10/25/94	INCORPORATED PARALLEL DRIVE
4	11/15/94	ADDED ADDRESS
5	12/15/94	ADDED ADDRESS
6	12/15/94	ADDED ADDRESS

CONTRACT NO.	NA
SUBDIVISION	NA
DATE	JANIL 1994
SCALE	1"=50'
DRAWN	JOE
CHECKED	JOE
DATE	1/15/94
BY	JOE
SCALE	1"=50'

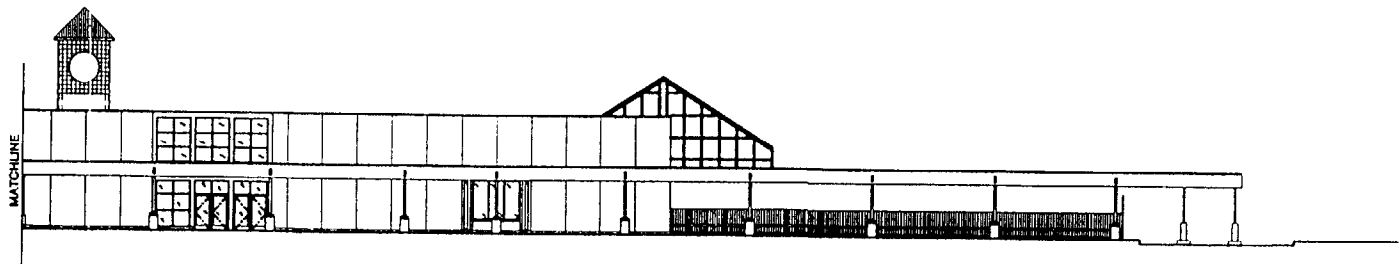
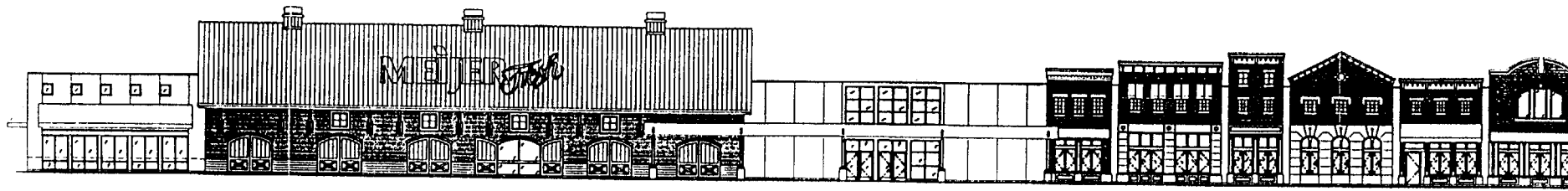
  

408 East Monument Avenue  
 Dayton, Ohio  
 45402-1261  
 937-461-5660  
 937-461-0741

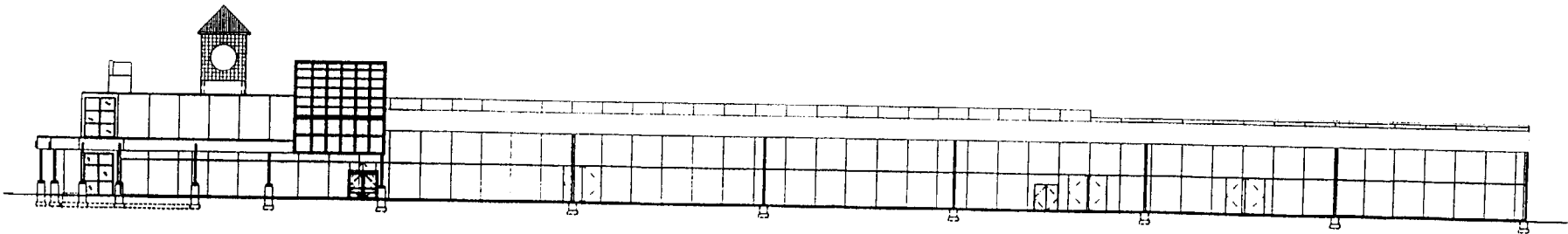
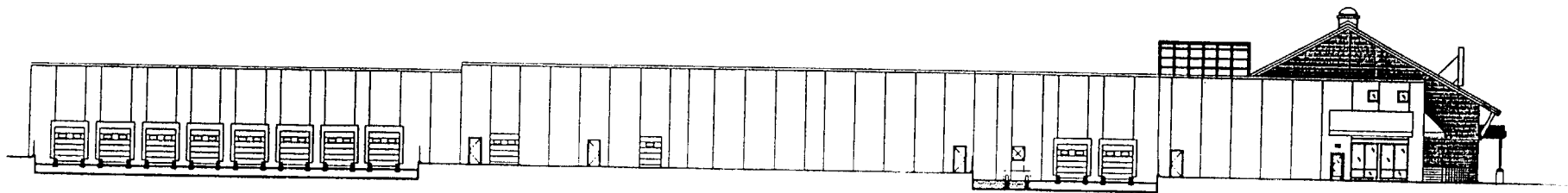
**MEIJER DESIGN**  
 RANDALL ROAD &  
 LINCOLN HIGHWAY (S.R. 38)  
 ST. CHARLES, ILLINOIS  
 (815) 453-1711

FILE NO. **RAN DP-1**

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ELEVATIONS  
SCALE 1/16" = 1'-0"

20. 20.



**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3b

Title:

Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for Meijer Outlot (Meijer PUD).

Presenter:

Ellen Johnson

Meeting: Planning & Development Committee

Date: May 14, 2018

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

**Executive Summary** (if not budgeted please explain):

A separate application for Special Use (PUD Amendment) submitted on behalf of Meijer is also on the Committee agenda for this meeting. That application requests to reduce the parking requirement for the Meijer store in order to allow a portion of the parking lot to be sold off for an outlot development.

Alrig, USA is proposing to convert the northeastern portion of the Meijer parking lot into an outlot development. The property is 2.94 acres in size.

Details of the proposal are as follows:

- Re-subdivide the Meijer lot to create a new lot for the outlot development:
  - Proposed Lot 1 – Meijer; 32.929 acres
  - Proposed Lot 2 – Outlot; 2.94 acres
- Construct three buildings on the outlot:
  - Building A – Restaurant; approx. 2,000 sf (northern building)
  - Building B – Wahlburgers Restaurant; approx. 6,000 sf (middle building)
  - Building C – Retail/Restaurant; approx. 3,000 sf retail & 2,000 sf restaurant (southern building)

The applicant is requesting a PUD amendment to amend the Meijer PUD ordinance to replace it with a new PUD ordinance for the property. A PUD Preliminary Plan for the development is also proposed.

**Plan Commission Review**

Plan Commission held a public hearing on 5/8/18 and recommended approval, subject to resolution of staff comments, by a vote of 8-0. The applicant stated the plans will be modified to address the following, in addition to outstanding staff comments:

- Additional landscaping will be added along the eastern portion of the site to further screen the drive-thru lanes.
- Vegetation around the detention pond will be cleaned up, including addressing issues with invasive species.
- Additional architectural features will be added to the rear of the buildings (facing Randall Rd.)

**Annexation Agreement Amendment**

Property within the Meijer PUD is subject to the provisions of an annexation agreement between the City and property owner, expiring in 2019. The annexation agreement will need to be amended to incorporate the proposed changes to the Meijer PUD. A public hearing to consider the annexation agreement amendment will be scheduled for the City Council meeting on June 4, pending a recommendation from Planning & Development Committee.

**Attachments** (please list):

Plan Commission Resolution, Staff Memo, Applications, Plans, PUD Ordinances

Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for Meijer Outlot (Meijer PUD), contingent upon resolution of all staff comments prior to final Council action.

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 6-2018**

**A Resolution Recommending Approval of Special Use for Planned Unit Development and PUD Preliminary Plan for Meijer Outlot Development (Alrig USA)**

**Passed by Plan Commission on May 8, 2018**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the petitions for Special Use for PUD and PUD Preliminary Plan for Meijer Outlot Development (Alrig, USA) and;

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

**i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**

The proposed PUD will preserve native vegetation, topographic and geological features, and environmentally sensitive areas by reducing the overall percent imperviousness for the proposed site. The proposed PUD will be a more efficient use of the existing site. An overflow parking lot will be converted to a mixed retail/restaurant use. A decrease in the overall percent imperviousness will lessen the burden on existing drainage ponds and structures.

**ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

The PUD preserves historic buildings, sites or neighborhoods. The proposed landscaping improvements for the PUD will be superior to the existing landscaping conditions. The PUD will provide buffering/screening from public roads. The

## Resolution 6-2018

proposed retail restaurant buildings within the PUD will offer high quality architectural design, compatible with surrounding properties. The PUD provides an efficient site design and will feature energy efficient buildings.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed development will consist of 19,716 SF of mixed retail, drive-thru restaurant, and restaurant use and will be constructed on an existing overflow parking lot for the Meijer.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Connections to existing utilities will be provided as part of the development. Proposed access drives will connect to existing drives. Drainage will be provided through existing and proposed drainage structures.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The surrounding establishments are retail and restaurant uses. The proposed development will not be injurious to the existing uses and would not impair property values within the vicinity.

**D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The proposed development will be constructed on existing overflow parking for the Meijer. Future impediments to the surrounding properties are not anticipated.

**E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The establishment, maintenance, and operations of the drive-thru restaurant will be limited to business hours. The proposed development will not be detrimental to or endanger the public health, safety, comfort or general welfare.

**Resolution 6-2018**

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

See previous section.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The proposed PUD will not impair physical development, diversity, tax base, or the economic well-being of the City.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD conforms to the existing uses within the existing PUD.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a Special Use for PUD and PUD Preliminary Plan for Meijer Outlot Development, subject to resolution of outstanding staff comments prior to City Council action.

Roll Call Vote:

Ayes: Holderfield, Schuetz, Vargulich, Purdy, Wallace, Pretz, Kessler, Pietryla

Nays:

Absent: Funke

Motion carried: 8-0

PASSED, this 8th day of May 2018.

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Chairman  
St. Charles Plan Commission

Community and Economic Development  
 Planning Division

Phone: (630) 377-4443  
 Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Ed Bessner  
 And the Members of the Planning & Development Committee

**FROM:** Ellen Johnson, Planner

**RE:** Amendment to Special Use for Planned Unit Development & PUD Preliminary Plan –  
 Meijer Outlot (Meijer PUD)

**DATE:** May 9, 2018

**I. APPLICATION INFORMATION:**

**Project Name:** Meijer Outlot

**Applicant:** Alrig, USA

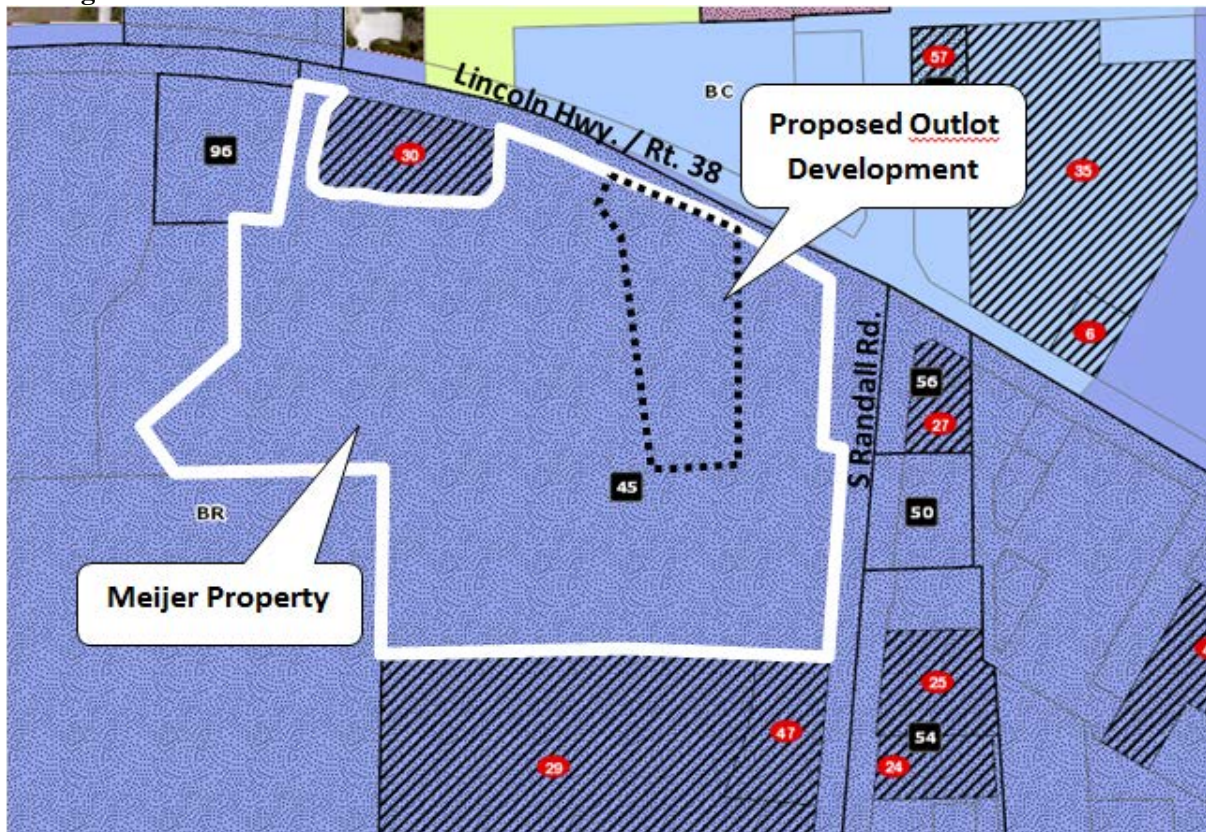
**Purpose:** Subdivide the Meijer property to create an outlot development at the northeast corner of the parking lot

<b>General Information:</b>		
<b>Site Information</b>		
Location	Portion of Meijer property, 855 S. Randall Rd.	
Acres	35.869 acres total; Proposed Outlot = 2.94 acres	
Applications	<b>Special Use (PUD Amendment) PUD Preliminary Plan</b>	
Applicable Zoning Code Sections and PUD Ordinance	Ch. 17.04 Administration Ch. 17.14 Business and Mixed Use Districts Ch. 17.24 Off-Street Parking, Loading & Access Ch. 17.26 Landscaping and Screening Title 16 Subdivisions and Land Improvement Ordinance No. 1999-M-24 “An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)”	
<b>Existing Conditions</b>		
Land Use	Commercial- Meijer store parking lot	
Zoning	BR Regional Business & PUD (Meijer PUD)	
<b>Zoning Summary</b>		
North	BC Community Business PL Public Lands	Retail strip center, Moose Lodge, Fair Grounds
East	BR Regional Business & PUD (Randall Road Commercial PUDs)	Commercial uses
South	BR Regional Business & PUD (Meijer PUD)	Lowe’s
West	BR Regional Business & PUD (Bricher Commons PUD & Metro Storage PUD)	Metro Storage facility, vacant land
<b>Comprehensive Plan Designation</b>		
Corridor/Regional Commercial		

**Aerial**



**Zoning**



## II. BACKGROUND

The subject property is a proposed 2.94 acre parcel on the Meijer property, covering the northeastern portion of the parking lot, with frontage on Lincoln Hwy.

The Meijer PUD was approved under Ordinance 1999-M-24 “An Ordinance Granting a Special Use as a Planned Unit Development (Meijer PUD)”. The PUD includes the Meijer property, including the Meijer building and adjacent parking lot, gas station, and two detention ponds, as well as the Lowe’s property and outlots for Burger King and the Bricher Crossing multi-tenant building.

An application for Special Use (PUD Amendment) submitted on behalf of Meijer is currently under consideration by the City. This application is on the Planning & Development Committee agenda as a separate item. Part of the application is a request to reduce the parking requirement for the Meijer store in order to allow a portion of the parking lot to be sold off for an outlot development.

## III. PROPOSAL

Alrig, USA is proposing to convert the northeastern portion of the Meijer parking lot into an outlot development. The applicant is also proposing to remove the subject property from the Meijer PUD and establish a new PUD.

Details of the proposal are as follows:

- Re-subdivide the Meijer lot to create a new lot for the outlot development:
  - Proposed Lot 1 – Meijer; 32.929 acres
  - Proposed Lot 2 – Outlot; 2.94 acres
- Shift the main drive aisle running along the eastern end of the Meijer parking lot to the west to create the outlot.
- Construct three buildings on the outlot:
  - Building A – Restaurant; approx. 2,000 sf (northern building)
  - Building B – Wahlburgers Restaurant; approx. 6,000 sf (middle building)
  - Building C – Retail/Restaurant; approx. 3,000 sf retail & 2,000 sf restaurant (southern building)
- The buildings face west, towards the Meijer store, with the rears facing Randall Rd.
- Access to the outlot development from existing access points off Randall Rd. and Lincoln Hwy. through the Meijer lot.
- Eliminate the right in-only entrance from Lincoln Hwy.
- Modify the landscaping around the detention pond at the northeastern corner of the Meijer property.

The following zoning applications have been submitted to facilitate this project:

- **Special Use (PUD Amendment)** – To amend the Meijer PUD ordinance to replace it with a new PUD ordinance for the subject property.
- **PUD Preliminary Plan** – To approve preliminary engineering plans, landscape plan, architectural elevations, and preliminary plat of subdivision for development of the property.



#### **IV. COMPREHENSIVE PLAN**

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Corridor/Regional Commercial”. The plan states (p.39):

*“Areas designated as corridor/regional commercial are intended to accommodate larger shopping centers and developments that serve a more regional function, drawing on a customer base that extends beyond the City limits. These areas often have a mix of “big box” stores, national retailers, and a “critical mass” of multiple stores and large shared parking areas. Areas designated for corridor/regional commercial are located primarily in larger consolidated areas along the City’s heavily traveled corridors and intersections. Commercial service uses can also have an appropriate place in corridor/regional commercial areas, but must be compatible with adjacent and nearby retail and commercial shopping areas and be located as to not occupy prime retail locations.*

*The Land Use Plan identifies Corridor/Regional Commercial in the City’s east and west gateways, clustered around Kirk Road and Randall Road, two busy north south streets that bisect the City. Both of these areas are ideally suited for a large scale commercial/retail development capable of drawing from a larger region. At both locations, access and visibility is ideal for a more regional commercial draw, and heavy traffic volumes provide visibility desired by retailers. As development and redevelopment is considered in these areas, consideration should be given to maximizing revenue generating opportunities. It is also important to recognize the importance of promoting high-quality development in these locations as they serve as gateways into the City and are pivotal in shaping perceptions of St. Charles as visitors enter the City.*

*Both the Kirk Road and Randall Road corridors are critical to the economic livelihood of the City and both have challenges and issues that must be addressed in order to maintain their vitality. In addition to the recommendations and policies provided in this section of the Plan, Chapter 8 – Subarea Plans provides additional actions and considerations to maintain these areas as vital commercial centers.”*

The detention pond at the southwest corner of Randall Rd. and Lincoln Hwy. is identified as a “Catalyst Site” within the West Gateway Subarea. The plan states (p. 97):

*“The City should encourage Meijer to explore vaulting detention and/or reducing its parking lot to facilitate the development at this key intersection.”*

#### **V. ANALYSIS**

The applicant is proposing to create new PUD development standards for the subject property. Therefore, staff has performed an analysis of the submitted PUD Preliminary Plan to identify compatibility with the Zoning Ordinance, Title 17 of City Code.

##### **A. PROPOSED USES**

Restaurant and retail uses are proposed. Both uses are permitted in the BR Regional Business zoning district, which is the underlying zoning of the subject property.

Two of the three proposed restaurants include drive-through facilities. Drive-Through Facility is a Special Use in the BR District. The applicant has requested two Drive-Through Facilities be permitted under the new PUD ordinance for the property.

**B. ZONING BULK STANDARDS**

The table below compares the submitted plans with the requirements of the BR zoning district. Current PUD requirements are not included due to the applicant’s request to create new PUD standards for the subject property. For purposes of the zoning review, the northern property line (Lincoln Hwy.) is considered the front lot line, based on the proposed subdivision layout. Deviations from the Zoning Ordinance requirements that are requested as part of the proposal are indicated in *bold italics* (see discussion below the table).

Category	Zoning Ordinance Standard (BR District)	Proposed
<b>Min. Lot Area</b>	1 acre (per building)	<b><i>2.94 acres</i></b>
<b>Lot Width</b>	None	269 ft.
<b>Building Coverage</b>	30%	10.3%
<b>Building Height</b>	40 ft.	Bldg A – 19’8” Bldg B – 23’4” Bldg C – 22’
<b>Building Setbacks:</b>		
<i>Front (Lincoln Hwy)</i>	20 ft.	55 ft.
<i>Interior side (east)</i>	15 ft.	46 ft.
<i>Interior side (west)</i>	15 ft.	80 ft.
<i>Rear (south)</i>	30 ft.	83.7 ft.
<b>Parking Setbacks:</b>		
<i>Front (Lincoln Hwy)</i>	20 ft.	31 ft.
<i>Interior side (east)</i>	0 ft.	10.2 ft.
<i>Interior side (west)</i>	0 ft.	7 ft.
<i>Rear (south)</i>	0 ft.	9.7 ft.
<b>Parking Requirement</b>	Restaurant: 10 spaces per 1,000 sf GFA @ 10,152 sf = 102 spaces Retail: 4 spaces per 1,000 sf GFA @ 3,040 sf = 12 spaces Total required: 114 spaces	164 spaces
<b>Parking Stall Size</b>	9’ x 18’ OR 9’x16’ w/ 2 ft. bumper overhang	9’ x 18’
<b>Drive-Aisle Width</b>	24’ (two-way)	24’ (two-way)

The applicant has requested a deviation from the following requirement:

1. Section 17.22.010.A – More than one building may be erected on a single lot, provided that all bulk requirements are met for each building as though each building were a principal building on an individual lot. The BR District requires a 1 acre minimum lot area. Per this section, a lot area of 3 acres is required for 3 buildings.

Three buildings are proposed on 2.94 acres, slightly under the 3 acres required.

**C. DRIVE-THROUGH FACILITIES**

Two drive-through facilities for restaurant users are proposed, one for Building A and one for Building C. Both drive-through lanes wrap around the north sides of the buildings. The table below compares the plans with the requirements of Section 17.24.100 “Drive-Through Facilities”. Deviations from the Zoning Ordinance requirements that are requested as part of the proposal are indicated in *bold italics* (see discussion below the table).

Category	Zoning Ordinance Standard	Proposed
<b>Screened from Public Street</b>	Stacking spaces concealed from view from public streets to greatest extent possible by orientation, design or screening	<i>Building A stacking lane wraps around the north side of the building, along Lincoln Hwy.</i>
<b>Obstruction of Required Parking</b>	Stacking spaces cannot obstruct access to required parking spaces	Meets requirement based on number of stalls provided
<b>Obstruction of Ingress/Egress</b>	Location of stacking spaces cannot obstruct ingress/egress to the site or interfere with vehicle circulation	Meets requirement based on number of stalls provided
<b>Lane Configuration</b>	Stacking spaces must be placed in a single line up to point of service	Meets requirement
<b>Required Stacking Spaces</b>	15	<i>Building A: 8 stacking spaces Building C: 11 stacking spaces</i>
<b>Required Stacking Space Size</b>	9' x 20'	9' x 20'

The applicant has requested deviations from the following requirements:

1. Section 17.24.100.A.4: Vehicle stacking shall be concealed from view from public streets and surrounding property to the greatest extent possible by their orientation, design, or by screening. This will often involve orienting the Drive-Through to the side or rear of the building, away from the public street.

The stacking lane for Building A wraps around the north side of the building, along Lincoln Hwy. due to the building’s orientation facing west.

2. Section 17.24.100.B-C: 15 stacking spaces are required for a restaurant drive-through. 5 stacking spaces are required for a “Coffee or Tea Room”.

8 stacking spaces are proposed for Building A and 11 stacking spaces are proposed for Building C. This section of the ordinance allows a reduction in the required number of stacking spaces to be requested for a specific business based on data from comparable facilities. However, users for the two proposed drive-through restaurants have not been identified. The applicant is requesting approval of the drive-through layouts as proposed assuming the stacking requirement can be accommodated. The buildings will not be constructed until users are identified.

Once users are identified, if the stacking is not adequate to meet code, a drive-through stacking reduction will need to be requested based on data demonstrating the amount of stacking is adequate. This will require review by the Plan Commission. The code states the following regarding the procedure:

*“The number of required stacking spaces may be reduced by the City Council, after receiving a recommendation from the Plan Commission, if the petitioner presents a study with quantifiable evidence based on comparable facilities that demonstrates that the number of stacking spaces may be reduced without affecting the ability of the proposed facility to meet the applicable requirements. The approval of a reduced number of stacking spaces shall apply only to the specific business for which the study was conducted.”*

**Staff Comment:**

- Stacking spaces 9’x20’ in size must be shown on the plans.

D. LANDSCAPING

Landscape Plan for Outlot Development:

A landscape plan has been submitted for the development. The table below compares the submitted plan to the requirements of Ch. 17.26 Landscaping and Screening.

Category	Zoning Ordinance Standard	Proposed
<b>Overall Landscape Area</b>	15%	>30%
<b>Public Street Frontage Landscaping</b> <i>(applies to Lincoln Hwy. frontage)</i>	75% 1 tree per 50 lineal ft. (5 trees required)	Appears to meet; see staff comment
<b>Parking Lot Screening</b> <i>(applies to Lincoln Hwy. frontage)</i>	50% of parking lot to height of 30”	100%
<b>Interior Parking Lot Landscaping</b>	10%	Appears to meet; see staff comment
<b>Building Foundation Landscaping</b>		
<i>Front walls (west elevations)</i>	75% of wall length; planting bed width of 8 ft.	Meets planting bed requirement but additional plantings needed; see staff comment
<i>Remaining walls</i>	50% of wall length; planting bed width of 8 ft.	Meets planting bed requirement but additional plantings needed; see staff comment
<b>Monument Sign Landscaping</b>	3 ft. around signs	Meets requirement
<b>Refuse Dumpster Screening</b>	Enclosed and screened on all sides when visible from public street	TBD; see staff comment

**Staff Comments:**

- 75% of the public street frontage must be planted with a combination of shrubs and perennials. This applies to the Lincoln Hwy. frontage. This requirement appears to be met with the proposed and existing landscaping. The existing landscaping should be identified on the plan to confirm.
- 10% of the interior area of the parking lot must be devoted to landscaping. This appears to be met. The applicant must calculate the percentage provided. If the 10% requirement is not met, additional landscape islands could be added due to the excess number of parking spaces.
- The amount of required plantings along the building foundation is calculated by dividing the total lineal feet of the building walls by 50. 2 trees and 20 shrubs/bushes/perennials are required per 50 ft. of wall. This requirement was calculated incorrectly on the landscape plan and half the required plantings are provided.

- Building A – 9 trees & 88 shrubs/bushes/perennials are required.
- Building B – 12 trees & 124 shrubs/bushes/perennials are required.
- Building C – 12 trees & 118 shrubs/bushes/perennials are required.
- A rendering of the refuse enclosure is needed. The enclosure must meet the screening requirements contained in Section 17.26.120.

Detention Basin Tree Removal

In order to increase visibility of the outlot development from Randall Rd., several trees are proposed to be removed around the adjacent detention basin. A Tree Removal Plan has been provided identifying trees that will be removed and preserved. All evergreen trees will be removed. All trees being preserved are deciduous. Meijer has provided a letter stating their consent to modify the landscaping around the detention basin, as it is on the Meijer property.

E. BUILDING ARCHITECTURE

Architectural elevations have been submitted for the three proposed buildings. The table below compares the submitted plans to the design requirements of Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts.

Category	Zoning Ordinance Standard	Proposed
<b>Architectural Features #1 (17.06.030.A.2)</b>	50% of façade comprised of architectural features	Appears to meet based on applicant’s request to consider the west elevations as the building facades; see deviation request & staff comment
<b>Architectural Features #2 (17.06.030.A.3)</b>	Street-facing facades must have 2 of 4 architectural features: change in wall plane of 2 ft.; change in wall texture/masonry patterns; transparent windows; columns/pilasters projecting 6 in.	Does not meet for east elevations of Buildings A & C; see staff comment
<b>Entrance Articulation</b>	Public entrances must be articulated from building	Meets requirement
<b>Building Materials</b>	A list of approved & prohibited materials is provided	More EIFS than permitted is shown on Building B; see staff comment
<b>Roof-Mounted Mechanical Screening</b>	Roof-mounted mechanical equipment screened from view from public streets by architectural element of building or screening wall	TBD; see staff comment

The applicant has requested deviations from the following requirements:

1. Section 17.06.020.B.1: Building facades should be located along streets with parking in less prominent locations.

The buildings are oriented with the fronts facing west, towards Meijer, with the backs facing Randall Rd.

2. Section 17.06.030.A.2 – Architectural features must comprise at least 50% of the façade. The façade is the side of the building facing a public street. The facades of Buildings B and C are the east walls (facing Randall). Building A has two facades- the north and east sides. Architectural features include windows, doors, cornices, eaves, gutters, belt courses, lintels, sills, archways, awnings, columns, pilasters, and decorative ornaments.
3. Section 17.06.030.B.1 – Retail buildings must provide windows so that the first floor is transparent from a height of 18” to 7’ above grade for at least 60% of the length of the façade, and must contain a public entrance. (Applies to Building C only)

The two requirements listed above are not met for the buildings if the “facades” are considered the sides facing the street because the buildings face west, towards Meijer, and back up to Randall Rd. The applicant has requested the west elevations be considered the façades for determining compliance with these two code sections.

***Staff Comments:***

- The architectural features for each building must be quantified to confirm compliance with the 50% requirement (based on the west elevations being considered the façades).
- All street-facing facades must have at least 2 of the following features: change in wall plane of at least 2 ft.; change in wall texture or masonry patterns; transparent windows; columns/pilasters projecting 6” from the wall plane. One additional feature is needed on the east elevations of Building A and C.
- The plans identify use of CMU block on Building B. Smooth-faced CMU is prohibited. CMU must be tinted and/or textured.
- EIFS cannot cover more than 10% of any building wall. It appears that EIFS covers more than 10% of the west elevation of Building B.
- Confirmation is needed that the design of the buildings will provide required screening of roof-mounted mechanical equipment.

F. SIGNAGE

Two monument signs are proposed – one on the subject property along Lincoln Hwy. and another along Randall Road, off-site on the Meijer property. Meijer has provided a letter stating their consent to locate a monument sign off-site as proposed.

Locations for wall signs are shown on the architectural elevations. One wall sign is permitted per street frontage. For the purposes of this section, the internal ring road will be considered a “street frontage”. Buildings B and C are allowed 2 wall signs (per business). Building A is allowed 3 wall signs.

***Staff Comments:***

- Renderings of the monument signs are required. The signs will need to meet all standards of Ch. 17.28 “Signs”.
- It appears that 4 wall signs are proposed on Building A; only 3 are permitted.

G. LIGHTING

A photometric plan has been submitted. Staff has reviewed the plan for conformance with Section 17.22.040 “Site Lighting”.

***Staff Comment:***

- Pole height must also be indicated. Maximum pole height is 40 ft.

H. ENGINEERING REVIEW

Engineering plans are currently under review by City staff. Based on discussions regarding the project, staff anticipates that comments will not impact the site layout. The plans will need to be revised in response to all staff comments prior to City Council approval of the PUD Preliminary Plan.

I. PRELIMINARY PLAT OF SUBDIVISION

A Preliminary Plat of Subdivision has been submitted. Proposed is re-subdivision of the Meijer property as follows:

- Proposed Lot 1 – Meijer; 32.929 acres
- Proposed Lot 2 – Oulot; 2.94 acres

***Staff Comments:***

- The Subdivision Code requires 10 ft. wide perimeter utility and drainage easements around each lot. Perimeter easements are requested around Lot 2.
- Easements are needed for the proposed watermain, storm sewer, and sanitary sewer located on Lot 2 and where mains are being extended on Lot 1.
- Cross access easements are needed to allow access to Lot 2 through Lot 1. Vehicles should be permitted to enter and exit the property at each of the access points off Randall Rd. and Rt. 38. This could be accomplished with a blanket cross access easement or with identified easement corridors.

VI. **PLAN COMMISSION RECOMMENDATION**

Plan Commission held a public hearing on the Special Use (PUD Amendment) application on 5/8/18 and recommended approval of the Special Use (PUD Amendment) and PUD Preliminary Plan applications, subject to resolution of staff comments, by a vote of 8-0.

VII. **ATTACHMENTS**

- Application for Special Use for PUD; received 4/9/18
- Application for PUD Preliminary Plan; received 4/9/18
- Preliminary Plat of Subdivision; dated 4/4/18
- Engineering Plans; dated 4/6/18
- Architectural Elevations; dated 4/4/18

**CITY OF ST. CHARLES**  
 TWO EAST MAIN STREET  
 ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**SPECIAL USE APPLICATION**

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	<u>Meijer outlet</u>
Project Number:	<u>2018 -PR- 004</u>
Application Number:	<u>2018 -AP- 007</u>



*To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.*

*City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: 855-865 South Randall Road, St. Charles	
	Parcel Number (s): 09-32-476-008	
	Proposed Name: Proposed Retail - St. Charles	
<b>2. Applicant Information:</b>	Name Alrig USA	Phone 248.646.9999
	Address 30200 Telegraph Road, Suite 205 Bingham Farms, MI 48025	Fax
		Email
<b>3. Record Owner Information:</b>	Name Meijer Stores, L.P.	Phone 616-791-3909
	Address 2929 Walker Ave NW Grand Rapids, MI 49544	Fax
		Email matt.levitt@meijer.com



**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** X
- New PUD
- Amendment to existing PUD- Ordinance #: 1999-M-24
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: PUD

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR-PUD

What is the property currently used for? Retail/Restaurant

If the proposed Special Use is approved, what improvements or construction are planned?  
Construction of mixed restaurant, drive-thru restaurant, and retail uses and associated site improvements on an existing Meijer overflow parking lot.

**For Special Use Amendments only:**

Why is the proposed change necessary?  
To remove the subject property from the Meijer PUD and establish unique development standards for the outlot development

What are the proposed amendments? (Attach proposed language if necessary)  
Creation of a new PUD for the subject property, with the zoning deviations identified in Exhibit A

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**☒ APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**☒ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**☒ PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**☒ LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

**☒ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**☒ FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

**☒ LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

☒ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

☒ **TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

  
\_\_\_\_\_  
Record Owner 3/30/18  
Date

  
\_\_\_\_\_  
Applicant or Authorized Agent 3/22/18  
Date

# EXHIBIT A

## Zoning Deviations

The following zoning deviations are requested for the proposed multi-use project as part of the Meijer outlot development located at IL Route 38 and Randall Road.

### **Drive-Thru Facilities:**

- Section 17.14.020: Drive-Thru is a Special Use in the BR District.

**Requesting two (2) drive-thru facilities to be permitted uses in the BR District as a Special Use. Due to the layout of the parcel, no public streets are impacted by the drive-thru facilities and additional circulation routes are available within the development.**

- Section 17.24.100.B-C: 15 stacking spaces are required for a restaurant drive-thru. 5 stacking spaces are required for a “coffee/tea room” drive-thru.

**Based on the proposed site plan for Building A, the drive-thru lane can accommodate 8 spaces before impacting parking areas. It can accommodate 15 stacking spaces before extending off the proposed lot.**

**The proposed plan for Building C, as a restaurant drive-thru, can accommodate 11 stacking spaces before impacting parking areas. It can accommodate 20 stacking spaces before extending off the proposed lot.**

**No users are currently identified for Building A or Building C. Construction will not begin until users have been identified, at which time historical data will be used to determine whether the number of stacking spaces is adequate per each user. If a reduction in the required number of stacking spaces is required for a user or business, it will be requested at that time.**

- Section 17.24.100.A.4 – Vehicle stacking must be concealed from view from public streets and surrounding property to the greatest extent possible by their orientation, design or by screening. This will often involve orienting the drive-thru to the side or rear of the building, away from the public street. The Building A drive-thru is along the Rt. 38 frontage and the Building C drive-thru is along the rear of the building, visible from Randall Rd.

**The proposed drive-thru lanes are oriented as such with the west elevations as the façade. Additional screening will be provided along the frontage of Rt 38 and Randall Road.**

### **Building Architecture:**

- Section 17.06.020.B.1: Building facades should be located along streets with parking in less prominent locations. The proposed buildings are oriented with the facades facing west, with the rear of the buildings facing Randall Rd. Has flipping the orientation of the buildings been considered so that they face Randall Rd.?

**Yes, it was considered but we would rather the main entrance remain. We would request that the west elevation is the façade for Building A, B, and C. The rear elevations will be enhanced.**

- Section 17.06.030.B.1 – Retail buildings must provide windows so that the first floor is transparent from a height of 18” to 7’ above grade for at least 60% of the length of the façade, and must contain a public entrance.

- o This requirement applies to Building C, east elevation (façade). It appears this requirement is met for the west elevation. Similar to above, a request could be made to consider the west elevation as the façade for determining compliance with this section.

**We would request that the west elevation is the façade for Building A, B, and C.**

- Section 17.22.010.A – More than 1 building may be erected on a single lot, provided that all bulk requirements are met for each building as though each building were a principal building on an individual lot. One of the bulk requirements in the BR Zoning District is a 1 acre minimum lot area requirement. Per this section, a lot area of 3 acres is required for 3 buildings.

**Requesting three (3) buildings to be permitted on ±2.94 acre lot. Based on the proposed layout of the parcel, each building has adequate parking and circulation through the site will not be impacted.**

- Section 17.06.030.A.2 – Architectural features must comprise at least 50% of the façade. The façade is the side of the building facing a public street. The facades of Buildings B and C are the east walls (facing Randall). Building A has two facades- the north and east sides. Architectural features include windows, doors, cornices, eaves, gutters, belt courses, lintels, sills, archways, awnings, columns, pilasters, and decorative ornaments.
  - It does not appear this requirement is met for Buildings A and C. It may be met for Building B; please provide a calculation.
  - It appears that the front (west) elevations meet this requirement if they were considered the “façade”.
  - A deviation could be requested from this requirement OR a request could be made to consider the front (west) elevations the façade of the buildings for determining compliance with this Section.
- **We would request that the west elevation is the façade for Building A, B, and C.**



April 16, 2018

Ms. Ellen Johnson, Planner  
City of St. Charles  
Community & Economic Development – Planning Division  
2 E Main Street  
St Charles, IL 60174

RE: Letter of Authorization  
Special Use and PUD Preliminary Plan applications  
Meijer Outlot Development – Alrig USA

Dear Ms. Johnson,

This letter is furnished in response to the April 13<sup>th</sup>, 2018 completeness review letter for the referenced application submitted for review.

We certify that we are the owner of the property for the submitted Special Use and PUD Preliminary Plan review application.

We acknowledge this application and authorize the applicant, Alrig USA, to submit development applications to the City and proceed to secure whatever approvals and permits they may need from the City and other agencies regarding this development.

Additionally, we authorize Alrig USA to modify the detention basin landscaping and to locate a monument sign off-site along Randall Road, as shown on the plans.

Please contact me should you have any questions regarding this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Seitz".

Meijer, Inc.  
2929 Walker, NW, Grand Rapids, MI 49544

**OWNERSHIP DISCLOSURE FORM  
PARTNERSHIPS**

MICHIGAN  
STATE OF ~~ILLINOIS~~ )  
KENT ) SS.  
~~KANE COUNTY~~ )

I, Michael L. Kinstle, being first duly sworn on oath depose and say that I am ~~a~~  
the Vice President-Real Estate of Meijer Group, Inc., the  
General Partner of Meijer Stores Limited Partnership, a Michigan ~~an Illinois~~

~~(General)~~ (Limited) Partnership and that the following ~~persons~~ are all of the partners thereof:

<u>Meijer Group, Inc.</u>	<u>(General)</u> <del>(Limited)</del> Partner
<u>Meijer Distribution, Inc.</u>	<del>(General)</del> <u>(Limited)</u> Partner
_____	(General)(Limited) Partner
_____	(General)(Limited) Partner
_____	(General)(Limited) Partner
_____	(General)(Limited) Partner

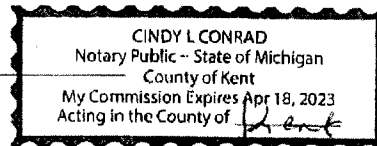
MEIJER STORES LIMITED PARTNERSHIP

By: Meijer Group, Inc., its general partner

By: *[Signature]* ~~(General)~~ (Limited) Partner  
Michael L. Kinstle  
Its: Vice President-Real Estate

Subscribed and Sworn before me this 30<sup>th</sup> day of  
March, 2018.

*Cindy L. Conrad*  
Notary Public





### LEGAL DESCRIPTION

A PART OF LOT 1 IN THE RESUBDIVISION #2 OF THE RESUBDIVISION OF MEIJER #182 SUBDIVISION, RECORDED OCTOBER 31, 2002 IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS AS DOCUMENT NUMBER 2002K140590, LOCATED IN SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, CITY OF SAINT CHARLES, KANE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF SAID LOT 1, BEING ALSO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF LINCOLN HIGHWAY, ALSO KNOWN AS ILLINOIS ROUTE 38, PER DOC. NO. 2000K089685;

THENCE ALONG THE NORTHERLY LINE OF SAID LOT 1, AND ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF LINCOLN HIGHWAY, THE FOLLOWING THREE (3) COURSES:

- 1) NORTH 47 DEGREES 48 MINUTES 37 SECONDS WEST, A DISTANCE OF 37.76 FEET;
- 2) NORTH 59 DEGREES 39 MINUTES 50 SECONDS WEST, A DISTANCE OF 60.83 FEET;
- 3) NORTHWESTERLY, 159.98 FEET ALONG AN ARC TO THE LEFT AND HAVING A RADIUS OF 3438.02 FEET, SUBTENDED BY A LONG CHORD HAVING A BEARING OF NORTH 60 DEGREES 59 MINUTES 49 SECONDS WEST AND A LENGTH OF 159.97 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE WESTERLY LINE OF A DETENTION POND EASEMENT HERETOFORE GRANTED PER DOC. NO. 2000K089685 AND THE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE ALONG THE NORTHERLY EXTENSION OF THE WESTERLY LINE OF SAID DETENTION POND EASEMENT AND ALSO ALONG THE WESTERLY LINE OF SAID DETENTION POND EASEMENT, SOUTH 01 DEGREE 35 MINUTES 28 SECONDS EAST, A DISTANCE OF 505.63 FEET;

THENCE SOUTH 88 DEGREES 29 MINUTES 06 SECONDS WEST, A DISTANCE OF 183.94 FEET;

THENCE NORTHEASTERLY, 30.84 FEET ALONG AN ARC TO THE RIGHT AND HAVING A RADIUS OF 20.50 FEET, SUBTENDED BY A LONG CHORD HAVING A BEARING OF NORTH 48 DEGREES 25 MINUTES 25 SECONDS WEST AND A LENGTH OF 28.01 FEET;

THENCE NORTH 05 DEGREES 19 MINUTES 57 SECONDS WEST, A DISTANCE OF 444.46 FEET;

THENCE NORTH 14 DEGREES 48 MINUTES 13 SECONDS WEST, A DISTANCE OF 46.63 FEET;

THENCE NORTH 24 DEGREES 12 MINUTES 35 SECONDS WEST, A DISTANCE OF 63.17 FEET;

THENCE NORTH 23 DEGREES 07 MINUTES 51 SECONDS EAST, A DISTANCE OF 67.59 FEET TO A POINT ON THE NORTHERLY LINE OF THE AFORESAID LOT 1, SAID POINT BEING ALSO ON THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE OF LINCOLN HIGHWAY;

THENCE ALONG THE NORTHERLY LINE OF THE AFORESAID LOT 1, BEING ALSO ALONG THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE OF LINCOLN HIGHWAY, SOUTHEASTERLY, 269.53 FEET ALONG AN ARC TO THE RIGHT AND HAVING A RADIUS OF 3438.02 FEET, SUBTENDED BY A LONG CHORD HAVING A BEARING OF SOUTH 64 DEGREES 34 MINUTES 34 SECONDS EAST AND A LENGTH OF 269.46 FEET TO THE POINT OF BEGINNING,

CONTAINING 2.940 ACRES, MORE OR LESS.

THE BASIS OF BEARINGS FOR THE ABOVE LEGAL DESCRIPTION IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD83)

# CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)



*\*For Special Use for PUD or PUD Amendment applications.\**

*The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.*

*As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.*

*(You may utilize this form or provide the responses on another sheet.)*

\_\_\_\_\_  
*PUD Name*

\_\_\_\_\_  
*Date*

**From the St. Charles Zoning Ordinance, Section 17.04.410.3:**

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

**i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed PUD will preserve native vegetation, topographic and geological features, and environmentally sensitive areas by reducing the overall percent imperviousness for the proposed site.

The proposed PUD will be a more efficient use of the existing site. An overflow parking lot will be converted to a mixed retail/restaurant use. A decrease in the overall percent imperviousness will lessen the burden on existing drainage ponds and structures.

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ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The proposed landscaping improvements for the PUD will be superior to the existing landscaping conditions. The PUD will provide buffering/screening from public roads.  
The proposed retail restaurant buildings within the PUD will offer high quality architectural design, compatible with surrounding properties.  
The PUD provides an efficient site design and will feature energy efficient buildings.

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**iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The proposed development will consist of 19,716 SF of mixed retail, drive-thru restaurant, and restaurant use and will be constructed on an existing overflow parking lot for the Meijer.

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B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Connections to existing utilities will be provided as part of the development.  
Proposed access drives will connect to existing drives.  
Drainage will be provided through existing and proposed drainage structures.

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C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The surrounding establishments are retail and restaurant uses. The proposed development will not be injurious to the existing uses and would not impair property values within the vicinity.

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D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed development will be constructed on existing overflow parking for the Meijer. Future impediments to the surrounding properties are not anticipated.

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E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The establishment, maintenance, and operations of the drive-thru restaurant will be limited to business hours. The proposed development will not be detrimental to or endanger the public health, safety, comfort or general welfare.

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F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

See previous section.

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**iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The proposed PUD will not impair physical development, diversity, tax base, or the economic well-being of the City.

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**v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD conforms to the existing uses within the existing PUD.

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**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**PUD PRELIMINARY PLAN APPLICATION**

<b>For City Use</b>	
Project Name:	<u>Meijer Outlet</u>
Project Number:	<u>2018 -PR- 004</u>
Application Number:	<u>2018 -AP- 008</u>



*To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.*

*When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: 855-865 South Randall Road, St. Charles	
	Parcel Number (s): 09-32-476-008	
	Proposed PUD Name: Proposed Retail - St. Charles	
<b>2. Applicant Information:</b>	Name Alrig USA	Phone 248.646.9999
	Address 30200 Telegraph Road, Suite 205 Bingham Farms, MI 48025	Fax
		Email
<b>3. Record Owner Information:</b>	Name Meijer Stores, L.P.	Phone 616-791-3909
	Address 2929 Walker Ave NW Grand Rapids, MI 49544	Fax
		Email matt.levitt@meijer.com

**Please check the type of application:**

- New proposed PUD- Planned Unit Development (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development
  - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

**Subdivision of land:**

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
  - Final Plat of Subdivision Application filed concurrently
  - Final Plat of Subdivision Application to be filed later

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

*Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.*

- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

- REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

☒ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

**PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with



the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including (detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
  - Location, height, intensity and fixture type of all proposed exterior lighting
  - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

**ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

**TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

**LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

**STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

**SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

**☐ PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

**☐ SCHEDULE: Construction schedule indicating:**

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.


**☐ PARK AND SCHOOL LAND/CASH WORKSHEETS**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

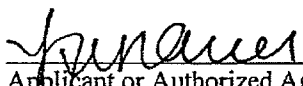
**☐ INCLUSIONARY HOUSING SUMMARY**

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

  
 \_\_\_\_\_  
 Record Owner

3/30/18  
 \_\_\_\_\_  
 Date

  
 \_\_\_\_\_  
 Applicant or Authorized Agent

3/28/18  
 \_\_\_\_\_  
 Date

# RESUBDIVISION OF THE RESUBDIVISION #2 OF THE RESUBDIVISION OF MEIJER #182 SUBDIVISION LOCATED IN THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



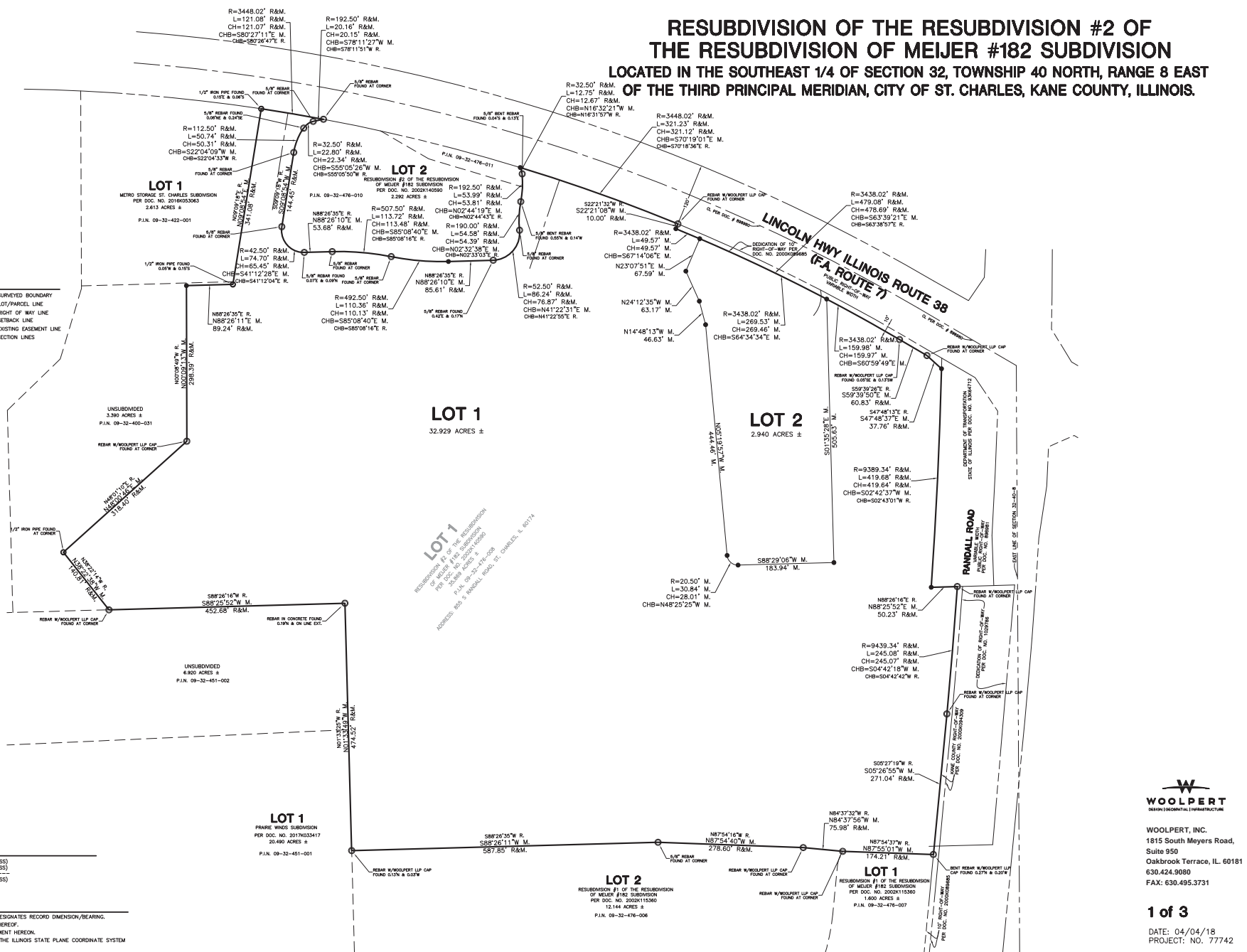
**SITE MAP**  
NOT TO SCALE



0 80 160 240  
GRAPHIC SCALE IN FEET

**LEGEND:**

- SURVEYED BOUNDARY LOT/PARCEL LINE
- - - RIGHT OF WAY LINE
- - - SETBACK LINE
- - - EXISTING EASEMENT LINE
- - - SECTION LINES
- SET R.R. SPIKE/NAIL IN ASPHALT OR IRON PIPE W/ CAP IN SOIL OR CUT CROSS IN CONCRETE
- SET CONCRETE MONUMENT
- REBAR FOUND
- IRON PIPE FOUND
- NAIL FOUND
- SPIKE FOUND
- CHISELED CROSS FOUND
- MONUMENT FOUND
- R/W MONUMENT FOUND
- BRASS PLUG FOUND



**AREA SCHEDULE:**

LOT 1:	1,434,376 S.F. OR 32.929 ACRES (MORE OR LESS)
LOT 2:	128,086 S.F. OR 2.940 ACRES (MORE OR LESS)
<b>TOTAL:</b>	<b>1,562,462 S.F. OR 35.869 ACRES (MORE OR LESS)</b>

- NOTES:**
1. "M." DESIGNATES MEASURED DIMENSION/BEARING, "D." DESIGNATES RECORD DIMENSION/BEARING.
  2. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  3. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
  4. THE BASIS OF MEASURED BEARINGS SHOWN HEREON IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD 83).

**W**  
**WOOLPERT**  
DESIGN (GEOMETRAL) INFRASTRUCTURE

WOOLPERT, INC.  
1815 South Meyers Road,  
Suite 950  
Oakbrook Terrace, IL 60181  
630.424.9080  
FAX: 630.495.3731

G:\S\Projects\Various\77742 - Alfy, S\Cheren\Drawings\7742 - Plot-Rl.dwg, Plotted: Apr 04, 2018 - 3:44pm

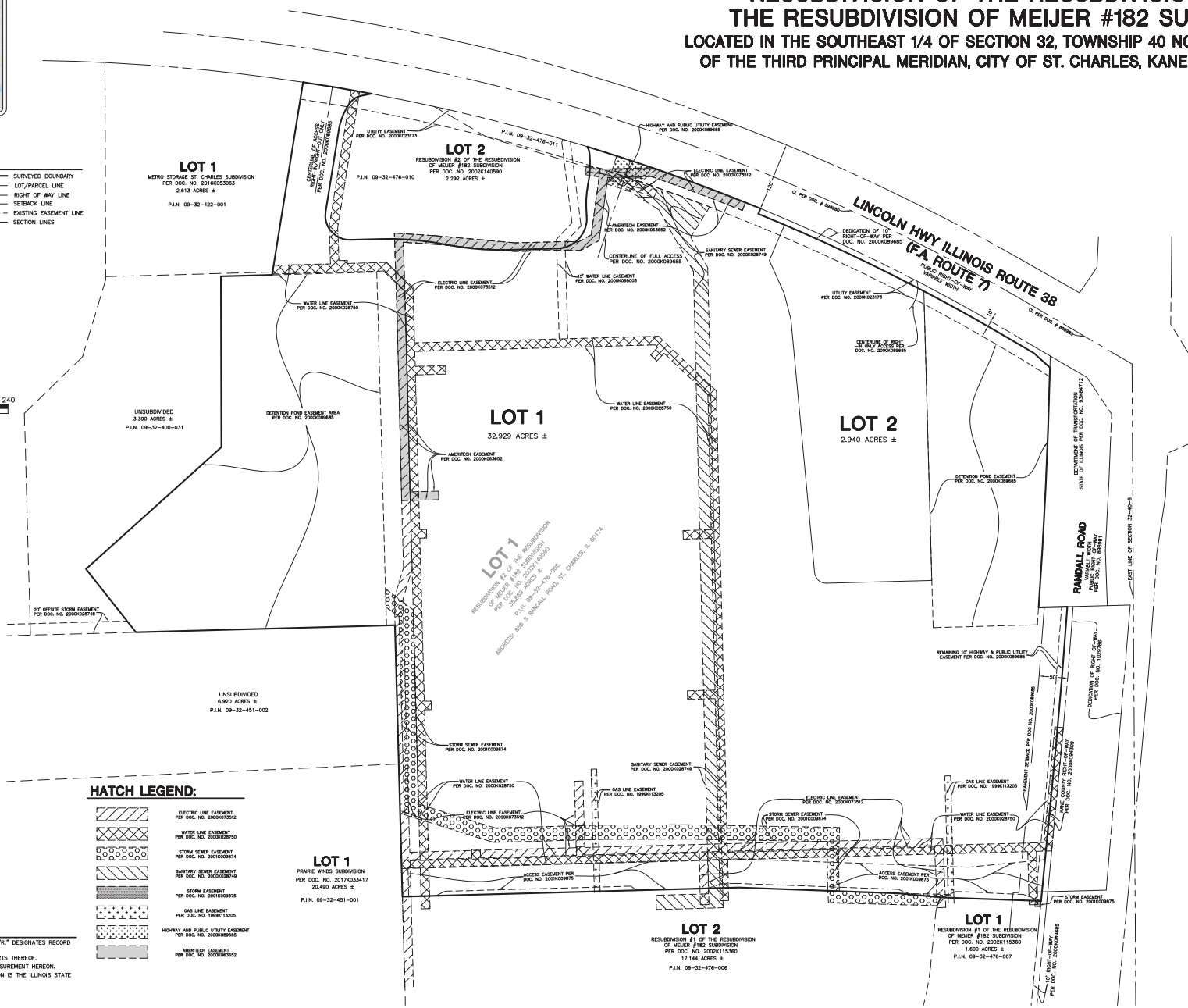
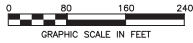
**RESUBDIVISION OF THE RESUBDIVISION #2 OF  
THE RESUBDIVISION OF MEIJER #182 SUBDIVISION  
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST  
OF THE THIRD PRINCIPAL MERIDIAN, CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.**



**SITE MAP**  
NOT TO SCALE

**LEGEND:**

- SURVEYED BOUNDARY
  - - - LOT/PARCEL LINE
  - - - RIGHT OF WAY LINE
  - - - SETBACK LINE
  - - - EXISTING EASEMENT LINE
  - - - SECTION LINES
- SET R.F. SPIKE/NAI IN ASPHALT OR IRON PIN W/ CAP IN SOIL OR CUT CROSS IN CONCRETE
  - SET CONCRETE MONUMENT
  - REMAIN FOUND
  - IRON PIPE FOUND
  - NAIL FOUND
  - SPIKE FOUND
  - CHISELED CROSS FOUND
  - MONUMENT FOUND
  - F/W MONUMENT FOUND
  - BRASS PLUG FOUND



**HATCH LEGEND:**

- ELECTRIC LINE EASEMENT PER DOC. NO. 2000073912
- WATER LINE EASEMENT PER DOC. NO. 2000028750
- STORM SEWER EASEMENT PER DOC. NO. 200000874
- SANITARY SEWER EASEMENT PER DOC. NO. 2000028749
- STORM EASEMENT PER DOC. NO. 200000875
- GAS LINE EASEMENT PER DOC. NO. 1999113205
- HIGHWAY AND PUBLIC UTILITY EASEMENT PER DOC. NO. 200008965
- EASEMENT PER DOC. NO. 200008302

- NOTES:**
1. "M." DESIGNATES MEASURED DIMENSION/BEARING, "R." DESIGNATES RECORD DIMENSION/BEARING.
  2. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
  3. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
  4. THE BASIS OF MEASURED BEARINGS SHOWN HEREON IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE (NAD 83).



WOOLPERT, INC.  
1815 South Meyers Road,  
Suite 950  
Oakbrook Terrace, IL 60181  
FAX: 630.495.3731

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**RESUBDIVISION OF THE RESUBDIVISION #2 OF  
THE RESUBDIVISION OF MEIJER #182 SUBDIVISION  
LOCATED IN THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST  
OF THE THIRD PRINCIPAL MERIDIAN, CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.**

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARCEL INDEX NUMBER:  
09-32-476-008

**OWNER'S CERTIFICATE:**

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED, THE \_\_\_\_\_ OF MEIJER GROUP, INC., A MICHIGAN CORPORATION, ON BEHALF OF SAID CORPORATION, FOR AND AS THE ACT OF THE GENERAL PARTNER OF MEIJER STORES LIMITED PARTNERSHIP, A MICHIGAN LIMITED PARTNERSHIP, IS THE OWNER OF THE LAND DESCRIBED IN THE SUBDIVISION PLAT, AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID, AND TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF SCHOOL DISTRICT(S): COMMUNITY UNIT SCHOOL DISTRICT NUMBER 303.

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

MEIJER STORES LIMITED PARTNERSHIP, A MICHIGAN LIMITED PARTNERSHIP

BY: MEIJER GROUP, INC  
ITS: GENERAL PARTNER

BY: \_\_\_\_\_  
NAME: \_\_\_\_\_

ITS: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_

**NOTARY CERTIFICATE:**

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

I, \_\_\_\_\_ NOTARY PUBLIC IN THE AFORESAID COUNTY AND STATE, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY \_\_\_\_\_

\_\_\_\_\_ THE \_\_\_\_\_ OF MEIJER GROUP, INC., A MICHIGAN CORPORATION, ON BEHALF OF SAID CORPORATION, FOR AND AS THE ACT OF THE GENERAL PARTNER OF MEIJER STORES LIMITED PARTNERSHIP, A MICHIGAN LIMITED PARTNERSHIP AND PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE AFORESAID INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE SIGNED AND DELIVERED THE SUBDIVISION

PLAT AS THE \_\_\_\_\_ OF SAID MEIJER GROUP, INC., AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID MEIJER GROUP, INC., ON BEHALF OF SAID CORPORATION, FOR AND AS THE ACT OF THE GENERAL PARTNER OF MEIJER STORES LIMITED PARTNERSHIP, FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_  
NOTARY PUBLIC SIGNATURE

**CITY COUNCIL CERTIFICATE:**

STATE OF ILLINOIS }  
COUNTY OF KANE } SS  
CITY OF ST. CHARLES

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE COUNTY,

ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

CITY COUNCIL OF ST. CHARLES, ILLINOIS

SIGNED: \_\_\_\_\_  
MAYOR

ATTEST: \_\_\_\_\_  
CITY CLERK

**SPECIAL ASSESSMENTS CERTIFICATE:**

STATE OF ILLINOIS }  
COUNTY OF KANE } SS  
CITY OF ST. CHARLES

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THIS RESUBDIVISION.

DATED AT ST. CHARLES, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

\_\_\_\_\_  
COLLECTOR OF SPECIAL ASSESSMENTS

**PLAN COMMISSION CERTIFICATE:**

STATE OF ILLINOIS }  
COUNTY OF KANE } SS  
CITY OF ST. CHARLES

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

CITY OF ST. CHARLES PLAN COMMISSIONS

\_\_\_\_\_  
CHAIRMAN

**DIRECTOR OF PUBLIC WORKS CERTIFICATE:**

STATE OF ILLINOIS }  
COUNTY OF KANE } SS  
CITY OF ST. CHARLES

I, \_\_\_\_\_, DIRECTOR OF PUBLIC WORKS FOR THE CITY OF ST. CHARLES, ILLINOIS DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DATED AT ST. CHARLES, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

\_\_\_\_\_  
DIRECTOR OF PUBLIC WORKS

**COUNTY CLERK'S CERTIFICATE:**

STATE OF ILLINOIS }  
COUNTY OF KANE } SS

I, \_\_\_\_\_, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED RESUBDIVISION.

I DO FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED RESUBDIVISION.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY OF KANE

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

\_\_\_\_\_  
COUNTY CLERK

**COUNTY RECORDER'S CERTIFICATE:**

STATE OF ILLINOIS }  
COUNTY OF KANE } SS

THIS INSTRUMENT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., AND WAS RECORDED IN PLAT ENVELOPE NO. \_\_\_\_\_, DOCUMENT NO. \_\_\_\_\_

\_\_\_\_\_  
RECORDER OF DEEDS

**SURVEYOR'S CERTIFICATE:**

STATE OF ILLINOIS }  
COUNTY OF DUPAGE } SS

I, STEPHEN R. KREGER, ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 35-002985, DO HEREBY CERTIFY, THAT AT THE REQUEST OF THE OWNER THEREOF, I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 1 IN THE RESUBDIVISION #2 OF THE RESUBDIVISION OF MEIJER #182 SUBDIVISION, RECORDED OCTOBER 31, 2002 IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS AS DOCUMENT NUMBER 2002K140590, LOCATED IN SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, CITY OF SAINT CHARLES, KANE COUNTY, ILLINOIS.

SUBDIVIDED PROPERTY CONTAINS 35.869 ACRES, MORE OR LESS, AND ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

3" DIAMETER BY 24" LONG IRON REBARS WILL BE SET AT ALL SUBDIVISION CORNERS, LOT CORNERS, POINTS OF CURVATURE AND POINTS OF TANGENCY IN COMPLIANCE WITH ILLINOIS STATUTES AND APPLICABLE ORDINANCES EXCEPT AS NOTED.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION WHICH WAS PREPARED IN ACCORDANCE WITH PROVISIONS OF APPLICABLE ORDINANCES OF THE CITY OF SAINT CHARLES, ILLINOIS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE MONUMENTATION SHOWN ON THE FACE OF THIS PLAT HAS BEEN FOUND OR WILL BE PLACED IN THE GROUND AS INDICATED HEREON, AFTER THE COMPLETION OF THE CONSTRUCTION OF THE IMPROVEMENTS OR WITHIN 12 MONTHS AFTER RECORDATION OF THIS PLAT, WHICHEVER SHALL OCCUR FIRST.

I FURTHER CERTIFY THAT THE PROPERTY DESCRIBED AND SHOWN ON THE PLAT HEREON DRAWN IS WITHIN THE CORPORATE LIMITS OF THE CITY OF SAINT CHARLES WHICH HAS ADOPTED A COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

I, FURTHER CERTIFY THAT ACCORDING TO THE FLOOD INSURANCE RATE MAPS - MAP NUMBERS 17089C0263H AND 17089C0264H, BOTH PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF AUGUST 3, 2009, WHICH ARE THE MOST CURRENT FLOOD INSURANCE RATE MAPS AVAILABLE ON FEMA'S WEBSITE, THIS SITE IS LOCATED IN ZONE "X" (NO SHADINGS) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE SURVEYOR UTILIZED THE ABOVE REFERENCED FLOODPLAIN MAPS FOR THIS DETERMINATION; FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT REVISED FLOODPLAIN INFORMATION HAS NOT BEEN PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY OR SOME OTHER SOURCE.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, A.D.

WOOLPERT, INC.

STEPHEN R. KREGER  
PROFESSIONAL LAND SURVEYOR #35-002985  
STATE OF ILLINOIS  
LICENSE EXPIRES NOVEMBER 30, 2018

WOOLPERT, INC.  
ILLINOIS PROFESSIONAL DESIGN FIRM REGISTRATION NUMBER 184-001393



WOOLPERT, INC.  
1815 South Meyers Road,  
Suite 950  
Oakbrook Terrace, IL 60181  
630.424.9080  
FAX: 630.495.3731

**3 of 3**

DATE: 04/04/18  
PROJECT: NO. 77742

# SITE IMPROVEMENT PLANS PROPOSED MIXED USE DEVELOPMENT

ILLINOIS ROUTE 38 AND RANDALL ROAD  
ST. CHARLES, IL  
APRIL 2018

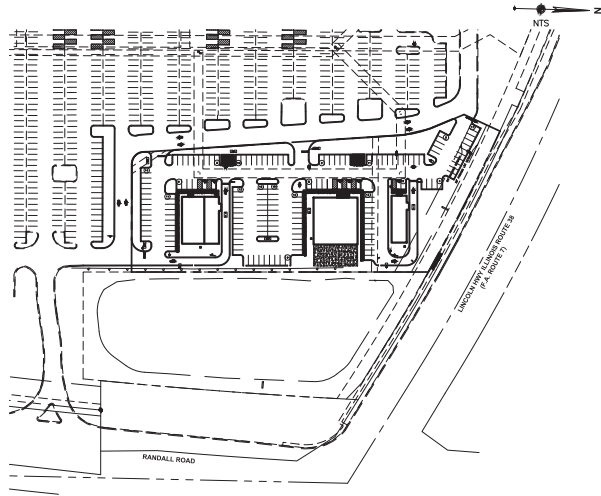
## ALRIG USA

30200 TELEGRAPH ROAD, SUITE 205, BINGHAM FARMS, MI 48025

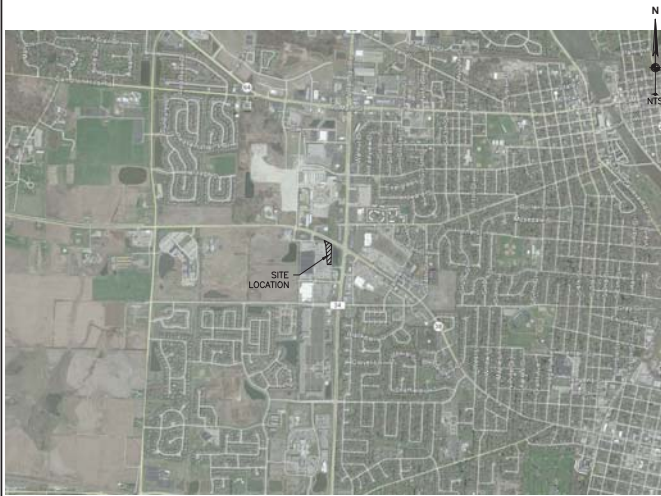


1815 South Meyers Road  
Suite 950  
Oakbrook Terrace, IL 60181  
630.424.9080  
FAX: 630.495.3731

### SITE PLAN



### VICINITY MAP

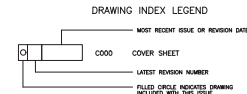


### SHEET INDEX

04/06/18	C000.....	COVER SHEET
04/06/18	C001.....	GENERAL NOTES
04/06/18	C100.....	EXIST. CONDITIONS & DEMOLITION PLAN
04/06/18	C101.....	TREE REMOVAL PLAN
04/06/18	C200.....	SITE PLAN
04/06/18	C300.....	GRADING PLAN
04/06/18	C301.....	EROSION CONTROL PLAN
04/06/18	C302.....	EROSION CONTROL DETAILS
04/06/18	C400.....	UTILITY PLAN
04/06/18	C500.....	LANDSCAPE PLAN
04/06/18	C600.....	DETAILS
04/06/18	C601.....	DETAILS
04/06/18	C602.....	DETAILS
04/06/18	C603.....	DETAILS
04/06/18	C700.....	LIGHTING PLAN

No.	DATE	REVISION
04/06/18		ISSUED FOR PUD SUBMITTAL

PROJECT No.: 077742



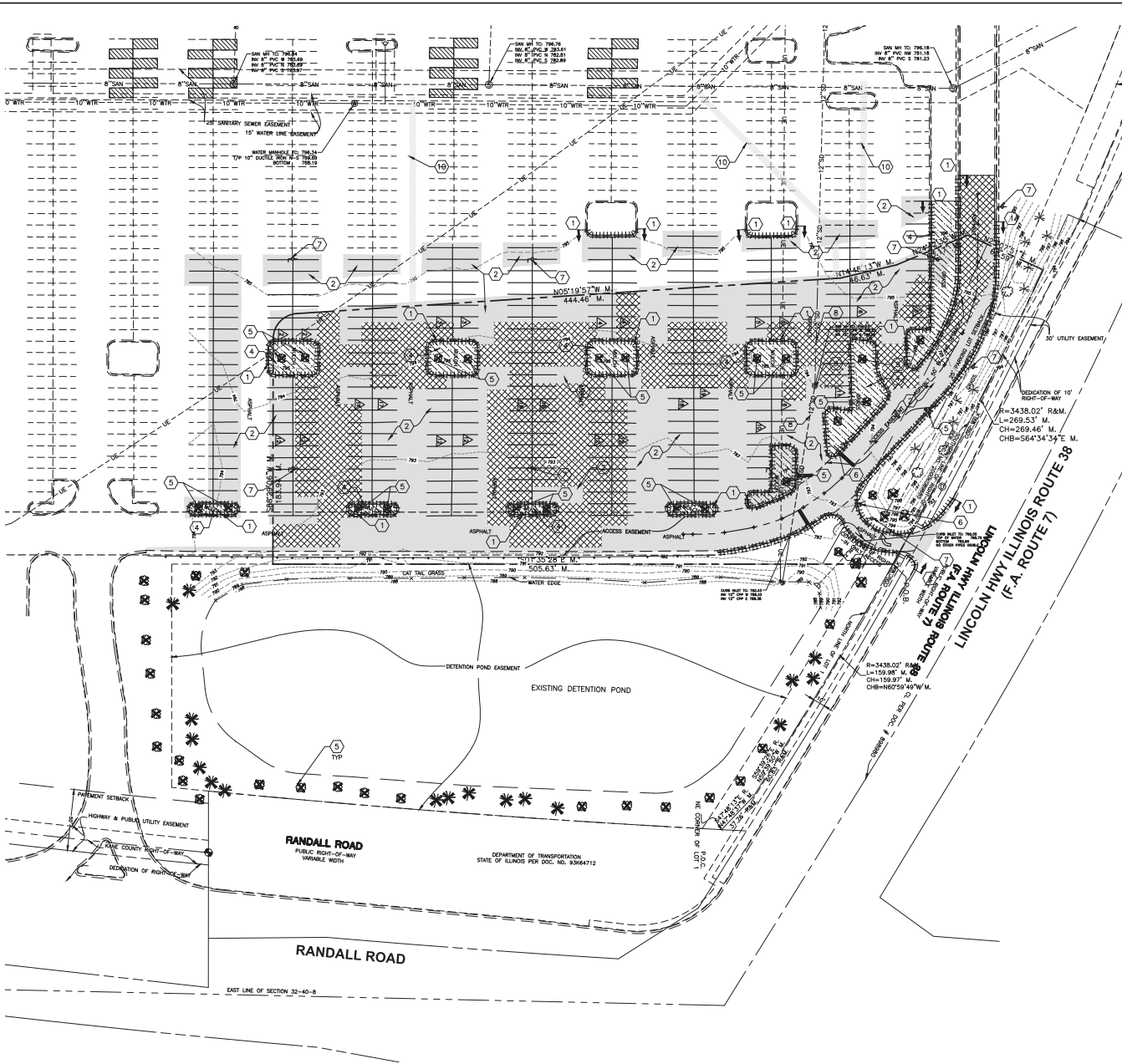
**C000**

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Layout Tab Name: C100 EXIST. CONDITIONS & DEMOLITION PLAN, Images from 182-Wahburgers-Redline-180330 (002).jpg - Xrefs: 077742-X.dwg; 077742-X-DIGITIZED.dwg; 077742-TBLK.dwg; 077742-P.dwg  
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**EXISTING LEGEND**

- ⊙ STORM MANHOLE
- CURB INLET
- CATCH BASIN
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER MANHOLE
- ⊕ SPRINKLER CONTROL VALVE
- ⊕ GAS METER
- ⊕ ELEC. TRANSFORMER
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ CLEANOUT
- ⊕ UTILITY POLE
- ⊕ LIGHT POLE
- GUY WIRE
- ⊕ TELEPHONE PEDESTAL
- ⊕ TRAFFIC SIGNAL PULL BOX
- ⊕ SANITARY MANHOLE
- SAN
- UG - UNDERGROUND ELECTRIC
- G - UNDERGROUND GAS
- SD - STORM
- SAN - SANITARY
- WTR - WATER
- EXISTING CURB (AND GUTTER)
- △ TOP OF CASTING
- △ PARKING COUNT

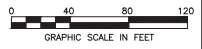
**DEMOLITION LEGEND**

- 1 SAWCUT AND REMOVE EXISTING CURB AND GUTTER
- 2 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT FULL DEPTH
- 3 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT, BASE COURSE TO REMAIN
- 4 REMOVE EXISTING LANDSCAPING
- 5 REMOVE EXISTING TREE, SEE TREE REMOVE PLAN C101
- 6 REMOVE EXISTING SIGN
- 7 REMOVE EXISTING LIGHTPOLE
- 8 REMOVE EXISTING STORM SEWER
- 9 REMOVE EXISTING STORM STRUCTURE
- 10 SAWCUT AND REMOVE FOR UTILITY TRENCH, REPLACE IN KIND

**DEMOLITION NOTES**

1. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
2. CALL J.U.L.I.E. (1-800-892-0123) FOR EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF UTILITIES ON SITE OR CROSSING THE SITE TO SERVICE ADJACENT PROPERTIES. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY OWNER OR OTHERS, DURING OCCUPIED HOURS, EXCEPT WHEN PERMITTED BY OTHERS.
4. DEMOLISH AND COMPLETELY REMOVE FROM SITE. EXISTING UNDERGROUND UTILITIES INDICATED TO BE REMOVED, COORDINATE WITH UTILITY COMPANIES FOR SHUT-OFF OF SERVICES, IF LINES ARE ACTIVE.
5. EXISTING PAVEMENT AND CONCRETE PAVEMENTS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL, AND ANY OTHER MATERIALS TRACKED ONTO ANY PUBLIC OR PRIVATE STREETS OR SIDEWALKS. THE CONTRACTOR MUST USE WATER OR OTHER METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
7. PAVEMENT DAMAGED DUE TO THE REMOVAL OF EXISTING CURB SHALL BE SAWCUT, REMOVED AND REPLACED IN KIND.
8. A FULL DEPTH SAWCUT SHALL BE PROVIDED IN ALL AREAS WHERE PROPOSED PAVEMENT OR CURB AND GUTTER MEETS EXISTING PAVEMENT.
9. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF BENCHMARKS PRIOR TO THE START OF CONSTRUCTION.

**BENCHMARK:**  
 THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
 REBAR FOUND - SEE EXISTING CONDITIONS PLAN FOR LOCATION.  
 ELEVATION = 791.01'



REVISION	
No.	DATE

PROJECT No: 077742  
 DATE 04/06/18  
 DES. TH  
 DR. TH  
 CKD. JS

1816 South Meyers Road  
 Suite 950  
 Oakbrook Terrace, IL 60181  
 630.424.9880  
 FAX: 630.495.3721

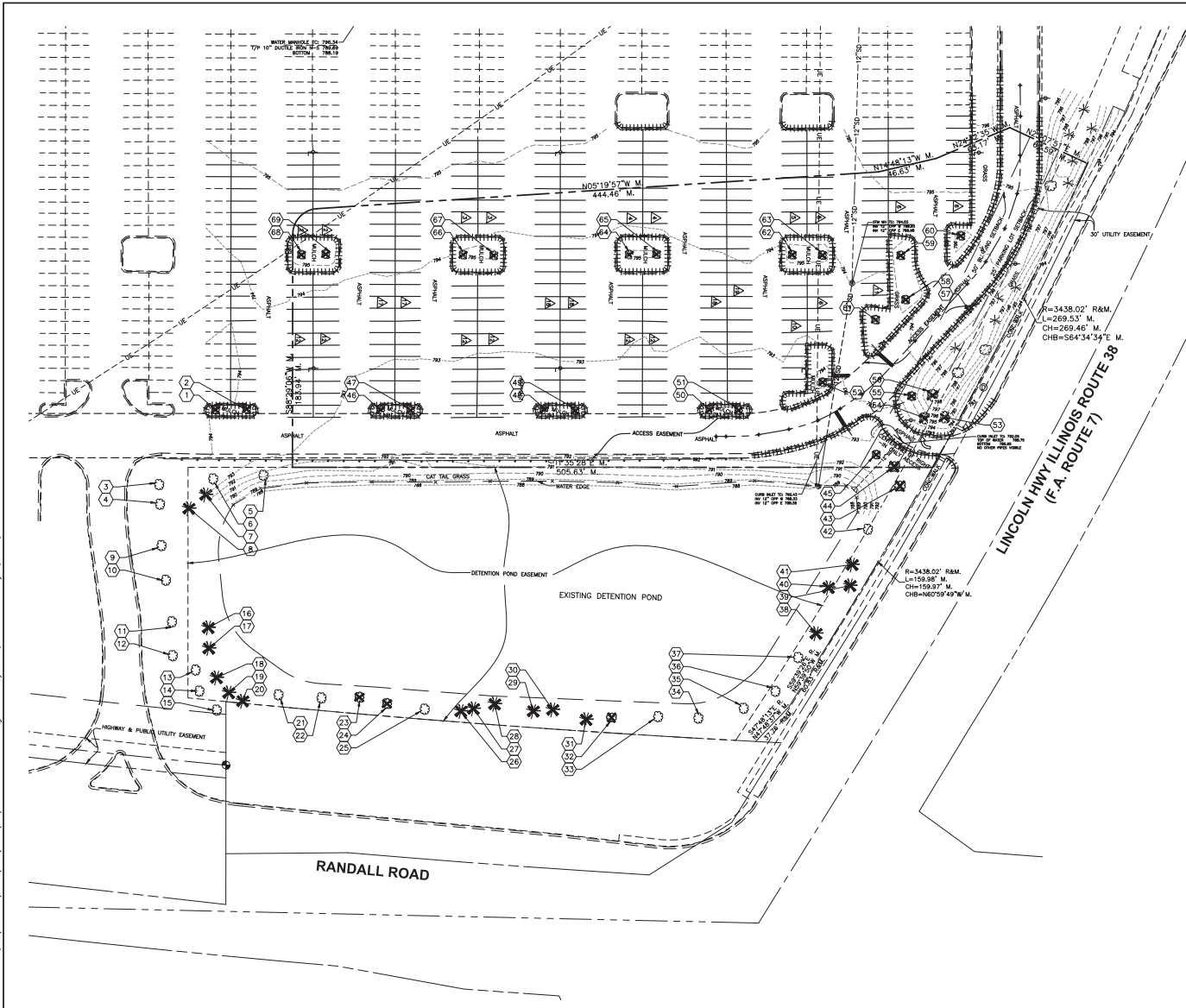
**WOOLBERT**  
 ENGINEERS & ARCHITECTS

**SITE IMPROVEMENT PLANS  
 PROPOSED MIXED USE DEVELOPMENT**  
 ILLINOIS ROUTE 38 AND RANDALL ROAD  
 ST. CHARLES, ILLINOIS

**EXIST. CONDITIONS & DEMOLITION PLAN**

SHEET No. **C100**

Layout Tab Name: C101 TREE REMOVAL.mxd; Project: 182--Wauburgers--Elevations--180330 (002).lsp; Xrefs: 077742-X-DIGITIZED.dwg; 077742-TBLK.dwg; 077742-P.dwg  
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**EXISTING LEGEND**

- ⊙ STORM MANHOLE
- CURB INLET
- △ FIRE HYD.
- ⊕ WATER VALVE
- ⊕ WATER MANHOLE
- ⊕ SPRINKLER CONTROL VALVE
- ⊕ GAS METER
- ⊕ ELEC. TRANSFORMER
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- CLEANOUT
- ⊕ UTILITY POLE
- ⊕ LIGHT POLE
- ⊕ GUY WIRE
- ⊕ TELEPHONE PEDESTAL
- ⊕ TRAFFIC SIGNAL PULL BOX
- ⊕ SANITARY MANHOLE
- UE --- UNDERGROUND ELECTRIC
- G --- UNDERGROUND GAS
- SD --- STORM
- SAN --- SANITARY
- WTR --- WATER
- EX --- EXISTING CURB (AND GUTTER)
- TC TOP OF CASTING
- ⊕ EXISTING EVERGREEN TREE TO REMAIN
- ⊕ EXISTING DECIDUOUS TREE TO REMAIN
- ⊕ EXISTING EVERGREEN TREE TO BE REMOVED
- ⊕ EXISTING DECIDUOUS TREE TO BE REMOVED

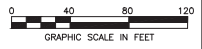
**TREES TO BE REMOVED OR TRIMMED**

ID	SCIENTIFIC NAME	COMMON NAME	TYPE	ACTION
1	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
2	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
3	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Trim
4	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Trim
5	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
6	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
7	Pinus nigra	Austrian Pine	Evergreen	Remove
8	Pinus nigra	Austrian Pine	Evergreen	Remove
9	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
10	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
11	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
12	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
13	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Trim
14	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Trim
15	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Trim
16	Pinus nigra	Austrian Pine	Evergreen	Remove
17	Pinus nigra	Austrian Pine	Evergreen	Remove
18	Pinus nigra	Austrian Pine	Evergreen	Remove
19	Pinus nigra	Austrian Pine	Evergreen	Remove
20	Pinus nigra	Austrian Pine	Evergreen	Remove
21	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
22	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
23	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Remove
24	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Remove
25	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Trim
26	Ficus abies	Norway Spruce	Evergreen	Remove
27	Ficus abies	Norway Spruce	Evergreen	Remove
28	Ficus abies	Norway Spruce	Evergreen	Remove
29	Ficus abies	Norway Spruce	Evergreen	Remove
30	Ficus abies	Norway Spruce	Evergreen	Remove
31	Ficus abies	Norway Spruce	Evergreen	Remove
32	Viburnum opulus 'Compactum'	Compact Cranberrybush	Deciduous Ornamental	Remove
33	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Trim
34	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Trim
35	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Trim
36	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Trim
37	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Trim
38	Pinus sylvestris	Scotch Pine	Evergreen	Remove
39	Pinus sylvestris	Scotch Pine	Evergreen	Remove
40	Pinus sylvestris	Scotch Pine	Evergreen	Remove
41	Pinus sylvestris	Scotch Pine	Evergreen	Remove
42	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Trim
43	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Remove
44	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Remove
45	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Remove
46	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
47	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
48	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
49	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
50	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
51	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
52	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Remove
53	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Remove
54	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Remove
55	Malus 'Snowdrift'	Snowdrift Crabapple	Deciduous Ornamental	Remove
56	Platanus acerifolia 'Bloodgood'	Bloodgood London Planetree	Deciduous Shade	Remove
57	Pinus nigra	Austrian Pine	Evergreen	Remove
58	Gedalia bicolor 'Skyline'	Skyline Honeylocust	Deciduous Shade	Remove
59	Gedalia bicolor 'Skyline'	Skyline Honeylocust	Deciduous Shade	Remove
60	Tilia cordata 'Greenspire'	Littleleaf Linden	Deciduous Shade	Remove
61	Gedalia bicolor 'Skyline'	Skyline Honeylocust	Deciduous Shade	Remove
62	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Remove
63	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Remove
64	Gedalia bicolor 'Skyline'	Skyline Honeylocust	Deciduous Shade	Remove
65	Gedalia bicolor 'Skyline'	Skyline Honeylocust	Deciduous Shade	Remove
66	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Remove
67	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Deciduous Shade	Remove
68	Zelkova serrata	Japanese Zelkova	Deciduous Shade	Remove
69	Zelkova serrata	Japanese Zelkova	Deciduous Shade	Remove

NOTES:  
 1. ALL DECIDUOUS SHADE TREES TO REMAIN SHALL BE TRIMMED TO PROVIDE A MINIMUM TEN (10) FOOT CLEAR TRUNK.  
 2. ALL DECIDUOUS ORNAMENTAL TREES TO REMAIN SHALL BE TRIMMED TO PROVIDE A MINIMUM FIVE (5) FOOT CLEAR TRUNK.

**BENCHMARK:**

THE BASIS OF ELEVATIONS HEREON IS NAVD 83.  
 REBAR FOUND - SEE EXISTING CONDITIONS PLAN FOR LOCATION.  
 ELEVATION = 791.01'



N

REVISION	NO.	DATE

PROJECT NO: 077742  
 DATE: 04/05/18  
 DES. BY: DR. JH.  
 DR. JH.  
 CKD. JS

1816 South Meyers Road  
 Suite 960  
 Oakbrook Terrace, IL 60181  
 (800) 424-9880  
 FAX: 630-495-3731

**W**  
**WOOLBERT**  
 ENGINEERS & ARCHITECTS

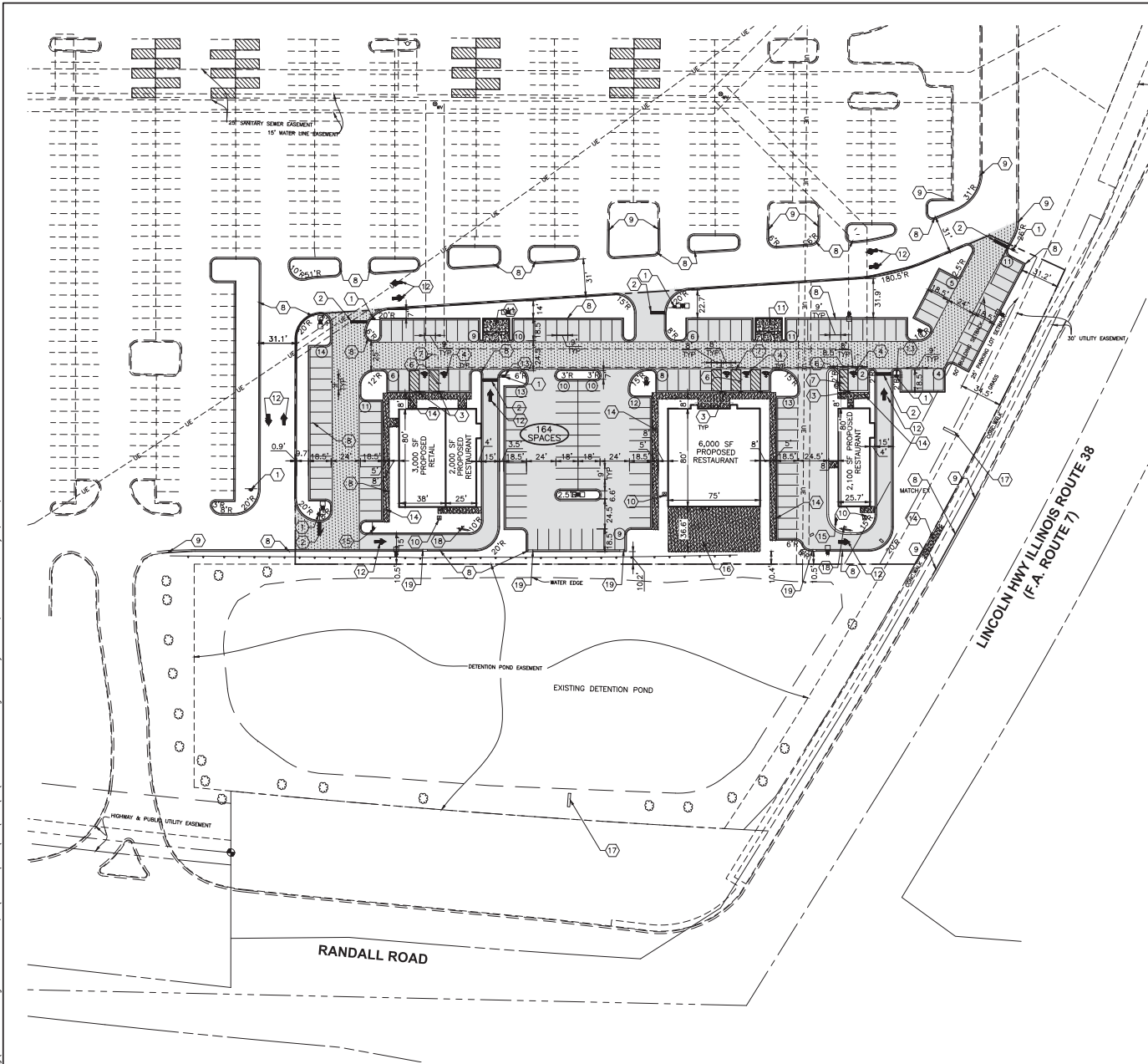
**SITE IMPROVEMENT PLANS**  
**PROPOSED MIXED USE DEVELOPMENT**  
 ILLINOIS ROUTE 38 AND RANDALL ROAD  
 ST. CHARLES, ILLINOIS

**TREE REMOVAL PLAN**

SHEET NO. **C101**



Layout Tab Name: C200 SITE PLAN, Images: Pages from 182-Wauburgers-Refine--180330 (002).ind; Xrefs: 077742-X.dwg; 077742-X-DIMITIZED.dwg; 077742-TBLK.dwg; 077742-P.dwg  
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**SITE LEGEND**

- INDICATES LIGHT DUTY PAVEMENT--SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES HEAVY DUTY PAVEMENT--SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES NEW CONCRETE PAVEMENT--SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES NEW SIDEWALK--SEE DETAILS FOR COMPOSITION
- LIGHT POLES
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- INDICATES ROW PARKING COUNT
- INDICATES PARKING TOTAL FOR SURROUNDING AREA
- PROPERTY BOUNDARY

**SITE KEY NOTES**

- NO. DESCRIPTION
- 1 "STOP" SIGN, R1-1
- 2 24" WIDE STOP BAR, TRAFFIC WHITE PAINT
- 3 ACCESSIBLE PARKING SIGN
- 4 ACCESSIBLE PARKING SYMBOL
- 5 ACCESSIBLE RAMP WITH DETECTABLE WARNING
- 6 ACCESSIBLE PARKING SPACES & THEIR ACCESS AISLES SHALL BE 2% MAX. SLOPE IN ALL DIRECTIONS
- 7 PAINT 4" WIDE STRIPES @ 2'-0" O.C. @ 45° ANGLE, TRAFFIC YELLOW PAINT
- 8 CURB AND GUTTER
- 9 BEGIN/END PROPOSED CURB AND GUTTER, SAWCUT EXISTING CURB TO PROVIDE CLEAN CONSTRUCTION JOINT.
- 10 PROPOSED CONCRETE TRANSFORMER PAD
- 11 PROPOSED DUMPSTER ENCLOSURE
- 12 DIRECTIONAL ARROW, TRAFFIC WHITE PAINT
- 13 "DO NOT ENTER" SIGN
- 14 CONCRETE SIDEWALK
- 15 "DRIVE-THRU" SIGN
- 16 CONCRETE PATIO
- 17 PROPOSED MONUMENT SIGN
- 18 PROPOSED MENU BOARD LOCATION
- 19 CURB CUT

**SITE NOTES**

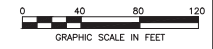
1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED. ALL RADII SHALL BE 4' UNLESS INDICATED OTHERWISE.
2. ALL PROPOSED CURB AND GUTTER SHALL BE B-6.12 UNLESS OTHERWISE NOTED.
3. ADA DETECTABLE WARNINGS/TRUNCATED DOMES TO BE PROVIDED AT SIDEWALKS ON EITHER SIDE OF EACH DRIVEWAY CROSSING.
4. ROADWAY AND SIDEWALK CONSTRUCTION TO MEET REQUIREMENTS OF THE CITY OF ST. CHARLES AND THE ILLINOIS ADA ACCESSIBILITY CODE.
5. CONTRACTOR TO PROVIDE STONE BASE COURSE IN AREAS WHERE EXISTING ISLANDS HAVE BEEN REMOVED. MATCH LIGHT DUTY PAVEMENT SECTION UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO PATCH IN KIND AREAS WHERE PAVEMENT HAS BEEN REMOVED FOR PROPOSED LANDSCAPE ISLANDS AFTER CURB AND GUTTER IS INSTALLED.

**SITE DATA**

PROPOSED SITE AREA	#2.94 ACRES
ZONING	BR-PUD
PIN	09-32-476-008 (MEIJER)
<b>BUILDING DATA:</b>	
RETAIL BUILDING AREA	3,000 SQ. FT.
RESTAURANT BUILDING AREA	10,100 SQ. FT.
<b>PARKING DATA:</b>	
RETAIL SPACES REQUIRED	4/1000 SF = 12
RESTAURANT SPACES REQUIRED	10/1000 SF = 101
TOTAL SPACES REQUIRED	113
TOTAL SPACES PROVIDED	164
ACCESSIBLE SPACES REQUIRED	6
ACCESSIBLE SPACES PROVIDED	6

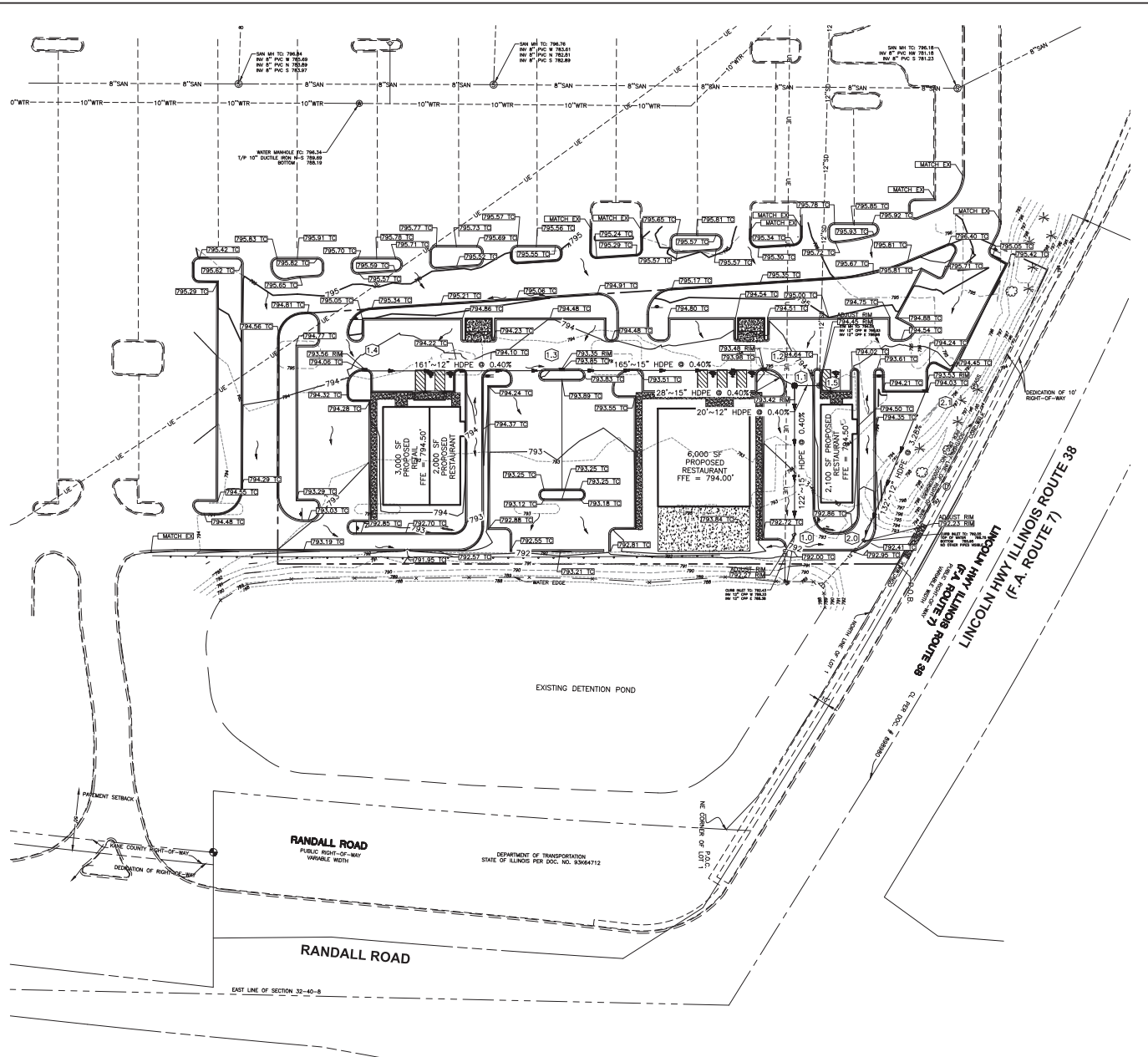
**BENCHMARK:**

THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
 REBAR FOUND - SEE EXISTING CONDITIONS PLAN FOR LOCATION.  
 ELEVATION = 791.01'



<b>REVISION</b>	
No.	DATE
PROJECT No: 077742 DATE 04/06/18 DES: TH DR: TH CKD: JS	
 1815 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 630.424.9880 FAX: 630.495.3731	
<b>SITE IMPROVEMENT PLANS</b> <b>PROPOSED MIXED USE DEVELOPMENT</b> ILLINOIS ROUTE 38 AND RANDALL ROAD ST. CHARLES, ILLINOIS	
<b>SITE PLAN</b>	
SHEET NO.	
<b>C200</b>	

Layout, Tab Name: C300 GRADING PLAN, Imprint: Pages from 182-Wauburgers-Refine-180330 (000).jpg - Xrefs: 077742-X.dwg: 077742-K-DIGITIZED.dwg: 077742-TBLK.dwg: 077742-P.dwg  
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**GRADING LEGEND**

- EXISTING BOUNDARY
- - - PROPOSED BOUNDARY
- 803 EXISTING 1' CONTOUR
- 810 EXISTING 5' CONTOUR
- 803 PROPOSED 1' CONTOUR
- 810 PROPOSED 5' CONTOUR
- PROPOSED STORM DRAIN
- DIRECTION OF FLOW
- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED CLEANOUT
- BENCHMARK
- PROPOSED CURB AND GUTTER
- PROPOSED STORM STRUCTURE CALLOUT

**PROPOSED ELEVATIONS LEGEND**

- 800.00 TC ELEVATION AT TOP OF CURB
- 800.00 TL ELEVATION AT FLOW LINE
- 800.00 PD ELEVATION AT TOP OF PAVEMENT
- 800.00 GD ELEVATION AT GRADE
- 800.00 SD ELEVATION AT TOP OF SLAB
- 800.00 TD ELEVATION AT TOP OF WALK
- 800.00 RM ELEVATION AT TOP OF CASTING (RIM OR FLOW LINE) ELEVATION
- 800.00 EM ELEVATION TO MATCH EXISTING GRADE

**EXISTING ELEVATIONS LEGEND**

- 800.00 TC TOP OF CASTING (RIM OR FLOW LINE) ELEVATION
- 800.00 SPOT ELEVATION

**STORM STRUCTURE TABLE**

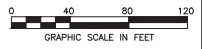
STRUCTURE ID	DESCRIPTION	RIM/GRATE*	INVERT
1.0	EXISTING STORM STRUCTURE OPEN LID	792.27	15" = 788.33 (W) 12" = 788.38 (E)**
1.1	STORM MH 48" DIA OPEN LID	793.42	15" = 788.82 (SW) 12" = 788.85 (N) 15" = 788.82 (E)
1.2	CURB INLET	793.98*	15" = 788.93 (S) 15" = 788.93 (NE)
1.3	CURB INLET	793.85*	15" = 789.59 (N) 12" = 789.59 (S)
1.4	CURB INLET	794.06*	12" = 790.24 (N)
1.5	EXISTING STM MANHOLE CLOSED LID	794.45	12" = 788.93 (S) 12" = 788.93 (W)**
2.0	EXISTING STORM STRUCTURE OPEN LID	792.23	12" = 786.23 (W) 12" = 785.95 (SE)**
2.1	CURB INLET	794.05*	12" = 790.55 (E)

**NOTES:**

- \*RIM ELEVATION FOR CURB INLET STRUCTURES SHOWN IN TABLE ARE TOP OF CURB ELEVATIONS. RIM FLOW LINE ELEVATIONS ARE 0.5' BELOW TOP OF CURB. REFER TO PLAN.
- \*\*VERIFY EXISTING INVERT ELEVATIONS AT EXISTING STRUCTURES.
- ADJUST EXISTING STRUCTURES 1.0, 1.5, AND 2.0 TO MEET PROPOSED RIM ELEVATIONS. SEE ADDITIONAL NOTES ON DETAIL 6/C601.
- EXISTING FRAMES AND LIDS SHALL BE REMOVED AND RETURNED TO THE CITY OF ST. CHARLES AND SHALL BE REPLACED WITH NEENAH R-1713 FRAME AND OPEN/CLOSED LID.

**BENCHMARK:**

THE BASIS OF ELEVATIONS HEREON IS NAVD 88. REBAR FOUND - SEE EXISTING CONDITIONS PLAN FOR LOCATION.  
 ELEVATION = 791.01'



REVISION	No.	DATE

PROJECT No: 077742  
 DATE 04/06/18  
 DES: TH  
 DR: TH  
 CKD: JC

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 Suite 950  
 Oakbrook Terrace, IL 60181  
 630.424.9880  
 FAX: 630.495.3731

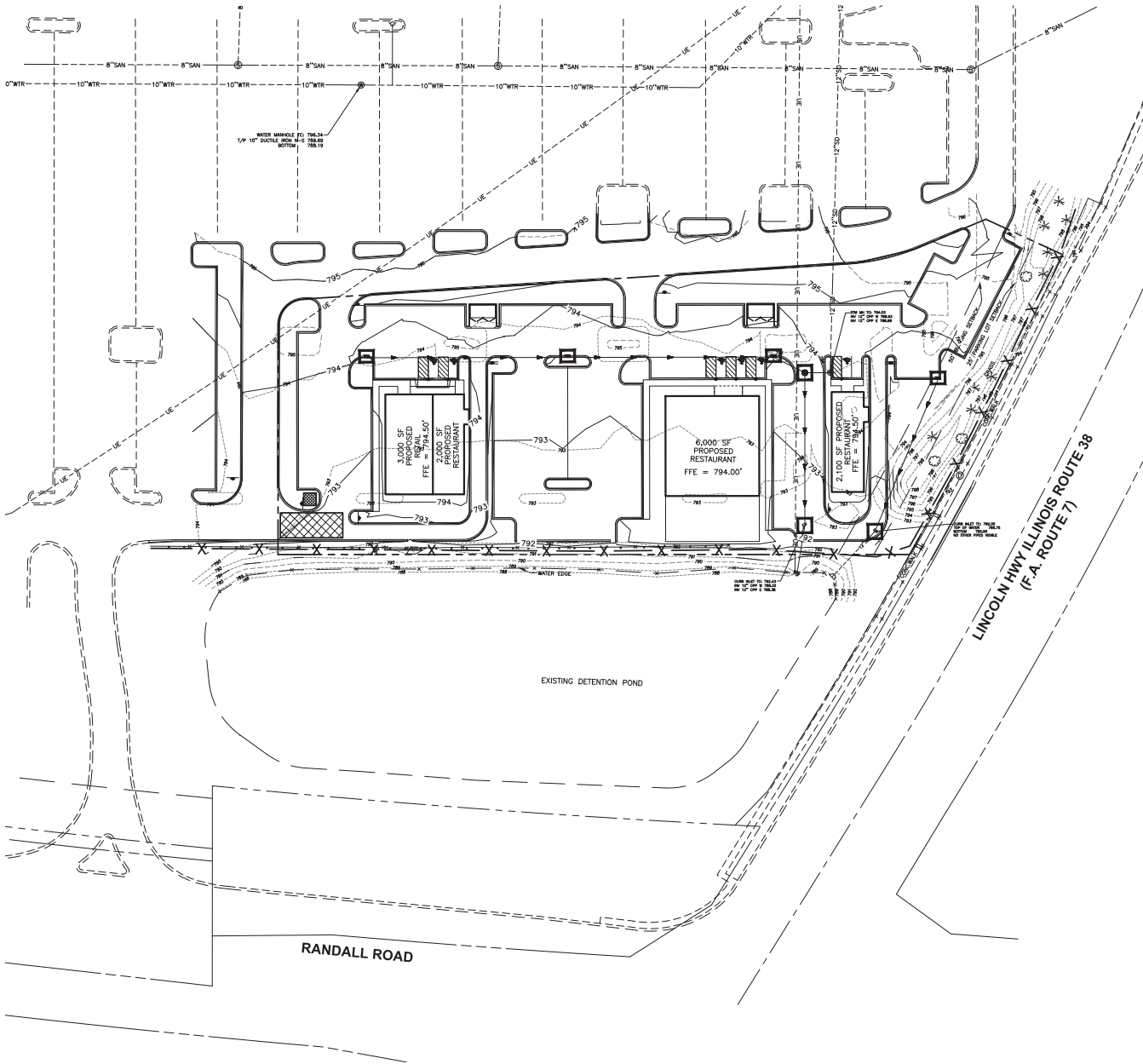
**WOLBERT**  
 CIVIL ENGINEERS & ARCHITECTS

**SITE IMPROVEMENT PLANS  
 PROPOSED MIXED USE DEVELOPMENT**  
 ILLINOIS ROUTE 38 AND RANDALL ROAD  
 ST. CHARLES, ILLINOIS

SHEET No. **C300**

**GRADING PLAN**

Layout Tab Name: C301 EROSION CONTROL PLAN Images: Pages from 182-Waburgers-Redline-180330 (002).jpg - Xrefs: 077742-X.dwg: 077742-X-DIGITIZED.dwg: 077742-TBLK.dwg: 077742-F.dwg  
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**EROSION CONTROL LEGEND**

- X SILT FENCE
- [Hatched Box] STABILIZED CONCRETE ENTRANCE
- [Cross-hatched Box] TEMPORARY CONCRETE CLEAN OUT AREA
- [Square with 'I'] INLET PROTECTION
- [Square with 'C'] CURB INLET PROTECTION

**EROSION CONTROL NOTES**

1. SOIL TRACKED OFF-SITE BY CONSTRUCTION VEHICLES SHALL BE REMOVED FROM THE PAVEMENTS AS DEEMED NECESSARY BY THE CITY OF ST. CHARLES ENGINEER AND SHALL BE RETURNED TO THE SITE OR DISPOSED OF IN AN APPROVED MANNER.
2. INLET PROTECTION SHALL BE REMOVED AFTER THE SITE HAS BEEN PAVED AND ALL ISLANDS/GRASS AREAS HAVE BEEN MULCHED/SEEDED.
3. CONTRACTOR SHALL CLEAN ANY SEDIMENT THAT COLLECTS IN CHANNEL AND INLETS OR IS DEPOSITED ON-SITE PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
4. EROSION CONTROL DEVICES AS SHOWN ARE THE MINIMUM PROTECTION REQUIREMENTS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE SITE IS PERMANENTLY STABILIZED. THE CONTRACTOR IS REQUIRED TO INSTALL ADDITIONAL DEVICES FOR PROTECTION AT HIS EXPENSE TO MINIMIZE EROSION PER LOCAL REQUIREMENTS.
5. ALL EROSION CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF A SIGNIFICANT RAINFALL. RECORDS OF THESE INSPECTIONS AND CORRECTIVE ACTIONS TAKEN SHALL BE MAINTAINED ON FILE IN THE CONSTRUCTION OFFICE.
6. CONTRACTOR SHALL PREVENT SEDIMENT FROM LEAVING THE SITE.
7. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
8. INSTALL ADDITIONAL CONTROL MEASURES IF DEEMED NECESSARY BY ONSITE INSPECTION.
9. CONTRACTOR SHALL ESTABLISH PERMANENT SOIL STABILIZATION.
10. INLET PROTECTION SHALL BE AN INLET PROTECTOR MANUFACTURED BY MAR-MAC OR IPP INLET FILTER OR APPROVED EQUAL.
11. SOIL STOCKPILES GREATER THAN 10 CUBIC YARDS MUST BE LOCATED AT LEAST 25' FROM ROADWAYS, DRAINAGE CHANNELS, WETLANDS, ETC.
12. ALL RIP RAP TO BE MIN. 8" DIAMETER (DOT GRADATION 3).
13. SIDE SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET BY THE SITE CONTRACTOR. EROSION CONTROL BLANKET SHALL BE TYPE SC150, STRAW/FIBER EROSION CONTROL BLANKET AS MANUFACTURED BY NORTH AMERICAN GREEN COMPANY, OR AN ENGINEER APPROVED EQUAL.

**SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES**

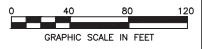
1. INSTALL PERIMETER SE/SC MEASURES SUCH AS SILT FENCE AND A STABILIZED CONSTRUCTION ENTRANCE.
2. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED. MAINTENANCE FOR SE/SC MEASURES MUST OCCUR EVERY TWO WEEKS AND AFTER EVERY 0.5-INCH OR GREATER RAINFALL EVENT.
3. INSTALL STORM SEWER, SANITARY SEWER, WATER AND ASSOCIATED INLET AND OUTLET PROTECTION (SEE DETAIL)
4. TEMPORARILY STABILIZE ALL AREAS INCLUDING LOTS THAT HAVE REACHED TEMPORARY GRADE.
5. INSTALL CONCRETE AND ASPHALT PAVEMENT
6. REMOVE ALL TEMPORARY SE/SC MEASURES

**AREA SUMMARY**

PROJECT SITE AREA = 2.94 ACRES  
 DISTURBED AREA = 3.80 ACRES

**BENCHMARK:**

THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
 REBAR FOUND - SEE EXISTING CONDITIONS PLAN FOR LOCATION.  
 ELEVATION = 791.01'



<b>PROJECT No.:</b> 077742 <b>DATE:</b> 04/26/18 <b>DES. BY:</b> JH <b>DR. BY:</b> JH <b>CKD. BY:</b> JS	<b>REVISION</b> No.   DATE   DESCRIPTION
	<b>1815 South Meyers Road</b> Suite 950 <b>Woolbert</b> Oakbrook Terrace, IL 60181 630.424.9880 FAX: 630.495.3731
	<b>SITE IMPROVEMENT PLANS</b> <b>PROPOSED MIXED USE DEVELOPMENT</b> ILLINOIS ROUTE 38 AND RANDALL ROAD ST. CHARLES, ILLINOIS
	<b>EROSION CONTROL PLAN</b> SHEET NO. <b>C301</b>

Layout Tab Name: C302 EROSION CONTROL DETAILS; Images: Construction Entrance Page 1.rvt; Construction Entrance Page 1.rvt; Construction Entrance Page 2.rvt; FLEXSTORM\_CATCH-IT\_SUMMIT.rvt; Silt Fence.rvt; Xref: 077742-TBL6.dwg  
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**EROSION CONTROL REQUIREMENTS FOR COMPLIANCE WITH EPA'S GENERAL PERMIT FOR CONSTRUCTION**

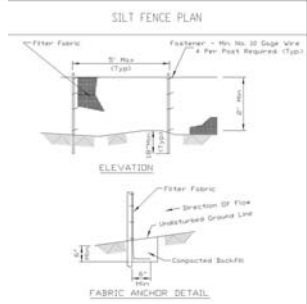
- THE EROSION CONTROL MEASURES INCLUDED IN THE STORM WATER POLLUTION PREVENTION PLAN (GRADING/EROSION CONTROL PLAN AND EROSION CONTROL DETAILS) SHALL BE INSTALLED PRIOR TO INITIAL LAND DISTURBANCE ACTIVITIES OR AS SOON AS PRACTICAL. SEDIMENT SHALL BE PREVENTED FROM DISCHARGING FROM THE PROJECT SITE BY INSTALLING AND MAINTAINING SILT FENCE, STRAW BALES, SEDIMENT BASINS, ETC. AS SHOWN ON THIS PLAN. IF SHOWN ON THESE PLANS, EROSION CONTROL DEVICES OR EROSION CONTROL AT THE OUTFALL OF THE STORM SEWER SYSTEM SHALL BE INSTALLED AT THE TIME OF THE CONSTRUCTION OF THE OUTFALL.
- THE CONTRACTOR SHALL CONTROL WASTES, GARBAGE, DEBRIS, WASTEWATER, AND OTHER SUBSTANCES ON THE SITE IN SUCH A WAY THAT THEY SHALL NOT BE TRANSPORTED FROM THE SITE BY THE ACTION OF WINDS, STORM WATER RUNOFF, OR OTHER FORCES. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES AND UNUSED BUILDING MATERIAL, APPROPRIATE TO THE NATURE OF THE WASTE OR MATERIAL IS REQUIRED. COMPLIANCE IS REQUIRED WITH ALL STATE OR LOCAL REGULATIONS REGARDING WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC SYSTEMS.
- PUBLIC OR PRIVATE ROADWAYS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF LIKELY ORIGIN OR OTHER SUITABLE LOCATION. SEDIMENT SHALL BE REMOVED AT THE END OF EACH WORKDAY.
- ALL ON-SITE STORM DRAIN INLETS SHALL BE PROTECTED AGAINST SEDIMENTATION WITH STRAW BALES, FILTER FABRIC, OR EQUIVALENT BARRIERS AS SHOWN ON THESE PLANS.
- EXCEPT AS PREVENTED BY INCLEMENT WEATHER CONDITIONS, ALL DISTURBED AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED BY SEEDING, SOODING, MULCHING, COVERING, OR BY OTHER EQUIVALENT EROSION CONTROL MEASURES WITHIN SEVEN (7) DAYS. PERMANENT SOIL STABILIZATION SHALL BE PROVIDED WITHIN 7 DAYS AFTER FINAL GRADE IS ESTABLISHED.
- THIS EROSION CONTROL PLAN SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE. ALL MEASURES INVOLVING EROSION CONTROL PRACTICES SHALL BE INSTALLED UNDER THE GUIDANCE OF QUALIFIED PERSONNEL EXPERIENCED IN EROSION CONTROL, AND FOLLOWING THE PLANS AND SPECIFICATIONS INCLUDED HEREIN.
- DURING THE PERIOD OF CONSTRUCTION ACTIVITY, ALL SEDIMENT BASINS AND OTHER EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR. AT COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE TRANSFER OF MAINTENANCE RESPONSIBILITIES, IF REQUIRED, WITH THE OWNER. MAINTENANCE SHALL BE IN ACCORDANCE WITH THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 1987, AND THE STORMWATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH ILLINOIS ENVIRONMENTAL PROTECTION AGENCY NPDES PERMIT FOR GENERAL CONSTRUCTION AND ALL PRACTICES WILL MEET OR EXCEED THOSE DETAILED IN THE ILLINOIS URBAN MANUAL.
- EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS PRACTICAL.
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED IN ACCORDANCE WITH THE CONDITIONS OF APPLICABLE NPDES PERMITS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE REMOVED AND DISPOSED OF WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION.
- THIS EROSION CONTROL PLAN MUST BE RETAINED ON-SITE AT ALL TIMES DURING THE PERIOD OF CONSTRUCTION.
- STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (I.E. PERIMETER SILT FENCE). STOCKPILES TO REMAIN IN PLACE FOR 21 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
- ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE STABILIZED CONSTRUCTION ENTRANCE ONLY.
- IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
- ANY SEDIMENT REACHING THE STORM SEWER SYSTEM SHALL BE REMOVED FROM THE SEWER AND NOT FLUSHED DOWNSTREAM.
- ANY ERODED SEDIMENT CAPTURED IN DETENTION, RETENTION, OR DEPRESSION STORAGE AREAS SHALL BE REMOVED BY THE APPLICANT BEFORE PROJECT COMPLETION.
- WIND EROSION AND CONTROLLING DUST ON THE PROJECT SITE SHALL BE ADDRESSED BY USING THE FOLLOWING METHODS (OR APPROVED EQUAL):
  - FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
  - PROVIDE TRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
- ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".

STABILIZATION TYPE:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING			A									
DORMANT SEEDING	B											
TEMPORARY SEEDING			C			D						
SOODING		E**										
MULCHING	F											

- A = KENTUCKY BLUEGRASS @ 90 LBS/AC, MIXED WITH PERENNIAL RYEGRASS @ 30 LBS/AC.  
 B = KENTUCKY BLUEGRASS @ 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS @ 45 LBS/AC, PLUS 2 TON/AC, STRAW MULCH  
 C = SPRING OATS @ 100 LBS/AC.  
 D = WHEAT OR CERIAL, RTE @ 150 LBS/AC  
 E = SOD  
 F = STRAW MULCH @ 2 TONS/AC.  
 \*\* = IRRIGATION NEEDED DURING JUNE AND JULY  
 \*\*\* = IRRIGATION NEEDED FOR 2-3 WEEKS AFTER APPLYING SOD
- REF. = SCS "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS".

TYPICAL SOIL PROTECTION DETAILS

2  
C302



- NOTES:**
- Temporary sediment fence shall be installed prior to any grading work. It shall be removed as soon as possible, but not later than 7 days after construction is completed in conjunction with the final grading and site stabilization.
  - Filter fabric shall meet the requirements of material specification 290 SEDIMENT, Table I or C, Class I, II or IV and shall be placed over the cleared area prior to the grading of rock.
  - Blankets or reinforced concrete shall meet one of the following: 297 coarse aggregate granular; 297.1 Class I or II; or 297.2 and shall be placed according to construction specification 29 ROCKFILL, using placement Method I and Class III construction.
  - Blanket drainage facilities required because of washing shall be constructed according to manufacturer's specifications.
  - All wash traps are used they shall be installed according to the manufacturer's specifications.

4  
C302

**FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION DRAWING**

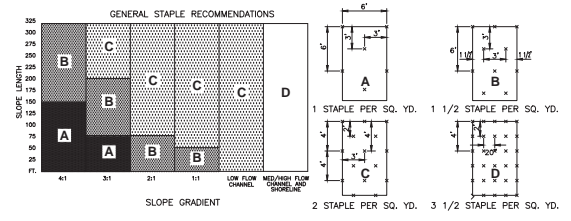
**INSTALLATION:**

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER INTO SOD OR EXISTING OR CONCRETE STRUCTURE
- REPLACE GRATE

**PRODUCT SELECTION TABLE:**

Product	Material	Weight	Dimensions
Flexstorm Catch-It A	FRP	150 lbs	24" x 24" x 12"
Flexstorm Catch-It B	FRP	100 lbs	18" x 18" x 12"
Flexstorm Catch-It C	FRP	75 lbs	14" x 14" x 12"

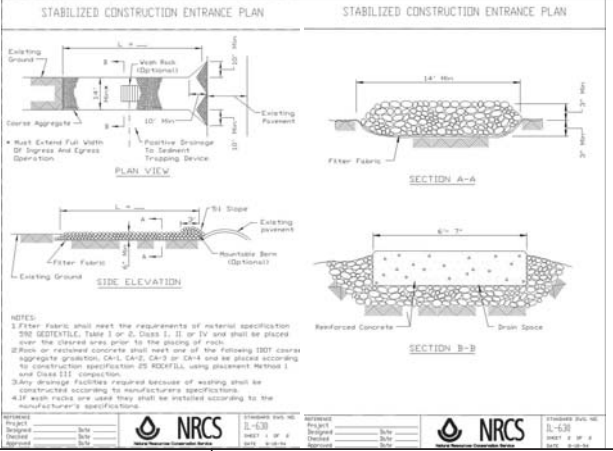
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- NOTE:**
- CHANNEL LINING UTILIZE STAPLE PATTERN "C" WITH ADDITIONAL STAPLES ON SIDE SLOPES AT PROJECTED WATER LINE.
  - STAPLE PATTERNS APPLY TO ALL NORTH AMERICAN GREEN EROSION CONTROL BLANKETS, STAPLE PATTERNS MAY VARY DEPENDING UPON SOIL TYPE AND AVERAGE RAINFALL.
  - AT SLOPE LENGTHS GREATER THAN 300 FEET OR WHERE DRAINAGE OVER LARGE AREAS IS DIRECTED ONTO THE BLANKETS, STAPLE PATTERN "C" SHOULD BE UTILIZED.
  - EROSION CONTROL MAT SHALL BE PLACED ON ALL DISTURBED AREAS

EROSION CONTROL MAT INSTALLATION GUIDE DETAIL

3  
C302



**NRCS** National Resource Conservation Service

**NRCS** National Resource Conservation Service

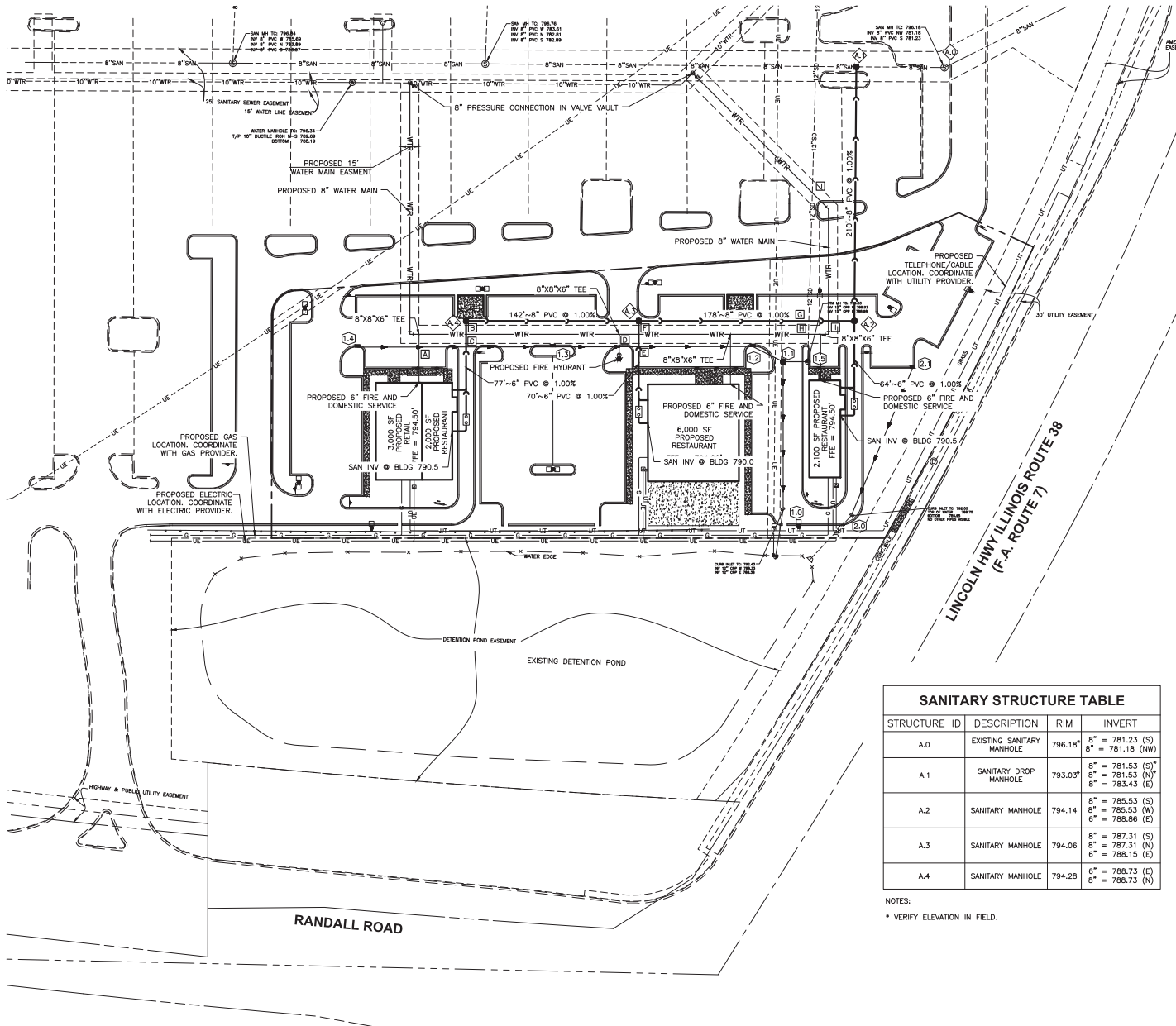
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C302

**SITE IMPROVEMENT PLANS  
 PROPOSED MIXED USE DEVELOPMENT**  
 ILLINOIS ROUTE 39 AND RANDALL ROAD  
 ST. CHARLES, ILLINOIS

**EROSION CONTROL DETAILS**

SHEET NO. **C302**

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### UTILITY LEGEND

PROPOSED BOUNDARY  
 PROPOSED SANITARY SEWER  
 PROPOSED STORM DRAIN  
 PROPOSED WATER MAIN  
 PROPOSED ELECTRIC  
 PROPOSED GAS  
 PROPOSED TELEPHONE

PROPOSED CATCH BASIN  
 PROPOSED CURB INLET  
 PROPOSED MANHOLE  
 PROPOSED CLEAN OUT  
 PROPOSED FIRE HYDRANT  
 PROPOSED VALVE  
 PROPOSED VALVE VAULT  
 LIGHT POLES

INDICATES DETAIL LOCATION (DETAIL NUMBER/DETAIL SHEET)  
 PROPOSED SANITARY STRUCTURE CALLOUT  
 PROPOSED STORM STRUCTURE CALLOUT  
 PROPOSED UTILITY CROSSING CALLOUT

- ### UTILITY NOTES
- CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR ELECTRIC SERVICE AND TRANSFORMER LOCATION.
  - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR NATURAL GAS SERVICE.
  - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR TELEPHONE SERVICE.

### UTILITY CROSSINGS

FINISH GRADE	B/PIPE	T/PIPE	Offset
12" STM	8" WTR	8" WTR	-1.50'
6" SAN	8" WTR	8" WTR	-1.50'
12" STM	6" SAN	6" SAN	-0.39'
12" STM	8" WTR	8" WTR	-1.50'
12" STM	6" SAN	6" SAN	-0.41'
6" SAN	6" WTR	6" WTR	-1.50'
12" STM	6" SAN	6" SAN	-2.45'
12" STM	8" WTR	8" WTR	-1.50'
8" WTR	8" SAN	8" SAN	-2.10'
12" STM	8" WTR	8" WTR	-1.50'

\* VERIFY ELEVATION IN FIELD.  
 \*\* PROVIDE WATER MAIN PROTECTION

### SANITARY STRUCTURE TABLE

STRUCTURE ID	DESCRIPTION	RIM	INVERT
A.0	EXISTING SANITARY MANHOLE	796.18'	8" = 781.23 (S) 8" = 781.18 (NW)
A.1	SANITARY DROP MANHOLE	793.03'	8" = 781.53 (S)* 8" = 781.53 (N)* 8" = 783.43 (E)
A.2	SANITARY MANHOLE	794.14'	8" = 785.53 (S) 8" = 785.53 (W) 6" = 788.86 (E)
A.3	SANITARY MANHOLE	794.06'	8" = 787.31 (S) 8" = 787.31 (N) 6" = 786.15 (E)
A.4	SANITARY MANHOLE	794.28'	6" = 788.73 (E) 8" = 788.73 (N)

NOTES:  
 \* VERIFY ELEVATION IN FIELD.

**BENCHMARK:**  
 THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
 REBAR FOUND - SEE EXISTING CONDITIONS PLAN FOR LOCATION.  
 ELEVATION = 791.01'

NO.	DATE	REVISION

PROJECT No: 077742  
 DATE: 04/06/18  
 DES: JH  
 DR: JH  
 CKD: JS

1816 South Meyers Road  
 Suite 950  
 Oakbrook Terrace, IL 60181  
 630.424.9880  
 FAX: 630.495.3731

**SITE IMPROVEMENT PLANS**  
**PROPOSED MIXED USE DEVELOPMENT**  
 ILLINOIS ROUTE 38 AND RANDALL ROAD  
 ST. CHARLES, ILLINOIS

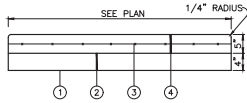
**UTILITY PLAN**

SHEET No. **C400**





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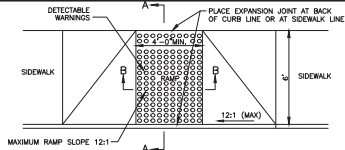


- 1 SUBGRADE COMPACTION
- 2 AGGREGATE BASE, 4" COURSE
- 3 1-LAYER ~ 6 x 6, W1.4 x W1.4 W.W.F.
- 4 5" CONCRETE, 4000 psi @ 28 DAYS

NOTES:  
 1. CONTRACTION JOINTS EVERY 5'-0" c/c. EXPANSION JOINTS EVERY 25'-0" c/c. EXPANSION JOINTS TO BE SEALED WITH CAULK PER SPECIFICATIONS.  
 2. (3) #5 REBARS ARE REQUIRED AT ALL TRENCH CROSSINGS.

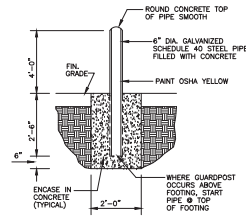
**CONCRETE SIDEWALK DETAIL**  
NTS

1  
C600



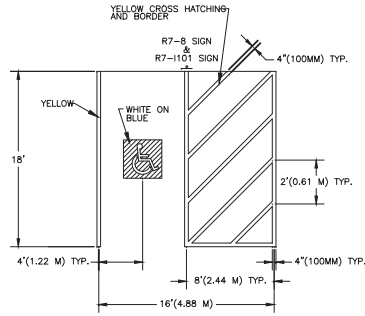
**SIDEWALK RAMP DETAIL**  
NTS

2  
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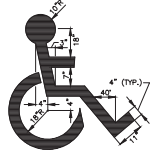
**BOLLARD DETAIL**  
NTS

3  
C600



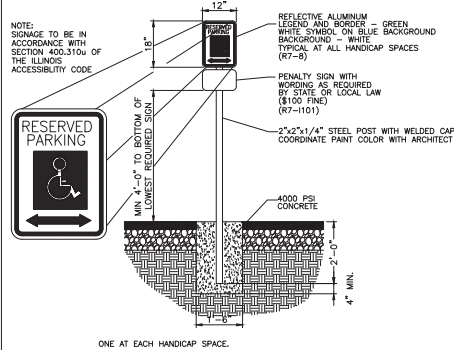
**ACCESSIBLE PARKING SPACE MARKINGS DETAIL**  
NTS

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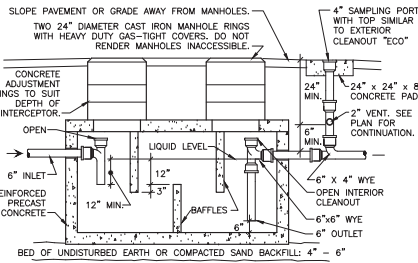
**ACCESSIBLE PARKING PAVEMENT SYMBOL DETAIL**  
NTS

6  
C600



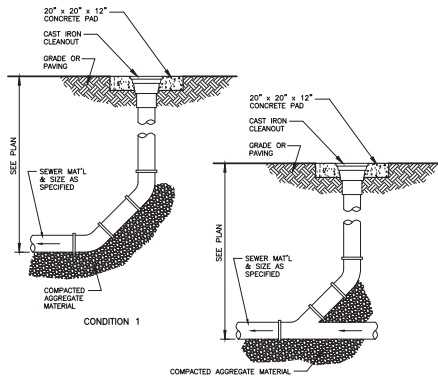
**ACCESSIBLE PARKING SIGN**  
NTS

7  
C600



**PRECAST CONCRETE GREASE INTERCEPTOR DETAIL**  
NTS

9  
C600



**STANDARD CLEANOUT DETAIL**  
NTS

10  
C600

REVISION	DATE	NO.

PROJECT No:	DATE	DWG. DES.	DR.	CHKD.
077742	04/06/18	JH	JH	JSC

1815 South Meyers Road  
 Suite 950  
 Oakbrook Terrace, IL 60181  
 630.424.9880  
 FAX: 630.495.3731



**SITE IMPROVEMENT PLANS**  
**PROPOSED MIXED USE DEVELOPMENT**  
 ILLINOIS ROUTE 38 AND RANDALL ROAD  
 ST. CHARLES, ILLINOIS

**DETAILS**

SHEET NO.

**C600**

BK

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**A. FLEXIBLE PAVEMENT**

**B. RIGID PAVEMENT**

**C. COMPOSITE PAVEMENT**

**NOTES:**

- HOT MIX ASPHALT SURFACE & BINDER COURSE SHALL CONFORM TO IDOT HMA MIX SELECTION TABLE.
- PORTLAND CEMENT CONCRETE SHALL CONFORM TO IDOT CLASS PPV, MIN. 3500 PSI (6-1 BAG MIX) AT 14 DAYS, WITH 5% TO 8% AIR ENTRAINMENT, (NO FLY ASH ALLOWED)
- ALL SUBGRADE SHALL HAVE A MINIMUM ILLINOIS BEARING RATIO (IBR) OF 3.0, AND BE COMPACTED TO AT LEAST 90% MODIFIED PROCTOR DENSITY (ASTM D-1557)

NOT TO SCALE

**MINIMUM PAVEMENT DETAILS**

DATE: 2-3-10

**A. FLEXIBLE PAVEMENT**

**B. RIGID PAVEMENT**

**C. COMPOSITE PAVEMENT**

**NOTES:**

- ALL PAVEMENT PATCHES SHALL BE SAWCUT FULL-DEPTH A MINIMUM OF ONE FOOT BEYOND THE LIMITS OF THE FAILED PAVEMENT IN ALL DIRECTIONS.
- PORTLAND CEMENT CONCRETE SHALL CONFORM TO IDOT CLASS PP MIN. 3,500 PSI (6-1 BAG MIX) AT 14 DAYS, WITH 5% TO 7% AIR ENTRAINMENT, (NO FLY ASH ALLOWED)

NOT TO SCALE

**PAVEMENT PATCH DETAIL**

DATE: 12-8-10

**DEPRESSED CURB**

**B6.12 CURB & GUTTER**

**NOTES:**

- CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS, AND SHALL BE GROOVED WITH AN EDGING TOOL. SEE ARTICLE 420.10 OF IDOT STANDARD SPECIFICATIONS.
- EXPANSION JOINTS SHALL BE PLACED AT 60' (MAX) INTERVALS, AT ALL P.C.'S AND P+1.5, CURB RETURNS, AND AT THE END OF EACH POUR
- P.C.C. SHALL CONSIST OF IDOT CLASS S1 (6-1 BAG MIX) CONCRETE, WITH 5% TO 8% AIR ENTRAINMENT, AND A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 14 DAYS, (NO FLY ASH ALLOWED)

NOT TO SCALE

**FOR RESIDENTIAL STREETS ONLY**

**B6.12 COMB. CONCRETE CURB AND GUTTER (SPECIAL)**  
**B6.12 P.C.C. INTEGRAL CURB AND GUTTER (SPECIAL)**

DATE: 3-31-09

**DEPRESSED CURB**

**CURB & GUTTER**

**NOTES:**

- SEE TYPICAL DETAIL FOR CURB AND GUTTER FOR CURB DIMENSIONS AND SPECIFICATIONS.

NOT TO SCALE

**SIDEWALK AT CURB AND GUTTER**

DATE: 3-31-09

**SPECIAL LETTERED R-1713 HD51 WATER VAULT, SANITARY AND STORM SEWER MANHOLE COVER**

**NOTES:**

- REVISE TO MATCH UTILITY
- HEAVY DUTY MATERIAL: ASTM A48 CL 35 MACHINED BEARING SURFACE COVER WT: 125 LBS 1 56.7 kg

NOT TO SCALE

**STANDARD COVER DETAIL**

DATE: 11-19-09

**LEGEND**

- SUB-BASE GRANULAR MATERIAL
- EXISTING PAVEMENT
- EXISTING STRUCTURE
- FRAME AND LID (SEE NOTES)
- CLASS S1 CONCRETE
- PROPOSED HMA SURFACE COURSE
- PROPOSED HMA BINDER COURSE
- PROPOSED MORTAR, STEEL SHIM, & ADJUSTING RINGS, 8" MAXIMUM
- FULL DEPTH SAW CUT

**NOTES:**

- EXISTING FRAMES AND LIDS SHALL BE REMOVED AND RETURNED TO THE CITY OF ST. CHARLES BY THE CONTRACTOR AND SHALL BE REPLACED AS DIRECTED BY THE ENGINEER.
- CITY OF ST. CHARLES CASTINGS ARE THE PROPERTY OF THE CITY AND THE CONTRACTOR SHALL NOTIFY THE CITY OF REMOVAL AND DISPOSITION OF THE CASTINGS.
- INSTALLATION OF NEW OR ADJUSTMENTS TO EXISTING FRAMES & LIDS WILL NOT BE PAID FOR SEPARATELY BUT ARE INCLUDED AS PART OF THE COST OF EACH ARE INCLUDED AS PART OF THE COST PER EACH ADJUSTED, SPECIAL.

**CONSTRUCTION PROCEDURES**

- AFTER PAVEMENT MILLING AND PLACEMENT OF HMA BINDER:
- FULL DEPTH SAW CUT 5' X 5' SQUARE OR DIAMOND AROUND CENTER OF FRAME TO BE ADJUSTED
- REMOVE FRAME, EXISTING PAVEMENT AND AGGREGATE MATERIAL TO A DEPTH OF 2' BELOW TOP OF MANHOLE STRUCTURE OR 2' BELOW BOTTOM OF LOWEST ADJUSTMENT RING.
- ADJUST NEW FRAME TO MATCH PROPOSED HMA PAVEMENT SURFACE GRADE USING MORTAR, STEEL SHIMS, AND ADJUSTING RINGS IN MORTAR, AND PRECAST CONCRETE ADJUSTING RINGS.
- COMPACT EXISTING AGGREGATE STONE BASE.
- FILL 5'x5' SURROUNDING SPACE WITH IDOT APPROVED CLASS S1 CONCRETE TO THE SAME ELEVATION OF THE TOP OF THE BINDER COURSE.
- PAVE SURFACE COURSE OVER 5'x5' CONCRETE COLLAR.

THE PROCEDURE EXPLAINED ABOVE SHALL CONFORM TO THE APPLICABLE PORTIONS OF SECTIONS 553, 408, 500, AND 503 OF THE SPECIFICATIONS.

NOT TO SCALE

**FRAME AND LID ADJUSTMENT WITH CONCRETE COLLAR**

DATE: 12-8-10

**NEENAH R-1713**

**TYPE "A" CATCH BASIN**  
**TYPE "B" CATCH BASIN**

**NOTES:**

- MANHOLES MUST CONFORM TO ASTM C-478.
- MANHOLE SECTIONS TO BE TONGUE AND GROOVED.
- NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
- MORTAR ALL PENETRATIONS INSIDE AND OUTSIDE OF STRUCTURE.
- IN "SUBMERGED" CONDITIONS, ALL PIPE PENETRATIONS TO BE CORED, RUBBER BOOTED AND INTERIOR MORTARED.
- PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN IDOT APPROVED CONCRETE "S1" MIXTURE.

NOT TO SCALE

**TYPE A & B CATCH BASIN DETAIL**

DATE: 7-27-10

**USE NEENAH R-1713 WITH TYPE B GRATE, OR R-4340-B IN DETENTION BASINS.**

**NOTE:**

- CATCH BASIN TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
- CATCH BASIN MUST CONFORM TO ASTM C-478.
- NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
- MAXIMUM DEPTH FROM INVERT OF OUTLET PIPE TO TOP OF FRAME SHALL NOT EXCEED 42 INCHES. IF DESIGN ON CONSTRUCTION REQUIRES DEPTH BEYOND 42 INCHES, STRUCTURE SHALL BE REVISED TO A 48 INCH DIAMETER TYPE A CATCH BASIN.

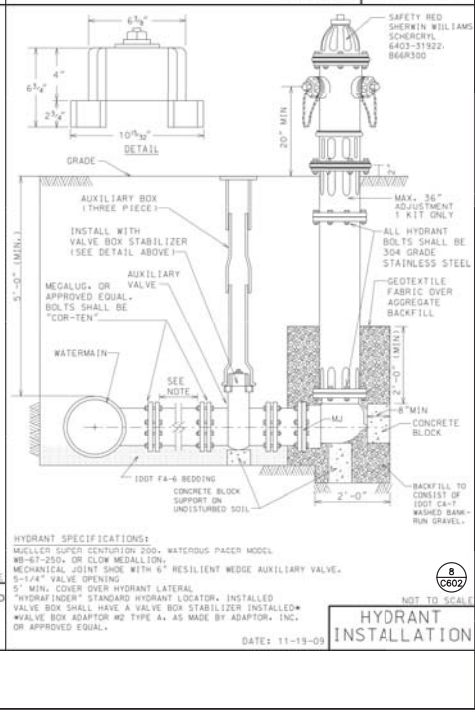
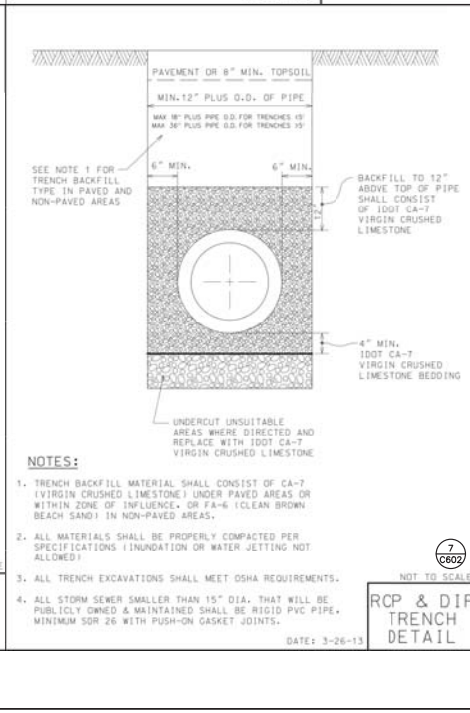
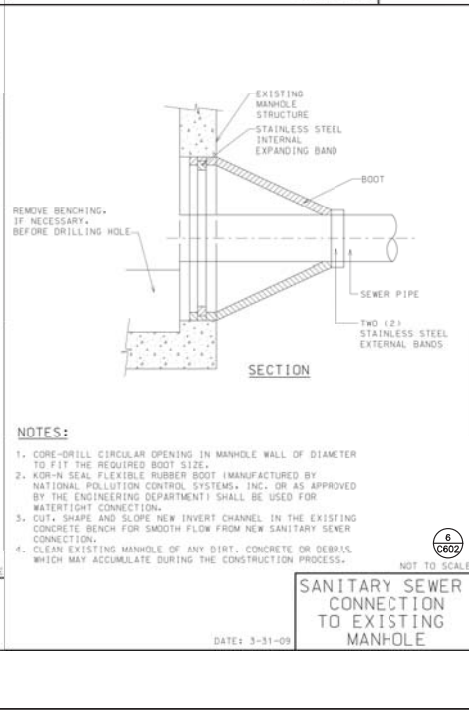
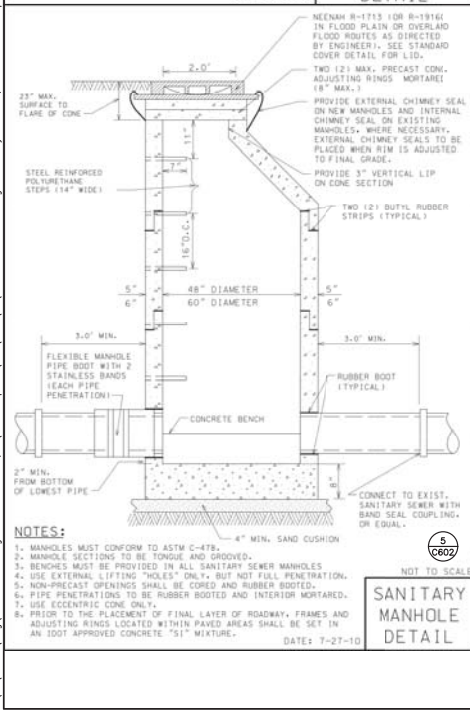
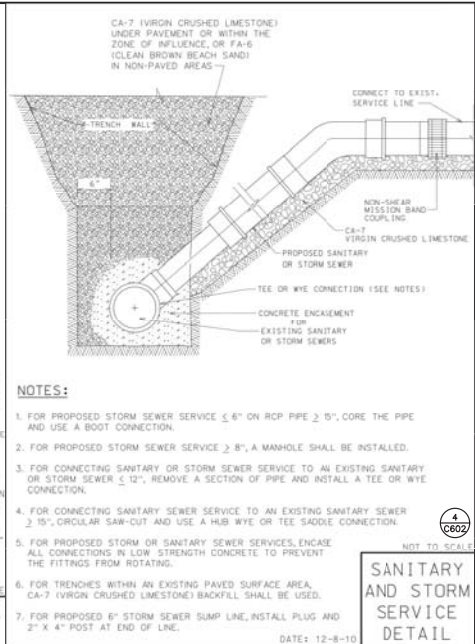
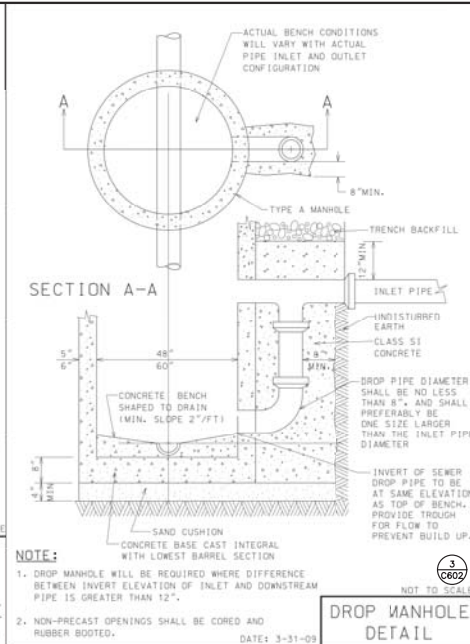
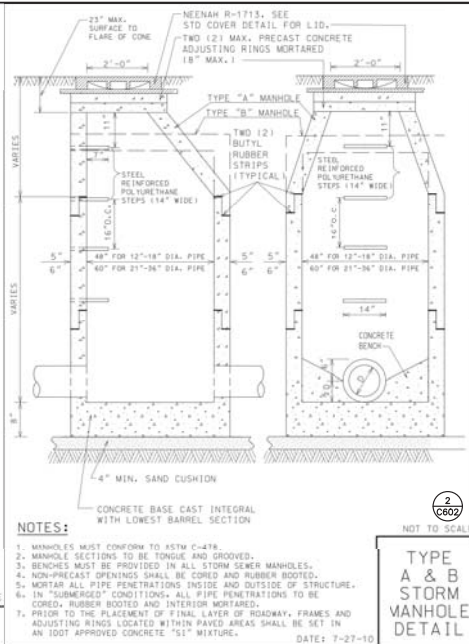
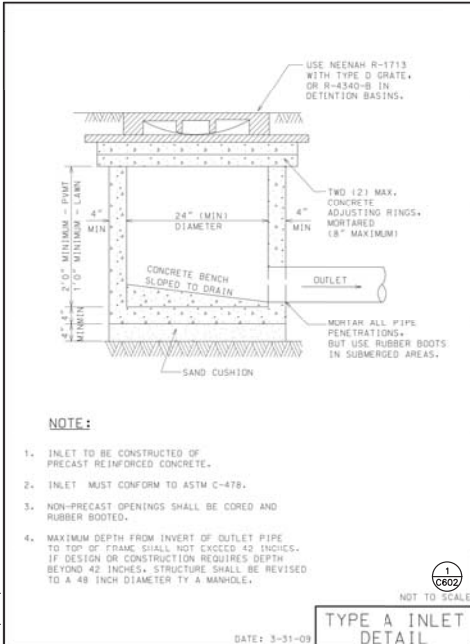
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**TYPE C CATCH BASIN DETAIL**

DATE: 8-18-10

PROJECT No:	077742
DATE:	04/06/18
DES. BY:	JH
DR. BY:	JH
CKD. BY:	JG
REVISION	
No.	DATE
1816 South Meyers Road	
Suite 950	
Oakbrook Terrace, IL 60181	
DR. JH	
630.424.9880	
FAX: 630.953.3791	
<b>WOODBERT</b>	
<b>CONSTRUCTION</b>	
<b>SITE IMPROVEMENT PLANS</b>	
<b>PROPOSED MIXED USE DEVELOPMENT</b>	
ILLINOIS ROUTE 38 AND RANDALL ROAD	
ST. CHARLES, ILLINOIS	
<b>DETAILS</b>	
SHEET No.	
<b>C601</b>	

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REVISION	No.	DATE

PROJECT No: 077742  
 DATE 04/06/18  
 DES. TH  
 DR. TH  
 CKD. JC

PROJECT No: 077742  
 DATE 04/06/18  
 DES. TH  
 DR. TH  
 CKD. JC

1816 South Meyers Road  
 Suite 950  
 Oakbrook Terrace, IL 60181  
 800.424.9080  
 FAX: 630.955.3731

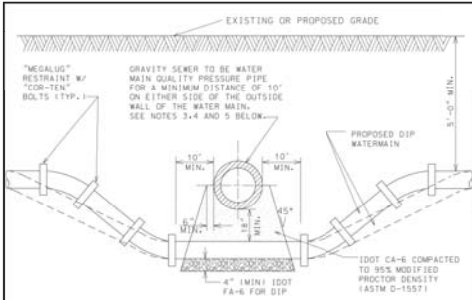
**WOODBERT**  
 ENGINEERS & ARCHITECTS

**SITE IMPROVEMENT PLANS  
 PROPOSED MIXED USE DEVELOPMENT**

ILLINOIS ROUTE 38 AND RANDALL ROAD  
 ST. CHARLES, ILLINOIS

**DETAILS**

SHEET No. **C602**

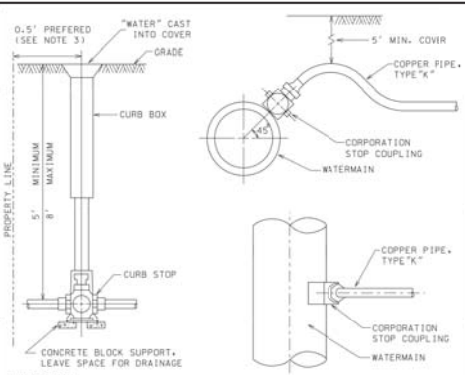


**NOTES:**

- HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATERMAINS AND SEWERS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CITY OF ST. CHARLES ENGINEERING GUIDE OR IFEA REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED 5 DEGREES PER JOINT FOR PIPE UNDER 14" IN DIAMETER AND 3 DEGREES PER JOINT FOR PIPE 14" AND OVER IN DIAMETER. IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, NUTS AND BOLTS BELOW NORMAL WATERMAIN DEPTH ARE REQUIRED, OR RETAINER ISLANDS MAY BE USED IN LIEU OF STRAPPING. RETAINER ISLANDS TO BE CLOW NO. F-1058 OR APPROVED EQUAL.
- ALL SANITARY SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS OR WATER SERVICES ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE POLYETHYLENE CHLORIDE PRESSURE PIPE (SDR 26-140 PSI) AND SHALL CONFORM WITH THE LATEST REVISION OF ASTM D-2241. JOINTS SHALL CONFORM TO ASTM D-3139 AND ELASTOMERIC GASKETS SHALL CONFORM TO ASTM F-417. THE SAME PIPE AND JOINT MATERIALS SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
- ALL STORM SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE REINFORCED CONCRETE PIPE, ASTM C-361, CLASS D-29, WITH BELL AND SPIGOT JOINTS AND RUBBER GASKETS, OR PVC SDR 26 AS SPECIFIED IN NOTE 3 ABOVE. THE SAME PIPE AND JOINT MATERIALS SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
- FOR NEW SEWER INSTALLATIONS CROSSING OVER WATER MAINS, THE ENTIRE RUN OF NEW SEWER SHALL BE WATER MAIN QUALITY PIPE, EXTENDING FROM STRUCTURE TO STRUCTURE ON EACH SIDE OF THE CROSSING.

DATE: 3-31-09

**WATER MAIN CROSSING DETAIL**



**A. CURB BOX:**

- MUELLER H-1030D WITH 1-1/4" I.D. UPPER SECTION AND 2" MINEAPOLIS TAPPED BASE.
- A.Y. McDONALD 5615 1-1/4"

**B. CURB STOP:**

- MUELLER B-25155-N (1 1/2", 1 1/2", 2") FORD B-44-444-0-NL 1"
- B-44-446-0-NL 1 1/2"
- B-44-777-0-NL 2"

A.Y. McDONALD 76104-D 1", 1 1/2", 2" C. CORPURATION STOP:

- MUELLER B-23008-N (1", 1-1/2", 2") FORD FB1000 -4-0-NL 1"
- FB 1000-6-0-NL 1-1/2"
- FB 1000-7-0-NL 2"

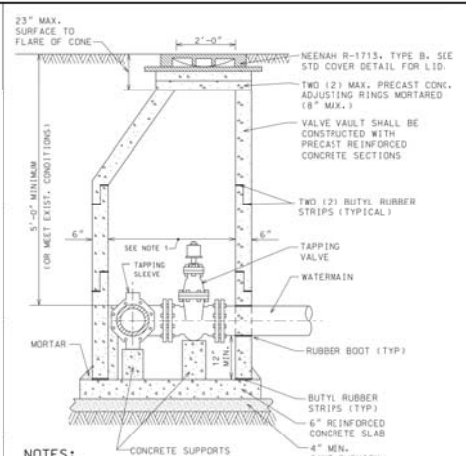
A.Y. McDONALD 74701-80 1", 1-1/2", 2" O SERIES BRASS, WITH 90 SWIVEL ELBOW

**NOTES:**

- PIPE SIZE CAN VARY, BUT 1" MINIMUM. OTHER APPURTENANCES SHALL REFLECT SAME.
- COPPER PIPE SHALL BE ONE PIECE BETWEEN TAP AND CURB BOX.
- PLACE BETWEEN SIDEWALK AND PROPERTY LINE. KEEP BOXES OUT OF SIDEWALKS AND DRIVEWAY.
- MINIMUM OF 3" BETWEEN TAPS AND 3" TO NEAREST JOINT.
- 1" SERVICE MAY BE DIRECTLY TAPPED INTO 6" OR LARGER MAIN. LARGER SERVICES REQUIRE A SMITH-BLAIR 192 OR APPROVED EQUAL STAINLESS STEEL TAP THROUGH SLEEVE.

DATE: 11-12-13

**COPPER WATER SERVICE CONNECTION DETAILS**

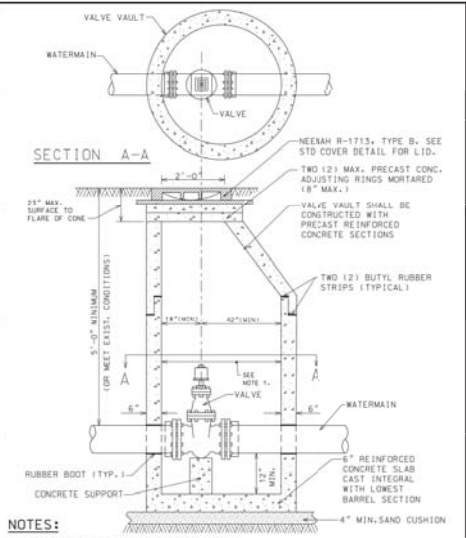


**NOTES:**

- 60" (MIN) INSIDE DIA. FOR ALL PRESSURE CONNECTION VAULTS.
- ALL NON-PRECAST PIPE OPENINGS TO BE CORED AND RUBBER BOOTED.
- BACKFILL MATERIAL SHALL BE IDOT CA-7 VIRGIN CRUSHED LIMESTONE.
- a) MECHANICAL JOINT BOLTS & NUTS SHALL BE COMPOSED OF CORE-TEN, d) ALL OTHER HEXAGONAL BOLTS, NUTS & WASHERS SHALL BE COMPOSED OF 304 GRADE STAINLESS STEEL.
- USE ECCENTRIC CONE ONLY.
- VALVE VAULT MUST CONFORM TO ASTM C-478.
- ALL SECTIONS TO BE TONGUE AND GROOVED.
- BLOCKING SHALL NOT INTERFERE WITH BOLT MAINTENANCE OR REPLACEMENT.
- PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN IDOT APPROVED CONCRETE "S1" MIXTURE.

DATE: 11-12-13

**PRESSURE CONNECTION DETAIL**

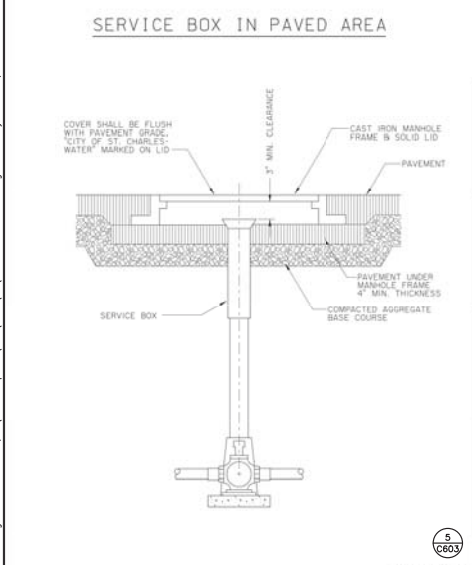


**NOTES:**

- 48" MIN. INSIDE DIA. FOR VALVES LESS THAN 8" DIA.
- 60" MIN. INSIDE DIA. FOR ALL OTHER VALVE VAULTS.
- VALVE VAULT MUST CONFORM TO ASTM C-478.
- USE ECCENTRIC CONE ONLY.
- VALVE SECTIONS TO BE TONGUE AND GROOVED.
- NON-PRECAST PIPE OPENINGS TO BE CORED AND RUBBER BOOTED INSTALLED.
- BACKFILL MATERIAL SHALL BE IDOT CA-7 VIRGIN CRUSHED LIMESTONE.
- a) ALL OTHER HEXAGONAL BOLTS, NUTS & WASHERS SHALL BE COMPOSED OF 304 GRADE STAINLESS STEEL.
- PRIOR TO THE PLACEMENT OF FINAL LAYER OF ROADWAY, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN IDOT APPROVED CONCRETE "S1" MIXTURE.

DATE: 11-12-13

**VALVE VAULT DETAIL**

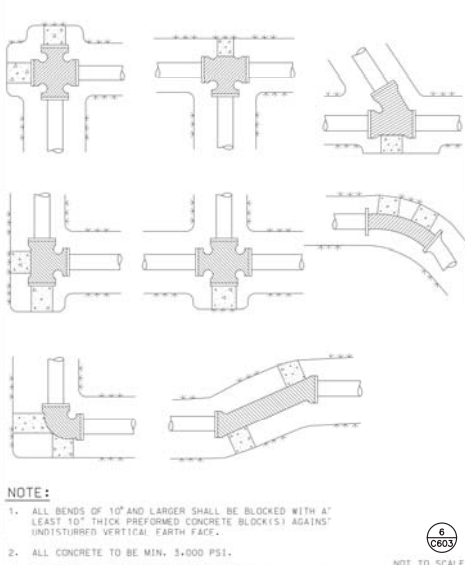


**NOTE:**

- ALL BENDS OF 10° AND LARGER SHALL BE BLOCKED WITH A' LEAST 10" THICK PREFORMED CONCRETE BLOCK(S) AGAINST UNDISTURBED VERTICAL EARTH FACE.
- ALL CONCRETE TO BE MIN. 3,000 PSI.
- IN ADDITION TO THE ABOVE THRUST BLOCKING, ALL MECHANICAL JOINTS, BENDS OVER 10° AND FIRE HYDRANTS SHALL HAVE A 'MEGALOID' RESTRAINT, OR AS APPROVED BY THE ENGINEERING DIVISION. BOLTS SHALL BE 'COR-TEN'.

DATE: 3-2-11

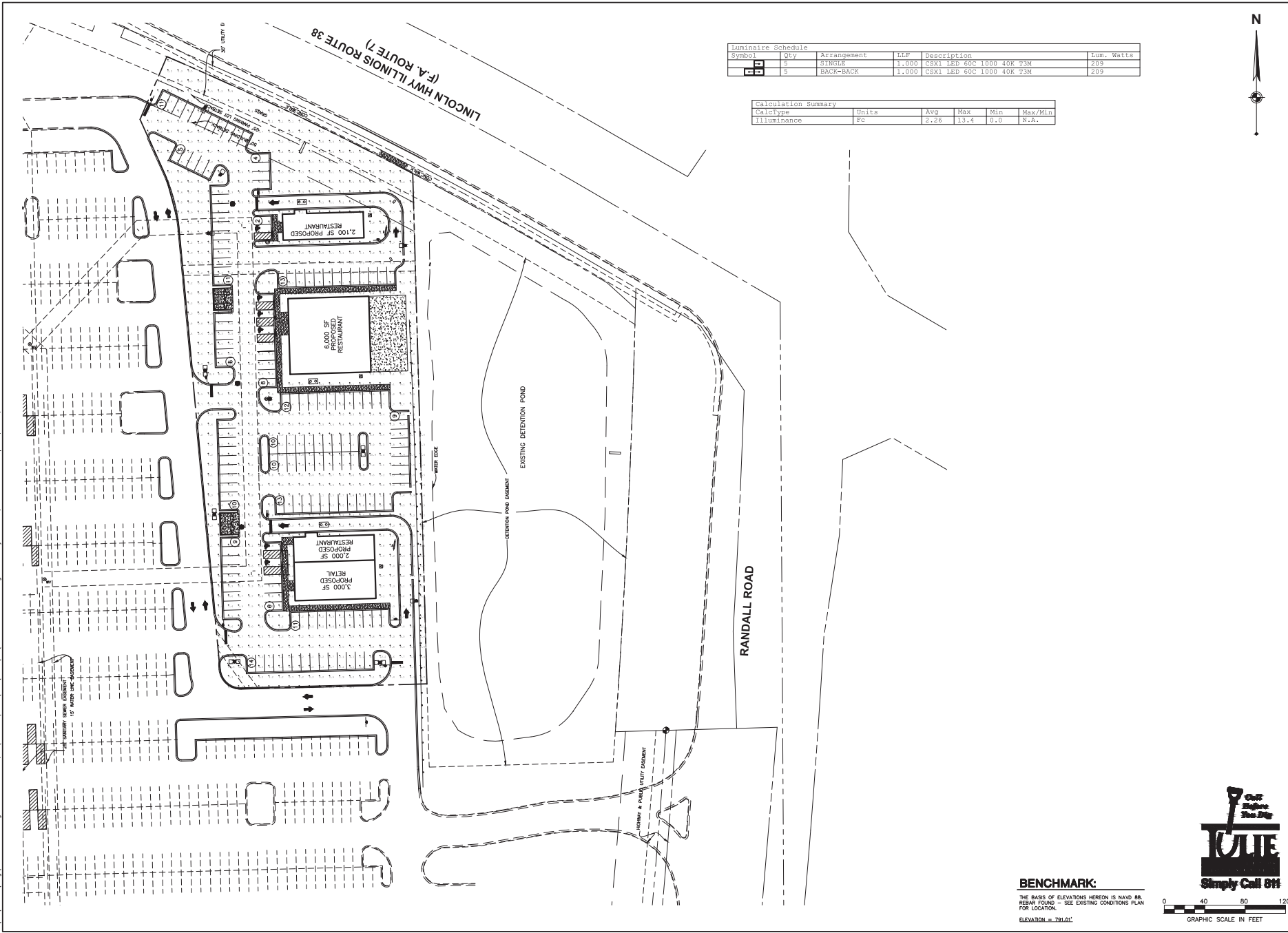
**SERVICE BOX IN PAVED AREA**



**THRUST BLOCK INSTALLATION DETAILS**

PROJECT No: 077742 DATE: 04/06/18 DES: JH DR: JH CKD: JS	1816 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 800.424.9080 FAX: 630.953.3731	 <b>WOOLBERT</b> CONSULTING ENGINEERS 1816 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 800.424.9080 FAX: 630.953.3731	<b>SITE IMPROVEMENT PLANS                  PROPOSED MIXED USE DEVELOPMENT</b> ILLINOIS ROUTE 38 AND RANDALL ROAD ST. CHARLES, ILLINOIS	<b>DETAILS</b>

Layout Tab Name: C700 LIGHTING PLAN, images: Pogus from 182-Webburgers-Redline-180330 (002).jpg - Xrefs: 077742-X.dwg: 077742-Y-DIGITIZED.dwg: 077742-TBLK.dwg: 077742-T.dwg  
 User: Sowed Byronfield, 4/2/2018 3:20:39 PM  
 C:\E:\Clients\Wing\077742 Webburgers - St. Charles, IL\A.O. Disciplines\Civil\Cadd\CD\077742-C700-LIT.dwg Plotted: Byronfield, Theresa Pothsdapfl 6, 2018, 1:49:55 PM

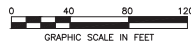


Luminaire Schedule					
Symbol	Qty	Arrangement	ILF	Description	Lum. Watts
□	5	SINGLE	1.000	CSX1 LED 60C 1000 40K T3M	209
□	5	BACK-BACK	1.000	CSX1 LED 60C 1000 40K T3M	209

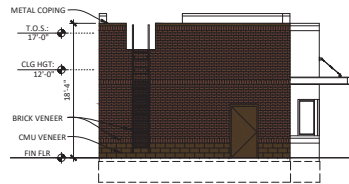
Calculation Summary					
CalcType	Units	Avg	Max	Min	Max/Min
Illuminance	Fc	2.26	13.4	0.0	N.A.



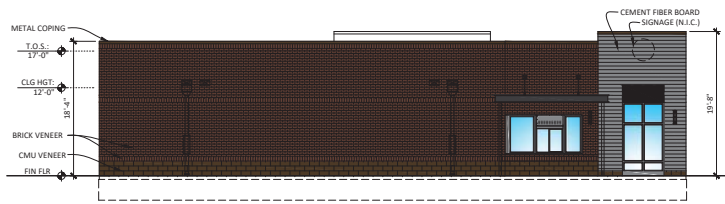
**BENCHMARK:**  
 THE BASIS OF ELEVATIONS HEREON IS NAVD 88.  
 REBAR FOUND - SEE EXISTING CONDITIONS PLAN FOR LOCATION.  
 ELEVATION = 791.01'



<b>WOLBERT</b> CONSULTANTS 1815 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 630.424.9880 FAX: 630.495.3731		PROJECT No: 077742 DATE: 04/06/18 DES. BY: [Blank] DR. BY: [Blank] CKD. BY: [Blank]
<b>SITE IMPROVEMENT PLANS</b> <b>PROPOSED MIXED USE DEVELOPMENT</b> ILLINOIS ROUTE 38 AND RANDALL ROAD ST. CHARLES, ILLINOIS		REVISION No. DATE [Blank] [Blank] [Blank] [Blank] [Blank] [Blank]
<b>LIGHTING PLAN</b>		SHEET NO. <b>C700</b>



**PRELIMINARY EAST ELEVATION**  
SCALE: 1/8" = 1'-0" 4



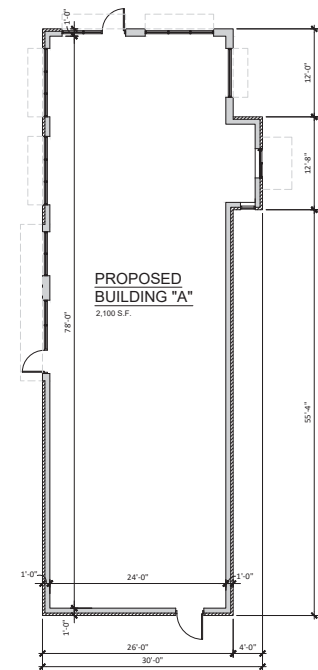
**PRELIMINARY NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" 3



**PRELIMINARY WEST ELEVATION**  
SCALE: 1/8" = 1'-0" 2



**PRELIMINARY SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" 1



**PRELIMINARY FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 1

proposed  
ST. CHARLES MALL  
IL38 AND RANDALL RD  
ST. CHARLES, ILLINOIS

REV	DATE	ISSUED FOR REVIEW	ISSUED
04-04-18		ISSUED FOR REVIEW	

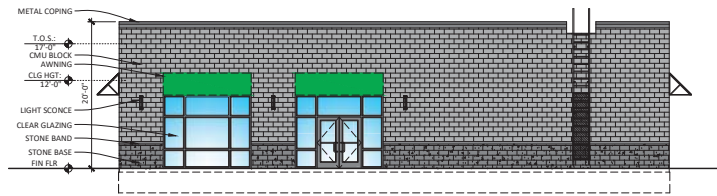
This drawing is an instrument of service, contains the property of Detroit Architectural Group, Inc. Any changes, duplication, or unauthorized use is prohibited unless expressly approved.

SEAL:  
  
DRAWN BY: TJG  
CHECKED BY: VW  
IN CHARGE: VW

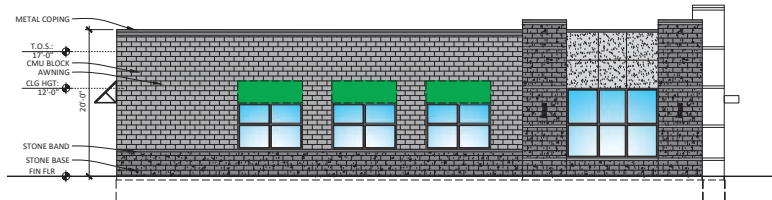
SHEET NAME:  
BUILDING-A (COFFEE SHOP)  
FLOOR PLAN AND ELEVATIONS

JOB NO:  
17-104

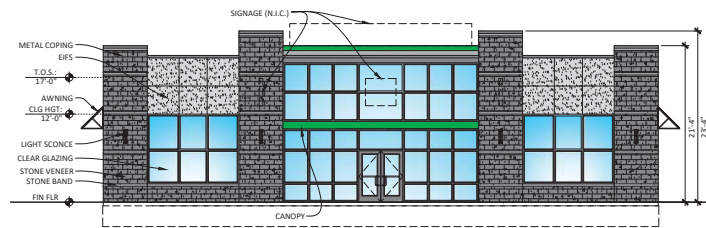
SHEET NO:  
PP-1A



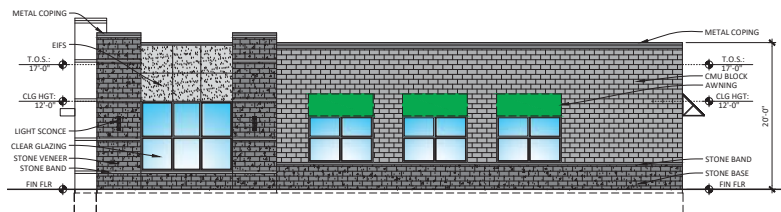
**PRELIMINARY EAST ELEVATION**  
 SCALE: 1/8" = 1'-0" 4



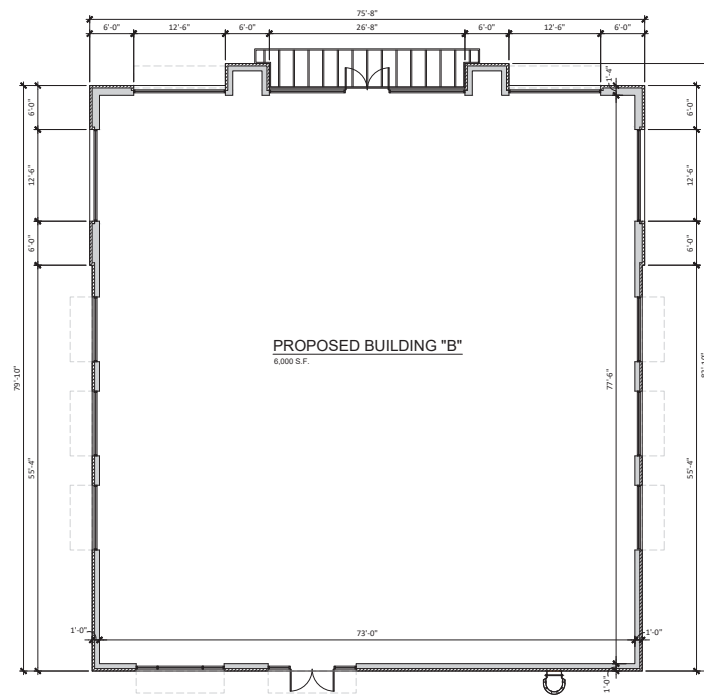
**PRELIMINARY NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0" 3



**PRELIMINARY WEST ELEVATION**  
 SCALE: 1/8" = 1'-0" 2



**PRELIMINARY SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0" 1



**PRELIMINARY FLOOR PLAN**  
 SCALE: 3/8" = 1'-0" 1

proposed

ST. CHARLES MALL

IL38 AND RANDALL RD  
 ST. CHARLES, ILLINOIS

REV	DATE	ISSUED FOR REVIEW	ISSUED
04-04-18			

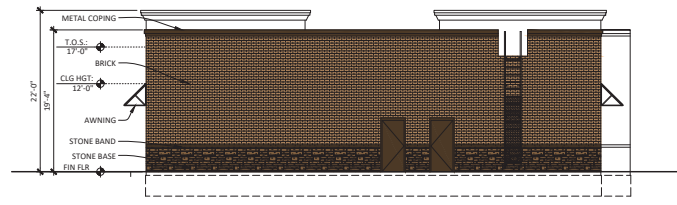
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SEAL:

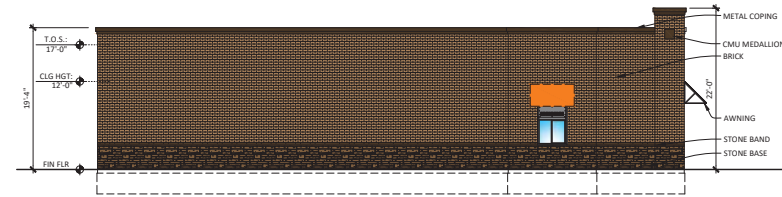
DRAWN BY: TJG  
 CHECKED BY: VW  
 IN CHARGE: VW

SHEET NAME:  
 BUILDING-B (RESTAURANT)  
 FLOOR PLAN AND ELEVATIONS

JOB NO: 17-104  
 SHEET NO: PP-1B



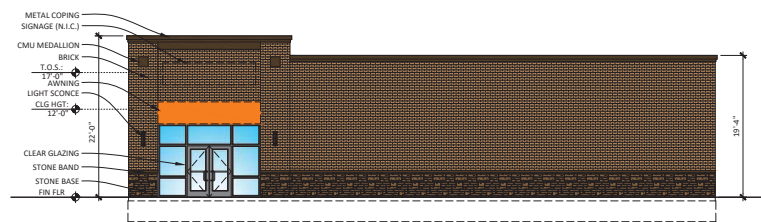
**PRELIMINARY EAST ELEVATION**  
 SCALE: 1/8" = 1'-0" 4



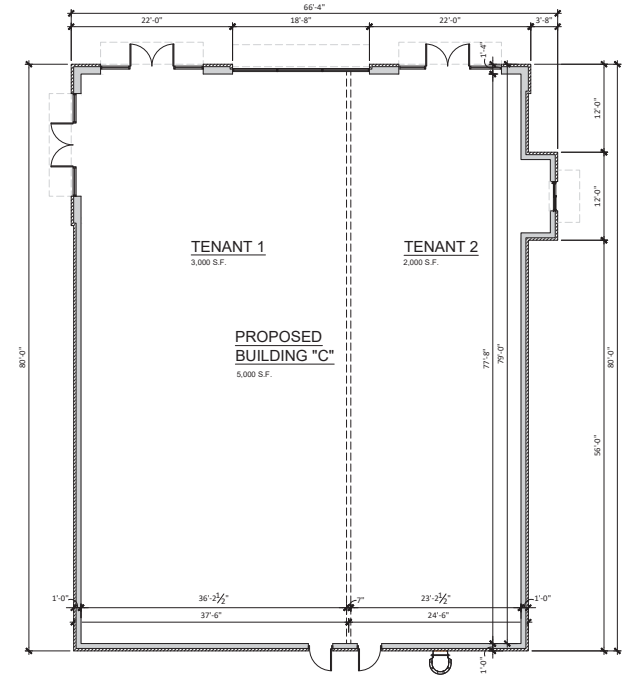
**PRELIMINARY NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0" 3



**PRELIMINARY WEST ELEVATION**  
 SCALE: 1/8" = 1'-0" 2



**PRELIMINARY SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0" 1



**PRELIMINARY FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" 1

proposed  
 ST. CHARLES MALL

1138 AND RANDALL RD  
 ST. CHARLES, ILLINOIS

REV	DATE	ISSUED FOR REVIEW	ISSUED
D4-04-18			

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DRAWN BY: TIG  
 CHECKED BY: VW  
 IN CHARGE: VW

SHEET NAME:  
 BUILDING-C (MULTI-TENANT)  
 FLOOR PLAN AND ELEVATIONS

JOB NO:  
 17-104

SHEET NO:  
 PP-1C





**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3c

Title:	Recommendation to Approve a Corridor Improvement Grant for 619 W. Main Street (Eric Larson – Property Owner)
Presenter:	Matthew O’Rourke

Meeting: Government Operations Committee Date: May 14, 2018

Proposed Cost: \$3,135.00	FY 18/19 Budgeted Amount: \$18,353 (CIC Program Budget)	Not Budgeted: <input type="checkbox"/>
---------------------------	--	--

**Executive Summary** *(if not budgeted please explain):*

Eric Larson, owner of the property located at 619 W. Main Street, has applied for a Corridor Improvement Grant. The applicant is proposing to install new landscape and hardscape features along the property’s Main Street frontage between the existing property line and the front of the building to add more visual interest and highlight the building’s front entrance.

Eric Larson also owns the property to the east of 619 W. Main Street and has proposed a design that extends the landscaping patterns of this east property to create a uniform aesthetic appearance.

The submitted plan shows plantings south of the front of the existing building, these plantings are not eligible for inclusion in the program and therefore are not included in the grant proposal or in the submitted cost estimates for materials and installation. Staff has included an aerial photo that highlights the grant eligible portion of the property.

The following list describes the proposed grant eligible improvements:

Plantings along W. Main Street

- Cost of plant materials - \$2,988.00 (**City’s portion \$1,494.00**)
- Cost of installation of plants, pavers, and mulch - \$3,120.00 (**City’s portion \$1,560.00**)
- Cost of Lannon stepping stones - \$162.50 (**City’s portion \$81.25**)

The Corridor Improvement Commission reviewed the design and grant proposal at their 5/2/2018 meeting, and recommended approval of the grant. The vote was 5-Aye to 0-Nay. The total cost of the proposed eligible improvements is \$6,270.00 and the City’s share of the total project cost will be a maximum of \$3,135.00.

\*To see the Corridor Improvement Program Description listed on the City’s website, please follow this link:  
[Corridor Improvement Program Guidelines](#)

**Attachments** *(please list):*

Cost Estimates, Plan, Aerial Photograph Location Map, and Photos of the Property  
Draft Corridor Improvement Commission Resolution 3-2018  
Draft Corridor Improvement Grant Agreement

**Recommendation/Suggested Action** *(briefly explain):*

Recommendation to approve a Corridor Improvement Grant for 619 W Main Street (Eric Larson – Property Owner)

# LAFARGE FOX RIVER DECORATIVE STONE

Lafarge Fox River Decorative Stone  
1300 Route 31  
South Elgin, IL 60177  
847-888-6133

Company: LARSON PROPERTIES  
Attention: ERIC  
Phone: [630.669.5101](tel:630.669.5101)  
E-mail: [PLAN4U2RETIRE@GMAIL.COM](mailto:PLAN4U2RETIRE@GMAIL.COM)  
Project:  
Location: **ST CHARLES**

April 24, 2018

Tax: Yes 7.50%  
Delivery: Yes

Quantity	UOM Code	Item Description	Price / Unit	Subtotal
<del>1.00</del>	<del>EA</del>	<del>BLUE RIVER YARD BENCH 4'</del>	<del>\$ 225.05</del>	<del>\$ 225.05</del>
0.50	TON	CHERRY CREEK 3/4"	\$ 95.00	\$ 47.50
0.50	TON	LANNON STEPPERS	\$ 325.00	\$ 162.50

Grant Eligible  
Material

Subtotal \$ 435.05  
Tax \$ 32.63  
~~Pallet Charge~~  
~~Section Charge~~  
Freight \$ 115.00  
**Total \$ 582.68**

Measurements and quantities must be confirmed and approved before shipping.

Quote honored for 30 days from the quote date.

Down payment required for special order material.

Patricia Howe  
Inside Sales  
Phone 847-888-6133  
Cell 815-321-1767  
Fax 847-742-6282





**MIDWEST  
GROUNDCOVERS**  
LLC

P.O. BOX 748 ST. CHARLES, IL 60174  
847-742-1790 FAX 847-742-2655

PROPAGATORS AND GROWERS OF GROUNDCOVERS, PERENNIALS, SHRUBS, EVERGREENS AND NATIVES  
*The Groundcover Specialists*  
WWW.MIDWESTGROUNDCOVERS.COM



Page: 2  
Quote Date: 04/18/18  
Required Date: 04/18/18

Quote Number: Q142001  
Customer Ref: QUOTE  
Customer Grp: YARD MULTI-NURS/GC/LDSC  
Attn:  
Phone: (630) 669-5101  
Terms: COD

QUOTE

B  
I  
L  
L  
T  
O

C14422  
FERSON CREEK LANDSCAPING & NUR  
4N865 CRANE ROAD  
ST CHARLES, IL 60175

Location

QTY ORDERED	QTY SHIPPED	QTY FLATS	UNIT	DESCRIPTION	UNIT PRICE	EXTENSION
27.0			EA	008 SC - 20228.1G Cotoneaster Nordic Carpet® #1 EXPECTED MID/LATE MAY	5.95	160.65
14.0			EA	009 SC - 21998.1G Coreopsis 'Jethro Tull' #1	5.55	77.70
1.0			EA	010 SC - 23573.1G Sedum 'Firecracker' #1 WE GROW THIS IN A #1 SIZE POT. REQUEST IS FOR 3 FLATS. QUOTE IS FOR 1 #1 AS I AM UNSURE HOW MANY YOU NEED. WE DO HAVE ~1,000 IN STOCK	5.90	5.90
12.0			EA	011 SC - 21478.1G Sedum spectabile 'Autumn Fire' #1	4.85	58.20
42.0			EA	012 SC - 20716.1G Hem. 'Apricot Sparkles' #1	7.50	315.00
16.0			EA	013 SC - 21003.1G Nepeta racemosa 'Walker's Low' #1 EXPECTED TO BE AVAILABLE EARLY/MID MAY	4.00	64.00
9.0			EA	014 SC - 21866.1G Nepeta f. 'Early Bird' #1	4.75	42.75
25.0			EA	015 SC - 23567.1G Echinacea 'Julia' #1	8.95	223.75
25.0			EA	016 SC - 21450.1G Echinacea Pixie Meadowbrite™ #1	6.45	161.25

The customer, by signature, agrees to the terms and conditions of this sale and to pay for the same. Any cost of collecting shall be borne by the customer, including any and all court cost and reasonable legal fees.

\_\_\_\_\_  
Received By Date

Claims about shortages, incorrect or damaged products must be submitted, no later than 5 days from receipt

CUSTOMER COPY

Quote Continued on Next Page



**MIDWEST  
GROUNDCOVERS**  
LLC

P.O. BOX 748 ST. CHARLES, IL 60174  
847-742-1790 FAX 847-742-2655

PROPAGATORS AND GROWERS OF GROUNDCOVERS, PERENNIALS, SHRUBS, EVERGREENS AND NATIVES  
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Page: 3  
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Attn:  
Phone: (630) 669-5101  
Terms: COD

QUOTE

BILL TO

C14422  
PERSON CREEK LANDSCAPING & NUR  
4N865 CRANE ROAD  
ST CHARLES, IL 60175

Location

QTY ORDERED	QTY SHIPPED	QTY FLATS	UNIT	DESCRIPTION	UNIT PRICE	EXTENSION
25.0			EA	017 SC - 22887.1G Echinacea Sombrero® 'Salsa Red' #1	8.95	223.75
40.0			EA	018 SC - 21849.1G Rudbeckia 'Viette's LittleSuzy' #1	5.40	216.00
19.0			EA	019 SC - 20613.1G Salvia nemorosa 'May Night' #1	4.00	76.00
<del>12.0</del>			<del>EA</del>	<del>020 SC - 20739.1G Hosta 'Frances Williams' #1</del>	<del>5.65</del>	<del>67.80</del>
20.0			EA	021 SC - 20661.3G Rosa Knock Out® #3	14.20	284.00
2.0			EA	022 SC - 21837.1G Panicum virg. 'Heavy Metal' #1	6.45	12.90
12.0			EA	023 SC - 20772.1G Calamagrostis 'Karl Foerster' #1	5.55	66.60

Not in Grant Area

THANK YOU FOR THE OPPORTUNITY TO QUOTE THIS PLANT MATERIAL.

PLEASE CONFIRM THE PLANT SIZE AND AVAILABILITY AT THE TIME THE QUOTE IS CONVERTED TO AN ORDER.

PRICES ON QUOTES ARE VALID FROM DECEMBER 1ST 2017 - DECEMBER 1ST 2018.

\*\*\*\*\*ALL BOXWOOD SALES ARE FINAL!\*\*\*\*\*  
QUOTES DO NOT RESERVE PLANT MATERIAL.

The customer, by signature, agrees to the terms and conditions of this sale and to pay for the same. Any cost of collecting shall be borne by the customer, including any and all court cost and reasonable legal fees.

\_\_\_\_\_  
Received By

\_\_\_\_\_  
Date

Claims about shortages, incorrect or damaged products must be submitted, no later than 5 days from receipt

Total	\$2,855.15
Tax	\$199.86
Net Due	\$3,055.01
<b>Revised Eligible Grant Amount</b>	<b>\$2998.00</b>

CUSTOMER COPY

# Monarcas Landscape

35W377 Maple Avenue

St. Charles, IL 60174

331-645-0108

TO: Eric Larsen  
Plan4u2retire@gmail.com

CUSTOMER ACCOUNT NO.	
PHONE NO.	
WORK DATE 4/25/18	
ACCOUNT TYPE	
<input type="checkbox"/> RESIDENTIAL	<input type="checkbox"/> REGULAR
<input checked="" type="checkbox"/> COMMERCIAL	<input type="checkbox"/> 1-TIME
FREQUENCY SET	
ANNUALLY - AN	2 MONTHS - 02
3 MONTHS - 03	MONTHLY - MO
QUARTERLY - 04	WEEKLY - WE

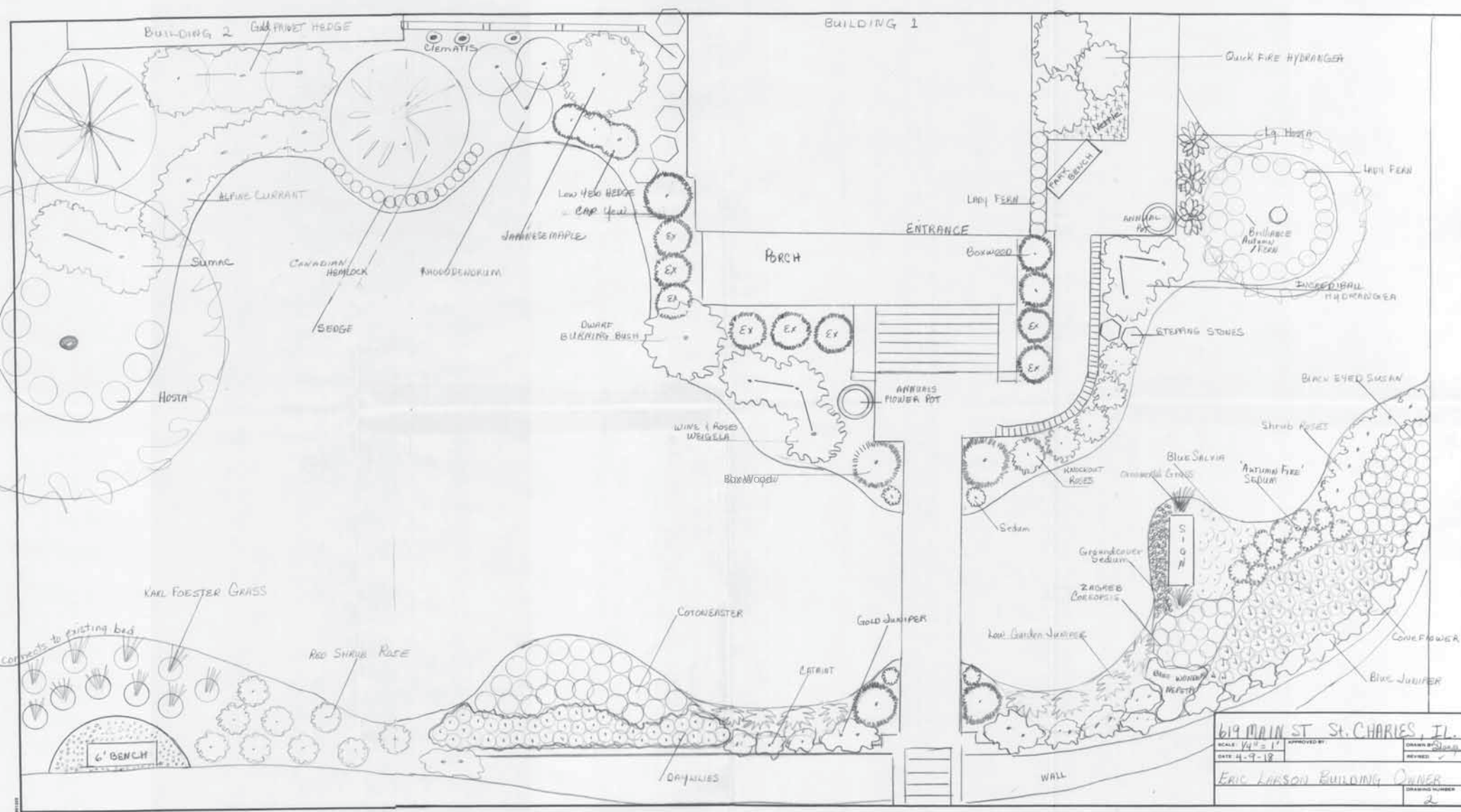
TERMS:

PLEASE RETURN THIS PORTION WITH PAYMENT

WORK DONE	FREQUENCY	DESCRIPTION / MATERIALS USED	UNIT	AMOUNT
<input type="checkbox"/> LAWN MOWING				
<input type="checkbox"/> EDGING				
<input type="checkbox"/> WEED CONTROL				
<input type="checkbox"/> PRUNING / TRIMMING				
<input type="checkbox"/> FERTILIZING				
<input type="checkbox"/> SPRING / FALL CLEAN-UP				
<input type="checkbox"/> SNOW REMOVAL				
<input checked="" type="checkbox"/> Mulch	1 time	8 yards of Brown mulch	\$65	\$520
<input checked="" type="checkbox"/> Pavers		Pavers for front <sup>Installed</sup>	\$600	\$600
<input checked="" type="checkbox"/> Plant install		Plant Installation for front of building along roadway 3 days of work	\$2,000	\$2,000
<input type="checkbox"/>				
<input type="checkbox"/>				
<input type="checkbox"/>				
<input type="checkbox"/>				

WIND DIRECTION N NE E SE S SW W NW	WIND SPEED 0-5 6-10 11-15	EQUIPMENT CHARGE
DATE	TIME AM PM	SUB-TOTAL
TECHNICIAN SIGNATURE <i>Chris Jovi</i>	DATE 4/25/18	TAX TOTAL \$3,120

Thank You



619 MAIN ST. ST. CHARLES, IL.  
 SCALE: 1/4" = 1' APPROVED BY: [Signature]  
 DATE: 4-9-12 DRAWN BY: [Signature]  
 ERIC LARSON BUILDING OWNER REVIEWED:  
 DRAWING NUMBER: 2



Grant Eligible Portion of the Property

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Data Source:  
City of St. Charles, Illinois  
Kane County, Illinois  
DuPage County, Illinois  
Coordinate System: Illinois State Plane East  
Projection: Transverse Mercator  
North American Datum 1983  
Printed on: May 4, 2018 12:15 PM



0 15 29 Feet

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Financial



NEW LOCATION!  
600 W. Main St. →  
Youth  
STAGE →



**City of St. Charles, Illinois**

**Corridor Improvement Commission Resolution No. 3-2018**

**A Resolution Recommending Approval of a Corridor Improvement Grant  
Application at 619 W. Main Street**

**(Eric Larson – Property Owner)**

**WHEREAS**, it is the responsibility of the St. Charles Corridor Improvement Commission to review applications for the Corridor Improvement Grant Program; and

**WHEREAS**, the Corridor Improvement Commission has reviewed the following Corridor Improvement proposal for: 619 W. Main Street; and

**WHEREAS**, the Corridor Improvement Commission finds approval of said Corridor Improvement proposal to be in the best interest of the City of St. Charles and provided the applicant complies with the specific conditions listed in Exhibit "A" attached hereto:

**NOW THEREFORE**, be it resolved by the St. Charles Corridor Improvement Commission to recommend to the City Council approval of the Corridor Improvement application listed above with the conditions listed in Exhibit "A".

Roll Call Vote:

Ayes: English, Potts, Nelson, Spurling, and Shimkus.

Nays: None

Abstain: None

Absent: Schuetz and Hauser

**PASSED**, this 2nd day of May, 2018.

---

Chairman

**EXHIBIT A**

**REVIEW COMMENTS**

1. Follow plan as presented. Any changes must be reviewed and approved by the Corridor Improvement Commission

**City of St. Charles**  
**CORRIDOR IMPROVEMENT AGREEMENT**

619 W. Main Street  
(Eric Larson – Property Owner)

**THIS AGREEMENT**, entered into this 21st day of May 2018, as authorized by Resolution No. \_\_\_\_\_ and approved by the City Council on May 21, 2018, between the City of St. Charles, Illinois (hereinafter referred to as "CITY") and the following designated APPLICANT, to wit:

APPLICANT Name: **Eric Larson**

Address of Property to be Improved: **619 W. Main Street**

PIN Number(s): **09-33-227-007**

Property Owner's Name: **Eric Larson**

**WITNESSETH:**

**WHEREAS**, the CITY has established a **Corridor Improvement Program** to provide matching grants for landscaping and related improvements within the Randall Road, Main Street, Kirk Road, Lincoln Hwy, Special Service Tax District SSA-1B, and Specified Gateway corridors of the CITY; and

**WHEREAS**, Eric Larson, APPLICANT(S), desires to install landscaping and related improvements to the above-described property that are eligible for reimbursement under the Corridor Improvement Program; and

**WHEREAS**, said Corridor Improvement Program is administered by the CITY with the advice of the Corridor Improvement Commission and is funded from the general fund for the purposes of improving the aesthetics of the commercial corridors of the CITY and preventing blight and deterioration; and

**WHEREAS**, the above-described property for which the APPLICANT seeks a grant is located within the area eligible for participation in the Corridor Improvement Program.

**NOW, THEREFORE**, in consideration of the mutual covenants and agreements obtained herein, the CITY and the APPLICANT do hereby agree as follows:

**SECTION 1:** The APPLICANT understands and agrees that only the cost of eligible improvements located east of the right-of-way on parcels with the following PIN(s) 09-33-227-007 and landscape design fees associated with those improvements, shall be considered reimbursable as shown in Exhibit II and Exhibit III. The CITY will reimburse the APPLICANT up to \$3,135.00 of the cost of materials to install landscaping and related improvements in accordance with the approved plans, specifications and cost estimates attached hereto as Exhibit “II” (the “Improvements”), but in no event more than the maximum amounts as defined below:

Landscape Improvements Cost: \$6,270.00	City’s Share @ 50% up to a maximum of \$3,135.00
Total Project Cost: \$6,270.00	City’s Share up to a maximum of \$3,135.00

Labor by the APPLICANT (“sweat equity”) is not a reimbursable expense. All Improvements shall be installed in accordance with Exhibit I, subject to minor revisions as may be approved by a representative of the Corridor Improvement Commission due to availability of landscape plants, field conditions not known at the time of design, and similar circumstances beyond the APPLICANT’s control.

**SECTION 2:** The Director of Community & Economic Development, or designee, shall inspect the Improvements installed pursuant to this Agreement. Such inspection shall not replace any required permit inspections by the CITY. All work that is not in conformance with the approved plans and specifications shall be remedied by the APPLICANT and deficient or improper work shall be replaced and made to comply with the approved plans and specifications and the terms of this Agreement.

**SECTION 3:** Upon completion of the Improvements and upon their final inspection and approval by the Director of Community & Economic Development, or designee, the APPLICANT shall submit to the CITY a properly executed and notarized contractor statement showing the full cost of the Improvements as well as each separate component amount due to the contractor and each and every subcontractor involved in furnishing labor, materials or equipment in the work. In

addition, the APPLICANT shall submit to the CITY proof of payment of the contract cost pursuant to the contractor's statement and final lien waivers from all contractors and subcontractors. The CITY shall, within thirty (30) days of receipt of the contractor's statement, proof of payment and lien waivers, the landscape architect's statement, and "before" and "after" pictures of the property, reimburse the APPLICANT for the 50% of the actual construction and materials cost or the maximum amount specified in this Agreement, whichever is less, and for 75% of the landscape designer's fee or the maximum amount specified in this Agreement, whichever is less.

At its sole discretion, CITY may reimburse APPLICANT in two payments. The first reimbursement may be made only

- 1) upon completion of Improvements representing 40% or more of the maximum reimbursement specified in Section 1 hereof and,
- 2) upon receipt by CITY of the landscape designer's invoices, contractor's statements, proof of payment and notarized final lien waivers for the completed Improvements and,
- 3) upon a determination by the Director of Community & Economic Development, or designee, that the remainder of the Improvements are expected to be delayed for thirty days or more following completion of the initial work due to weather, availability of materials, or other circumstances beyond the control of the APPLICANT. The second, final reimbursement payment shall be made by CITY only upon submittal of all necessary documents as described herein.

**SECTION 4:** All Improvements must be completed within 270 days after the approval of this Agreement by the City Council, unless otherwise authorized by the CITY. Extensions may be approved by the Director of Community Development, prior to the expiration of the said 270 days. Projects which have not received an extension and have not been completed within 270 days will not receive funding.

**SECTION 5:** If the APPLICANT or his contractor fails to complete the Improvements provided for herein in conformity with the approved plans and specifications and the terms of this Agreement, then upon written notice being given by the Director of Community & Economic Development to the APPLICANT, by certified mail to the address listed above, this Agreement shall terminate and the financial obligation on the part of the CITY shall cease and become null and void.



**SECTION 6:** Upon completion of the Improvements pursuant to this Agreement and for a period of five (5) years thereafter, the APPLICANT shall be responsible for properly maintaining such Improvements in finished form and without change or alteration thereto, as provided in this Agreement, and for the said period of five (5) years following completion of the construction thereof, the APPLICANT shall not enter into any Agreement or contract or take any other steps to alter, change or remove such Improvements, or the approved design thereof, nor shall APPLICANT undertake any other changes, by contract or otherwise, to the Improvements provided for in this Agreement unless such changes are first approved by the Corridor Improvement Commission. Such approval shall not be unreasonably withheld if the proposed changes do not substantially alter the original design concept of the Improvements as specified in the plans, design drawings and specifications approved pursuant to this Agreement.

If within the 5-year maintenance period plant materials are damaged by automobiles, wildlife, acts of nature, or stolen or any other cause, the APPLICANT shall install and pay for replacements.

OWNER agrees to provide regular maintenance of the property for a minimum of five years following completion of construction in a condition that is weed free, properly edged and mulched as specified in the original design, and maintained with the same type and quantity of plant material initially installed, unless a modification to the plan is approved by the Corridor Improvement Commission.

In the event of inadequate maintenance, the CITY shall give the owner reasonable notice of conditions to be corrected. In the event that substandard maintenance still exists after thirty (30) days, OWNER shall repay the CITY all grant funds received pursuant to this Agreement and pay all costs and fees, including attorney fees, of any legal action taken to enforce the maintenance of the Improvements.

**SECTION 7:** The APPLICANT covenants and agrees to indemnify and hold harmless the CITY and its officials, officers, employees and agents from and against, any and all losses, claims, damages, liabilities or expenses, of every conceivable kind, character and nature whatsoever arising out of, resulting from or in any way connected with directly or indirectly with the Corridor

Improvement(s) which are the subject of this Agreement, including but not limited to actions arising from the Prevailing Wage Act (820 ILCS 30/0.01 et seq.) The APPLICANT further covenants and agrees to pay for or reimburse the CITY and its officials, officers, employees and agents for any and all costs, reasonable attorneys' fees, liabilities or expenses incurred in connection with investigating, defending against or otherwise in connection with any such losses, claims, damages, liabilities, or causes of action. The CITY shall have the right to select legal counsel and to approve any settlement in connection with such losses, claims, damages, liabilities, or causes of action. The provisions of this section shall survive the completion of said Corridor improvement(s).

**SECTION 8:** Nothing herein is intended to limit, restrict or prohibit the APPLICANT from undertaking any other work in or about the subject premises, which is unrelated to the Improvements provided for in this Agreement.

**SECTION 9:** This Agreement shall be binding upon the CITY and upon the APPLICANT and its successors and assigns with respect to the property on which the Improvements are installed, for a period of five (5) years from and after the date of completion and approval of the Corridor improvement provided for herein. It shall be the responsibility of the APPLICANT to inform subsequent owners and lessees of the provisions of this Agreement.

IN WITNESS THEREOF, the parties hereto have executed this Agreement on the date first appearing above.

**APPLICANT**

**PROPERTY OWNER**  
(if different from APPLICANT)

\_\_\_\_\_

\_\_\_\_\_

**CITY OF ST. CHARLES:** \_\_\_\_\_

**Mayor**

**ATTEST:** \_\_\_\_\_

**City Clerk**

Applicant contact information:

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Property Owner's information, if different than applicant:

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

## Exhibit I

**The Corridor Improvement Grant Program will reimburse property owners for design consultant fees according to which of the three grant programs the property owner has applied for:**

### **Corridor & Downtown Grants**

Corridor Grants are chosen each year by the Corridor Improvement Commission and approved by the City Council. The grant recipient will pay for the first 25% of the design cost and the grant would pay up to a cap amount based upon linear footage of the property along the Corridor Roadway (Main, Kirk, Lincoln Highway, or Randall, SSA1B); as noted in the chart below:

<b>Grant Funding for Design of Corridor Grants</b>		
<b>Linear Footage of Property on a Corridor Roadway (Main, Kirk, Randall, SSA1B)</b>	<b>Owner Pays</b>	<b>Commission will Pay</b>
< 200 feet	First 25% of Total design Costs	Up to \$2,000
201 – 500 feet	First 25% of Total design Cost	Up to \$3,000
501 + feet	First 25% of Total design Cost	Up to \$4,000

### **Four Season Grants**

The Corridor Improvement Program does not pay for design services. These grants provide up to \$1,000 for soil, labor, plant materials and mulch.



Lafarge Fox River Decorative Stone  
 1300 Route 31  
 South Elgin, IL 60177  
 847-888-6133

Company: LARSON PROPERTIES  
 Attention: ERIC  
 Phone: [630.669.5101](tel:630.669.5101)  
 E-mail: [PLAN4U2RETIRE@GMAIL.COM](mailto:PLAN4U2RETIRE@GMAIL.COM)  
 Project:  
 Location: **ST CHARLES**

April 24, 2018

Tax: Yes 7.50%  
 Delivery: Yes

Quantity	UOM Code	Item Description	Price / Unit	Subtotal
<del>1.00</del>	<del>EA</del>	<del>BLUE RIVER YARD BENCH 4'</del>	<del>\$ 225.05</del>	<del>\$ 225.05</del>
0.50	TON	CHERRY CREEK 3/4"	\$ 95.00	\$ 47.50
0.50	TON	LANNON STEPPERS	\$ 325.00	\$ 162.50

Grant Eligible Material

Subtotal	\$ 435.05
Tax	\$ 32.63
<del>Pallet Charge</del>	
<del>Section Charge</del>	
Freight	\$ 115.00
<b>Total</b>	<b>\$ 582.68</b>

Measurements and quantities must be confirmed and approved before shipping.

Quote honored for 30 days from the quote date.

Down payment required for special order material.

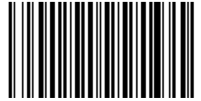
Patricia Howe  
 Inside Sales  
 Phone 847-888-6133  
 Cell 815-321-1767  
 Fax 847-742-6282



**MIDWEST  
GROUNDCOVERS**  
LLC

P.O. BOX 748 ST. CHARLES, IL 60174  
847-742-1790 FAX 847-742-2655

PROPAGATORS AND GROWERS OF GROUNDCOVERS, PERENNIALS, SHRUBS, EVERGREENS AND NATIVES  
*The Groundcover Specialists*  
WWW.MIDWESTGROUNDCOVERS.COM



Page: 1  
Quote Date: 04/18/18  
Required Date: 04/18/18

Quote Number: Q142001  
Customer Ref: QUOTE  
Customer Grp: YARD MULTI-NURS/GC/LDSC  
Attn:  
Phone: (630) 669-5101  
Terms: COD

QUOTE

C14422  
PERSON CREEK LANDSCAPING & NUR  
4N865 CRANE ROAD  
ST CHARLES, IL 60175

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Location

QTY ORDERED	QTY SHIPPED	QTY FLATS	UNIT	DESCRIPTION	UNIT PRICE	EXTENSION
1.0			EA	001 SC - 20810.5G Euonymus alatus 'Compactus' #5	20.55	20.55
6.0			EA	002 SC - 20754.3G Buxus x Green Velvet® #3 THIS IS THE LARGEST POT SIZE WE CURRENTLY HAVE AVAILABLE IN BYUXUS GREEN VELVET. WE EXPECT #5 POT TO BE AVAILABLE MID/LATE JULY. . .. #3 SIZE CURRENTLY MEASURE 9-12" HIGH AND 12-15" WIDE	31.75	190.50
6.0			EA	003 SC - 20670.5G Jun. chin. 'Gold Lace' #5	21.75	130.50
9.0			EA	004 SC - 20591.5G Jun. h. 'Blue Rug' (Wiltonii) #5	20.75	186.75
6.0			EA	005 SC - 20391.5G Jun. h. 'Hughes' #5 EXPECTED TO BE AVAILABLE EARLY/MID JULY	21.75	130.50
3.0			EA	006 SC - 22110.5G Hyd arb. Incrediball® #5	23.35	70.05
3.0			EA	007 SC - 23114.5G Weigela Sonic Bloom® Pink #5 EXPECTED TO BE AVAILABLE MID/LATE MAY	23.35	70.05

The customer, by signature, agrees to the terms and conditions of this sale and to pay for the same. Any cost of collecting shall be borne by the customer, including any and all court cost and reasonable legal fees.

Received By \_\_\_\_\_ Date \_\_\_\_\_

Claims about shortages, incorrect or damaged products must be submitted, no later than 5 days from receipt

CUSTOMER COPY

Quote Continued on Next Page



**MIDWEST  
GROUNDCOVERS**  
LLC

P.O. BOX 748 ST. CHARLES, IL 60174  
847-742-1790 FAX 847-742-2655

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Terms: COD

QUOTE

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C14422  
PERSON CREEK LANDSCAPING & NUR  
4N865 CRANE ROAD  
ST CHARLES, IL 60175

Location

QTY ORDERED	QTY SHIPPED	QTY FLATS	UNIT	DESCRIPTION	UNIT PRICE	EXTENSION
27.0			EA	008 SC - 20228.1G Cotoneaster Nordic Carpet® #1 EXPECTED MID/LATE MAY	5.95	160.65
14.0			EA	009 SC - 21998.1G Coreopsis 'Jethro Tull' #1	5.55	77.70
1.0			EA	010 SC - 23573.1G Sedum 'Firecracker' #1 WE GROW THIS IN A #1 SIZE POT. REQUEST IS FOR 3 FLATS. QUOTE IS FOR 1 #1 AS I AM UNSURE HOW MANY YOU NEED. WE DO HAVE ~1,000 IN STOCK	5.90	5.90
12.0			EA	011 SC - 21478.1G Sedum spectabile 'Autumn Fire' #1	4.85	58.20
42.0			EA	012 SC - 20716.1G Hem. 'Apricot Sparkles' #1	7.50	315.00
16.0			EA	013 SC - 21003.1G Nepeta racemosa 'Walker's Low' #1 EXPECTED TO BE AVAILABLE EARLY/MID MAY	4.00	64.00
9.0			EA	014 SC - 21866.1G Nepeta f. 'Early Bird' #1	4.75	42.75
25.0			EA	015 SC - 23567.1G Echinacea 'Julia' #1	8.95	223.75
25.0			EA	016 SC - 21450.1G Echinacea Pixie Meadowbrite™ #1	6.45	161.25

The customer, by signature, agrees to the terms and conditions of this sale and to pay for the same. Any cost of collecting shall be borne by the customer, including any and all court cost and reasonable legal fees.

Received By \_\_\_\_\_ Date \_\_\_\_\_

Claims about shortages, incorrect or damaged products must be submitted, no later than 5 days from receipt

CUSTOMER COPY

Quote Continued on Next Page



**MIDWEST  
GROUNDCOVERS  
LLC**

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C14422

PERSON CREEK LANDSCAPING & NUR  
4N865 CRANE ROAD  
ST CHARLES, IL 60175

QUOTE

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Location

QTY ORDERED	QTY SHIPPED	QTY FLATS	UNIT	DESCRIPTION	UNIT PRICE	EXTENSION
25.0			EA	017 SC - 22887.1G Echinacea Sombrero® 'Salsa Red' #1	8.95	223.75
40.0			EA	018 SC - 21849.1G Rudbeckia 'Viette's LittleSuzy' #1	5.40	216.00
19.0			EA	019 SC - 20613.1G Salvia nemorosa 'May Night' #1	4.00	76.00
<del>12.0</del>			<del>EA</del>	<del>020 SC - 20739.1G Hosta 'Frances Williams' #1</del> <span style="border: 1px solid red; padding: 2px;">Not in Grant Area</span>	<del>5.65</del>	<del>67.80</del>
20.0			EA	021 SC - 20661.3G Rosa Knock Out® #3	14.20	284.00
2.0			EA	022 SC - 21837.1G Panicum virg. 'Heavy Metal' #1	6.45	12.90
12.0			EA	023 SC - 20772.1G Calamagrostis 'Karl Foerster' #1	5.55	66.60

THANK YOU FOR THE OPPORTUNITY TO QUOTE THIS PLANT MATERIAL.

PLEASE CONFIRM THE PLANT SIZE AND AVAILABILITY AT THE TIME THE QUOTE IS CONVERTED TO AN ORDER.

PRICES ON QUOTES ARE VALID FROM DECEMBER 1ST 2017 - DECEMBER 1ST 2018.

\*\*\*\*\*ALL BOXWOOD SALES ARE FINAL!\*\*\*\*\*  
QUOTES DO NOT RESERVE PLANT MATERIAL.

The customer, by signature, agrees to the terms and conditions of this sale and to pay for the same. Any cost of collecting shall be borne by the customer, including any and all court cost and reasonable legal fees.	_____ Received By	_____ Date	Total \$2,855.15 Tax \$199.86 <hr/> Net Due \$3,055.01
	Claims about shortages, incorrect or damaged products must be submitted, no later than 5 days from receipt.		Revised Eligible Grant Amount \$2998.00
CUSTOMER COPY			



# Monarcas Landscape

35W377 Maple Avenue

St. Charles, IL 60174

331-645-0108

TO: Eric Larsen  
Plan4uzretire@gmail.com

CUSTOMER ACCOUNT NO.	
PHONE NO.	
WORK DATE 4/25/18	
ACCOUNT TYPE	
<input type="checkbox"/> RESIDENTIAL	<input type="checkbox"/> REGULAR
<input checked="" type="checkbox"/> COMMERCIAL	<input type="checkbox"/> 1-TIME
FREQUENCY SET	
ANNUALLY - AN	2 MONTHS - 02
1 MONTHS - 01	MONTHLY - MO
QUARTERLY - Q	WEEKLY - WE

TERMS:

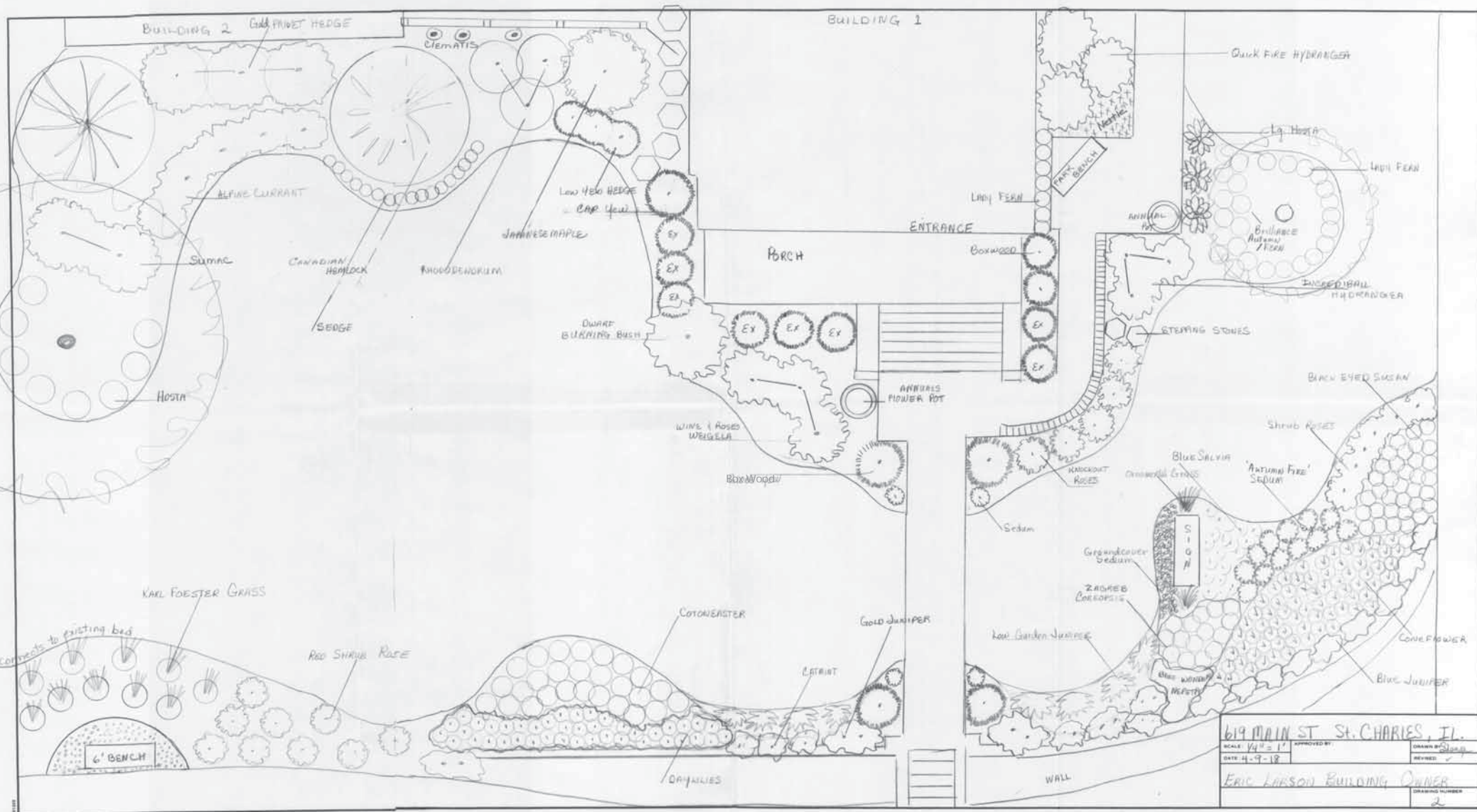
PLEASE RETURN THIS PORTION WITH PAYMENT

WORK DONE	FREQUENCY	DESCRIPTION / MATERIALS USED	UNIT	AMOUNT
<input type="checkbox"/> LAWN MOWING				
<input type="checkbox"/> EDGING				
<input type="checkbox"/> WEED CONTROL				
<input type="checkbox"/> PRUNING / TRIMMING				
<input type="checkbox"/> FERTILIZING				
<input type="checkbox"/> SPRING / FALL CLEAN-UP				
<input type="checkbox"/> SNOW REMOVAL				
<input checked="" type="checkbox"/> Mulch	1 time	8 yards of Brown mulch	65-	\$520-
<input checked="" type="checkbox"/> Pavers		Pavers for front <sup>Installed</sup>	600-	600-
<input checked="" type="checkbox"/> Plant install		Plant Installation for front of building along roadway 3 days of work	2,000-	2,000-
<input type="checkbox"/>				
<input type="checkbox"/>				
<input type="checkbox"/>				
<input type="checkbox"/>				

WIND DIRECTION N NE E SE S SW W NW	WIND SPEED 0-5 6-10 11-15	EQUIPMENT CHARGE
DATE	TIME AM PM	SUB-TOTAL
TECHNICIAN SIGNATURE <i>Chris Jovi</i>	DATE 4/25/18	TAX TOTAL \$3,120-

Thank You

# Exhibit III



619 MAIN ST. ST. CHARLES, ILL.  
SCALE: 1/4" = 1'  
DATE: 4-9-12  
ERIC LARSON BUILDING OWNER  
DRAWING NUMBER: 2

**Exhibit IV**  
**Agreement to Engage in Maintenance for Five Years**

OWNER agrees to maintain the property in a condition substantially similar to the condition prevalent when final inspection is made by the City's Landscape Architect Consultant and approval is granted by the City's Community & Economic Development Director for a period of at least five (5) years. The property will remain weed free, properly edged and mulched, as specified in the original design, and maintained at a minimum with the same type and quantity of plan material initially installed unless a modification to the plan is brought to and agreed upon by the Commission.

In the event of substandard maintenance, the CITY shall give the owner reasonable notice of conditions to be corrected within thirty (30) days. In the event that substandard maintenance still exists, OWNER agrees to repay the CITY the monies initially allocated to the OWNER by the CITY and to pay all costs and fees, including attorney fees, of any legal action taken to enforce this maintenance agreement.



**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3d

Title:	Historic Preservation Commission recommendation to approve a Façade Improvement Grant Agreement for 423 S. 2 <sup>nd</sup> St.
Presenter:	Russell Colby

Meeting: Planning & Development Committee

Date: May 14, 2018

Proposed Cost: \$20,000

Budgeted Amount: \$40,000

Not Budgeted:

**Executive Summary** (if not budgeted please explain):

Ryan Samuelson on behalf of R2 Investments LLC has requested a Façade Improvement Grant for improvements to the building located at 423 S. 2<sup>nd</sup> St., which is the former Fox Title building.

The Façade Improvement Grant program provides assistance to property owners and commercial tenants to rehabilitate and restore the exterior of buildings in the downtown. Grant funding is available for buildings located in Special Service Area 1B (Downtown Revitalization) or in a Historic District or designated Historic Landmark site. Applications are first reviewed by the Historic Preservation Commission for appropriateness of design. The grants are provided as a reimbursement for up to 50% of the funds invested into an exterior rehabilitation project involving new improvements and up to 25% for maintenance work. Up to \$10,000 is available for a 30 ft. length of building façade. There is a limit of \$20,000 of grant funds per property in any 5 year period. The program budget for FY 18-19 is \$40,000.

The program allows for grant funding for the front or side of a building that is visible from the street. The proposal includes improvements to the front (S. 2<sup>nd</sup> St.), south side (Prairie St.), and north side (visible from S. 2<sup>nd</sup> St.) of the building. Proposed is the following:

- Stucco repair and painting
- Cedar trim and siding
- Cedar pergola
- Gooseneck lighting

The Historic Preservation Commission reviewed the grant and recommended approval on 5/2/18. The Commission determined the scope of work qualifies as new improvements, eligible for up to 50% reimbursement.

The cost of the eligible improvements is estimated at \$42,837.80. The grant would cover up to \$20,000.

**Attachments** (please list):

Historic Commission Resolution, Façade Improvement Grant Application, Grant Agreement

**Recommendation/Suggested Action** (briefly explain):

Historic Preservation Commission recommendation to approve a Façade Improvement Grant Agreement for 423 S. 2<sup>nd</sup> St.

**City of St. Charles, Illinois**

**Historic Preservation Commission Resolution No. 1-2018**

**A Resolution Recommending Approval of  
A Façade Improvement Grant Application  
(423 S 2<sup>nd</sup> St.)**

WHEREAS, it is the responsibility of the St. Charles Historic Preservation Commission to review applications for the Façade Improvement Grant Program; and

WHEREAS, the Historic Preservation Commission has reviewed the Façade Improvement Grant Application for 423 S. 2<sup>nd</sup> St. and has found said application to be architecturally appropriate and in conformance with the Downtown Design Guidelines and the Historic Preservation Ordinance, Chapter 17.32 of the Zoning Ordinance; and

WHEREAS, the Historic Preservation Commission finds approval of said Façade Improvement Grant Application to be in the best interest of the City of St. Charles.

NOW THEREFORE, be it resolved by the St. Charles Historic Preservation Commission to recommend to the City Council approval of the Façade Improvement Application for 423 S. 2<sup>nd</sup> St.

Roll Call Vote:

Ayes: Smunt, Pretz, Kessler, Krahenbuhl, Malay

Nays: None

Abstain: None

Absent: Norris

Motion Carried.

**PASSED**, this 2<sup>nd</sup> day of May, 2018.

---

Chairman

# FAÇADE IMPROVEMENT GRANT APPLICATION

COMMUNITY & ECONOMIC DEVELOPMENT DEPT. /PLANNING DIVISION

CITY OF ST. CHARLES



## Grant Type (select one):

- Commercial       Residential

## Property Information:

Building or establishment for which the reimbursement grant is requested:

Address: 423 S. Second Street

Property Identification Number: 09 34 131 019

Applicant Name: R2 Investments LLC



## Project Description:

This project will consist of the continued remodel of the building located at Route 31 and Prairie St. The work performed in this phase will include the removal of outdated architectural features, repair and replacement of stucco, painting of the building, addition of cedar trim on portions of the building, a cedar pergola and exterior lighting.

Total Cost Estimate:      \$ 42,837.80

## Submittal Checklist:

- \$50 Application Fee
- Detailed Scope of Work:** Must identify all improvements, construction methods, building materials to be used. Costs must be broken down and itemized by task. In general, this scope of work should be prepared by the contractor(s) who will be completing the project.
- Documentation on Existing Conditions:** Reports or photographs to demonstrate need for improvements.
- W-9 Form:** Filled out and signed by the grant applicant, with a Federal Tax ID Number (or a Social Security Number for an individual)



423 South 2<sup>nd</sup> exterior renovations:

<u>Stucco repairs and texture with finish coat</u>	<u>\$18,500</u>
• North side of building:	\$3,700
• East side of building:	\$10,545
• South side of building:	\$4,255
<u>Cedar exterior wood (Materials for siding)</u>	<u>\$11,478</u>
• North side of building:	\$2,066
• East side of building:	\$5,739
• South side of building:	\$3,673
<u>Labor to trim windows and install exterior siding</u>	<u>\$7,200</u>
• North side of building:	\$1,296
• East side of building:	\$3,600
• South side of building:	\$2,304
<u>GC fees</u>	<u>\$4,461</u>
Total cost	<u>\$41,639.00</u>

\* No work on the west side of the building was included in the scope of work.

\* The pergola is included in the north side figures for materials and labor.  
(Approximately \$1,800)



# Midwest Siding Supply, Inc.

1001 Aucutt Road, Montgomery, IL 60538  
 (630) 897-2333 Fax (630) 897-0967

**QUOTE**

**A00231375**

**Account:** P02400 0001  
**Branch:** MONTGOMERY  
**Phone:** (630)-897-0774  
**Fax:** (630)-897-0869

**BILL TO:**  
 PREMIER EXTERIORS  
 421 S. River St.  
 Aurora IL 60506

**SHIP TO:**  
 PREMIER EXTERIORS  
 CORCORAN REALTY  
 RTE 31  
 ST CHARLES IL

<b>PO:</b>	<b>REF:</b> CORCORAN REALTY	<b>JOB:</b> CORCORAN
<b>EXP DELV DATE:</b> 04/18/18	<b>SALES HOUSE</b>	<b>TYPE:</b> STOCK
<b>ACTIVATION DATE:</b> 04/18/18	<b>AGENTS</b>	<b>SHIP VIA:</b>
<b>CLOSE DATE:</b> 06/02/18		<b>FRT TERM:</b>
		<b>QUOTED FOR:</b>
		<b>QUOTED BY:</b> Ryan

QUANTITY	UOM	ITEM/DESCRIPTION	PRICE/UOM	AMOUNT
1	EA	COLOR 2 CT MATERIAL COLOR TBD	0.00/EA	0.00
3800	LF	WC1X6M2 4 5/8" exposure-1/4" 1 x 6 TK S4S Cedar Shiplap 2 Coat 180 lf per square	2.14/LF	8,132.00
200	LF	WC5/4X4M2 5/4 x 4 S4S CEDAR (2 Coat) 180 lf per square	1.63/LF	326.00
600	LF	WC5/4X6M2 5/4 x 6 S4S CEDAR (2 Coat) 150 lf per square	2.70/LF	1,620.00
60	TB	WCC OSI Performance Caulk	5.75/TB	345.00
1	LB	MSTN9573 1 # 1-1/4" SS Trim Nail White	6.50/LB	6.50
2	CTN	MMCN8DSM 8D Coil Nails Smokey Mountain Clay	129.50/CTN	259.00
1	EA	ATNCC24AP .019 x 24" x 50' Alum. Trim Coil JH Aged Pewter 36627643 Midwest Siding Supply is NOT RESPONSIBLE for ANY damage to Sidewalks, Driveways or Landscaping resulting from our Delivery Trucks. 15% Restocking Fee on In-Stock items. Special Order items Non-Returnable. No Returns after 90 days!	75.90/EA	75.90





# Midwest Siding Supply, Inc.

1001 Aucutt Road, Montgomery, IL 60538  
 (630) 897-2333 Fax (630) 897-0967

**QUOTE**

**A00231375**

**Account:** P02400 0001  
**Branch:** MONTGOMERY  
**Phone:** (630)-897-0774  
**Fax:** (630)-897-0869

**BILL TO:**  
 PREMIER EXTERIORS  
 421 S. River St.  
 Aurora IL 60506

**SHIP TO:**  
 PREMIER EXTERIORS  
 CORCORAN REALTY  
 RTE 31  
 ST CHARLES IL

QUANTITY		UOM	ITEM/DESCRIPTION	PRICE/UOM	AMOUNT
1	EA	MNWMB22-F	8 X 8 Light Block with Inside Router NuWd	12.50/EA	12.50
1	EA	MNWMB24-F	8" X 12" Light Block NuWood	17.85/EA	17.85
2	GAL	WCMSTAIN	Machine Coat Stain Gallon	55.30/GAL	110.60
1	EA	MISC	ALLOWANCE--FRAMING AND SUPPLIES	2,700.00/EA	2,700.00
SUBTOTAL					13,605.35
SALES TAX					872.43
<p>Midwest Siding Supply is NOT RESPONSIBLE for ANY damage to Sidewalks, Driveways or Landscaping resulting from our Delivery Trucks.            15% Restocking Fee on In-Stock items. Special Order items Non-Returnable. No Returns after 90 days!</p>					
<p><b># ADD \$400 FOR            1/2 STYROFOAM            INSULATION</b></p>					

**PAYMENT TERMS:**  
 N/60

**Total** \$14,477.78

**DUPAGE LIGHTING, INC.**  
 3990 COMMERCE DRIVE  
 ST CHARLES, IL 60174

# SALES ORDER

Sales Order Number: 4096  
 Sales Order Date: Feb 2, 2018  
 Ship By: Feb 2, 2018  
 Page: 1

Voice: 630-208-7300  
 Fax: 630-208-7366

**To:**  
 CORCORAN REAL ESTATE  
 409 ILLINOIS AVE  
 STE B  
 ST CHARLES, IL 60174

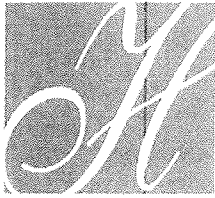
**Ship To:**  
 CORCORAN REAL ESTATE  
 409 ILLINOIS AVE  
 STE B  
 ST CHARLES, IL 60174

<b>Customer ID</b> COR	<b>PO Number</b>	<b>Sales Rep Name</b>
<b>Customer Contact</b>	<b>Shipping Method</b> Courier	<b>Payment Terms</b> Net 15 Days

Quantity	Item	Description	Unit Price	Amount
6.00		HILT H18112-91/B-2-91 GOOSE NECK LIGHTING	185.00	1,110.00

*50% DEPOSIT REQUIRED FOR ORDER*

Subtotal	1,110.00
Sales Tax	88.80
Freight	0.00
<b>TOTAL ORDER AMOUNT</b>	<b>1,198.80</b>

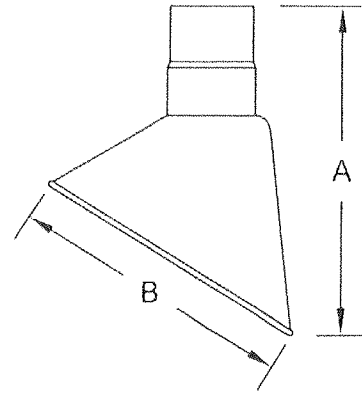


# HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue  
Chino, California 91710  
Telephone: (909) 465-1999  
Fax: (909) 465-0907

Job Name: \_\_\_\_\_  
Type: \_\_\_\_\_  
Quantity: \_\_\_\_\_

## Angle Shade Collection



Item Number	Height (A)	Width (B)
H-18107	8"	7"
H-18110	10-1/2"	10"
H-18112	12"	12"
H-18114	14-1/2"	14"

Fixture No.	Fixture Color	Mounting	Mounting Color	Optional Accessories	Accessory Color	Wattage/Lamp options	Ballast	Voltage
<b>H-18107</b> <sup>(1)</sup>	Standard <sup>(2)</sup>	Mounting	Standard	<b>CGU</b>	Standard	Incandescent	Ballast option	Incandescent
<b>H-18110</b> <sup>(1)</sup>	91 (Black)	Options	91 (Black)	(Cast guard & glass)	91 (Black)	(Fixture is standard 200W. Do not specify)	not available for INC.	(Fixture is standard 120V. Do not specify.)
<b>H-18112</b>	93 (White)	1/2"	93 (White)		93 (White)			
<b>H-18114</b>	95 (Dk. Grn)	3/4"	95 (Dk. Grn)	<b>LCGU</b>	95 (Dk. Grn)	CFL <sup>(3)</sup>	<b>RB</b> <sup>(4)</sup>	CFL
	96 (Galv.)	Stem Options	96 (Galv.)	(Large cast guard & glass)	96 (Galv.)	(Compact Fluorescent)	(Remote)	<b>M</b>
	BR47 (Rust)	(Stem 1/2")	BR47 (Rust)		BR47 (Rust)	13/CFL	<b>BCM</b>	(Multi 120/277V)
	BK01, GN20.	___ST		<b>WGU</b>		18/CFL	(Canopy Mount)	HID
	Upgraded Finishes.	Specify length and canopy.	For all finishes see pages 344-348.	(Wire guard & glass)	For all finishes see pages 344-348.	26/CFL	<b>PLB</b> <sup>(5)</sup>	RB and BCM
	29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.	<b>HSC</b> (Canopy) <b>SMC</b> (Canopy)		<b>LWGU</b>		26/32/42/CFL	(Postline)	<b>M</b> (Multi 120/208/240/277V)
	Flush Mount			(Large wire guard & glass)		32/CFL	For specs see pages 341-343.	PLB
	Options			<b>WGR</b>		42/CFL		1 (120V)
	<b>FHSC</b>	Arm Options		(Wire guard)		57/CFL		2 (277V)
	<b>FSMC</b>	<b>B-1</b> <b>HL-K</b> <b>HL-A</b> <b>HL-U</b> <b>HL-H</b> <b>P-1</b> <b>HL-C</b> <b>P-3</b> <b>HL-D</b>		<b>SK</b>		<b>DMB</b>		
	For all arms and specs see pages 321-344.	For all arms and specs see pages 321-344.		(Swivel knuckle)		(Dimmable Ballast for CFL. Add to Part No.)		
				For specs and glass color see pages 321-344.		HID <sup>(3)</sup>		
						(High Intensity Discharge)		
						MH <sup>(3)</sup>		
						(Metal Halide)		
						35/MH		
						50/MH		
						70/MH		
						100/MH		
						150/MH		
						175/MH		
						HPS <sup>(3)</sup>		
						(High Pressure Sodium)		
						50/HPS		
						70/HPS		
						100/HPS		
						150/HPS		

H-18110 - 91 / 1/2" - 91 / CGU-CLR - 91 / 13/CFL - BCM - M

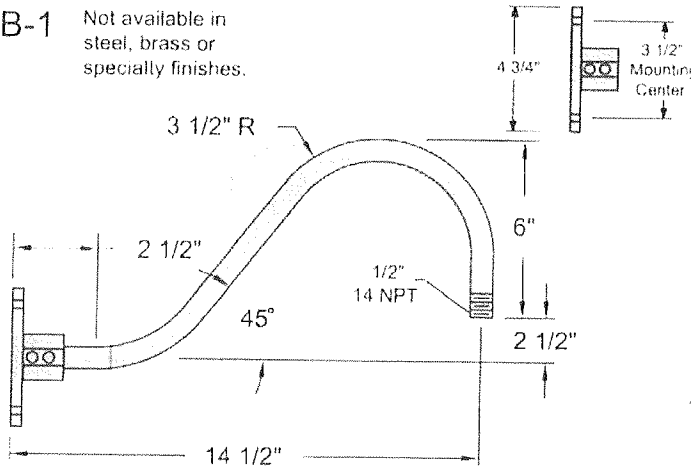
### ORDER EXAMPLE (USE THIS FORMAT TO PLACE ORDER)

- Notes:**
- (1) H-18107 not available with glass enclosures.  
H-18107 available for 200W Max INC, 32W Max CFL and 100W Max HID.  
H-18110 not available with LWGU, LCGU, ARN or LARN.
  - (2) For interior finish of fixture refer to color chart on pages 344-348.
  - (3) Requires Globe Option. (See pages 339-341 for Globe Options)  
Max. Wattages for CFL and WGU are
  - (4) (RB) Remote Ballast not available for Fluorescent Lamping.
  - (5) (PLB) Post Line Ballast must specify 120V or 277V.  
(PLB) 50W MH requires a 3" dia. pole.  
(PLB) 70W and 100W MH require a 4" dia. pole.  
(PLB) 50W, 70W, 100W and 150W HPS require a 3" dia. pole

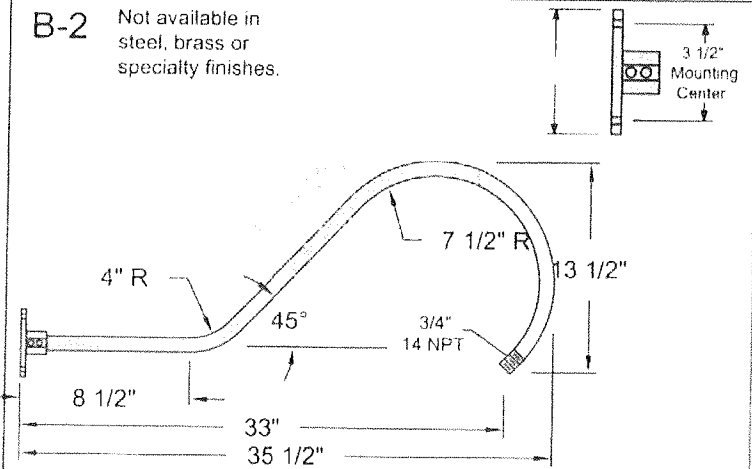
# Gooseneck Wall Brackets

(Includes Mounting Plate and Hardware)

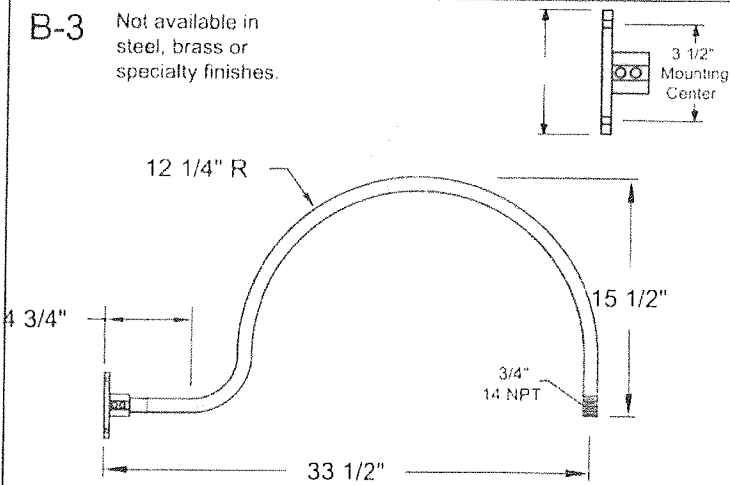
**B-1** Not available in steel, brass or specialty finishes.



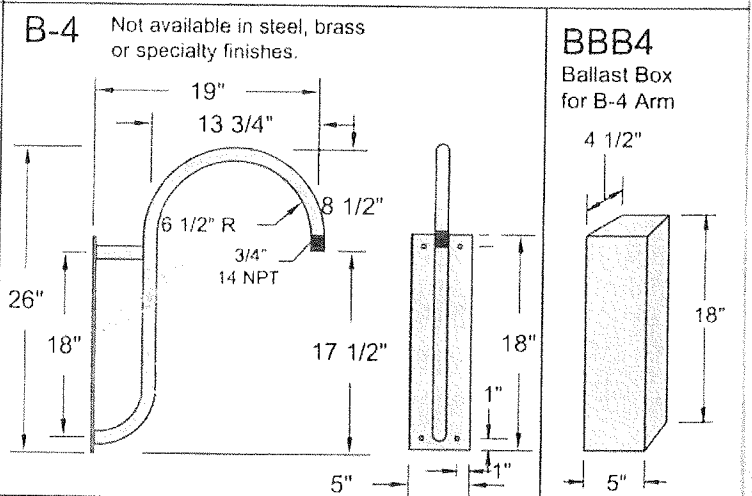
**B-2** Not available in steel, brass or specialty finishes.



**B-3** Not available in steel, brass or specialty finishes.

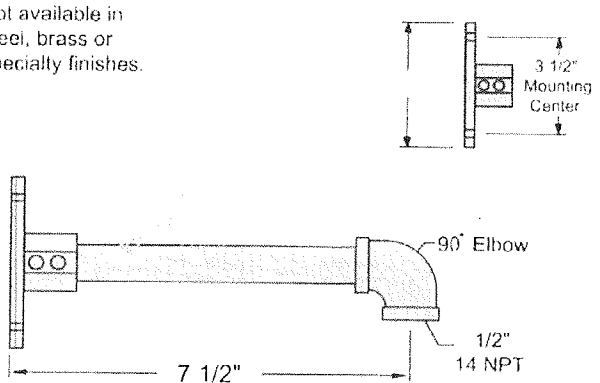


**B-4** Not available in steel, brass or specialty finishes.

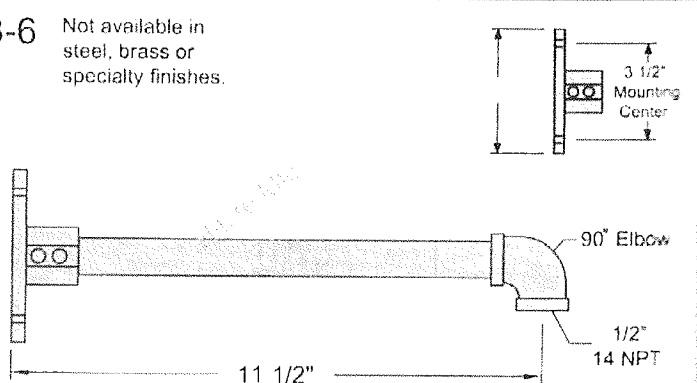


**BBB4**  
Ballast Box  
for B-4 Arm

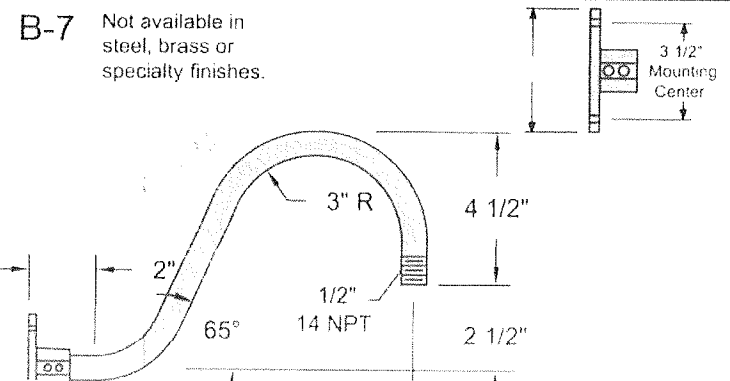
**B-5** Not available in steel, brass or specialty finishes.



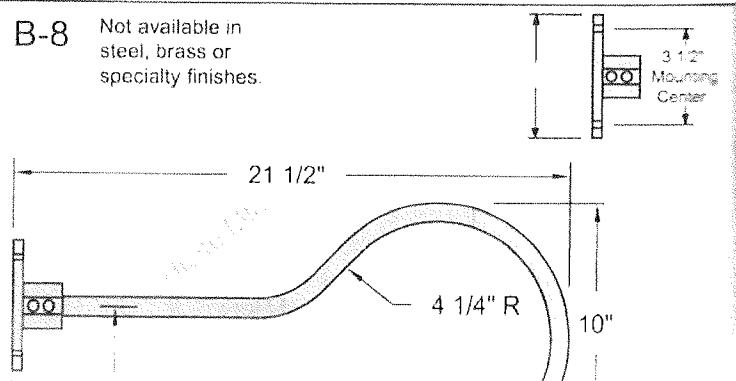
**B-6** Not available in steel, brass or specialty finishes.



**B-7** Not available in steel, brass or specialty finishes.



**B-8** Not available in steel, brass or specialty finishes.







CORCORAN







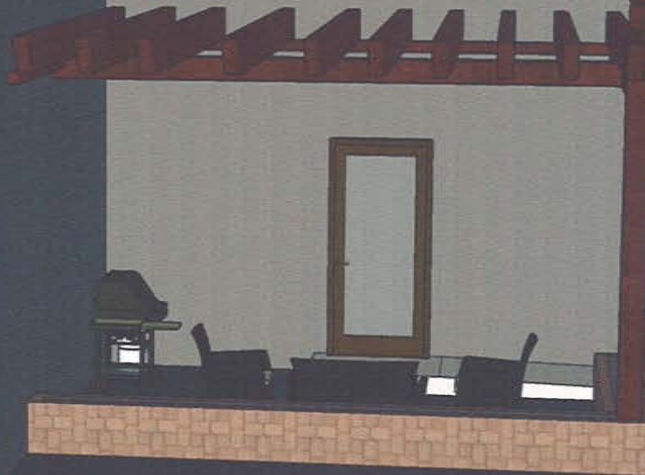




COMPLEX  
MANAGEMENT  
CORCORAN  
COMMERCIAL REAL ESTATE



COMPLEX  
MANAGEMENT  
CORCORAN  
COMMERCIAL REAL ESTATE





















**CITY OF ST. CHARLES  
FACADE IMPROVEMENT AGREEMENT**

Program Year: May 1, 2018 to April 30, 2019

**THIS AGREEMENT**, entered into this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_, between the City of St. Charles, Illinois (hereinafter referred to as "CITY") and the following designated OWNER/LESSEE, to wit:

Owner/Lessee's Name: Ryan Samuelson, R2 Investments

LLC Tax ID# or Social Security #

For the following property:

Address of Property: 423 S. 2<sup>nd</sup> St.

PIN Number: 09-34-131-019

**WITNESSETH:**

**WHEREAS**, the CITY has established a Facade Improvement Program adopted by City Ordinance No. 2017-M-7 ; and

**WHEREAS**, CITY has agreed to participate, subject to its sole discretion, in reimbursing Owners/Lessees for the cost of eligible exterior improvements to buildings through the Façade Improvement Program; and

**WHEREAS**, the OWNER/LESSEE desires to participate in the Facade Improvement Program pursuant to the terms and provisions of this Agreement.

**NOW, THEREFORE**, in consideration of the mutual covenants and agreements obtained herein, the CITY and the OWNER/LESSEE do hereby agree as follows:

SECTION 1:

A. With respect to Commercial Façade Grant improvements, the CITY shall reimburse OWNER/LESSEE for the cost of improvements to the OWNER/LESSEE's property at the rate of up to twenty five (25%) of the cost of Routine Maintenance Improvements, up to fifty percent (50%) of the cost of Historic Preservation Improvements and other Building Improvements, and up to one hundred percent (100%) of the cost of fees for Architectural Services pertaining to such improvements, provided that the total reimbursement for eligible improvements and architectural services shall not exceed the amount shown in Exhibit I, "Total Reimbursement Amounts", attached hereto.

B. With respect to Residential Façade Grant improvements, the CITY shall reimburse OWNER/LESSEE for the cost of improvements to the OWNER/LESSEE's property at the rate of up to fifty percent (50%) of the cost of Historic Preservation Improvements, and up to one hundred percent (100%) of the cost of fees for Architectural Services pertaining to such improvements, provided that the total reimbursement for eligible improvements and architectural services shall not exceed the amount shown in Exhibit I, "Total Reimbursement Amounts", attached hereto.

The actual total reimbursement amounts per this Agreement shall not exceed the amounts shown in Exhibit I. The improvement costs which are eligible for City reimbursement include all labor, materials, equipment and other contract items necessary for the proper execution and completion of the work as shown on the plans, design drawings, specifications and estimates approved by the City. Such plans, design drawings, specifications and estimates are attached hereto as Exhibit II.

SECTION 2: No improvement work shall be undertaken until its design has been submitted to and approved by the City Council. Following approval, the OWNER/LESSEE shall contract for the work and shall commence and complete all such work within the Program Year, ending April 30.

SECTION 3: The Director of Community Development shall periodically review the progress of the contractor's work on the facade improvement pursuant to this Agreement. Such inspections shall not replace any required building permit inspection. All work which is not in conformance with the approved plans, design drawings and specifications shall be immediately remedied by the OWNER/LESSEE and deficient or improper work shall be replaced and made to comply with the approved plans, design drawings and specifications and the terms of this Agreement.

SECTION 4: Upon completion of the improvements and upon their final inspection and approval by the Director of Community Development, the OWNER/LESSEE shall submit to the CITY a properly executed and notarized contractor statement showing the full cost of the work as well as each separate component amount due to the contractor and each and every subcontractor involved in furnishing labor, materials or equipment in the work. In addition, the OWNER/LESSEE shall submit to the CITY proof of payment of the contract cost pursuant to the contractor's statement and final lien waivers from all contractors and subcontractors. The OWNER/LESSEE shall also submit to the CITY a copy of the architect's statement of fees for professional services for preparation of plans and specifications. The CITY shall, within fifteen (15) days of receipt of the contractor's statement, proof of payment and lien waivers, and the architect's statement, issue a check to the OWNER/LESSEE as reimbursement, subject to the limitations set forth in Exhibit "I".

In the alternative, at its sole discretion, CITY may reimburse OWNER/LESSEE in two payments. The first reimbursement may be made only 1) upon completion of work representing 50% or more of the maximum reimbursement specified in Exhibit I hereof ; 2) upon receipt by CITY of the architect's invoices, contractor's statements, invoices, proof of payment and notarized final lien waivers for the completed work; and 3) upon a determination by the Director of Community Development that the remainder of the work is expected to be delayed for thirty days or more following completion of the initial

work due to weather, availability of materials, or other circumstances beyond the control of the OWNER/LESSEE. The second, final reimbursement payment shall be made by CITY only upon submittal of all necessary documents as described herein.

SECTION 5: If the OWNER/LESSEE or his contractor fails to complete the improvement work provided for herein in conformity with the approved plans, design drawings and specifications and the terms of this Agreement, or if the improvements are not completed by the end of the Program Year on April 30, this Agreement shall terminate and the financial obligation on the part of the CITY shall cease and become null and void. The CITY may, at its sole discretion, grant a single one-year extension to the end of the following program year due to unforeseen circumstances that have prevented the completion of the project.

SECTION 6: Upon completion of the improvement work pursuant to this Agreement and for a period of five (5) years thereafter, the OWNER/LESSEE shall be responsible for properly maintaining such improvements in finished form and without change or alteration thereto, as provided in this Agreement, and for the said period of five (5) years following completion of the construction thereof, the OWNER/LESSEE shall not enter into any Agreement or contract or take any other steps to alter, change or remove such improvements, or the approved design thereof, nor shall OWNER/LESSEE undertake any other changes, by contract or otherwise, to the improvements provided for in this Agreement unless such changes are first submitted to the Director of Community Development, and any additional review body designated by the Director, for approval. Such approval shall not be unreasonably withheld if the proposed changes do not substantially alter the original design concept of the improvements as specified in the plans, design drawings and specifications approved pursuant to this Agreement. If requested by the CITY, OWNER/LESSEE agrees to execute and record a restrictive covenant regarding the maintenance of improvements completed per this agreement.

SECTION 7: The OWNER/LESSEE releases the CITY from, and covenants and agrees that the CITY shall not be liable for, and covenants and agrees to indemnify and hold harmless the CITY and its officials, officers, employees and agents from and against, any and all losses, claims, damages, liabilities or expenses, of every conceivable kind, character and nature whatsoever arising out of, resulting from or in any way connected with directly or indirectly with the facade improvement(s), including but not limited to actions arising from the Prevailing Wage Act (820 ILCS 30/0.01 et seq.) The OWNER/LESSEE further covenants and agrees to pay for or reimburse the CITY and its officials, officers, employees and agents for any and all costs, reasonable attorneys' fees, liabilities or expenses incurred in connection with investigating, defending against or otherwise in connection with any such losses, claims, damages, liabilities, or causes of action. The CITY shall have the right to select legal counsel and to approve any settlement in connection with such losses, claims, damages, liabilities, or causes of action. The provisions of this section shall survive the completion of said facade improvement(s).

SECTION 8: Nothing herein is intended to limit, restrict or prohibit the OWNER/LESSEE from undertaking any other work in or about the subject premises which is unrelated to the facade improvement provided for in this Agreement.

SECTION 9: This Agreement shall be binding upon the CITY and upon the OWNER/LESSEE and its successors, to said property for a period of five (5) years from and after the date of completion and approval of the facade improvement provided for herein. It shall be the responsibility of the OWNER/LESSEE to inform subsequent OWNER(s)/LESSEE(s) of the provisions of this Agreement.

IN WITNESS THEREOF, the parties hereto have executed this Agreement on the date first appearing above.

**OWNER/LESSEE**

**CITY OF ST. CHARLES**

\_\_\_\_\_

\_\_\_\_\_

**Mayor**

**ATTEST:** \_\_\_\_\_

**City Clerk**



**EXHIBIT "I"**

**Total Reimbursement Amounts**

**Commercial Façade Grants:**

	<b>Total Estimated Cost</b>	<b>Reimbursement Percentage</b>	<b>Total Maximum Grant Amount</b>
<b>Routine Maintenance Improvements</b>	\$	25%	\$
<b>Historic Preservation Improvements</b>	\$	50%	\$
<b>Building Improvements</b>	\$ 42,837.80	50%	\$ 20,000
<b>Architectural Services</b>	\$	100% (not to exceed \$4000)	\$
<b>TOTAL</b>	\$ 42,837.80	-	\$ 20,000

**Residential Façade Grants:**

	<b>Total Estimated Cost</b>	<b>Reimbursement Percentage</b>	<b>Total Maximum Grant Amount</b>
<b>Historic Preservation Improvements</b>	\$	50%	\$
<b>Architectural Services</b>	\$	100% (not to exceed \$2000)	\$
<b>TOTAL</b>	\$	-	\$

**EXHIBIT “II”**

**Plans, Design drawings, Specifications and Estimates**

Attachments:

Proposal from Midwest Custom Homes  
Quote from Midwest Siding Supply, Inc. dated 4/18/18  
Sales Order from DuPage Lighting, Inc.; dated 2/2/18



**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3e

Title:	Historic Preservation Commission recommendation to approve a Façade Improvement Grant Agreement for 113 N. 2 <sup>nd</sup> Ave.
Presenter:	Russell Colby

Meeting: Planning & Development Committee                                  Date: May 14, 2018

Proposed Cost: \$1,200	Budgeted Amount: \$40,000	Not Budgeted: <input type="checkbox"/>
------------------------	---------------------------	--

**Executive Summary** (*if not budgeted please explain*):

Beverly Miller and Loreta Lescelius have requested a Façade Improvement Grant for the building located at 113 N. 2<sup>nd</sup> Ave. (Tranquility Spa & Wellness).

The Façade Improvement Grant program provides assistance to property owners and commercial tenants to rehabilitate and restore the exterior of buildings in the downtown. Grant funding is available for buildings located in Special Service Area 1B (Downtown Revitalization) or in a Historic District or designated Historic Landmark site. Applications are first reviewed by the Historic Preservation Commission for appropriateness of design. The grants are provided as a reimbursement for up to 50% of the funds invested into an exterior rehabilitation project involving new improvements and up to 25% for maintenance work. Up to \$10,000 is available for a 30 ft. length of building façade. There is a limit of \$20,000 of grant funds per property in any 5 year period. The program budget for FY 18-19 is \$40,000.

Proposed is painting of the entire building and repairs to the wood trim. The program allows for grant funding for the front or side of a building that is visible from the street.

The Historic Preservation Commission reviewed the grant and recommended approval on 5/2/18. The Commission determined the scope of work qualifies as “maintenance”, eligible for up to 25% reimbursement. They also determined all elevations of the building are eligible for grant funding because they are visible from the street.

The cost of the eligible improvements is estimated at \$4,800. The grant would cover up to \$1,200.

In 2014, the property received a \$2,000 grant to replace the porch columns.

**Attachments** (*please list*):

Historic Commission Resolution, Façade Improvement Grant Application, Grant Agreement

**Recommendation/Suggested Action** (*briefly explain*):

Historic Preservation Commission recommendation to approve a Façade Improvement Grant Agreement for 113 N. 2<sup>nd</sup> Ave.

**City of St. Charles, Illinois**

**Historic Preservation Commission Resolution No. 2-2018**

**A Resolution Recommending Approval of  
A Façade Improvement Grant Application  
(113 N. 2<sup>nd</sup> Ave.)**

WHEREAS, it is the responsibility of the St. Charles Historic Preservation Commission to review applications for the Façade Improvement Grant Program; and

WHEREAS, the Historic Preservation Commission has reviewed the Façade Improvement Grant Application for 113 N. 2<sup>nd</sup> Ave. and has found said application to be architecturally appropriate and in conformance with the Downtown Design Guidelines and the Historic Preservation Ordinance, Chapter 17.32 of the Zoning Ordinance; and

WHEREAS, the Historic Preservation Commission finds approval of said Façade Improvement Grant Application to be in the best interest of the City of St. Charles.

NOW THEREFORE, be it resolved by the St. Charles Historic Preservation Commission to recommend to the City Council approval of the Façade Improvement Application for 113 N. 2<sup>nd</sup> Ave.

Roll Call Vote:

Ayes: Smunt, Pretz, Kessler, Krahenbuhl, Malay

Nays: None

Abstain: None

Absent: Norris

Motion Carried.

**PASSED**, this 2<sup>nd</sup> day of May, 2018.

---

Chairman

# FAÇADE IMPROVEMENT GRANT APPLICATION



ST. CHARLES  
SINCE 1833

COMMUNITY & ECONOMIC DEVELOPMENT DEPT. /PLANNING DIVISION

CITY OF ST. CHARLES

## Grant Type (select one):

- Commercial       Residential

## Property Information:

Building or establishment for which the reimbursement grant is requested:

Address:

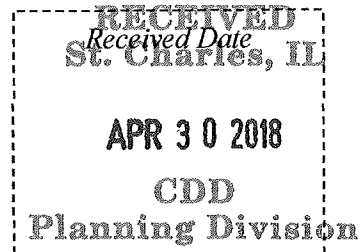
113 N. 2nd Ave.

Property Identification Number:

09-27-383-002

Applicant Name:

BEVERLY Miller / Loreta Lescecius



## Project Description:

Outside painting of house (business) with  
repairs to damaged wood + trim

**Total Cost Estimate:**

\$ 4,800.

## Submittal Checklist:

- \$50 Application Fee**
- Detailed Scope of Work:** Must identify all improvements, construction methods, building materials to be used. Costs must be broken down and itemized by task. In general, this scope of work should be prepared by the contractor(s) who will be completing the project.
- Documentation on Existing Conditions:** Reports or photographs to demonstrate need for improvements.
- W-9 Form:** Filled out and signed by the grant applicant, with a Federal Tax ID Number (or a Social Security Number for an individual)

RPM Construction & Design Inc.

36W686 River Grange Rd  
St Charles  
IL 60175

# Estimate

Date	Estimate #
4/26/2018	147

Name / Address
LLBK LLC 113 N 2nd Ave St Charles, IL 60174

			Project
Description	Qty	Rate	Total
Repair/replace damaged wood trim throughout the exterior of building as needed using like materials to existing. Power wash entire exterior of building Caulk all joints and knots in cedar siding in preparation for new paint Apply 2 new coats of stain to cedar siding, decorative trim, fascia and soffits. Paint front entry door and 2 side doors Colors will be similar to existing. Shutters will remain black. Gutters and downspouts will remain the same.  All work will be done during normal business hours with the exception for entrances which will be done during off hours.	1	4,800.00	4,800.00
<b>Total</b>			\$4,800.00









**CITY OF ST. CHARLES  
FACADE IMPROVEMENT AGREEMENT**

Program Year: May 1, 2018 to April 30, 2019

**THIS AGREEMENT**, entered into this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_, between the City of St. Charles, Illinois (hereinafter referred to as "CITY") and the following designated OWNER/LESSEE, to wit:

Owner/Lessee's Name: Beverly Miller / Loreta Lescelius

Tax ID# or Social Security #

For the following property:

Address of Property: 113 N. 2<sup>nd</sup> Ave.

PIN Number: 09-27-383-002

**WITNESSETH:**

**WHEREAS**, the CITY has established a Facade Improvement Program adopted by City Ordinance No. 2017-M-7 ; and

**WHEREAS**, CITY has agreed to participate, subject to its sole discretion, in reimbursing Owners/Lessees for the cost of eligible exterior improvements to buildings through the Façade Improvement Program; and

**WHEREAS**, the OWNER/LESSEE desires to participate in the Facade Improvement Program pursuant to the terms and provisions of this Agreement.

**NOW, THEREFORE**, in consideration of the mutual covenants and agreements obtained herein, the CITY and the OWNER/LESSEE do hereby agree as follows:

SECTION 1:

A. With respect to Commercial Façade Grant improvements, the CITY shall reimburse OWNER/LESSEE for the cost of improvements to the OWNER/LESSEE's property at the rate of up to twenty five (25%) of the cost of Routine Maintenance Improvements, up to fifty percent (50%) of the cost of Historic Preservation Improvements and other Building Improvements, and up to one hundred percent (100%) of the cost of fees for Architectural Services pertaining to such improvements, provided that the total reimbursement for eligible improvements and architectural services shall not exceed the amount shown in Exhibit I, "Total Reimbursement Amounts", attached hereto.

B. With respect to Residential Façade Grant improvements, the CITY shall reimburse OWNER/LESSEE for the cost of improvements to the OWNER/LESSEE's property at the rate of up to fifty percent (50%) of the cost of Historic Preservation Improvements, and up to one hundred percent (100%) of the cost of fees for Architectural Services pertaining to such improvements, provided that the total reimbursement for eligible improvements and architectural services shall not exceed the amount shown in Exhibit I, "Total Reimbursement Amounts", attached hereto.

The actual total reimbursement amounts per this Agreement shall not exceed the amounts shown in Exhibit I. The improvement costs which are eligible for City reimbursement include all labor, materials, equipment and other contract items necessary for the proper execution and completion of the work as shown on the plans, design drawings, specifications and estimates approved by the City. Such plans, design drawings, specifications and estimates are attached hereto as Exhibit II.

SECTION 2: No improvement work shall be undertaken until its design has been submitted to and approved by the City Council. Following approval, the OWNER/LESSEE shall contract for the work and shall commence and complete all such work within the Program Year, ending April 30.

SECTION 3: The Director of Community Development shall periodically review the progress of the contractor's work on the facade improvement pursuant to this Agreement. Such inspections shall not replace any required building permit inspection. All work which is not in conformance with the approved plans, design drawings and specifications shall be immediately remedied by the OWNER/LESSEE and deficient or improper work shall be replaced and made to comply with the approved plans, design drawings and specifications and the terms of this Agreement.

SECTION 4: Upon completion of the improvements and upon their final inspection and approval by the Director of Community Development, the OWNER/LESSEE shall submit to the CITY a properly executed and notarized contractor statement showing the full cost of the work as well as each separate component amount due to the contractor and each and every subcontractor involved in furnishing labor, materials or equipment in the work. In addition, the OWNER/LESSEE shall submit to the CITY proof of payment of the contract cost pursuant to the contractor's statement and final lien waivers from all contractors and subcontractors. The OWNER/LESSEE shall also submit to the CITY a copy of the architect's statement of fees for professional services for preparation of plans and specifications. The CITY shall, within fifteen (15) days of receipt of the contractor's statement, proof of payment and lien waivers, and the architect's statement, issue a check to the OWNER/LESSEE as reimbursement, subject to the limitations set forth in Exhibit "I".

In the alternative, at its sole discretion, CITY may reimburse OWNER/LESSEE in two payments. The first reimbursement may be made only 1) upon completion of work representing 50% or more of the maximum reimbursement specified in Exhibit I hereof ; 2) upon receipt by CITY of the architect's invoices, contractor's statements, invoices, proof of payment and notarized final lien waivers for the completed work; and 3) upon a determination by the Director of Community Development that the remainder of the work is expected to be delayed for thirty days or more following completion of the initial

work due to weather, availability of materials, or other circumstances beyond the control of the OWNER/LESSEE. The second, final reimbursement payment shall be made by CITY only upon submittal of all necessary documents as described herein.

SECTION 5: If the OWNER/LESSEE or his contractor fails to complete the improvement work provided for herein in conformity with the approved plans, design drawings and specifications and the terms of this Agreement, or if the improvements are not completed by the end of the Program Year on April 30, this Agreement shall terminate and the financial obligation on the part of the CITY shall cease and become null and void. The CITY may, at its sole discretion, grant a single one-year extension to the end of the following program year due to unforeseen circumstances that have prevented the completion of the project.

SECTION 6: Upon completion of the improvement work pursuant to this Agreement and for a period of five (5) years thereafter, the OWNER/LESSEE shall be responsible for properly maintaining such improvements in finished form and without change or alteration thereto, as provided in this Agreement, and for the said period of five (5) years following completion of the construction thereof, the OWNER/LESSEE shall not enter into any Agreement or contract or take any other steps to alter, change or remove such improvements, or the approved design thereof, nor shall OWNER/LESSEE undertake any other changes, by contract or otherwise, to the improvements provided for in this Agreement unless such changes are first submitted to the Director of Community Development, and any additional review body designated by the Director, for approval. Such approval shall not be unreasonably withheld if the proposed changes do not substantially alter the original design concept of the improvements as specified in the plans, design drawings and specifications approved pursuant to this Agreement. If requested by the CITY, OWNER/LESSEE agrees to execute and record a restrictive covenant regarding the maintenance of improvements completed per this agreement.

SECTION 7: The OWNER/LESSEE releases the CITY from, and covenants and agrees that the CITY shall not be liable for, and covenants and agrees to indemnify and hold harmless the CITY and its officials, officers, employees and agents from and against, any and all losses, claims, damages, liabilities or expenses, of every conceivable kind, character and nature whatsoever arising out of, resulting from or in any way connected with directly or indirectly with the facade improvement(s), including but not limited to actions arising from the Prevailing Wage Act (820 ILCS 30/0.01 et seq.) The OWNER/LESSEE further covenants and agrees to pay for or reimburse the CITY and its officials, officers, employees and agents for any and all costs, reasonable attorneys' fees, liabilities or expenses incurred in connection with investigating, defending against or otherwise in connection with any such losses, claims, damages, liabilities, or causes of action. The CITY shall have the right to select legal counsel and to approve any settlement in connection with such losses, claims, damages, liabilities, or causes of action. The provisions of this section shall survive the completion of said facade improvement(s).

SECTION 8: Nothing herein is intended to limit, restrict or prohibit the OWNER/LESSEE from undertaking any other work in or about the subject premises which is unrelated to the facade improvement provided for in this Agreement.

SECTION 9: This Agreement shall be binding upon the CITY and upon the OWNER/LESSEE and its successors, to said property for a period of five (5) years from and after the date of completion and approval of the facade improvement provided for herein. It shall be the responsibility of the OWNER/LESSEE to inform subsequent OWNER(s)/LESSEE(s) of the provisions of this Agreement.

IN WITNESS THEREOF, the parties hereto have executed this Agreement on the date first appearing above.

**OWNER/LESSEE**

**CITY OF ST. CHARLES**

\_\_\_\_\_

\_\_\_\_\_

**Mayor**

**ATTEST:** \_\_\_\_\_

**City Clerk**

**EXHIBIT "I"**

**Total Reimbursement Amounts**

**Commercial Façade Grants:**

	<b>Total Estimated Cost</b>	<b>Reimbursement Percentage</b>	<b>Total Maximum Grant Amount</b>
<b>Routine Maintenance Improvements</b>	\$ 4,800	25%	\$ 1,200
<b>Historic Preservation Improvements</b>	\$	50%	\$
<b>Building Improvements</b>	\$	50%	\$
<b>Architectural Services</b>	\$	100% (not to exceed \$4000)	\$
<b>TOTAL</b>	\$ 4,800	-	\$ 1,200

**Residential Façade Grants:**

	<b>Total Estimated Cost</b>	<b>Reimbursement Percentage</b>	<b>Total Maximum Grant Amount</b>
<b>Historic Preservation Improvements</b>	\$	50%	\$
<b>Architectural Services</b>	\$	100% (not to exceed \$2000)	\$
<b>TOTAL</b>	\$	-	\$



**EXHIBIT "II"**

**Plans, Design drawings, Specifications and Estimates**

Attachments:

Estimate from RPM Construction & Design Inc., dated 4/26/18

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3f

Title:

Recommendation to approve the Third Amendment to Intergovernmental Agreement between the City of St. Charles and the City of Geneva (1337 Geneva Rd.)

Presenter:

Russell Colby

Meeting: Planning &amp; Development Committee

Date: May 14, 2018

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: **Executive Summary** *(if not budgeted please explain):*

An Intergovernmental Agreement between St. Charles and Geneva was approved in 1986 allowing for a residential development in Geneva to connect to St. Charles' sanitary sewer system. The IGA was subsequently amended in 1988 and 1990 allowing for other property in Geneva to be served by St. Charles sanitary. Proposed is a Third Amendment to the IGA in regards to the water service connection for the property located at 1337 Geneva Rd. in St. Charles.

In October 2017, the Committee recommended approval of a Map Amendment and Final Plat of Subdivision for Parkside Reserves, 1337 Geneva Rd., to allow construction of a three-unit townhome on the property, which is a vacant half-acre parcel near the St. Charles/Geneva border.

The developer is proposing to serve the development with City of Geneva water due to the proximity of the Geneva water main. Connecting to St. Charles water would require a more costly water main extension.

The City of Geneva has agreed to allow the water service connection to Geneva's water main system.

An Intergovernmental Agreement has been prepared outlining the parties responsible for infrastructure improvements and how the townhome residents will be billed for water and sewer service. Residents will be charged for water and sewer service by Geneva using Geneva usage rates for water and St. Charles usage rates for sewer. Sanitary sewer charges will be remitted to the City of St. Charles on an annual basis.

City of Geneva staff has reviewed the IGA and find it acceptable. The IGA requires approval by Geneva City Council.

**Attachments** *(please list):*

Intergovernmental Agreement, Engineering Plans

**Recommendation/Suggested Action** *(briefly explain):*

Recommendation to approve the Third Amendment to Intergovernmental Agreement between the City of St. Charles and the City of Geneva (1337 Geneva Rd.)

**THIRD AMENDMENT TO INTERGOVERNMENTAL  
AGREEMENT BY AND BETWEEN THE CITY OF ST. CHARLES,  
KANE AND DUPAGE COUNTIES, ILLINOIS, AND  
THE CITY OF GENEVA, KANE COUNTY, ILLINOIS**

**WHEREAS**, the City of St. Charles, Kane and DuPage Counties, Illinois, and the City of Geneva, Kane County, Illinois, entered into an Intergovernmental Agreement, pursuant to the 1970 Illinois Constitution, on November 3, 1986 and subsequently amended said Intergovernmental Agreement on April 4, 1988 and June 4, 1990; and

**WHEREAS**, the City of St. Charles has approved a preliminary plan for a townhome consisting of three (3) residential units (“Townhouses”) which is commonly known as 1337 Geneva Road and is legally described in Exhibit “A”, attached hereto; and

**WHEREAS**, the Cities of Geneva and St. Charles find that the proposed Townhouses would be more practically served by the water system (water main) of the City of Geneva since providing such water main service by the City of St. Charles would require an unreasonably expensive main extension, whose maintenance would not be cost effective. This extension would also create a disturbance of Illinois Route 31.

**NOW, THEREFORE**, in consideration of the mutual promises contained herein, and the recitals of facts hereinabove made, it is hereby agreed by and between the City of Geneva, Kane County, Illinois, (“Geneva”) and the City of St. Charles, Kane and DuPage Counties, Illinois, (“St. Charles”) as follows:

1. Subject to satisfaction of the conditions set forth in Paragraph 2 below, Geneva shall cooperate with St. Charles in allowing the connection of a private water service line serving a property located in St. Charles to connect to Geneva’s water main system in order to provide service to the townhouses as described in Exhibit “A”.

2. St. Charles shall cause the Developer and/or water main residential user to comply with the following conditions:

(a) That at the time of construction of the Townhomes infrastructure improvements, the Developer of 1337 Geneva Road (“Developer”) shall construct water mains and any necessary appurtenant structures in accordance with current Geneva regulations, and

(b) That the plans and specifications for water mains and appurtenant structures shall be reviewed and approved by Geneva, and

(c) That the Developer shall pay to Geneva the customary fees, including engineering fees and legal fees, for plan review and inspection of the water main and related facilities as if the water mains and facilities were constructed for a new subdivision in Geneva, and

(d) That the Developer shall pay to Geneva all necessary water main connection fees and other charges in accordance with the established schedule of fees and charges of Geneva for the proposed water main, and

(e) That the Developer and each water main residential user in the Townhomes shall accept ownership of and agree to operate and maintain any new service line connection in accordance with the ordinances and regulations of Geneva, and

(f) That the water main residential users shall be charged for their water main user fees by Geneva in accordance with the usage rates maintained by Geneva; and

3. That the water main residential users shall be charged for their sanitary sewer user fees by Geneva in accordance with the usage rates maintained by St. Charles, and the City of Geneva shall provide an annual report indicating the amount so collected for sanitary sewer usage from the residential users and shall make a remittance of said charges collected to the City of St. Charles on or

before April 15th of each calendar year.

4. The City of St. Charles will notify the City of Geneva thirty- (30) days prior to any sewage treatment rate changes going into effect.

5. This Agreement is solely between the parties hereto and is not intended to create any third-party beneficial relationships between St. Charles, Geneva, and the Developer or owner of a unit in the Townhomes.

6. That the Intergovernmental Agreement dated November 3, 1986 as amended, is hereby readopted, reaffirmed and re-executed by the parties hereto.

**IN WITNESS WHEREOF**, on this \_\_\_\_\_ day of \_\_\_\_\_, 2018, the parties affix their respective seals.

**CITY OF ST. CHARLES, ILLINOIS**

( S E A L )

BY: \_\_\_\_\_

Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

**CITY OF GENEVA, ILLINOIS**

( S E A L )

BY: \_\_\_\_\_

Mayor

ATTEST:

---

City Clerk

This instrument prepared by:

Jon Green

President, PE, CFM

Engineering Resource Associates, Inc.

3S701 West Avenue, Suite #150

Warrenville IL 60555

## **EXHIBIT A**

1337 Geneva Road, generally located on the West Side of Geneva Road as follows:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF MEDIAPOLIS ADDITION TO ST. CHARLES AND GENEVA, ILLINOIS; THENCE SOUTH 82 DEGREES 17 MINUTES EAST ALONG THE NORTHERLY LINE OF SAID MEDIAPOLIS ADDITION PRODUCED EASTERLY 104.1 FEET TO AN IRON PIPE IN THE EASTERLY RIGHT OF WAY LINE OF THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY FOR THE POINT OF BEGINNING; THENCE NORTH 21 DEGREES 03 MINUTES EAST ALONG SAID EASTERLY RIGHT OF WAY LINE 59.5 FEET TO A N IRON PIPE; THENCE NORTH 75 DEGREES 25 MINUTES EAST, 140.7 FEET TO AN IRON BOLT IN THE WESTERLY LINE OF ILLINOIS HIGHWAY 31 (ALSO KNOWN AS THE WEST ST. CHARLES AND GENEVA ROAD); THENCE SOUTH 20 DEGREES 46 MINUTES EAST ALONG SAID WESTERLY LINE OF ILLINOIS HIGHWAY ROUTE 31, A DISTANCE OF 164.2 FEET TO AN IRON PIN; THENCE NORTH 82 DEGREES 17 MINUTES WEST PARALLEL TO SAID NORTHERLY LINE OF MEDIAPOLIS ADDITION AND ITS EXTENSION EASTERLY 231.6 FEET TO AN IRON PIN IN THE EASTERLY RIGHT OF WAY OF SAID CHICAGO AND NORTHWESTERN RAILWAY COMPANY; THENCE NORTH 23 DEGREES 58 MINUTES EAST ALONG THE SAID EASTERLY RIGHT OF WAY LINE 34.3 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



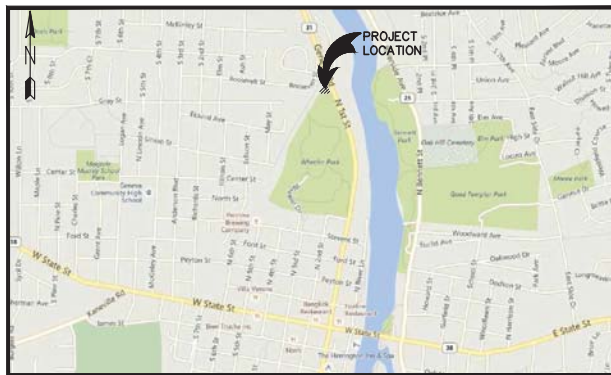
# FINAL ENGINEERING IMPROVEMENT PLANS

## PARKSIDE RESERVES

### ST. CHARLES, ILLINOIS

#### INDEX TO DRAWINGS

1. COVER SHEET
2. EXISTING CONDITIONS
3. DEMOLITION PLAN
4. UTILITY & GEOMETRY PLAN
5. GRADING & EROSION CONTROL PLAN
6. STORMWATER POLLUTION PREVENTION PLAN
7. GENERAL NOTES
8. GENERAL NOTES
9. DETAILS
10. DETAILS
11. IDOT DETAILS
12. IDOT DETAILS



**LOCATION MAP**  
WTA

#### PREPARED FOR:

**GRANDVIEW CAPITAL, LLC**  
**36W995 RED GATE ROAD**  
**ST. CHARLES, IL 60174**  
**PH: (630) 513-1966**  
**FAX: (630) 377-3812**

EXISTING		PROPOSED	
CURB & GUTTER	=====	CURB & GUTTER	=====
WATER	—W—	WATER	—W—
ELECTRIC	—E—	ELECTRIC	—E—
GAS	—G—	GAS	—G—
SANITARY SEWER	—S—	SANITARY SEWER	—S—
STORM SEWER	—ST—	STORM SEWER	—ST—
OVERHEAD WIRES	—OW—	MANHOLE	⊙
MANHOLE	⊙	CATCH BASIN	⊙
CATCH BASIN	⊙	INLET	⊙
INLET	⊙	VALVE VAULT	⊙
VALVE VAULT	⊙	VALVE & BOX	⊙
VALVE & BOX	⊙	BUFFALO BOX	⊙
BUFFALO BOX	⊙	GAS VALVE	⊙
GAS VALVE	⊙	HYDRANT	⊙
HYDRANT	⊙	HANDICAPPED RAMP	⊙
HANDICAPPED RAMP	⊙	FILL STRUCTURE	⊙
FILL STRUCTURE	⊙	ADJUST STRUCTURE	⊙
ADJUST STRUCTURE	⊙	ELEVATION	+XXXX
ELEVATION	+XXXX	CONTOUR	---XXX---
CONTOUR	---XXX---	FLOW	====>
FLOW	====>	OVERFLOW ROUTE	====>
F.P.D.K.C.		FOREST PRESERVE DISTRICT OF KANE COUNTY	
		INLET PROTECTION	⊙
		SILT FENCE	---XX---
		CONSTRUCTION ENTRANCE	⊙



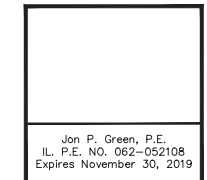
**ENGINEERING RESOURCE ASSOCIATES, INC.**  
 CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

2416 GALEN DRIVE  
 CHAMPAIGN, ILLINOIS 61821  
 PHONE (217) 351-6268  
 FAX (217) 355-1902

35701 WEST AVENUE, SUITE 150  
 WARRENVILLE, ILLINOIS 60555  
 PHONE (630) 393-3060  
 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA,  
 SUITE 875  
 CHICAGO, ILLINOIS 60606  
 PHONE (312) 474-7841

**REVISED DATE: APRIL 24, 2018**  
**REVISED DATE: MARCH 10, 2018**  
**REVISED DATE: JANUARY 10, 2018**  
**REVISED DATE: NOVEMBER 3, 2017**  
**REVISED DATE: AUGUST 15, 2017**  
**REVISED DATE: AUGUST 4, 2016**  
**ORIGINAL SUBMITTAL: FEBRUARY 5, 2016**



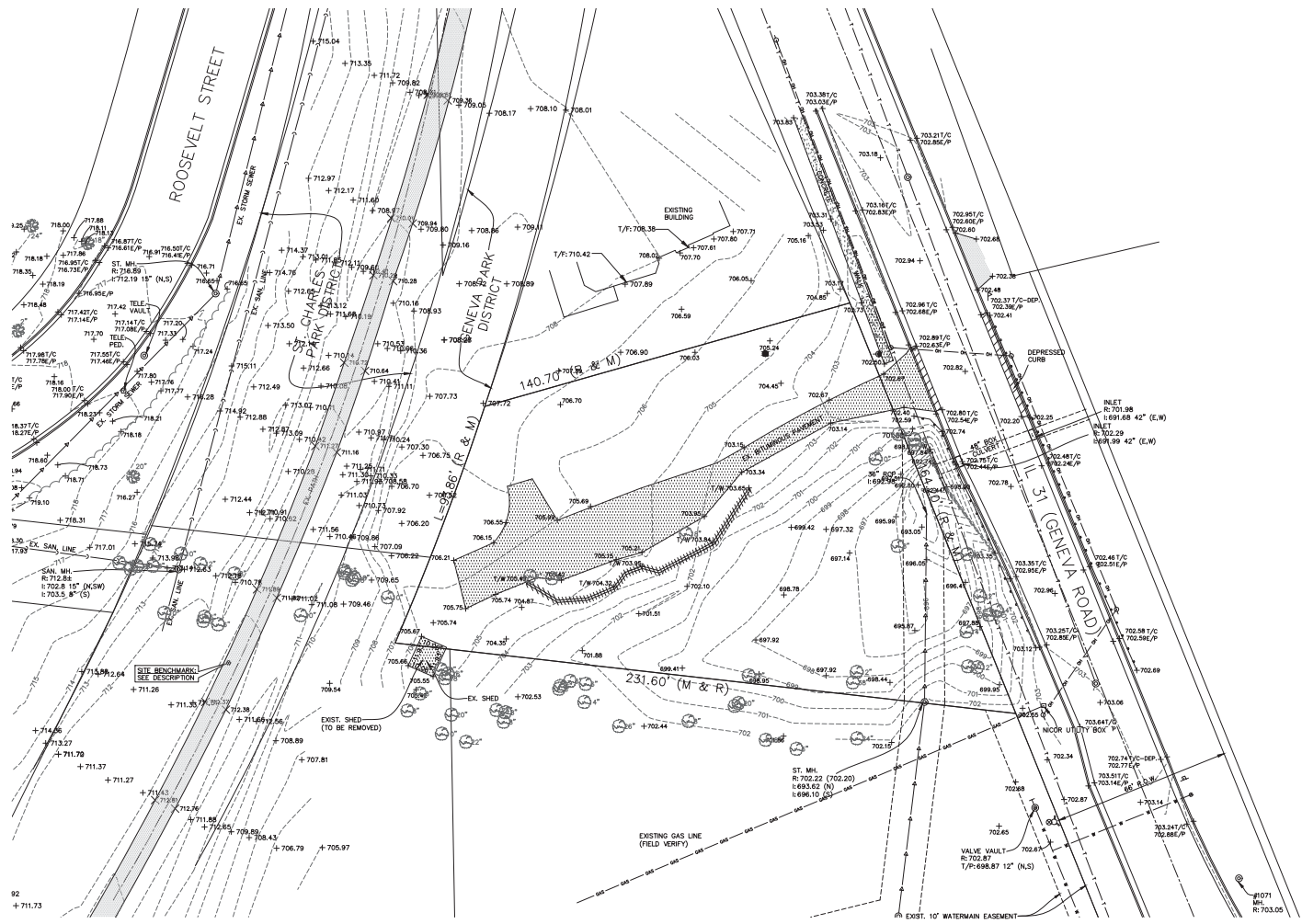
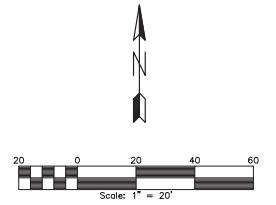
**ERA JOB NO: 130209**  
 PROFESSIONAL DESIGN FIRM NUMBER: 184.00186

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**JULIE**  
ILLINOIS ONE-CALL SYSTEM

Call before you dig  
**800.892.0123**



**SITE BENCHMARK:**  
SET P.K. NAIL IN PAVEMENT ON WEST SIDE OF SITE.  
ELEV. 712.16

REVISIONS:		DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
08/04/16	EM	05/19/16	KF	PER IDOT/CITY COMMENTS			
10/07/16	EM	04/24/16	KF	PER EPA COMMENTS			
11/02/17	TF			PER IDOT COMMENTS			
01/30/18	TF			PER IDOT COMMENTS			

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**CHECKED BY:** BW  
**APPROVED BY:** JC



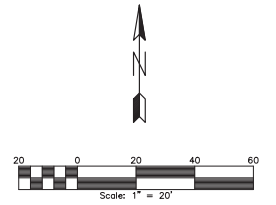
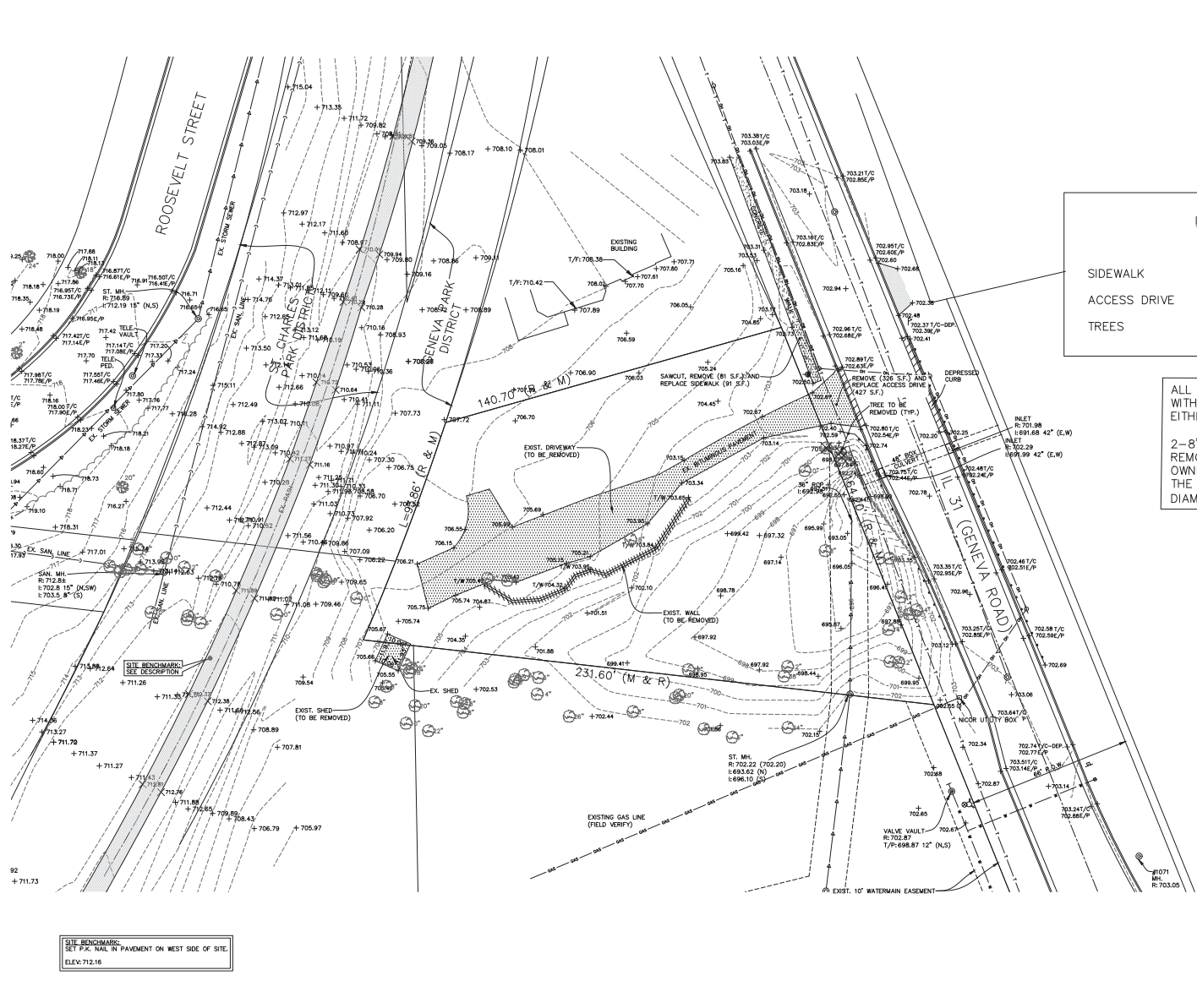
**ENGINEERING RESOURCE ASSOCIATES, INC.**  
CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS  
35701 WEST AVENUE, SUITE 150  
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FAX: (312) 474-6999  
2416 GALLEN DRIVE  
CHAMPAGNE, ILLINOIS 61821  
PHONE: (217) 351-6268  
FAX: (217) 355-1902

**GRANDVIEW CAPITAL, LLC**  
36W995 RED GATE ROAD  
ST. CHARLES, IL

**TITLE:**

**EXISTING CONDITIONS**  
**PARKSIDE RESERVES**  
**ST. CHARLES, IL**

**SCALE:** 1"=20'  
**DATE:** DECEMBER, 2015  
**JOB NO:** 130209  
**SHEET:** 2 of 12



ITEMS WITHIN IDOT ROW		
	REMOVE	REPLACE
SIDEWALK	81 S.F.	91 S.F.
ACCESS DRIVE	326 S.F.	427 S.F.
TREES	3 COUNT	

ALL TREES REMOVED MUST BE REPLACED WITH AN EQUAL SUM OF DIAMETERS EITHER ONSITE OR WITHIN THE STATE ROW.

2-8" AND 1-16" TREES HAVE BEEN REMOVED FROM THE IDOT ROW. THE OWNER SHALL COORDINATE REPLACING THE TREES WITH AN EQUAL SUM OF DIAMETERS OF 32"

SITE BENCHMARK:  
SET P.K. NAIL IN PAVEMENT ON WEST SIDE OF SHTL.  
ELEV. 712.16

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
08/04/16	EM	PER CITY COMMENTS	05/19/18	KF	PER IDOT/CITY COMMENTS
10/07/16	EM	PER EPA COMMENTS	04/24/18	KF	PER CITY COMMENTS
11/03/17	TF	PER IDOT COMMENTS			
01/10/18	TF	PER IDOT/CITY COMMENTS			

DRAWN BY: BL  
CHECKED BY: BW  
APPROVED BY: JC



ENGINEERING RESOURCE ASSOCIATES, INC.  
CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60555  
PHONE (630) 393-3660  
FAX (630) 393-2152

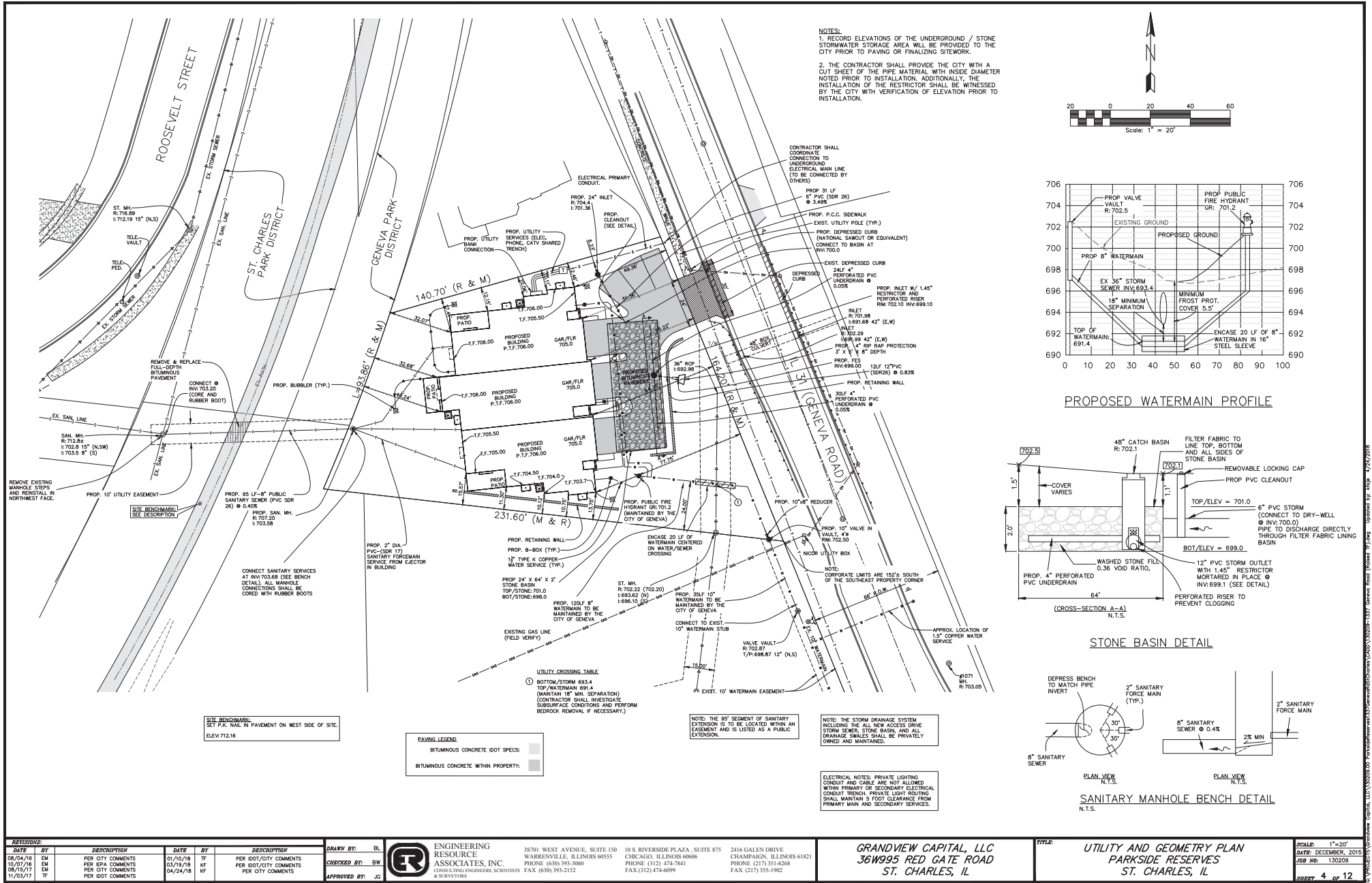
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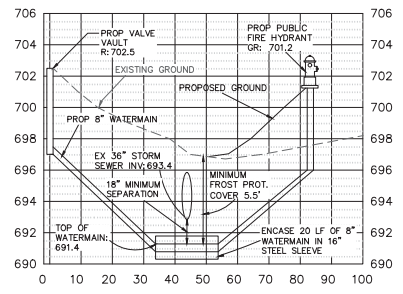
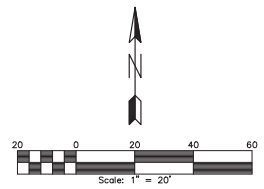
GRANDVIEW CAPITAL, LLC  
36W995 RED GATE ROAD  
ST. CHARLES, IL

TITLE: DEMOLITION PLAN  
PARKSIDE RESERVES  
ST. CHARLES, IL

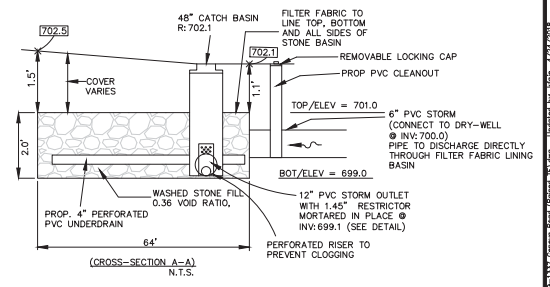
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DATE: DECEMBER, 2015  
JOB NO: 130209  
SUBSET 3 of 12



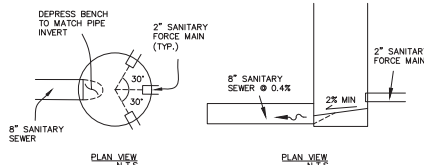
- NOTES:**
1. RECORD ELEVATIONS OF THE UNDERGROUND / STONE STORMWATER STORAGE AREA WILL BE PROVIDED TO THE CITY PRIOR TO PAVING OR FINALIZING SITEWORK.
  2. THE CONTRACTOR SHALL PROVIDE THE CITY WITH A CUT SHEET OF THE PIPE MATERIAL WITH INSIDE DIAMETER NOTED PRIOR TO INSTALLATION. ADDITIONALLY, THE INSTALLATION OF THE RESTRICTOR SHALL BE WITNESSED BY THE CITY WITH VERIFICATION OF ELEVATION PRIOR TO INSTALLATION.



**PROPOSED WATERMAIN PROFILE**



**STONE BASIN DETAIL**



**SANITARY MANHOLE BENCH DETAIL**

**SITE BENCHMARK:**  
SET P.K. NAIL IN PAVEMENT ON WEST SIDE OF SITE.  
ELEV: 712.16

**PAVING LEGEND:**  
BITUMINOUS CONCRETE (DOT SPECS): [Pattern]  
BITUMINOUS CONCRETE WITHIN PROPERTY: [Pattern]

**NOTE:** THE STORM DRAINAGE SYSTEM INCLUDING THE MAIN ACCESS DRIVE STORM SEWER, STONE BASIN, AND ALL DRAINAGE SWALES SHALL BE PRIVATELY OWNED AND MAINTAINED.

**ELECTRICAL NOTES:** PRIVATE LIGHTING CONDUIT AND CABLE ARE NOT ALLOWED WITHIN PRIMARY OR SECONDARY ELECTRICAL CONDUIT TRENCH. PRIVATE LIGHT ROUTING SHALL MAINTAIN 6 FOOT CLEARANCE FROM PRIMARY MAIN AND SECONDARY SERVICES.

REVISIONS	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
08/04/16	EM	PER CITY COMMENTS	01/10/18	TF	PER DOT/CITY COMMENTS	
10/07/16	EM	PER EPA COMMENTS	03/15/18	KF	PER DOT/CITY COMMENTS	
08/15/17	EM	PER CITY COMMENTS	04/24/18	KF	PER CITY COMMENTS	
11/03/17	TF	PER DOT COMMENTS				

**DRAWN BY:** BL  
**CHECKED BY:** BW  
**APPROVED BY:** JC



**ENGINEERING RESOURCE ASSOCIATES, INC.**  
CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

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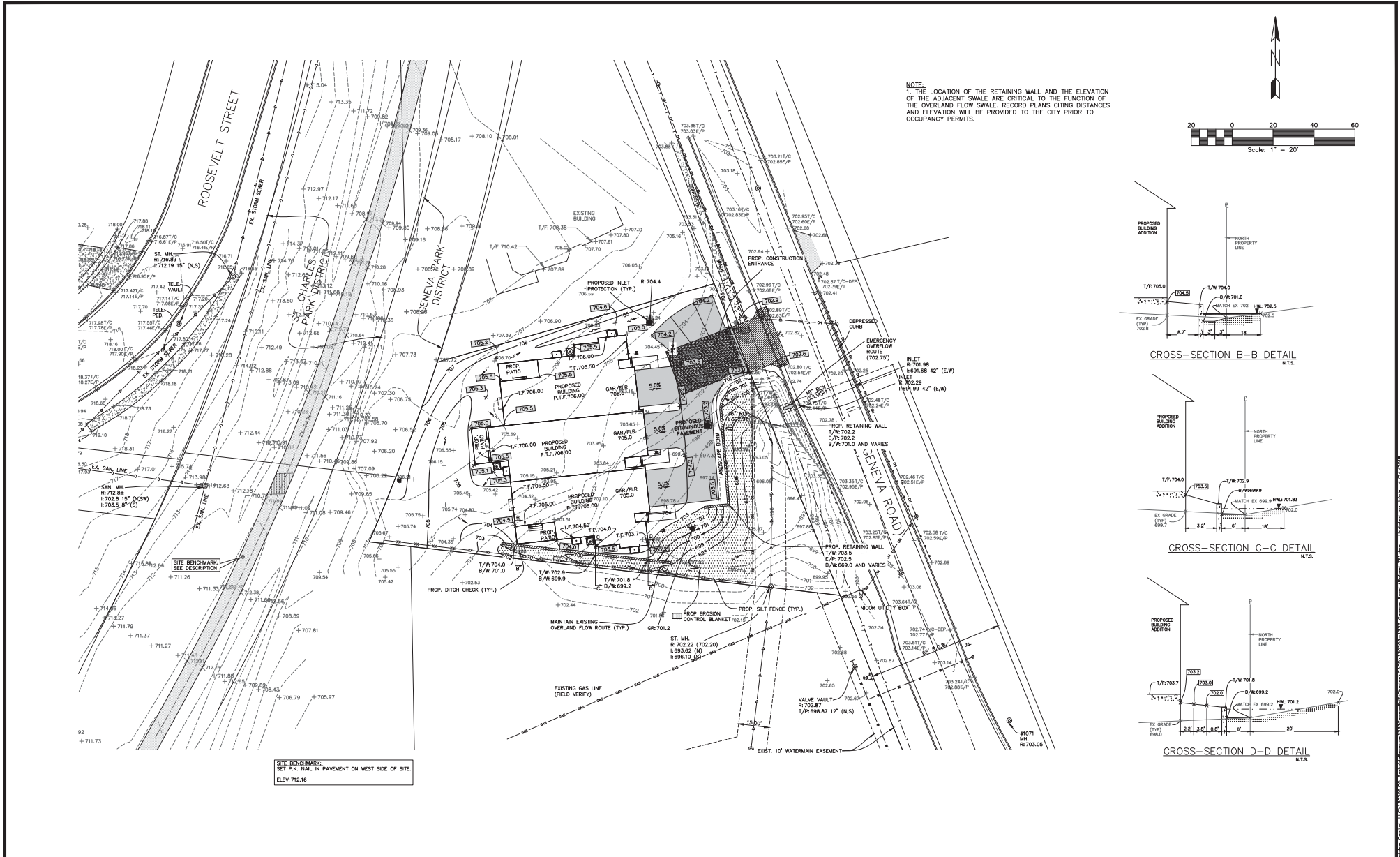
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**GRANDVIEW CAPITAL, LLC**  
36W995 RED GATE ROAD  
ST. CHARLES, IL

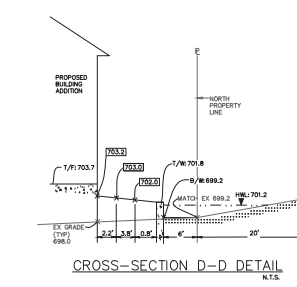
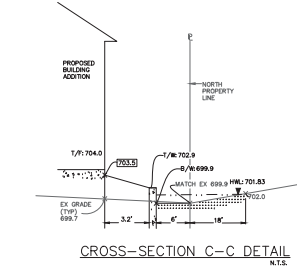
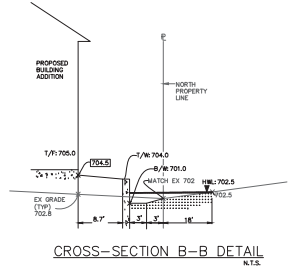
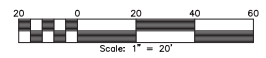
**TITLE:**

**UTILITY AND GEOMETRY PLAN**  
PARKSIDE RESERVES  
ST. CHARLES, IL

**SCALE:** 1"=20'  
**DATE:** DECEMBER, 2015  
**JOB NO:** 130209  
**SHEET:** 4 of 12



NOTE:  
1. THE LOCATION OF THE RETAINING WALL AND THE ELEVATION OF THE ADJACENT SWALE ARE CRITICAL TO THE FUNCTION OF THE OVERLAND FLOW SWALE. RECORD PLANS SHOWING DISTANCES AND ELEVATION WILL BE PROVIDED TO THE CITY PRIOR TO OUPANCY PERMITS.



SITE BENCHMARK  
SET P.K. NAIL IN PAVEMENT ON WEST SIDE OF SITE.  
ELEV: 712.16

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
08/04/16	EM	PER CITY COMMENTS	01/10/18	TF	PER IDOT/CITY COMMENTS
01/07/16	EM	PER EPA COMMENTS	03/19/18	KF	PER IDOT/CITY COMMENTS
08/15/17	EM	PER CITY COMMENTS	04/24/18	KF	PER CITY COMMENTS
11/03/17	TF	PER IDOT COMMENTS			

DRAWN BY: BL  
CHECKED BY: BW  
APPROVED BY: JC



ENGINEERING RESOURCE ASSOCIATES, INC.  
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GRANDVIEW CAPITAL, LLC  
36W995 RED GATE ROAD  
ST. CHARLES, IL

TITLE: GRADING AND EROSION CONTROL PLAN  
PARKSIDE RESERVES  
ST. CHARLES, IL

SCALE: 1"=20'  
DATE: DECEMBER, 2015  
JOB NO: 130209  
SHEET 5 OF 12



GENERAL NOTES:

- AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF ALL PHASES OF WORK, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING:
  - CITY OF ST. CHARLES ENGINEERING DESIGN & INSPECTION POLICY MANUAL
  - ENGINEERING RESOURCE ASSOC. (630) 393-3060
  - KANE-DUPAGE SWDC (630) 584-7961 X3
- UTILITY INFORMATION IS BASED ON RECORD FIELD MEASUREMENTS AND BEST AVAILABLE RECORD. FIELD DATA IS LIMITED TO THAT WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT INCLUDE INFORMATION FROM RECORDS, EXISTING UTILITIES RECORDS, AND RECORDS FROM OTHER PROJECTS.
- THE CONTRACTOR SHALL NOTIFY LULLULE (1-800-860-4123) 48 HOURS PRIOR TO ANY EXCAVATION WORK TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING DOCUMENTS:
  - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN THE STATE OF ILLINOIS", ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
  - "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS", LATEST EDITION.
  - "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION CONTROL AND SEDIMENTATION CONTROL IN ILLINOIS", NORTHEASTERN ILLINOIS SOIL EROSION AND SEDIMENTATION CONTROL STEERING COMMITTEE AND URBAN STORM WATER CONTROL ORGANIZATION, LATEST EDITION.
  - "CITY OF ST. CHARLES SUBDIVISION DESIGN STANDARDS & SPECIFICATIONS"
  - "CITY OF ST. CHARLES ENGINEERING DESIGN & INSPECTION POLICY MANUAL"
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC. THE MANUAL ON URBAN TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION, SHALL BE CONSULTED. APPROPRIATE CONTROL METHODS SHOULD BE APPLIED TO THE SPECIFIC SITUATIONS AND TYPES OF CONSTRUCTION OPERATIONS BEING PERFORMED.
- UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE CITY ENGINEER, ALL OPENINGS IN ANY PAVEMENT OR TRAVELED WAY SHALL BE BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
- THE CONTRACTOR SHALL ESTABLISH THE NECESSARY PERFORMANCE BONDS REQUIRED. BONDS SHALL BE OBTAINED FROM ALL OUTSIDE ORGANIZATIONAL AGENCIES HAVING JURISDICTION PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE MOST RECENT SET OF THE "APPROVED" UTILITY ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND TO PROTECT THEM THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL RESTORE OFF-SITE SURFACES TO ORIGINAL CONDITION IF DAMAGED BY CONSTRUCTION.
- THE OWNER IS TO PROVIDE THE CITY ENGINEER WITH RECORD DRAWINGS OF ALL UTILITIES SHOWING LOCATIONS OF ALL EXISTING PIPES, MANHOLE STUDS, AND STRUCTURES.
- THE ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS OR PROTECTIVE MEASURES TO BE TAKEN BY THE CONTRACTOR IN CONNECTION WITH THE CONTRACTOR'S FAILURE TO PERFORM OR FURNISH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ENGINEER WARRANTS THE DESIGN, RECOMMENDATIONS, AND SPECIFICATIONS TO HAVE BEEN PROMULGATED ON CONDITIONS GENERALLY ENCOUNTERED WITHIN THE INDUSTRY. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER WITH RESPECT TO THE DESIGN, RECOMMENDATIONS AND SPECIFICATIONS, FOR COMPLEX OR UNUSUAL SOIL CONDITIONS ENCOUNTERED ON THE PROJECT. IT SHALL BE THE OWNER'S/ENGINEER'S RESPONSIBILITY TO ASCERTAIN THE EXACT NATURE OF SUBSURFACE CONDITIONS PRIOR TO THE CONSTRUCTION OF THE IMPROVEMENTS.
- ALL TRENCHES CAUSED BY THE CONSTRUCTION OF SEWERS, WATERMAINS, WATER SERVICE PIPES AND EXCAVATIONS AROUND CATCH BASINS, MANHOLES, INLETS, AND OTHER STRUCTURES WHICH OCCUR WITHIN TWO FEET OF THE LIMITS OF EXISTING AND PROPOSED IMPROVEMENTS, SIDEWALKS, AND CURB AND GUTTERS SHALL BE BACKFILLED WITH TRENCH BACKFILL (AS DEFINED IN SECTION ONE OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.) USE C&-8 CRUSHED LIMESTONE ONLY; NO RECYCLED OR FINE AGGREGATE SAND.
- AS NECESSARY, STREET SIGNS SHALL BE ERECTED AT EACH STREET INTERSECTION. THE TYPE OF SIGN AND LOCATION THEREOF SHALL BE SUBJECT TO THE APPROVAL AND DIRECTION OF THE CITY OF ST. CHARLES DEPARTMENT OF PUBLIC WORKS.
- CITY OF ST. CHARLES ENGINEERING DESIGN AND INSPECTION POLICY MANUAL SHALL GOVERN ALL DESIGN STANDARDS.

WATERMAIN:

- WATER SYSTEM CONSTRUCTION SHALL, IN ALL RESPECTS, BE IN ACCORDANCE WITH THE REGULATIONS OF THE ENVIRONMENTAL PROTECTION AGENCY OF THE STATE OF ILLINOIS. NO CONSTRUCTION SHALL COMMENCE UNTIL A COPY OF A PERMIT FROM THIS AGENCY IS FILED WITH THE CITY AND CITY ENGINEER.
- ALL WATERMAIN SHALL BE DUCTILE IRON MECHANICAL JOINT, CLASS 52, D111-NOMINAL, CONFORMING TO AWWA-C104, OR AS REQUIRED BY AWWA-C100 FOR VARIOUS DEPTHS. JOINTS SHALL BE PUSH-ON OR MECHANICAL, CONFORMING TO AWWA-C111. FITTINGS SHALL BE CAST OR DUCTILE IRON CONFORMING TO AWWA-C-115 AND AWWA-C-111.
- AS WATERMAIN IS CONSTRUCTED, CONTRACTOR SHALL INSTALL 2"-WIDE BLUE PLASTIC WARNING TAPE BURIED IN THE BACKFILL DIRECTLY ABOVE THE WATERMAIN AT A DEPTH BETWEEN ONE AND TWO FEET, ALONG WITH TAPE, CONTRACTOR SHALL BURY NO. 8 (SOLID BLUE INSULATED) BRASS WIRE. THE WIRE SHALL BE CONTINUOUS & CONNECTED TO VARIOUS WATERMAIN COMPONENTS PER CITY REQUIREMENTS.
- THE MINIMUM DEPTH OF WATERMAIN FROM THE TOP OF THE PIPE TO THE FINISHED GRADE SHALL BE FIVE AND A HALF (5.5) FEET.
- VALVES THAT ARE 12 INCHES AND SMALLER SHALL BE IRON BODY, BRONZE MOUNTED, DOUBLE DISC, PARALLEL SEAT, NON-RETURN STEER GALES, COUNTER-CLOCKWISE TO OPEN, IN FULL CONFORMANCE WITH AWWA C-500 WITH MECHANICAL JOINT ENDS (AWWA C-111).
- VALVES SIX (6) INCHES AND LARGER MUST BE INSTALLED IN VALVE VALVES. VALVE VALVES MUST BE PRECAST REINFORCED CONCRETE CONFORMING TO ASTM C-478 AND ASTM C-443. VALVE VALVES SHALL HAVE A 4" INSIDE DIAMETER FOR 6" AND 8" DIAMETER VALVES. VALVE VALVES SHALL HAVE A 6" INSIDE DIAMETER FOR 10" AND LARGER DIAMETER VALVES. ALL PRESSURE CONNECTIONS SHALL ALSO BE INSTALLED IN 6" INSIDE DIAMETER VALVES.
- VALVE VALVES REQUIRING OFFSET CONES SHALL BE POSITIONED SO THAT NEITHER THE INSIDE OF THE CONE NOR THE MANHOLE STUDS WILL INTERFERE WITH THE OPERATION OF THE VALVE. ALL WATER VALVES SHALL BE WATER-PROOFED & SEALED.
- VALVE VALVES SHALL NOT HAVE MORE THAN TWO (2) PRECAST ADJUSTING RINGS WITH AN 8 INCH MINIMUM TOTAL HEIGHT ADJUSTMENT.
- CASTINGS SHALL HAVE "MARKET" AND "CITY OF ST. CHARLES" EMBOSSED ON THE LIDS. CASTINGS SHALL BE NENAH R-1713, TYPE B.
- WATERMAIN BEDDING SHALL BE 4 INCHES OF CRUSHED GRAVEL OR CRUSHED STONE SPRINGLE OF THE PIPE.
- ELEVATIONS SHOWN AT FIVE HYDRANTS ARE GROUND ELEVATIONS.
- ALL DOMESTIC WATER SERVICES SHALL BE CONSTRUCTED OF TYPE K COPPER PIPE (ASTM B-88), HAVING A MINIMUM WALL THICKNESS OF .017" UNLESS OTHERWISE NOTED. SUCH SERVICES SHALL BE EQUIPPED WITH A CORPORATION STOP, CURB STOPS AND OTHER SERVICE VALVES. ALL SERVICE VALVES SHALL BE 1/2" OR 3/4" IN SIZE. CURB AND BOX SHALL BE INSTALLED AT THE PUBLIC RIGHT-OF-WAY LINE (PER CITY) FOR EACH LOT. THE SERVICE SHALL BE LOCATED AT THE APPROXIMATE CENTER OF EACH LOT AT A MINIMUM DEPTH OF FIVE FEET. THE END OF THE SERVICE LINE SHALL BE MARKED WITH A 4 FOOT X 4 FOOT ROOSTER STAKE PAINTED BLUE.
- CONCRETE THURST RESTRAINTS SHALL BE PRECAST OR POWRED CLASS 3 CONCRETE AND PROVIDED AT ALL TEES, PLUGGED ENDS, HYDRANTS AND BENDS BETWEEN 11.75 DEGREES AND 90 DEGREES. CARE SHOULD BE TAKEN WHEN POURING CONCRETE SO THAT THE MIX WILL NOT INTERFERE WITH ACCESS TO JOINTS OR WITH HYDRANT DRAGAGE.
- CASING PIPES SHALL BE STEEL, CONFORMING TO ASTM A-120 WITH 0.375 INCH MINIMUM THICKNESS.

HORIZONTAL SEPARATION - WATERMAINS AND SEWERS:

- WATERMAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
- WATERMAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
  - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET; AND
  - THE WATERMAIN WREN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
  - THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SURFACE LOCATED TO ONE SIDE OF THE SEWER.
- WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE. JOINTS TO MEET PRESSURE PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION. THE DRAIN OR SEWER SHALL BE PRESSURE-TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
- VERTICAL SEPARATION - WATERMAINS AND SEWERS:
  - NO WATERMAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER UNLESS WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSING. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
  - BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION WHEN:
    - IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (1) ABOVE; OR
    - THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.
  - A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN WHERE A WATERMAIN CROSSES UNDER A SEWER, SHALL SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING OF THE WATERMAIN, AS APPROVED BY THE ENGINEER.
  - CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.
  - INSTALLED WATERMAIN SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH CITY OF ST. CHARLES ENGINEERING DESIGN AND INSPECTION POLICY MANUAL, AND THE DEPARTMENT OF PUBLIC WORKS PRIOR TO FINAL ACCEPTANCE.
  - INSTALLED WATERMAIN SHALL BE DISINFECTED AND TESTED ACCORDING TO THE REQUIREMENTS OF THE "STANDARDS FOR DISINFECTING WATERWORKS", 601, AND AS REQUIRED BY CITY CODE. ALL DISINFECTION, AS REQUIRED, SHALL BE PERFORMED BY AN INDEPENDENT LABORATORY AND AS APPROVED BY THE ENGINEER.
  - CONSTRUCTION SHALL BE APPROVED BY THE CITY.
  - PIPE HYDRANTS SHALL MEET THE STANDARDS OF THE AWWA C-502. HYDRANTS SHALL INCLUDE SIX-INCH (6") BARRELS, TWO (2) TWO-AND-ONE-HALF-INCH (2-1/2") AND ONE (1) FOUR-AND-ONE-HALF-INCH (4-1/2") OUTLETS. OUTLET THREADS SHALL BE AMERICAN NATIONAL STANDARDS. AN AUXILIARY GATE VALVE SHALL BE PROVIDED ON THE HYDRANT BRANCH LINE-MINIMUM 20-INCH (2") DIAMETER.
  - ALL FIVE HYDRANTS REQUIRE VALVE BOX STABILIZER AND VALVE BOX ORF.
  - WATER SUPPLIES, INCLUDING FIRE HYDRANTS, SHALL BE IN OPERATION PRIOR TO THE START OF CONSTRUCTION OF ANY BUILDING IN ACCORDANCE WITH LOCAL FIRE PROTECTION DISTRICT ORDINANCE.
  - FIVE HYDRANT OUTLETS SHALL BE A MINIMUM OF TWENTY INCHES (20") AND NOT MORE THAN THIRTY-SIX INCHES (36") ABOVE FINISHED GRADE.
  - EACH HYDRANT SHALL HAVE THE PUMPER (STEAMER) CONNECTION FACING THE PRIMARY STREET AND SHALL BE ACCESSIBLE SO THAT A CONNECTION CAN BE MADE BETWEEN THE HYDRANT AND THE APPARATUS LOCATED IN THE STREET WITH TWENTY FEET (20') OF SUCTION HOSE.
  - THE CITY OF ST. CHARLES PUBLIC WORKS DEPT. SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE ALL FINAL INSPECTIONS.

STORM SEWER:

- REINFORCED CONCRETE PIPE STORM SEWER SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C-76 CLASS IN. PVC PIPE STORM SEWER (4 INCH AND 6 INCH) SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM D-3034 (SDR 35). GALVANIZED CORRUGATED STEEL GUTTER PIPE SHALL MEET OR EXCEED THE REQUIREMENTS OF AASHTO M-294, TYPE B. MINIMUM WALL THICKNESS 1/4 GAUGE.
- SEWER PIPE JOINTS SHALL BE "O-RING" TYPE - ASTM C-443 FOR RFP AND SHALL BE PUSH-ON TYPE - ASTM D-3035 FOR PVC.
- MANHOLES AND CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE - ASTM C-478 AND ASTM C-443 CONFORMING TO THE FOLLOWING MINIMUM SIZE CRITERIA UNLESS OTHERWISE SPECIFIED:
  - FOR SEWER EIGHTEEN (18) INCH DIAMETER OR LESS, MANHOLE SHALL HAVE A FORTY-EIGHT (48) INCH INSIDE DIAMETER.
  - FOR SEWER TWENTY-ONE (21) INCH TO THIRTY-SIX (36) INCH IN DIAMETER, MANHOLE SHALL HAVE A SIXTY (60) INCH INSIDE DIAMETER.
  - FOR SEWER GREATER THAN THIRTY-SIX (36) INCH DIAMETER, MANHOLE SHALL HAVE AN OFFSET RISER PIPE OF FORTY-EIGHT (48) INCH INSIDE DIAMETER.
- NO MORE THAN TWO PRECAST ADJUSTING RINGS WITH A MAXIMUM HEIGHT ADJUSTMENT OF 8 INCHES SHALL BE ALLOWED.
- STORM SEWER MANHOLE JOINTS SHALL BE SEALED WITH PORTLAND CEMENT MORTAR, "O-RING" GASKETS, OR MASTIC MATERIAL.
- MANHOLE FRAME AND COVER CASTINGS SHALL BE NENAH R-1713 WITH TYPE G OPEN OR CLOSED LID, EMBOSSED WITH "STORM" AND "CITY OF ST. CHARLES, ILL." AND CATCH BASIN CASTINGS IN GRASSY AREAS SHALL BE NENAH R-4340. ALL 6" CURB & GUTTER CASTINGS SHALL BE NENAH R-328 R 4" OR R-3278. DEPRESSURED 6"x12 CURB & GUTTER CASTINGS SHALL BE NENAH R-606X45 UNLESS OTHERWISE SPECIFIED.
- INLETS SHALL BE TWENTY-FOUR (24) INCH DIAMETER PRECAST REINFORCED CONCRETE CONFORMING TO ASTM C-447.
- FOUR INCHES OF CRUSHED GRAVEL OR CRUSHED STONE AGGREGATE (ASTM C-33, SIZE NO. 67) SHALL BE USED AS BEDDING UNDER THE PIPE. THE BEDDING STONE SHALL BE GRADED ALONG THE ENTIRE LENGTH OF PIPE TO PROVIDE FULL BEARING. THE BEDDING STONE SHALL EXTEND TO THE SPRINGLINE OF THE PIPE.
- THE CONTRACTOR SHALL INSTALL EXTERIOR GUY SEPARAGE BLOCKS ON ALL STORM SEWER LINES ENTERING THE DETENTION Ponds. THE BLOCKS SHALL BE PLACED APPROXIMATELY 10-FEET OUTSIDE THE DETENTION POND, OR AT LEAST ONE FOOT FROM THE DETENTION POND. THE DETENTION POND SHALL BE 10-TO 12 FEET LONG & FULLY COMPACTED FROM THE BOTTOM OF THE TRENCH TO THE CROWN OF THE PIPE.
- RIM GRADES IN CURB AND GUTTER ARE EDGE OF PAVEMENT ELEVATIONS.
- ALL EXISTING FIELD AND/OR DRAIN PIPES ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH A NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND GRADE AND PUT INTO AN ACCEPTABLE OPERATING CONDITION. A RECORD OF ALL FIELD DRAIN PIPES ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER FOR RECORD DRAWINGS UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE UNDERSERVED INCIDENTAL TO THE PROJECT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- ALL FOOTING DRAINS AND DOWNSPOUTS SHALL DISCHARGE TO THE STORM SYSTEM.
- ANY PIPES ON MANHOLES CONTAINING SEDIMENT SHALL BE CLEANED OUT PRIOR TO FINAL ACCEPTANCE.
- ALL WINDOW WELLS, WHERE APPLICABLE, SHALL DISCHARGE TO THE STORM SYSTEM.

SANITARY SEWER:

- ALL SANITARY SEWER AND SERVICE CONNECTION PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D-3034 FOR 6" TO 18" DIA. OR ASTM D-2641 FOR 21" & 30" DIA. WITH FIBREGLASS ELASTOMERIC SEAL JOINTS CONFORMING TO ASTM D-3217.
- THE MINIMUM BUILDING SANITARY SEWER SERVICE SIZE SHALL BE SIX (6) INCHES IN DIAMETER. THE SERVICE LATERAL SHALL SLOPE TOWARD THE MAIN AT THE MINIMUM. THE SERVICE LATERAL SHALL BE TERMINATED EIGHT (8) FEET INTO THE LOT AND ALL SERVICES SHALL BE 12 INCHES FROM THE CURB AND GUTTER. WATER-TIGHT FACTORY MADE PLUG. THE PLUG SHALL BE INSTALLABLE AND VERIFY TO THE SERVICE TEST PRESSURE AND MARKED WITH A 4 X 4 GREEN STAKE.
- MANHOLES SHALL BE PRECAST REINFORCED CONCRETE - ASTM C-478 WITH TONGUE AND GROOVE JOINTS SEALED WITH GASKETS. MINIMUM HEIGHT ADJUSTMENT OF EIGHT INCHES SHALL BE ALLOWED.
- ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESISTENT BURNER WATER-TIGHT PIPE TO MANHOLE SLEEVES OR SEALS, PER ASTM C-923.
- MANHOLES SHALL INCLUDE EXTERNAL CHIMNEY SEALS.
- ALL SANITARY SEWER CONSTRUCTION REQUIRES FOUR (4) INCHES OF CRUSHED GRAVEL OR CRUSHED STONE BEDDING UNDER THE PIPE. BEDDING STONE SHALL EXTEND TO A POINT TWENTY EIGHT INCHES ABOVE THE TOP OF THE PIPE.
- THE INSTALLATION OF SANITARY SEWER AND APPURTANCES SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-242 FOR PVC PIPE AND FITTINGS.
- BACKFILLING OF THE TRENCH SHALL BE ACCOMPLISHED BY CAREFUL REPLACEMENT OF THE EXCAVATED MATERIAL UNDER THE PIPE, BEDDING, AND THE COVER MATERIAL HAVE BEEN INSTALLED. ANY PIPE INSTALLED UNDER OR WITHIN TWO (2) FEET OF A PAVEMENT EDGE, SIDEWALK, OR CURB AND GUTTER SHALL BE BACKFILLED TO THE TOP OF THE TRENCH WITH C&-8 MATERIAL.
- "BAND-SEAL" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS. ALL CHANGES OF MATERIAL SHALL OCCUR INSIDE A MANHOLE.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING PIPE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHOULD BE USED:
  - CIRCULAR SPLIT-WAY SEWER MAIN BY PROPER TOOLS (2.5 INCHES CONNECTION TOLERANCES REQUIRED).
  - WIRE CUTTING, NEATLY AND ACCURATELY CUT OUT DISKED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING. "BAND-SEAL" OR SIMILAR EQUIVALENTS TO HOLD IT FIRMLY IN PLACE.
  - REMOVE AN ENTIRE SECTION OF PIPE (BEARING ONLY) TO TOP OF ONE BELLIAND REPAIR. THE PIPE TO BE REPAIRED OR BRANCH SECTION.
  - WATER SUPPLIES, INCLUDING FIRE HYDRANTS, SHALL BE IN OPERATION PRIOR TO THE START OF CONSTRUCTION OF ANY BUILDING IN ACCORDANCE WITH LOCAL FIRE PROTECTION DISTRICT ORDINANCE.
- MANHOLE CASTINGS SHALL BE NENAH R-1713 WITH A SELF-SIGNALING UNLDSOBBED WITH "SANITARY SEWER" AND "CITY OF ST. CHARLES, ILL."
- ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
- ALL SANITARY SEWER PIPES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, AS A MINIMUM, AND WITH KANE COUNTY SANITARY CODE REQUIREMENTS, INCLUDING VISUAL, TELEVISION, INFILTRATION, EXFILTRATION, AIR TESTS, AND DEFLECTION TESTS.
- OVERHEAD SEWERS ARE REQUIRED FOR ALL RESIDENCES.

PAVEMENT, SIDEWALK, AND CURB & GUTTER:

- PAVEMENT THICKNESS SHALL COMPLY WITH THE CITY OF ST. CHARLES REQUIREMENTS.
- EXPANSION JOINTS ARE TO BE CONSTRUCTED AT 40' MAXIMUM SPACING, ALL R/C'S AND P.T'S SHALL BE REINFORCED WITH 1" X 18" BARS. REINFORCING BARS SHALL BE PLACED CONTINUOUSLY THROUGHOUT THE ENTIRE LENGTH OF THE JOINTS. JOINTS SHALL BE SET ON SIXTY FEET ON CENTER.
- CONCRETE JOINTS SHALL BE SAWCUT AT 10'-FOOT MAXIMUM INTERVALS TO A DEPTH OF 2.5 INCHES. CONCRETE JOINTS SPACES SHALL BE SEALED WITH A COLD-POURED JOINT COMPOUND. CONCRETE CURING COMPOUND SHALL BE APPLIED AS FINISHING WORK PROCEEDS.
- THE CONTRACTOR SHALL BACKFILL CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE LAYOUT OF BASE COURSE MATERIALS. THE CURB IS TO BE SAWCUT WITHIN 24 HOURS AFTER PLACEMENT. GUTTER PITCH SHALL BE REVERSED WHERE APPROPRIATE FOR DRAINAGE.
- ALL CURBS CONSTRUCTED OVER A UTILITY TRENCH ON THE MAIN DRIVE SHALL BE REINFORCED WITH TWO NO. 4 BARS FOR A LENGTH OF 20 FEET CENTERED OVER THE TRENCH. SIDEWALKS SHALL BE TREATED IN THE SAME MANNER USING THREE (3) NO. 8 BARS OVER UTILITIES.
- PRIOR TO LAYING ANY PAVEMENT MATERIAL, THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY PREPARING AND COMPACTING THE SUBGRADE. BOTH THE CURB AND GUTTER AND PAVEMENT BASE COURSE SHALL BE PROOF-ROLLED WITH A FULL-CYCLED DRUM TRUCK. THE ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS BEFORE PROOF-ROLLING. ADDITIONAL PROOF-ROLLS MAY BE NECESSARY TO VERIFY THAT UNSTABLE AREAS HAVE BEEN REPAIRED. NO PAVEMENT MATERIAL IS TO BE PLACED ON A WET OR SOFT SUBGRADE. DEVELOPER'S OWNERS MATERIAL TESTING AGENT SHALL ALSO VERIFY PROCEDURE TO MAKE AND CERTIFY REPORTS IN WRITING.
- ALL EXISTING PAVEMENT ON CONCRETE TO BE REMOVED SHALL BE SAUCUT TO A NEAR EDGE ALONG LIMITS OF PROPOSED REMOVAL BEFORE REMOVAL OPERATIONS BEGAIN.
- SHORTLY AFTER CURB IS POURED, CONTRACTOR SHALL STAMP IT IN FRONT OF EACH LOT WITH "M" AND "S" TO REPRODUCE SPECIFIC "SEAL" WATER SEWER AND SANITARY SEWER SERVICE LOCATIONS. SOIL EROSION CONTROL PLAN (SEE SHEET 5 OF 8 FOR FULL SUMMARY).
- THE ENTIRE SITE SHALL BE GRADED SO THAT NO STORM WATER RUNOFF AND LICENSED SOIL SEDIMENT CAN FLOW UNRESTRICTED FROM THE SITE.
- DURING CONSTRUCTION, A SILT FENCE SHALL BE PROVIDED ALONG THE PROPERTY LINES.
- THE CONTRACTOR SHALL INSTALL EXTERIOR GUY SEPARAGE BLOCKS ON ALL STORM SEWER LINES ENTERING THE DETENTION Ponds. THE BLOCKS SHALL BE PLACED APPROXIMATELY 10-TO 12 FEET OUTSIDE THE DETENTION POND, OR AT LEAST ONE FOOT FROM THE DETENTION POND. THE DETENTION POND SHALL BE 10-TO 12 FEET LONG & FULLY COMPACTED FROM THE BOTTOM OF THE TRENCH TO THE CROWN OF THE PIPE.
- ANY STORM WATER DRAINAGE STRUCTURES THAT HAVE THE POTENTIAL TO ACCRUE RUNOFF CONTAINING SUSPENDED SOL PARTICLES SHALL BE SURROUNDED WITH STAKED SILT FENCE.

- STOOPLES OF SOIL AND OTHER EROSIONABLE BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (LA PERMETER SILT FENCE). STOOPLES TO REMAIN IN PLACE FOR 30 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
- ALL SILT FENCE SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN PAVED OR VEGETATED, AND SHALL ALSO BE CHECKED AT REGULAR INTERVALS TO MAINTAIN THEIR EFFECTIVENESS. IN THE EVENT OF TOTAL CONTACT WITH THE EARTH BELOW, SILT FENCING CAN REMAIN IN PLACE THROUGH THE CONSTRUCTION OF THE HOUSES/BUILDINGS TO SERVE AS EROSION CONTROL FOR THAT CONSTRUCTION.
- AS EACH PHASE ON THE ENTIRE SITE IS COMPLETED, SILT FENCE IS TO BE REMOVED AND THE ENTIRE AREA EITHER SPOOLED OR SEWED AFTER SEDIMENT HAS BEEN REDISTRIBUTED. WHEN OTHER CONDITIONS ARE SUCH THAT SEEDING WOULD NOT BE EFFECTIVE, THEN THE STOCK PILES SHOULD BE EITHER MULCHED OR COVERED AND GRADED SO THAT ALL SEDIMENT FROM EROSION WILL BE CONFINED WITHIN THE BOUNDARIES OF THE SITE.
- SEEDING SHALL BE DONE PER "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY DIVISION OF WATER POLLUTION CONTROL, LATEST EDITION AND DUPAGE COUNTY STORM WATER CONTROL ORGANIZATION.
- TO PREVENT SOIL FROM LEAVING THE SITE ON CONSTRUCTION VEHICLE WHEELS, STABILIZED CONSTRUCTION WORK ENTRANCES SHALL BE CONSTRUCTED OF GRAVEL AND SHALL EXTEND AT LEAST 100 FEET INTO THE JOB SITE. THE EXISTING PAVEMENT SURFACES SHALL BE INSPECTED DAILY FOR SOIL DEBRIS AND SHALL BE CLEANED WHEN NECESSARY.
- THE OWNER SHALL HAVE THE DETENTION POND VOLUME VERIFIED BY A LICENSED ENGINEER OR SURVEYOR PRIOR TO THE INSTALLATION OF TOPSOIL AND SEEDING/SOD. THE COST OF SOIL VERIFICATION SHALL BE BORNE BY THE OWNER.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY DISPOSE OF ANY EXCESS EXCAVATED MATERIAL.
- DISPOSAL OF DEBRIS EROSION AND PAVEMENT REMOVAL SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND CONSIDERED AS AN INCIDENTAL EXPENSE.

SITE GRADING:

- EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS MAY REQUIRE EARTH EXCAVATION AND COMPACTED EARTH FILL MATERIAL IN ORDER TO ACHIEVE THE PAVED SURFACE ELEVATIONS.
- PLACEMENT OF THE EXCAVATED MATERIAL SHALL BE IN AREAS DESIGNATED BY THE OWNER FOR FUTURE USE, WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURE.
- CONSTRUCTION OF THE EXCAVATED MATERIAL PLACED IN AREAS NOT REQUIRING STRUCTURAL FILL SHALL BE MODERATE.
- EXCAVATED MATERIALS, IF NOT UTILIZED AS FILL OR STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF BY THE CONTRACTOR.
- EXCAVATION OF EARTH AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO A TOLERANCE OF 0.3 +/- OF THE PLAN SUBGRADE ELEVATIONS. THE TOLERANCE IN PAVEMENT AREAS SHALL BE 0.2 +/-, OR SUCH THAT THE EARTH MATERIAL SHALL BALANCE AS PART OF THE FINE GRADING OPERATION.
- PLACEMENT AND COMPACTON OF MATERIALS SHALL CONFORM TO I.D.O.T. SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- PAVEMENT FOR THE REMOVAL OF UNSUITABLE MATERIAL (EXCLUDING TOPSOIL EXCAVATION) SHALL BE BASED ON THE QUANTITIES AS FIELD MEASURED BY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE AS PART OF HIS BID A UNIT PRICE FOR CURB YARD FOR THE REMOVAL OF UNSUITABLE MATERIAL. S&B UNIT PRICE SHALL INCLUDE THE COMPLETE REMOVAL OF THE MATERIAL, REPLACEMENT WITH A SUITABLE MATERIAL OBTAINED BY THE CONTRACTOR FROM A BORROW SOURCE, AND COMPACTION TO THE REQUIRED SPECIFICATION OF THE CITY.
- THE DEVELOPMENT SHALL BE WITHIN 6 INCHES OF FINAL GRADE BEFORE ST. CHARLES PROCEEDS WITH INSTALLATION OF ANY FACILITIES.

ELECTRIC:

- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE ENTIRE 3-PHASE ELECTRIC CONDUIT RUN AND CONNECTING IT TO THE EXISTING CONDUIT THAT IS LOCATED IN THE NE CORNER OF GENEVA ROAD AND HOOVER ST. AND TO THE INCISED SITE. THIS INSTALLATION WILL REQUIRE THE CONTRACTOR TO SUBMIT ALL NECESSARY APPLICATIONS TO DOT FOR THEIR APPROVAL. THIS INSTALLATION SHALL BE MADE IN ACCORDANCE WITH THE CITY REQUIREMENTS THAT THE CONTRACTOR SHALL TEST APPLICATION PROCESS AS SOON AS POSSIBLE DUE TO THE CONSIDERABLE LEAD TIMES NEEDED TO OBTAIN DOT APPROVAL. ALL INSTALLED CONDUITS REQUIRE 4-8" MINIMUM COVER.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING A 2" X 2" X 36" SPICE BOX PROVIDED BY THE CITY NEAR THE UTILITY POLE #145903 AS PER THE CITY'S SPECIFICATIONS. THIS LOCATION IS ALSO IN THE ROUTE 31 R.O.W. AND WILL REQUIRE THE CONTRACTOR TO SUBMIT ALL NECESSARY APPLICATIONS TO DOT FOR THEIR APPROVAL. THIS INSTALLATION SHALL BE MADE IN ACCORDANCE WITH THE CITY REQUIREMENTS THAT THE CONTRACTOR SHALL TEST APPLICATION PROCESS AS SOON AS POSSIBLE DUE TO THE CONSIDERABLE LEAD TIMES NEEDED TO OBTAIN DOT APPROVAL. ALL INSTALLED CONDUITS REQUIRE 4-8" MINIMUM COVER.
- THE ST. CHARLES MUNICIPAL ELECTRIC UTILITY IS A "ZERO STANDARD" UTILITY, WHICH MEANS THAT THE DEVELOPER PAYS 100% OF THE COSTS TO GET THE DEVELOPMENT INTO OUR SYSTEM. WE WILL WORK COLLABORATIVELY TO EXPLORE PAYS ALTERNATIVES AND OPTIONS.
- ALL SECONDARY/SERVICE CONDUITS FROM THE TRANSFORMER TO THE BUILDING WILL BE INSTALLED BY THE CUSTOMER. AN ADDITIONAL SECONDARY/SERVICE CONDUIT MUST BE INSTALLED FROM THE NEW TRANSFORMER TO THE EXISTING STREETLIGHT POLE #145903. ALL INSTALLED ELECTRIC CONDUITS WILL REQUIRE 4-8" MINIMUM COVER FOR CABLE PULLING PURPOSES.
- THE CITY WILL INSTALL THE NEW TRANSFORMER PAD BUT THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE TRANSFORMER GROUND GRID AND TRANSFORMER PAD GROUND BASE AS PER THE CITY'S ELECTRIC SPECIFICATIONS.
- THERE APPEARS TO BE A POSSIBLE CONFLICT BETWEEN THE NEW CONSTRUCTION SITE AND THE EXISTING OVERHEAD ELECTRIC UTILITIES ON GENEVA ROAD. THE PROPOSED ENTRANCE DRIVEWAY MAY REQUIRE RE-LOCATING THE EXISTING STREETLIGHT & SERVICE POLE AT #145903 TO THE SOUTH. IF THE CITY DETERMINES THAT THE EXISTING POLE #145903 LEANS TOO CLOSE TO THE PROPOSED ENTRANCE DRIVEWAY AND IT NEEDS TO BE RELOCATED, IT WILL BE RELOCATED BY THE CITY AT THE CUSTOMER'S EXPENSE.
- THERE DOES NOT APPEAR TO BE ANY TYPE OF ON-SITE SUBSTATIONING FOR THIS SITE. THERE IS PRIVATE SUBSTATIONING TO BE UTILIZED, IT MUST BE METERS SEPARATELY WITHIN THE GROUP METERS CABINET THAT IS TO BE LOCATED ON THE NORTH SIDE OF THE BUILDING.
- IF THE CUSTOMER REQUESTS THAT ANY EXISTING OVERHEAD CONDUITORS ON THE WEST SIDE OF GENEVA ROAD BE RE-LOCATED, IT WILL BE DONE BY THE CITY'S CREWS AT THE CUSTOMER'S EXPENSE.

REVISIONS:	DATE	DESCRIPTION	DATE	BY	DESCRIPTION
08/24/16	EM	PER CITY COMMENTS	02/19/18	KF	PER DOT/CITY COMMENTS
11/20/17	TF	PER DOT COMMENTS	02/26/18	KE	PER CITY COMMENTS
01/10/18	TF	PER IDOT/CITY COMMENTS			

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**GRANDVIEW CAPITAL, LLC**  
**36W995 RED GATE ROAD**  
**ST. CHARLES, IL**

**TITLE:**  
**GENERAL NOTES**  
**PARKSIDE RESERVES**  
**ST. CHARLES, IL**

**SCALE:** NONE  
**DATE:** DECEMBER, 2015  
**JOB NO.:** 130209  
**SHEET 7 of 12**

**R: Materials:**

- Drop Connections:** Drop connections shall be constructed of Ductile Iron Pipe, Class 52 or PVC SDR 26, per manufacturers specifications. All drop manhole piping shall be encased in concrete (refer to standard drop manhole detail).
- Frame & Lid:** Frame: *Nencoh R-1713 or R-1916C or Flowplate*  
Lid: *Nencoh R-1713 or R-1916C Type "B" with wheels*  
*City of St. Charles - SANTIRAM - cast into surface.*
- Joins:** All joints shall conform to ASTM D-3212 for PVC pipe and ASTM A-746 for ductile iron. Both pipe types shall be jointed by means of a flexible gasket. Gaskets for PVC joints shall be in conformance with ASTM A 21.11-79 (AWWA C111).
- Manhole:** New sanitary manholes are to be precast reinforced concrete eccentric type with a minimum 48" I.D. barrel section. One section shall have a 3 inch integrally cast precast concrete collar. Pipe penetrations are to be sealed via the use of a cast in place flexible synthetic rubber pipe sleeve which is to be fastened to the pipe with two stainless steel bands. Barrel sections shall be sealed using (2) butyl rubber strips per tongue and groove section. Chimney seals are to be internal type, manufactured by "Crestex" or approved equal by Public Works. All new or adjusted steps shall be made of steel reinforced plastic, using an approved plastic meeting ASTM D4101, Type II, Grade 49108 over a #1 Grade 60, ASTM A615, reinforcing bar. A maximum of 8" of adjusting rings shall be used (refer to standard sanitary manhole detail).
- Services:** Sanitary services shall be constructed for all buildable lots. Services shall be constructed of PVC SDR 26 pipe, six (6) inch minimum diameter, and shall be extended to the rights-of-way limits. All connections to the public main shall be at a manhole or at a "tee" fitting approved by Public Works Division. Once installed all services extending to the City right-of-way limits shall be located utilizing a 2" x 4" wooden stake painted red.
- Sewer Pipe Materials:** Sanitary sewer shall be constructed of the following materials:
  - Depth less than 20': PVC SDR 26 or Ductile Iron Pipe, Class 52
  - Depth greater than 20': Ductile Iron Pipe, Class 52 or PVC SDR 21
  - Force Main: Ductile Iron Pipe, Class 52 or PVC SDR 21
- Thrust Blocks (Force main):** Thrust blocking shall be a combination pre-cast masonry blocks and "Mega-Log" brand restrainers.
- Trench Backfill:** All utility and service trenches within (3) feet of paved surfaces, or at a distance specified by the Engineer, shall be backfilled with CA-7 (Virgin Crushed Limestone) FA-6 (clean beach sand) material shall be used in all other unpaved locations. All backfill material shall be properly compacted unless otherwise directed by the appropriate Engineering Division. Backfill under existing pavements, where an open cut of the pavement has been approved, shall be Flowable Fill that meets the IDOT standards of Controlled Low Strength Material (CLSM) Mixture #6. No fly ash will be permitted in this mix (refer to City pipe trench detail).

**R: Materials:**

- Casing:** Where water main protection is required, encasement shall consist of PVC SDR 26, or steel casing with "Gascrete CGR STD" spacers or approved equal.
- Frame & Graft:**

Curb Inlet C.B.: High back: *Nencoh R-3251-A or R-3278-1*  
Depressed: *Nencoh R-3306-A2*

C.B. "behind the curb type": *Nencoh R-3305*  
*Nencoh R-1713 (Refer to Lid Detail)*

C.B./M.H. Type "D": Grate: *Nencoh R-1713*  
Frame: *Nencoh R-4140-B*

C.B. "behind type": *Nencoh R-4140-B*
- Manholes:** Manholes shall be reinforced concrete with steps provided 16" on-center. All manholes shall have a minimum inside diameter which conforms to the following:
  - 3" to 48" storm sewer - flow (5) foot inside diameter
  - 12" to 48" storm sewer - five (5) foot inside diameter
  - Larger than 48" storm sewer - special design required
- Sewer Pipe Materials:** Main line storm sewer shall be constructed of one of the following:
  - Pre-cast reinforced concrete pipe, with "O-ring" joints;
  - PVC pipe, rigid, (Min. SDR 26, push-on gasket joints);
  - All joints shall conform to ANSI 21.11 for ductile iron pipe;
  - Ductile iron pipe, (Class 52), minimum;
  - HDPE pipe, (rigid with corrugated exterior and smooth interior meeting AASHTO M-294, Type S. Pipe sections shall be jointed with PVC double bell couplers installed on the pipe with O-ring gaskets. Ex protrusion maximum shall meet or exceed that of PVC SDR 26 with push-on joints. **FOR PRIVATE USE ONLY - NOT TO BE USED WITHIN PUBLIC RIGHTS-OF-WAY OR FOR PUBLICLY OWNED AND MAINTAINED STORM SEWER**
  - The type of pipe material to be used shall be dependent upon the depth of bury, soil conditions, and pipe criteria, and as approved by the City of St. Charles.
  - For RCP/PCSP pipe, lifting holes shall not be allowed on pipes less than 84" in diameter.
  - All storm sewer smaller than 15-inches in diameter that will be publicly owned and maintained shall be PVC pipe, rigid, (Min. SDR 26, push-on gasket joints).
- Flared End Section:** Flared end sections and subsequent rippap material shall be designed and specified per the Illinois Department of Transportation "Standard Specification for Road and Bridge Construction" latest edition. Flared end sections shall be constructed of a concrete material only or approved by the appropriate Engineering Division.

**C: Materials:**

- Corporation Stubs:**
  - Compression fittings,
    - Muellr/B-3400-N (1", 1 1/2", 2")
    - Ford
      - FB1000+Q-NL 1"
      - FB1000+Q-NL 1 1/2"
      - FB 1000+Q-NL 2"
    - A. Y. McDonald 4701-BQ (1", 1 1/2", 2")
    - Q Series Brass
- Curb Stubs:**
  - Compression fittings,
    - Muellr/B-2315S-N (1", 1 1/2", 2")
    - Ford
      - B-44-444-Q-NL 1"
      - B44-666-Q-NL 1 1/2"
      - B-44-777-Q-NL 2"
    - A. Y. McDonald 6104-Q (1", 1 1/2", 2")
    - Q Series Brass
- Curb Box:** (Minneapolis pattern, lid marked "WATER")
- Ballast Pipe:**
  - Fire 1" thru 2", Mueller H-10300 Copper service
  - A. Y. McDonald, 5615 1 1/2"
- Fire Hydrant:**
  - Approved Models: (Refer to standard Fire Hydrant Detail)
    - Muellr Super Connection 200
    - Watsons Pacer Model WB-67-250
    - Clove Model/Fill
  - All hydrants shall have:
    - 6" mechanical joint connection
    - 2 1/2" valve opening
    - 5" cover over hydrant lateral
    - 6" valve on lateral
    - "Hydrfinder" standard hydrant locator, installed
    - Valve shall have a valve box stabilizer installed
- Fire Hydrant Paint:** Safety Red, Sherwin Williams "Shercry" 6403-3192, R66R300
- Bolts Placed Underground:** All below grade factory installed bolts and fasteners shall be 304-grade stainless steel.
- Valves:** 4" through 16" diameter Right-hand closing Resilient Wedge gate valves, conforming to AWWA Standard C-509 as manufactured by the Clove Corporation, Watrous Company or approved equal. All below grade factory installed bolts and fasteners shall be 304-grade stainless steel.
- Valve Vaults:** Watertight valve vaults shall be provided for each valve. Barrel sections shall be sealed using a butyl rubber or rubber strip (Refer to City standard valve vault detail):
  - 3" through 6" valves..... Min. 4" inside diameter vault minimum
  - 8" and larger valves..... Min. 5" inside diameter vault minimum
  - Pressure Taps..... Min. 5" inside diameter vault minimum
  - Valve Vault Lid..... Nencoh R-1712, Type B or approved equal

The word "WATER" shall be cast into the surface of the lid.  
f. Vaults are not required for system mainlines unless a pressure tap for a hydrant lateral is in a roadway.
- Watermain Pipes:**
  - Ductile Iron Class 52, conforming to AWWA Standard C-151,
    - Cement Lining, conforming to AWWA Standard C-104.
    - Mechanical or push-on joints shall conform to AWWA Standard C-111.
    - At minimum, Type 3 laying conditions shall be provided, conforming to AWWA Standard C-600 (Attached).
  - All watermain shall be encased in a High Density polyethylene encasement with its material specifications and installation method in accordance with ANSLAWWA C105A21.5, ASTM A674, using "Method A" installation.

**A: Design Requirements:**

- Generally:** Street Structures shall be designed to meet the requirements of the applicable jurisdiction e.g., Cnty., IDOT, KDOT, DDGDOT, and ST Charles Township. Any proposed street dedication shall be in accordance with the following standards.
- Right-of-way and Pavement Requirements:**

Street Designation	Minimum R.O.W. Width	Minimum Street Width	Minimum Structural Number	Minimum Horizontal Curvature Radius	Minimum Target	
<b>Residential</b>	Entral	66 ft.	36 ft.	3.40	200 ft.	50 ft.
	Local	66 ft.	30 ft.	2.90	200 ft.	50 ft.
	Collector	80 ft.	30 ft.	3.65	300 ft.	100 ft.
	Arterial	100 ft.	52 ft.	See Note 1	500 ft.	200 ft.
<b>Industrial</b>	Local	66 ft.	40 ft.	3.00	200 ft.	50 ft.
	Collector	80 ft.	44 ft.	See Note 1	300 ft.	100 ft.
	Arterial	100 ft.	52 ft.	See Note 1	500 ft.	200 ft.
	<p><b>Note 1:</b> Heavily traveled streets in industrial and residential areas shall be considered as individual bus and pavement designs shall be based on specific engineering data for each street.</p>					

Street Designation	Minimum Gradient	Maximum Gradient	Minimum Soil Support (L.B.R.)	Maximum A.D.T.1	
<b>Residential</b>	Entral	0.5%	5.0%	3.0	400
	Local	0.5%	5.0%	3.0	1,000
	Collector	0.5%	5.0%	3.0	3,500
	Arterial	0.5%	5.0%	3.0	10,000
<b>Industrial</b>	Local	0.5%	5.0%	3.0	1,000
	Collector	0.5%	5.0%	3.0	3,500
	Arterial	0.5%	5.0%	3.0	10,000
	<p><b>Note 1:</b> Heavily traveled streets in industrial and residential areas shall be considered as individual bus and pavement designs shall be based on specific engineering data for each street.</p>				
- Pavement Lengths:**
  - Maximum residential block length shall be per title 16.08.030.
  - Cul-de-sac shall have a maximum length of as defined in Title 12.30.050B(4)
- Pavements:** Pavements shall be designed and constructed so as to obtain a minimum twenty (20) year service life with minimal maintenance after acceptance of the pavement by the City of St. Charles. The design engineer should consider such factors as construction and end use traffic loading sub-base I.B.R., etc., in determining the structural make up of the pavement section.
  - Pavement Materials and Minimum Thickness:** The following two pavement systems are the MINIMUM acceptable to the City. Their use must be supported by calculations to substantiate the use of the minimum pavement sections.
    - Rigid Pavement**
      - A minimum of 9" Portland Cement Concrete pavement (PCC) designed in accordance with IDOT standards. All Portland Cement Concrete shall be treated with a protective coat application.
      - Concrete pavements shall be reinforced in accordance with IDOT standards.
      - Concrete pavement shall have a minimum 4-inch of sub-base granular material, Type B. Millod asphalt meeting aggregate sub-grade specifications cannot be used for sub-base granular material, Type B.
      - Portland Cement Concrete shall have minimum 14-day compressive strength of 3500 psi.
      - In cases where an additional cross section may be needed for the sub-grade, the use of 9" of aggregate material meeting aggregate sub-grade gradation (i.e. crushed concrete) and a 3" milled asphalt cap may be used. Millod asphalt or the blending of asphalt millings with crushed concrete or other crushed aggregate material is not allowed for use in either the sub-grade or sub-base material.
    - Flexible Base Pavement**
      - Flexible base pavements shall have minimum of four (4") Sub-base Granular Material, Type B. Millod asphalt meeting Aggregate Sub-grade specifications cannot be used for Sub-base granular material Type B.
      - Hot-Mix Asphalt Base Course, 6"
      - Hot-Mix Asphalt Binder Course, 1.9"-10.50, .N50, 2.14"
      - Hot-Mix Asphalt Surface Course, 1.9"-10.50, .N50, 1.9"
      - In cases where an additional cross section may be needed for the sub-grade, the use of 9" of Aggregate Material meeting Aggregate Sub-grade gradation 9 (i.e. crushed concrete) and a 3" milled asphalt cap may be used. Millod asphalt or the blending of asphalt millings with crushed concrete or other crushed aggregate material is not allowed for use in either the sub-grade or sub-base material.

**Note:** All asphalt is to be laid by a self-propelled mechanical spreader.

  - Sub-grade:** All sub-grade material shall have a minimum Illinois Bearing Ratio (IBR) of 3.0. All unsuitable sub-grade material, including sub-grade material having an IBR

less than 3.0 shall be removed and replaced with a suitable fill material, or the pavement must be designed to compensate for the soil condition. The soil support IBR values selected for use by the engineer shall represent a minimum value for the soil to be used.

- Pavement Design Shall Include:** In addition to the information provided in the right-of-way and pavement requirements, pavement design shall include the following:
  - Public Alleys shall be constructed of reinforced Portland Cement Concrete (PCC) designed in accordance to specifications listed above for rigid pavements.
  - Maximum allowable pavement grade = 7% and minimum allowable pavement grade = 0.5%;
  - Driveway grades shall have a minimum slope of 1% and a maximum slope of 5%. All driveway grades in excess of 5% shall substantiate that vehicular bottom clearances are met.
  - Vertical curves shall be used when the absolute value of the algebraic difference between the intersecting pavements' centerlines exceed 1.5%. The minimum length of vertical curves shall be one hundred (100) feet for one and one-half (1.5) percent absolute value of the algebraic difference of grade. For each additional (1%) percent, or fraction thereof, of absolute value of the algebraic difference in grade over one and one-half (1.5) percent, a fifty-foot increment, or fraction thereof, shall be added to the length of the vertical curve.
  - The minimum intersection curb radius:
    - Two minor streets: 25'
    - Minor and collector streets: 30'
    - Tow collector streets: 40'
    - Truck routes or zoned manufacturing: 45'
  - Curb and gutter shall be a B-6.12 barrier type unless otherwise directed by the City of St. Charles appropriate Engineering Division. Curbs shall be constructed of 6.1 bag mix Portland Cement Concrete, 5.8% air entrained, (PCC) with (2), continuous epoxy coating, #4 rebar. A 1" expansion joints shall be placed at 60' intervals, and contraction joints shall be at 15' intervals and all points of curvature. All B-box, sanitary services and storm service locations shall be marked on the curb with a "W", "S", or "ST", as the case may be. All Portland Cement Concrete shall be treated with a protective coat application.
  - 26-foot wide bituminous pavement shall have a 4" crown as measured from the flag of the curb. 26-foot wide concrete pavement shall have a 4" crown as measured from the flow line of the gutter.
- Pavement Patches:**

**Note:** All pavement patches shall be replaced in kind with the following revisions:

- Flexible Pavement**

Patches shall have a minimum of 6" Hot-Mix Asphalt Base Course, placed over a 4" compacted sub-base of granular material. 2 1/2" of Hot-Mix Asphalt Binder Course, 1.9"-10.50, .N50, and 1 1/2" of Hot-Mix Asphalt Surface Course, 1.9"-10.50, .N50 shall be laid subsequent to the Base Course. (See details for pavement patching).
  - Rigid Pavement**

Concrete pavements shall be replaced with a minimum of 14 day, 3500 psi, 9" of Portland Cement Concrete mix placed over a 4" compacted granular sub-base. The existing pavement shall have #6 epoxy-coated dowel bars, 2" in length, drilled at 24" on-center, grooved in place. All Portland Cement Concrete shall be treated with a protective coat application. (See details for pavement patching). PCC shall be a 6.1 bag mix, 5.8% air entrained.

**Composite Pavement**

For pavements with a concrete base and asphalt surface, the concrete shall be placed at the same thickness as the existing pavement, but shall be a minimum of 4" thick. #6 Epoxy-coated dowel bars, 2" in length, shall be placed at 24" on-center, grooved in place.

There shall be a minimum of 2 1/2" surface asphalt placed over the concrete. Steel plates shall be placed over all Portland Cement Concrete patches until concrete is cured or a minimum of 3 days. (See details for pavement patching).
  - Storm inlets and catch basins** placed within the roadway surface shall be designed to incorporate an uniaxial drain system or peripheral PVC pipe in accordance with the attached detail.
- Sidewalks:**
    - Public Sidewalks are to be constructed of a minimum of five (5) inch thick by five (5) foot wide, 6.1 bag mix Portland Cement Concrete (PCC) with (5.8%) air entrainment. All Portland Cement Concrete shall be treated with a protective coat application.
    - Public walks that cross driveways are to be thickened to a minimum of (6) inches or the thickness of the driveway;
    - Sidewalks shall be constructed of one (1) foot off the street R.O.W. line unless otherwise directed by the appropriate Engineering Division;
    - Sidewalks shall be continuous through driveways;
    - All utility service locations shall be marked on the curb with a "W", "S", and "ST";
    - A 1" expansion joint shall be provided at 50' intervals, and contraction joints shall be at 5-foot intervals.
    - Ramping and sloping of sidewalks at intersections shall be in accordance with the specifications and standards as set forth by the Illinois Department of Transportation, the American Disabilities Act (ADA), and the Illinois Disability Code.

**Note:** All concrete shall be treated with a protective coat application of linseed oil or curing compound equivalent for temperatures over 40 degrees.

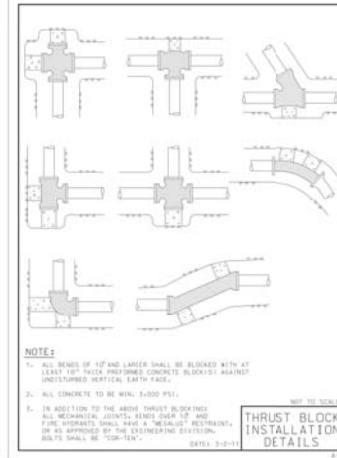
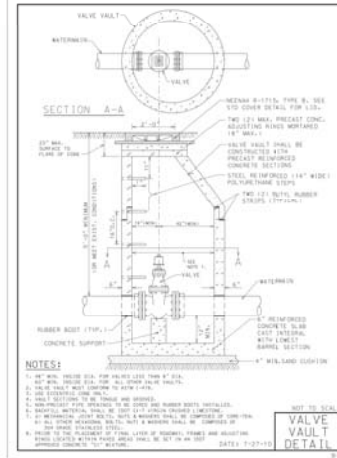
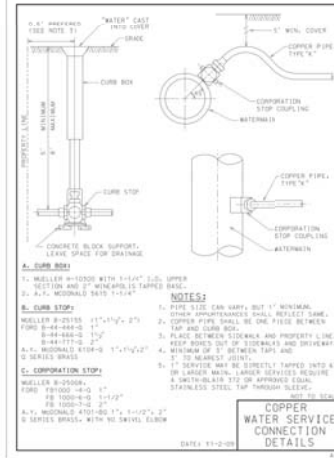
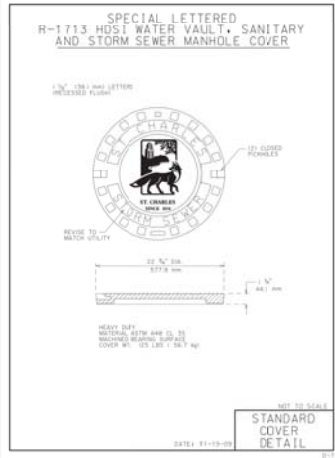
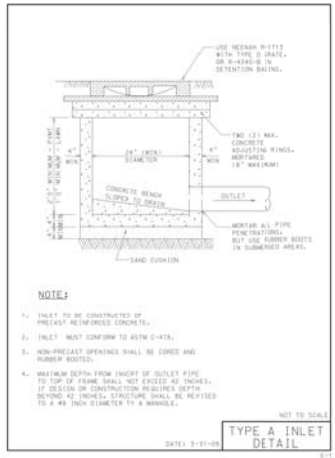
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DATE	BY	DESCRIPTION	APPROVED BY:
06/04/16	EM	PER CITY COMMENTS	
11/02/17	TF	PER DOT COMMENTS	
01/10/18	TF	PER IDOT/CITY COMMENTS	

 <p>ENGINEERING RESOURCE ASSOCIATES, INC. CONSULTING ENGINEERS, SCIENTISTS &amp; SURVEYORS</p>	<p>35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3660 FAX (630) 393-2152</p>	<p>10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6699</p>	<p>2416 GALEN DRIVE CHAMPAGNE, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902</p>
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**GRANDVIEW CAPITAL, LLC**  
36W995 RED GATE ROAD  
ST. CHARLES, IL

<p>TITLE:</p> <p><b>GENERAL NOTES</b> PARKSIDE RESERVES ST. CHARLES, IL</p>	<p>SCALE: NONE</p> <p>DATE: DECEMBER, 2015</p> <p>JOB NO: 130209</p> <p>SHEET: 8 of 12</p>
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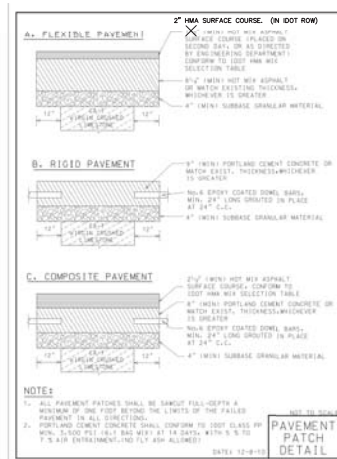
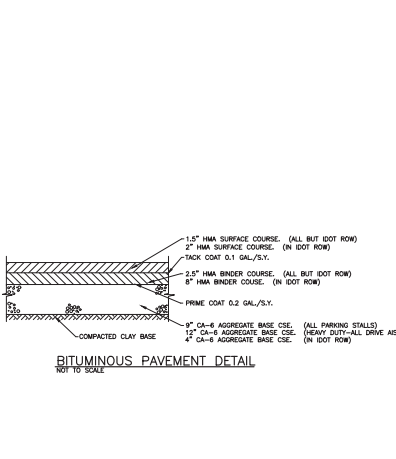
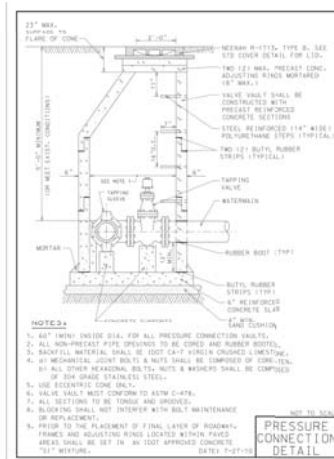
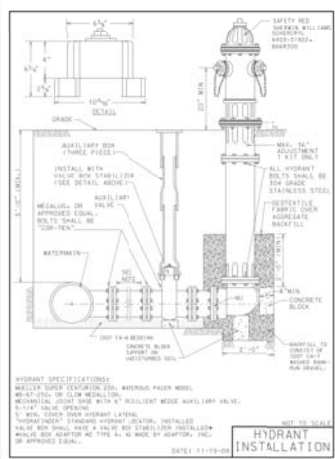




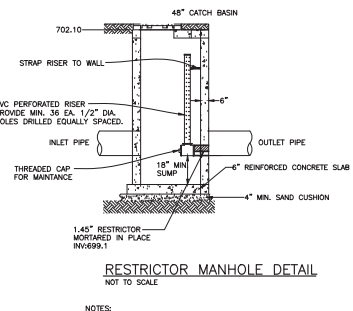
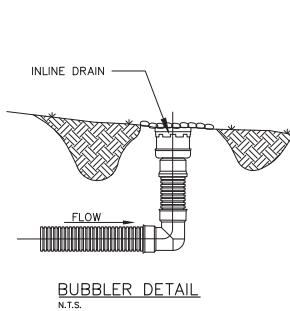
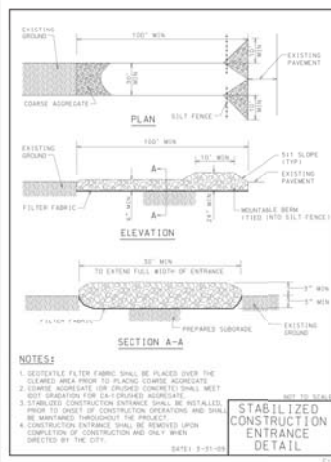
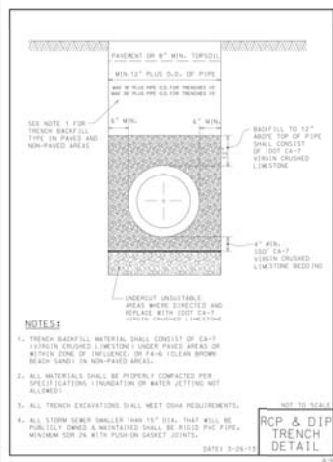
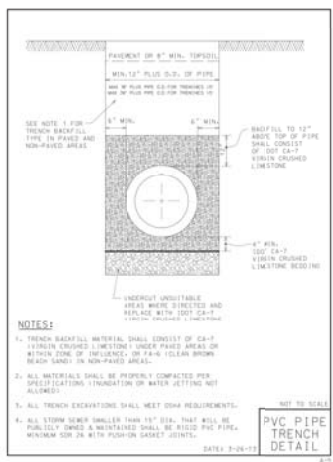
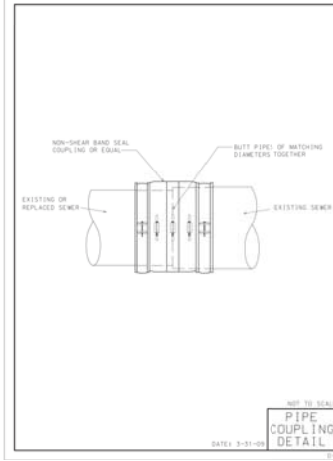
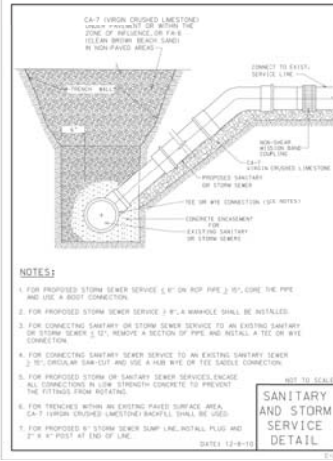
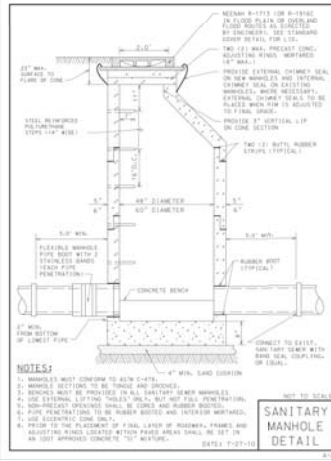
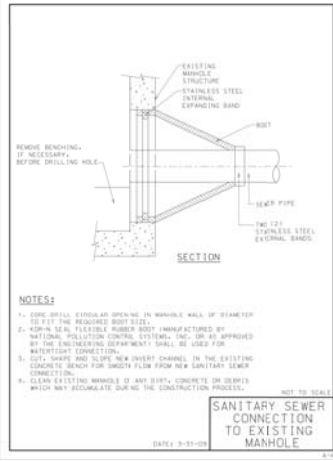
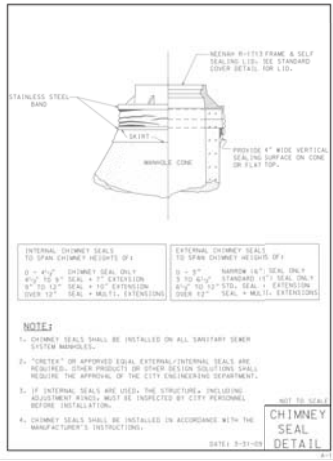
**Minimum Restraint Lengths (In feet) back from both sides of fitting**

Fitting type/nominal size	4"	6"	8"	10"	12"	16"
90 Degree Bend	51	25	32	38	45	59
45 Degree Bend	1	10	13	16	19	24
22.5 Degree Bend	0	5	6	8	9	12
11.25 Degree Bend	0	3	3	4	4	6
End Joint	39	58	75	87	103	134
Top Side Vertical Offset + 1/2 Degree	10	20	26	32	40	53
Bottom Side Vertical Offset + 1/2 Degree	0	6	8	10	12	16
Tee Run & Branch **	67	0	1	1	1	1
Tee Run & Branch **	87	0	1	1	1	1
Tee Run & Branch **	107	0	1	1	1	1
Tee Run & Branch **	127	0	1	1	1	1
Tee Run & Branch **	147	0	1	1	1	1
Reducer ***	67	0	0	0	0	0
Reducer ***	87	0	0	0	0	0
Reducer ***	107	0	0	0	0	0
Reducer ***	127	0	0	0	0	0
Reducer ***	147	0	0	0	0	0

**WATER MAIN RESTRAINT**  
 DATE: 3-27-10



REVISIONS:				DATE:	BY:	DESCRIPTION:	DRAWN BY:	BL:	ENGINEERING RESOURCE ASSOCIATES, INC.	35701 WEST AVENUE, SUITE 150	WARRENVILLE, ILLINOIS 60095	PHONE (312) 393-3660	FAX (630) 393-2152	10 S. RIVERSIDE PLAZA, SUITE 875	CICAGO, ILLINOIS 60606	PHONE (312) 474-7841	FAX (312) 474-6999	2416 GALEN DRIVE	CLARKPARK, ILLINOIS 61421	PHONE (217) 351-6268	FAX (217) 355-1902	CLIENT:	DETAILS	SCALE:	NONE	DATE:	DECEMBER, 2015	JOB NO.:	130209	SHEET:	9 of 12
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DRAWN BY:	BL	ENGINEERING RESOURCE ASSOCIATES, INC.	35701 WEST AVENUE, SUITE 150	WARRENVILLE, ILLINOIS 60095	PHONE (312) 393-3660	FAX (630) 393-2152	10 S. RIVERSIDE PLAZA, SUITE 875	CICAGO, ILLINOIS 60606	PHONE (312) 474-7841	FAX (312) 474-6999	2416 GALEN DRIVE	CLARKPARK, ILLINOIS 61421	PHONE (217) 351-6268	FAX (217) 355-1902	CLIENT:	DETAILS	SCALE:	NONE	DATE:	DECEMBER, 2015	JOB NO.:	130209	SHEET:	9 of 12	



REVISIONS	DATE	BY	DESCRIPTION
08/04/15	EM	PER CITY COMMENTS	
11/05/17	TF	PER DOT COMMENTS	
01/10/18	TF	PER IDOT/CITY COMMENTS	

DRAWN BY:	BL
CHECKED BY:	BW
APPROVED BY:	JC



**ENGINEERING RESOURCE ASSOCIATES, INC.**  
CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

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10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
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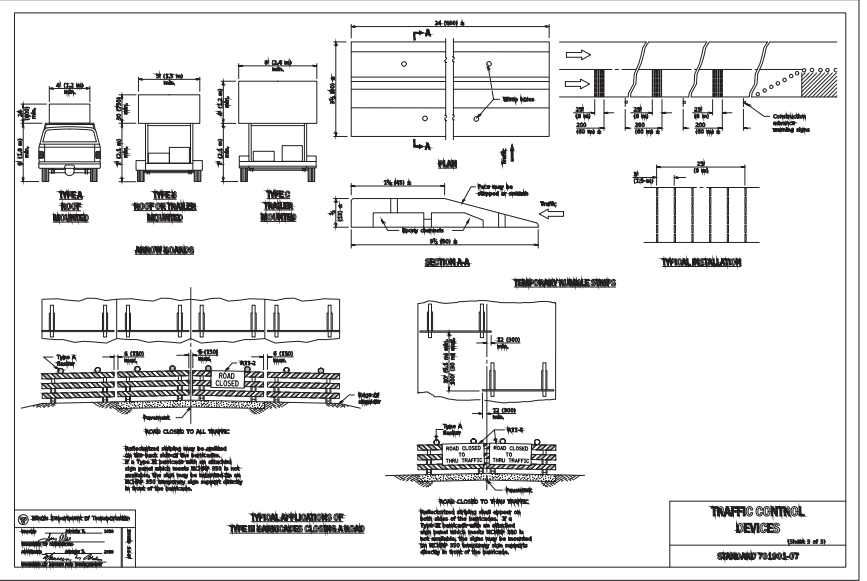
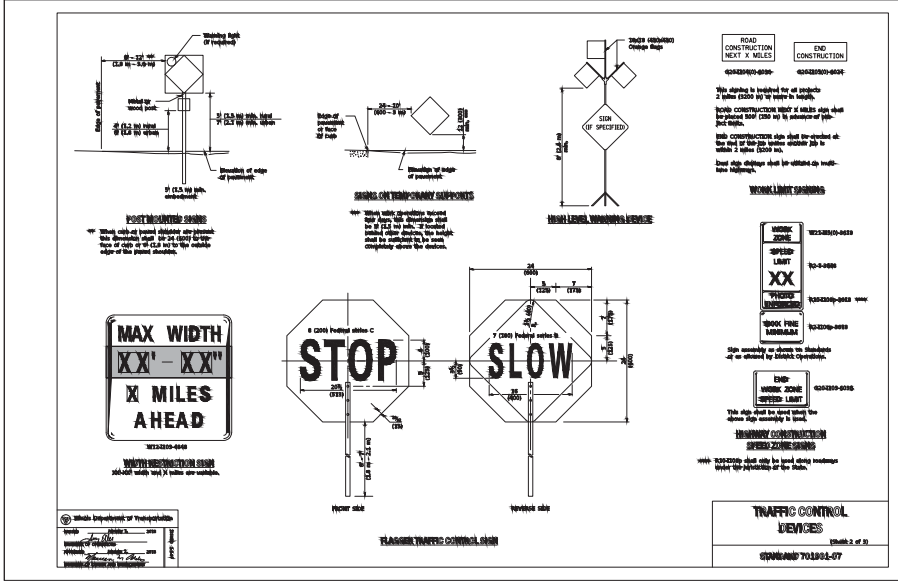
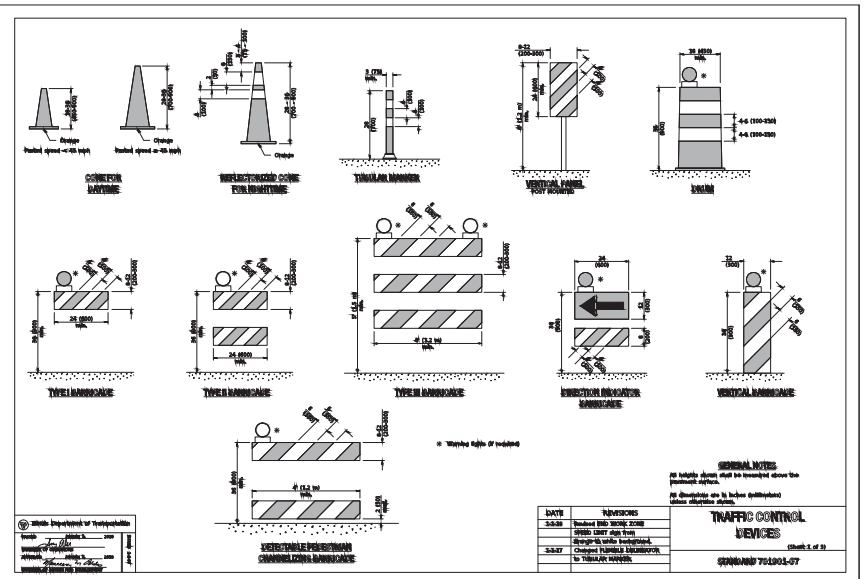
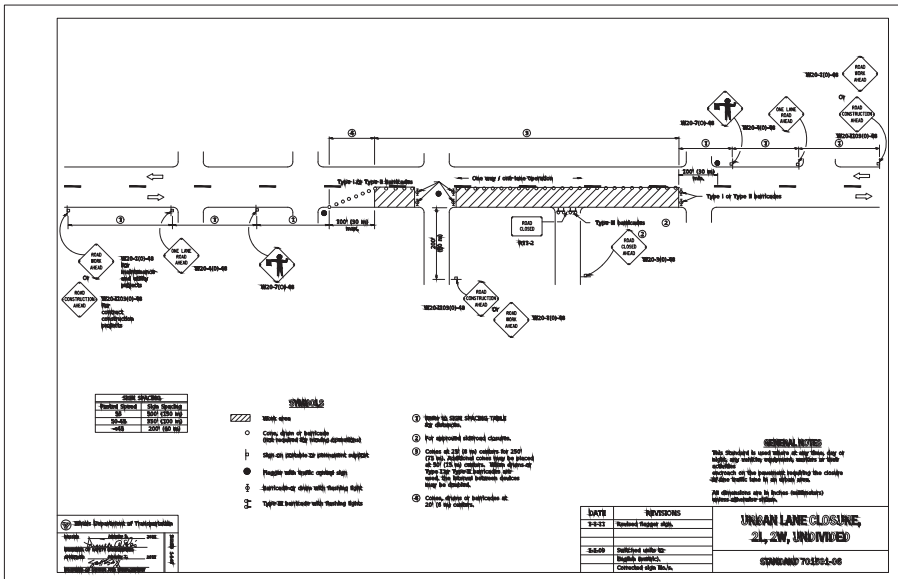
2416 GALEN DRIVE  
CHAMPAIN, ILLINOIS 61821  
PHONE (217) 351-6268  
FAX (217) 355-1902

**GRANDVIEW CAPITAL, LLC**  
36W995 RED GATE ROAD  
ST. CHARLES, IL

**TITLE:**

**DETAILS**  
PARKSIDE RESERVES  
ST. CHARLES, IL

**SCALE:** NONE  
**DATE:** DECEMBER, 2015  
**JOB NO.:** 130209  
**SHEET:** 10 of 12



DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
08/04/16	EM	PER CITY COMMENTS	03/19/18	KF	PER DOT/CITY COMMENTS
11/03/17	TF	PER CITY COMMENTS	03/26/18	KF	PER DOT/CITY COMMENTS
01/10/18	TF	PER CITY COMMENTS			

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**CHECKED BY:** BW  
**APPROVED BY:** JC

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35701 WEST AVENUE, SUITE 150  
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FAX: (630) 393-2152

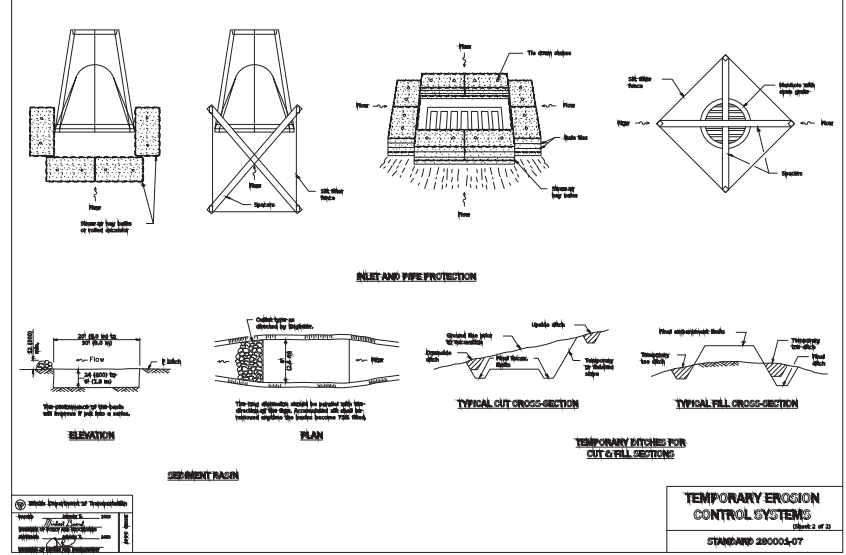
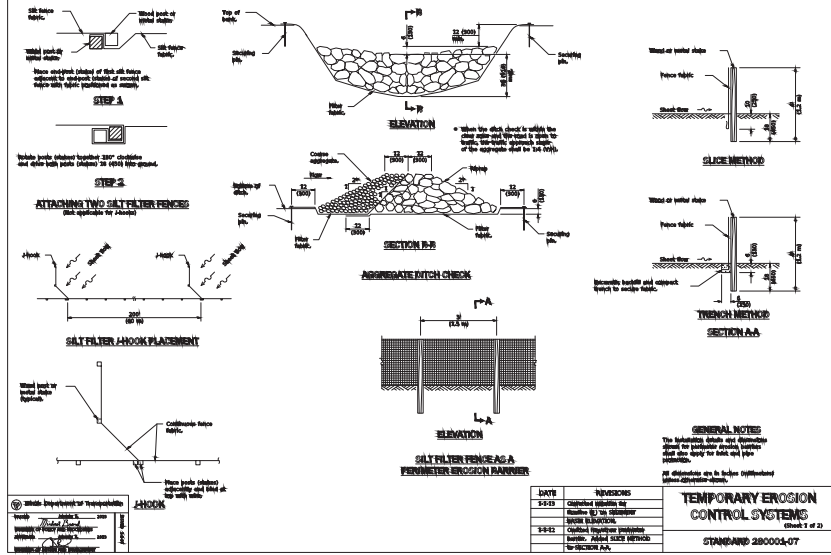
10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE: (312) 474-7841  
FAX: (312) 474-6999

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PHONE: (217) 351-6268  
FAX: (217) 355-1902

**GRANDVIEW CAPITAL, LLC**  
36W995 RED GATE ROAD  
ST. CHARLES, IL

**ITD DETAILS**  
PARKSIDE RESERVES  
ST. CHARLES, IL

**SCALE:** NONE  
**DATE:** DECEMBER, 2015  
**JOB NO.:** 130209  
**SHEET:** 11 of 12



REVISIONS		DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
06/04/15	EM	06/04/15	EM	PER CITY COMMENTS	05/19/16	KF	PER DOT/CITY COMMENTS
11/03/17	TF	11/03/17	TF	PER DOT/CITY COMMENTS	01/24/18	NF	PER DOT/CITY COMMENTS
01/10/18	TF	01/10/18	TF	PER DOT/CITY COMMENTS			

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CHECKED BY:	BW
APPROVED BY:	JC

**ENGINEERING RESOURCE ASSOCIATES, INC.**  
 35701 WEST AVENUE, SUITE 150  
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 CONSULTING ENGINEERS, SCIENTISTS & SURVEYORS

**TEMPORARY EROSION CONTROL SYSTEMS**  
 sheet 1 of 22  
 STANDARD 280004-07

10 S. RIVERSIDE PLAZA, SUITE 875  
 CHICAGO, ILLINOIS 60606  
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2416 GALEN DRIVE  
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**GRANDVIEW CAPITAL, LLC**  
 36W995 RED GATE ROAD  
 ST. CHARLES, IL

**ITDOT DETAILS**  
 PARKSIDE RESERVES  
 ST. CHARLES, IL

SCALE:	NONE
DATE:	DECEMBER, 2015
JOB NO.:	130209
SHEET:	12 of 12

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