

**AGENDA**  
**CITY OF ST. CHARLES**  
**PLANNING & DEVELOPMENT COMMITTEE**  
**ALD. TODD BANCROFT – CHAIRMAN**  
**MONDAY, NOVEMBER 14, 2016 - 7:00 PM**  
**CITY COUNCIL CHAMBERS**  
**2 E. MAIN STREET**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. POLICE DEPARTMENT**

- a. Recommendation to approve an Ordinance Amending Title 5 “Business License Regulations,” Chapter 5.08 “Alcoholic Beverages,” Section 5.08.090 “License – Classifications, Item 5 Paragraph E3” of the St. Charles Municipal Code.

**4. COMMUNITY & ECONOMIC DEVELOPMENT**

- a. A Presentation by Britta McKenna from the Illinois Math and Science Academy (IMSA) regarding their new innovation space named IN2.
- b. Plan Commission recommendation to approve an Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Primrose School, Northwest Corner of Bricher Rd. and Blackberry Dr. (St. Charles Commercial Center PUD).
- c. Plan Commission recommendation to approve a Special Use for Motor Vehicle Sales for MotoExec, 731 N. 17<sup>th</sup> St. Unit 3.
- d. Plan Commission recommendation to approve a General Amendment to Title 17 of the St. Charles Municipal Code (Zoning Ordinance) pertaining to the lot size requirement for two-family dwellings in the RT-4 District/BT Overlay.
- e. Plan Commission recommendation to approve an Amendment to Special Use for PUD for Corporate Reserve Lot 8 (Lot 8 – The Corporate Reserve of St. Charles PUD).
- f. Motion to Approve and Execute an Acceptance Resolution for Public Watermain, Sanitary Sewer and Storm Sewer and Appurtenances Located in Easements at 1200 Rukel Way in the Kirk Road St. Charles Subdivision.
- g. Recommendation to approve a Minor Change to PUD Preliminary Plan for 2670 W. Main St. (Aldi).

**5. ADDITIONAL BUSINESS**

## **6. EXECUTIVE SESSION**

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

## **7. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS.**

## **8. ADJOURNMENT**

### *ADA Compliance*

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at [jmcmahon@stcharlesil.gov](mailto:jmcmahon@stcharlesil.gov). Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).





**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 3a

Title: Recommendation to Approve an Ordinance Amending Title 5 “Business License Regulations,” Chapter 5.08 “Alcoholic Beverages,” Section 5.08.090 “License – Classifications, Item 5 Paragraph E3” of the St. Charles Municipal Code

Presenter: Chief Keegan

Meeting: Planning & Development Committee

Date: November 14, 2016

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

**Executive Summary** *(if not budgeted please explain):*

The Kane County Fair would like to expand their current E-3 license to attract and retain additional events. Similar to Fox River Harley Davidson. The Fair would like the ability to host up to twenty (20) days of events per year and offer both consumption/retail wine and beer sales.

The Kane County Fair Board is a 501c3 organization and their current license fee structure remains unchanged (\$50.00 per day). It was stipulated in conversation and dialogue with the Fair Board that events cannot be in conflict with other city events and festivals.

This item went before the October 17, 2016 Liquor Control Commission and was approved with a vote of Ayes: 4; Nays: 0 to move this item forward before this committee, to seek approval of said ordinance amendment so it can go before the November 21 City Council for final approval.

**Attachments** *(please list):*

Ordinance

**Recommendation/Suggested Action** *(briefly explain):*

Recommendation to approve an Ordinance Amending Title 5 “Business License Regulations,” Chapter 5.08 “Alcoholic Beverages,” Section 5.08.090 “License – Classifications, Item 5 Paragraph E3” of the St. Charles Municipal Code.

**City of St. Charles**  
**Ordinance No. 2016-M-\_\_\_\_\_**

**An Ordinance Amending Title 5 “Business License Regulations,”  
Chapter 5.08 “Alcoholic Beverages,” Section 5.08.090 “License –  
Classifications, Item 5 Paragraph E3” of the St. Charles Municipal Code**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE  
AND DUPAGE COUNTIES, ILLINOIS, AS FOLLOWS:**

**SECTION ONE:** That Title 5 “Business License Regulations,” Chapter 5.08 “Alcoholic Beverages,” Section 5.08.090 “License – Classifications, Item 5 paragraph E3” of the St. Charles Municipal Code, be deleted in its entirety and replaced as follows:

*E-3. The Class E-3 license shall authorize the retail sale of beer and wine for consumption on the premises only and within the pre-designated area of the Kane County Fair Grounds. Class E-3 shall also authorize the retail sale of wine and/or beer in original packages only. The retail area and consumption areas must be pre-approved by the Chief of Police (with a site drawing) at the time of the liquor license application. Further, wine and beer tasting bars shall be permitted in accordance with St. Charles Municipal Code 5.08.260.*

*Class E-3 license shall be issued solely to the Kane County Fair for the conduct of the annual Kane County Fair and not more than twenty (20) days of events that the Local Liquor Control Commissioner and Chief of Police deem licensable per calendar year. Each of the events shall be subject to approval by the Chief of Police so as to avoid conflicts between other events and festivals occurring in the City. . The Class E-3 license shall be valid only for the scheduled dates as outlined above and are subject to daily fees in accordance with St. Charles Municipal Code 5.08.100.*

**SECTION TWO:** That after the adoption and approval hereof, this Ordinance shall (i) be printed or published in book or pamphlet form pursuant to the authority of the City Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

**SECTION THREE:** This Ordinance shall be in full force and effect ten (10) days from and after its passage by a vote of the majority of the corporate authorities now holding office, approval and publication in the manner provided by law.

PRESENTED to the City Council of the City of St. Charles, Illinois, this \_\_\_\_ day of \_\_\_\_\_, 2016.

PASSED by the City Council of the City of St. Charles, Illinois this \_\_\_\_ day of \_\_\_\_\_, 2016.

APPROVED by the Mayor of the City of St. Charles, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Raymond P. Rogina, Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

COUNCIL VOTE:

Ayes : \_\_\_\_\_

Nays : \_\_\_\_\_

Absent : \_\_\_\_\_

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

DATE: \_\_\_\_\_

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 4a

Title:

A Presentation by Britta McKenna from the Illinois Math and Science Academy (IMSA) regarding their new innovation space named IN2.

Presenter:

Britta McKenna, IMSA  
Matthew O'Rourke

Meeting: Planning &amp; Development Committee

Date: November 14, 2016

Proposed Cost:

Budgeted Amount:

Not Budgeted: **Executive Summary** *(if not budgeted please explain):*

Britta McKenna, Chief Innovation Officer with the Illinois Math and Science Academy (IMSA), will be giving a presentation regarding their new innovation space named IN2.

**Background on IN2:**

IMSA has created a new innovation center at their Aurora, IL campus. The primary purpose of 6,400 square foot space is to open IMSA's doors to the community - entrepreneurs, innovators, businesses, local government and community organizations who want to work together to advance the human condition and to promote the STEM pipeline in Illinois. IMSA accomplishes this by developing partnerships and programming in entrepreneurship, innovation and makerspace programs, events, teams and collaboration opportunities for their partners and student members.

**Attachments** *(please list):***Recommendation/Suggested Action** *(briefly explain):*

Presentation for information only, no formal action required.



**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 4b

Title:	Plan Commission recommendation to approve an Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Primrose School, northwest corner of Bricher Rd. and Blackberry Dr. (St. Charles Commercial Center PUD)
Presenter:	Ellen Johnson

Meeting: Planning & Development Committee

Date: November 14, 2016

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

**Executive Summary** (if not budgeted please explain):

The subject property is an undeveloped 2.23 acre parcel within the St. Charles Commercial Center PUD, located at the northwest corner of Bricher Rd. and Blackberry Dr.

John Finnemore, applicant, is proposing to develop the property with a Primrose School child care facility. Details of the proposal are as follows:

- Construction of a one-story, approx. 12,000 sf building.
- Access from two driveways onto the shared private access drive off of Bricher Rd.
- A total of 45 parking spaces between the building and the private access drive.
- Required street frontage and parking lot landscaping.
- Outdoor play areas around the rear and sides of the building
- Sidewalk extension along Bricher Rd.

The Shodeen Family Property Company, LLC, property owner, has also submitted a Final Plat of Subdivision for approval in order to formally plat the property.

**Plan Commission Review**

The Plan Commission held a public hearing on the Special Use for PUD Amendment and reviewed the applications for PUD Preliminary Plan and Final Plat of Subdivision on 10/4/16. The Commission voted 5-0 to recommend approval, subject to resolution of outstanding staff comments prior to City Council action.

**Attachments** (please list):

Plan Commission Resolution, Staff Report, Applications, Plans

**Recommendation/Suggested Action** (briefly explain):

Plan Commission recommendation to approve an Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Primrose School, northwest corner of Bricher Rd. and Blackberry Dr. (St. Charles Commercial Center PUD)

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 17-2016**

**A Resolution Recommending Approval of an Application for Special Use to amend Ordinance 1982-Z-6 (St. Charles Commercial Center PUD) and establish a new Planned Unit Development, PUD Preliminary Plan and Preliminary/Final Plat of Subdivision for Primrose School, Northwest Corner of Bricher Rd. and Blackberry Dr. (John Finnemore & Shodeen Family Property Company LLC)**

**Passed by Plan Commission on October 4, 2016**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use, PUD Preliminary Plan and Preliminary/Final Plat of Subdivision; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use to amend PUD Ordinance 1982-Z-6 (St. Charles Commercial Center PUD) and establish a new Planned Unit Development, PUD Preliminary Plan and Preliminary/Final Plat of Subdivision for Primrose School, Northwest Corner of Bricher Rd. and Blackberry Dr. (John Finnemore & Shodeen Family Property Company LLC); and,

WHEREAS, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
  - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
  - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
  - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
  - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
  - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
  - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
  - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

The development of a child care facility in this mixed use PUD offers convenient access for parents residing in neighboring residential properties and beyond. The proposed location allows for multiple stops to complete trips to adjacent uses (restaurants, car repair businesses, shopping etc.) patronizing the existing businesses located in the PUD thus minimizing the travel required on public roadways. The infill nature of the proposed location for the Primrose facility does not require any additional infrastructure improvements other than the installation of a sidewalk along Bricher Road which will be installed at the petitioner's cost. Primrose has developed plans that reflect very attractive building elevations, a low floor area ratio due to the sizable playground area and extensive landscaping which all contribute to our facility becoming an integral part of the PUD and the overall St. Charles community.

**ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The proposed plans for the Primrose facility meet the requirements of the underlying BR-Regional Business zoning district with the exception of the following amendments:

- 1.) Section 17.26.080 – Building foundation landscaping to a width of 8’ is required along 75% of the front wall and 50% of the remaining walls.
- 2.) Section 17.26.030.A.1 – Building facades over 100’ must incorporate wall projections or recesses at least 3’ in depth extending over 20% of the façade.
- 3.) Section 17.06.030.C.1 – Buildings must have public entrance on the primary street frontage. Substantial landscape plantings are proposed along the Bricher Road frontage and will be adjacent to expansive green space for the playground which should more than offset the foundation plantings that need to be omitted due to the nature of children not mixing well with bushes, ground cover and other typical foundation plantings. The North building façade doesn’t incorporate the required 3’ wall projections because creating “bump outs” in classrooms affects the layout and operation of the learning program for the children. In lieu of projections we are proposing the addition of porches which will create the desired effect of adding interest and shadowing to the front façade. Because our parcel is not allowed direct vehicular access to Bricher Road we were unable to orient the building to face the main entrance towards a public street because the parking lot would also need to be in front of the building which would locate the access to the parking lot from the existing loop road too close to its intersection with Bricher. Additionally, the parking lot, if located along Bricher would not internally circulate and create a dead-end layout.

**iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The Special Use to allow a child care facility will provide needed service for both residents and commercial users in the St. Charles area.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The existing infrastructure in the St. Charles Commercial Center PUD is sufficient to support the proposed facility.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**



The requested PUD amendment to allow child care will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish, or impair property values within the neighborhood.

**D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The proposed child care facility will not impede the normal and orderly development and improvements of the surrounding properties.

**E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The proposed child care facility does not require any special maintenance or operations that will be detrimental to or endanger the public health, safety, comfort or general welfare of the surrounding properties.

**F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed child care facility meets or exceeds all existing Federal, State and Local regulations, as it relates to the PUD Amendment, Building Permit and Engineering Approvals and approval by the Illinois Department of Children and Family Services.

**iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Providing a high quality, education based, child care facility benefits the St. Charles and surrounding community by having a convenient location to drop-off and pick-up their children while traveling to various employers in the St. Charles area.

**v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD permitted use for the child care conforms with the permitted use as approval in PUD Ordinance 1982-Z-6. The Comprehensive Plan for the City of St. Charles indicates that the parcel proposed to be developed for a Primrose School is designated for Neighborhood Commercial. The Zoning Map for the City of St. Charles shows that the underlying zoning district is BR-Business Regional. Child care is a

permitted use in the BR District, therefore, the proposed Primrose facility is an excellent fit and justifies the amendment to the existing PUD to allow our use.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of the Application for Special Use to amend PUD Ordinance 1982-Z-6 (St. Charles Commercial Center PUD) and establish a new Planned Unit Development, PUD Preliminary Plan and Preliminary/Final Plat of Subdivision for Primrose School, Northwest Corner of Bricher Rd. and Blackberry Dr. (John Finnemore & Shodeen Family Property Company LLC).

Roll Call Vote:

Ayes: Spruth, Doyle, Pretz, Macklin-Purdy, Kessler

Nays: None

Absent: Wallace, Schuetz, Holderfield, Frio

Motion carried: 5-0

PASSED, this 4th day of October 2016.

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Chairman  
St. Charles Plan Commission

Community and Economic Development  
 Planning Division

Phone: (630) 377-4443  
 Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Todd Bancroft  
 And the Members of the Planning and Development Committee

**FROM:** Ellen Johnson, Planner

**RE:** Primrose School – Northwest corner of Bricher Rd. and Blackberry Dr. (St. Charles Commercial Center PUD)

**DATE:** November 8, 2016

**I. APPLICATION INFORMATION:**

**Project Name:** Primrose School

**Applicant:** John Finnemore (Special Use and PUD Preliminary Plan)  
 Shodeen Family Property Company LLC (Final Plat of Subdivision)

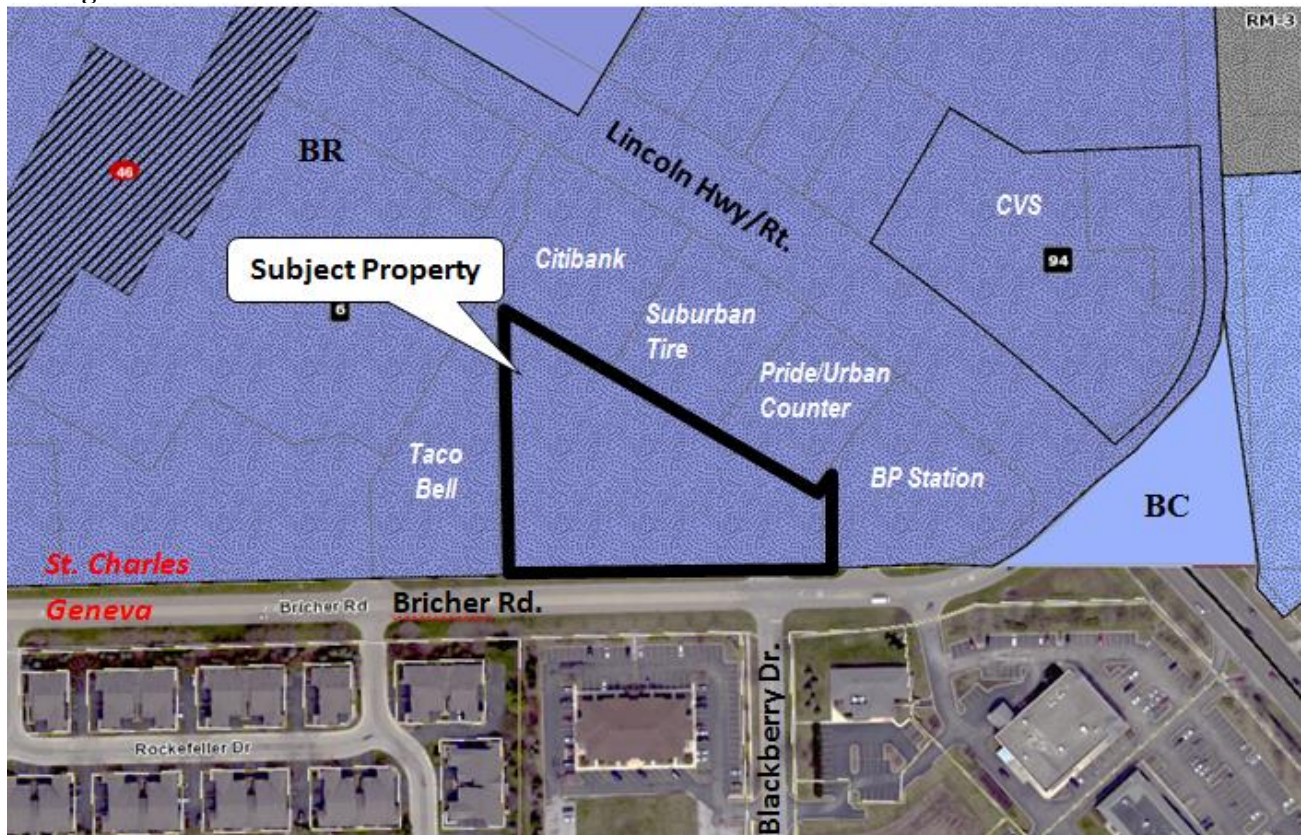
**Purpose:** Construct a Day Care Center on the property

<b>General Information:</b>		
<b>Site Information</b>		
Location	<b>Northwest corner of Bricher Rd. and Blackberry Dr.</b>	
Acres	2.23 acres	
Applications	<b>Special Use (PUD Amendment) PUD Preliminary Plan Final Plat of Subdivision</b>	
Applicable Zoning Code Sections and PUD Ordinance	Ch. 17.06 Design Review Standards & Guidelines Ch. 17.14 Business and Mixed Use Districts Ch. 17.24 Off-Street Parking, Loading & Access Ch. 17.26 Landscaping and Screening Title 17 Subdivisions and Land Improvement Ordinance 1982-Z-6 “An Ordinance Rezoning Property to the R-4 Multiple Residence District and the B-3 Service Business District and Granting a Special Use as a PUD for the St. Charles Commercial Center Property”	
<b>Existing Conditions</b>		
Land Use	Vacant	
Zoning	BR- Regional Business (PUD)	
<b>Zoning Summary</b>		
North	BR- Regional Business (PUD)	Commercial
East	BR- Regional Business (PUD)	Commercial
South	<i>B-1 Business- City of Geneva zoning</i>	Commercial
West	BR- Regional Business (PUD)	Commercial
<b>Comprehensive Plan Designation</b>		
Neighborhood Commercial		

**Aerial**



**Zoning**



## II. BACKGROUND

### A. PROPERTY HISTORY

The subject property is a vacant parcel located at the northwest corner of Bricher Rd. and Blackberry Dr. The property is part of the St. Charles Commercial Center PUD, although the site has remained undeveloped since the PUD was approved in 1982. Development of the property is subject to Ordinance No. 1982-Z-6 “An Ordinance Rezoning Property to the R-4 Multiple Residence District and the B-3 Service Business District and Granting a Special Use as a PUD for the St. Charles Commercial Center Property”.

### B. PROPOSAL

John Finnemore of Primrose Schools, applicant, is proposing to develop the property with a Primrose School child care facility. Details of the proposal are as follows:

- Construction of a one-story, approx. 12,000 sf building, facing north.
- Access from two driveways onto the shared private access drive off of Bricher Rd.
- A total of 45 parking spaces between the building and the private access drive.
- Required street frontage and parking lot landscaping.
- Outdoor play areas around the rear and sides of the building
- Sidewalk extension along Bricher Rd. and internal sidewalk connection to the building entrance.

The applicant has submitted the following applications in support of this project:

1. **Special Use (PUD Amendment)** – To allow the day care use at this location and to permit zoning deviations related to building foundation landscaping, building articulation and public entrance requirements.
2. **PUD Preliminary Plan** – To approve the physical development of the property in order to ensure compliance with the PUD ordinance and applicable provisions of the Zoning Ordinance
3. **Final Plat of Subdivision** – To formally plat the property.

## III. ANALYSIS

Staff has performed an analysis of the revised PUD Preliminary Plan to identify any deficiencies with the proposal as it relates to the standards established in the St. Charles Commercial Center PUD and the Zoning Ordinance, City Code Title 17. The following is a description of staff’s analysis.

### A. PROPOSED USE

A Day Care Center is listed as a permitted use in the BR Regional Business District. The Zoning Ordinance defines this use as follows:

*“Any child or adult care facility, whether established for gain or otherwise, which regularly provides care for less than 24 hours per day for more than three (3) children or adults in a facility other than a residential building, which meets the licensing requirements of the State of Illinois, Department of Children and Family Services. Day Care Center does not include programs operated by public or private elementary and secondary schools, or institutions of higher learning which serve children who are three (3) years of age or older.”*



A Day Care Center is not currently a permitted use in the St. Charles Commercial Center PUD. As such, the applicant is requesting to amend the PUD ordinance to include Day Care Center as a permitted use on the subject property only.

**B. ZONING STANDARDS**

The table below compares the submitted plans with the requirements of the BR zoning district and the St. Charles Commercial Center PUD. All applicable standards are met.

Category	Zoning Ordinance Or PUD Standard	Proposed
<b>Min. Lot Area</b>	1 acre	2.23 acres
<b>Lot Width</b>	None	436 ft.
<b>Building Coverage</b>	30%	12.4%
<b>Building Height</b>	40 ft.	22'8"
<b>Building Setbacks:</b>		
<i>Front (Bricher Rd.)</i>	30 ft.	70 ft.
<i>Interior sides</i>	15 ft.	28 ft. (west); 230 ft. (east)
<i>Rear (north)</i>	30 ft.	94 ft.
<b>Parking Setbacks:</b>		
<i>Front (Bricher Rd.)</i>	20 ft.	115 ft.
<i>Interior sides</i>	0 ft.	11 ft. (west); 197 ft. (east)
<i>Rear (north)</i>	0 ft.	19 ft.
<b>Parking Stall Size</b>	9' x 18' OR 9'x16' w/ 2 ft. bumper overhang	9' x 18'
<b>Drive-Aisle Width</b>	24' (Two Way)	24'
<b>Parking Requirement</b>	Zoning Ordinance standard for Day Care Center: 3.5 spaces per 1,000 sf @ 11,972 sf = 42 spaces	45 spaces

**C. LANDSCAPING**

A revised landscape plan has been submitted for the property. The table below compares the submitted plan to the requirements of Ch. 17.26 Landscaping and Screening. Deviations from the zoning ordinance standards that are required to accommodate the landscaping as proposed are denoted in ***bold italics***.

Category	Zoning Ordinance Standard	Proposed
<b>Overall Landscape Area</b>	15%	51%
<b>Interior Parking Lot Landscape Area</b>	10% 13 trees	21% 13 trees
<b>Bldg. Foundation Landscaping</b>		
<i>Front wall (public entrance)</i>	75% of wall length; 8 ft. wide planting beds	80%; <b><i>planting beds only 3 ft. wide</i></b>
<i>Remaining walls</i>	50% of wall length; 8 ft. wide planting beds	<b><i>0%</i></b>
<b>Public Street Frontage Landscaping</b>	75% 9 trees	82% 9 trees
<b>Parking Lot Screening</b>	50% to a height of 30 in.	Not required; Blackberry Dr. is a private drive
<b>Monument Sign Landscaping</b>	3 ft. around sign	4 ft. around sign

As part of the PUD Amendment, the applicant has requested a deviation from the building foundation landscaping requirement (Section 17.26.080). This is being requested due to ADA requirements to have sidewalks directly adjacent to the building, as well as the location of the play areas.

**D. BUILDING ARCHITECTURE**

The table below compares the submitted architectural elevations to the design requirements of Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts. Deviations from the zoning ordinance standards that are required to accommodate the building design as proposed are denoted in ***bold italics***.

Category	Zoning Ordinance Standard	Proposed
<b>Building Articulation</b>	3 ft. wall projections/recesses over 20% of façades over 100 ft.	<b><i>North elevation: Does not meet requirement</i></b> South elevation: meets requirement
<b>Architectural Features #1</b>	50% of façade comprised of architectural features	Meets requirement (requirement applies to north side- 65%, east side- 50%, and south side- 51%)
<b>Architectural Features #2</b>	Street-facing facades must have 2 of 4 architectural features: change in wall plane of 2 ft.; change in wall texture/masonry patterns; transparent windows; columns/pilasters projecting 6 in.	Meets requirement (requirement applies to north, east, and south sides)
<b>Public Entrance</b>	Public entrance must face primary street frontage	<b><i>Public entrance is on north side, facing the private drive. Unclear how primary street frontage is defined</i></b>
<b>Entrance Articulation</b>	Public entrances must be articulated from building	Meets requirement
<b>Building Materials</b>	A list of approved & prohibited materials is provided	Meets requirement

As part of the PUD Amendment, the applicant has requested the following deviations related to building design:

1. Section 17.06.030.A.1 – Building facades over 100 ft. in length must incorporate 3 ft. wall projections/recesses over at least 20% of the façade. This standard is not met on the north elevation. The applicant is requesting a deviation to avoid affecting the layout and operation of the classrooms. Porch projections are incorporated along the north elevation to add additional articulation.
2. Section 17.06.030.C.1 – This section states, *“Buildings shall have a public entrance on a façade that faces a public street or private drive that provides primary access (such as a mall ring road). Buildings that face more than one (1) street shall have at least one (1) public entrance on the primary street frontage.”*

The applicant is proposing to face the building north towards the private access drive, with the rear backing up to Bricher Rd. Per the St. Charles Commercial Center PUD, direct vehicular access to Bricher Rd. is not permitted for this parcel. The applicant

would like the parking in front of the building and believes the internal circulation permitted by siting the building and parking as proposed works best for the use.

It is unclear how the primary street frontage standard would be interpreted for this lot. Therefore it is uncertain whether or not a deviation is necessary to permit the public entrance facing the private drive as proposed. The PUD ordinance will need to specify where the public entrance is permitted.

E. SIGNAGE

A freestanding monument sign is proposed at the northwest corner of Bricher Rd. and Blackberry Dr. Two wall signs are also proposed, one each on the north and south elevations. All signage meets the requirements of Ordinance 2002-Z-15, Tri-City Center sign regulations.

F. LIGHTING

A photometric plan has been submitted. The plan meets the standards of Section 17.22.040 Site Lighting.

G. ENGINEERING REVIEW

Revised engineering plans have been submitted in response to engineering review comments provided for the initial plan submittal. Engineering review of the revised submittal is ongoing. Comments will be provided to the applicant once complete. All staff comments will need to be addressed prior to City Council approval of the PUD Preliminary Plan.

H. FINAL PLAT OF SUBDIVISION

A Final Plat of Subdivision has been submitted by the property owner, proposing a single lot subdivision to formally plat the property. The applicant has requested a combined Preliminary-Final Plat of Subdivision review process.

All existing cross access easements for the shared access drive that runs along the eastern and northern edges of the property have been retained.

Staff provided review comments on the Final Plat requesting additional information be added to meet the current requirements of Title 16 Subdivisions and Land Improvement. The surveyor provided a response stating he is not agreeable to making the requested changes. Given that the property is a single lot surrounded by already platted lots and that no new easements need to be granted, staff has determined that it is not necessary to require the changes be made to the Plat.

**IV. PLAN COMMISSION RECOMMENDATION**

On 10/4/16, Plan Commission held a public hearing on the Special Use for PUD Amendment and reviewed the applications for PUD Preliminary Plan and Final Plat of Subdivision. The Commission voted 5-0 to recommend approval, subject to resolution of outstanding staff comments prior to City Council action.



**V. ATTACHMENTS**

- Application for Special Use for PUD; received 9/2/16
- Application for PUD Preliminary Plan; received 9/2/16
- Application for Final Plat of Subdivision, received 9/28/16
- PUD Preliminary Plans (revised, dated 11/1/16)
- Final Plat of Subdivision (revised, dated 10/18/16)

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



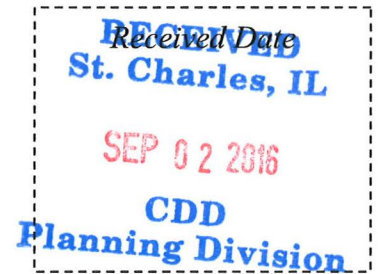
COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**SPECIAL USE APPLICATION**

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	<u>Primrose School</u>
Project Number:	<u>2016 -PR- 012</u>
Application Number:	<u>2016 -AP- 030</u>



*To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.*

*City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location:	NORTHWEST CORNER OF BRICHER ROAD & BLACKBERRY DRIVE	
	Parcel Number (s):	09-33-351-059	
	Proposed Name:	PRIMROSE SCHOOL OF ST. CHARLES	
<b>2. Applicant Information:</b>	Name	JOHN FINNEMORE	Phone 770-310-8755
	Address	PRIMROSE SCHOOLS 3660 CEDARCREST RD ACWORTH, GA 30101	Fax 770-874-0210
			Email jfinnemore@primroseschools.com
<b>3. Record Owner Information:</b>	Name	SHODEEN FAMILY PROPERTY COMPANY, LLC	Phone 630-444-8275
	Address	77 N. 1ST STREET GENEVA, IL 60134	Fax
			Email justin_heinz@shodeen.com

**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** St. Charles Commercial Center (PUD)
- New PUD
- Amendment to existing PUD- Ordinance #: 1982-Z-6
- PUD Preliminary Plan filed concurrently
  
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: VACANT LAND (SURROUNDED BY COMMECIAL)

Is the property a designated Landmark or in a Historic District? NO

What is the property's current zoning? PUD

What is the property currently used for? VACANT LAND

If the proposed Special Use is approved, what improvements or construction are planned?

CONSTRUCTION OF ONE-STORY BUILDING, SIDEWALKS, PARKING LOT, PLAYGROUND, SIGN AND

UTILITY INFRASTRUCTURE

**For Special Use Amendments only:**

Why is the proposed change necessary?

TO ALLOW A CHILD CARE FACILITY ON THE SITE

\_\_\_\_\_

What are the proposed amendments? (Attach proposed language if necessary)

Add "Day Care Center" as a permitted use on the property, and allow for deviations from the following Zoning Ordinance requirements:

1.)Section 17.26.080 - Building foundation landscaping to a width of 8' is required along 75% of the front wall and 50% of the remaining walls. 2.)Section 17.26.030.A.1 - Building facades over 100' must incorporate wall projections or recesses at least 3' in depth extending over 20% of the façade. 3.)Section 17.06.030.C.1 - Buildings must have public entrance on the primary street frontage See page attached at the end of this application for further discussion.

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**☒ APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**☒ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**☒ PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City’s Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City’s Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**☒ LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

**☒ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**☒ FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit “Criteria for PUD” for any PUD application; “Findings for Special Use” for all other Special Use applications.*)

**☒ LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

**☒ SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

**☒ ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

**☐ TRAFFIC STUDY:** If requested by the Director of Community Development.

N/A

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

**☒ PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

**☐ SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

**PUD PRELIMINARY PLAN APPLICATION SUBMITTED**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

Record Owner

Date

Applicant or Authorized Agent

Date

~~JOHN FINNEMORE~~ 8-31-16  
 PRIMROSE SCHOOLS

What are the proposed amendments? (continued):

- 1.) Section 17.26.080 - Building foundation landscaping to a width of 8' is required along 75% of the front wall and 50% of the remaining walls. Our proposed plans reflect the required foundation plantings along 75% of the front façade, however, we are unable to provide foundation plantings along 50% of the remaining walls because the 3 other sides of the building are surrounded by playground and direct exits from the classrooms. Therefore, a continuous sidewalk is required directly adjacent to the building to meet ADA requirements and general exiting. Additionally, substantial landscape plantings are proposed along the Bricher Road frontage and will be adjacent to expansive green space for the playground which should more than offset the foundation plantings that need to be omitted due to the nature of children not mixing well with bushes, ground cover and other typical foundation plantings.
- 2.) Section 17.26.030.A.1 - Building facades over 100' must incorporate wall projections or recesses at least 3' in depth extending over 20% of the façade. The North building façade doesn't incorporate the required 3' wall projections because creating "bump outs" in classrooms affects the layout and operation of the learning program for the children. In lieu of projections we are proposing the addition of porches which will create the desired effect of adding interest and shadowing to the front façade.
- 3.) Section 17.06.030.C.1 - Buildings must have public entrance on the primary street frontage. Because our parcel is not allowed direct vehicular access to Bricher road we were unable to orient the building to face the main entrance towards a public street because the parking lot would also need to be in front of the building which would locate the access to the parking lot from the existing loop road too close to its intersection with Bricher. Additionally, the parking lot, if located along Bricher would not internally circulate and create a dead-end layout.

August 30, 2016

The City of St. Charles  
Attn: Community & Economic Development/Planning Division  
2 E. Main Street  
St. Charles, Illinois 60174-1984

Re: Primrose Schools

To Whom It May Concern:

Please allow this letter to confirm that the Shodeen Family Property Company, L.L.C., an Illinois Limited Liability Company, is the owner of a 2.23 acre tract of land located in the City of St. Charles, Illinois, and which is part of tax parcel ID number 09-33-351-009.

The Shodeen Family Property Company, L.L.C., has contracted with Primrose School Franchising Company to sell said parcel to Primrose so that Primrose may build and operate a school on said parcel.

By the signature below of the Manager of said L.L.C., the Shodeen Family Property Company, L.L.C. hereby authorizes Primrose Schools, its attorneys, agents and assigns, to make any and all necessary applications so as to receive approval from the City of St. Charles as required to construct and operate such a facility.

If further authorization/direction is required of the Owner, please do not hesitate to contact the undersigned directly.

Respectfully submitted,  
The Shodeen Family Property Company, L.L.C.

By:   
Manager of the Shodeen Family Property Company, L.L.C.

Shodeen Group, LLC  
Attn: Justin Heinz, President  
77 N. 1st Street  
Geneva, Illinois 60134

**SHODEEN**

SHODEEN GROUP, LLC  
77 N. First Street  
Suite 7  
Geneva, Illinois 60134

phone 630.444.0777  
facsimile 630.232.8695

www.shodeen.com



**Ownership Disclosure Form  
Limited Liability Company (L.L.C.)**


STATE OF ILLINOIS   )  
  ) SS.  
KANE COUNTY         )

I, Craig A. Shodeen, being first duly sworn on oath depose and say that I am a Manager of The Shodeen Family Property Company, L.L.C., a Delaware limited liability company authorized to do business in Illinois, and that the following are all of the members of the said L.L.C.:

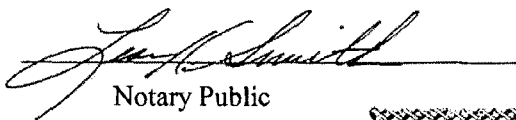
Shodeen Real Estate Company, L.L.C.	49.88%
Generation Two, L.L.C.	14.32%
Generation Three, L.L.C.	35.80%

By: The Shodeen Family Property Company, L.L.C.

By: Shodeen Group, L.L.C., Its: Manager

By:   
\_\_\_\_\_  
/ Craig A. Shodeen, a Manager

Subscribed and Sworn before me this 31<sup>st</sup> day of August, 2016.

  
Notary Public



# CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)



*\*For Special Use for PUD or PUD Amendment applications.\**

*The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.*

*As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.*

*(You may utilize this form or provide the responses on another sheet.)*

ST. CHARLES COMMERCIAL CENTER PUD  
(PRIMROSE SCHOOL OF ST. CHARLES)

09/01/2016

*PUD Name*

*Date*

## **From the St. Charles Zoning Ordinance, Section 17.04.410.3:**

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

### **i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The development of a child care facility in this mixed use PUD offers convenient access for parents residing in neighboring residential properties and beyond. The proposed location allows for multiple stops to complete trips to adjacent uses (restaurants, car repair businesses, shopping etc) patronizing the existing businesses located in the PUD thus minimizing the travel required on public roadways. The infill nature of the proposed location for the Primrose facility does not require any additional infrastructure improvements other than the installation of a sidewalk along Bricher Road which will be installed at the petitioner's cost. Primrose has developed plans that reflect very attractive building elevations, a low floor area ratio due to the sizeable playground area and extensive landscaping which all contribute to our facility becoming an integral part of the PUD and the overall St Charles community.

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- ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
  - A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
  - B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The proposed plans for the Primrose facility meet the requirements of the underlying BR-Regional Business zoning district with the exception of the following amendments:

- 1.)Section 17.26.080 - Building foundation landscaping to a width of 8' is required along 75% of the front wall and 50% of the remaining walls.
- 2.)Section 17.26.030.A.1 - Building facades over 100' must incorporate wall projections or recesses at least 3' in depth extending over 20% of the façade.
- 3.)Section 17.06.030.C.1 - Buildings must have public entrance on the primary street frontage

Substantial landscape plantings are proposed along the Bricher Road frontage and will be adjacent to expansive green space for the playground which should more than offset the foundation plantings that need to be omitted due to the nature of children not mixing well with bushes, ground cover and other typical foundation plantings.

The North building façade doesn't incorporate the required 3' wall projections because creating "bump outs" in classrooms affects the layout and operation of the learning program for the children. In lieu of projections we are proposing the addition of porches which will create the desired effect of adding interest and shadowing to the front façade.

Because our parcel is not allowed direct vehicular access to Bricher road we were unable to orient the building to face the main entrance towards a public street because the parking lot would also need to be in front of the building which would locate the access to the parking lot from the existing loop road too close to its intersection with Bricher. Additionally, the parking lot, if located along Bricher would not internally circulate and create a dead-end layout.

**iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The Special Use to allow a child care facility will provide needed service for both residents and commercial users in the St. Charles area.

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- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The existing infrastructure in the St. Charles Commercial Center PUD is sufficient to support the proposed facility.

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- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The requested PUD amendment to allow child care will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood

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- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed child care facility will not impede the normal and orderly development and improvements of the surrounding properties.

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- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed child care facility does not require any special maintenance or operations that will be detrimental to or endanger the public health, safety, comfort or general welfare of the surrounding properties.

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- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed child care facility meets or exceeds all existing Federal, State and Local regulations, as it relates to the PUD Amendment, Building Permit and Engineering Approvals and approval by the Illinois Department of Children and Family Services.

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- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Providing a high quality, education based, child care facility benefits the St. Charles and surrounding community by having a convenient location to drop-off and pick-up their children while traveling to various employers in the St. Charles area.

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- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD permitted use for child care conforms with the permitted used as approved in PUD Ordinance 1982-Z-6. The Comprehensive Plan for the City of St Charles indicates that the parcel proposed to be developed for a Primrose School is designated for Neighborhood Commercial. The Zoning Map for the City of St Charles shows that the underlying zoning district is BR-Business Regional. Child care is a permitted use in the BR District, therefore, the proposed Primrose facility is an excellent fit and justifies the amendment to the existing PUD to allow our use.

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## NONRESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: PRIMROSE SCHOOL OF ST. CHARLES

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District:	Ordinance #: 1982-Z-6	
Minimum Lot Area		N/A	N/A
Minimum Lot Width		N/A	N/A
Maximum Building Coverage		N/A	12.4%
Maximum Gross Floor Area per Building		N/A	N/A
Maximum Building Height		N/A	22'-8"
Front Yard		30'	69.71'
Interior Side Yard		10'	28.47'
Exterior Side Yard		20'	230.92'
Minimum Rear Yard		30'	93.60'
Landscape Buffer Yard <sup>2</sup>		N/A	N/A
% Overall Landscaped Area		15%	44.7%
Building Foundation Landscaping		337 feet	139 feet
% Interior Parking Lot Landscaping		10%	18.4%
Interior Parking Lot Shade Trees		13	13
# of Parking spaces		N/A	43
Parking Stall Dimensions		N/A	9' X 18'
Drive-through Stacking Spaces (if applicable)		N/A	N/A

<sup>2</sup> Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, RT or RM District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.

# ATTACHMENT A

## LEGAL DESCRIPTION OF PROPERTY DESCRIBED AS:

That part of the Southwest Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the Southwest corner of Lot 1, St. Charles Commercial Center, Unit No. Nine, St. Charles, Kane County, Illinois, being on a Northerly line of Bricher Road; thence Westerly along said Northerly line 436.19 feet to the Southeast corner of St. Charles Commercial Center, Unit No. Fifteen, St. Charles, Kane County, Illinois; thence Northerly along the Easterly line of said Unit No. Fifteen, being at right angles to the last described course (measured counterclockwise therefrom) 354.47 feet to the Southeasterly line of St. Charles Commercial Center, Unit No. Ten, St. Charles, Kane County, Illinois; thence Southeasterly along said Southwesterly line, forming an angle of 58 degrees 23 minutes 55 seconds with the last described course (measured counterclockwise therefrom) 173.30 feet to the Southwesterly corner of Leffler's Folly, St. Charles, Kane County, Illinois; thence Southeasterly along the Southwesterly line of said Leffler's Folly, forming an angle of 181 degrees 09 minutes 21 seconds with the last described course (measured counterclockwise therefrom) 161.68 feet to the most Westerly corner of Gibson's Car Wash, St. Charles, Kane County, Illinois; thence Southeasterly along the Southwesterly line of said Gibson's Car Wash, forming an angle of 178 degrees 50 minutes 39 seconds with the last described course (measured counterclockwise therefrom) 152.04 feet to the most Southerly corner of said Gibson's Car Wash; thence Northeasterly along the Southeasterly line of said Gibson's Car Wash, forming an angle of 96 degrees 41 minutes 38 seconds with the last described course (measured clockwise therefrom) 31.80 feet to an angle point in the Westerly line of said Lot 1; thence Southerly along the Westerly line of said Lot 1, forming an angle of 38 degrees 17 minutes 43 seconds with the last described course (measured counterclockwise therefrom) 127.0 feet to the point of beginning, in the City of St. Charles, Kane County, Illinois.

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**PUD PRELIMINARY PLAN APPLICATION**

<b>For City Use</b>	
Project Name:	<u>Primrose School</u>
Project Number:	<u>2016 -PR- 012</u>
Application Number:	<u>2016 -AP- 031</u>



*To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.*

*When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location:	NORTHWEST CORNER OF BRICHER ROAD & BLACKBERRY DRIVE	
	Parcel Number (s):	09-33-351-059	
	Proposed PUD Name:	PRIMROSE SCHOOL OF ST. CHARLES	
<b>2. Applicant Information:</b>	Name	JOHN FINNEMORE	Phone 770-310-8755
	Address	PRIMROSE SCHOOLS 3660 CEDARCREST RD ACWORTH, GA 30101	Fax 770-874-0210
			Email jfinnemore@primroseschools.com
<b>3. Record Owner Information:</b>	Name	SHODEEN FAMILY PROPERTY COMPANY, LLC	Phone 630-444-8275
	Address	77 N. 1ST STREET GENEVA, IL 60134	Fax
			Email justin_heinz@shodeen.com



**Please check the type of application:**

- New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development**
  - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

**Subdivision of land:**

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
  - Final Plat of Subdivision Application filed concurrently
  - Final Plat of Subdivision Application to be filed later

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

*Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.*

**APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

☒ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

**PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
  - Location, height, intensity and fixture type of all proposed exterior lighting
  - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

**SKETCH PLAN FOR LATER PHASES OF PUD:**

N/A

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

**ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

**TREE PRESERVATION PLAN:**

N/A

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

**LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

**STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

**SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

N/A

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

**☒ PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

**☒ SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

**☐ PARK AND SCHOOL LAND/CASH WORKSHEETS**

N/A  
For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

**☐ INCLUSIONARY HOUSING SUMMARY**

N/A  
For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

Record Owner

Date

Applicant or Authorized Agent

Date

*[Handwritten Signature]*  
 JOHN FINNEWORE 8-31-16  
 PRIMROSE SHELLEY

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

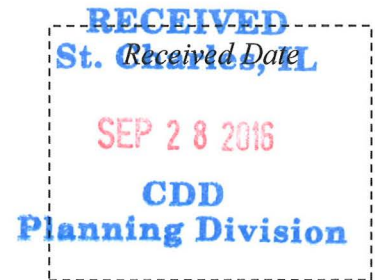


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**FINAL PLAT OF SUBDIVISION APPLICATION**

<b>For City Use</b>	
Project Name:	<u>Primrose School</u>
Project Number:	<u>2016 -PR- 012</u>
Application Number:	<u>2016 -AP- 034</u>



*To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.*

*When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.*

*The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location:	Bricher Road and Blackberry Drive, St. Charles "Primrose"	
	Parcel Number (s):	Part of 09-33-351-059	
	Proposed Subdivision Name:	St. Charles Commercial Center Unit No 16	
<b>2. Applicant Information:</b>	Name	The Shodeen Family Property Company LLC	Phone 630-444-8252
	Address	77 N. First St Geneva, IL 60134	Fax 630-232-4520
			Email Dave@shodeen.com
<b>3. Record Owner Information:</b>	Name	The Shodeen Family Property Company L.L.C.	Phone 630-444-8252
	Address	77 N. First St Geneva, IL 60134	Fax 630-232-4520
			Email Dave@shodeen.com

**Please check the type of application:**

**Subdivision:**

- Preliminary Subdivision Plat was previously approved by the City
- Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)

**Planned Unit Development (PUD):**

- PUD Preliminary Plan was previously approved by the City
- Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
- PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

**Attachment Checklist:**

*For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**APPLICATION FEE:**

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

N.A.  **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

X **SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

N.A.  **FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

**ENGINEER'S COST ESTIMATE SPREADSHEET:**

See attached form.

**STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)**

**STORMWATER REPORT**

**FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT**

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

*A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.*

**COPIES OF THIRD PARTY PERMIT/APPROVALS**

- Illinois EPA Water Pollution Control Permit for sanitary sewer extension



- Illinois EPA Division of Public Water Supplies Permit for water mains
- Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
- IDNR Office of Water Resources Permit (for work in flood plain)
- Wetlands Permit from Army Corps of Engineers
- Kane County DOT and/or IDOT signature on Final Plat (if applicable)
- Offsite easements and right of way necessary to construct the required Land Improvements

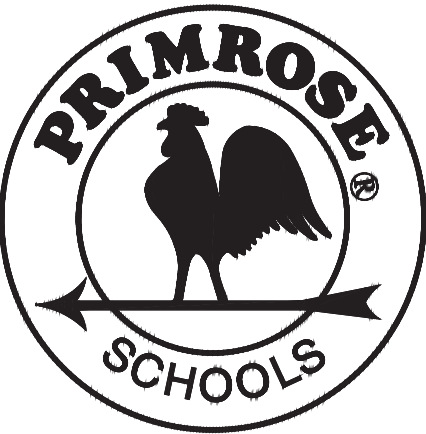
*N.A.*  **PARK AND SCHOOL LAND/CASH WORKSHEETS:** For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

*N.A.*  **INCLUSIONARY HOUSING SUMMARY:** For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

The Shodeen Family Property Company, LLC. 9/28/16  
 Record Owner Date

Wendell A. Farrell; agent 9/28/16  
 Applicant or Authorized Agent Date



PRIMROSE SCHOOL FRANCHISING COMPANY

# FINAL ENGINEERING FOR PRIMROSE SCHOOL OF ST CHARLES

## BRICHER ROAD AND BLACKBERRY DRIVE ST CHARLES, ILLINOIS

PREPARED AT THE OFFICE OF THE ENGINEER  
STATE OF ILLINOIS  
JULY 2011  
ILLINOIS REGISTERED PROFESSIONAL ENGINEER No. 083-44201  
FARHAD REZA  
LICENSE EXPIRES: 11/00/17  
SIGNED: 10/31/2016

A New Building For:  
**Primrose School Franchising Company**  
3860 Cedarcrest Road  
Aurora, Georgia 30101  
312-875-6800  
www.primroseschoolfranchising.com  
Primrose School Franchising Company  
These drawings shall be the property of Primrose School Franchising Company. No reproduction or use of these drawings without the written consent of Primrose School Franchising Company is permitted. Any unauthorized use will be subject to legal action.

**CASCO**  
10877 WATSON ROAD  
ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

**RME** Robinson & Messer Engineers, Inc.  
Robinson & Messer Engineers, Inc.  
202 S. MICHIGAN AVE., SUITE 1100  
CHICAGO, ILLINOIS 60604  
(312) 875-6800 FAX  
(312) 883-1433 FAX  
Design Firm Registration No. 184-000259

SITE:  
BRICHER ROAD &  
BLACKBERRY DRIVE  
ST. CHARLES, ILLINOIS  
BUILDING TYPE:  
TWO-STORY

Revisions:  
DRAWING TITLE:  
**TITLE SHEET**

DATE:  
11/01/2016  
PROJECT NUMBER:  
916346  
DRAWING NUMBER:  
C-000  
PUD PLANS

**SITE USAGE AREA TABLE**

TOTAL AREA	97,299 SF	2,237 AC	100%
BUSINESS	53,481 SF	1,228 AC	12.42%
OPEN SPACE	6,418 SF	0.147 AC	0.07%
PROPOSED OFF-STREET PARKING	16,444 SF	0.378 AC	16.90%
EXISTING OFF-STREET PARKING	0,000 SF	0.00 AC	0.00%

**SITE BUILDING USAGE AREA TABLE**

PROJECT BUILDING AREA LIMITS (1 STORY)			
GROSS	12,081 SF		
NET (INSIDE OF WALLS)	12,702 SF		

**TOTAL PARKING**

EXISTING PARKING SPACES	00 + 0 ADA
PROPOSED PARKING SPACES	43 + 2 ADA

**SURFACE AREAS**

PROJECT AREA LIMITS	97,299 SF	2,237 AC
BUILDING AREA	12,081 SF	0.277 AC
PROPOSED PARKING AREA	16,444 SF	0.378 AC
PROPOSED CONCRETE SIDEWALK	5,862 SF	0.134 AC
PROPOSED PLAYGROUND AREA	6,394 SF	0.301 AC
PROPOSED LANDSCAPING AREA	47,087 SF	1.081 AC

**INDEX OF DRAWINGS**

- C-000 COVER SHEET
- C-001 GENERAL NOTES
- C-100 EXISTING CONDITIONS
- C-200 SITE PLAN
- C-300 UTILITY PLAN
- C-301 UTILITY PROFILE
- C-400 GRADING PLAN
- C-500 STORM WATER POLLUTION PREVENTION PLAN
- C-501 STORM WATER POLLUTION PREVENTION NOTES
- C-502 STORM WATER POLLUTION PREVENTION DETAILS
- C-600 SITE DETAILS
- C-601 CIVIL DETAILS
- L-100 LANDSCAPE PLAN
- L-101 LANDSCAPE DETAILS

**DEVELOPER AND CONSULTANTS**

**DEVELOPER:**  
PRIMROSE SCHOOLS  
3860 CEDARCREST ROAD  
AURORA, GA 30101  
PHONE: (770) 310-8755  
FAX: (770) 874-0210  
EMAIL: JFNEMORE@PRIMROSESCHOOLS.COM  
CONTACT: JOHN F. NEMORE

**ARCHITECT:**  
CASCO  
10877 WATSON RD, ST. LOUIS, MO 63127  
PHONE: (314) 821-1100  
EMAIL: AMRON.BECKER@CASCOARCH.COM  
CONTACT: AMRON BECKER

**CIVIL ENGINEER:**  
RME, INC.  
202 S. MICHIGAN AVE., SUITE 1500  
CHICAGO, IL 60604  
PHONE: (312) 870-6600  
FAX: (312) 863-1473  
EMAIL: MAMSLER@RME.COM  
CONTACT: MATT WHISLER, P.E.

**SURVEYOR:**  
DONAHUE AND THORNHILL, INC.  
121 WOODLAWN RD.  
L.E.E. IL 60509  
PHONE: (833) 961-1567

**GEOTECHNICAL ENGINEER:**  
PROFESSIONAL SERVICE INDUSTRIES, INC.  
4421 W. HARRISON ST.  
HILLSIDE, IL 60178-1984  
PHONE: (833) 443-2877  
PHONE: (708) 238-0720  
FAX: (708) 238-0721  
CONTACT: DAVID L. SAWICKI, PG (IN), CGP

**FLOOD PLAIN**  
THE SITE IS NOT IN A FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP KANE COUNTY, IL PER MAP NUMBER 1706C0204H, MAP REVISED DATED AUGUST 3, 2009

**WATERSHED**  
THIS SITE IS WITHIN THE FOX RIVER WATERSHED.

**UTILITY CONTACTS**

**ELECTRICITY** CITY OF ST CHARLES MUNICIPAL ELECTRIC  
UTILITY (SCMU)  
PAUL HOPKINS - (630) 377-4403

**GAS** NICOR GAS  
YVONNE HARRIS  
YHARRIS@GASRESOURCES.COM

**SANITARY / WATER** ST CHARLES DEVELOPMENT ENGINEERING  
DIVISION  
CHRIS BONG - (847) 77-7500

**PHONE / INTERNET ATAT** LARRY SMITH - DESIGN ENGINEER  
1-847-429-7603

**FIRE** ST CHARLES FIRE DEPARTMENT  
LIEUTENANT NEUMAER  
(833) 377-4458

**VILLAGE NOTIFICATION**  
ST CHARLES DEVELOPMENT ENGINEERING DIVISION  
2 E MAIN STREET, ST CHARLES, IL 60174-1984  
PHONE: (833) 443-2877  
EMAIL: CSO@STCHARLES.IL.GOV

**HISTORIC STRUCTURE**  
THIS SITE DOES NOT CONTAIN A HISTORIC STRUCTURE

**OWNER INFORMATION**  
PRIMROSE SCHOOLS  
3860 CEDARCREST ROAD  
AURORA, GA 30101  
PHONE: (770) 310-8755  
FAX: (770) 874-0210  
EMAIL: JFNEMORE@PRIMROSESCHOOLS.COM  
CONTACT: JOHN F. NEMORE

**LEGAL DESCRIPTION**

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 1, ST. CHARLES COMMERCIAL CENTER, UNIT NO. NINE, ST. CHARLES, KANE COUNTY, ILLINOIS, BEING ON A NORTHERLY LINE OF BRICHER ROAD, THENCE WESTERLY ALONG SAID NORTHERLY LINE 436.19 FEET TO THE SOUTHEAST CORNER OF ST. CHARLES COMMERCIAL CENTER, UNIT NO. FIFTEEN, ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID UNIT NO. FIFTEEN, BEING AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE (MEASURED) COUNTERCLOCKWISE THEREFROM) 354.47 FEET TO THE SOUTHEASTERLY LINE OF ST. CHARLES COMMERCIAL CENTER, UNIT NO. TEN, ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE, FORMING AN ANGLE OF 88 DEGREES 23 MINUTES 55 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED COUNTERCLOCKWISE THEREFROM) 173.38 FEET TO THE SOUTHWESTERLY CORNER OF LEFFLER'S FOLLY, ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LEFFLER'S FOLLY, FORMING AN ANGLE OF 181 DEGREES 09 MINUTES 21 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED COUNTERCLOCKWISE THEREFROM) 161.68 FEET TO THE MOST WESTERLY CORNER OF GIBSON'S CAR WASH, ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID GIBSON'S CAR WASH, FORMING AN ANGLE OF 178 DEGREES 50 MINUTES 39 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED COUNTERCLOCKWISE THEREFROM) 162.04 FEET TO THE MOST SOUTHERLY CORNER OF SAID GIBSON'S CAR WASH; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SAID GIBSON'S CAR WASH, FORMING AN ANGLE OF 86 DEGREES 41 MINUTES 38 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED COUNTERCLOCKWISE THEREFROM) 31.80 FEET TO AN ANGLE POINT IN THE WESTERLY LINE OF SAID LOT 1; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID LOT 1, FORMING AN ANGLE OF 38 DEGREES 17 MINUTES 43 SECONDS WITH THE LAST DESCRIBED COURSE (MEASURED COUNTERCLOCKWISE THEREFROM) 127.0 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

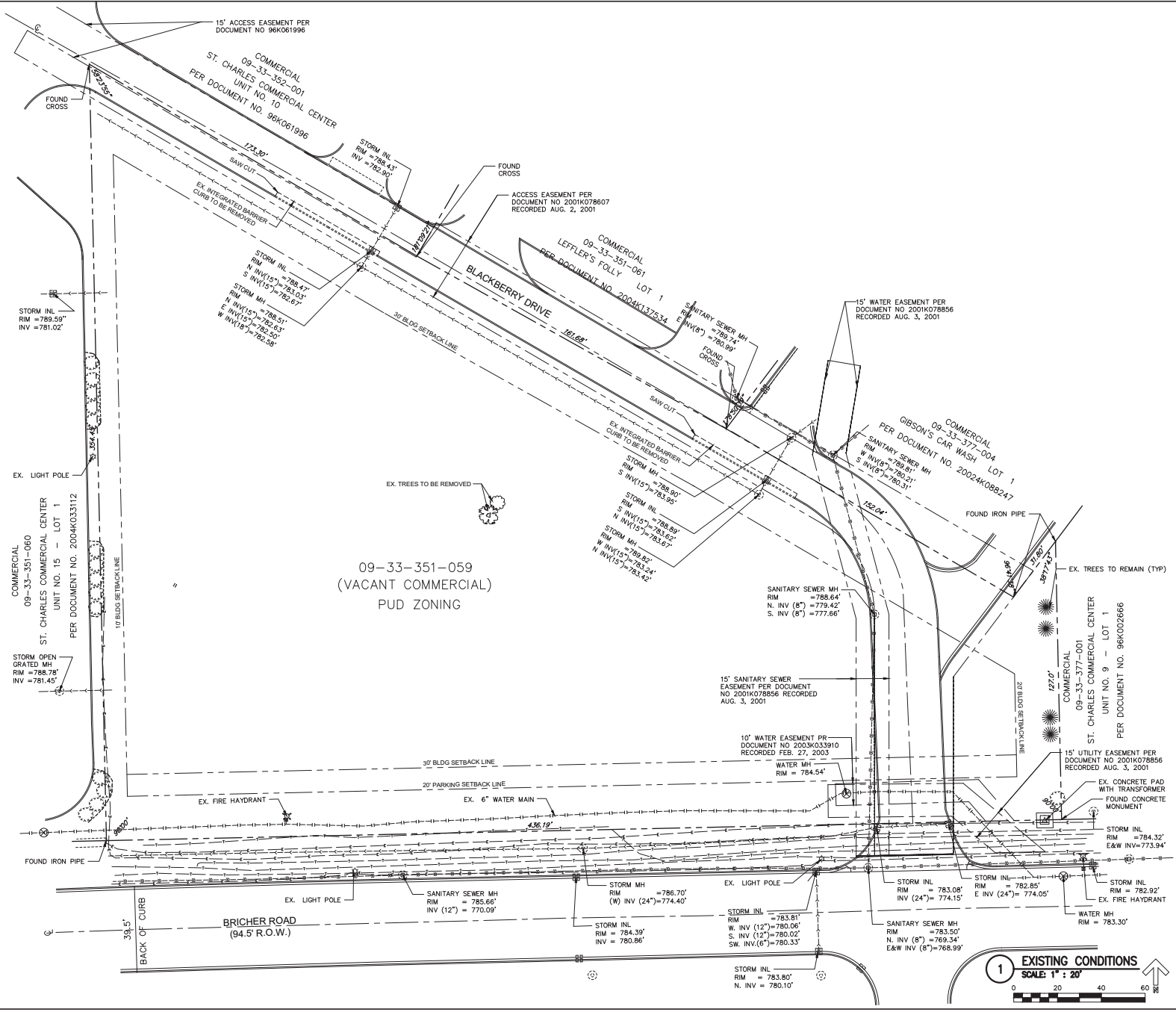


CALL 48 HOURS BEFORE YOU DIG WITH THE FOLLOWING INFORMATION  
COUNTY NAME: KANE  
TOWNSHIP NAME OR NUMBER: JLN\_8E  
SECTION NUMBER: 33



**GENERAL NOTES**

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM THE ALTA/ACSM LAND TITLE SURVEY PREPARED BY: THOMAS E. EDGER, DONAHUE AND THORNHILL, INC. 1321 WOODLAWN ROAD LEE, IL. 60530 PHONE: (630) 561-1567
2. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
3. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
4. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY
5. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
6. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
8. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
9. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
10. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
11. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION.
12. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
13. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.



09-33-351-059  
(VACANT COMMERCIAL)  
PUD ZONING

**1** EXISTING CONDITIONS  
SCALE: 1" = 20'

A New Building For:  
**Primrose School Franchising Company**  
3860 Colchester Road  
Awarth, Georgia 30191  
313-463-0313  
www.primroseschoolfranchising.com  
Any franchisee use will be subject to legal action.



**CASCO**  
10877 WATSON ROAD  
ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

**RME** Robinson & Messa Engineers, Inc.  
202 S. BIRCHMAN AVE., SUITE 1000  
ST. LOUIS, MO 63102  
(314) 875-6600  
(314) 875-1422 FAX  
Design Firm Registration No. 184-000259

SITE:  
BRICHER ROAD &  
BLACKBERRY DRIVE

ST. CHARLES, ILLINOIS

BUILDING TYPE:  
TWO-STORY

Revisions:

DRAWING TITLE:  
**EXISTING CONDITIONS**

DATE:  
11/01/2016

PROJECT NUMBER:  
916346

DRAWING NUMBER:  
**C-100**  
PUD PLANS





**KEYNOTES:**

- 1 EARLY PRESCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN).
- 2 PRESCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN).
- 3 AFTER SCHOOL PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLAN).
- 4 PRIMROSE PATCH 6'X12' (SEE ARCHITECTURAL PLAN).
- 5 5' W SIDEWALK (SEE ARCHITECTURAL PLAN).
- 7 6" BLACK WROUGHT IRON FENCE, TYPICAL ALL EXTERIOR FENCE - SEE 1 & 2(X)-1 (RUSTIC FENCE).
- 8 EXISTING ASPHALT PAVEMENT.
- 9 4"W BLACK GATE TO MATCH FENCE MATERIAL, TYPICAL.
- 10 TURF GRASS.
- 13 INTEGRAL SHADE (SEE ARCHITECTURAL PLAN).
- 14 LIGHT POLE.
- 16 FLAGPOLE AND BASE (SEE ARCHITECTURAL PLAN).
- 18 4" WHITE (PAINT) PARKING STRIPING.
- 19 ADA PARKING STRIPING, ACCESS ISLE, SIGNAGE AND WHEEL STOP (SEE DETAILS).
- 20 PROPOSED TRASH ENCLOSURE WITH CONCRETE APPROACH (SEE ARCHITECTURAL PLAN).
- 22 ACCESSIBLE RAMP (SEE DETAILS)
- 23 CONDENSING UNIT BEHIND 4' SOLID VINYL FENCE (SEE ARCHITECTURAL PLAN).
- 25 EXISTING CONCRETE ROAD.
- 29 COMBINATION CURB AND SIDEWALK.
- 30 TRANSITION CURB TO MATCH EXISTING.
- 31 B12 CURB AND GUTTER.
- 32 EXISTING INTEGRATE BARRIER CURB.
- 33 DRIVEWAYS ASPHALT PAVEMENT.
- 34 CONCRETE PAVEMENT / DUMPSTER AREA.
- 35 DEPRESSED CURB AND GUTTER.
- 36 CAR PARKING ASPHALT PAVEMENT.
- 40 MONUMENT SIGN.
- 42 CONCRETE PAVEMENT WITH PAINTED PLAYGROUND MARKINGS.
- 43 BASKETBALL HOOP.

**EASEMENT KEYNOTES:**

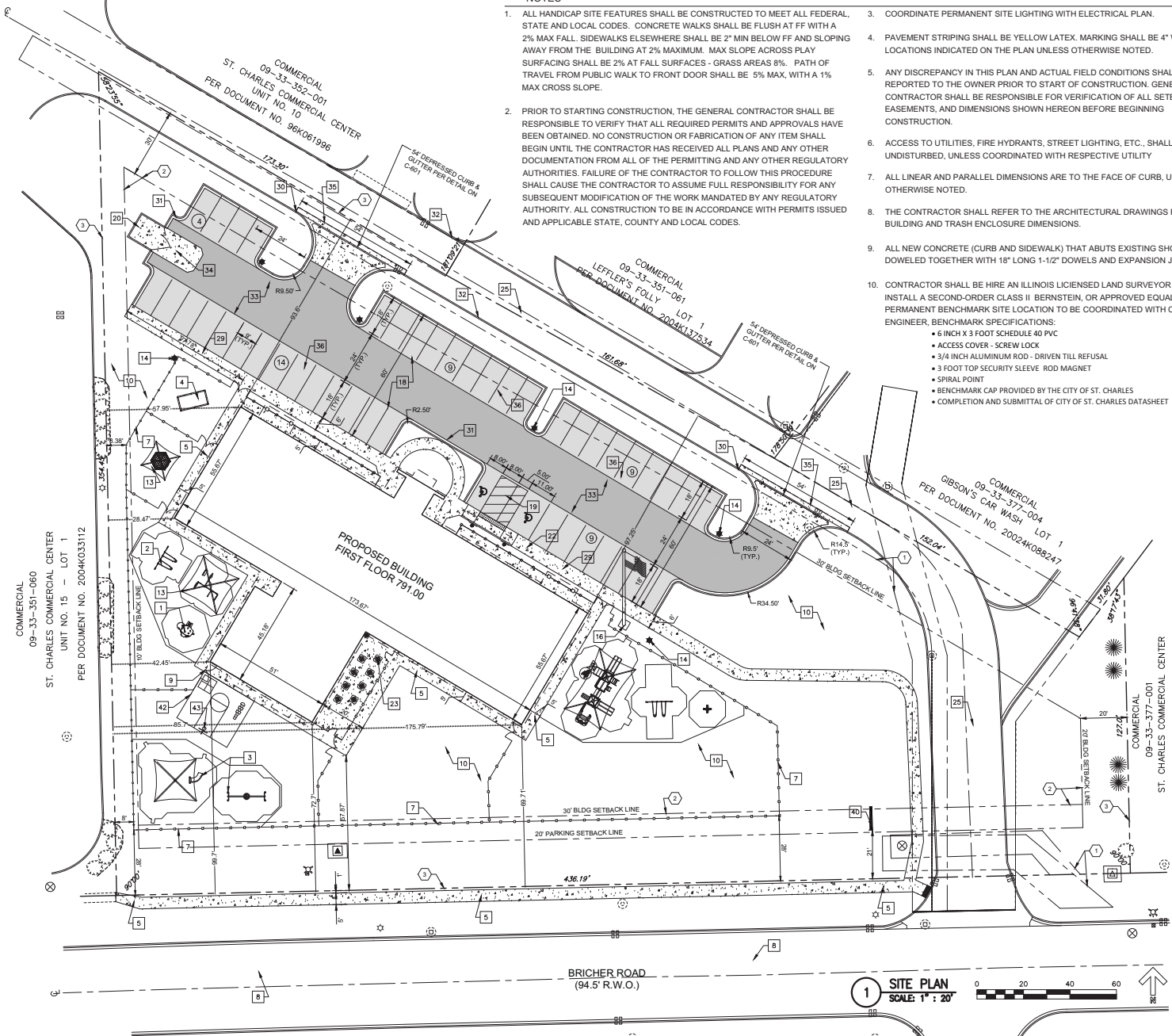
- 1 SANITARY SEWER & FORCEMAIN EASEMENT.
- 2 BUILDING SETBACK LINE.
- 3 PROPERTY LINE.

**LEGEND**

-  HEAVY-DUTY FULL DEPTH ASPHALT PAVEMENT 2" HMA SURFACE COURSE, N50, MIX D 2.5" HMA BINDER COURSE, IL-19, N50 10" COMPACTED CA-6 BASE COURSE
-  FULL DEPTH ASPHALT PAVEMENT 2" HMA SURFACE COURSE, N50, MIX D 2.5" HMA BINDER COURSE, IL-19, N50 8" COMPACTED CA-6 BASE COURSE

**NOTES**

1. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES. CONCRETE WALKS SHALL BE FLUSH AT FF WITH A 2% MAX FALL. SIDEWALKS ELSEWHERE SHALL BE 2" MIN BELOW FF AND SLOPING AWAY FROM THE BUILDING AT 2% MAXIMUM. MAX SLOPE ACROSS PLAY SURFACING SHALL BE 2% AT FALL SURFACES - GRASS AREAS 8%. PATH OF TRAVEL FROM PUBLIC WALK TO FRONT DOOR SHALL BE 5% MAX, WITH A 1% MAX CROSS SLOPE.
2. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
3. COORDINATE PERMANENT SITE LIGHTING WITH ELECTRICAL PLAN.
4. PAVEMENT STRIPING SHALL BE YELLOW LATEX. MARKING SHALL BE 4" WIDE AT LOCATIONS INDICATED ON THE PLAN UNLESS OTHERWISE NOTED.
5. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
6. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY
7. ALL LINEAR AND PARALLEL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING AND TRASH ENCLOSURE DIMENSIONS.
9. ALL NEW CONCRETE (CURB AND SIDEWALK) THAT ABUTS EXISTING SHOULD BE DOWELED TOGETHER WITH 18" LONG 1-1/2" DOWELS AND EXPANSION JOINTS.
10. CONTRACTOR SHALL HIRE AN ILLINOIS LICENSED LAND SURVEYOR TO INSTALL A SECOND-ORDER CLASS II BERNSTEIN, OR APPROVED EQUAL, PERMANENT BENCHMARK SITE LOCATION TO BE COORDINATED WITH CITY ENGINEER, BENCHMARK SPECIFICATIONS:
  - 6 INCH X 3 FOOT SCHEDULE 40 PVC
  - ACCESS COVER - SCREW LOCK
  - 3/4 INCH ALUMINUM ROD - DRIVEN TILL REFUSAL
  - 3 FOOT TOP SECURITY SLEEVE ROD MAGNET
  - SPIRAL POINT
  - BENCHMARK CAP PROVIDED BY THE CITY OF ST. CHARLES
  - COMPLETION AND SUBMITTAL OF CITY OF ST. CHARLES DATASHEET



**1 SITE PLAN**  
SCALE: 1" = 20'




A New Building For:  
**Primrose School Franchising Company**  
3860 Colchester Road  
Aurora, Georgia 30101  
Commercial ©2013  
with consent of Primrose School Franchising Co. in accordance with the contract of Primrose School Franchising Co. in accordance with the contract of Primrose School Franchising Co.



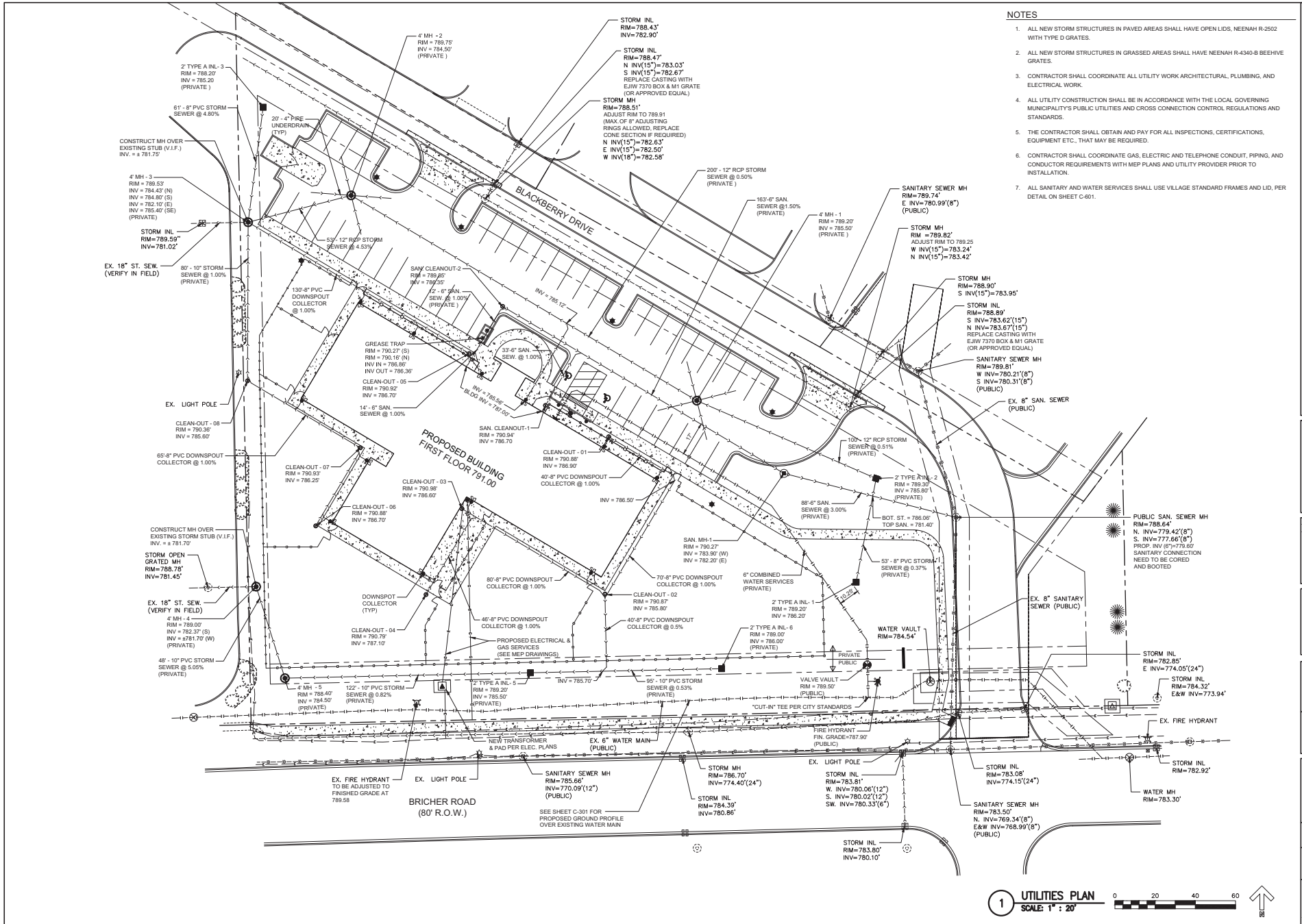
**CASCO**  
10877 WATSON ROAD  
ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

**RME** Rubino & Messa Engineers, Inc.  
200 S. BROADWAY AVE. SUITE 1000  
ST. LOUIS, MO 63102  
(314) 875-6600  
(314) 883-1422 FAX  
Design Firm Registration No. 154-000259

SITE: BRICHER ROAD & BLACKBERRY DRIVE  
ST. CHARLES, ILLINOIS  
BUILDING TYPE: TWO-STORY

Revisions:  
DRAWING TITLE:  
**SITE PLAN**

DATE: 11/01/2016  
PROJECT NUMBER: 916346  
DRAWING NUMBER: C-200  
PUD PLANS



**NOTES**

1. ALL NEW STORM STRUCTURES IN PAVED AREAS SHALL HAVE OPEN LIDS, NEENAH R-2502 WITH TYPE D GRATES.
2. ALL NEW STORM STRUCTURES IN GRASSED AREAS SHALL HAVE NEENAH R-4340-B BEEHIVE GRATES.
3. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK ARCHITECTURAL, PLUMBING, AND ELECTRICAL WORK.
4. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNING MUNICIPALITY'S PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT ETC., THAT MAY BE REQUIRED.
6. CONTRACTOR SHALL COORDINATE GAS, ELECTRIC AND TELEPHONE CONDUIT, PIPING, AND CONDUCTOR REQUIREMENTS WITH MEP PLANS AND UTILITY PROVIDER PRIOR TO INSTALLATION.
7. ALL SANITARY AND WATER SERVICES SHALL USE VILLAGE STANDARD FRAMES AND LID, PER DETAIL ON SHEET C-601.

A New Building For:  
**Primrose School Franchising Company**  
 3860 Cedarcrest Road  
 Awarth, Georgia 30101  
 (770) 421-0013  
 Primrose School Franchising Company



**CASCO**  
 10877 WATSON ROAD  
 ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

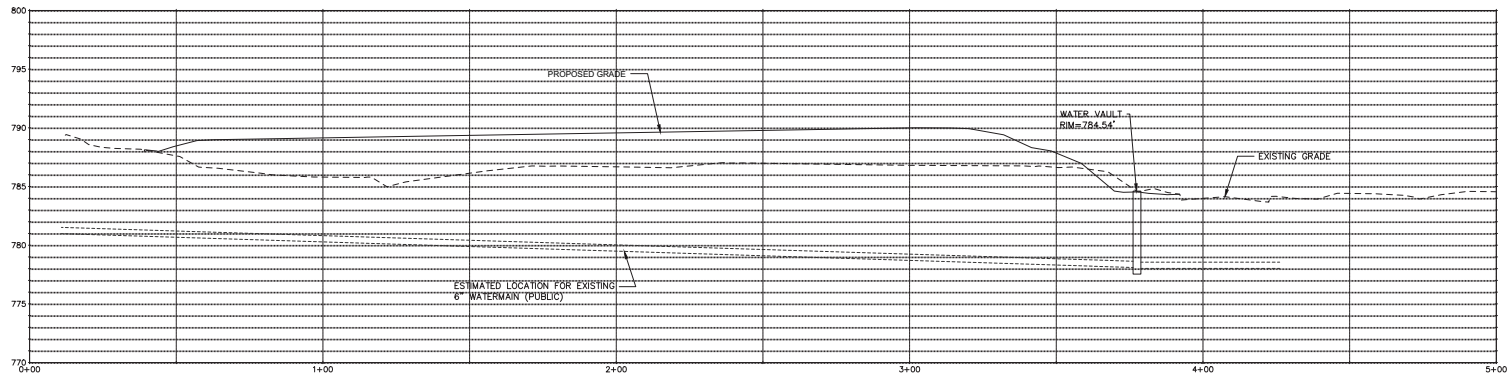
**RME** Rubino & Messa Engineers, Inc.  
 201 S. MICHIGAN AVE., SUITE 1100  
 ST. LOUIS, MO 63102  
 (314) 875-6800  
 (314) 883-1833 FAX  
 Design Firm Registration No. 184-00259

SITE:  
 BRICHER ROAD &  
 BLACKBERRY DRIVE  
 ST. CHARLES, ILLINOIS  
 BUILDING TYPE:  
 TWO-STORY

Revisions:  
 DRAWING TITLE:  
**UTILITY PLAN**

DATE:  
 11/01/2016  
 PROJECT NUMBER:  
 916346  
 DRAWING NUMBER:  
**C-300**  
 PUD PLANS





1 EXISTING WATERMAIN PROFILE  
SCALE: 1" = 20'



A New Building For:  
**Primrose School Franchising Company**  
 3860 Cedarcrest Road  
 Awarren, Georgia 30101  
 Commission # 020113  
 Primrose School Franchising Company  
 These drawings are the property of Primrose School Franchising Company and shall not be reproduced or used in any form without the written consent of Primrose School Franchising Company. Any manufacturer as well be subject to legal action.



**CASCO**  
 10877 WATSON ROAD  
 ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

**RME** Rubino & Meiss Engineers, Inc.  
 Rubino & Meiss Engineers, Inc.  
 201 S. MICHIGAN AVE., SUITE 1900  
 CHICAGO, IL 60604  
 (312) 875-6800  
 (312) 863-1423 FAX  
 Design Firm Registration No. 184-000209

SITE:  
**BRICHER DRIVE & BLACKBERRY DRIVE**  
**ST. CHARLES, ILLINOIS**  
 BUILDING TYPE:  
**TWO-STORY**

Revisions:  
 DRAWING TITLE:  
**UTILITY PROFILE**

DATE:  
**11/01/2016**

PROJECT NUMBER:  
**916346**

DRAWING NUMBER:  
**C-301**

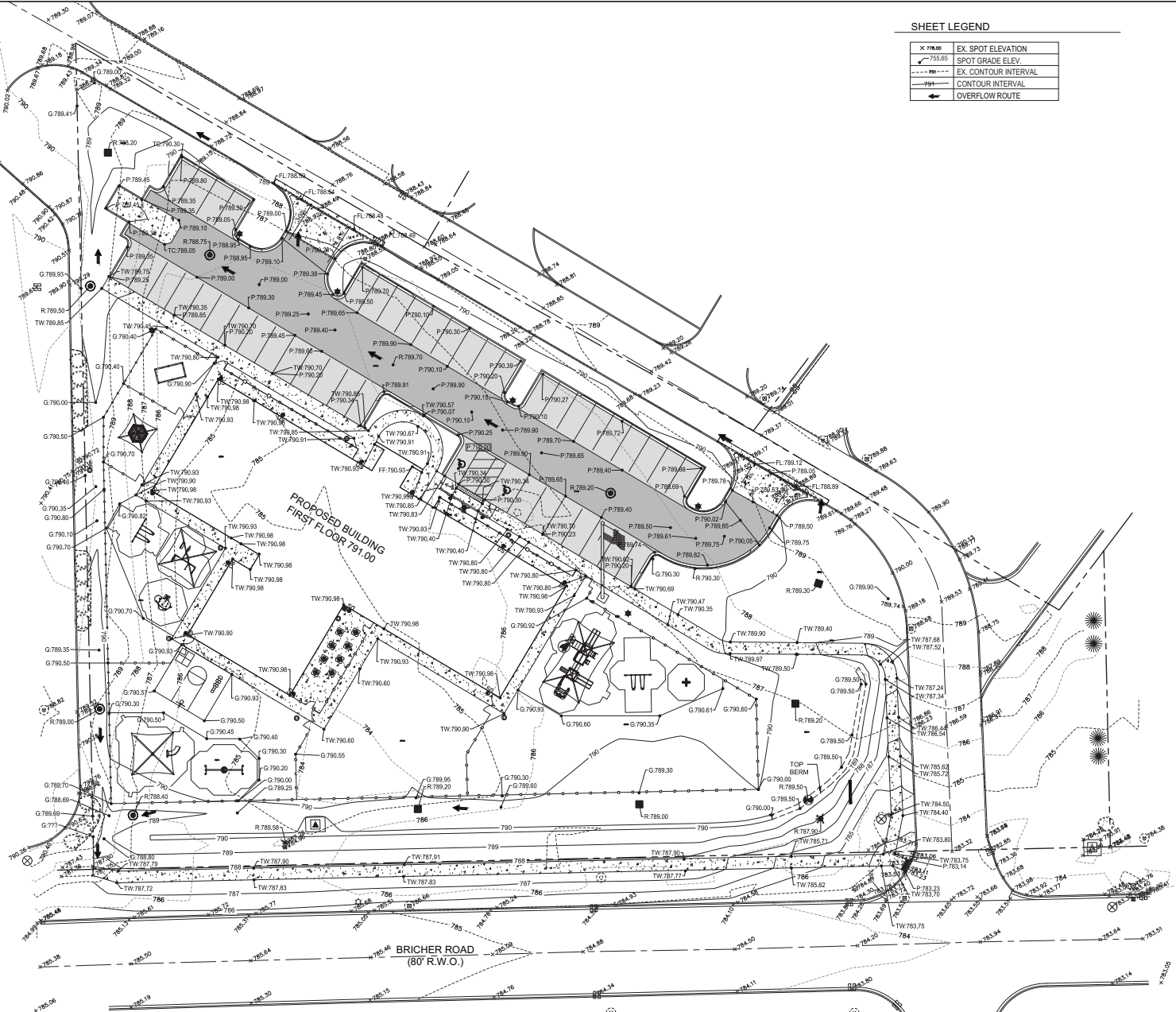
PUD PLANS

**NOTES**

- ELEVATIONS SHOWN NEXT TO CURB ARE FINISHED PAVEMENT GRADES. TOP OF CURB IS 6 INCHES HIGHER.
- EARTHWORK AND COMPACTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL EXPLORATION AND ASSESSMENT REPORT, PREPARED BY PSI, DATED SEPTEMBER 18, 2014.
- THE PROJECT IS NOT WITHIN A FEMA FLOODPLAIN, PER FEMA LETTER OF REVALUATION, CASE NO. 07-05-6045V, EFFECTIVE DATE SEPTEMBER 19, 2013.
- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- A COPY OF THE APPROVED STORMWATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY SLOPE WITHIN ALL HANDICAP ACCESSIBLE PARKING SPACES DOES NOT EXCEED 2.00% SLOPE IN ANY DIRECTION. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL ENSURE THAT LONGITUDINAL SLOPE OF ALL PROPOSED SIDEWALKS DOES NOT EXCEED 5.00%.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SPOT ELEVATIONS PRIOR TO ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- OWNER'S REPRESENTATIVE TO VERIFY THAT BUILDING FOUNDATION SOILS ARE SUITABLE AND COMPACTED PER GEOTECHNICAL REPORT.

**SHEET LEGEND**

X 778.00	EX. SPOT ELEVATION
755.65	SPOT GRADE ELEV.
780	EX. CONTOUR INTERVAL
780	CONTOUR INTERVAL
→	OVERFLOW ROUTE



A New Building For:  
**Primrose School Franchising Company**  
3660 Cedarcrest Road  
Awarren, Georgia 30101  
Construction Offices  
11000 Peachtree Dunwoody Road, Suite 100  
Atlanta, Georgia 30338  
Primrose School Franchising Co., Inc. is a franchise.  
Any franchisees will be subject to legal action.



**CASCO**  
10877 WATSON ROAD  
ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

**RME** Rubino & Messa Engineers, Inc.  
201 S. BROADWAY AVE. SUITE 1000  
ST. LOUIS, MO 63102  
(314) 875-6600  
(314) 883-4122 FAX  
Design Firm Registration No. 184-00029

SITE:  
BRICHER ROAD &  
BLACKBERRY DRIVE  
ST. CHARLES, ILLINOIS  
BUILDING TYPE  
TWO-STORY

Revisions:  
DRAWING TITLE:  
**GRADING PLAN**

DATE: 11/01/2016  
PROJECT NUMBER:  
916346  
DRAWING NUMBER:  
**C-400**  
PUD PLANS



**GENERAL SEDIMENTATION AND EROSION CONTROL NOTES:**

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL REVISED FEBRUARY 2002.
- THE KANE-DUPAGE SOIL AND WATER CONSERVATION DISTRICT (CITY OF ST. CHARLES) MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY THE CITY OF ST. CHARLES.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY CITY OF ST CHARLES.
- DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FILED TILES OR STORMWATER STRUCTURES IS PROHIBITED.
- ALSO, PLEASE ADD NOTE TO STATE THAT, "IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUB-CONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA".

**INSPECTION SCHEDULE**

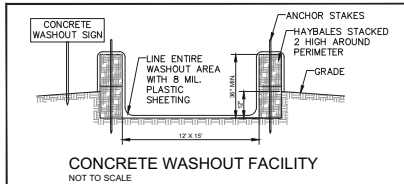
- EROSION CONTROL DEVICES & SWALES SHALL BE MONITORED DAILY.
- FOREBAY/SEDIMENT TRAPS SHALL BE MONITORED WEEKLY. TRAPPED SEDIMENT SHALL BE REMOVED, RESPREAD, & STABILIZED.
- VEGETATIVE PLANTINGS (SEEDING, SODDING, ETC.) SHALL BE CHECKED PERIODICALLY TO VERIFY THAT ADEQUATE GROUND COVER IS BEING ESTABLISHED. AREAS OF INSUFFICIENT COVER SHALL BE RESEEDED.
- REPAIRS TO EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.

**ANTICIPATED CONSTRUCTION SEQUENCE**

	GRADING	UNDERGRADING	PAVING	LANDSCAPE
1. INSTALL SEDIMENT CONTROL DEVICES	X			
STABILIZED CONSTRUCTION ENTRANCE	X			
SILT FENCE	X			
2. GRADE SITE / STOCK PILE TOPSOIL	X			
SILT FENCE (TOPSOIL STOCKPILES & OPEN SPACE SLOPES)	X			
3. INSTALL STORM WATER MANAGEMENT		X		
STORM SEWER EXPLORATORY DIG		X		
INLET PROTECTION		X		
4. TEMPORARY VEGETATIVE STABILIZATION				X
TEMPORARY SEEDING				X
MULCHING				X
5. SITE WORK - CONCRETE WASHOUT AREA				X
CURB & GUTTER & PATCHING				X
AGGREGATE SUBBASE				X
BAM & BINDER				X
SIDEWALKS AND CONCRETE PAVEMENT				X
ASPHALT PATCHES				X
LANDSCAPE INSTALLATION				X
6. TEMPORARY SEEDING ON ALL AREAS TO BE EXPOSED LONGER THAN 60 DAYS				X
7. SURFACE PARKING LOTS				X
8. PERMANENT VEGETATIVE STABILIZATION OF EXPOSED AREAS				X
PERMANENT SEEDING				X
SODDING				X
9. PERFORM CONTINUING MAINTENANCE	X	X	X	X

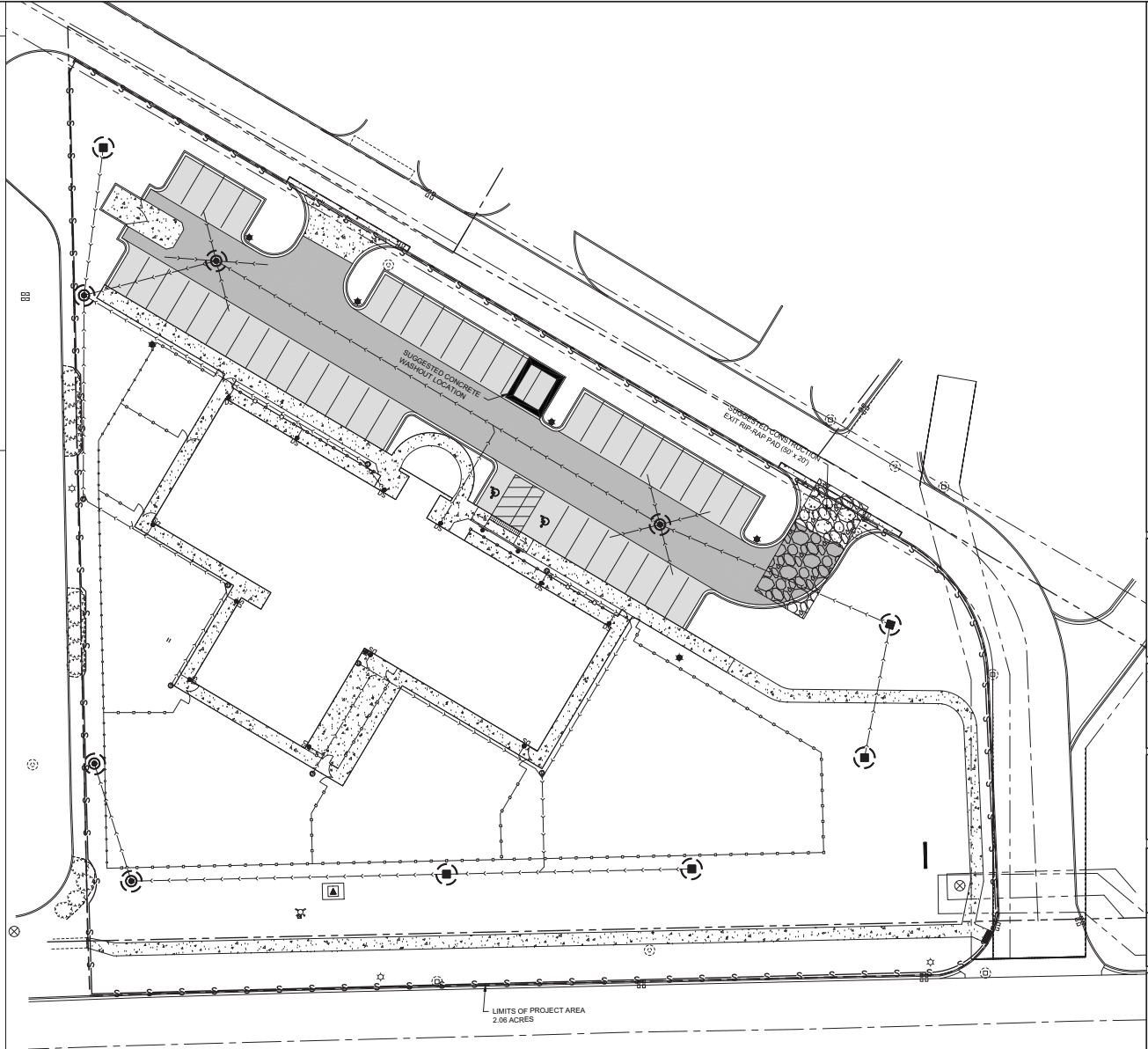
**RESPONSIBLE CONTRACTOR**

	GRADING	UNDERGRADING	PAVING	LANDSCAPE
1. INSTALL SEDIMENT CONTROL DEVICES	X			
STABILIZED CONSTRUCTION ENTRANCE	X			
SILT FENCE	X			
2. GRADE SITE / STOCK PILE TOPSOIL	X			
SILT FENCE (TOPSOIL STOCKPILES & OPEN SPACE SLOPES)	X			
3. INSTALL STORM WATER MANAGEMENT		X		
STORM SEWER EXPLORATORY DIG		X		
INLET PROTECTION		X		
4. TEMPORARY VEGETATIVE STABILIZATION				X
TEMPORARY SEEDING				X
MULCHING				X
5. SITE WORK - CONCRETE WASHOUT AREA				X
CURB & GUTTER & PATCHING				X
AGGREGATE SUBBASE				X
BAM & BINDER				X
SIDEWALKS AND CONCRETE PAVEMENT				X
ASPHALT PATCHES				X
LANDSCAPE INSTALLATION				X
6. TEMPORARY SEEDING ON ALL AREAS TO BE EXPOSED LONGER THAN 60 DAYS				X
7. SURFACE PARKING LOTS				X
8. PERMANENT VEGETATIVE STABILIZATION OF EXPOSED AREAS				X
PERMANENT SEEDING				X
SODDING				X
9. PERFORM CONTINUING MAINTENANCE	X	X	X	X

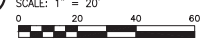


**SHEET LEGEND**

- TEMPORARY SILTATION BASKET
- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE



**1 STORM WATER POLLUTION PREVENTION PLAN**



A New Building For:  
**Primrose School Franchising Company**  
3860 Colchester Road  
Aurora, Georgia 30119  
Construction ©2013  
Primrose School Franchising Company  
All measurements are subject to legal action.



**CASCO**  
10877 WATSON ROAD  
ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

**RME** Rubino & Messa Engineers, Inc.  
200 S. BROADWAY AVE., SUITE 1000  
ST. LOUIS, MO 63102  
(314) 875-6800  
(314) 863-1422 FAX  
Design Firm Registration No. 184-00259

SITE:  
BRICHER ROAD &  
BLACKBERRY DRIVE  
ST. CHARLES, ILLINOIS  
BUILDING TYPE:  
TWO-STORY

Revisions:

DRAWING TITLE:  
**STORMWATER POLLUTION PREVENTION PLAN**

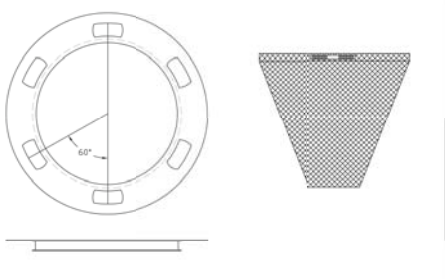
DATE:  
11/01/2016

PROJECT NUMBER:  
916346

DRAWING NUMBER:  
C-500

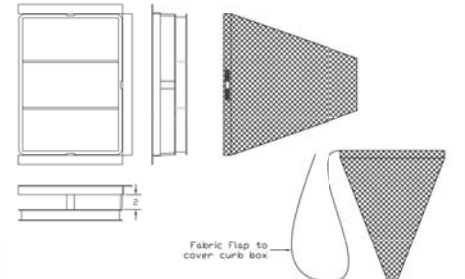
PUD PLANS





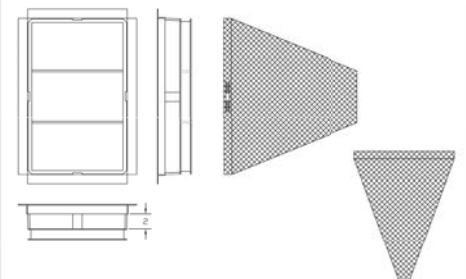
**GENERAL NOTES:**  
 1. FRAME: Top Flange Fabricated From 1 1/2"x1/2"x1/8" angle. Base rim fabricated from 1/2"x1/2"x1/8" channel. Holes and suspension brackets fabricated from 1/2"x1/2"x1/8" flat stock. All steel conforming to ASTM-A36.  
 2. BASKET: 360 Bag fabricated from 4 1/2"x1/2"x1/8" non-woven polypropylene geotextile. Repetitive with separator mesh. Bag secured to base rim with a stainless steel bolt and lock.

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
 1:18 Original  
 Typical Baffle Catch-All  
 Marathon Materials, Inc.



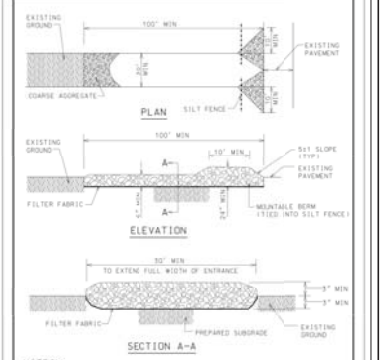
**GENERAL NOTES:**  
 1. FRAME: Top Flange Fabricated From 1 1/2"x1/2"x1/8" angle. Base rim fabricated from 1/2"x1/2"x1/8" channel. Holes and suspension brackets fabricated from 1/2"x1/2"x1/8" flat stock. All steel conforming to ASTM-A36.  
 2. BASKET: 360 Bag fabricated from 4 1/2"x1/2"x1/8" non-woven polypropylene geotextile. Repetitive with separator mesh. Bag secured to base rim with a stainless steel bolt and lock.

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
 1:18 Original  
 Typical Curb Box Catch-All  
 Marathon Materials, Inc.



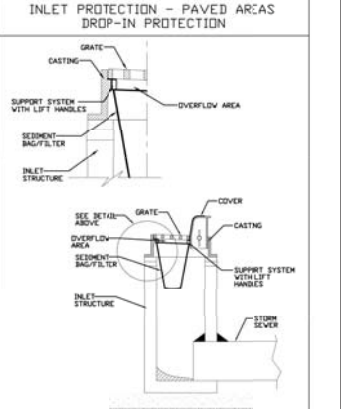
**GENERAL NOTES:**  
 1. FRAME: Top Flange Fabricated From 1 1/2"x1/2"x1/8" angle. Base rim fabricated from 1/2"x1/2"x1/8" channel. Holes and suspension brackets fabricated from 1/2"x1/2"x1/8" flat stock. All steel conforming to ASTM-A36.  
 2. BASKET: 360 Bag fabricated from 4 1/2"x1/2"x1/8" non-woven polypropylene geotextile. Repetitive with separator mesh. Bag secured to base rim with a stainless steel bolt and lock.

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
 1:18 Original  
 Typical Rectangular Catch-All  
 Marathon Materials, Inc.

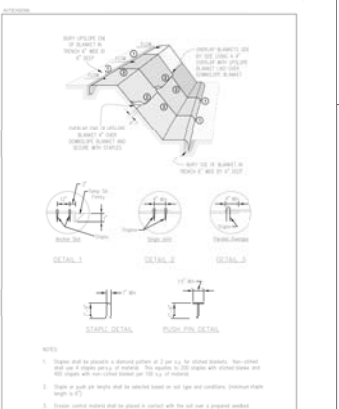


**NOTES:**  
 1. DECTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE CLOSURE AREA PRIOR TO PLACING COARSE AGGREGATE.  
 2. COARSE AGGREGATE OR CRUSHED CONCRETE SHALL MEET SOFT GROUND FOR CALIFORNIA AGGREGATES AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.  
 3. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ONSET OF CONSTRUCTION OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.  
 4. CONSTRUCTION ENTRANCE SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION AND ONLY WHEN INDICATED BY THE CITY.

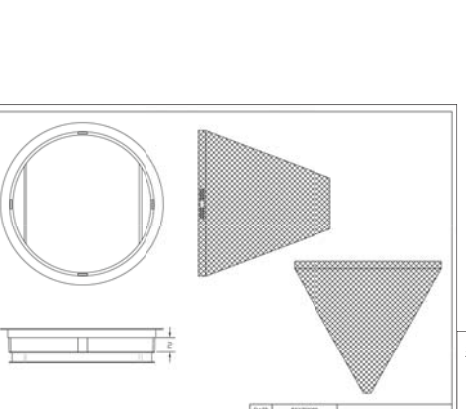
DATE: 5-31-09  
 STABILIZED CONSTRUCTION ENTRANCE DETAIL



DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
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 INLET PROTECTION - PAVED AREAS DROP-IN PROTECTION  
 Marathon Materials, Inc.



DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
 1:18 Original  
 EROSION CONTROL BLANKET INSTALLATION DETAILS  
 Marathon Materials, Inc.



DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
 1:18 Original  
 Typical Round Catch-All  
 Marathon Materials, Inc.

**SEEDING SCHEDULE**

A KENTUCKY BLUEGRASS 135#/ac. MIXED WITH PERENNIAL RYEGRASS 45#/ac. & 2 TONS STRAW MULCH PER ACRE  
 B SPRING OATS 100#/ac.  
 C WHEAT OR CEREAL RYE 150#/ac.  
 D SALT TOLERANT SOD, PER PROJECT SPECIFICATIONS  
 E STRAW MULCH

STABILIZATION	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
DORMANT SEEDING		A									A	
TEMPORARY SEEDING				B				C				
SODDING					D**							
MULCHING												

\* IRRIGATE AS NECESSARY  
 \*\* IRRIGATE AS NECESSARY TO ESTABLISH SOD

**SECTION 8: CERTIFICATION AND NOTICES**

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE MISSOURI PERMIT LAWS, ISSUED BY THE MISSOURI ENVIRONMENTAL PROTECTION AGENCY FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

**OWNER'S CERTIFICATION**  
 I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I HEREBY AFFIRM THAT THERE ARE NO SIGNIFICANT OMISSIONS OR MISSTATEMENTS OF FACTS OR INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPROPERMENT FOR KNOWING VIOLATIONS.

SIGNATURE (OWNER'S REPRESENTATIVE) \_\_\_\_\_ DATE \_\_\_\_\_  
 TITLE \_\_\_\_\_

**CONTRACTOR'S CERTIFICATION**  
 I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT (LAWS) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_  
 COMPANY \_\_\_\_\_ ADDRESS \_\_\_\_\_  
 24 HOUR TELEPHONE NUMBER \_\_\_\_\_ DATE \_\_\_\_\_

**SUB-CONTRACTOR'S CERTIFICATION**  
 I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (GNDES) PERMIT (LAWS) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_  
 COMPANY \_\_\_\_\_ ADDRESS \_\_\_\_\_  
 24 HOUR TELEPHONE NUMBER \_\_\_\_\_ DATE \_\_\_\_\_

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SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_  
 COMPANY \_\_\_\_\_ ADDRESS \_\_\_\_\_  
 24 HOUR TELEPHONE NUMBER \_\_\_\_\_ DATE \_\_\_\_\_

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SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_  
 COMPANY \_\_\_\_\_ ADDRESS \_\_\_\_\_  
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 COMPANY \_\_\_\_\_ ADDRESS \_\_\_\_\_  
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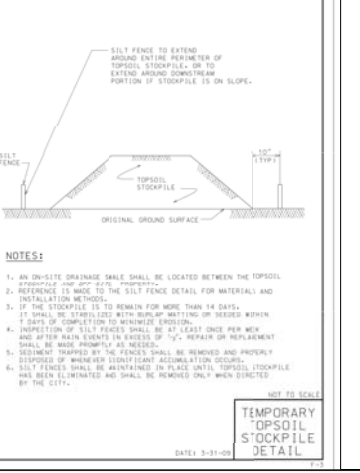
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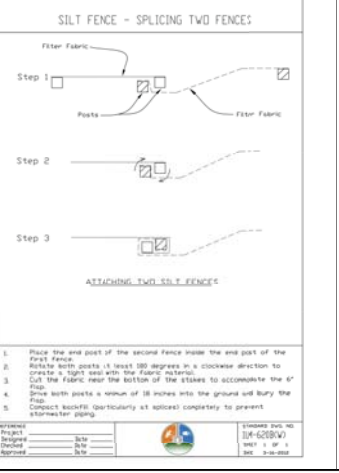
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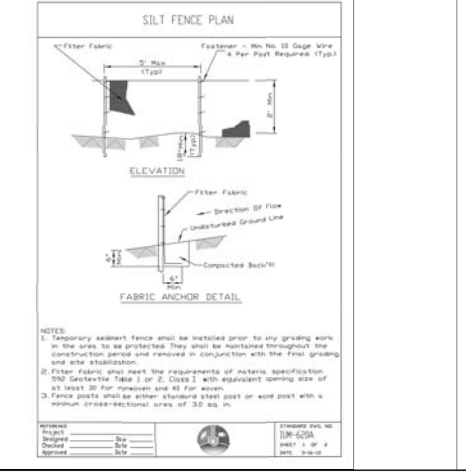
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DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
 1:18 Original  
 SILT FENCE - SLICING TWO FENCES  
 Marathon Materials, Inc.



DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
 1:18 Original  
 ATTACHING TWO SILT FENCES  
 Marathon Materials, Inc.



DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
 1:18 Original  
 SILT FENCE PLAN  
 Marathon Materials, Inc.

A New Building For:  
**Primrose School Franchising Company**  
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3680 Cedarcrest Road  
 Awarren, Georgia 30101  
 Primrose School Franchising Company



**CASCO**  
 10877 WATSON ROAD  
 ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

**R V E** Rubins & Mesa Engineers, Inc.  
 200 S. MICHIGAN AVE., SUITE 1500  
 CHICAGO, IL 60604  
 (312) 874-8660  
 (312) 875-1473 FAX  
 Design Firm Registration No. 194-00020

SITE:  
**BRICHER ROAD & BLACKBERRY DRIVE**

ST. CHARLES, ILLINOIS  
 BUILDING TYPE:  
**TWO-STORY**

Revisions:  
 DRAWING TITLE:  
**STORM WATER POLLUTION PREVENTION DETAILS**

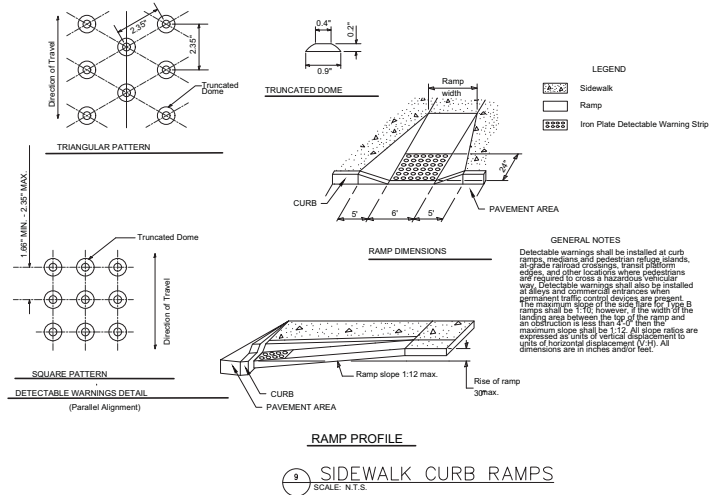
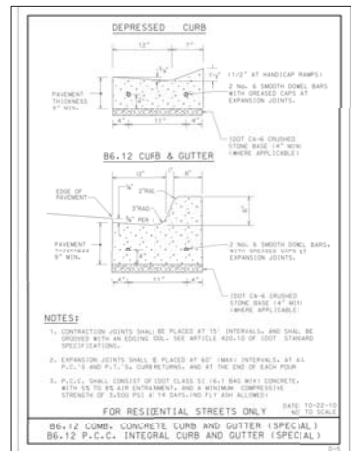
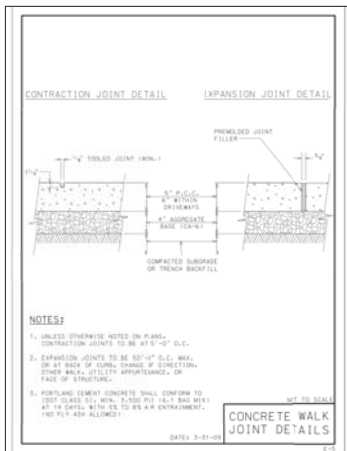
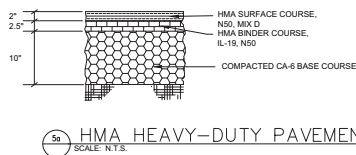
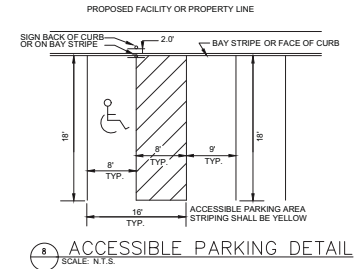
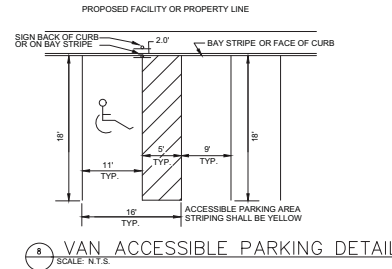
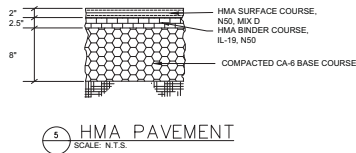
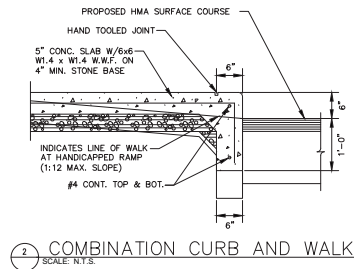
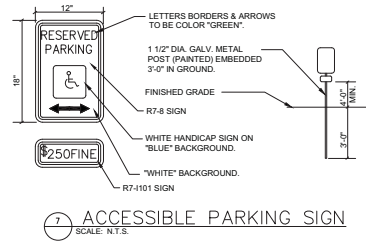
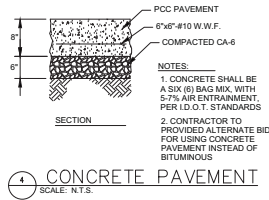
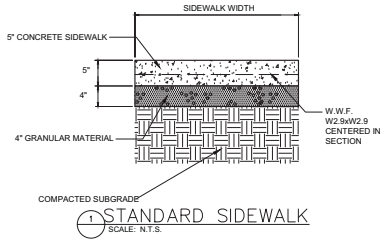
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**11/01/2016**

PROJECT NUMBER:  
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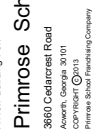
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PUD PLANS

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A New Building For:  
**Primrose School Franchising Company**  
3860 Cedarcrest Road  
Aurora, Georgia 30101  
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Primrose School Franchising Company  
All materials are subject to legal action.



**CASCO**  
10877 WATSON ROAD  
ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

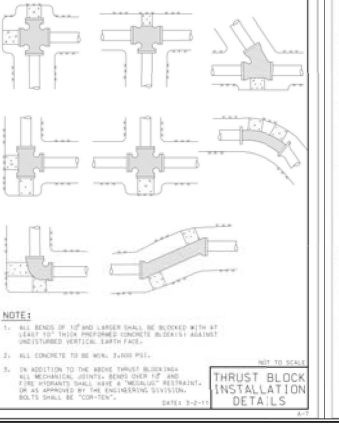
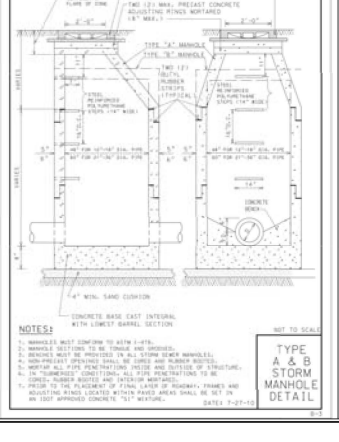
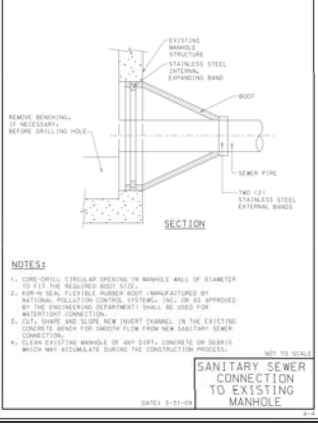
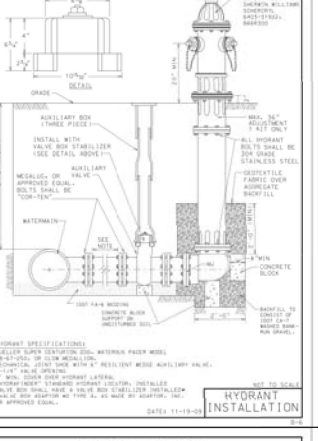
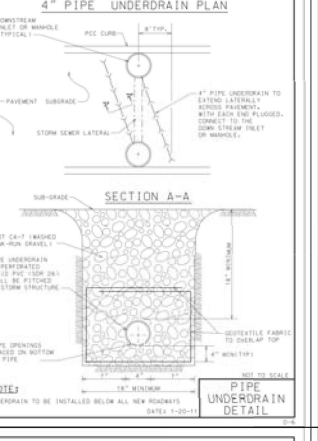
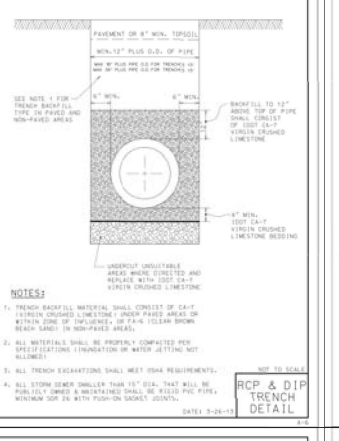
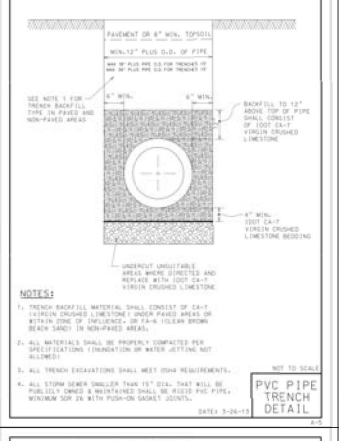
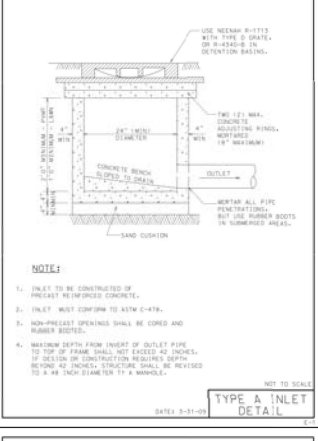
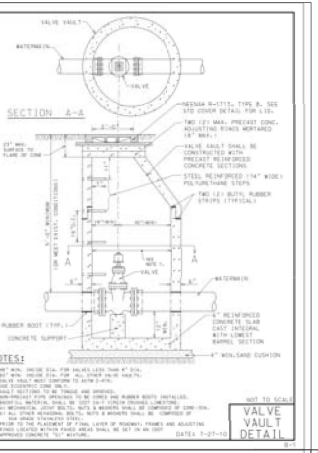
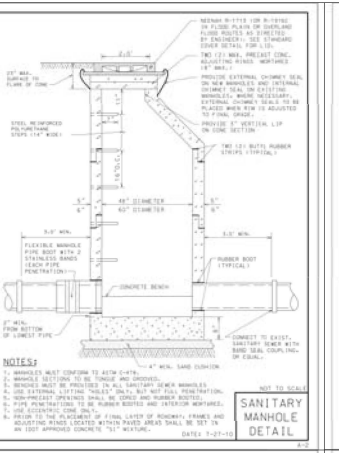
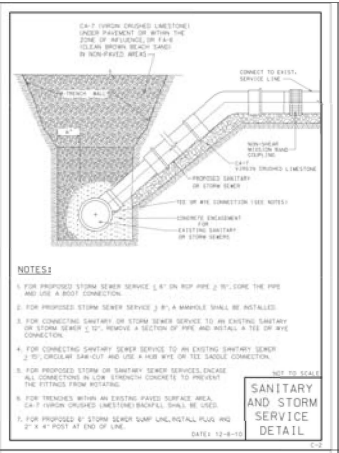
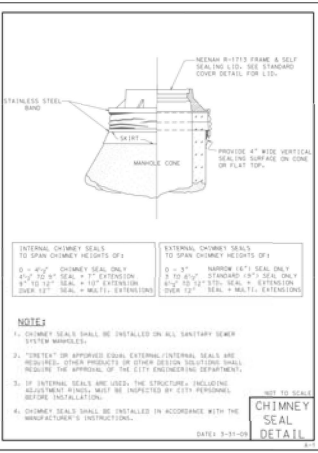
**RME** Rubino & Messa Engineers, Inc.  
202 S. MICHIGAN AVE., SUITE 1900  
CHICAGO, ILLINOIS 60604  
(312) 875-6800  
(312) 863-1523 FAX  
Design Firm Registration No. 184-00059

SITE:  
**BRICHER ROAD & BLACKBERRY DRIVE**  
**ST. CHARLES, ILLINOIS**  
BUILDING TYPE:  
**TWO-STORY**

Revisions:  
**SITE DETAILS**

DATE:  
**11/01/2016**  
PROJECT NUMBER:  
**916346**  
DRAWING NUMBER:  
**C-600**  
PUD PLANS

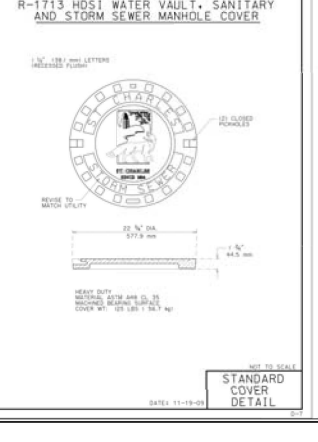




**Minimum Restrainted Lengths (in feet) back from both sides of fitting**

Fitting type/nominal size	4"	6"	8"	10"	12"	16"
90 Degree Bend	11	25	32	38	45	59
45 Degree Bend	1	10	13	16	19	24
22.5 Degree Bend	3	5	6	8	9	12
11.25 Degree Bend	2	2	3	4	4	6
Dead End	59	75	87	100	124	
Top Slope Vertical Offset + 1/8 Degree	16	23	26	29	33	35
Bottom Slope Vertical Offset + 1/8 Degree	4	6	8	10	11	15
Tee Run x Branch ***	6"	11				
Tee Run x Branch **	8"	1	3	5	5	
Tee Run x Branch **	10"	1	1	2	4	
Tee Run x Branch **	12"	1	1	1	1	65
Tee Run x Branch **	16"	1	1	1	1	95
Reducer ***	6"	28				
Reducer ***	8"	6	30			
Reducer ***	10"	7	34	29		
Reducer ***	12"	8	35	55	51	
Reducer ***	16"	12	113	97	94	54

DATE: 3-31-10



**Primrose School Franchising Company**  
 A New Building For:  
 3800 Colchester Road  
 Awarren, Georgia 30191  
 (770) 962-3300  
 www.primroseschoolfranchising.com

**CASCO**  
 10877 WATSON ROAD  
 ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

**RME**  
 Rubino & Messa Engineers, Inc.  
 200 S. MICHIGAN AVE., SUITE 1900  
 ST. LOUIS, MO 63102  
 (314) 875-6800  
 (314) 863-4224 FAX  
 Design Firm Registration No. 184-00029

**ST. CHARLES, ILLINOIS**  
 BUILDING TYPE:  
 TWO-STORY

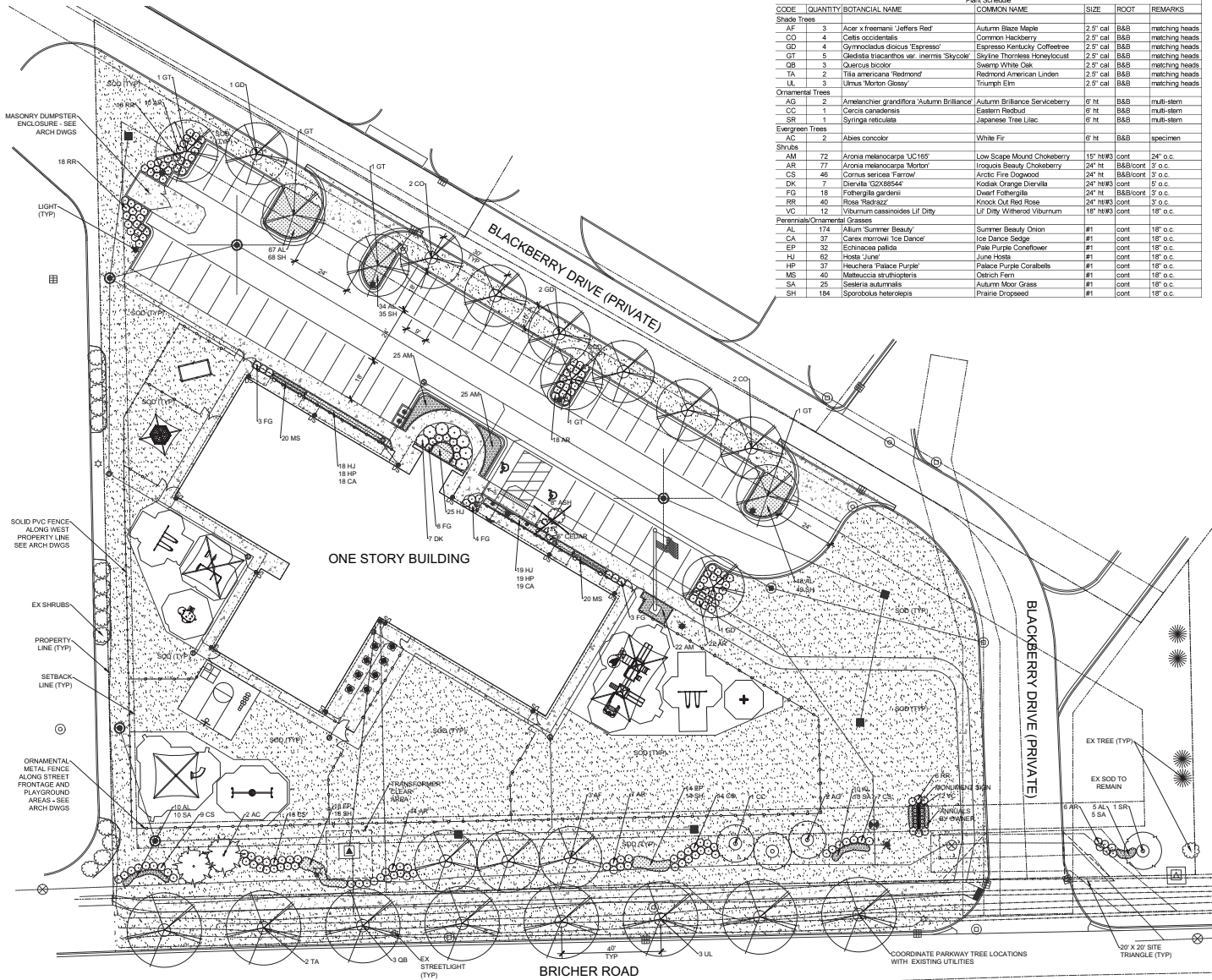
Revisions:  
 DRAWING TITLE:  
**CIVIL DETAILS**

DATE:  
 11/01/2016

PROJECT NUMBER:  
 916346

DRAWING NUMBER:  
**C-601**

PUD PLANS



Plant Schedule						
CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>Shade Trees</b>						
AF	3	Acer x freemanii 'Jeffers Red'	Autumn Blaze Maple	2 1/2' cal	B&B	matching heads
CO	4	Celtis occidentalis	Common Hackberry	2 1/2' cal	B&B	matching heads
GD	4	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	2 1/2' cal	B&B	matching heads
GT	5	Castanea bicolor var. inermis 'Skycol'	Skyline Thornless Honeylocust	2 1/2' cal	B&B	matching heads
QB	3	Quercus bicolor	Swamp White Oak	2 1/2' cal	B&B	matching heads
TA	2	Tilia americana 'Redmond'	Redmond American Linden	2 1/2' cal	B&B	matching heads
UL	3	Ulmus 'Morton Glassy'	Trumpet Elm	2 1/2' cal	B&B	matching heads
<b>Ornamental Trees</b>						
AG	2	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' ht	B&B	multi-stem
CC	1	Cercis canadensis	Eastern Redbud	6' ht	B&B	multi-stem
SR	1	Syringa reticulata	Japanese Tree Lilac	6' ht	B&B	multi-stem
<b>Evergreen Trees</b>						
AC	2	Abies concolor	White Fir	6' ht	B&B	specimen
<b>Shrubs</b>						
AM	72	Aronia melanocarpa UC165	Low Scape Mound Chokeberry	15" ht/8S	cont	24" o.c.
AR	77	Aronia melanocarpa 'Morton'	Ironwood Beauty Chokeberry	24" ht	B&B/cont	3' o.c.
CS	46	Cornus sericea 'Fano'	Arctic Fire Dogwood	24" ht	B&B/cont	3' o.c.
DK	7	Dienella G2X88544	Kodak Orange Dienella	24" ht	cont	5' o.c.
FG	18	Fothergilla gardenii	Dwarf Fothergilla	24" ht	B&B/cont	3' o.c.
RR	40	Rosa 'Radrazz'	Knock Out Red Rose	24" ht/8S	cont	3' o.c.
VC	12	Viburnum cassinoides 'Lil Ditty'	Lil Ditty Withered Viburnum	18" ht/8S	cont	18" o.c.
<b>Perennials/Ornamental Grasses</b>						
AL	174	Alum Summer Beauty	Summer Beauty Onion	#1	cont	18" o.c.
CA	37	Carex morrowii 'Ice Dance'	Ice Dance Sedge	#1	cont	18" o.c.
EP	32	Echinacea pallida	Pink Purple Coneflower	#1	cont	18" o.c.
HJ	62	Hosta June	June Hosta	#1	cont	18" o.c.
HP	37	Heuchera 'Palace Purple'	Palace Purple Coralbells	#1	cont	18" o.c.
MS	40	Mastigella stultipetris	Delich Fern	#1	cont	18" o.c.
SA	25	Saxifraga autumnalis	Autumn Moor Grass	#1	cont	18" o.c.
SH	184	Sporobolus heterostachys	Prairie Dropseed	#1	cont	18" o.c.

**General Landscape Calculations**

Total Lot Area: 97,299sf  
 Required Landscaped Area: 97,299 x 15% = 14,595sf  
 Actual Landscaped Area: 46,145sf

Total Public Street Frontage: 430ft  
 Required Shade/Ornamental/Evergreen Trees: 430/50 = 9  
 Actual Trees: 9  
 Required Frontage Landscape: 436 x 75% = 327ft  
 Actual Frontage Landscape: 333 ft

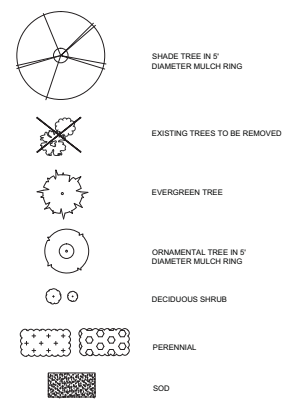
**Interior Parking Lot Calculations**

45' Space Parking Lot w/2 accessible spaces: 21,022sf  
 Total Interior Parking Lot Area: 21,022 x 10% = 2,102sf  
 Required Internal Landscaped Area: 4277sf  
 Actual Landscaped Area: 4277sf  
 Required Internal Shade Tree Planting: 2102/160 + 13  
 Actual Shade Tree Planting: 13

**Foundation Planting Calculations**

Total dimension of building walls: 586ft  
 Horizontal dimension of front building wall: 174ft  
 Required Landscaped Area: 174 x 75% = 131ft  
 Actual Landscaped Area: 130ft  
 Horizontal dimension of remaining building walls: 412ft  
 Required Landscaped Area: 412 x 50% = 206  
 Actual Landscaped Area: 0

**LEGEND**



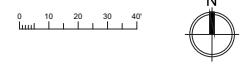
**GENERAL NOTES:**

1. COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES FOR ALL WORK AND OPERATIONS.
2. KEEP ALL AREAS CLEAN, NEAT AND ORDERLY AT ALL TIMES. CLEAR OF RUBBISH AND DEBRIS. LEGALLY DISPOSE OF ALL MATERIALS REMOVED FROM THE SITE.
3. DO NOT INTERFERE WITH USE OF ADJACENT PROPERTIES INCLUDING BUT NOT LIMITED TO BUILDINGS, PARKING LOTS, STREETS OR ALLEYS.
4. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, FENCING, FURNISHINGS AND PLANTINGS. TREES AND LAWNS FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS, AND OTHER HAZARDS CREATED BY SITE IMPROVEMENTS. IF ANY DAMAGE OCCURS, REPAIR TO ORIGINAL CONDITION AT NO ADDITIONAL COST.
5. PROTECT AND/OR RESTORE EXISTING LAWN TO EXCELLENT CONDITION WITH TOPSOIL AND SOIL.
6. VERIFY SITE CONDITIONS BEFORE PROCEEDING WITH WORK AND REPORT ANY CONFLICT TO ADR.
7. VERIFY DIMENSIONS IN FIELD.
8. COORDINATE WORK WITH ALL OTHER TRADES.

**LANDSCAPE NOTES:**

1. FOR PLAYGROUND SURFACING AND FENCING, SEE ARCHITECTURAL DRAWINGS.
2. ALL PLANT BEDS AND TREE RINGS TO RECEIVE 2"-3" DEPTH SHREDDED HARDWOOD BARK MULCH.
3. ALL DEVIATIONS FROM THIS PLAN, INCLUDING THOSE DEEMED NECESSARY BY OBSERVED FIELD CONDITIONS AT TIME OF PLANTING, MUST BE APPROVED BY THE CITY OF ST. CHARLES.
4. WHEN MULTIPLE PLANT TYPES ARE SHOWN IN A SINGLE PLANTING BED, ALTERNATE SPECIES EQUALLY IN TYPICAL TRIANGULATED SPACING.
5. CONTRACTOR TO PROVIDE A DESIGN-BUILD IRRIGATION SYSTEM, SEE SPECIFICATIONS.

**1 LANDSCAPE PLAN**  
1"=20'-0"



A New Building For:  
**Primrose School Franchising Company**  
 3600 Cedarcrest Road  
 Awarren, Georgia 30101  
 Primrose School Franchising Company  
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**CASCO**  
 10877 WATSON ROAD  
 ST. LOUIS, MO 63127  
**PROJECT MANAGERS**

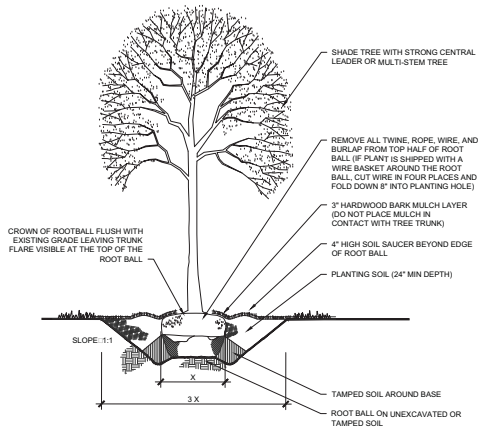
**R M E** Rubin & Meira Engineers, Inc.  
 200 S. MICHIGAN AVE., SUITE 1000  
 CHICAGO, IL 60604  
 (312) 870-8600  
 (312) 865-1473 FAX  
 Design Firm Registration No. 184-002029

**Juli Ordover**  
 2542 North Jensen Ave #3  
 Chicago, IL 60647  
 312.328.2222  
 www.juliordover.com

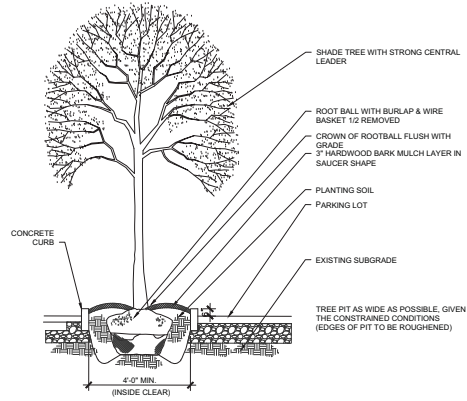
SITE:  
**BRICHER ROAD & BLACKBERRY DRIVE**  
 ST. CHARLES, ILLINOIS  
 BUILDING TYPE:  
**ONE-STORY**  
 Revision:

DRAWING TITLE:  
**LANDSCAPE PLAN**

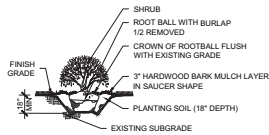
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**916346**  
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**L-100**  
 PUD PLANS



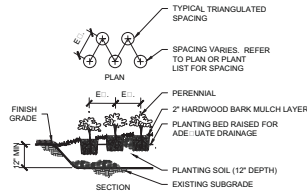
1 TREE PLANTING DETAIL  
NTS



2 TREE IN PLANTING ISLAND DETAIL  
NTS



3 SHRUB PLANTING DETAIL  
NTS



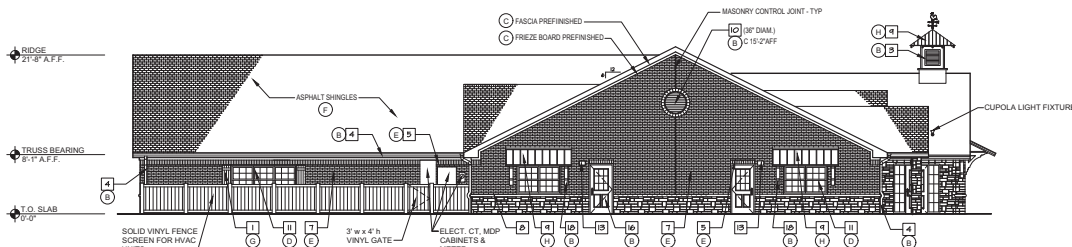
4 PERENNIAL PLANTING DETAIL  
NTS

### GENERAL PLANTING NOTES

1. DETERMINE EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES AND VERIFY IN FIELD. REPORT ANY CONFLICTS TO ARCHITECT OF RECORD (AOR) PRIOR TO BEGINNING WORK.
2. INFORM AOR AS EACH PHASE OF WORK IS UNDERTAKEN.
3. PROTECT EXISTING VEGETATION INCLUDING ALL EXISTING PARKWAY AND INTERIOR TREES. REPLACE DAMAGED VEGETATION WITH APPROVED SIMILAR MATERIAL.
4. MAINTAIN SITE DRAINAGE DURING LANDSCAPE INSTALLATION.
5. SLOPE ALL PLANTING AREAS AWAY FROM BUILDING AT 2% MINIMUM GRADE UNLESS NOTED OTHERWISE (UNO).
6. PRIOR TO LANDSCAPE INSTALLATION, VERIFY PLANTING AREAS ARE GRADED AT +0.1 FOOT TO FINISH GRADE.
7. IN LANDSCAPE AREAS, FINISH GRADE TO 4" MINIMUM BELOW ADJACENT BUILDING FINISH FLOOR ELEVATION UNO.
8. FINISH GRADE TO 1" BELOW FINISH PAVING SURFACE IN LAWN AREAS AND 2" BELOW IN PLANTING AREAS.
9. CONFIRM ALL PLANT QUANTITIES. PROVIDE PLANT MATERIALS SUFFICIENT TO COVER AREAS SHOWN ON PLANS AT THE SPACINGS INDICATED.
10. PROVIDE SINGLE TRUNK STANDARD TREES UNO.
11. PROVIDE IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE. PROTECT ALL PLANTS AGAINST HEAT, SUN, WIND AND FROST DURING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT STORE PLANTS IN TOTAL DARKNESS MORE THAN ONE DAY.
12. DO NOT DAMAGE PLANT ROOT BALL DURING TRANSPORTATION OR PLANTING.
13. NOTIFY THE AOR AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION.
14. AOR RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING.
15. REMOVE ALL ROCK AND DEBRIS 1" AND LARGER FROM PLANTING AREAS. LEGALLY DISPOSE ALL EXCESS MATERIALS RESULTING FROM THE WORK.
16. IN PLANTING SOIL PIT, REMOVE CRUSHED AGGREGATE TO AN ADEQUATE DEPTH TO ENSURE THAT NO PART OF THE PLANT MATERIAL IS IN CONTACT OR AFFECTED BY THE LIME OR LIMESTONE IN THE AGGREGATE.
17. PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE AND NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY, CLAY LUMPS, BRUSH, WEEDS, AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 1" IN ANY DIMENSION AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT NECESSARY FOR VIGOROUS GROWTH OF SPECIFIED PLANTINGS. OBTAIN TOPSOIL THAT OCCURS IN A DEPTH OF NOT LESS THAN 6". DO NOT OBTAIN SOIL FROM BOGS OR MARSHES.
18. MIX SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL ON A SITE SPECIFIC BASIS AT RATES APPROPRIATE FOR PLANTINGS IN ACCORDANCE WITH SOIL TESTS.
19. STAKE LOCATION OF ALL TREES, HEDGE LINES AND PLANTING BEDS AND NOTIFY AOR FOR REVIEW PRIOR TO PLANTING.
20. THE PLANTING PLANS ARE DIAGRAMMATIC. SPOT PLANT MATERIALS APPROXIMATELY AS SHOWN ON THE LANDSCAPE DRAWING AND NOTIFY AOR FOR REVIEW BEFORE REMOVING FROM CONTAINERS.
21. INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS.
22. REMOVE ALL PLANT TYING MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
23. INSTALL A MIN 3" LAYER OF HARDWOOD BARK MULCH AROUND ALL TREES AND IN ALL PLANTING AREAS UNO. CREATE A NATURAL SPADED EDGE WHERE PLANTING BEDS MEET TURF AREAS.
24. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST TWENTY-FOUR HOUR PERIOD OF PLANTING.
25. CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
26. PRUNE ALL DECIDUOUS SHADE TREES FOR A MINIMUM LOWEST BRANCH HEIGHT OF 7 FEET UNO.
27. INSTALL AND MAINTAIN SOD TO PREVENT EVIDENT SEAMS.
28. PROTECT SEEDED AREAS AND SLOPES AGAINST EROSION AND SEED LOSS DUE TO BIRDS AND OTHER WILDLIFE BY APPLYING SHORT TERM, BIODEGRADABLE EROSION CONTROL, BLANKETS, MATS, AND/OR NETTING AFTER COMPLETION OF SEEDING OPERATIONS. ADHERE TO MANUFACTURER'S SPECIFICATIONS FOR REINFORCEMENT PLACEMENT AND STAKING.
29. WARRANTY ALL PLANTS AND LAWN FOR ONE YEAR AFTER FINAL ACCEPTANCE. REPLACE ANY PLANTS OR LAWN EXPERIENCING DEATH AND DEFECTS INCLUDING UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS OR UNUSUAL PHENOMENON OR INCIDENTS WHICH ARE BEYOND CONTROL.

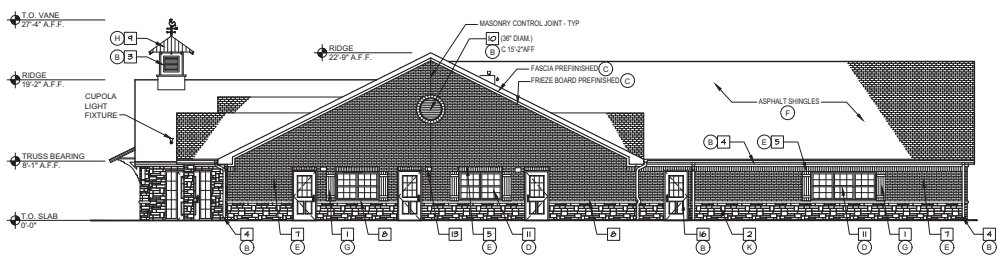




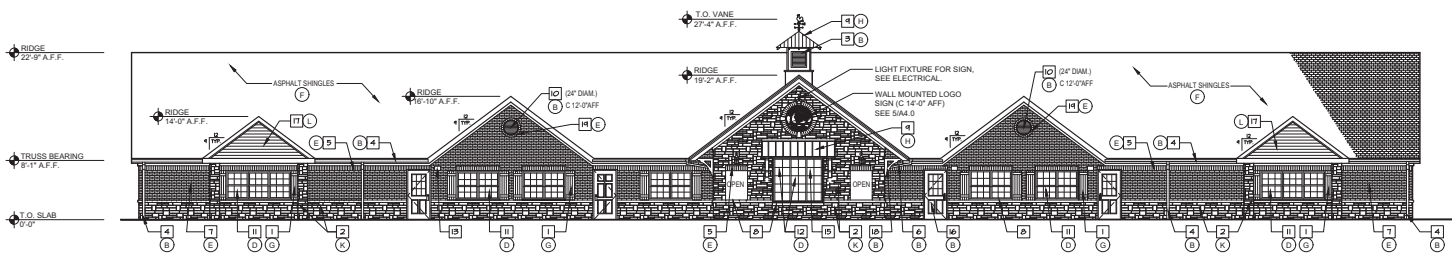


**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**Architectural Feature Calculations**  
Calculations include: Cupola, Frieze, Solid Course, Louvered Vent, Shutters, Windows, Doors, Sill/Wainscot, Awnings.  
Overall SF of Facade = 1,774 SF  
Required Coverage = 637 SF  
Actual Coverage = 642 SF

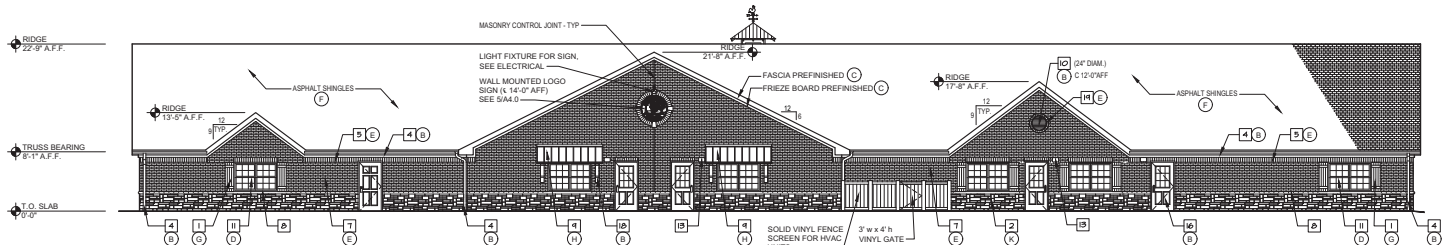


**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**Architectural Feature Calculations**  
Calculations include: Awning, Cupola, Frieze, Solid Course, Louvered Vent, Wall Sign, Shutters, Windows, Doors, Sill/Wainscot, Porches.  
Overall SF of Facade = 1,739 SF  
Required Coverage = 870 SF  
Actual Coverage = 1,137 SF



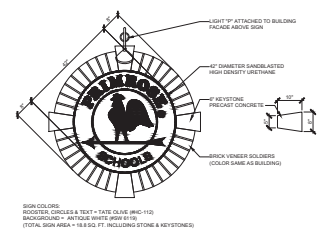
**4 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**Architectural Feature Calculations**  
Calculations include: Frieze, Solid Course, Wall Sign, Shutters, Windows, Doors, Sill/Wainscot, Awnings.  
Overall SF of Facade = 1,820 SF  
Required Coverage = 910 SF  
Actual Coverage = 919 SF

- KEYED NOTES:**
- VINYL SHUTTERS-SEE WINDOW SCHEDULE FOR SIZES.
  - STONE. SEE EXTERIOR COLOR FOR MANUFACTURER.
  - CUPOLA WITH WEATHER VANE. SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA WALLS AND LOUVERS FOR EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
  - EXTRUDED ALUMINUM 6" WIDE GUTTERS WITH SPIKE AND FERRULE AT 30" O.C. JOGE PROFILE. CONNECT 4" DIA. DOWNSPOUTS TO UNDER GROUND STORM SYSTEM.
  - BRICK SOLDIER COURSE
  - EXTRUDED ALUMINUM 3" PIA DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
  - BRICK VENEER
  - ROUNDED PRECAST SILL - NATURAL WHITE COLOR
  - STANDING SEAM ROOF ON METAL FRAME
  - 24" OR 36" DIAMETER VENT LOUVERS. PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. SIZE AND HEIGHT AS SHOWN ON DRAWINGS.
  - ALUMINUM SINGLE HUNG WINDOWS WITH CLEAR GLASS. (SEE ELEV. SHEET A2.1)
  - FIXED ALUMINUM WINDOWS WITH TINTED GLASS. (SEE ELEVATIONS SHEET A2.1)
  - WALL MOUNTED LIGHT FIXTURE. TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. FLUSH TOP TO BOTTOM OF SOFFIT OR 80" MIN AFG.
  - STOP BALLNOSE SILL AS REQUIRED TO ALLOW SPACE FOR ELECTRICAL SWITCHGEAR.
  - 6" REFLECTORIZED ADDRESS NUMBERS - 6" BLACK
  - H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE
  - HARDIE PLANK LAP SIDING
  - "TYFON" PVC BRACKET. PAINTED
  - BRICK ROWLOCK COURSE

**EXTERIOR COLOR SCHEDULE**

1 TRASH ENCLOSURE GATES (POST & HINGES) & SHUTTERS	#8M HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
2 EXTERIOR WD. TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND AND DOWNSPOUTS, SOFFITS, BRACKETS	TO MATCH HARDIE TRIM SANDSTONE BEIGE #80-20 (8M HC-82 & SW SW 6157)
3 EXTERIOR FASCIA, FRIEZE	SANDSTONE BEIGE #80-20 (8M HC-82 & SW SW 6157)
4 WINDOWS	BEIGE OR ALMOND ALUMINUM/VINYL
5 BRICK VENEER	BORAL CONCORD MODULAR GROUT: BUFF COLORED MORTAR
6 ASPHALT SHINGLES:	MANUF. GAF STYLE: TIMBERLINE NATURAL SHADOW/LIFETIME WARRANTY COLOR: WEATHERED WOOD SE
NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOF COLOR	
7 VINYL SHUTTERS	#8MHC112TATEOLIVE 1"4" JOINED SHUTTERS #NSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PRESFINISHED #80 FOREST GREEN
8 STANDING SEAM ROOF:	ASP SPAN SPANSEAM 12" COLOR = DARK BRONZE
9 STEEL AWNING SUPPORTS:	#8M HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
10 STONE:	LONESTAR STONE, LIBERTY CLASSIC, AUTUMN GROUT: BUFF COLORED MORTAR
11 HARDIEPLANK LAP SIDING:	SANDSTONE BEIGE SELECT CEDARMILL



**5 WALL MOUNT SIGN**  
SCALE: 1/2" = 1'-0"

**Proposed Building For:**  
**Primrose School Franchising Company**  
 3860 Cedarcrest Road  
 Awarth, Georgia 30101  
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 Primrose School Franchising Company



  
**CASCO**  
 10877 WATSON ROAD  
 ST. LOUIS, MO 63127  
 PROJECT MANAGERS

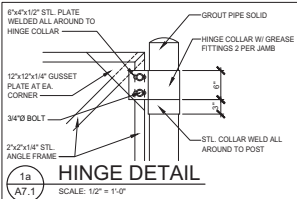
SITE:  
 BRICHER RD. & BLACKBERRY DR.  
  
 ST. CHARLES, IL  
 BUILDING TYPE:  
 2016 MM - L

DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

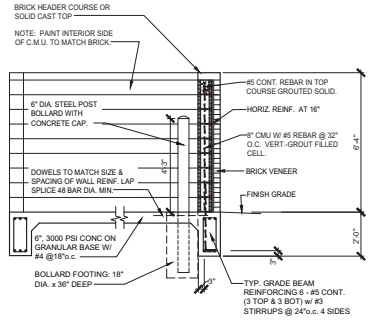
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 DRAWING NUMBER:

**A4.0**

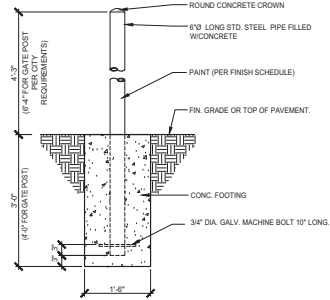




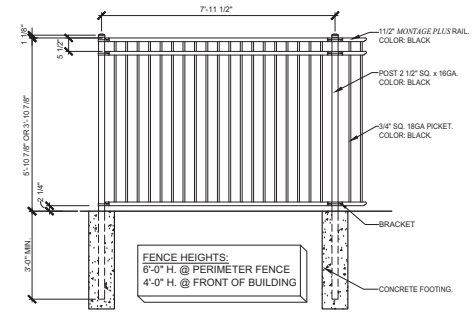
1A  
A7.1  
SCALE: 1/2" = 1'-0"



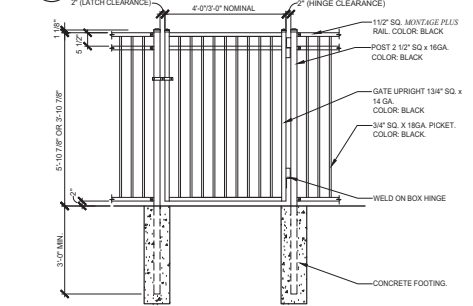
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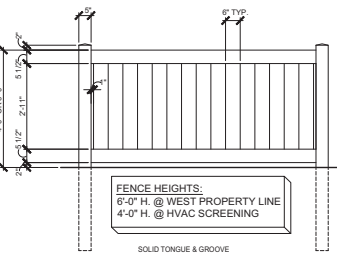
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5  
A7.1  
SCALE: 1/2" = 1'-0"



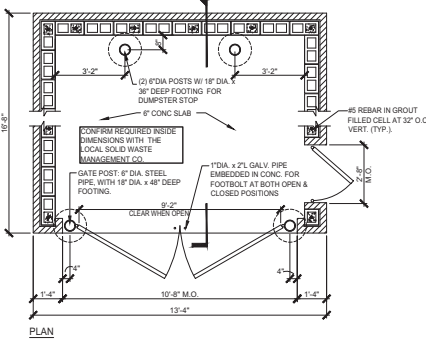
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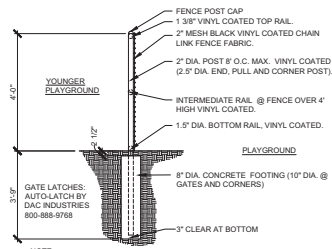
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**GEN. NOTES**

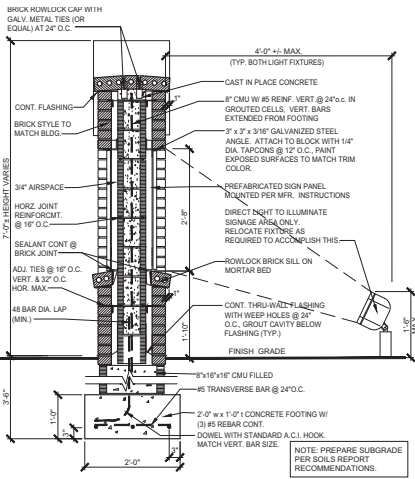
- 1) 6" DIA STEEL POSTS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
- 2) BRICK COLOR TO MATCH THE BRICK ON THE BUILDING, U.N.O.
- 3) PAINT DUMPSTER GATE, POST, HINGES AND ACCESSORIES AS SPECIFIED ON "EXTERIOR FINISH SCHEDULE".



PLAN

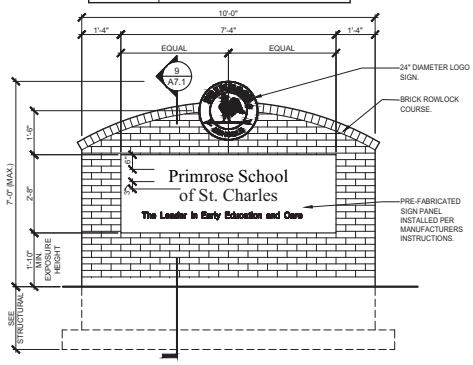


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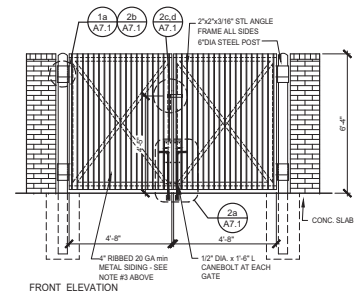


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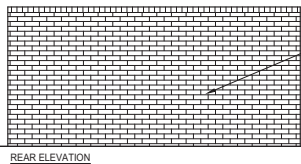
MONUMENT SIGN SPECIFICATIONS:	
LOGO	2 1/2" DIAMETER SANDBLASTED. COLOR: TATE OLIVE OVER BEIGE BACKGROUND.
LETTERS	DARK BRONZE, 5" HIGH. STYLE: TIMES BOLD.
STRIP LETTERS	DARK BRONZE, 2 1/2" HIGH. STYLE: TIMES BOLD.
BACKGROUND	PAINTED METAL. COLOR: BEIGE.
BRICK	BRICK COLOR TO MATCH MAIN BUILDING.
MONUMENT SIGN AREAS:	
SIGN (COPY AREA)	2'-8" H. x 7'-4" W. = 19.5 SQ. FT.
LOGO	2'-0" DIAMETER = 3.1 SQ. FT.
OVERALL	22.6 SQ. FT. x 2 SIDES = 45.2 SQ. FT.



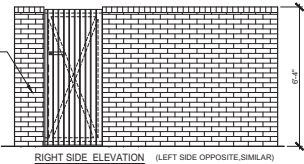
8  
A7.1  
SCALE: 1/2" = 1'-0"



FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION (LEFT SIDE OPPOSITE, SIMILAR)

1  
A7.1  
SCALE: 3/8" = 1'-0"

Proposed Building For:  
**Primrose School Franchising Company**  
3880 Cedarcrest Road  
Aurora, Georgia 30101  
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Primrose School Franchising Company



**CASCO**  
10877 WATSON ROAD  
ST. LOUIS, MO 63127  
PROJECT MANAGERS

SITE:  
BRICHER RD. &  
BLACKBERRY DR.

ST. CHARLES, IL  
BUILDING TYPE:  
2016 MM - L

DRAWING TITLE:  
**SITE DETAILS**

DATE:  
10/28/16

PROJECT NUMBER:  
916346

DRAWING NUMBER:

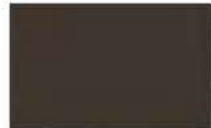
**A7.1**



**BUILDING ELEVATION**

**CONSTRUCTION NOTES:** □

- 1 VINYL SHUTTERS- SEE WINDOW SCHEDULE FOR SIZES.
- 2 STONE. SEE EXTERIOR COLORS FOR MANUFACTURER.
- 3 CUPOLA WITH WEATHER VANE. PAINT CUPOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
- 4 EXTRUDED ALUMINUM 5" WIDE GUTTERS WITH SPIKE & FERRILE AT 36" O.C. OGEE PROFILE. CONNECT 4" DIA. DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
- 5 BRICK SOLDIER COURSE.
- 6 EXTRUDED ALUMINUM 3" WIDE DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
- 7 BRICK VENEER.
- 8 ROUNDED PRECAST SILL - NATURAL WHITE COLOR.
- 9 STANDING SEAM ROOF ON METAL FRAME.
- 10 22" OR 36" DIAMETER VENT LOUVERS. PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. SIZE AND HEIGHT AS SHOWN ON ELEVATIONS.
- 11 ALUMINUM SINGLE HUNG WINDOWS WITH CLEAR GLASS.
- 12 FIXED ALUMINUM WINDOWS WITH TINTED GLASS.
- 13 WALL MOUNTED LIGHT FIXTURE. TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. FLUSH TOP TO BOTTOM OF SOFFIT OR 80" MIN AFG.
- 14 STOP BULLNOSE SILL AS REQUIRED TO ALLOW SPACE FOR ELECTRICAL SWITCHGEAR.
- 15 6" REFLECTORIZED ADDRESS NUMBERS - 6" BLACK.
- 16 H.M. INSULATED EXTERIOR DOOR AND FRAME.
- 17 HARDIE PLANK LAP SIDING



STANDING SEAM ROOF & SUPPORTS



BRICK



STONE



SIDING



PAINT - TATE OLIVE



SANDSTONE BEIGE - TRIM



SHINGLES:



WINDOW-SHUTTERS-SILL

**EXTERIOR COLOR SCHEDULE**

DUMPSTER GATES (POST & HINGES)	#BM HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
EXTERIOR WD, TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND DOWNSPOUTS, SOFFITS	TO MATCH HARDIE TRIM SANDSTONE BEIGE JH30-20 (BM HC-82 OR SW SW-6157)
EXTERIOR HARDIE TRIM, FASCIA, FRIEZE	SANDSTONE BEIGE JH30-20 (BM HC-82 OR SW SW-6157)
WINDOWS	BEIGE OR ALMOND ALUMINUM/VINYL
BRICK:	BORAL BRICK MOUNT VERNON MODULAR OR APPROVED EQUAL. GROUT: BUFF COLORED MORTAR WITH CONCAVE JOINTS
STONE:	LONESTAR STONE - LIBERTY CLASSIC - AUTUMN GROUT: BUFF COLORED MORTAR
ASPHALT SHINGLES:	MANUF: GAF STYLE: TIMBERLINE SERIES, T-30 WITH 'SHADOW ACCENT' COLOR: WEATHERED WOOD
NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOF COLOR.	
VINYL SHUTTERS:	ARCHITECTURALDEPOT.COM - 14" JOINED SHUTTERS W/INSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED #282 COLONIAL GREEN
STANDING SEAM ROOF:	AEP-SPAN DARKSEAM - 12" COLOR: DARK BRONZE
STEEL AWNING SUPPORTS & WOOD BRACKETS:	#BM HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
HARDIE PLANK LAP SIDING SELECT CEDARMILL	COLOR: SANDSTONE BEIGE

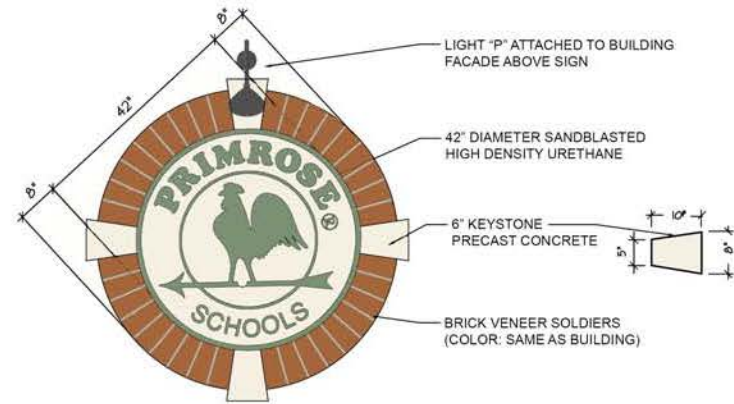
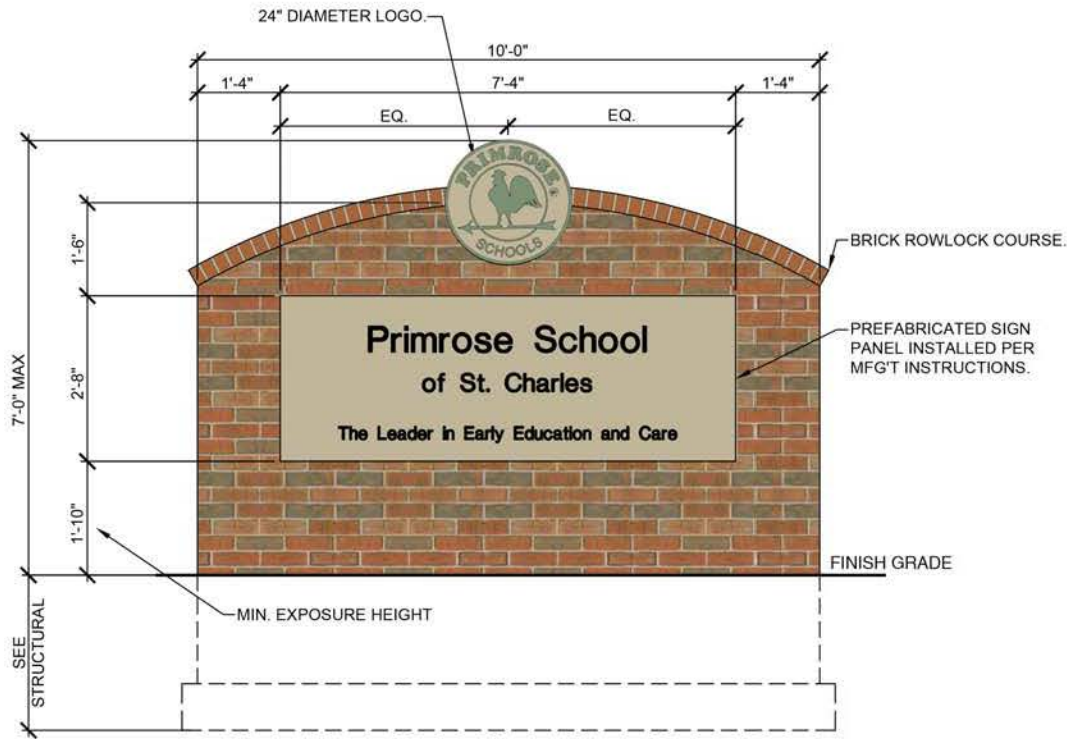


PROPOSED BUILDING FOR:  
**PRIMROSE SCHOOL**  
**FRANCHISING COMPANY**  
 3660 CEDARCREST ROAD  
 ACWORTH, GEORGIA 30101

**PRIMROSE SCHOOL**  
 BRICHER ROAD AND BLACKBERRY DRIVE  
 ST. CHARLES, IL 60174  
 08/23/16



Diversified Corporation  
 10877 WATSON ROAD  
 ST. LOUIS, MO 63127



SIGN COLORS:  
 ROOSTER, CIRCLES & TEXT = TATE OLIVE (#HC-112)  
 BACKGROUND = ANTIQUE WHITE (#SW 6119)  
 (TOTAL SIGN AREA = 18.8 SQ. FT. INCLUDING STONE AND KEYSTONES)

**WALL MOUNTED LOGO SIGN  
 (NORTH/SOUTH ELEVATIONS)**

**SIGN SPECIFICATIONS:**

LOGO	24" DIAMETER SANDBLASTER - TATE OLIVE ON BEIGE BACKGROUND
LETTERS	DARK BRONZE 5" AND 3.5" HIGH, STYLE: TIMES BOLD
STRIP LETTERS (THE LEADER IN...)	2.5" HIGH, STYLE: TIMES BOLD DARK BRONZE LETTERS
BACKGROUND	PAINTED METAL. COLOR: BEIGE
BRICK SPECIFICATION	SAME AS BUILDING

**SIGN AREAS (ONE SIDE)**

SIGNAGE (COPY AREA) = 2'-8" H. X 7'-4" W. = 19 S.F.
LOGO - 2'-0" DIA = 3.14 S.F.
OVERALL STRUCTURE = 22.14 S.F. X 2 = 44.28 S.F.

NOTE:  
 TOTAL SIGN LETTERING COST SHOULD INCLUDE LETTERING, (LETTERING FOR BOTH SIDES OF SIGN) TAX, SHIPPING COSTS, MOUNTING TEMPLATE AND INSTRUCTIONS. (4-6 WEEKS LEAD TIME)



PROPOSED BUILDING FOR:  
**PRIMROSE SCHOOL**  
**FRANCHISING COMPANY**  
 3660 CEDARCREST ROAD  
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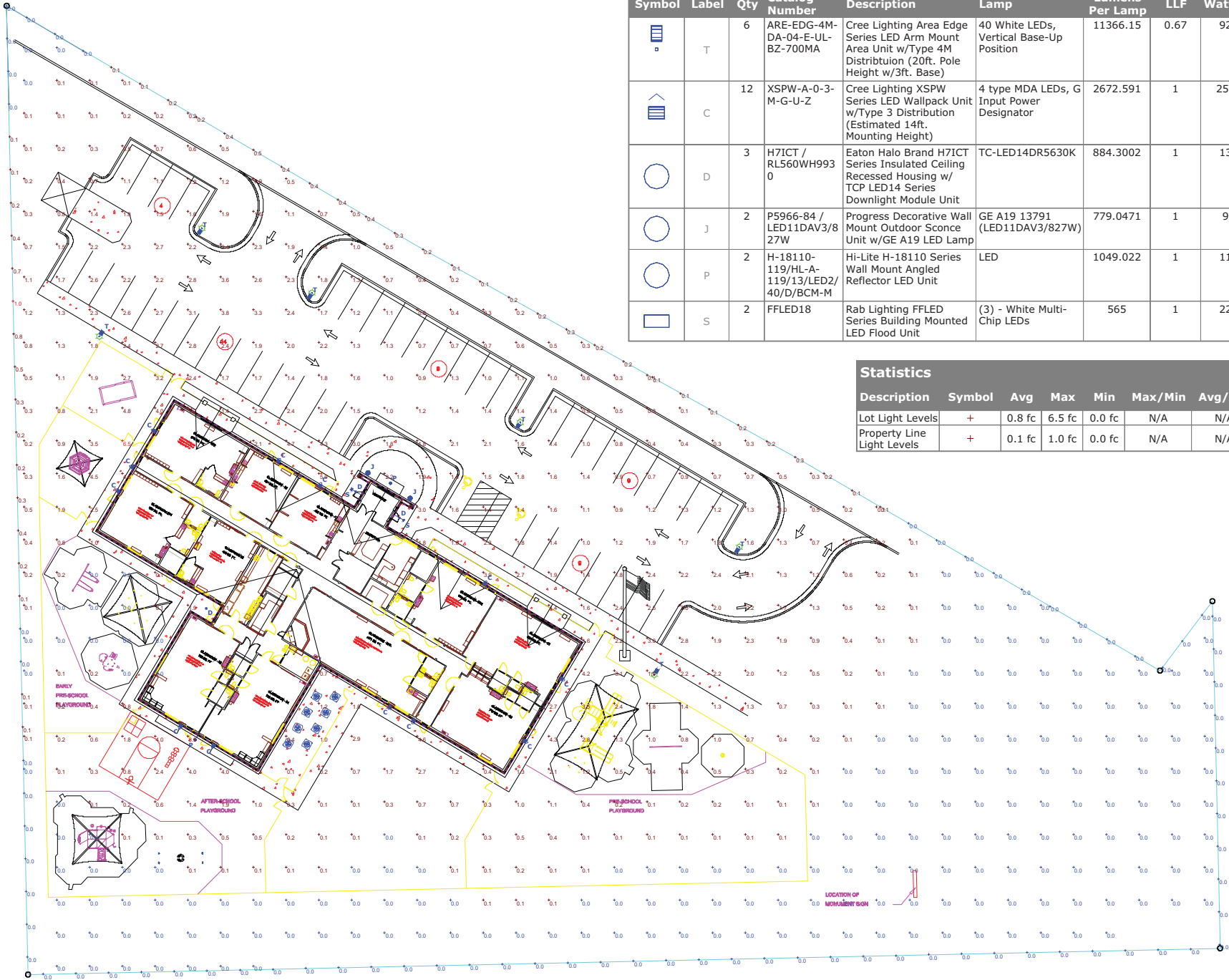


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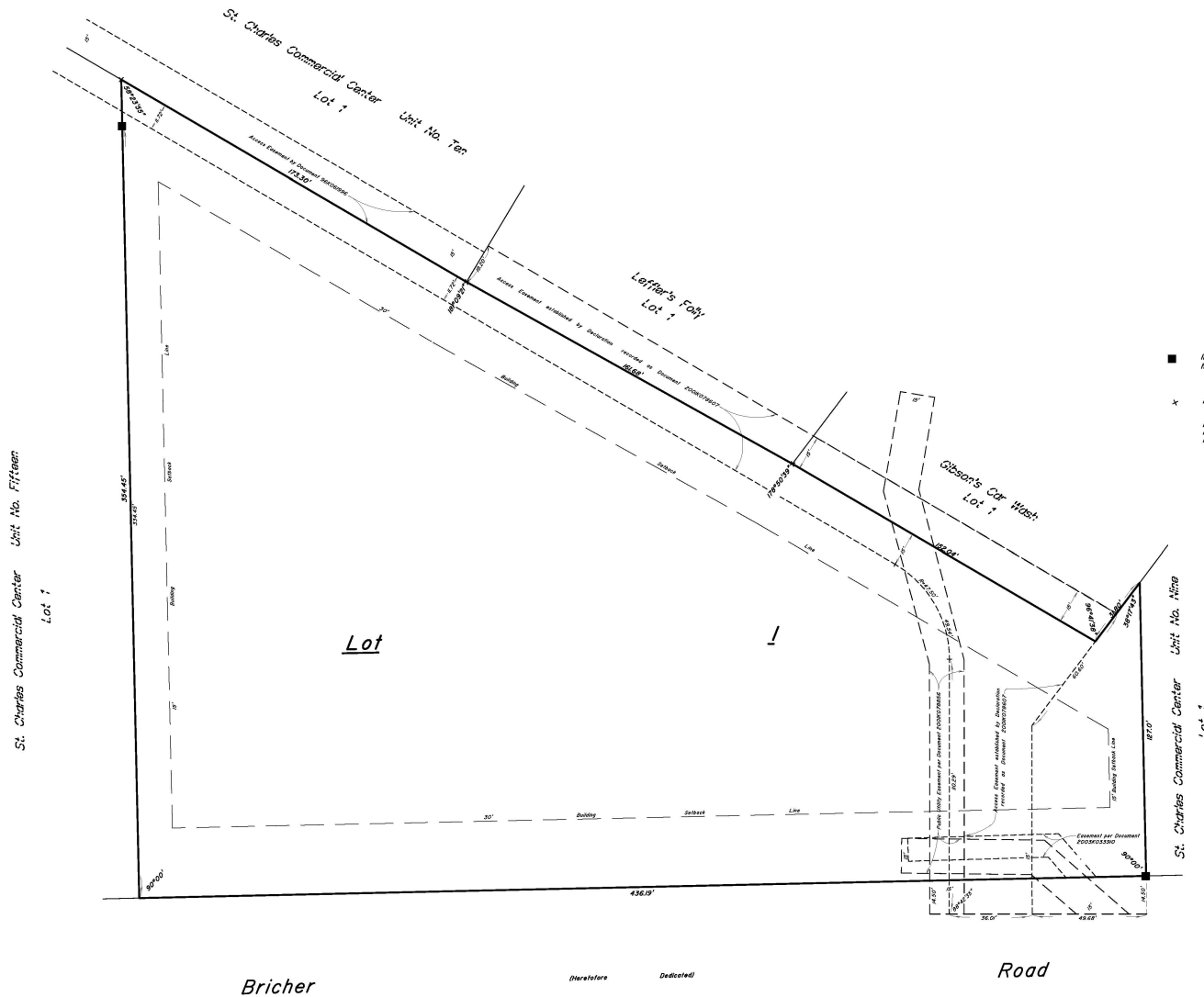
Schedule								
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens Per Lamp	LLF	Wattage
	T	6	ARE-EDG-4M-DA-04-E-UL-BZ-700MA	Cree Lighting Area Edge Series LED Arm Mount Area Unit w/Type 4M Distribuion (20ft. Pole Height w/3ft. Base)	40 White LEDs, Vertical Base-Up Position	11366.15	0.67	92.1
	C	12	XSPW-A-0-3-M-G-U-Z	Cree Lighting XSPW Series LED Wallpack Unit w/Type 3 Distribution (Estimated 14ft. Mounting Height)	4 type MDA LEDs, G Input Power Designator	2672.591	1	25.28
	D	3	H7ICT / RL560WH9930	Eaton Halo Brand H7ICT Series Insulated Ceiling Recessed Housing w/ TCP LED14 Series Downlight Module Unit	TC-LED14DR5630K	884.3002	1	13.5
	J	2	P5966-84 / LED11DAV3/827W	Progress Decorative Wall Mount Outdoor Sconce Unit w/GE A19 LED Lamp	GE A19 13791 (LED11DAV3/827W)	779.0471	1	9.4
	P	2	H-18110-119/HL-A-119/13/LED2/40/D/BCM-M	Hi-Lite H-18110 Series Wall Mount Angled Reflector LED Unit	LED	1049.022	1	11.9
	S	2	FFLED18	Rab Lighting FFLED Series Building Mounted LED Flood Unit	(3) - White Multi-Chip LEDs	565	1	22.1

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Lot Light Levels	+	0.8 fc	6.5 fc	0.0 fc	N/A	N/A
Property Line Light Levels	+	0.1 fc	1.0 fc	0.0 fc	N/A	N/A



Plan View  
Scale - 1" = 23'

**St. Charles Commercial Center Unit No. Sixteen**  
**St. Charles Kane County Illinois**



■ Indicates found concrete monument; iron stakes (3/4" diameter x 24" length) have been set of all other lot corners, unless otherwise indicated.

x Indicates cross cut in concrete

Lot 1, in its entirety is subject to a blanket easement established by Decree of the Board of Commissioners for the construction and reconstruction, operation, maintenance and repair of public and private utilities and facilities.

*Bricher*

*(Discretionary Dedicated)*

*Road*

**St. Charles Commercial Center Unit No. Sixteen  
St. Charles Kane County Illinois**

*State of Illinois*  
*County of Kane* )  
 I, Thomas E. Egger, an Illinois Professional Land Surveyor of Donahue and Thornhill, Inc. have surveyed, subdivided and platted that part of the Southeast Quarter of Section 33, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Beginning at the southwest corner of Lot 1, St. Charles Commercial Center, Unit No. Nine, St. Charles, Kane County, Illinois, being on a northerly line of Bricker Road; thence westerly along said northerly line 436.19 feet to the southeast corner of St. Charles Commercial Center, Unit No. Fifteen, St. Charles, Kane County, Illinois; thence northerly along the easterly line of said Unit No. Fifteen, being at right angles to the last described course (measured counterclockwise therefrom) 354.45 feet to the southeasterly line of St. Charles Commercial Center, Unit No. Ten, St. Charles, Kane County, Illinois; thence southeasterly along said southeasterly line, forming an angle of 50°23'52" with the last described course (measured counterclockwise therefrom) 173.30 feet to the southwesterly corner of Lefler's Folly, St. Charles, Kane County, Illinois; thence southeasterly along the southwesterly line of said Lefler's Folly, forming an angle of 161°09'21" with the last described course (measured counterclockwise therefrom) 161.68 feet to the most westerly corner of Gibson's Car Wash, St. Charles, Kane County, Illinois; thence southeasterly along the southwesterly line of said Gibson's Car Wash, forming an angle of 178°20'59" with the last described course (measured counterclockwise therefrom) 152.04 feet to the most southerly corner of said Gibson's Car Wash; thence northeasterly along the southeasterly line of said Gibson's Car Wash, forming an angle of 92°41'58" with the last described course (measured clockwise therefrom) 31.80 feet to an angle point in the westerly line of said Lot 1, thence southerly along the westerly line of said Lot 1, forming an angle of 39°17'43" with the last described course (measured counterclockwise therefrom) 127.0 feet to the point of beginning, in the City of St. Charles, Kane County, Illinois and containing 2.232 acres as shown by the plat hereon drawn which is a correct representation of said survey and subdivision. I further certify that the foregoing described tract is within the corporate limits of the City of St. Charles which has adopted an official plan and that said tract is not located within a special flood hazard area as identified by the Federal Emergency Management Agency. All distances are given in feet and decimal parts thereof.

Dated at Lee, Illinois, October 18, 2016  
 Illinois Professional Land Surveyor No. 2411



*State of Illinois*  
*County of Kane* )  
 Approved by the Plan Commission of the City of St. Charles, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Plan Commission Chairman

*State of Illinois*  
*County of Kane* )  
 Accepted and approved by the City Council of the City of St. Charles, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: \_\_\_\_\_ Attest: \_\_\_\_\_  
 Mayor City Clerk

*State of Illinois*  
*County of Kane* )  
 I, \_\_\_\_\_, This is to certify that the Shodeen Family Property Company, LLC, is the owner of the land described in the annexed plat and that they have caused the same to be surveyed and subdivided as indicated thereon, for the uses and purposes therein set forth, as allowed and provided by statute, the subdivision to be known as "St. Charles Commercial Center, Unit No. Sixteen, St. Charles, Kane County, Illinois, and does hereby acknowledge and adopt the same under the style and title aforesaid. Also, to the best of the owner's knowledge and belief, said subdivision lies entirely within the limits of St. Charles Community Unit School District 303.

Dated at Geneva, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

SHODEEN FAMILY PROPERTY COMPANY, LLC.  
 77 North First Street  
 Geneva Illinois, 60134

By: \_\_\_\_\_ Attest: \_\_\_\_\_

*State of Illinois*  
*County of Kane* )  
 I hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have not been apportioned against any of the land described in the above plat.

Dated at Geneva, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Collector of Special Assessments

*State of Illinois*  
*County of Kane* )  
 I, \_\_\_\_\_, a Notary Public, in and for the County and State aforesaid, hereby certify that \_\_\_\_\_ of the Shodeen Family Property Company, LLC, who are personally known to me to be the same persons whose names are subscribed to the foregoing owner's certificate, as said owners, appeared before me this day in person and acknowledged the execution of the annexed plat as their free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notarial Seal, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Notary Public

*State of Illinois*  
*County of Kane* )  
 This is to certify that I, John A. Cunningham, County Clerk in and for the County and State aforesaid, find no redeemable tax sale, unpaid forfeiture taxes or unpaid current taxes against any of the real estate described in the foregoing surveyor's certificate.

Dated at Geneva, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 County Clerk

*State of Illinois*  
*County of Kane* )  
 I, \_\_\_\_\_, Director of Community Development for the City of St. Charles, Illinois, do hereby certify that the required improvements have been installed, or the required guarantee bond has been posted for the completion of all required land improvements.

Dated at St. Charles, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Director of Community Development

*State of Illinois*  
*County of Kane* )  
 This instrument No. \_\_\_\_\_ was filed for record in the Recorder's Office of Kane County, Illinois, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and was recorded in Plat Envelope No. \_\_\_\_\_.

\_\_\_\_\_  
 County Recorder



**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 4c

Title:	Plan Commission recommendation to approve a Special Use for Motor Vehicle Sales for MotoExec, 731 N. 17 <sup>th</sup> St. Unit 3
Presenter:	Ellen Johnson

Meeting: Planning & Development Committee

Date: November 14, 2016

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

**Executive Summary** *(if not budgeted please explain):*

Jimmy Wilmes, owner of JW Auto Group LLC, d/b/a MotoExec, has requested a Special Use to allow Motor Vehicle Sales at 731 N. 17<sup>th</sup> St., Unit 3 in the Foundry Business Park. Details of the proposal are as follows:

- MotoExec will occupy Unit 3, which is approx. 3,000 sf in size.
- All business operations will be conducted within the unit; there will be no outside storage or display of vehicles.
- The interior of the unit will include office space/waiting area and an indoor showroom.
- Hours of operation are as follows:
  - Tuesday – Friday 10:00 a.m. to 6:00 p.m.
  - Saturday 10:00 a.m. to 5:00 p.m.
  - Closed Sunday
- The applicant and a co-owner will be the only employees.
- No changes to the exterior of the building or site are proposed.

Per Ordinance 1999-Z-2, Special Use approval is required to permit Motor Vehicle Sales in the Foundry Business Park PUD.

**Plan Commission Review**

The Plan Commission held a public hearing on the Special Use on 11/1/16. The Commission voted 6-0 to recommend approval, with three conditions:

1. There shall be no outdoor storage or display of vehicles.
2. There shall be no outdoor repair or maintenance of vehicles.
3. Test driving of vehicles may begin on the property, but shall be primarily conducted off the premises of the Foundry Business Park.

**Attachments** *(please list):*

Plan Commission Resolution, Staff Report, Application, Photos of Unit, Letter from Property Owner

**Recommendation/Suggested Action** *(briefly explain):*

Plan Commission recommendation to approve a Special Use for Motor Vehicle Sales for MotoExec, 731 N. 17<sup>th</sup> St. Unit 3.

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 18-2016**

**A Resolution Recommending Approval of an Application for Special Use for  
Motor Vehicle Sales at 731 N. 17<sup>th</sup> St., Unit 3 (Jimmy Wilmes)**

**Passed by Plan Commission November 1, 2016**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the Application for Special Use for Motor Vehicle Sales at 731 N. 17th St., Unit 3, filed by Jimmy Wilmes; and

WHEREAS, the Plan Commission adopts the following Findings of Fact for Special Use in accordance Section 17.04.430.C.2 of the Zoning Ordinance:

FINDINGS OF FACT FOR SPECIAL USE

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed special use will provide the public with an establishment to purchase high quality vehicles at a great price locally.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

All necessary infrastructure is currently in place and there will be no additional burden on the City's infrastructure.

**C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

All business activity under the proposed Special Use will be conducted within the specified leased unit within the Foundry Business Park, with no effect on nearby property. All vehicle sales will occur inside the unit without any exterior display or storage; indoor showroom only.



**Resolution 18-2016**

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The proposed Special Use will allow such business activity that can be conducted within an already established unit in the Foundry Business Park. No further development of the parcel is necessary.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The operation of the proposed Special Use will be maintained with no effect on the general welfare of the public by operating day to day as office space with a warehouse and showroom. There will be no manufacturing or use of dangerous materials.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed Special Use will be regulated by the State of Illinois and will abide by all state legislation and regulation during its existence. The proposed Special Use will obtain and responsibly hold a state issued licence to conduct business.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a Special Use for Motor Vehicle Sales at 731 N. 17th St., Unit 3 (Jimmy Wilmes), subject to the following conditions:

1. There shall be no outdoor storage or display of vehicles.
2. There shall be no outdoor repair or maintenance of vehicles.
3. Test driving of vehicles may begin on the property, but shall be primarily conducted off the premises of the Foundry Business Park.

Roll Call Vote:

Ayes: Holderfield, Schuetz, Pretz, Frio, , Kessler, Macklin-Purdy

Nays:

Absent: Wallace, Spruth, Doyle

Motion carried: 6-0

PASSED, this 1st day of November 2016.

**Resolution 18-2016**

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Chairman  
St. Charles Plan Commission

Community and Economic Development  
 Planning Division

Phone: (630) 377-4443  
 Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Todd Bancroft  
 And the Members of the Planning and Development Committee

**FROM:** Ellen Johnson, Planner

**RE:** MotoExec – 731 N. 17<sup>th</sup> St. Unit 3 (Foundry Business Park PUD)

**DATE:** November 8, 2016

**I. APPLICATION INFORMATION:**

**Project Name:** MotoExec – 731 N. 17<sup>th</sup> St. Unit 3

**Applicant:** Jimmy Wilmes

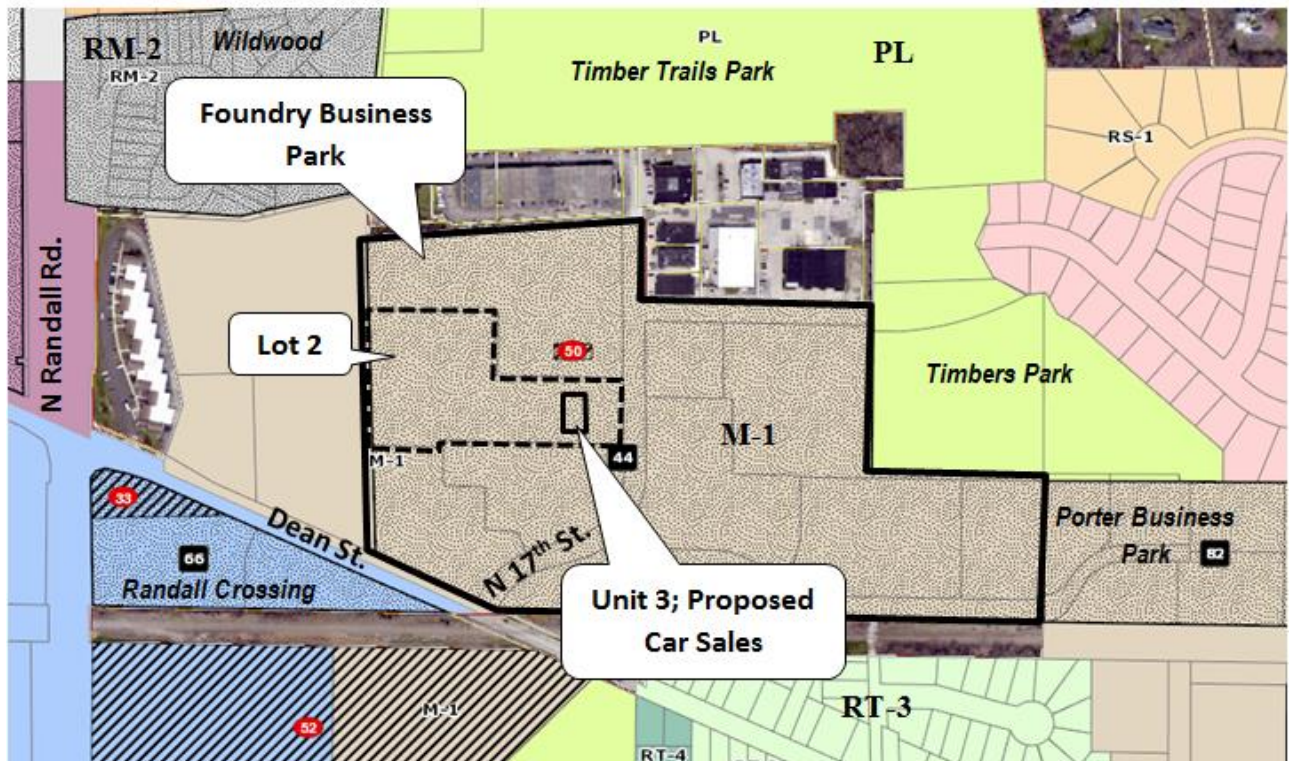
**Purpose:** Permit an indoor Motor Vehicle Sales establishment

<b>General Information:</b>		
<b>Site Information</b>		
Location	<b>731 N. 17<sup>th</sup> St. Unit 3, Foundry Business Park Lot 2</b>	
Acres	4.6 acre (Lot 2)	
Applications	<b>Special Use</b>	
Applicable Zoning Code Sections and PUD Ordinance	Ch. 17.16 Office/Research, Manufacturing and Public Land Districts Ordinance 1999-Z-2 “An Ordinance Amending Ordinance No. 1997-M-44 (Foundry Business Park PUD)”	
<b>Existing Conditions</b>		
Land Use	Multi-tenant industrial/office building	
Zoning	M-1 Special Manufacturing (PUD)	
<b>Zoning Summary</b>		
North	M-1 Special Manufacturing (PUD)	Multi-tenant industrial/office building
East	M-1 Special Manufacturing (PUD)	Multi-tenant industrial/office building
South	M-1 Special Manufacturing (PUD)	Vacant/detention pond
West	M-1 Special Manufacturing	Manufacturing
<b>Comprehensive Plan Designation</b>		
Industrial/Business Park		

### Aerial



### Zoning



## **II. BACKGROUND**

### **A. PROPERTY HISTORY**

The subject property is a 3,000 sf unit (Unit 3) within the multi-tenant industrial/office building on Lot 2 of the Foundry Business Park PUD. The Foundry Business Park PUD was first established in 1997 under Ordinance No. 1997-M-44 “An Ordinance Granting a Special Use as a Planned Unit Development for the Foundry Business Park PUD”. The property was also annexed into the City of St. Charles at that time. In 1999, Ordinance No. 1999-Z-2 “An Ordinance Amending Ordinance 1997-M-44 (Foundry Business Park PUD)” was approved, which added additional land to the PUD and replaced the original 1997 PUD ordinance.

A total of six buildings encompass the Foundry Business Park. The eastern four buildings were constructed in the early 2000s. The building north of the subject property was constructed in 2005. In 2006, Resolution No. 2006-26, “A Resolution Approving the Architectural Elevations for Lot 2 (Foundry Business Park PUD)” was approved for the subject property. The building was completed in 2008.

### **B. PROPOSAL**

Jimmy Wilmes, applicant and owner of JW Auto Group LLC, d/b/a MotoExec, has requested a Special Use to allow Motor Vehicle Sales at 731 N. 17<sup>th</sup> St., Unit 3 in the Foundry Business Park. Details of the proposal are as follows:

- MotoExec will occupy Unit 3, which is approx. 3,000 sf in size.
- All business operations will be conducted within the unit; there will be no outside storage or display of vehicles.
- The interior of the unit will include office space/waiting area and an indoor showroom.
- Hours of operation are as follows:
  - Tuesday – Friday 10:00 a.m. to 6:00 p.m.
  - Saturday 10:00 a.m. to 5:00 p.m.
  - Closed Sunday
- The applicant and a co-owner will be the only employees.
- No changes to the exterior of the building or site are proposed.

## **III. ANALYSIS**

Staff has performed an analysis of the Special Use application for conformance with the Zoning Ordinance and PUD Ordinance. No physical changes are proposed to the exterior of the building or to the site. As such, the two review items to be considered are the proposed Special Use and whether there is adequate parking provided on site to accommodate the proposed use.

### **A. SPECIAL USE**

Ordinance No. 1999-Z-2, Exhibit C includes a list of uses that are permitted in the Foundry PUD. Exhibit C also states that all permitted uses and special uses in the M-1 Limited Manufacturing District under the City’s previous Zoning Ordinance are also allowed.

Motor Vehicle Sales was a Special Use in the M-1 district under the previous Zoning Ordinance. As such, Motor Vehicle Sales may be permitted within the Foundry Business Park if it is determined that the proposal meets the findings of fact for Special Use. The applicant has provided findings of fact as part of the Special Use application.

The previous Zoning Ordinance did not provide a definition of Motor Vehicle Sales. However, the current Zoning Ordinance defines “Motor Vehicle Sales and Leasing” as follows:

*An establishment licensed by the State of Illinois where the principal use is the sale or lease of new or used automobiles, trucks, vans, trailers, boats or motorcycles, or other similar motorized transportation vehicles. A Motor Vehicle Sales and Leasing establishment may maintain an inventory of the vehicles for sale or lease on-site. Secondary support uses may also exist upon the same site, such as maintenance, repair, and service areas, indoor parts storage areas, and financial services areas. Motor Vehicle Display, Outdoor, is permitted as an accessory use; Vehicle Service and Repair, Major and Minor, as defined herein, are permitted as accessory uses or as additional principal uses.*

#### Related Use

Over the past few years, Staff has received occasional inquiries regarding “internet car sales” and whether the use is permitted in any of the City’s zoning districts. These businesses advertise and sell vehicles online, but require a physical space to store the vehicles and for customers to pick up the vehicles they purchase online.

Staff has determined that this type of use would fall into the general use category of “Warehouse/Distribution” if there will be no showroom or customers visiting the location to shop, test drive, or purchase vehicles.

Warehouse/Distribution is a permitted use in the M-1 and M-2 manufacturing zoning districts. Staff has directed individuals inquiring about this type of use that they are permitted to locate in these zoning districts.

The proposed Motor Vehicle Sales establishment is different from typical car dealerships in St. Charles. There will be no outdoor display of vehicles, the operation will be relatively small, and the applicant has indicated they plan to primarily advertise online. Were it not for the fact that customers will be visiting the business to test drive and purchase vehicles on-site, the use would likely be considered Warehouse/Distribution and would therefore be a permitted use at the proposed location.

#### **B. PARKING**

Per Ordinance No. 1999-Z-2, off-street parking requirements for the Foundry Business Park are based on the requirements of the City’s previous zoning ordinance. Staff has determined the number of off-street parking spaces required for each use within the building on Lot 2 and compared the requirement with the number of existing spaces. Including the proposed Motor Vehicle Sales establishment, there are 30 parking spaces in excess of the off-street parking requirement for Lot 2.

Parking Spaces on Lot 2	238
Parking Spaces Required for Existing Uses	203
Parking Spaces Required for Existing Uses + Proposed Use	208
Additional Parking Spaces	30

Although there are excess off-street parking spaces on the site, the property owner has provided a letter requesting that no outdoor storage or display of vehicles be permitted. The applicant has indicated in the application materials that all vehicles will be stored and displayed inside the unit.

The property owner has also requested that test driving of vehicles be conducted off the premises of the Foundry Business Park. Per the letter provided by the property owner, test drives may begin in the parking lot, but vehicles shall then be driven off-site.

#### **IV. PLAN COMMISSION RECOMMENDATION**

The Plan Commission held a public hearing for the Special Use on 11/1/16. The Commission voted 6-0 to recommend approval, with three conditions which were recommended by staff:

1. There shall be no outdoor storage or display of vehicles.
2. There shall be no outdoor repair or maintenance of vehicles.
3. Test driving of vehicles may begin on the property, but shall be primarily conducted off the premises of the Foundry Business Park.

#### **V. ATTACHMENTS**

- Photos of Unit 3
- Application for Special Use; received 9/20/16
- Letter from Property Owner; dated 10/13/16



**Photos – 731 N. 17<sup>th</sup> St. Unit 3**

**Front (south) Elevation:**



**Rear (north) Elevation:**





# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



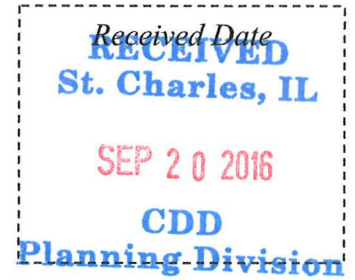
COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	<u>731 N. 17th St. Unit 3</u>
Project Number:	<u>2016 -PR- 013</u>
Application Number:	<u>2016 -AP- 033</u>



*To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.*

*City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location:	<u>731 N. 17th St. UNIT 3 St. Charles, IL 60174</u>		
	Parcel Number (s):	<u>09-28-301-039</u>		
	Proposed Name:	<u>JW AUTO GROUP LLC D.B.A. "MOTD EXEC"</u>		
<b>2. Applicant Information:</b>	Name	<u>Jimmy Wilmes</u>	Phone	<u>630-901-4263</u>
	Address	<u>3018 Seekonk Ave. Elgin, IL 60124</u>	Fax	
			Email	<u>jwilmes17@sbcglobal.net</u>
<b>3. Record Owner Information:</b>	Name	<u>American Small Business II LLC</u>	Phone	<u>630-355-8094</u>
	Address	<u>1805 HIGH GROVE LANE Naperville, IL 60540</u>	Fax	
			Email	

**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** \_\_\_\_\_
  - New PUD
  - Amendment to existing PUD- Ordinance #: \_\_\_\_\_
  - PUD Preliminary Plan filed concurrently
  
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
  - Newly established Special Use
  - Amendment to an existing Special Use Ordinance #: MOTOR VEHICLE SALES

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: Industrial / Business Park

Is the property a designated Landmark or in a Historic District? NO

What is the property's current zoning? M-1 and PUD

What is the property currently used for? Vacant OFFICE / WAREHOUSE UNIT

If the proposed Special Use is approved, what improvements or construction are planned?

There will be NO construction necessary or improvements needed to fulfill special use requested on the parcel.

**For Special Use Amendments only:**

Why is the proposed change necessary?

\_\_\_\_\_  
\_\_\_\_\_

What are the proposed amendments? (Attach proposed language if necessary)

\_\_\_\_\_  
\_\_\_\_\_

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

-  **APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

-  **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

-  **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

-  **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

-  **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

-  **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

-  **FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

-  **LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

✕ □ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

✕ □ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

✕ □ **TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

✕ □ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

✕ □ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

\_\_\_\_\_  
Record Owner

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Applicant or Authorized Agent

9-12-2016  
\_\_\_\_\_  
Date

## FINDINGS OF FACT – SPECIAL USE

*\*Use this form for all Special Uses, except for PUDs or PUD Amendments\**

*The St. Charles Zoning Ordinance requires the Plan Commission to consider the factors listed below in making a recommendation to the City Council.*



*As the applicant, the "burden of proof" is on you to show how your proposed Special Use will comply with each of the applicable standards. Therefore, you need to "make your case" by explaining specifically how your project meets each of the following standards.*

\_\_\_\_\_  
*Project Name or Address*

\_\_\_\_\_  
*Date*

### **From the Charles Zoning Ordinance, Section 17.04.430.C.2:**

No Special Use or amendment to Special Use shall be recommended by the Plan Commission unless it finds that the proposed Special Use or amendment to Special Use will conform with each of these standards. The Plan Commission shall submit its written findings together with its recommendations to the City Council after the conclusion of the Public Hearing, and also may recommend such conditions as it may deem necessary to ensure conformance with these standards.

On the basis of the evidence presented at the public hearing, the Plan Commission shall record its reasons for recommending approval or denial of the petition (findings of fact) in accordance with the following standards:

- A. Public Convenience:** The Special Use will serve the public convenience at the proposed location.

*The proposed special use will provide the public with a  
establishment to purchase high quality vehicles at a great  
price locally.*

- B. Sufficient Infrastructure:** That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

*All necessary infrastructure is currently in place and there  
will be no additional burden on the city for proposed special  
use.*

- C. Effect on Nearby Property:** That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.



All business activities under the proposed special use will be conducted within the business park's specifically leased unit with no effect on nearby property. All vehicle sales will occur inside the unit without a exterior lot or outside storage. Indoor Showroom Only.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed special use will allow such business activity that can be conducted within a already established unit in the Funding Business Park. No further development of the parcel is necessary.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed special use operates and maintains all business activity with no effect on the general welfare of the public by operating day to day as office space with warehouse. Furthermore there will be no harmful manufacturing or use of dangerous materials.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed special use will be regulated by the State of Illinois and will abide by all state and local legislation/regulation during its existence. The proposed special use will also obtain and responsibly hold a State Issued license to conduct business.

## JW AUTO GROUP LLC

JW Auto Group LLC is a family owned and operated independent used auto dealer established by father and son. The purpose of this establishment is to sell top quality vehicles at a competitive price. The establishment's main goal is to be successful by offering something unique and different to the motor vehicle customer; a pleasant car buying experience. The dealership will be selling professional service and a experience that will bring customers back again, as well as referring friends and family. This establishment will be successful because of the excellent team in place and the drive and determination of the owners.

Located in the well known Foundry Business Park of St. Charles, IL and operating within one of the park's well lit and spacious units, the dealership's client's will be able to comfortably view their desired vehicle to purchase in a indoor showroom. Away from the elements and along with the guidance of trust worthy owner operators encouraged by the two most important values, honor and integrity, every individual visiting the establishment will immediately feel welcomed, comfortable, and confident in their purchase.

Furthermore, the dealership will be able to operate comfortably inside the park's unit without impacting the surrounding businesses and community while still being a benefit to the diversity, tax base, and economic well being of the city.

We value the privilege to operate our business in the wonderful city of St. Charles, IL and remain grateful for the opportunity to become one of the most trusted and prestigious small independent auto dealers in the area.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jimmy Wilmes', with a long horizontal stroke extending to the right.

Jimmy Wilmes

JW Auto Group LLC

731 N. 17th Street  
Unit 3  
3,138 Sq. Ft.

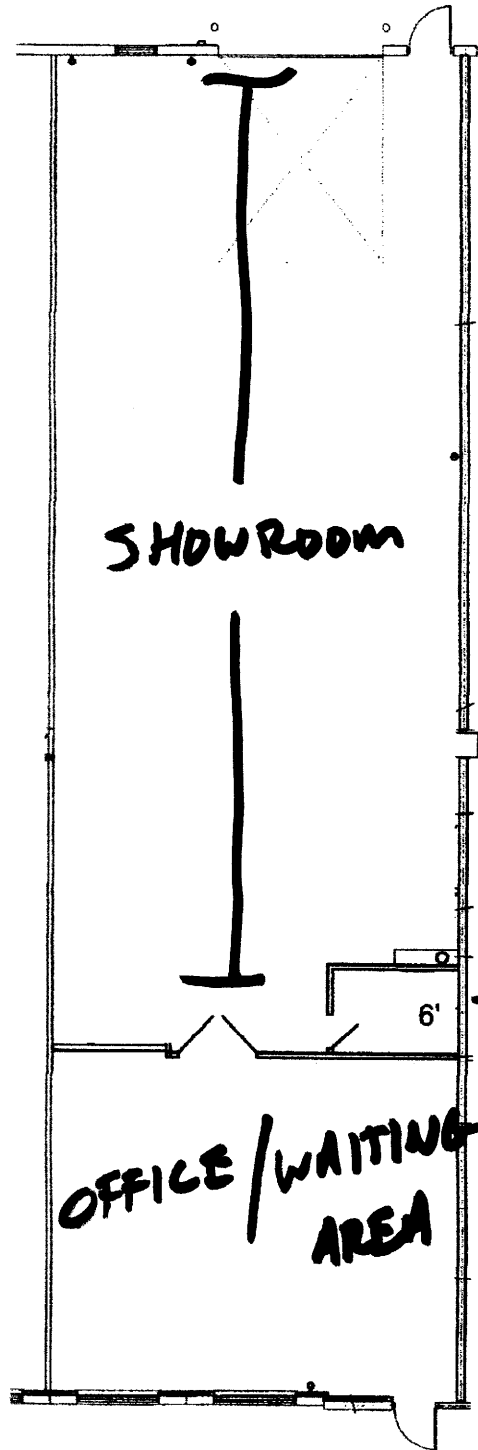


EXHIBIT 'A' IS ATTACHED TO  
THIS LEASE AGREEMENT  
DATED AUGUST 31, 2016

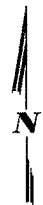
SIGNATURE: *[Signature]* *owner manager Joe Azz Camp LLC*

SIGNATURE: \_\_\_\_\_

# A.L.T.A./A.C.S.M. LAND TITLE SURVEY

LOTS 2 & 3 FOUNDRY BUSINESS PARK  
ST. CHARLES, ILLINOIS

SHEET 1 OF 1



SCALE: 1" = 40'

### LINE LEGEND

- PROPERTY LINE (Heavy Solid Line)
- - - ADJACENT PROPERTY LINE OR RIGHT-OF-WAY LINE (Light Solid Line)
- - - EASEMENT LINE (Dashed Line)
- - - EASEMENT LINE (Short Dashed Line)

### SYMBOL LEGEND

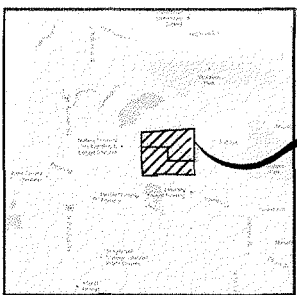
- - HANDLE
- - GATCH BASIN
- - INLET
- - CLEANOUT STRUCTURE
- - WATER VALVE
- △ - HYDRANT
- - VALVE & VAULT
- - BOLLARD
- - - GUY WIRE
- - UTILITY POLE
- - LIGHT ON BUILDING
- - STREET SIGN
- - TELEPHONE CANSISTER
- - ELECTRIC CANSISTER
- - CABLE CANSISTER
- - TRANSFORMER
- - MAILBOX
- - - SANITARY SEWER
- - - STORM SEWER
- - - WATERMAIN
- - - OVERHEAD WIRES
- - - UNDERGROUND GAS LINE
- - - UNDERGROUND ELECTRIC CABLE
- - - UNDERGROUND PHONE CABLE
- - - UNDERGROUND TELEVISION CABLE
- - - DEPRESSED CURB
- - BUFFALO BOX
- - CONCRETE SURFACE (NOT ALL CONCRETE SURFACES ARE SHOWN FOR CLARITY)
- - DOWN SPOUT
- - GAS METER
- - ELECTRIC METER
- - AIR CONDITIONING UNIT
- - ELECTRIC CONTROL BOX
- B-S - BACK TO BACK
- B.O.W. - RIGHT-OF-WAY

### SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
2. COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE. ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND REPORT ANY DIFFERENCE IMMEDIATELY.
3. BUILDING LINES ARE SHOWN ONLY WHERE THEY ARE SO RECORDED ON THE MAPS. REFER TO YOUR DEED OR ABSTRACT FOR ADDITIONAL ZONING RESTRICTIONS.
4. THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND IMPRESSED SEAL.
5. EASEMENTS AND SERVICES SHOWN HEREON ARE BASED UPON A TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY IDENTIFIED AS NUMBER 141 111163753 VA WITH AN EFFECTIVE DATE OF APRIL 18, 2014.
6. THE BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF 17TH STREET 6°00'30" W AS BEARING.
7. DIMENSIONS ALONG CURVES ARE ARC DISTANCES.
8. MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
9. DIMENSIONS ENCLOSED IN ( ) INDICATE RECORD OR DEED DATA. ALL OTHER DIMENSIONS ARE MEASURED.
10. FIP = FOUND IRON PIPE (# AS SHOWN)  
FIR = FOUND IRON ROD  
SIP = SET IRON PIPE (# AS SHOWN)
11. BASED ON REVIEW OF FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP PANEL NO. 17089C0226H WITH AN EFFECTIVE DATE OF AUGUST 3, 2009, IT IS OUR OPINION THAT NO PART OF THE PROPERTY DESCRIBED HEREON FALLS WITHIN A SPECIAL HAZARD ZONE (NO SHADING) AS DESIGNATED AND DEFINED BY F.E.M.A.
12. LOT 2 CONTAINS 188,109 SQ. FT.  
LOT 3 CONTAINS 214,559 SQ. FT.
13. NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

PREPARED BY:  
**CEMCON, Ltd.**  
Consulting Engineers, Land Surveyors & Planners  
2280 White Oak Circle, Suite 100  
Aurora, Illinois 60502-5675  
PH: 630.882.2100 FAX: 630.882.2199  
E-Mail: cead@cemcon.com Website: www.cemcon.com

DISC NO: 488032 FILE NAME: FILE NAME  
DRAWN BY: MSO FLD. BK. / PD. NO: N/A  
COMPLETION DATE: 5-26-14 JOB NO: 488-032  
REFERENCE: 488013



### VICINITY MAP

### SITE LOCATION

### ENCROACHMENT NOTES

WITHOUT EXPRESSING OPINION AS TO OWNERSHIP OF IMPROVEMENTS, THE FOLLOWING IS A TABULATION OF POSSIBLE ENCROACHMENTS WITH RESPECT TO PROPERTY LINES (DIMENSIONS TIES PROVIDED ACCORDINGLY):

- FENCE LINE AT NW CORNER OF LOT 3
- MAILBOX CLUSTER AT NE CORNER OF LOT 3
- SIDEWALK JUST SOUTH OF NE CORNER OF LOT 3

### NOTES ON SCHEDULE B SURVEY RELATED TITLE EXCEPTIONS/EXEMPTIONS

- O. ENVIRONMENTAL DISCLOSURE DOCUMENT RECORDED AS DOCUMENT 93K29963. PARTICULARS THEREOF DO NOT PLOT.
- M. ANNEXATION AGREEMENT WITH CITY OF ST. CHARLES AS DOCUMENT 97K028300. MANY PARTICULARS THEREOF DO NOT PLOT. YARD REQUIREMENTS NOT ENFORCED.
- Y. PUBLIC UTILITIES AND DRAINAGE EASEMENT AND PROVISIONS ON THE PLAT OF SUBDIVISION DOCUMENT 2000K076280. PLATTED.
- PROPERTY SUBJECT TO ENVIRONMENTAL NO FURTHER DATION LETTER RECORDED AS DOCUMENT 2010K04423. PARTICULARS THEREOF DO NOT PLOT.

### PARCEL DESCRIPTION

LOT 2 AND 3 IN FOUNDRY BUSINESS PARK, BEING A PART OF THE WEST HALF OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8 EAST & EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 28, 2000 AS DOCUMENT 2000K076280, IN CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

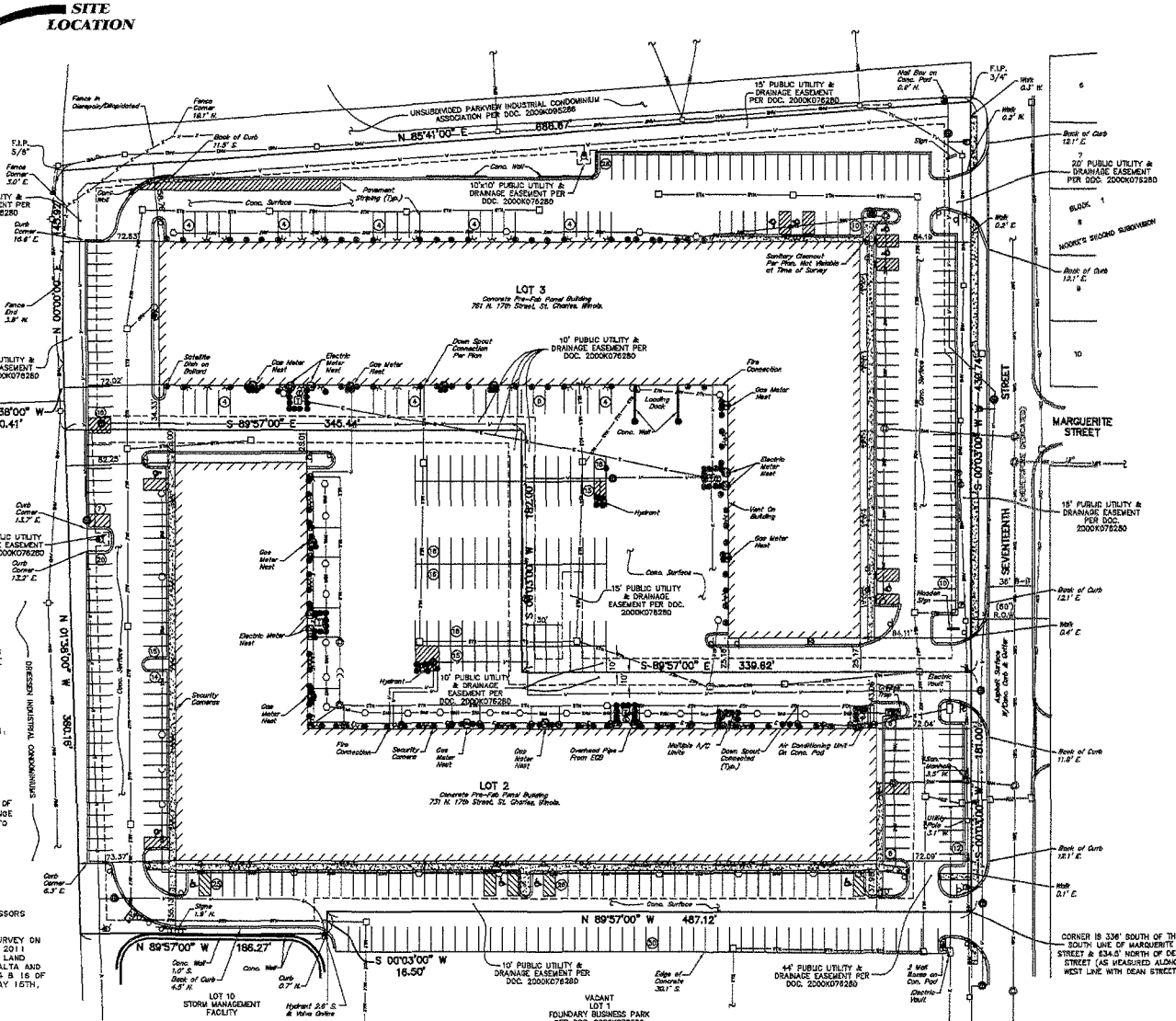
### SURVEYOR'S CERTIFICATE

TO: CHICAGO TITLE INSURANCE, CO.  
AMERICAN NATIONAL INSURANCE COMPANY, ITS SUCCESSORS AND/OR ASSIGNEES

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 9, 11b, 13, 14 & 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 16TH, 2014.

DATE OF PLAT OR MAP: MAY 28TH, 2014.

PETER A. BLECKER  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3072  
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2014  
PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002957  
EXPIRES APRIL 30, 2015



LOT 2  
Concrete Pro-Fab Parcel Building  
727 N. 17th Street, St. Charles, Illinois.

LOT 3  
Concrete Pro-Fab Parcel Building  
761 N. 17th Street, St. Charles, Illinois.

VACANT LOT 1  
FOUNDRY BUSINESS PARK  
PER DOC. 2000K076280

## Johnson, Ellen

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**From:** Jimmy Wilmes <jwilmes17@sbcglobal.net>  
**Sent:** Thursday, September 22, 2016 9:30 AM  
**To:** Johnson, Ellen  
**Subject:** Re: Meeting Dates- 731 N 17th St. Special Use  
**Attachments:** 731Unit3Map.pdf

**Follow Up Flag:** Flag for follow up  
**Flag Status:** Flagged

Hi Ellen,

The following is in regards to the Application Completeness Review questions:

### 1. Anticipated Hours of Operation / # of Employees

Closed - Sunday - Monday

Open - Tuesday - Friday 10am - 6pm / Saturday 10am - 5pm

Owner Operated with 2 Owners and No other employees.

**2. Location Identification** - See Attached. Confirmed 3,138 sqft

**3. Business Name** - JW Auto Group LLC D.B.A. "MotoExec"

Thanks,

Jimmy Wilmes  
630-901-4263  
[jwilmes17@sbcglobal.net](mailto:jwilmes17@sbcglobal.net)

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**From:** "Johnson, Ellen" <[ejohnson@stcharlesil.gov](mailto:ejohnson@stcharlesil.gov)>  
**To:** Jimmy <[jwilmes17@sbcglobal.net](mailto:jwilmes17@sbcglobal.net)>  
**Sent:** Wednesday, September 21, 2016 3:58 PM  
**Subject:** RE: Meeting Dates- 731 N 17th St. Special Use

Jimmy,  
Great, we will go ahead and schedule for November 1<sup>st</sup>.

Attached please find a letter outlining my review of the application materials, as well as a more detailed project schedule.

Let me know if you have any questions.

Thanks,  
Ellen



# Foundry Business Park

*At Dean & N. 17th Street, St. Charles, IL*

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October 13, 2016

Ms. Ellen Johnson  
City of St. Charles  
Planning Division  
2 East Main Street  
St. Charles, Illinois 60175

Re: 731 N. 17<sup>th</sup> Street, Unit 3  
St. Charles, Illinois

Dear Ms. Johnson,

We are in agreement of a special use permit to include internet car sales inside 731 N. 17<sup>th</sup> Street, Unit 3. Jimmy Wilmes is authorized to apply to the City of St. Charles for a Special Use to permit internet car sales at the above specified address. We agree to allow vehicles to be test driven starting in the parking lot to off the property and sold on our property with the proper City of St. Charles permits and State of Illinois licensing. However, we do not agree to allow a new vehicle or used vehicles sales parking lot. All vehicles for sale, or otherwise, must be stored inside the space and will not be permitted to be stored on the exterior of the premises.

Thank you,

RG Ripper  
Member Manager  
American Small Business, LLC  
1805 High Grove Lane  
Naperville, Illinois 60540  
(630) 355-8094



**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 4d

Title:

Plan Commission recommendation to approve a General Amendment to Title 17 of the St. Charles Municipal Code (Zoning Ordinance) pertaining to the lot size requirement for two-family dwellings in the RT-4 District/BT Overlay

Presenter:

Ellen Johnson

Meeting: Planning &amp; Development Committee

Date: November 14, 2016

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: **Executive Summary** *(if not budgeted please explain):*

Joseph Wencowski and Patricia Brown, owners of 211 Illinois Ave., have requested a General Amendment to the Zoning Ordinance.

The applicants' property is zoned RT-4 and is within the BT Transitional Business Overlay District. The property is 5,000 sf in size and is currently improved as a two-unit building, with a first-floor office and an upper level dwelling unit.

The minimum lot size for a single-family dwelling or commercial use permitted in the BT overlay is 5,000 sf. However, 3,750 sf per unit (7,500 sf total) is required for a two-family dwelling.

The applicant wishes to sell the property and market it as having potential to be used as a two-family dwelling. The applicant is proposing to reduce the lot size requirement for two-family dwellings in the RT-4 district and BT overlay to 5,000 sf.

The proposed change would apply to all properties that are zoned RT-4 and are within the BT overlay. There are currently 18 properties with this zoning.

**Plan Commission Review**

The Plan Commission held a public hearing on the General Amendment on 11/1/16 and voted 6-0 to recommend approval.

**Attachments** *(please list):*

Plan Commission Resolution, Staff Report, Application

**Recommendation/Suggested Action** *(briefly explain):*

Plan Commission recommendation to approve a General Amendment to Title 17 of the St. Charles Municipal Code (Zoning Ordinance) pertaining to the lot size requirement for two-family dwellings in the RT-4 District/BT Overlay

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 20-2016**

**A Resolution Recommending Approval of a General Amendment to Ch. 17.12 “Residential Districts”, Section 17.12.030 “Bulk Regulations” (RT-4 District /BT Overlay lot area requirement for two-family dwellings)**

**Passed by Plan Commission on November 1, 2016**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for amendments to Title 17, “Zoning”; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the petition for a General Amendment to Ch. 17.12 “Residential Districts”, Section 17.12.030 “Bulk Regulations” to reduce the minimum lot area requirement for two-family dwellings in both the RT-4 District and BT Overlay, filed by Joseph Wencowski and Patricia Brown; and

WHEREAS, in accordance with Section 17.12.030.C, the Plan Commission has considered the following criteria for General Amendment:

**1. The consistency of the proposed amendment with the City's Comprehensive Plan.**

There is no direct effect or deviation from the City's Comprehensive Plan. The Comprehensive Plan promotes diverse housing options within residential neighborhoods and in downtown St. Charles. This amendment would support such diversity.

**2. The consistency of the proposed amendment with the intent and general regulation of this Title.**

The proposed amendment is consistent with Section 17.02.020 “Purpose and Intent” in that such amendment will preserve and enhance the quality of life for residents and visitors (B), and protect the character of established residential neighborhoods (C).

**3. Whether the proposed amendment corrects an error or omission, adds clarification to existing requirements, is more workable than the existing text, or reflects a change in policy,**

The proposed amendment reflects a change in policy to reduce the minimum lot size requirement for two-family dwellings in the BT Overlay of the RT-4 District.

**4. The extent to which the proposed amendment would be in the public interest and would not serve solely the interest of the applicant.**

The proposed amendment would be in the public interest in that it would allow for more flexibility in the use of properties within the subject zoning districts thereby benefiting

owners of such properties and prospective residents seeking housing options that are close to downtown St. Charles.

**5. The extent to which the proposed amendment creates nonconformities.**

The proposed amendment would not create any nonconformity under the existing code. It would eliminate a nonconforming situation for any properties within the RT-4 District/BT Overlay that are at least 5,000 sf that are currently used as two-family dwellings and do not meet the current lot size requirement of 7,500 sf.

**6. The implications of the proposed amendment on all similarly zoned property in St. Charles.**

The proposed amendment will apply to all properties zoned both RT-4 and BT. There are eighteen (18) existing properties within this zoning. Of the eighteen (18) properties, seven (7) would be affected under this amendment due to lot size. There are two (2) properties under 7,500 sf that are presently used as two-family dwellings: 315 Illinois Avenue (5,000 sf) and 305 Illinois Avenue (5,000 sf).

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a General Amendment to Ch. 17.12 “Residential Districts”, Section 17.12.030 “Bulk Regulations” to reduce the minimum lot area requirement for two-family dwellings in both the RT-4 District and BT Overlay.

Roll Call Vote:

Ayes: Holderfield, Schuetz, Frio, Kessler, Macklin-Purdy, Pretz

Nays:

Abstain:

Absent: Wallace, Spruth, Doyle

Motion Carried: 6-0

PASSED, this 1st day of November 2016.

---

Chairman  
St. Charles Plan Commission

Community & Economic Development  
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Todd Bancroft  
And the Members of the Planning and Development Committee

**FROM:** Ellen Johnson, Planner

**RE:** Application for a General Amendment to Title 17 of the City Code (Zoning Ordinance) regarding the lot size requirement for two-family dwellings in the RT-4 District and BT Overlay

**DATE:** November 8, 2016

---

**I. GENERAL INFORMATION**

Project Name: General Amendment – RT-4/BT Two-Family Lot Size

Applicant: Joseph Wencowski & Patricia Brown

Purpose: Reduce the minimum lot size requirement for two-family dwellings in the RT-4 District and BT Overlay

**II. BACKGROUND & PROPOSAL**

Applicants Joseph Wencowski and Patricia Brown are the owners of 211 Illinois Ave. The structure on the property was once a single-family home but was converted to a two-family dwelling before the applicants purchased the property in 2001.

The applicants have used the structure as an office on the first floor (a chiropractic clinic) with an apartment on the second floor.

The applicants now wish to sell the property, and desire to market it as having potential to be used as either a single-family home, mixed use (first-floor commercial with upper level dwelling), or a two-family dwelling.

The property is 5,000 sf in size. It is zoned RT-4 Traditional Single and Two-Family Residential District and is within the BT Transitional Business Overlay District. The minimum lot size for a two-family dwelling in the RT-4 district is 3,750 per unit (7,500 sf total), while the minimum lot size for a single-family dwelling or commercial use permitted in the BT overlay is 5,000 sf.

The applicant is requesting to reduce the lot size requirement for two-family dwellings in the RT-4 district and BT overlay to 5,000 sf. This means that a two-family dwelling could be established

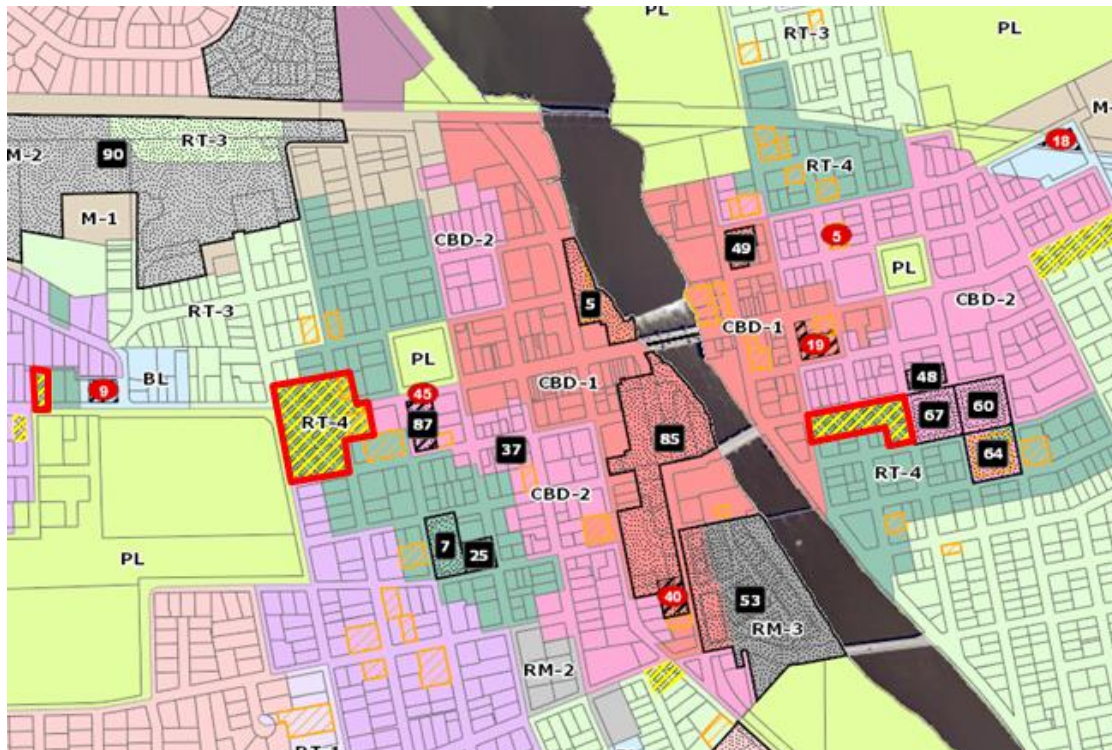
on a 5,000 sf lot. This change would apply to all properties that are zoned RT-4 and are within the BT overlay.

Note that last year, Ch. 17.08 “Nonconformities” was amended in order to “grandfather” in two-family dwellings on lots with a nonconforming lot area if the lot contained a two-family dwelling when the current Zoning Ordinance was adopted in 2006. In the case of the property at 211 Illinois Ave., while the structure was once used as a two-family dwelling, as of 2006 it was used as first-floor office space/upper level dwelling. Therefore, the property is not grandfathered in as a two-family on a nonconforming lot. For that reason, the proposed amendment is required to allow the property to be used as a two-family dwelling.

### III. ANALYSIS

#### A. Impacted Zoning Districts

The proposed amendment applies to properties zoned both RT-4 Traditional Single and Two-Family Residential and BT Transitional Business Overlay. There are 18 total properties currently zoned as such, shown outlined in red below:



The RT-4 Traditional Single and Two-Family Residential District is the only Traditional Residential zoning district that permits both single-family and two-family dwellings. RT-4 zoned properties are generally located adjacent to the downtown area. The purpose of the RT-4 district is provided in the Zoning Ordinance as follows:

*To preserve higher density single- and two-family residential development in older neighborhoods of the City, and to accommodate new residential development with a similar character. The minimum lot size in this district is 5,000 sf. This district is primarily located in older residential neighborhoods near the downtown area. The RT-4 District also provides for*

*auxiliary dwellings units and limited nonresidential uses compatible with surrounding residential neighborhoods.*

The BT Transitional Business Overlay District is an overlay district available to properties in the RT zoning districts adjacent to non-residential uses. Properties within the BT Overlay are generally adjacent to downtown. The purpose of the BT Overlay is as follows:

*To provide locations that mix residential and small-scale office, personal service and retail uses, yet maintain a single-family residential appearance and scale. The BT Overlay permits the conversion of single-family homes into office, service and retail uses within the Traditional Residential Districts. Such uses are limited in size and generate a modest amount of commercial traffic that does not adversely impact the adjacent residential neighborhoods.*

Per Section 17.12.050, the BT overlay is permitted only on lots that abut one or more non-residential use, or that are directly across a street from one or more non-residential use. The bulk requirements of the underlying zoning district apply to properties within the BT overlay.

Permitted uses in the BT overlay include any uses permitted in the underlying zoning district, as well as upper-level dwellings, artist live/work space, art gallery/studio, bed and breakfast, business and professional offices, personal service establishments, coffee or tea room, and retail sales not to exceed 2,500 sf.

#### B. Lot Sizes & Impact of Proposed Amendment

The minimum lot area for uses in the RT-4 district is provided in Table 1 below. Properties within the BT overlay zoned RT-4 must also meet these lot size requirements:

Table 1:

	<b>RT-4</b>
<b>Minimum Lot Area</b>	Single-Family Detached: 5,000 sf Two-Family: 3,750 sf per du (7,500 sf total)

The proposed amendment would change the required minimum lot area required for a two-family dwelling from 3,750 sf per unit (7,500 sf total) to 5,000 sf.

As previously stated, there are 18 total properties zoned both RT-4 and BT. The location, lot area, and use of these properties are listed in Table 2 below. There are two properties that currently contain two-family dwellings, both of which are under the required 7,500 sf total lot area.

If the proposed amendment were approved, all existing RT-4/BT properties could be used as a two-family dwelling, except one which has a lot area under 5,000 sf. Ten (10) of these properties could already be converted to a two-family dwelling without the proposed amendment because their lot size is over 7,500 sf. Seven (7) additional properties could be used as a two-family as a result of the proposed amendment.



Table 2:

Address	Lot Area	Use	Currently Non-conforming Lot Area	Could be Two-Family with Proposed Amendment
203 Illinois Ave.	5,000 sf	Office		✓
207 Illinois Ave.	5,000 sf	Office		✓
211 Illinois Ave.	5,000 sf	Office first floor, upper level dwelling		✓
215 Illinois Ave.	5,000 sf	Single-family		✓
305 Illinois Ave.	5,000 sf	Two-family	✓	✓
307 Illinois Ave.	5,000 sf	Single-family		✓
313 Illinois Ave.	4,600 sf	Single-family		
315 Illinois Ave.	5,400 sf	Two-family	✓	✓
215 S 4 <sup>th</sup> Ave.	10,000 sf	Single-family		✓(could be two-family without amendment)
614 W Main St.	13,427 sf	Retail		✓(could be two-family without amendment)
612 W Main St.	15,997 sf	Single-family		✓(could be two-family without amendment)
522 W Main St.	8,490 sf	Office first floor, upper level dwelling		✓(could be two-family without amendment)
521 W Main St.	16,916 sf	Office		✓(could be two-family without amendment)
605 W Main St.	20,369 sf	Office		✓(could be two-family without amendment)
619 W Main St.	31,904 sf	Retail (vacant)		✓(could be two-family without amendment)
622 Walnut St.	10,032 sf	Single-family		✓(could be two-family without amendment)
11 S 6 <sup>th</sup> St.	17,424 sf	Dental office		✓(could be two-family without amendment)
930 W Main St.	13,441 sf	Salon		✓(could be two-family without amendment)

It should be noted that additional RT-4 zoned properties could be added to the BT overlay in the future. To be eligible for the BT overlay, RT zoned properties must abut or be directly across a street from a non-residential use. A Map Amendment (rezoning) would need to be requested for a property to be added to the BT overlay. A public hearing at Plan Commission would be held, and ultimately approval would need to be granted by City Council. Currently, a total of 59 properties zoned RT-4 abut or are across a street from a non-residential use and therefore have the potential to be added to the BT overlay.

**V. PLAN COMMISSION RECOMMENDATION**

The Plan Commission held a public hearing on the General Amendment on 11/1/16. The Commission voted 6-0 to recommend approval.

**VI. ATTACHMENTS**

- Application for General Amendment; received 10/10/16

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

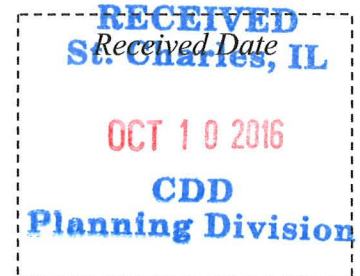


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**GENERAL AMENDMENT APPLICATION**

<b>CITYVIEW</b>	
Project Name:	<u>GA- RT-4/BT Lot size</u>
Project Number:	<u>2016 -PR-014</u>
Application Number:	<u>2016 -AP-035</u>



*Instructions:*

To request an amendment to the text of the St. Charles Zoning Ordinance (City Code Title 17), complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a meeting or public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>Applicant:</b>	Name	<u>JOSEPH WENCOWSKI</u> <u>PATRICIA BLOWN</u>	Phone	<u>630-443-9255</u>
	Address	<u>211 ILLINOIS AVENUE</u> <u>ST CHARLES, IL 60174</u>	Fax	<u>630-443-9440</u>
			Email	<u>jwencowski@aol.com</u>

**Attachment Checklist**

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance (\$500)
- REIMBURSEMENT OF FEES AGREEMENT:**  
An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**  
Deposit of funds in escrow with the City. (For a General Amendment application only: \$1,000 deposit.)
- FINDINGS:** Fill out the attached form or submit responses on a separate sheet.

**WORDING OF THE REQUESTED TEXT AMENDMENT**

What is the amendment regarding?

***The amendment has as its subject matter the square footage requirement of 3,750 square feet per unit for two family dwellings in the RT-4 District.***

What sections are proposed for amendment?

***Ch, 17.12. "Residential Districts"***

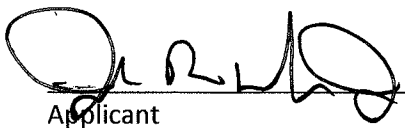
***Section 17.12.030 "Bulk Regulation"***

***Table 17.12.2-2 "Residential District Bulk Requirements"***

The wording of the proposed amendment:

***Amend the existing ordinance to allow two family dwellings in properties with a minimum lot size of 5,000 square feet with the RT-4 District, BT overlay.***

We certify that this application and documents submitted with it are true and correct to the best of our knowledge and belief.

  
Applicant

10/9/16  
Date

  
Applicant

10/9/16  
Date

## FINDINGS OF FACT – GENERAL AMENDMENT

Amendment Description Ordinance Section Number: Ch. 17-12 “Residential Districts”, Section 17.12.030  
“Bulk Regulations, Table 17.12-2 “Residential Buk Requirements”

Date: October 7, 2016

1. The consistency of the proposed amendment with the City’s Comprehensive Plan.

***As will be seen by the following proposed amendment language there is no direct effect or deviation from the City’s Comprehensive Plan. The comprehensive City plan promotes diverse housing options within residential neighborhoods and in downtown St. Charles, which, by the revision requested by this amendment, would find support in such diversity.***

2. The consistency of the proposed amendment with the intent and general regulation of this Title.

***The proposed amendment is consistent with Section 17. 02.020 – Purpose and Intent of the City of St. Charles Municipal Code in that such amendment will (B) Preserve and enhance the quality of life for residents and visitors, and (C) Protect the character of established residential neighborhoods.***

3. Whether the proposed amendment corrects an error or omission, adds clarification to existing requirements, is more workable than the existing text, or reflects a change in policy,

***The proposed amendment reflects a change in policy to reduce the minimum lot size requirement for two (2) family dwellings in the BT overlay of the RT-4 District.***

4. The extent to which the proposed amendment would be in the public interest and would not serve solely the interest of the applicant.

***The proposed amendment would be in the public interest in that it would allow for more flexibility in the use of properties within the subject zoning districts thereby benefiting housing owners of such properties and prospective residents seeking such housing options that are close to downtown St. Charles.***

5. The extent to which the proposed amendment creates nonconformities.

*The proposed amendment would not create any nonconformity under the existing code. It would eliminate nonconforming situation for any properties that are 5,000 square feet in size within the BT overlay/RT-4 District that are currently used as two-family dwellings and do not meet the current lot size requirement of 7,500 square feet.*

6. The implications of the proposed amendment on all similarly zoned property in St. Charles.

*The proposed amendment will apply to all properties zoned RT-4 BT overlay. There are eighteen (18) existing properties within this zoning. Of the eighteen (18) properties, eleven (11) would be affected under this amendment due to lot size.*

*There are two (2) properties under 7,500 lot size that are presently used as two-family dwellings: 315 Illinois Avenue – two (2) family use dwelling consisting of two (2) apartments with a lot size of 5,000 square feet and 305 South ~~Third~~ Avenue- a two (2) family use dwelling consisting of two (2) apartments with a lot size of 5,000 square feet*

## FACT AND INFORMATION SHEET FOR 211 ILLINOIS AVENUE, ST. CHARLES, ILLINOIS

A two-flat building located in the Historic District of St. Charles, in close proximity to the downtown area.

Current zoning for the two-flat is RT4 and BT overlay.

At the present time there are business offices on the first floor and an apartment located on the second floor.

The building has five (5) dedicated parking spaces.

### **Improvements to Property:**

Wiring and plumbing were updated prior to 2001.

Roof, chimney and gutters were replaced in 2011.

Exterior was painted in 2016.

Water heaters for each unit were replaced in 2004 and 2006.

HVAC – separate units – renovated prior to 2001.

### **Utilities:**

Billed by each floor for each unit:

2 Gas meters

2 Electric meters

2 Furnaces

2 Central air conditioning units

2 Water heaters

Each unit has its own cable television connection

### **Breakdown on each unit:**

**First Floor:** five rooms, full bath, kitchen and enclosed front porch.

**Second Floor:** two bedrooms, family room, full bath, kitchen, front porch entrance and separate rear entrance.

**Basement:** laundry facilities available to first and second floor residents with separate entrances.



- City of St. Charles was contacted prior to the purchase of the property by the present owners in 2001 and received confirmation that the property could be used as a single residence, a business and a residence or as two (2) apartments within the 2001 zoning requirements. At the time of a 2005 appraisal for purposes of a refinancing of the property this information was once again confirmed.
- Of added significance is the fact that the properties located at 315 Illinois Avenue and 305 S. 3<sup>rd</sup> Avenue (both properties essentially on Illinois Avenue) each have two (2) apartments, the same zoning and a 5,000 square foot lot.
- The subject property has been carefully maintained by the present owners to insure that all repairs and renovations would conform to all aspects of historic district guidelines.
- The highest and best use for the subject property is a two (2) unit apartment building – providing increased tax revenues and consumer spending within St. Charles.
- See photographs of subject property showing a separation of services for each unit indicating the appropriateness of the use of two residential units for the property.
- There are currently 194 vacant office sites within the city of St. Charles and approximately 157 vacant retail sites within the city.
- The zoning amendment will enhance the sale of the property and will provide for increased revenue from a consumer spending perspective from two occupied residential units within the downtown St. Charles business district. This amendment will diminish traffic flow that an office would promote within the historic district.
- At the time of the initial listing of the property there were approximately 1,000 web site “hits” within the first week of listing and two showings that provided interested parties prepared to make offers of purchase. The interested parties determined that they would not proceed with a formal offer once they learned of the present zoning requirements that eliminated the use of the property for two residential units.
- Subsequent to the initial market interest and prospective offers there have been approximately 3,000 web site “hits” without a single showing of the property. This lack of activity in terms of showings and potential offers of interest is predicated upon the current zoning restrictions eliminating the ability to market the property as a potential two residential use property.
- Of note is that the initial listing of the property prior to the purchase by the present owners the property was marketed with the understanding that the owners could use the property for a single family residence or two residential units or an office on the first floor and a residential unit on the second without any zoning restriction on such use based on lot size.



Facing Illinois Avenue—211 Illinois Avenue, St. Charles, IL



Separate Furnaces For Each Unit



Laundry Facilities Accessible to Both Units



Separate Central Air Conditioning Units



Entry from Exterior to Basement for  
Upstairs Apartment



Entrance Door to Basement from  
Outside for Upstairs Apartment

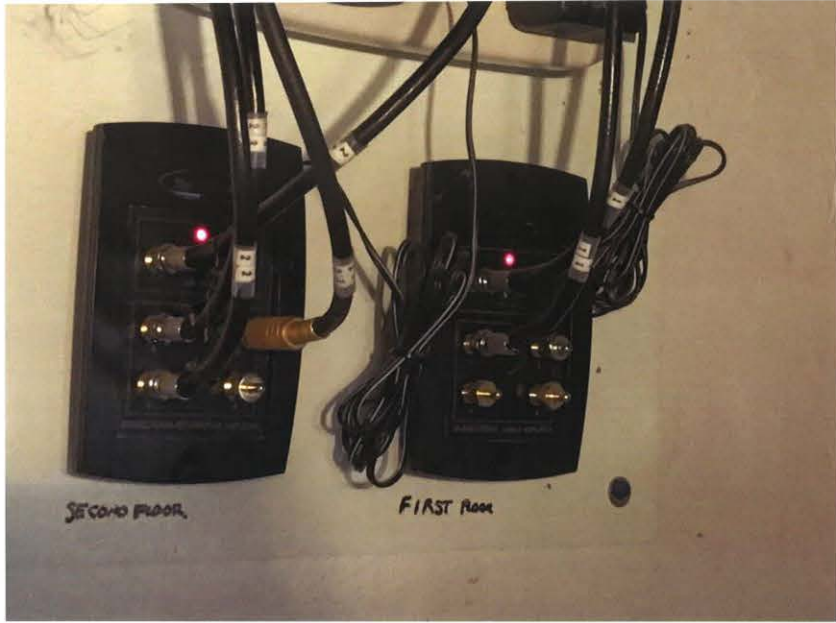


Separate Hot Water Heaters  
for Each Unit





Separate Water Meters For Each Unit



Separate Cable Outlets for Each Unit



Separate Circuit Breaker Boxes  
for Each Unit



Separate Gas Meters for Each Unit



Showing Rear Access Entrance to  
Basement



Parking in Rear of Building for  
Tenants-Five (5) Spaces





Separate Entrances in Rear of Building for Lower Unit and Upstairs Apartment



Front Entry Ways Leading to Upper and Lower Units



Showing Stairway to Upper Apartment

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 4e

Title:

Plan Commission recommendation to approve an Amendment to Special Use for PUD for Corporate Reserve Lot 8 (Lot 8 – The Corporate Reserve of St. Charles PUD)

Presenter:

Ellen Johnson

Meeting: Planning &amp; Development Committee

Date: November 14, 2016

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: **Executive Summary** *(if not budgeted please explain):*

Lot 8 of the Corporate Reserve of St. Charles is a 22.6 acre vacant parcel located on the north side of Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr. In January 2016, City Council approved Ordinance 2016-Z-2, which amended the Corporate Reserve PUD to allow development of a 78-lot single-family subdivision on Lot 8.

CalAtlantic Homes is under contract to purchase the property. They plan to build the development as previously approved. However, some of the home models CalAtlantic plans to offer to buyers have deeper footprints than the smaller lots in the development can accommodate due to the building setback requirements.

In order to accommodate the deeper models, the developer is requesting to reduce the front and rear yard building setback requirements for lots 105 ft. deep and under, as follows:

1. Reduce the front yard setback requirement from 20 ft. to 18 ft.
2. Reduce the rear yard setback requirement from 30 ft. to 27 ft.

The reduced setbacks would apply to 38 out of the 78 total lots.

No other changes to the approved PUD Preliminary Plan are proposed.

**Plan Commission Review**

The Plan Commission held a public hearing on the Special Use for PUD Amendment on 11/1/16. The Commission voted 6-0 to recommend approval.

**Attachments** *(please list):*

Plan Commission Resolution, Staff Report, Application, Ordinance 2016-Z-2

**Recommendation/Suggested Action** *(briefly explain):*

Plan Commission recommendation to approve an Amendment to Special Use for PUD for Corporate Reserve Lot 8 (Lot – The Corporate Reserve of St. Charles PUD)



**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 19-2016**

**A Resolution Recommending Approval of an Application for Special Use to Amend Ordinance 2016-Z-2 (Lot 8 – The Corporate Reserve of St. Charles PUD)**

**Passed by Plan Commission November 1, 2016**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Uses; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the Application for Special Use to amend Ordinance 2016-Z-2 (Lot 8 – The Corporate Reserve of St. Charles PUD), filed by CalAtlantic Homes; and

WHEREAS, the Plan Commission finds the Special Use for PUD to be in the public interest based on the following criteria:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
  - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
  - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
  - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
  - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
  - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
  - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
  - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

No change from original PUD approval under Ordinance 2016-Z-2.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

**Resolution 19-2016**

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

No change from original PUD approval under Ordinance 2016-Z-2, except that one additional minimal deviation from the RS-4 District bulk requirements is requested. The requested deviation for a reduction in the front yard setback from 20 ft. to 18 ft. and a reduction in the rear yard setback from 30 ft. to 27 ft. for 38 of the 78 total lots will allow for the ability to offer a wider variety of product in the development.

**iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

No change from original PUD approval under Ordinance 2016-Z-2.

**B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

**Resolution 19-2016**

No change from original PUD approval under Ordinance 2016-Z-2.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

No change from original PUD approval under Ordinance 2016-Z-2.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

No change from original PUD approval under Ordinance 2016-Z-2.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

No change from original PUD approval under Ordinance 2016-Z-2.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed Special Use for PUD conforms to all Federal, State, and local legislation and regulations and meets or exceeds all applicable provisions of this Title, except as varied pursuant to the original PUD approval under Ordinance 2016-Z-2 and the proposed additional deviation.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

No change from original PUD approval under Ordinance 2016-Z-2.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

No change from original PUD approval under Ordinance 2016-Z-2.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of an Application for Special Use to amend Ordinance 2016-Z-2 (Lot 8 – The Corporate Reserve of St. Charles PUD).

**Resolution 19-2016**

Roll Call Vote:

Ayes: Kessler, Frio, Pretz, Holderfield, Schuetz, Macklin-Purdy

Nays:

Absent: Wallace, Doyle, Spruth

Motion carried: 6-0

PASSED, this 1st day of November 2016.

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Chairman  
St. Charles Plan Commission

Community & Economic Development  
 Planning Division

Phone: (630) 377-4443  
 Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Todd Bancroft  
 And the Members of the Planning and Development Committee

**FROM:** Ellen Johnson, Planner

**RE:** Corporate Reserve Lot 8 – PUD Amendment

**DATE:** November 8, 2016

**I. APPLICATION INFORMATION:**

**Project Name:** Corporate Reserve Lot 8

**Applicant:** CalAtlantic Homes

**Purpose:** Reduce the front and rear yard building setback requirement

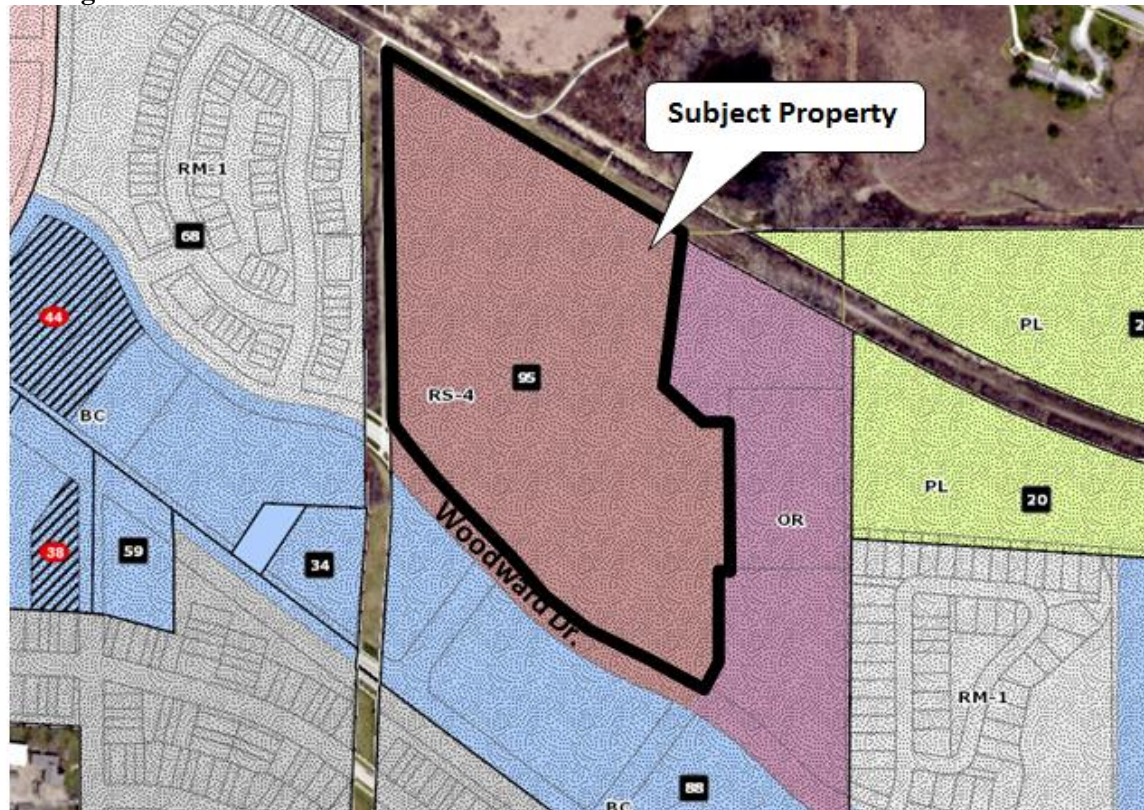
<b>General Information:</b>		
<b>Site Information</b>		
Location	Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr. (north side of Woodward Dr.)	
Acres	22.6 acres (985,724 sf)	
Application:	Special Use (PUD Amendment)	
Applicable City Code Sections and PUD Ordinance	Title 17, Chapter 17.12 - Residential Districts Ordinance No. 2016-Z- 2 “An Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – Corporate Reserve of St. Charles”	
<b>Existing Conditions</b>		
Land Use	Vacant	
Zoning	RS-4 Suburban Single-Family Residential & PUD (Lot 8 – Corporate Reserve of St. Charles)	
<b>Zoning Summary</b>		
North	N/A – unincorporated	Kane County Forest Preserve
East	O/R- Office/Research District & PUD (Corporate Reserve of St. Charles)	Stormwater detention area, two office buildings, vacant parcel
South	BC- Community Business & PUD (Corporate Reserve of St. Charles)	Vacant parcels
West	RM-1- Mixed Medium Density Residential & PUD (Remington Glen)	Townhome development
<b>Comprehensive Plan Designation</b>		
Industrial/Business Park w/Residential Option		



**Aerial**



**Zoning**



## **II. BACKGROUND**

### **A. PROPERTY HISTORY**

The subject property, a 22.6 acre vacant parcel, is Lot 8 of the Corporate Reserve of St. Charles. The Corporate Reserve of St. Charles PUD was originally approved in 2008 under Ordinance No. 2008-Z-18, “An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD).” A total of eight (8) lots initially encompassed the PUD.

In 2015, the property owner submitted zoning applications to amend the Corporate Reserve PUD to allow for a single-family residential subdivision on Lot 8. This past January, City Council approved Ordinance No. 2016-Z-2 “An Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – Corporate Reserve of St. Charles”. This ordinance rezoned the property to the RS-4 zoning district and established PUD standards for development of a 78-lot single-family subdivision.

### **B. PROPOSAL**

CalAtlantic Homes is under contract to purchase Lot 8 of the Corporate Reserve of St. Charles. They plan to build the development as previously approved. However, some of the home models CalAtlantic plans to offer to buyers have deeper footprints than the smaller lots in the development can accommodate due to the building setback requirements.

Specifically, the PUD ordinance requires a 20 ft. front yard setback and a 30 ft. rear yard setback. The smallest lots in the development are 100 ft. deep. This allows for a building depth of up to 50 ft. CalAtlantic’s home models range from 43 to 55 ft. deep.

In order to accommodate the deeper models, the developer is requesting to reduce the front and rear yard setback requirements for lots 105 ft. deep and under, as follows:

1. Reduce the front yard setback requirement from 20 ft. to 18 ft.
2. Reduce the rear yard setback requirement from 30 ft. to 27 ft.

The reduced setbacks would apply to 38 out of the 78 total lots.

No other changes to the approved PUD Preliminary Plan are proposed.

## **III. ANALYSIS**

### **A. ZONING**

The table below compares the zoning standards for the underlying RS-4 zoning district, the standards approved under the Lot 8 – Corporate Reserve of St. Charles PUD Ordinance, and the proposed standards under the requested PUD Amendment. The requested reductions in the front and rear yard setbacks constitute deviations from the underlying RS-4 zoning district.



	<b>RS-4 District</b>	<b>Approved PUD Ordinance</b>	<b>Proposed Amendment</b>
<b>Min. Lot Area</b>	6,600 sf	5,200 sf	5,200 sf
<b>Min. Lot Width</b>	60 ft.	43.65 ft. (Lot 16) (Typical lot width: 52 ft.)	43.65 ft. (Lot 16) (Typical lot width: 52 ft.)
<b>Max. Building Coverage</b>	30%	38.5%	38.5%
<b>Max. Building Height</b>	34 ft. or 2 stories, whichever is less	TBD	TBD
<b>Min. Front Yard</b>	20 ft.	20 ft.	<b>18 ft. for lots under 105' in depth only (38 total lots)</b>
<b>Min. Interior Side Yard</b>	Combined width of 14 ft., neither less than 5 ft.	6 ft.	6 ft.
<b>Min. Exterior Side Yard</b>	15 ft.	25 ft.	25 ft.
<b>Min. Rear Yard</b>	30 ft.	30 ft.	<b>27 ft. for lots under 105' in depth only (38 total lots)</b>

The reduced setbacks will apply to all lots under 105 ft. in depth. This constitutes 38 of the 78 total single-family lots. The attached exhibit illustrates the location of these lots (shown in red and orange). The existing 20 ft. front and 30 ft. rear setbacks will continue to be required for the 40 lots that are 105 ft. in depth or more.

Based on the existing front yard (20 ft.) and rear yard (30 ft.) setback requirements, the maximum building depth that would be permitted on a 100 ft. lot would be 50 ft. The developer has provided eight (8) home plans they wish to offer to buyers for this development. The building footprints range from 43 ft. to 55 ft. in depth. The proposed reduced setbacks for the smaller lots would allow for flexibility in the home models that can be constructed on a given lot. With the reduced setbacks, any of the 8 models could be constructed on any lot, subject to the building coverage limitation and monotony code standards established in the PUD Ordinance.

#### **IV. PLAN COMMISSION RECOMMENDATION**

The Plan Commission held a public hearing for the Special Use for PUD Amendment on 11/1/16. The Commission voted 6-0 to recommend approval.

#### **V. ATTACHMENTS**

- Application for Special Use; received 9/30/16
- Exhibit of Impacted Lots
- Home Models
- Ordinance 2016-Z-2

# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



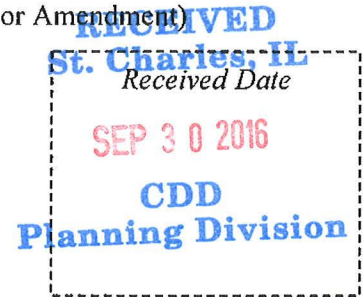
COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	Corporate Reserve Lot 8 PUD Amendment
Project Number:	2016 -PR- 015
Application Number:	2016 -AP- 036



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location: 37W750 Route 64, St. Charles, IL 60175	
	Parcel Number (s): 09-29-326-001 (Lot 8)	
	Proposed Name: Lot 8 - The Corporate Reserve at St. Charles	
<b>2. Applicant Information:</b>	Name CALATLANTIC	Phone 224-293-3100
	Address 1411 EAST MAIN STREET SUITE 108 EAST DUNDEE, IL 60118	Fax
		Email
<b>3. Record Owner Information:</b>	Name Pinewood Capital, LLC	Phone 303-371-9000
	Address 100 Saint Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com

**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** \_\_\_\_\_
  - New PUD
  - Amendment to existing PUD- Ordinance #: 2016-Z-2
  - PUD Preliminary Plan filed concurrently
  
- Other Special Use (from list in the Zoning Ordinance):** \_\_\_\_\_
  - Newly established Special Use
  - Amendment to an existing Special Use Ordinance #: \_\_\_\_\_

**Information Regarding Special Use:**

Comprehensive Plan designation of the property: Industrial/Business Park w/alternative for residential use

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? RS-4

What is the property currently used for? Undeveloped

If the proposed Special Use is approved, what improvements or construction are planned?  
78 single family homes with supporting right-of way and park and open space .

**For Special Use Amendments only:**

Why is the proposed change necessary?  
In order to accommodate the depth of some of the models a deviation from the front and  
and rear yard set-backs will need to be altered on a lot by lot basis to accommodate the depth.

What are the proposed amendments? (Attach proposed language if necessary)  
See attached

**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**□ APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**□ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**□ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**□ PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**□ LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

**□ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**□ FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

**□ LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

❑ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

❑ **TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

❑ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

  
\_\_\_\_\_  
Record Owner 9-29-16  
Date

  
\_\_\_\_\_  
Applicant or Authorized Agent 9/30/16  
Date

## Corporate Reserve Attachment

Some of the homes that we will be offering for sale have a depth of between 51 and 55 feet, the typical lot has a building depth of 50 feet. There are 34 out of 78 lots that are considered typical, these lots will require a Deviation from the PUD for these models because the lot depth is not adequate to meet the set- back requirements.



# CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)



*\*For Special Use for PUD or PUD Amendment applications.\**

*The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.*

*As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.*

*(You may utilize this form or provide the responses on another sheet.)*

Anthem Heights \_\_\_\_\_  
*PUD Name* \_\_\_\_\_ *Date* \_\_\_\_\_

**From the St. Charles Zoning Ordinance, Section 17.04.410.3:**

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

**i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

No Change from original PUD approval under Ordinance 2016-Z-2.

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ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

No change from original PUD approval under ordinance 2016-Z-2, with one additional minimal variation from

the RS-4 standards, the development will still comply the spirit and intent of the above listed standards.

The variation that we are requesting on will allow for the ability to offer a wider variety of product in the development.

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**iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

No change from original PUD approval under Ordinance 2016-Z-2.

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B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

No change from original PUD approval under Ordinance 2016-Z-2.

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C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

No change from original PUD approval under Ordinance 2016-Z-2.

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D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

No change from original PUD approval under Ordinance 2016-Z-2.

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E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

No change from original PUD approval under Ordinance 2016-Z-2.

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F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use for Anthem Heights conforms to all existing Federal, State, local legislation and regulations and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

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**iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

No change from original PUD approval under Ordinance 2016-Z-2.

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**v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

No change from original PUD approval under Ordinance 2016-Z-2.

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**OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS    )  
                                  ) SS.  
KANE COUNTY         )

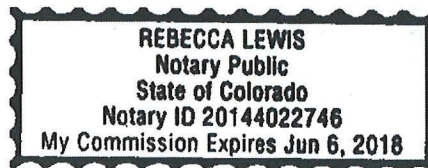
I, Brian Pauls, being first duly sworn on oath depose and say that I am  
Manager of Pinewood Capital, LLC, an <sup>Colorado</sup> ~~Illinois~~ Limited Liability  
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

PAULS REAL ESTATE OPPORTUNITIES (PREO) 2014 Fund  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

By: , Manager

Subscribed and Sworn before me this 29th day of  
September, 20 16.

  
Notary Public





100 St Paul Street, Suite 300  
Denver, CO 80206  
303.371.9000  
paulscorp.com

**PINEWOOD CAPITAL, LLC**

September 28, 2016

Mr. Russell Colby  
Planning Division Manager  
City of St. Charles  
2 East Main Street  
St. Charles, IL 60174-1984

RE: Letter of Authorization for CalAtlantic Group, Inc. for Corporate Reserve Lot 8

Dear Mr. Colby,

CalAtlantic Group, Inc. has entered into a Purchase and Sale Agreement with Pinewood Capital, LLC to purchase Lot 8 in the Corporate Reserve of St. Charles. Pinewood Capital, LLC hereby authorizes CalAtlantic Group, Inc. to submit for approvals for residential development on Lot 8. CalAtlantic Group, Inc. shall be responsible for any fees associated with their submittals and final approval documents shall not be recorded until CalAtlantic Group, Inc. has closed on the sale of this property.

Thank you in advance for your assistance and please contact Pete Tobin at 303-912-8654 with questions or if you need any additional information from Pinewood.

Sincerely,

A blue ink handwritten signature of Brian Pauls, written over a horizontal line.

Brian Pauls  
Authorized Signatory

Cc: Pete Tobin  
Nate Hermes  
Bill Robinson



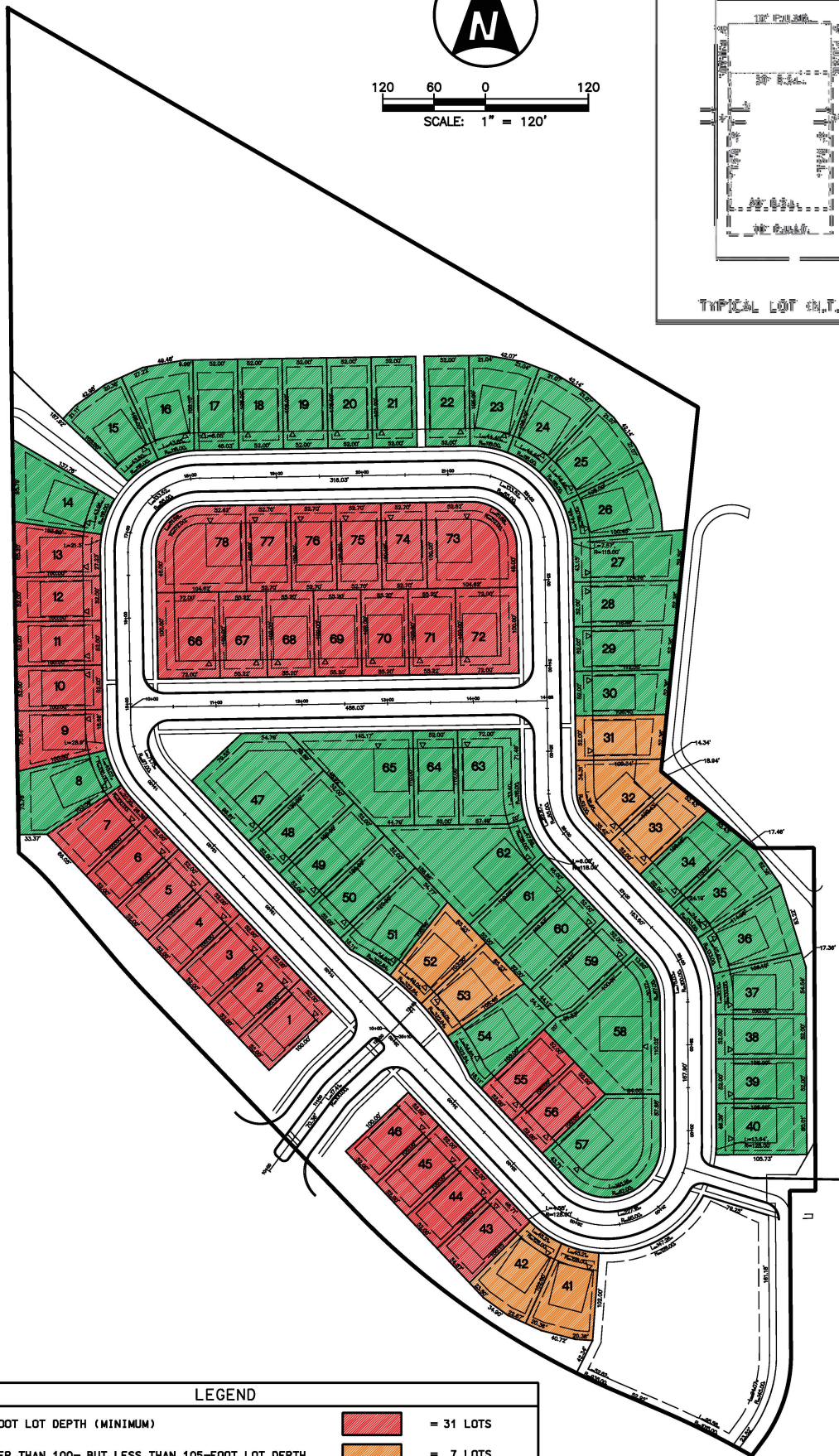
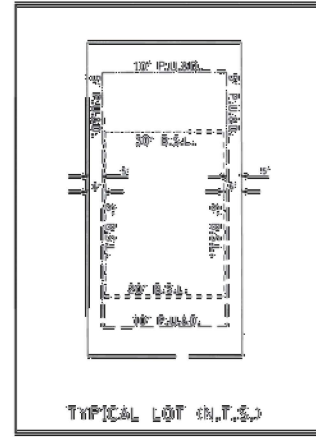
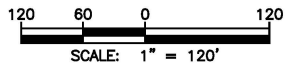
## RESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: \_\_\_\_\_

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: RS-4	Ordinance #: 2016-2-2	
Minimum Lot Area	6,600 sf	5,200 sf	
Minimum Lot Width	60 ft	52 ft	
Maximum Building Coverage	30 %	38.5%	
Maximum Building Height	34 ft		
Minimum Front Yard	20 ft	20 ft	18 ft *
Interior Side Yard	Combined width of 14 ft, neither less than 5 ft	6 ft	
Exterior Side Yard	15ft		
Minimum Rear Yard	30 ft	30 ft	27 ft *
% Overall Landscape Area	n/a		n/a
Building Foundation Landscaping	n/a		n/a
% Interior Parking Lot Landscape	n/a		n/a
Landscape Buffer Yards <sup>1</sup>	n/a		n/a
# of Parking spaces	n/a		n/a

\* These lot set-backs will only apply when the Home is over 50 feet deep and the lot is less than 105 feet in depth.

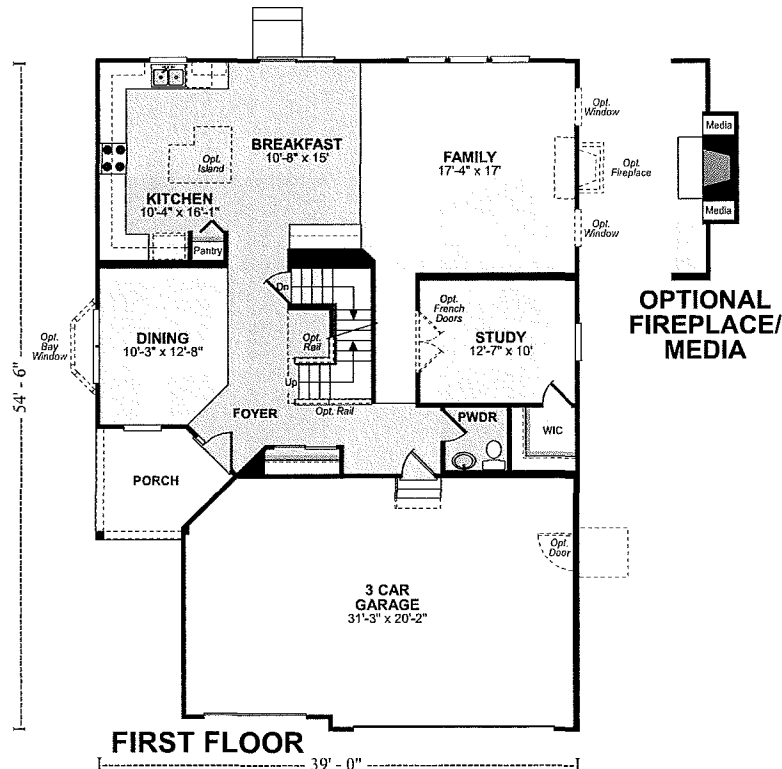
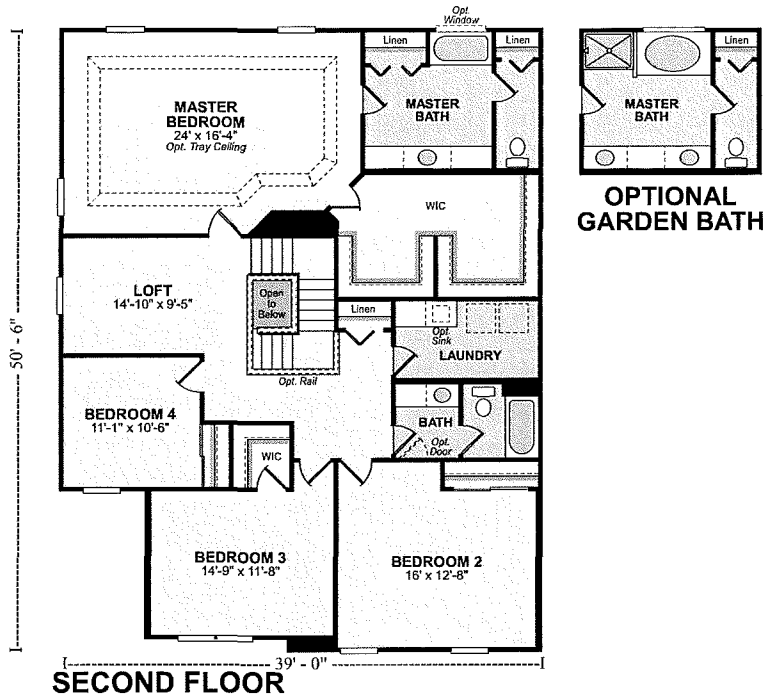
<sup>1</sup> Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, or RT District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.



LEGEND		
100-FOOT LOT DEPTH (MINIMUM)		= 31 LOTS
GREATER THAN 100- BUT LESS THAN 105-FOOT LOT DEPTH		= 7 LOTS
105' OR GREATER LOT DEPTH (AT REAR OF BUILDING)		= 40 LOTS

DESIGNED BY	DATE	SCALE
DRAWN BY	DATE	SCALE
CHECKED BY	DATE	SCALE
APPROVED BY	DATE	SCALE
DATE	DATE	DATE

## Savannah The Estates at Brookmere



54'6"

**Savannah**  
The Estates at Brookmere



**ELEVATION B**



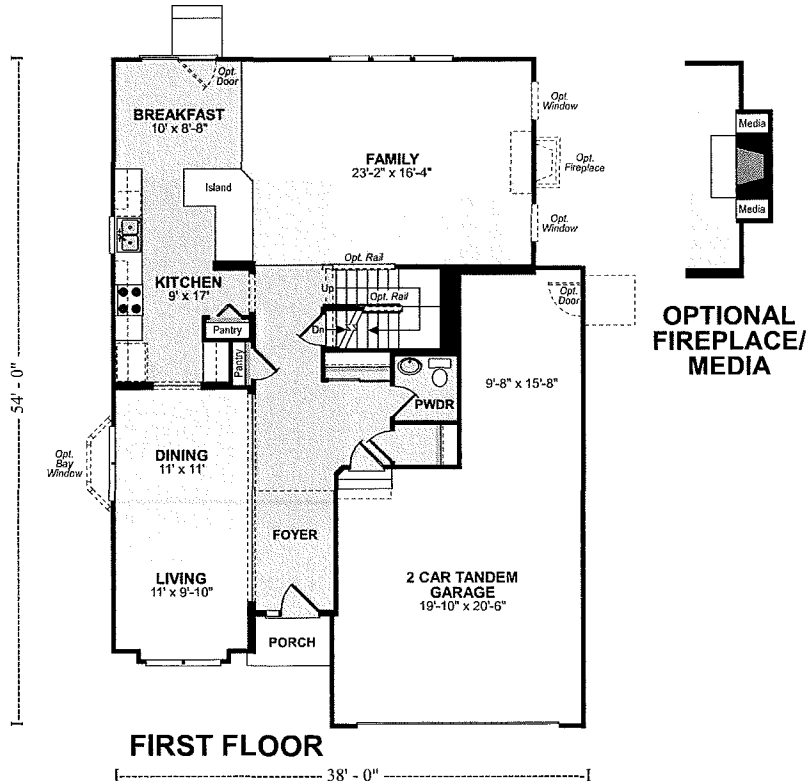
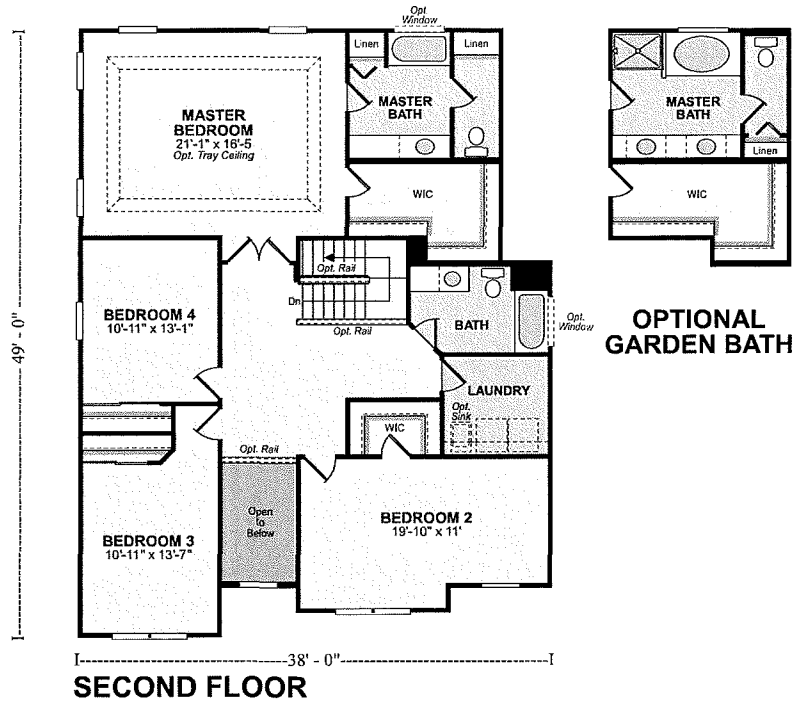
**ELEVATION A**



**ELEVATION C**

**RYLAND HOMES®**  
ryland.com

## Norfolk The Estates at Brookmere



54'



**Norfolk**  
The Estates at Brookmere



**ELEVATION B**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION C**  
SHOWN W/ OPT. RAILS

**RYLAND HOMES®**  
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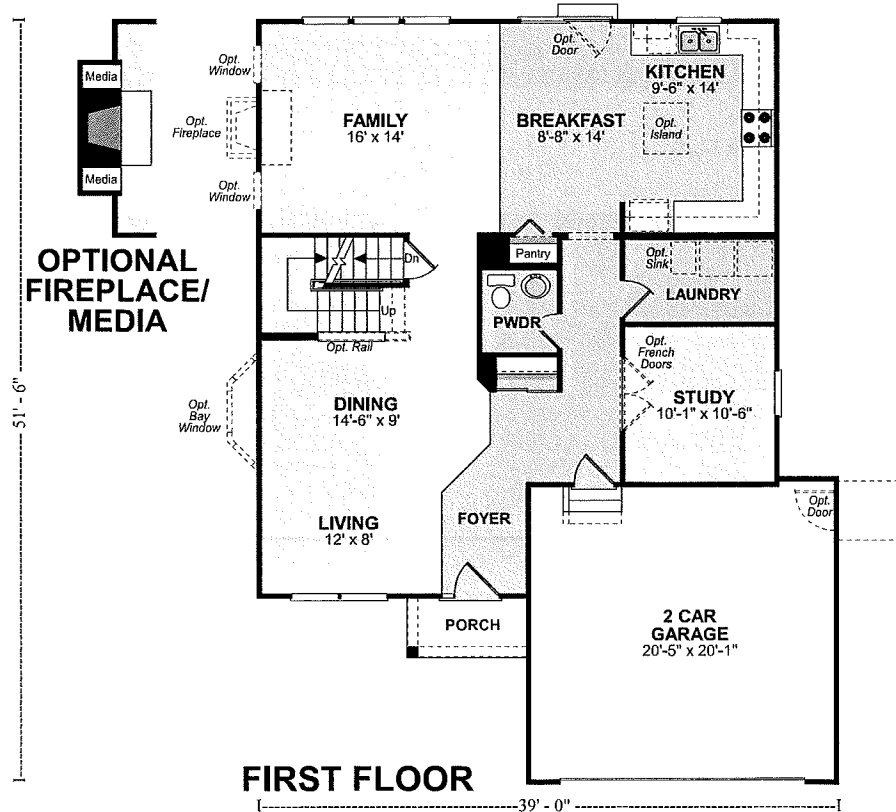
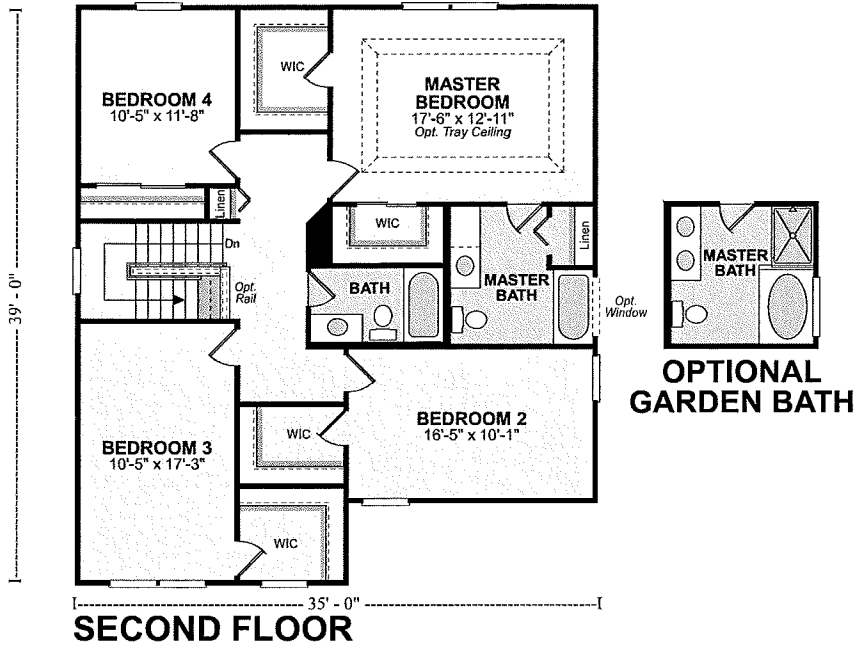


1/15/2016

Plans, specifications, included features, available options and elevations are subject to change without notice. All dimensions and square footages are approximate. Renderings are artist conceptions. See Sales Counselor for details and available options. Plans are the copyrighted property of Ryland Homes. A limited number of plans utilized by Ryland Homes are owned by third parties and use is licensed to Ryland Homes. Reuse of plans is strictly prohibited. Equal Housing Opportunity.



## Davenport The Estates at Brookmere



## Davenport The Estates at Brookmere



**ELEVATION B**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION C**  
SHOWN W/ OPT. RAILS

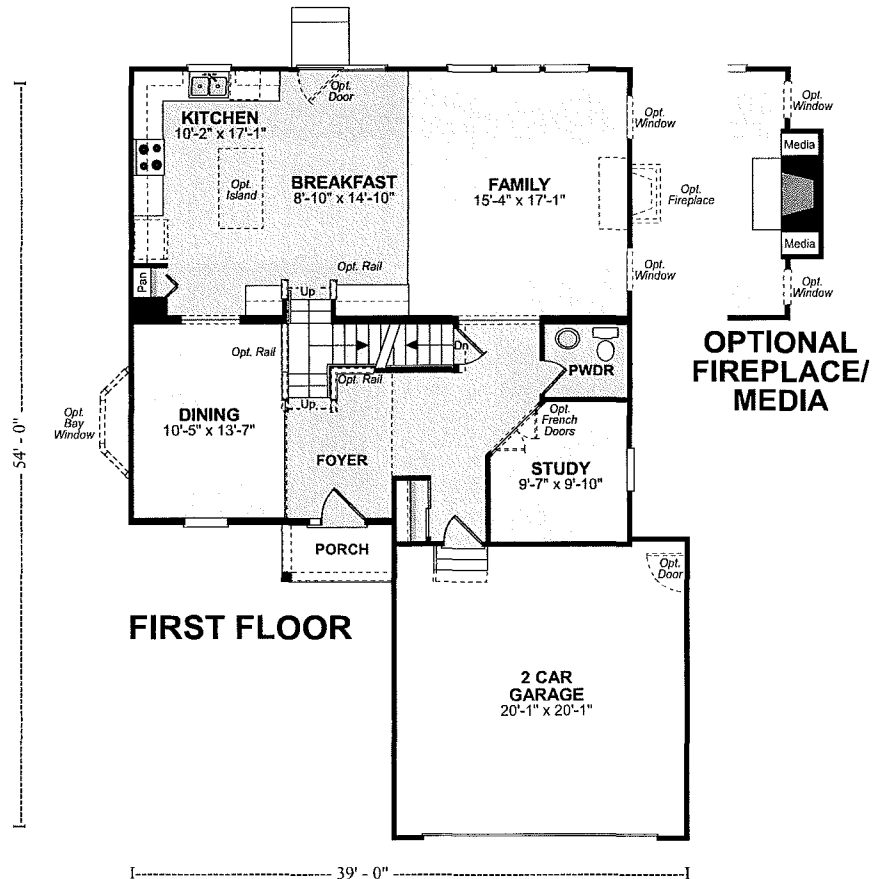
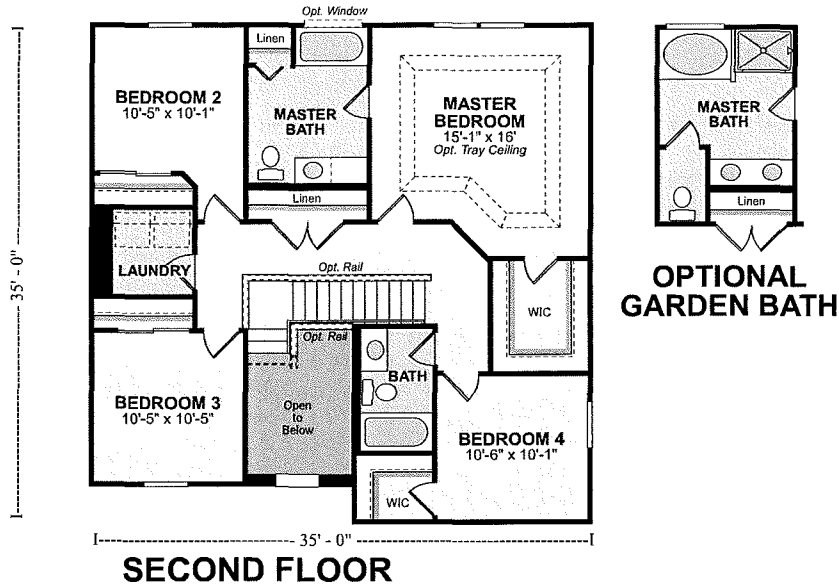
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1/15/2016

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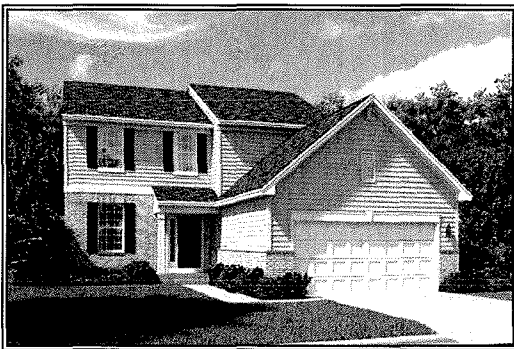
## Brooklyn The Estates at Brookmere



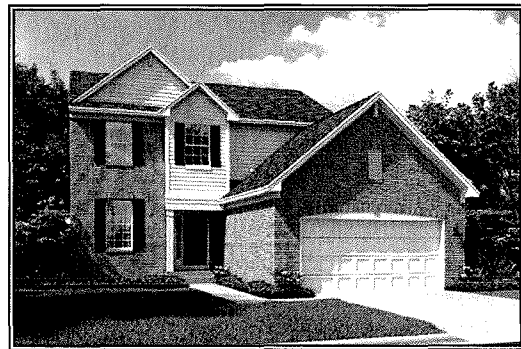
**Brooklyn**  
**The Estates at Brookmere**



**ELEVATION B**



**ELEVATION A**



**ELEVATION C**

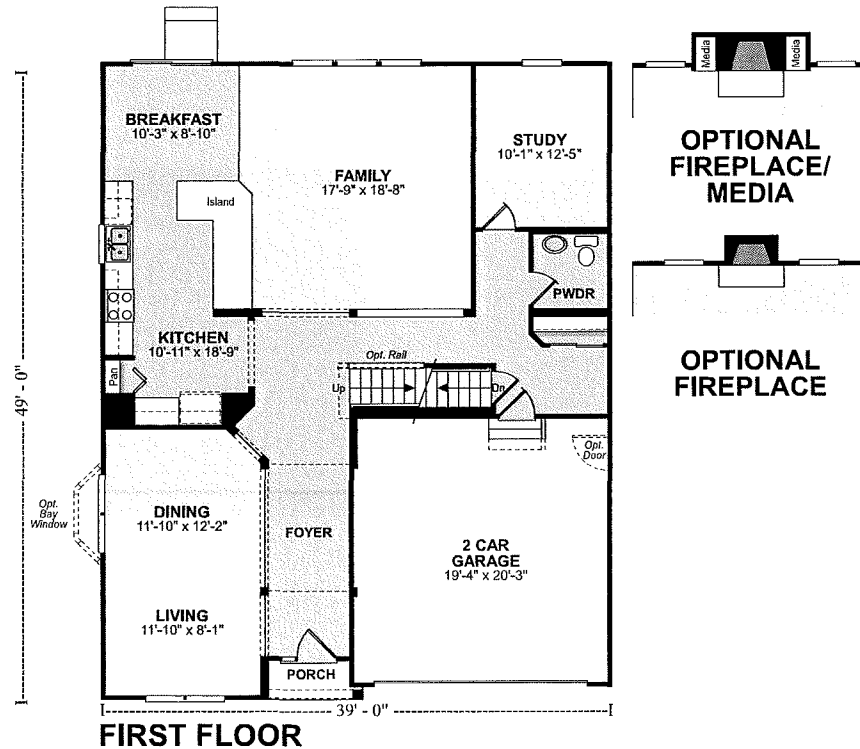
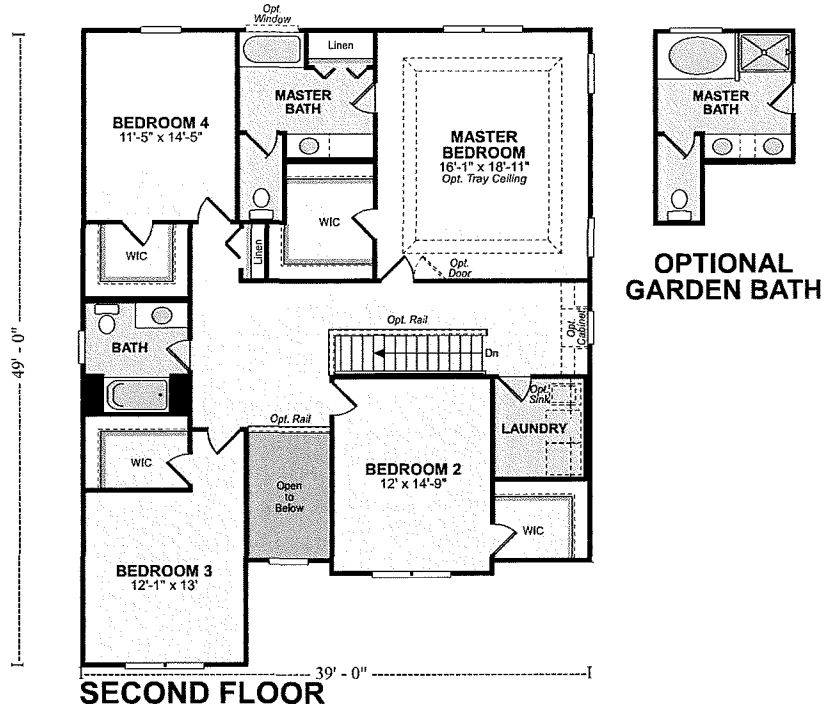
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[ryland.com](http://ryland.com)



1/8/2016

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## Rochester The Estates at Brookmere



49'

**Rochester**  
The Estates at Brookmere



**ELEVATION C**



**ELEVATION A**

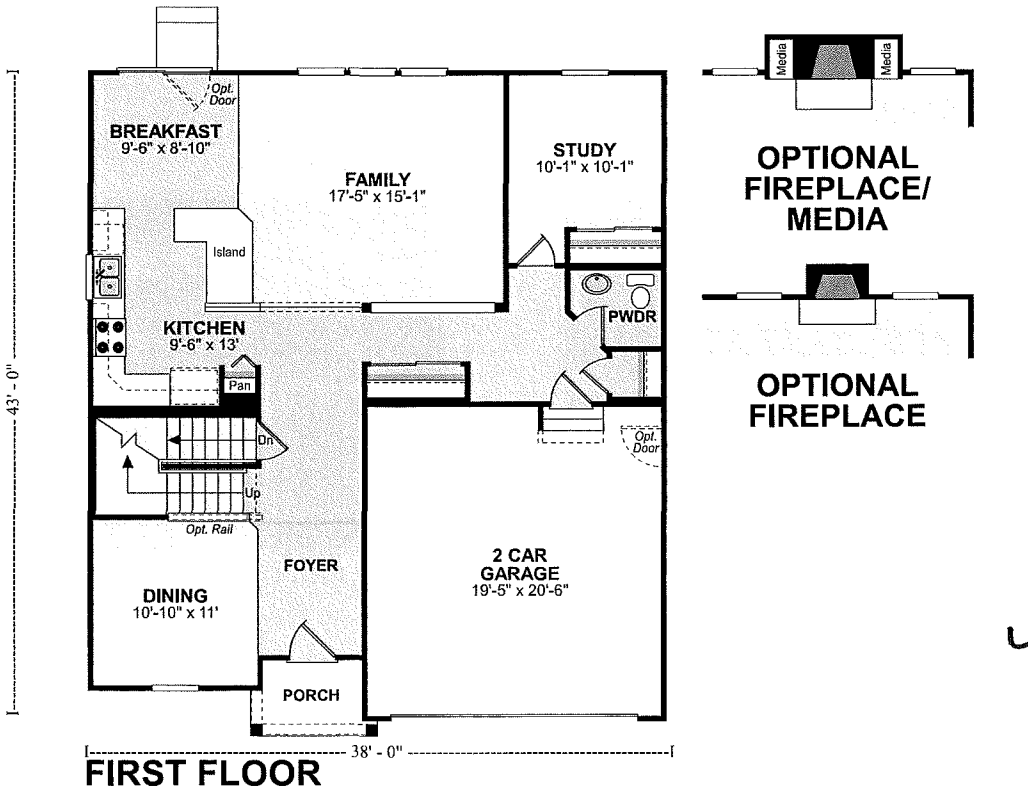
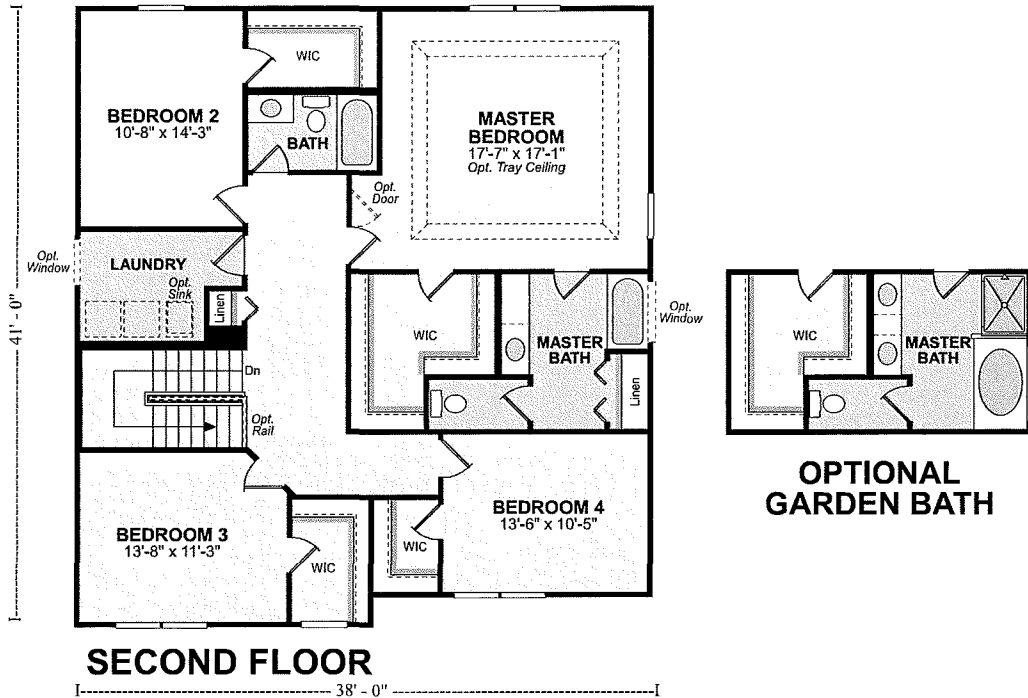


**ELEVATION B**

**RYLAND HOMES®**  
ryland.com



## Lafayette The Estates at Brookmere



## Lafayette The Estates at Brookmere



**ELEVATION C**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION B**

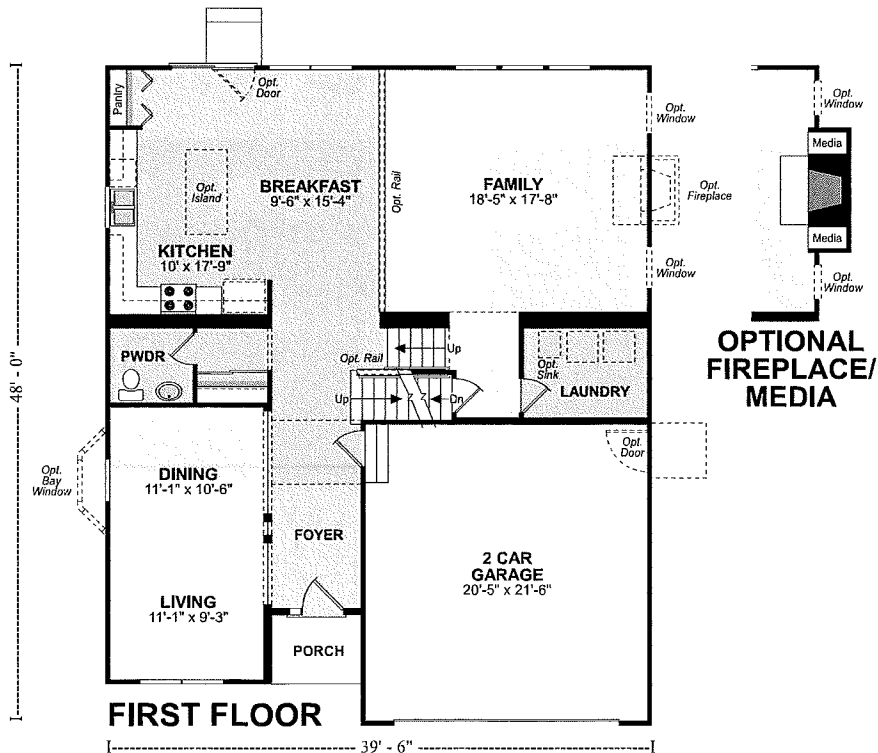
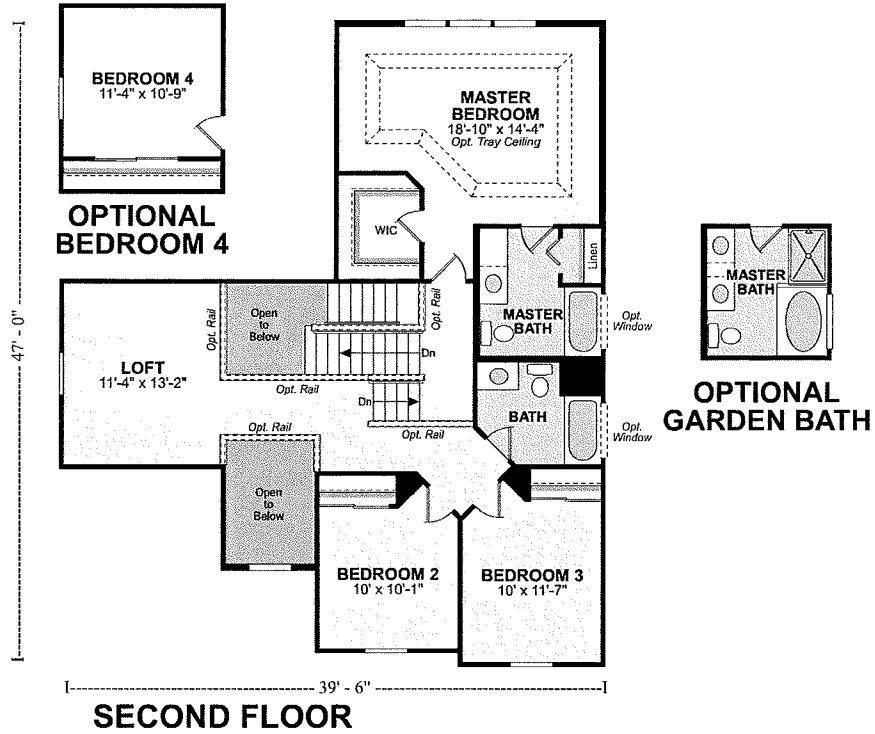
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## Charleston The Estates at Brookmere



48'

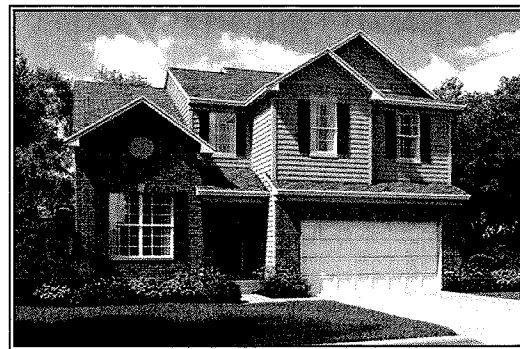
**Charleston**  
The Estates at Brookmere



**ELEVATION C**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION B**

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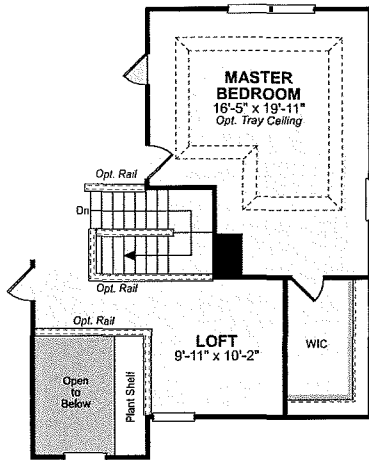
1/15/2016

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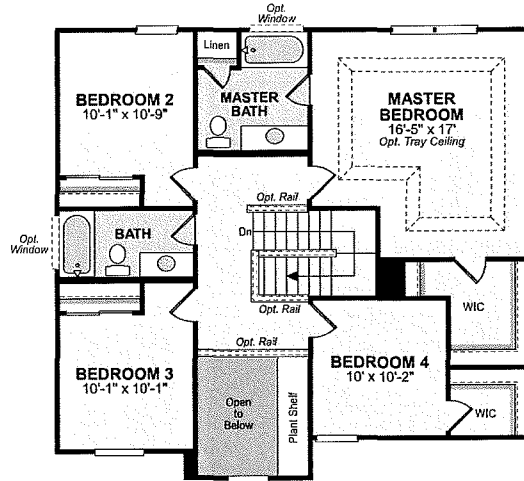
## Arlington The Estates at Brookmere



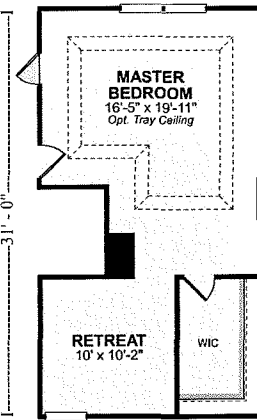
**OPTIONAL  
GARDEN BATH**



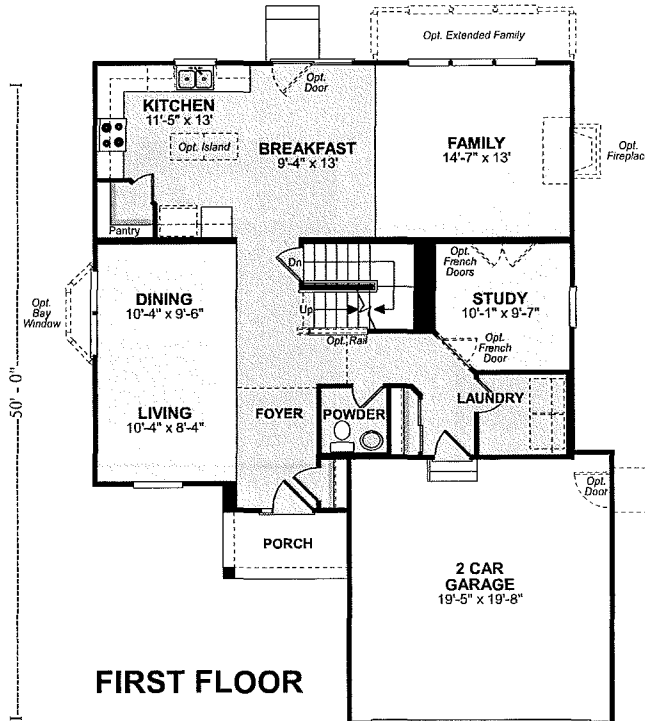
**OPTIONAL LOFT**



**SECOND FLOOR**



**OPTIONAL RETREAT**



**FIRST FLOOR**

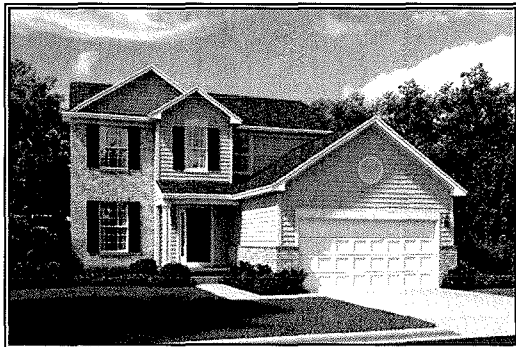
**OPTIONAL  
FIREPLACE/  
MEDIA**

50'  
(55' option)

**Arlington**  
The Estates at Brookmere



**ELEVATION C**  
SHOWN W/ OPT. RAILS



**ELEVATION A**



**ELEVATION B**  
SHOWN W/ OPT. RAILS

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**City of St. Charles, Illinois**

**Ordinance No. 2016-Z-2**

**Motion to approve an Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 - The Corporate Reserve of St. Charles.**

**Adopted by the  
City Council  
of the  
City of St. Charles  
January 19, 2016**

**Published in pamphlet form by  
authority of the City Council  
of the City of St. Charles,  
Kane and Du Page Counties,  
Illinois, January 25, 2016**

*Nancy Garrison*  
\_\_\_\_\_  
City Clerk



**(SEAL)**

DC5

**City of St. Charles, Illinois  
Ordinance No. 2016-Z- 2 .**

**An Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 - The Corporate Reserve of St. Charles**

WHEREAS, on or about October 15, 2015, Corporate Reserve Development Partners, LLC, (the "Applicant" and "Record Owner"), filed petitions for 1) Map Amendment from O-R Office/Research District to the RS-4 Suburban Single Family Residential District, 2) Amendment to Special Use for Planned Unit Development Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)", 3) PUD Preliminary Plan, and 4) Final Plat of Subdivision, all for the real estate legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Property"), for the purpose of constructing 78 single-family homes; and,

WHEREAS, on or about May 5, 2008, the City Council passed and approved Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)" which ordinance approved a planned unit development named Corporate Reserve of St. Charles PUD, of which the Subject Property is a part; and,

WHEREAS, from and after the date of passage and approval of this Ordinance, Ordinance No. 2008-Z-18 shall be null, void and of no further force or effect with respect to the Subject Property; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Amendment to Special Use for Planned Unit Development was published on or about October 31, 2015 in a newspaper having general circulation within the City, to-wit, the Kane County Chronicle newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about November 17, 2015 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision petitions on or about November 17, 2015; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about December 14, 2015; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the O-R Office/Research District to the RS-4 Suburban Single Family Residential District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit "B" are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant's petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit "C", which is attached hereto and incorporated herein.

4. That the Special Use for Planned Unit Development heretofore granted with respect to the Subject Property by Ordinance No. 2008-Z-18 "An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD)", which ordinance approved a planned unit development, shall be null, void and of no further force or effect with respect to the Subject Property.

5. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "D", and Final Plat of Subdivision, incorporated herein as Exhibit "E", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- PUD Preliminary Plan
  - Site Improvement Plans; Wills Burke Kelsey Associates, LTD; dated 1/7/2016
  - Catchment Area Map; Wills Burke Kelsey Associates, LTD; dated 9/29/2015
  - Topography Maps; Wills Burke Kelsey Associates, LTD; dated 9/30/2015 and 9/29/2015
  - Preliminary Plat; Wills Burke Kelsey Associates, LTD; dated 12/21/2015
- Final Plat of Subdivision; Control Point Engineering, LLC; dated 9/19/2015

6. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. **Zoning:** The Subject Property shall be subject to the requirements of the RS-4 Suburban Single Family Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the "PUD Deviations" attached hereto and incorporated herein as Exhibit "F".
- b. **Fence:** The fence along the rear property lines of lots backing up to Woodward Dr. (Lots 1-7 and Lots 41-46) shall be of a uniform height and design, as show on the PUD Preliminary Plan.
- c. **Owners' Association:** The Applicant shall create one or more Owners' Associations and create a Declaration of Covenants, Conditions & Restrictions that clearly identifies all responsibilities of the Owners Associations with respect to the use, maintenance and continued protection of common open space and improvements in the Subject Property, including, but not limited to, stormwater management facilities. The Declaration shall also include a "monotony code" that regulates the building architecture and modifications to the building architecture following the initial construction of the development. Such "monotony code" shall include the types of regulations listed in the "Summary of Monotony Code Regulations" attached hereto and incorporated herein as Exhibit "G". Such Declaration shall be in a form reasonably acceptable to the City and shall be recorded immediately following the recording of the Final Plat of Subdivision for the Subject Property.
- d. **Special Service Area:** Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities and other facilities serving the Subject Property. The Record Owner shall not sell or transfer ownership of any individual single-family lots within the Subject Property until such Special Service Area has been established. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other facilities are not adequately maintained by the Owner or successors.
- e. **School and Park Contributions:** The Applicant has agreed to convey, and the St. Charles Park District has agreed to accept, the 1.02 acre parcel at the southeast corner of the Subject Property, shown as "Outlot 1" on the Final Plat of Subdivision, and the 0.17 acre parcel providing a trail connection at the west side of the Subject Property, shown as "Outlot 2" on the Final Plat of Subdivision. The remainder of the Park and School contribution shall be provided as cash in lieu of

land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.

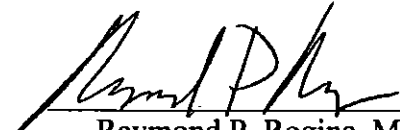
- f. **Inclusionary Housing:** The Applicant shall not be required to provide Affordable Units or a fee in-lieu thereof, due to the suspension of the Inclusionary Housing Ordinance, Ch. 17.18 of the St. Charles Zoning Ordinance, Title 17 of the St. Charles Municipal Code, as of the date of passage of this Ordinance.

7. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of January, 2016.

  
 Raymond P. Rogina, Mayor

Attest:

  
 Nancy Garrison, City Clerk

Vote:

Ayes: 10

Nays: 0

Absent: 0

Abstain: 0

Date: \_\_\_\_\_

APPROVED AS TO FORM:

\_\_\_\_\_  
 City Attorney

DATE: \_\_\_\_\_



**EXHIBIT "A"**

**LEGAL DESCRIPTION**

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 28, 2009 AS DOCUMENT NUMBER 2009K005931, IN KANE COUNTY, ILLINOIS.



## **EXHIBIT "B"**

### **FINDINGS OF FACT FOR MAP AMENDMENT**

**1. The existing uses and zoning of nearby property.**

The existing uses of nearby property include single family attached residential, open space, industrial business park, and undeveloped land. Zoning of nearby properties include RM-1 Mixed Medium Density Residential, PL Public Land, O-R Office/Research, and BC Community Business.

**2. The extent to which property values are diminished by the existing zoning restrictions.**

The subject property value is diminished under the current zoning and will increase in value if the proposed zoning within the jurisdiction of the City of St. Charles is granted. Values of surrounding properties will not be diminished based on the proposed zoning amendment.

**3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.**

The current zoning of the subject property does not produce any perceptible public benefits.

**4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.**

The property is currently zoned O-R Office/Research under the jurisdiction of the City of St. Charles. The development of the property under the O-R Office/Research zoning classification is physically feasible; however, the applicant finds current market conditions to be more favorable to the development of single family homes rather than office/industrial use.

**5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.**

Corporate Reserve north of Woodward Drive was rezoned from BC Community Business to O-R Office/Research in 2008, when the PUD for the site was approved.

**6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.**

Market analyses of the subject property have determined that single-family housing would be a viable and desirable use for the property.

**7. The consistency of the proposed amendment with the City's Comprehensive Plan.**

The City's Comprehensive Plan calls out Industrial/Business Park for the Subject Property, however, it also lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

**8. Whether the proposed amendment corrects an error or omission in the Zoning Map.**

The proposed amendment does not correct an error or omission in the Zoning Map.

**9. The extent to which the proposed amendment creates nonconformities.**

The proposed amendment will create minor nonconformities with the new zoning.

**10. The trend of development, if any, in the general area of the property in question.**

The frontage between IL Route 64 and Woodward Drive, from Peck Road to Oak Street, has been slow to develop. To the west of the site, north of Woodward Drive, is Remington Glen, a townhome development, approved as RM-1 zoning in 2004. To the east of the site, north of Woodward Drive, is Regency Estates. Regency Estates was originally approved in 2006 as a townhome development, however, construction of the townhomes units halted. The development was then acquired by a new homebuilder and a PUD change to single family was approved in 2011 (the zoning district remained RM-1). The home builder executed a complete buildout of small lot residential with minimum lot sizes of 5,000 square feet. Remington Glen, however, still has remaining lots where townhomes have not been built. The most recent and successful trend of development in the area is for small lot single family residential homes.

## EXHIBIT "C"

### CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**

The proposed Corporate Reserve neighborhood has a strong sense of place with well-defined boundaries including open space, trails and Woodard Drive. The public park creates an active meeting location for neighbors. The proposed Corporate Reserve neighborhood is also well connected to adjacent and nearby residential communities and other community amenities via a regional trail system that borders the south and west edges. The proposed neighborhood is connected to the nearby Great Western Trail and to the Peck Road trail that terminates at James O. Breen Community Park.

- 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**

Lot 8 of the Corporate Reserve provides a sidewalk network on both sides of internal streets to promote connection and walkability within the development. Trail connections are provided at strategic locations to provide pedestrian connections from the development to the external sidewalk and trail network. A trail connection is provided between lots 14 and 15 for access to the existing north-south (Nicor) trail which connects to the Great Western Trail to the north of the property. An additional path is provided north of the proposed public neighborhood park to provide access to the sidewalk/path system along Woodward Drive, making other open space and recreational facilities, such as Renaux Manor Park and James O. Breen Community Park, easily accessible to Lot 8 residents.

Additionally, a 1.02 acre public park site is located along Woodward Drive at the southeast corner of Lot 8. The park is intentionally placed at an exterior location of the site in order to best serve residents of adjacent neighborhoods.

- 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**

Lot 8 of the Corporate Reserve will provide single family homes whose character is harmonious with existing surrounding land uses.

- 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**

There are no environmentally sensitive areas that exist on Lot 8 of the Corporate Reserve. The subject site has been previously mass graded and improved with stormwater management basins and utilities.

**5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**

Lot 8 of the Corporate Reserve will bring an increased density of residents to a concentration of retailers and commercial establishments in the City. This new neighborhood will provide a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increase future tax revenue to the City.

Lot 8 of the Corporate Reserve effectively utilizes existing infrastructure. Proposed utilities for the development will tie into existing infrastructure along Woodward and Cardinal Drive. Stormwater drainage from the site will be carried to existing detention basins either on or adjacent to the property. Street improvements for the development will be continued from existing curb cuts off of Woodward and Cardinal Drives.

**6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**

The proposed Lot 8 development will establish a desirable land use on an otherwise underutilized property. The development is highly favored by nearby homeowners as evidenced in a petition from residents of the Remington Glen and Regency Estates neighborhoods submitted to the City in June 2015.

**7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

Corporate Reserve Development Partners has prioritized working positively and collaboratively with community stakeholders, including residents from the Remington Glen and Regency Estates adjacent neighborhoods, the St. Charles Park District, and various departments, boards, and commissions from the City of St. Charles from the beginning of the development process. Efforts such as resident meetings, site visits with the Park District, and collaboration meetings with staff were held to ensure all parties are satisfied with the end product of the development process.

**ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

**A. Conforming to the requirements would inhibit creative design that serves community goals, or**

**B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

Lot 8 of the Corporate Reserve provides a 1.02 acre community park space, landscaping, buffering, and screening, and efficient site design that conforms to the standards listed above. With the requested minimal variations from a few of the RS-4 standards, the development will still comply with the spirit and intent of the above listed standards. The residential development as proposed provides usable internal open space and access to nearby off-site amenities via regional trail connections.

**iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

**A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed Special Use will serve the public convenience through the addition of community park space. The proposed Lot 8 of the Corporate Reserve will provide a 1.02 acre park as part of the site improvements. The park is intentionally located at the southeast corner of the site, exterior to the proposed street network, to allow residents from nearby subdivisions, such as Remington Glen and Regency Estates, to easily access the proposed park.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Adequate and sufficient utilities, access roads, drainage, and other necessary facilities will be provided as part of the site improvements to the property.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity. Values of surrounding properties will not be diminished based on the proposed Special Use.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. The establishment of the proposed Special Use will not impede the normal and orderly development and improvement of the surrounding property.**

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The establishment, maintenance, and operation of the proposed Special Use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed Special Use conforms to all existing Federal, State, and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Lot 8 of the Corporate Reserve brings an increased density of residents to a concentration of retailers and commercial establishments in the City. This provides a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increased future tax revenue to the City.

**v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The City's Comprehensive Plan calls out Industrial/Business Park for the subject property, however, lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.



**EXHIBIT "D"**

**PUD PRELIMINARY PLAN  
(42 pages)**



**CENTRAL NOTES**

1. REFERENCED SPECIFICATIONS AND CODES
  - a. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SI-MHC), ADOPTED APRIL 1, 2018 AND SUPPLEMENTAL SPECIFICATIONS AND REQUIREMENTS (SI-MHC SUPPLEMENTAL), ADOPTED APRIL 1, 2018 BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREIN, THE DESIGN MANUAL, HIGHWAY STANDARDS, AND THE DESIGN MANUAL, ALSO PREPARED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
  - b. THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, 2014, 7<sup>TH</sup> EDITION, EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY ISSUED FOR THIS WORK.
  - c. ILLINOIS DESIGN BUILD STANDARD FOR SEWER WORK, LATEST VERSION.
  - d. TECHNICAL STATEMENTS OF THE BPA DIVISION OF PUBLIC WATER SUPPLY AND DIVISION OF WATER POLLUTION CONTROL, LATEST VERSION.
  - e. TECHNICAL STANDARDS FOR WATER WORKS, BY THE GREAT LAKES UPPER MISSISSIPPI RIVER BOARD OF STATE SANITARY ENGINEERS (THE STATES STANDARD), LATEST VERSION.
  - f. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST VERSION.
  - g. THE AMERICAN WITH Disabilities ACT, THE ACCESSIBILITY CODE AND THE FAIR HOUSING ACT, LATEST VERSIONS.
  - h. THE ILLINOIS PROCEDURES AND STANDARDS FOR LEAD-BASED PAINT, EXPOSURE AND REMEDIATION CONTROL, AND EPA STANDARDS AND SPECIFICATIONS FOR SOIL EXPOSURE AND REMEDIATION CONTROL, LATEST VERSIONS.
  - i. U.S. SOIL CONSERVATION SERVICE FIELD ENGINEERING HANDBOOK, LATEST VERSION.
  - j. ALL CODES AND ORDINANCES OF KANE COUNTY AND THE CITY OF ST. CHARLES.
  - k. ALL REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
  - l. THE CITY STANDARD SPECIFICATIONS, CODES AND PERMITS WITH THESE CONSTRUCTION PLANS AND DETAILS ARE ALL TO BE CONSIDERED PART OF THE WORK. INCIDENTAL FEES OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THESE REQUIREMENTS.
  - m. CITY OF ST. CHARLES ENGINEERING DESIGN AND INSPECTION POLICY MANUAL, LATEST VERSION.
2. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISION SHALL APPLY.

2. UTILITY LOCATIONS
  - a. TO THE BEST OF OUR KNOWLEDGE, EASMENTS FOR THE EXISTING UTILITIES BOTH PUBLIC AND PRIVATE AND PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS.
  - b. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR DETERMINE THE EXISTENCE OF ALL EXISTING UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY REVEAL ALL UTILITY RELOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL, ILL.U.C. AT 800-452-4444 AND THE AGENCY HAVING JURISDICTION OVER LOCAL WATER, SEWER AND ELECTRICAL SYSTEMS FOR UTILITY LOCATIONS FOR ADDITIONAL INFORMATION. THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.
  - c. IF EXISTING UTILITY LINES OF ANY NATURE ARE DISCOVERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

2. UTILITY COORDINATION
  - a. OWNER SHALL OBTAIN EASMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
  - b. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION SEQUENCING WHICH COORDINATES WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.
  - c. THE OWNER, ENGINEER, ALL GOVERNING AGENCIES AND UTILITY COMPANIES SHALL BE NOTIFIED BY WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS.

4. CONFORMANCE CONSTRUCTION
  - a. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY NOTIFY NAME TO ENGINEER BEFORE COMMENCING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY IN THE EVENT OF CONFORMANCE BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS. THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY CHANGES OR DISCREPANCIES. FAILURE TO SECURE SUCH INSTRUCTIONS FROM THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND IMPERIL. IN THE EVENT OF ANY DELAY OR DISCREPANCY ARISING WITH RESPECT TO THE

TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS. THE ULTIMATE OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

- a. THE CONTRACTOR SHALL NOTIFY AN OCCUPANCY, ALL TESTING AGENCIES AND CONTRACTED BY THE CITY, TOWNSHIP OR OWNER, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. ALL TESTING AGENCIES MUST OBTAIN THE APPROVAL OF THE OWNER. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION THROUGH WHICH RESULTS IN TESTING AGENCIES BEING UNABLE TO VISIT SITE WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR OBTAINING THE TESTING. TESTING OPERATIONS CAN BE COMPLETED. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
- b. THE CONTRACTOR SHALL MAINTAIN PERMITTING AND VEHICLE ACCESS AT ALL TIMES. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
- c. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR FROM THE TIME THEY SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
- d. ANY EXISTING WORK, LIGHT STANDARDS AND UTILITY PILES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR REMOVAL, SHALL BE REMOVED AND REBUILT BY THE CONTRACTOR AT HIS OWN RISK AND EXPENSE (THE IRON PIPE) PLANS OR AS DIRECTED BY THE DEVELOPER. ANY STAKES THAT THESE ITEMS SHALL BE REMOVED OR REPLACED BY THE CONTRACTOR AT HIS OWN RISK AND EXPENSE TO THE SATISFACTION OF THE OWNER. ANY STAKES NOT REQUIRED TO BE RESET, SHALL BE DESTROYED TO THE RESPECTIVE OWNER.
- e. ITEMS SPECIFIED FOR REMOVAL, INCLUDING BUT NOT LIMITED TO, FENCE, SIDEWALK, CURB, CURB AND CUTTER, CURBENTS, ETC. SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
- f. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION DEBRIS.
- g. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, FUEL OIL AND GREASE RESIDUE, HANDWRITING, TOOLS AND OTHER UNDESIRABLE ITEMS FROM THE PROJECT PRIOR TO PROJECT COMPLETION. AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP AS DIRECTED BY THE ENGINEER OR OWNER.

1. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALLS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY REPAIRED TO THEIR ORIGINAL ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.

**GENERAL EROSION/CONTROL NOTES**

- a. COST FOR SHEDDING AND BRACING, BENT PILING, SHIELDING, STRENGTHENING CROSS BRACES, ETC. SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE WORK, AND ADDITIONAL COMPENSATION WILL BE ALLOWED.
- b. THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR UNDERGROUND FLOW FROM FLOWING INTO EXISTING OR RELOCATED UTILITY FACILITIES. ROFTRENDS OF FLOW FROM BOTTOMS, UNEXPECTED FOOTINGS, AND SOIL CHANGES DETERMINAL TO STABILITY OF BURIED AND FOUNDATIONS, PREVENT AND MAINTAIN PLUMBS, BURNS, SUCTION AND DISCHARGE LINES AND OTHER IDENTIFYING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXISTING WORK. CONVEY WATER REMOVED FROM EXCAVATIONS AND HANDBAR TO COLLECTING OR RECYCLE AREAS ACCEPTABLE TO AUTHORITY HAVING JURISDICTION OVER WATER AND HAZARDOUS WASTE/EROSION CONTROL AND OTHER EXISTING OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. THE CONTRACTOR SHALL USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.
- c. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNDESIRABLE RESULTS TO THE OWNER OR OWNER'S AGENT.
- d. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND CONSTRUCTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE IMPROVEMENTS.
- e. EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE PROTECTION OF THE STRUCTURE, WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE, NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- f. IN THE EVENT THAT BOTH MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S AGENT IMMEDIATELY.
- g. TRENCH BACKFILL SHALL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PERMITS UTILITIES, CONVEYALS, AND SIDEWALKS. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING SPEC. CA-7 GRAVIGATION UNLESS NOTED OTHERWISE. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH THESE SPECIFICATIONS. SETTING WITH WATER SHALL NOT BE PERMITTED.
- h. THE CONTRACTOR SHALL INSTALL A 4" x 4" x 8' (MINIMUM) POST AT THE TERMINUS OF THE BATTERY AND WATER SERVICE, BATTERY AND STORM MAINS, CATCH BASINS, INLETS AND WATER VALVES. THE POST SHALL EXTEND ABOVE THE GROUND. THE TOP OF THE POST SHALL BE PAINTED AS FOLLOWS: BATTERY - RED WATERMAIN - BLUE, STORM - GREEN.
- i. ALL TOP OF FINISHES FOR STORM AND BATTERY MAINS AND WATER VALVE COVERINGS TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE OWNER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE CITY OF ST. CHARLES UPON FINAL INSPECTION OF THE PROJECT.

2. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.
3. NO UNDERGROUND WORK SHALL BE COMPLETED UNTIL IT HAS BEEN APPROVED BY THE AGENCY HAVING JURISDICTION. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE COUNTY AND TOWNSHIP BEFORE INSTALLING PERMITS, BARRIERS, BURNAGE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
4. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL CONDUIT STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

**RECONSTRUCTION**

- a. HOLD HARMLESS. THE CONTRACTOR, AS A CONDITION OF THE CONTRACT, HEREBY AGREES TO ASSUME THE ENTIRE RESPONSIBILITY AND LIABILITY FOR, AND DEFENSE OF, AND TO PAY AND INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, THE CITY, THEIR BOARDMEMBERS, AGENTS AND EMPLOYEES HARMLESS FROM ALL CLAIMS FOR DAMAGE OR INJURY (OR DEATH, REASONABLE TRANSPORTATION AND ALL PERSONAL INJURY) TO ANY EMPLOYEE OR AGENT OF ANY PERSON OR FIRM WHO CLAIMS TO BE WORKING UNDER THE PROJECT, ARISING OUT OF THE CONDUCT OF THE CONTRACTOR ARISING OUT OF THE PERFORMANCE OF THIS AGREEMENT OR ANY WORK RELATIVES THEREIN, OR ARISING OUT OF ANY FEDERAL, STATE OR LOCAL STATUTE, RULE, REGULATION OR ORDINANCE, INCLUDING BUT NOT LIMITED TO THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT AND FEDERAL ACTS.
- b. ALL COSTS, FEES AND EXPENSES, INCLUDING, BY WAY OF EXAMPLE, BUT WITHOUT LIMITATION, REASONABLE ATTORNEY'S FEES, COURT COSTS, COURT REPORTER'S FEES, TRANSPORT COSTS, BUSINESS TRIP AND COSTS, TRAVEL, MEALS, SERVICE COSTS, AND DEQUITY REPRESENTATION COSTS INCURRED BY THE COUNTY AS A RESULT OF ANY CLAIMS FOR DAMAGE OR INJURY AS ENUMERATED ABOVE SHALL BE PAID BY THE CONTRACTOR.
- c. THE CONTRACTOR(S) SHALL NAME WILLS BUREAU RELIANCE ASSOC., LTD., CITY OF ST. CHARLES AND CONSULTANT DORIS CONSTRUCTION CORPORATION FROM THE CITY AS ADDITIONAL NAMED INSURERS ON ALL LIABILITY INSURANCE POLICIES AND SHALL PROVIDE THE CITY AND WBA WITH CERTIFICATES OF INSURANCE PRIOR TO COMMENCEMENT OF ANY WORK.

**EARTHWORK NOTES**

1. GENERAL
  - a. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.
  - b. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM FLOWING OFFSITE AND INTO OR STANDING IN EXCAVATED AREAS.
  - c. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND RECONSTRUCTION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF EROSION CONTROL, BARRIERS, FENCING, ETC. TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC. SHALL OCCUR PRIOR TO ANY CONSTRUCTION ACTIVITIES.
  - d. EXCESS MATERIALS IF NOT UTILIZED AND FILL SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR AT A REMEDIABLE APPROVED SITE.
  - e. EXISTING FABRIC, IF AUTHORIZED BY THE OWNER, SHALL BE REPAIRED OR REPLACED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
2. TOPSOIL EXCAVATION INCLUDES
  - a. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNRELIABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
  - b. PLACEMENT OF THE EXCAVATED MATERIAL IN OTHER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND OTHER AREAS NOT RECLAIMED STRUCTURAL FILL MATERIAL. PROTECT NECESSARY AND APPROPRIATE EROSION CONTROL MEASURES FOR STOCKPILE.
  - c. TOPSOIL STOCKPILED FOR REUSE SHALL BE FREE OF FILL AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR PROPERLY DISPOSED OF OFF-SITE.
  - d. FURNISH AND PLACE TOPSOIL SHALL INCLUDE HAULING AND SPREADING IF OF APPROVED TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS AS DIRECTED BY THE ENGINEER.
  - e. NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED AS PER (SI-MHC) ARTICLE 20.8A.
3. EARTH EXCAVATION INCLUDES
  - a. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATION WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARLY MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
  - b. PLACEMENT OF THE CLAY AND OTHER BUTTABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATION TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LIFTING LIFTS THAT SHALL NOT EXCEED SIXTY (60) INCHES IN THICKNESS, AND THE

WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED CONSTRUCTION STRUCTURES. FILL MATERIALS MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN 30 INCHES OF THE PLAN SUBGRADE ELEVATION IN AREAS REQUIRING STRUCTURAL FILL. HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNRELIABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCUERANCE OF THE OWNER.

- c. CONSTRUCTION OF THE CLAY AND OTHER BUTTABLE MATERIALS SHALL BE ACCORDING TO (SI-MHC) ARTICLE 20.8B.
4. UNRELIABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING STRUCTURES, AND IS ENCOURAGED TO BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE THIS MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS CONSULTANT WITH THE CONCUERANCE OF THE OWNER.

**SUBGRADE PREPARATION**

- a. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE PREPARED TO WITHIN 0.1 FOOT PLAN OR GRADE OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE PROPOSED SUBGRADE ELEVATION HAS BEEN OBTAINED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS UNLESS THE CONTRACTOR KNOWS THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR AGENCY DATE SAME COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
- b. PRIOR TO THE PLACEMENT OF THE CURB AND CUTTER AND ADEQUATE BASE COURSE, THE CONTRACTOR SHALL PROVIDE, AS A MINIMUM, A FULLY LOADED TANKER TRAILER TRACK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND CUTTER AND ADEQUATE BASE MATERIAL. THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNUSUAL MATERIALS ANOMALY EXCESSIVE MOVEMENT BY THE SOILS CONSULTANT AND THE CITY OF ST. CHARLES. IF UNUSUAL SUBGRADE IS ENCOUNTERED IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:
  - 1) REPAIRY BESS AND ADAPTE.
  - 2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
  - 3) REMOVE AND REPLACE WITH GRANULAR MATERIAL.
  - 4) USE OF OCCULTIBLE FABRIC. MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE 1/4" TO 1/2", IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.
- c. PRIOR TO THE CONSTRUCTION OF THE CURB AND CUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PROPOSED AREA SHALL BE FINE GRACED TO WITHIN 0.05 FEET (0.2") OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEHIND THE BACK OF CURB, TO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSE, NO CLAYS OR ROCKS DILUENTY OF SAME MATERIALS DUE TO SUBGRADE PREPARATION SHALL BE HONORED.
- d. PRIOR TO PLACEMENT OF THE ADEQUATE BASE COURSE, THE SUBGRADE MUST BE APPROVED BY THE SOILS CONSULTANT AND THE CITY OF ST. CHARLES BEFORE.

**ALL MATERIALS BEING UTILIZED FOR TOPSOIL OR UTILIZED IN LANDSCAPING PRACTICES SHALL BE CONSISTENT OF A NON-COMPACTED CONDITION AS SHOWN ON THE EXISTING PLAN. DATE OF OPERATION. ALL MATERIALS NOT MEETING THESE STANDARDS MUST BE SUBMITTED TO REMAIN ON SITE SHALL BE SPECIFICALLY NOTED AND SHOWN ON ALL ADJACENT PLANS.**

7. MISCELLANEOUS THE CONTRACTOR SHALL
  - a. SPREAD AND COMPACT UNIFORMITY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPILL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
  - b. SECURELY CONC. AGENTS AND CONTACT TO THE DEGREE SPECIFIED THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CLAY AREAS AND ALL FILL AREAS.
  - c. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ACHIEVE THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

**CORPORATE RESERVE SUBDIVISION OF LOT B GENERAL NOTES AND SPECIFICATIONS**

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**WILLS BUREAU RELIANCE ASSOC. LLC**  
 DEVELOPMENT PARTNER  
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PROJECT NO. 14629  
 DATE: 12-18-2015  
 DRAWING NO. 8 OF 26  
 SHEET

**GN1**



**WATERMAIN NOTES**

1. PIPE MATERIAL: WATERMAINS SHALL BE CONSTRUCTED OF A BUTYRADIUM COATED, CEMENT LINED DUCTILE IRON PIPE, CLASS 22, CONFORMING ANSI A21.14 (APPA C181), CEMENT MORTAR LINING SHALL CONFORM TO ANSI A21.1 (APPA C10). THE JOINTS SHALL BE PUSH ON COMPRESSION GASKET JOINTS. ALL DUCTILE IRON WATER MAIN AND FITTINGS SHALL BE POLYETHYLENE TUBE ENCASED, BRASS WEDGES AND REQUIRED ON THE MAIN BELOW GRADE. WATERMAIN CALLED OUT AS HOPE WATERMAIN SHALL BE CONSTRUCTED OF A HIGH-PERFORMANCE HOPE P6410 FIBER MATERIAL, WITH A OR IF, CONFORMING TO ASTM D3000.
2. FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI A21.12 (APPA C-115).
3. JOINT RESTRAINT: ALL MECHANICAL JOINT FITTINGS SHALL HAVE RESTRAINING GLANDS INSTALLED. RESTRAINT DEVICES SHALL BE SUPPLIED BY FORD COMPANY OR EQUIVALENT BY CS&A BUSH. PUSH JOINT PIPE RESTRAINT SHALL BE FIELD LOCK BARRETS BY IS PIPE OR BUSH 1700 METALLOID OR BEARS 180 PIPE RESTRAINT BY FORD. LENGTHS OF PIPE RESTRAINT SHALL BE DETERMINED FROM MANUFACTURER'S INSTALLATION SPECIFICATIONS (REFER TO WATERMAIN RESTRAINT DETAIL).
4. WATER SERVICE: WATER SERVICE PIPE, 7" DIAMETER SHALL BE DUCTILE IRON PIPE, CEMENT LINED, CLASS 22, CONFORMING ANSI A21.14 (APPA C181).
5. VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAIN, 4" THROUGH 16" DIAMETER SHALL BE RIGHT-HAND CLOSING REVERSIBLE WEDGE GATE VALVES, CONFORMING TO ANPA STANDARD C268 AS MANUFACTURED BY THE CLOW CORPORATION, WATERLOO COMPANY OR APPROVED EQUAL.
6. VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES PER THE CITY OF ST. CHARLES ENGINEERING DETAIL NUMBER ON STD. THE FRAME AND LID SHALL BE INTERMIX 4513, OR EQUAL, WITH ST. CHARLES WATER EMBEDDED ON THE LID.
7. FIRE HYDRANTS: FIRE HYDRANTS SHALL CONFORM TO AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD 90. LIDS LATEST REVISIONS AND SHALL BE A MIN. 24" FROM THE PLUMB AND APPROVED BY THE CITY OF ST. CHARLES. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND TRENCH ADAPTER VALVE SOIL. THE PLUMBER CONNECTION SHALL FACE NEARBY HYDRANTS SHALL BE Mueller SUPER CERTIFICATION JOB WATERLOO HAZEL MODEL 8944-276 OR CLOW METALLOID. REFER TO DETAIL. PROVIDE AND INSTALL FOUR METALLOID JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE, AND BETWEEN THE AUXILIARY VALVE AND HYDRANT BANSEL. ALL HYDRANTS SHALL HAVE IF MECHANICAL JOINT CONNECTION 5/8" VALVE OPENED IF COVER OVER HYDRANT LATERAL, IF VALVE ON THE LATERAL, HYDRANT WITH STANDING HYDRANT LOCATOR INSTALLED. VALVE BOX SHALL HAVE A VALVE BOX STRAILER INSTALLED. (VALVE BOX ADAPTOR IS TYPE A AS MADE BY ADAPTOR, INC. OR APPROVED EQUAL).
8. CORPORATION STOPS: CORPORATION STOPS SHALL BE COMPRESSION FITTING Mueller 5-2228-B (3" 1", 1-1/2", 2", FORD 51188A-048, 1", FORD 51188B-048, 1-1/2", FORD 51188T-048, 2", A.Y. MCDONALD 7475-140 (1", 1-1/2", 2") OR G BEARS BRASS.
9. CURB STOPS: CURB STOPS SHALL BE COMPRESSION FITTING Mueller 84911048 (2", 1", 1-1/2", 2"), FORD 84444-048, 1", FORD 84444-048, 1-1/2", FORD 84471-048, 2", A.Y. MCDONALD 7475-048 (1", 1-1/2", 2") OR G BEARS BRASS.
10. CURB BOX: MINNEAPOLIS PATTERN, LID MARKED "WATER".
11. BURIAL: TYPE BOX PER 1" THRU 4", Mueller 16-10500 COPPER SERVICE, AND A.Y. MCDONALD 9813-140.
12. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURERS CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.
13. BEDDING: ALL WATERMAINS SHALL BE BEDDED ON 4" MIN. NET D17 W/100 CRUSHED LIMESTONE BEDDING PER THE CITY OF ST. CHARLES STANDARD DETAIL ON STD.
14. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO 1" OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION.
15. A MINIMUM DEPTH OF COVER OF FIVE (5) FEET SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE TEN (10) FEET. VARIATIONS FROM THESE STANDARDS WILL REQUIRE APPROVAL OF ST. CHARLES ENGINEERING DIVISION.
16. PRE-CAST CONCRETE THREAT BLOCCING SHALL BE INSTALLED ON WATERMAINS AT ALL BENDS, OF 25 1/2" AND LARGER.
17. EPA WATERMAIN PROTECTION
  - A. HORIZONTAL SEPARATION
    1. WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED PLUMB, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.
      - a. WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHICH:
        1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
        2. THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
        3. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH BENCH LOCATED TO ONE SIDE OF THE SEWER.
    2. BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF THE CONSTRUCTION UNDER IT IS POSSIBLE TO MEET AS OR IN ABOVE. THE DRAIN OR SEWER SHALL BE PRESURE TESTED TO THE MAXIMUM EXPECTED BURCHARGE HEAD BEFORE BACKFILLING.

6. VERTICAL SEPARATION
    - a. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS OTHER SEWER, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSING. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANCE FROM THE SEWER OR DRAIN.
    - b. BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION WHEN:
      1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
      2. THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.
    - c. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER SEWER, SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLED AND DRAINING OF THE WATERMAIN.
    - d. CONSTRUCTION SHALL BE DONE ON EACH SIDE OF THE CROSSING UNITS. THE NORMAL ENTRANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN IS AT LEAST TEN FEET.
15. ALL WATERMAINS SHALL BE PRESURE TESTED, FLUSHED AND INSPECTED IN ACCORDANCE WITH ANPA C268 & C269, CITY OF ST. CHARLES ENGINEERING DESIGN & INSPECTION MANUAL AND STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. ALL CHABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.
16. ALL WATERMAIN THAT NEED TO BE SHUTDOWN FOR ANY REASON MUST BE COORDINATED WITH THE CITY OF ST. CHARLES WATER DIVISION 48 HOURS IN ADVANCE OF THE WORK.

**CORPORATE RESERVE SUBDIVISION**  
**OF LOT 8**  
**GENERAL NOTES AND SPECIFICATIONS**

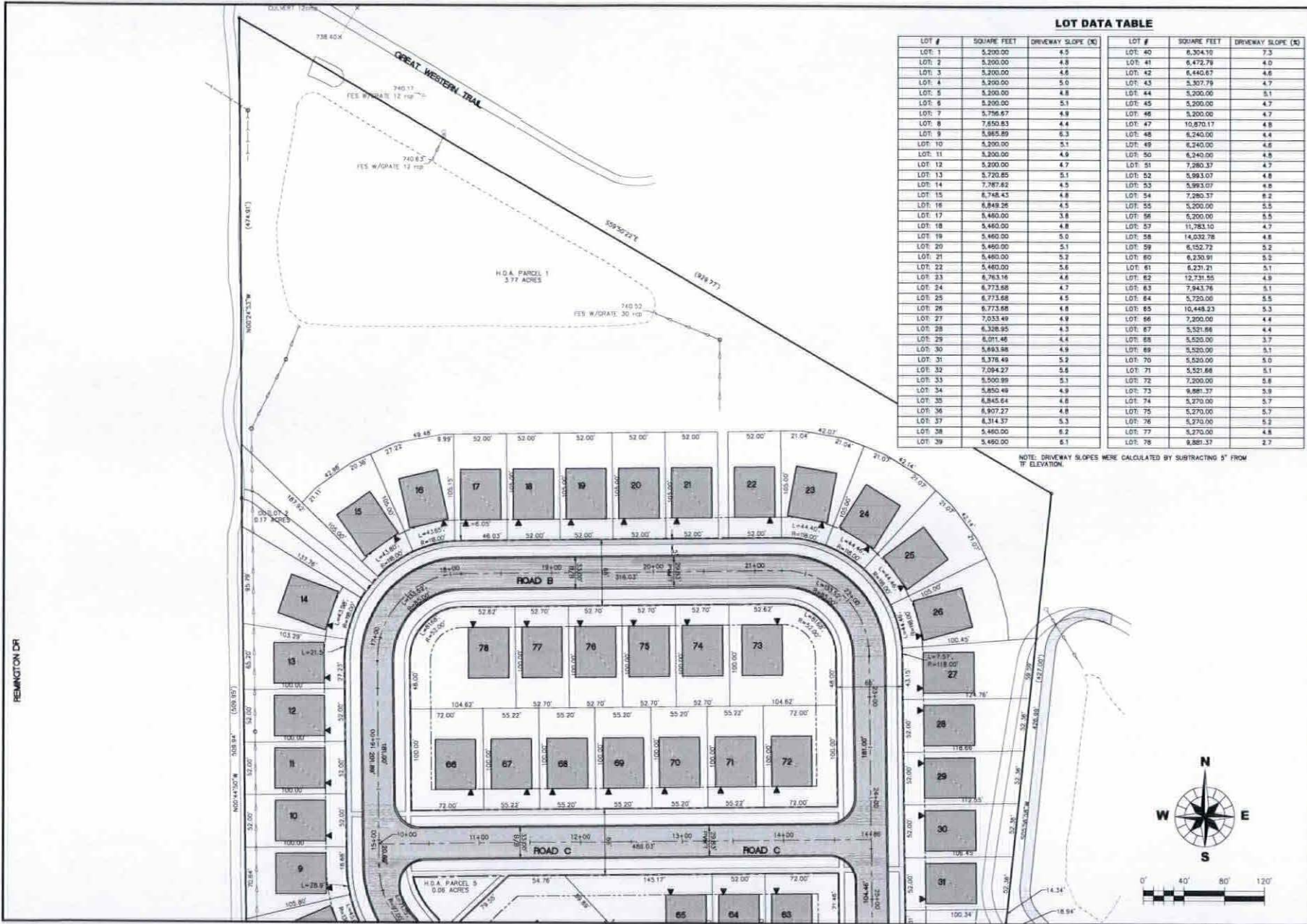
DATE	BY	DESCRIPTION

CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC  
 270 ST. PAUL STREET, #300  
 DENVER, COLORADO 80206  
 PHONE NUMBER

WILLS BURLE RELSY ASSOCIATES LTD.  
 118 West Main Street, Suite 201  
 St. Charles, Illinois 60174  
 (630) 453-7530

PROJECT NO.	10228
DATE	10-26-2016
DRAWING NO.	4-49-06
SHEET	023





**LOT DATA TABLE**

LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)	LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)
LOT: 1	5,200.00	4.5	LOT: 40	6,304.10	7.3
LOT: 2	5,200.00	4.8	LOT: 41	6,472.79	4.0
LOT: 3	5,200.00	4.6	LOT: 42	6,440.67	4.6
LOT: 4	5,200.00	5.0	LOT: 43	5,307.79	4.7
LOT: 5	5,200.00	4.8	LOT: 44	5,200.00	5.1
LOT: 6	5,200.00	5.1	LOT: 45	5,200.00	4.7
LOT: 7	5,796.67	4.8	LOT: 46	5,200.00	4.7
LOT: 8	7,650.63	4.4	LOT: 47	10,670.17	4.8
LOT: 9	5,965.89	6.3	LOT: 48	6,240.00	4.4
LOT: 10	5,200.00	5.1	LOT: 49	6,240.00	4.6
LOT: 11	5,200.00	4.9	LOT: 50	6,240.00	4.8
LOT: 12	5,200.00	4.7	LOT: 51	7,280.37	4.7
LOT: 13	5,720.85	5.1	LOT: 52	5,993.07	4.8
LOT: 14	7,767.62	4.5	LOT: 53	5,993.07	4.8
LOT: 15	6,748.43	4.8	LOT: 54	7,280.37	6.2
LOT: 16	6,849.28	4.5	LOT: 55	5,200.00	5.5
LOT: 17	5,460.00	3.8	LOT: 56	5,200.00	5.5
LOT: 18	5,460.00	4.8	LOT: 57	11,763.10	4.7
LOT: 19	5,460.00	5.0	LOT: 58	14,032.76	4.8
LOT: 20	5,460.00	5.1	LOT: 59	6,152.72	5.2
LOT: 21	5,460.00	5.2	LOT: 60	6,230.91	5.2
LOT: 22	5,460.00	5.6	LOT: 61	6,231.21	5.1
LOT: 23	6,763.16	4.6	LOT: 62	12,731.55	4.9
LOT: 24	6,773.68	4.7	LOT: 63	7,943.76	5.1
LOT: 25	6,773.68	4.5	LOT: 64	5,720.00	5.5
LOT: 26	6,773.68	4.8	LOT: 65	10,448.23	5.3
LOT: 27	7,033.49	4.9	LOT: 66	7,200.00	4.4
LOT: 28	6,328.95	4.3	LOT: 67	5,321.66	4.4
LOT: 29	6,011.46	4.4	LOT: 68	5,520.00	3.7
LOT: 30	5,693.88	4.9	LOT: 69	5,520.00	5.1
LOT: 31	6,376.49	5.2	LOT: 70	5,520.00	5.0
LOT: 32	7,094.27	5.6	LOT: 71	5,521.66	5.1
LOT: 33	5,500.89	5.1	LOT: 72	7,200.00	5.8
LOT: 34	5,850.48	4.9	LOT: 73	6,987.37	5.9
LOT: 35	6,845.64	4.8	LOT: 74	5,270.00	5.7
LOT: 36	6,907.27	4.8	LOT: 75	5,270.00	5.7
LOT: 37	6,314.37	5.3	LOT: 76	5,270.00	5.2
LOT: 38	5,460.00	6.2	LOT: 77	5,270.00	4.8
LOT: 39	5,450.00	6.1	LOT: 78	9,881.37	2.7

NOTE: DRIVEWAY SLOPES WERE CALCULATED BY SUBTRACTING 5' FROM IF ELEVATION.

**CORPORATE RESERVE SUBDIVISION OF LOT 8 GEOMETRIC PLAN**

CLIENT: **WILLS BURKE KELSEY ASSOCIATES LTD.**  
 270 ST. PAUL STREET, #300  
 DENVER, COLORADO 80205  
 PHONE NUMBER: (303) 443-7755

PROJECT NO. 140096  
 DATE: 05-08-2015  
 DRAWING NO. 8 OF 24  
 SHEET: **GM1**



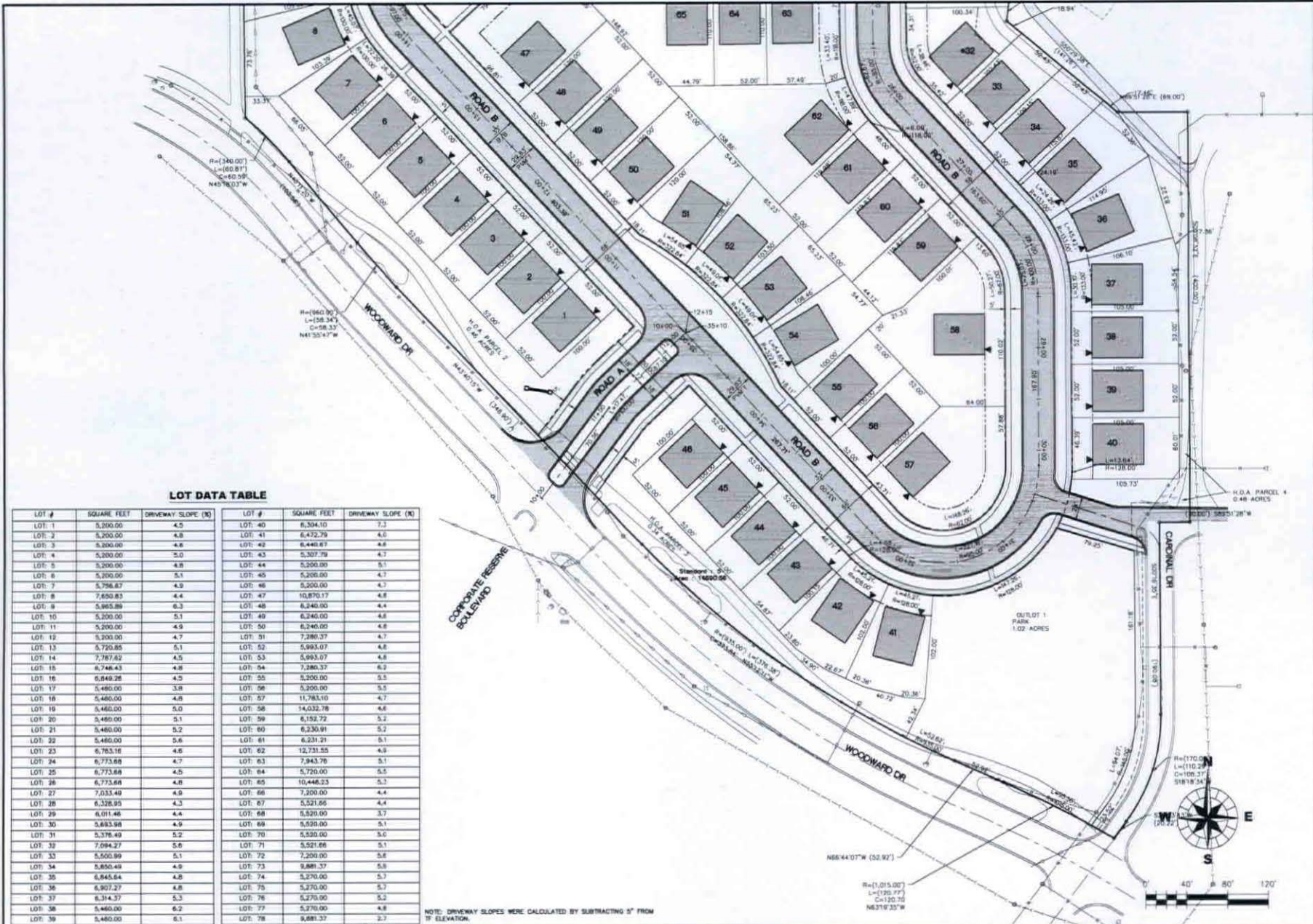
**CORPORATE RESERVE SUBDIVISION  
OF LOT 6**

DATE	BY	CHKD	SCALE
11/14/2014	W.B.K.	W.B.K.	1" = 40'
PROJECT NO. 14029			
DATE: 11/14/2014			
DRAWING NO. 7 OF 36			
SHEET:			

**WILLS BURKE KESEY ASSOCIATES LTD.**  
115 West Main Street, Suite 201  
St. Charles, Illinois 60174  
(830) 443-7755

**CORPORATE RESERVE  
DEVELOPMENT PARTNERS, LLC**  
270 ST. PAUL STREET, #300  
DENVER, CO 80206  
PHONE NUMBER

**GM2**

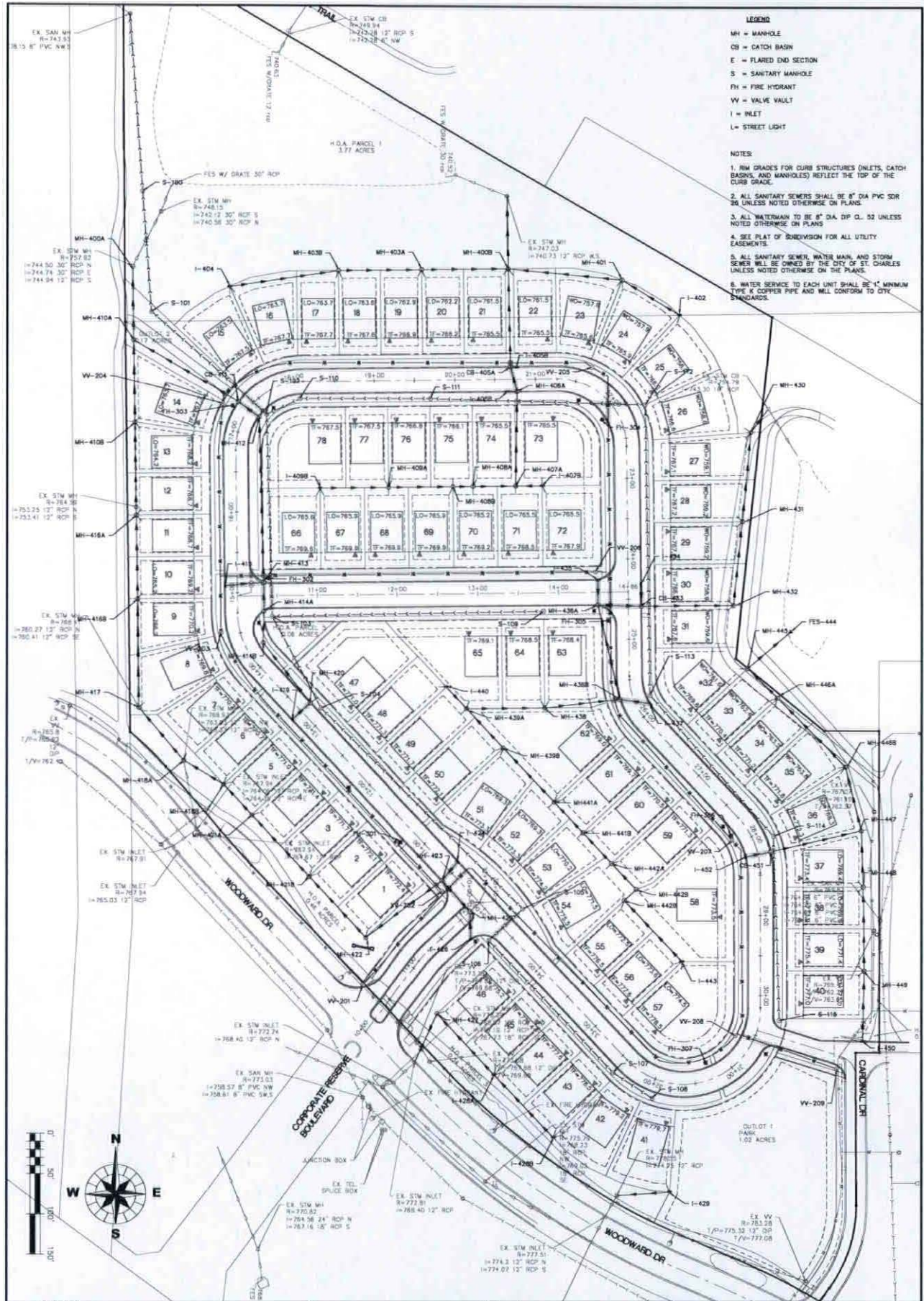


**LOT DATA TABLE**

LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)	LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)
LOT: 1	5,200.00	4.5	LOT: 40	6,304.10	7.3
LOT: 2	5,200.00	4.8	LOT: 41	6,472.79	4.6
LOT: 3	5,200.00	4.8	LOT: 42	6,448.87	4.8
LOT: 4	5,200.00	5.0	LOT: 43	5,307.79	4.7
LOT: 5	5,200.00	4.8	LOT: 44	5,200.00	5.1
LOT: 6	5,200.00	5.1	LOT: 45	5,200.00	4.7
LOT: 7	5,756.87	4.9	LOT: 46	5,200.00	4.7
LOT: 8	7,650.83	4.4	LOT: 47	10,870.17	4.8
LOT: 9	5,965.89	6.3	LOT: 48	6,240.00	4.4
LOT: 10	5,200.00	5.1	LOT: 49	6,246.00	4.8
LOT: 11	5,200.00	4.9	LOT: 50	6,240.00	4.8
LOT: 12	5,200.00	4.7	LOT: 51	7,280.37	4.7
LOT: 13	5,720.85	5.1	LOT: 52	5,993.07	4.8
LOT: 14	7,787.82	4.5	LOT: 53	5,993.07	4.8
LOT: 15	6,746.43	4.8	LOT: 54	7,280.37	6.9
LOT: 16	6,846.26	4.5	LOT: 55	5,200.00	5.5
LOT: 17	5,480.00	3.8	LOT: 56	5,200.00	5.5
LOT: 18	5,480.00	4.8	LOT: 57	11,783.10	4.7
LOT: 19	5,460.00	5.0	LOT: 58	14,032.78	4.6
LOT: 20	5,460.00	5.1	LOT: 59	6,152.72	5.2
LOT: 21	5,460.00	5.2	LOT: 60	6,230.91	5.2
LOT: 22	5,480.00	5.6	LOT: 61	6,231.31	5.1
LOT: 23	6,763.16	4.6	LOT: 62	12,731.55	4.9
LOT: 24	6,773.88	4.7	LOT: 63	7,943.76	5.1
LOT: 25	6,773.88	4.5	LOT: 64	5,720.00	5.5
LOT: 26	6,773.88	4.8	LOT: 65	10,448.23	5.3
LOT: 27	7,033.49	4.9	LOT: 66	7,200.00	4.4
LOT: 28	6,326.95	4.3	LOT: 67	5,521.66	4.4
LOT: 29	6,011.46	4.4	LOT: 68	5,530.00	3.7
LOT: 30	5,693.98	4.9	LOT: 69	5,530.00	5.1
LOT: 31	5,576.49	5.2	LOT: 70	5,530.00	5.0
LOT: 32	7,094.27	5.8	LOT: 71	5,521.66	5.1
LOT: 33	5,500.99	5.1	LOT: 72	7,200.00	5.8
LOT: 34	5,850.48	4.9	LOT: 73	9,881.37	5.8
LOT: 35	6,845.84	4.8	LOT: 74	5,270.00	5.7
LOT: 36	6,907.27	4.8	LOT: 75	5,270.00	5.7
LOT: 37	6,314.37	5.3	LOT: 76	5,270.00	5.2
LOT: 38	5,460.00	6.2	LOT: 77	5,270.00	4.8
LOT: 39	5,460.00	6.1	LOT: 78	9,881.37	3.7

NOTE: DRIVEWAY SLOPES WERE CALCULATED BY SUBTRACTING 5" FROM TP ELEVATION.



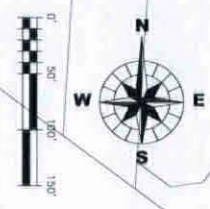


**LEGEND**

MH = MANHOLE  
 CB = CATCH BASIN  
 E = FLARED END SECTION  
 S = SANITARY MANHOLE  
 FH = FIRE HYDRANT  
 W = VALVE VAULT  
 I = INLET  
 L = STREET LIGHT

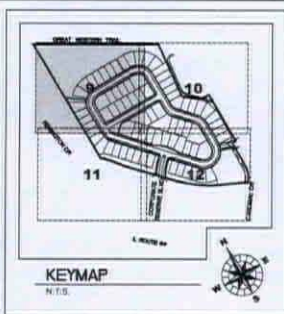
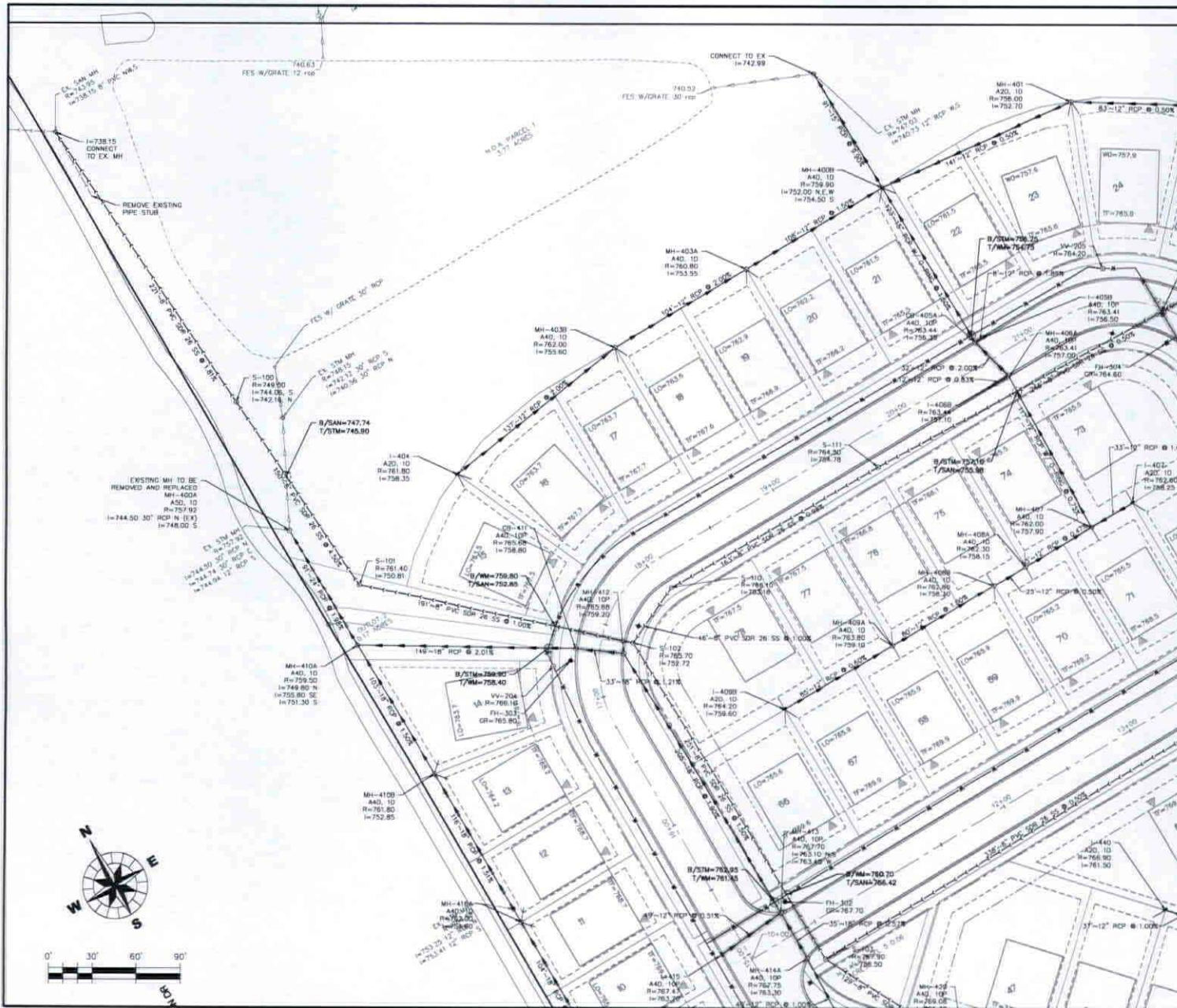
**NOTES**

1. R/W GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
2. ALL SANITARY SEWERS SHALL BE 8" DIA. PVC SDR 35 UNLESS NOTED OTHERWISE ON PLANS.
3. ALL WATERMAIN TO BE 8" DIA. DIP CL. 52 UNLESS NOTED OTHERWISE ON PLANS.
4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
6. WATER SERVICE TO EACH UNIT SHALL BE 1/2" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.



PROJECT NO. <b>09/1</b>	PROJECTED AND SEVEN 	CLIENT <b>WILLS BURKE KELSEY ASSOCIATES LTD.</b> 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	CLIENT <b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER	USDR. JRE	<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b>
				DWN. JRE	
DATE: 11/13/15	DRAWN: JRE	CHECKED: JRE	SCALE: 1" = 100'	<b>OVERALL UTILITY PLAN</b>	
4/1 11:15 PER CITY REVIEW LETTER DATED 11-13-15	DATE: 11/13/15	NATURE OF REVISION:	09/16056 DWG		





- LEGEND**
- MH = MANHOLE
  - CB = CATCH BASIN
  - E = FLARED END SECTION
  - S = SANITARY MANHOLE
  - FH = FIRE HYDRANT
  - VV = VALVE VAULT
  - I = INLET
  - 10P = NEEHAH R-3281-A CURB FRAME AND GRATE FOR 8.612
  - 11P = NEEHAH R-3506-A2 CURB FRAME AND GRATE DEPRESSED
  - 1C = NEEHAH R-1713-C FRAME WITH CLOSED UD
  - 1D = NEEHAH R-1713 FRAME AND GRATE (OPEN UD)
- INDICATES PIPE CONFLICT  
 INDICATES PIPE CROSSING  
 TRENCH BACKFILL

- STRUCTURE NUMBER  
 TYPE OF STRUCTURE  
 TYPE OF FRAME & LOT  
 PIPE SIZE  
 DIAMETER SIZE  
 PIPE MATERIAL  
 PIPE DIRECTION

- NOTES:**
1. RM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
  2. ALL SANITARY SEWER SHALL BE 8" DIA PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS. ALL SANITARY MANHOLES TO BE 48" DIAMETER WITH NEEHAH R-1713 FRAME AND CLOSED UD. PROVIDE EXTERNAL CHIMNEY SCALE AFTER FINAL GRADE ADJUSTMENT.
  3. ALL WATERMAIN TO BE 8" DIA. DP. CL. 52 UNLESS NOTED OTHERWISE ON PLANS.
  4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
  5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
  6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.
  7. CONTRACTORS TO PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO (NO 90 DEGREE FITTINGS WILL BE ALLOWED) DEFLECT WATERMAIN ALONG STREET CURVES WITHOUT EXCEEDING MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS. (MINIMUM RADIUS OF CURVATURE TO BE OBTAINED BY PIPE JOINTS ONLY-260'.)
  8. TRENCH BACKFILL SHOWN FOR MAINLINE SANITARY, STORM AND WATER ONLY. TRENCH BACKFILL REQUIRED FOR SANITARY AND WATER SERVICES AND CONDUITS THAT CROSS PROPOSED PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  9. SOME SANITARY SERVICE CONNECTIONS WILL REQUIRE RISER TO AVOID CONFLICT WITH OTHER UTILITIES.
  10. ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND A MINIMUM OF 12" IN DIAMETER. THE CLASS OF STORM SEWER PIPE SHALL CONFORM TO THE CHART IN SECTION 550 OF THE SDRCB FOR TYPE I OR TYPE II CONSTRUCTION. ALL FLARED END SECTIONS SHALL BE REINFORCED CONCRETE.
  11. ALL SUMP CONNECTIONS ARE 10"-6" PVC SCH 40.

**CORPORATE RESERVE SUBDIVISION OF LOT B UTILITY PLAN**

TITLE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 SCALE: 1" = 30'  
 DATE: \_\_\_\_\_  
 PROJECT NUMBER: \_\_\_\_\_  
 SHEET NUMBER: \_\_\_\_\_

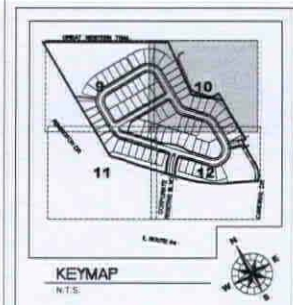
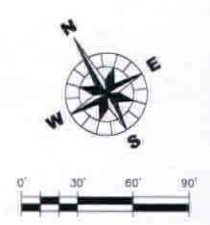
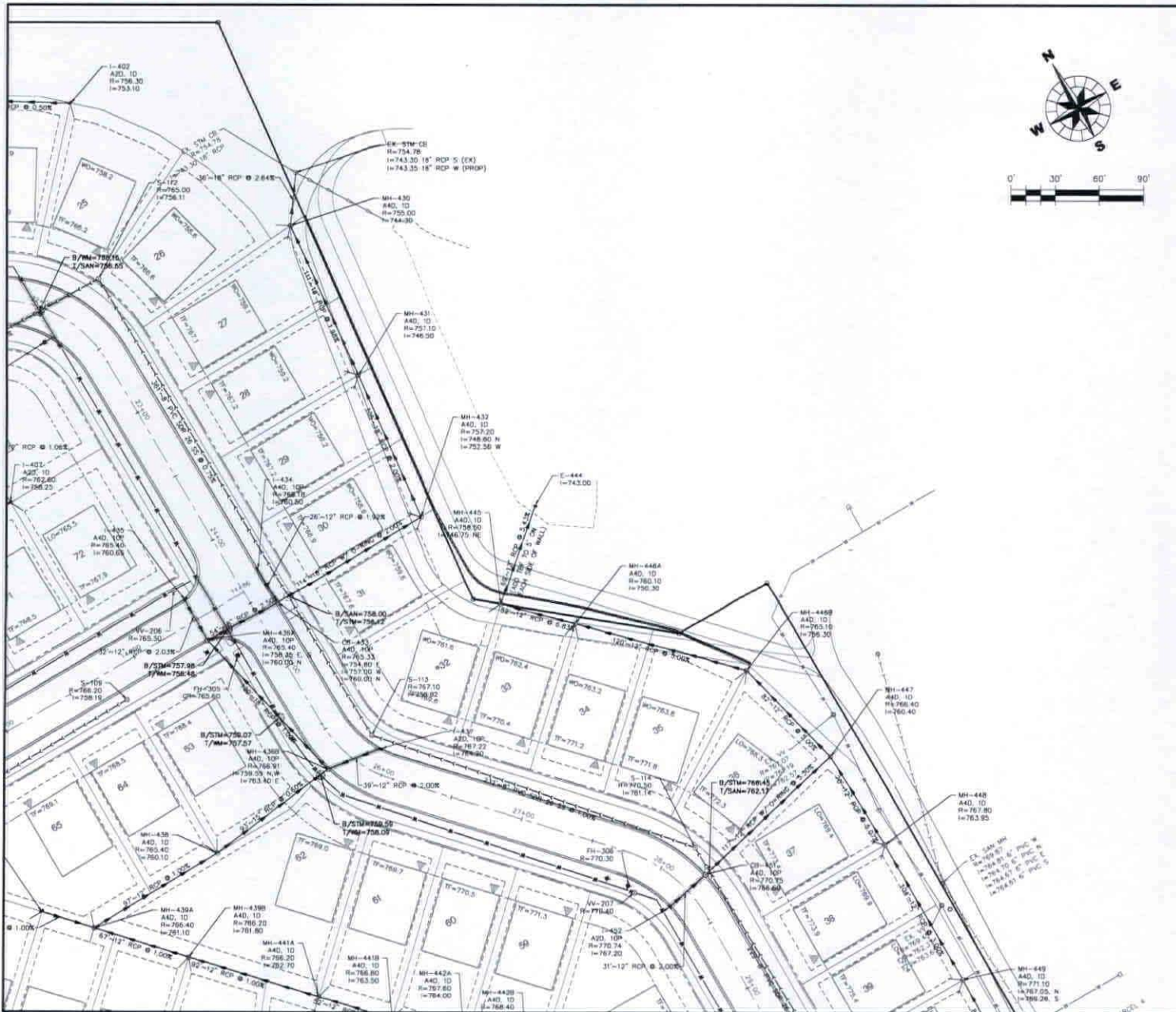
**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
 270 WEST PALM STREET, SUITE 200  
 DENVER, CO 80206  
 PHONE NUMBER: \_\_\_\_\_

**WILLS BURKE KELSEY ASSOCIATES LTD.**  
 118 West Main Street, Suite 201  
 St. Charles, Illinois 60174  
 (630) 443-7755

PROJECT NO. 140308  
 DATE: 10-06-2015  
 DRAWING NO. 9 OF 34  
 SHEET: \_\_\_\_\_

**UT1**





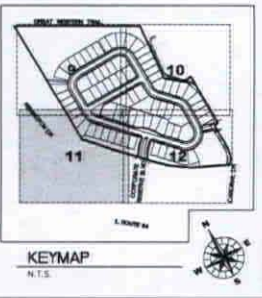
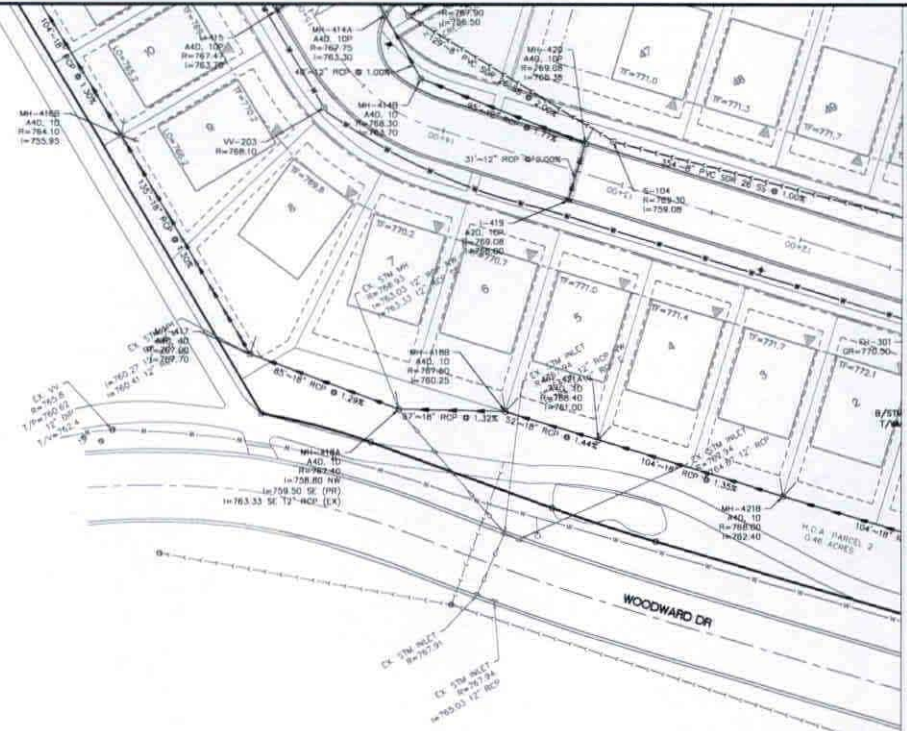
- LEGEND**
- MH = MANHOLE
  - CB = CATCH BASIN
  - E = FLARED END SECTION
  - S = SANITARY MANHOLE
  - FH = FIRE HYDRANT
  - VV = VALVE VAULT
  - I = INLET
  - 10P = NEENAH R-3281-A CURB FRAME AND GRATE FOR B.612
  - 11P = NEENAH R-3506-A2 CURB FRAME AND GRATE DEPRESSED
  - 1C = NEENAH R-1713-G FRAME WITH CLOSED LID
  - 1D = NEENAH R-1713 FRAME AND GRATE (OPEN LID)
- INDICATES PIPE CONFLICT WATER MAIN CROSSING  
 INDICATES PIPE CROSSING  
 TRENCH BACKFILL



- NOTES:**
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
  2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS. ALL SANITARY MANHOLES TO BE 48" DIAMETER WITH NEENAH R-1713 FRAME AND CLOSED LID. PROVIDE EXTERNAL CHIMNEY SEALS AFTER FINAL GRADE ADJUSTMENT.
  3. ALL WATERMAIN TO BE 8" DIA. DP. CL. 52 UNLESS NOTED OTHERWISE ON PLANS.
  4. SEE PLAN OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
  5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
  6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.
  7. CONTRACTORS TO PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO (NO 90 DEGREE FITTINGS WILL BE ALLOWED) DEFLECT WATERMAIN ALONG STREET CURVES WITHOUT EXCEEDING MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS (MINIMUM RADIUS OF CURVATURE TO BE OBTAINED BY PIPE JOINTS ONLY-250c.).
  8. TRENCH BACKFILL SHOWN FOR MAINLINE SANITARY, STORM AND WATER ONLY. TRENCH BACKFILL REQUIRED FOR SANITARY AND WATER SERVICES AND CONDUITS THAT CROSS PROPOSED PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  9. SOME SANITARY SERVICE CONNECTIONS WILL REQUIRE RISER TO AVOID CONFLICT WITH OTHER UTILITIES.
  10. ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND A MINIMUM OF 12" IN DIAMETER. THE CLASS OF STORM SEWER PIPE SHALL CONFORM TO THE CHART IN SECTION 550 OF THE SDRIC FOR TYPE I OR TYPE II CONSTRUCTION. ALL FLARED END SECTIONS SHALL BE REINFORCED CONCRETE.
  11. ALL SUMP CONNECTIONS ARE 10"-6" PVC SCH 40.

TITLE		CORPORATE RESERVE SUBDIVISION OF LOT B	
DESIGN	DATE	SCALE	1" = 20'
DRAWN	DATE	BY	11/13/08
CHECKED	DATE	BY	11/13/08
APPROVED	DATE	BY	11/13/08
CLIENT		CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 325 WEST WASHINGTON AVENUE DENVER, COLORADO 80206	
PROJECT NO.		140258	
DATE		10-08-2015	
DRAWING NO.		900P-38	
SHEET		UT2	

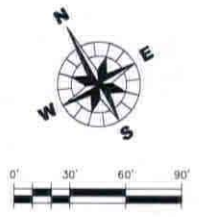
NO ADJUSTMENT



- LEGEND**
- MH = MANHOLE
  - CB = CATCH BASIN
  - E = FLARED END SECTION
  - S = SANITARY MANHOLE
  - PH = FIRE HYDRANT
  - VV = VALVE VAULT
  - I = INLET
  - 10P = NEEHAH R-3281-A CURB FRAME AND GRATE FOR B.A.12
  - 11P = NEEHAH R-3506-A2 CURB FRAME AND GRATE DEPRESSION
  - 1C = NEEHAH R-1713-C FRAME WITH CLOSED LID
  - 1D = NEEHAH R-1713 FRAME AND GRATE (OPEN LID)
- INDICATES PIPE CONFLICT  
 WATER MAIN LOWERING  
 TRENCH BACKFILL  
 INDICATES PIPE CROSSING

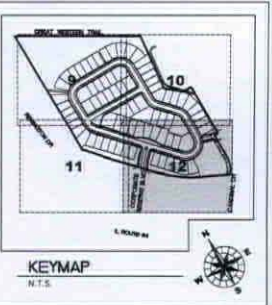
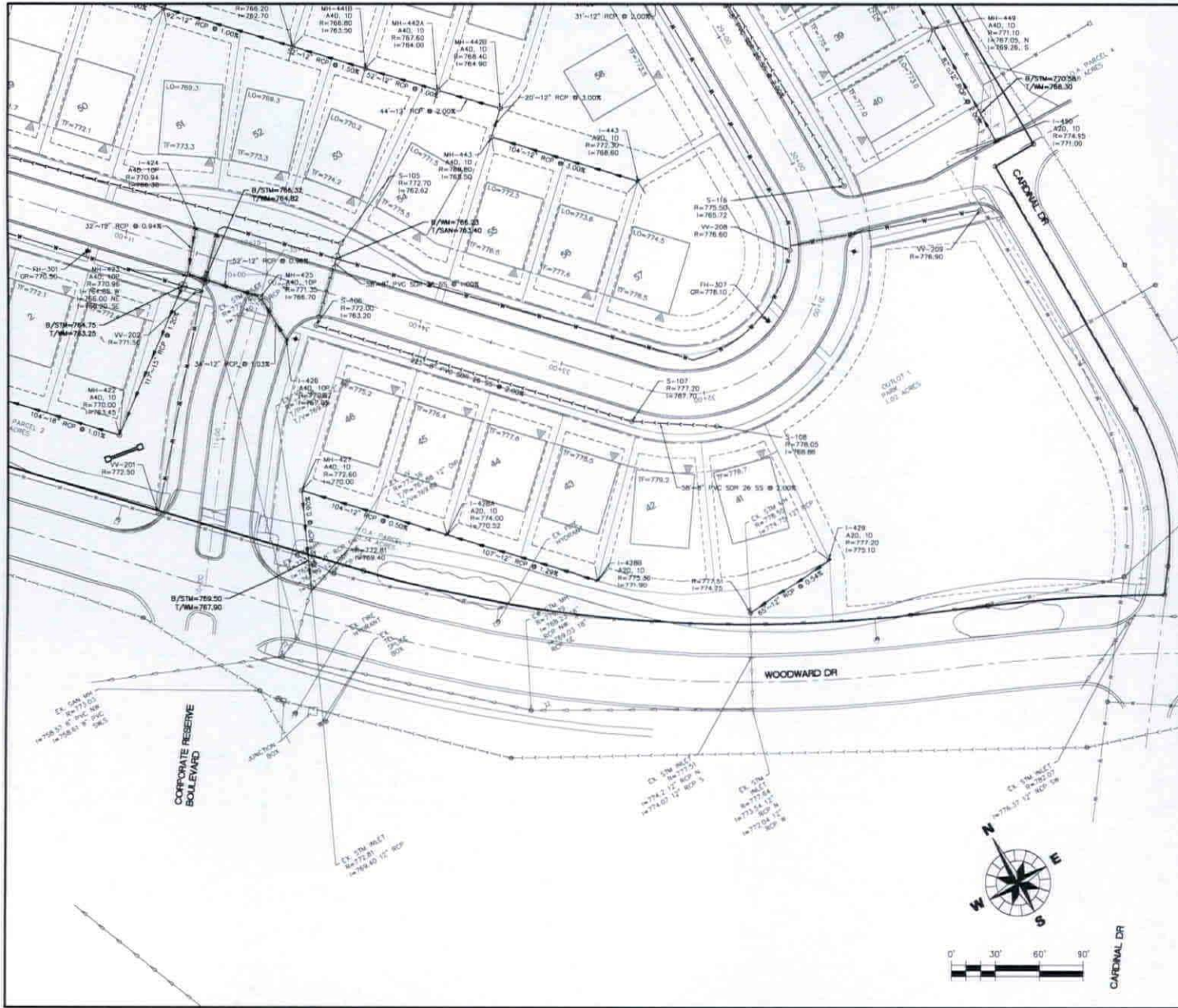
TYPE OF STRUCTURE	STRUCTURE NUMBER	TYPE OF FRAME & LID
MH-10	445, 10	RM ELEVATION
B = FLAT TOP	748.50	INVERT ELEVATION
DIAMETER SIZE OF STRUCTURE	740.50 N.W.	AND DIRECTION

- NOTES:**
1. RM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
  2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 35 UNLESS NOTED OTHERWISE ON PLANS. ALL SANITARY MANHOLES TO BE 48" DIAMETER WITH NEEHAH R-1713 FRAME AND CLOSED LID. PROVIDE EXTERNAL CHIMNEY SEALS AFTER FINAL GRADE ADJUSTMENT.
  3. ALL WATERMAIN TO BE 8" DIA. DIP CL. S2 UNLESS NOTED OTHERWISE ON PLANS.
  4. SEE PLAN OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
  5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
  6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.
  7. CONTRACTORS TO PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO (NO 90 DEGREE FITTINGS WILL BE ALLOWED) DEFLECT WATERMAIN ALONG STREET CURVES WITHOUT EXCEEDING MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS (MINIMUM RADIUS OF CURVATURE TO BE OBTAINED BY PIPE JOINTS ONLY-2602.)
  8. TRENCH BACKFILL SHOWN FOR MAINLINE SANITARY, STORM AND WATER ONLY. TRENCH BACKFILL REQUIRED FOR SANITARY AND WATER SERVICES AND CONDUITS THAT CROSS PROPOSED PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  9. SOME SANITARY SERVICE CONNECTIONS WILL REQUIRE RISER TO AVOID CONFLICT WITH OTHER UTILITIES.
  10. ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND A MINIMUM OF 12" IN DIAMETER. THE CLASS OF STORM SEWER PIPE SHALL CONFORM TO THE CHART IN SECTION 550 OF THE SDR305 FOR TYPE I OR TYPE II CONSTRUCTION. ALL FLARED END SECTIONS SHALL BE REINFORCED CONCRETE.
  11. ALL BUMP CONNECTIONS ARE 10"-6" PVC SCH 40.



<b>TITLE</b>	
<b>CORPORATE RESERVE SUBDIVISION OF LOT B UTILITY PLAN</b>	
<b>CLIENT</b>	<b>SCALE: 1" = 30'</b>
<b>WILLS BURVE KESEY ASSOCIATES LTD.</b>	<b>118 WEST MAIN STREET, SUITE 201</b>
<b>DEVELOPMENT PARTNERS, LLC</b>	<b>ST. CHARLES, ILLINOIS 60174</b>
<b>270 ST. PAUL STREET, #300</b>	<b>(630) 443-7755</b>
<b>DENVER, CO 80206</b>	
<b>PHONE NUMBER</b>	
<b>PROJECT NO. 140236</b>	
<b>DATE: 03-04-2015</b>	
<b>DRAWING NO. 110130</b>	
<b>SHEET</b>	
<b>UT3</b>	



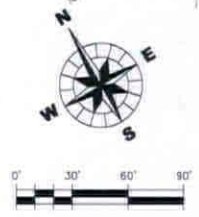


- LEGEND**
- MH = MANHOLE
  - CB = CATCH BASIN
  - E = FLARED END SECTION
  - S = SANITARY MANHOLE
  - PH = FIRE HYDRANT
  - WV = VALVE VAULT
  - I = INLET
  - 10P = NEENAH R-3281-A CURB FRAME AND GRATE FOR B.612
  - 11P = NEENAH R-3508-A2 CURB FRAME AND GRATE DEPRESSED
  - 11C = NEENAH R-1713-C FRAME WITH CLOSED LID
  - 10 = NEENAH R-1713 FRAME AND GRATE (OPEN LID)
- INDICATES PIPE CONFLICT  
 INDICATES PIPE CROSSING  
 TRENCH BACKFILL

TYPE OF STRUCTURE	STRUCTURE NUMBER	TYPE OF FRAME & LID
MH	MH-10	MH-10
B	A40, 10	48\"/>

- NOTES:**
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
  2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS. ALL SANITARY MANHOLES TO BE 48" DIAMETER WITH NEENAH R-1713 FRAME AND CLOSED LID. PROVIDE EXTERNAL CHIMNEY SEALS AFTER FINAL GRADE ADJUSTMENT.
  3. ALL WATERMAIN TO BE 8" DIA. DIP CL 32 UNLESS NOTED OTHERWISE ON PLANS.
  4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
  5. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER WILL BE OWNED BY THE CITY OF ST. CHARLES UNLESS NOTED OTHERWISE ON THE PLANS.
  6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.
  7. CONTRACTORS TO PROVIDE ADDITIONAL FITTINGS AS NECESSARY TO (NO 90 DEGREE FITTINGS WILL BE ALLOWED) DEFLECT WATERMAIN ALONG STREET CURVES WITHOUT EXCEEDING MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS (MINIMUM RADIUS OF CURVATURE TO BE OBTAINED BY PIPE JOINTS ONLY-2605.)
  8. TRENCH BACKFILL SHOWN FOR MAINLINE SANITARY, STORM AND WATER ONLY. TRENCH BACKFILL REQUIRED FOR SANITARY AND WATER SERVICES AND CONDUITS THAT CROSS PROPOSED PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  9. SOME SANITARY SERVICE CONNECTIONS WILL REQUIRE RISER TO AVOID CONFLICT WITH OTHER UTILITIES.
  10. ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND A MINIMUM OF 12" IN DIAMETER. THE CLASS OF STORM SEWER PIPE SHALL CONFORM TO THE CHART IN SECTION 550 OF THE OSBRC FOR TYPE I OR TYPE II CONSTRUCTION. ALL FLARED END SECTIONS SHALL BE REINFORCED CONCRETE.
  11. ALL SUMP CONNECTIONS ARE 10"-6" PVC SDH 40.

<b>CORPORATE RESERVE SUBDIVISION OF LOT B UTILITY PLAN</b>																													
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">DATE</td> <td style="width: 25%;">SCALE</td> <td style="width: 25%;">DRAWN BY</td> <td style="width: 25%;">CHECKED BY</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	DATE	SCALE	DRAWN BY	CHECKED BY					<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;"><b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b></td> </tr> <tr> <td colspan="2" style="text-align: center;">270 ST. PAUL STREET, #300 DENVER COLORADO 80206</td> </tr> <tr> <td colspan="2" style="text-align: center;">PHONE NUMBER</td> </tr> <tr> <td colspan="2" style="text-align: center;"> </td> </tr> <tr> <td colspan="2" style="text-align: center;"><b>CLIENT</b></td> </tr> <tr> <td colspan="2" style="text-align: center;"><b>WILLS BURKE KESEY ASSOCIATES LTD</b></td> </tr> <tr> <td colspan="2" style="text-align: center;">114 S. 14th Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755</td> </tr> <tr> <td colspan="2" style="text-align: center;"></td> </tr> <tr> <td>PROJECT NO. 140296</td> <td>DATE: 10-08-2015</td> </tr> <tr> <td>DRAWING NO. 1209-38</td> <td>SHEET:</td> </tr> </table>	<b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b>		270 ST. PAUL STREET, #300 DENVER COLORADO 80206		PHONE NUMBER				<b>CLIENT</b>		<b>WILLS BURKE KESEY ASSOCIATES LTD</b>		114 S. 14th Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755				PROJECT NO. 140296	DATE: 10-08-2015	DRAWING NO. 1209-38	SHEET:
DATE	SCALE	DRAWN BY	CHECKED BY																										
<b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b>																													
270 ST. PAUL STREET, #300 DENVER COLORADO 80206																													
PHONE NUMBER																													
<b>CLIENT</b>																													
<b>WILLS BURKE KESEY ASSOCIATES LTD</b>																													
114 S. 14th Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755																													
PROJECT NO. 140296	DATE: 10-08-2015																												
DRAWING NO. 1209-38	SHEET:																												

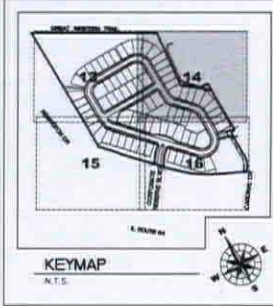
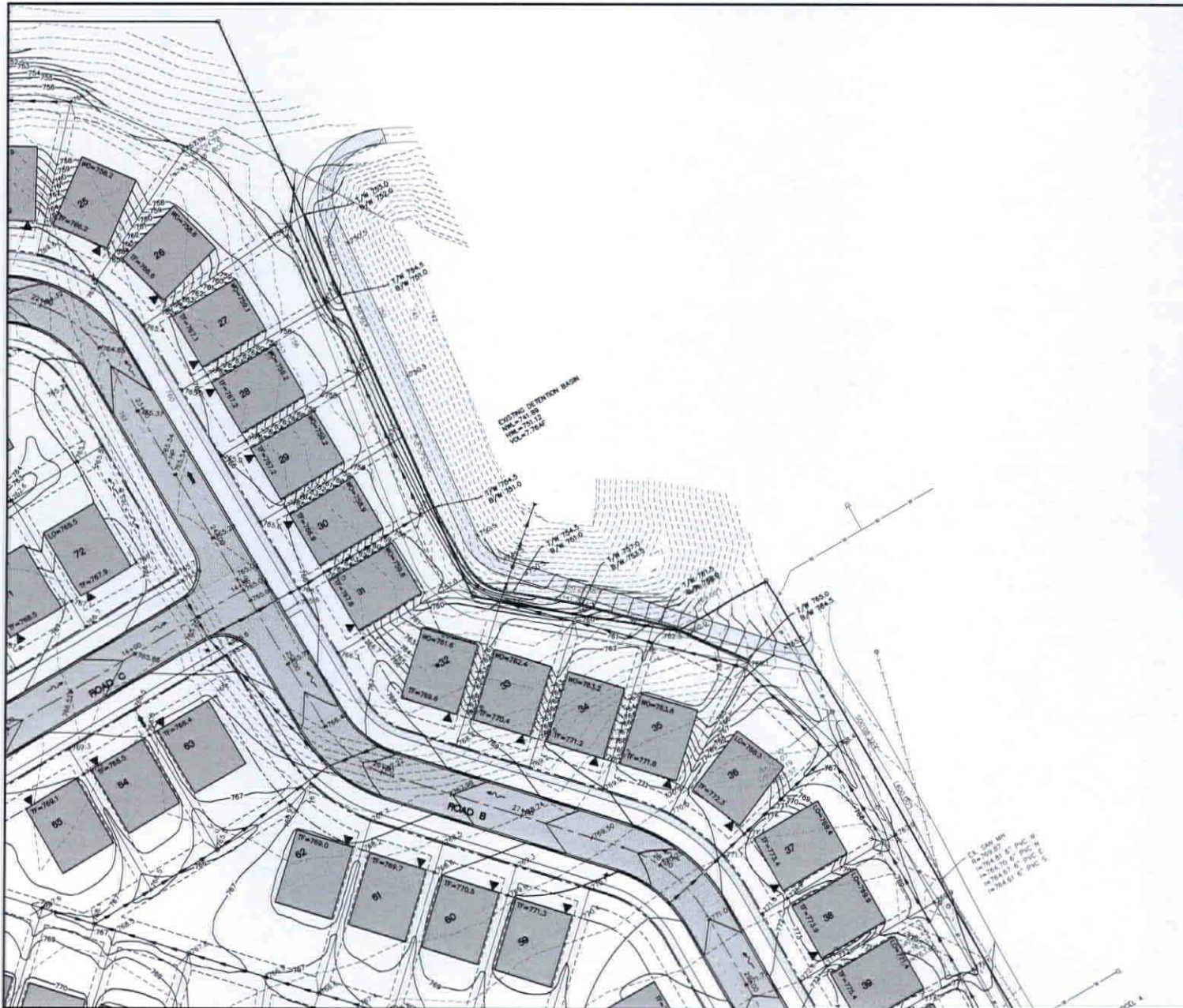


**UT4**

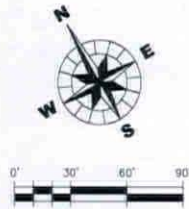
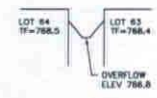








- NOTES:**
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
  2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
  3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
  4. SEE SHEET SP1 FOR SPECIFICATIONS.
  5. OVERFLOW ROUTE
  6. FLOW DIRECTION
  7. SPOT GRADE
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
8. EP = EDGE OF PAVEMENT GRADE  
 R = RIM GRADE-TOP GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE SUTTER  
 TF = PROPOSED TOP OF FOUNDATION ELEVATION  
 LD = PROPOSED LOOK-OUT ELEVATION  
 WC = PROPOSED WALK-OUT ELEVATION  
 PLD = PROPOSED PARTIAL LOOK-OUT  
 GF = PROPOSED GARAGE FLOOR ELEVATION  
 DS = PROPOSED DROP SIDING
9. FINISHED GRADE SHALL BE 4" BELOW TF UNLESS NOTED.
  10. RESURFACE 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
  11. APPROXIMATE DRIVEWAY LOCATION
  12. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
  13. GARAGE FLOOR IS 0.5' BELOW TF UNLESS NOTED.
  14. MAX ROADWAY CENTERLINE SLOPE IS 3.00%. ALL SIDEWALKS AND SIDEWALK RAMP SHALL CONFORM TO ADA/PROWAG STANDARDS.



**CORPORATE RESERVE SUBDIVISION  
OF LOT 8**

**GRADING AND DRAINAGE PLAN**

NO.	DATE	BY	CHKD	SCALE	DESCRIPTION

CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
 270 ST. PAUL STREET, #300  
 DENVER, COLORADO 80206  
 PHONE NUMBER

CLIENT: **WILLS BURKE KELSEY ASSOCIATES LTD**  
 116 West Main Street, Suite 201  
 St. Charles, Illinois 60174  
 (800) 443-7755

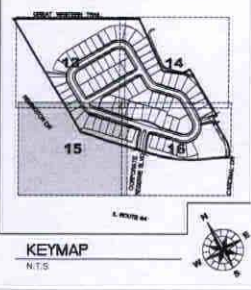
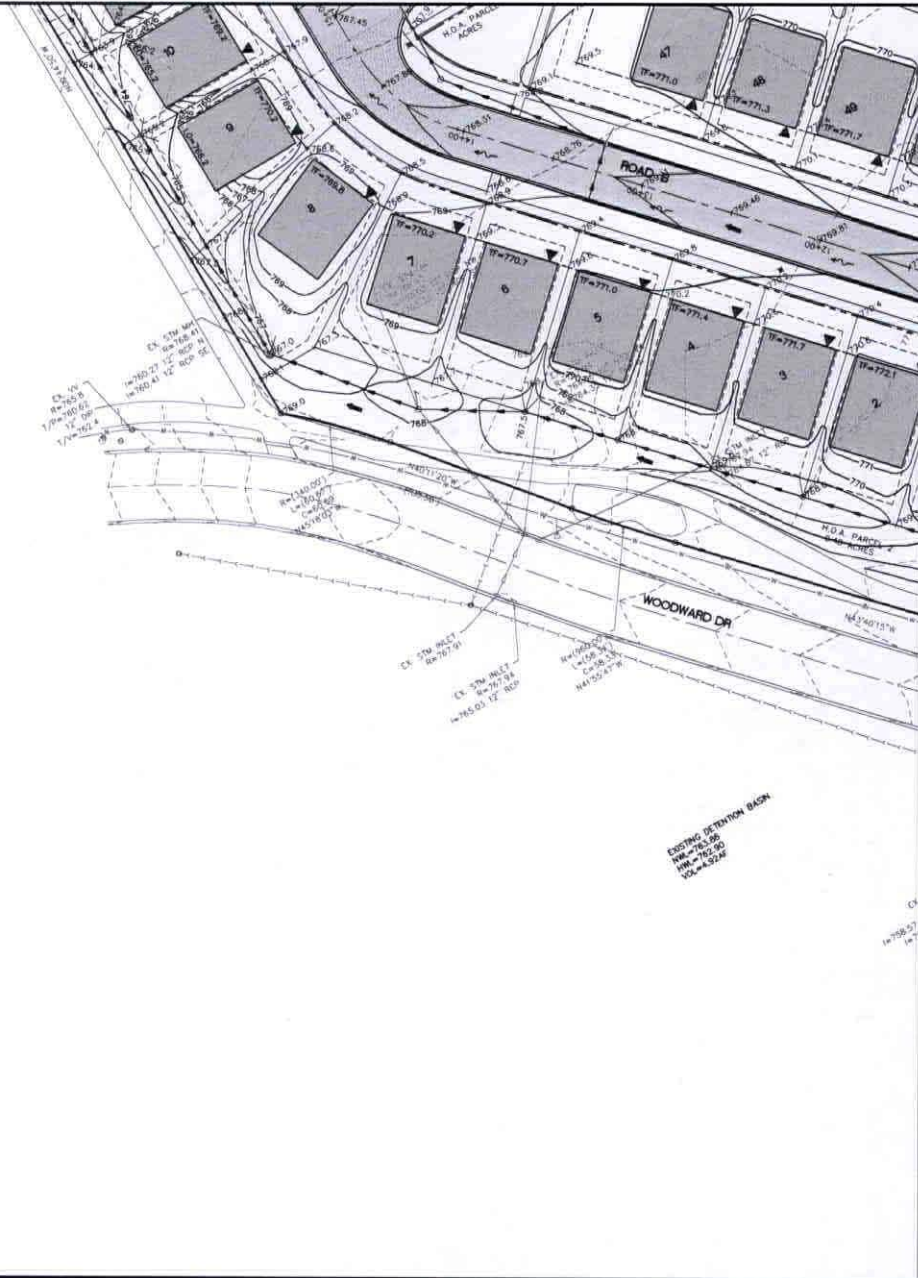
**WBK**

PROJECT NO. 140206  
 DATE: 10-08-2010  
 DRAWING NO. 140P 38  
 SHEET:

**GR2**



30' INDICATED

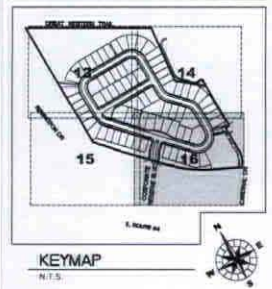
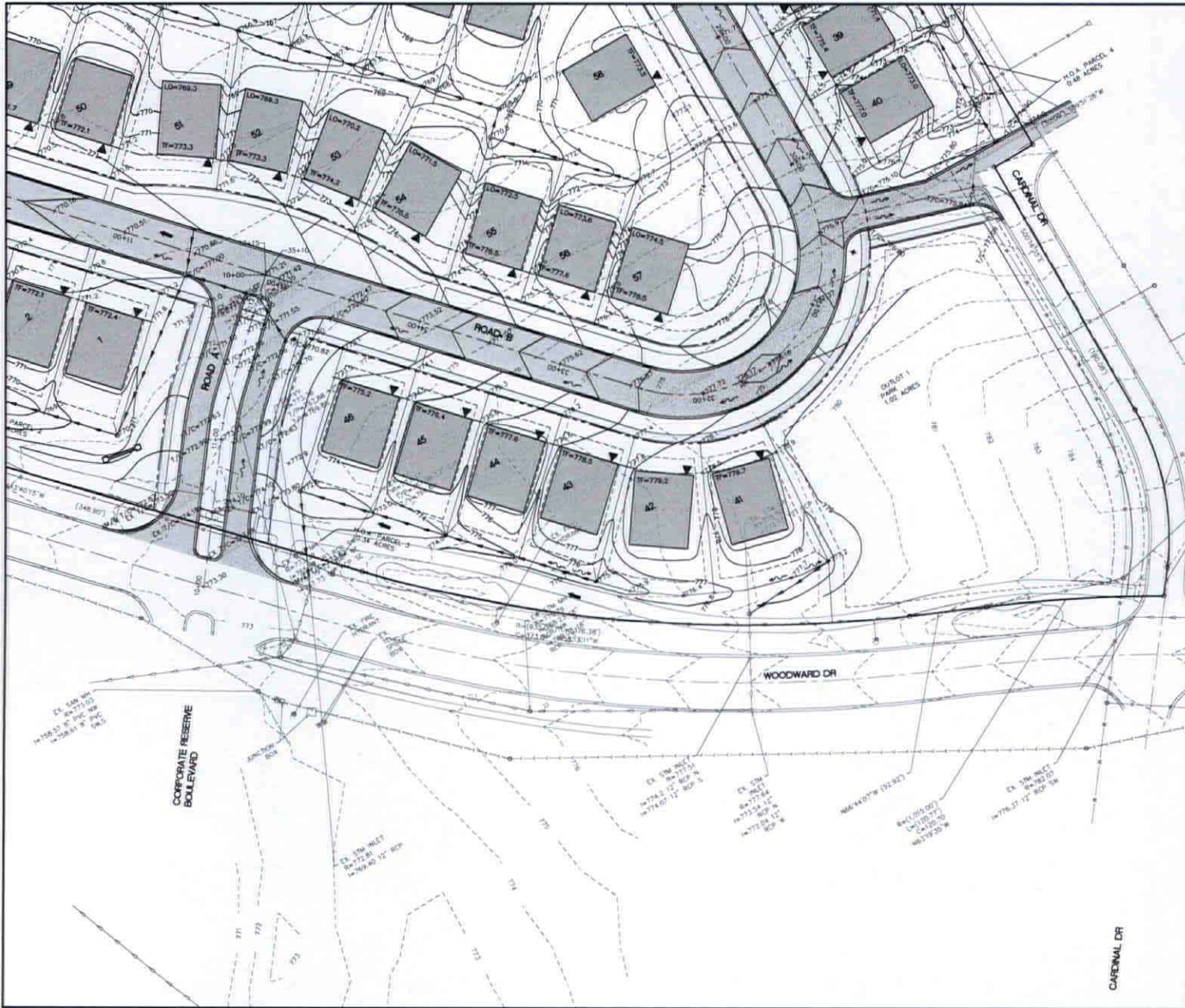


- NOTES:**
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
  2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
  3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
  4. SEE SHEET SPI FOR SPECIFICATIONS.
  5. OVERFLOW ROUTE →
  6. FLOW DIRECTION —→
  7. SPOT GRADE = 774.38
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
8. EP = EDGE OF PAVEMENT GRADE  
 R = FIN GRADE-3M GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE SLUTTER  
 TF = PROPOSED TOP OF FOUNDATION ELEVATION  
 LG = PROPOSED LOOK-OUT ELEVATION  
 WD = PROPOSED WALK-OUT ELEVATION  
 PLO = PROPOSED PARTIAL LOOK-OUT  
 GF = PROPOSED GARAGE FLOOR ELEVATION  
 DS = PROPOSED DROP SEWING
9. FINISHED GRADE SHALL BE 4" BELOW TF UNLESS NOTED.
  10. RESPREAD 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
  11. APPROXIMATE DRIVEWAY LOCATION ▲
  12. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
  13. GARAGE FLOOR IS 0.5' BELOW TF UNLESS NOTED.
  14. MAX ROADWAY CENTERLINE SLOPE IS 2.80%. ALL SIDEWALKS AND SIDEWALK RAMPS SHALL CONFORM TO ADA/PROWAG STANDARDS.

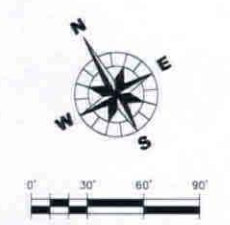


<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b>		<b>GRADING AND DRAINAGE PLAN</b>	
DATE	SCALE	DATE	SCALE
10-09-2015	AS SHOWN	10-09-2015	AS SHOWN
PROJECT NO. 140256	DATE	PROJECT NO. 140256	DATE
118 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	DATE	118 WEST MAIN STREET SUITE 201 ST. CHARLES, ILLINOIS 60174 DATE	DATE
<b>WILLS BURKE KELSEY ASSOCIATES LTD</b>	DATE	<b>CORPORATE RESERVE, LLC</b>	DATE
<b>WBK</b>	DATE	<b>DEVELOPMENT PARTNERS, LLC</b>	DATE
118 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	DATE	<b>1000</b>	DATE
PROJECT NO. 140256	DATE	<b>DENVER COLORADO 80206</b>	DATE
DATE: 10-09-2015	DATE	<b>PHONE NUMBER</b>	DATE
DRAWING NO. 15 OF 38	DATE		DATE
SHEET	DATE		DATE
<b>GR3</b>	DATE		DATE





- NOTES:**
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
  2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
  3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
  4. SEE SHEET SPT FOR SPECIFICATIONS.
  5. OVERFLOW ROUTE  $\rightarrow$
  6. FLOW DIRECTION  $\rightarrow$
  7. SPOT GRADE =  $\pm$ 76.88
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
8. EP = EDGE OF PAVEMENT GRADE  
 RM GRADE = RM GRADES FOR STORM STRUCTURE  
 IN THE CURB REPRESENT THE FLOW LINE OF THE GUTTER  
 TP = PROPOSED TOP OF FOUNDATION ELEVATION  
 LD = PROPOSED LOOK-OUT ELEVATION  
 NO = PROPOSED NAIL-OUT ELEVATION  
 PLO = PROPOSED PARTIAL LOOK-OUT  
 GF = PROPOSED GARAGE FLOOR ELEVATION  
 DS = PROPOSED DROP SLOING
9. FINISHED GRADE SHALL BE 4" BELOW TP UNLESS NOTED.
  10. RESEED 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
  11. APPROXIMATE DRIVEWAY LOCATION  $\blacktriangle$
  12. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
  13. GARAGE FLOOR IS 0.5' BELOW TP UNLESS NOTED.
  14. MAX ROADWAY CENTERLINE SLOPE IS 2.0%. ALL SIDEWALKS AND SIDEWALK RAMPS SHALL CONFORM TO ADA/PROWAG STANDARDS.



**CORPORATE RESERVE SUBDIVISION OF LOT 8**

**GRADING AND DRAINAGE PLAN**

DATE	BY	CHKD	DATE

SCALE: 1" = 30'-0"

DATE: 12/12/2011

PROJECT NO. 140236

DATE: 05/04/2011

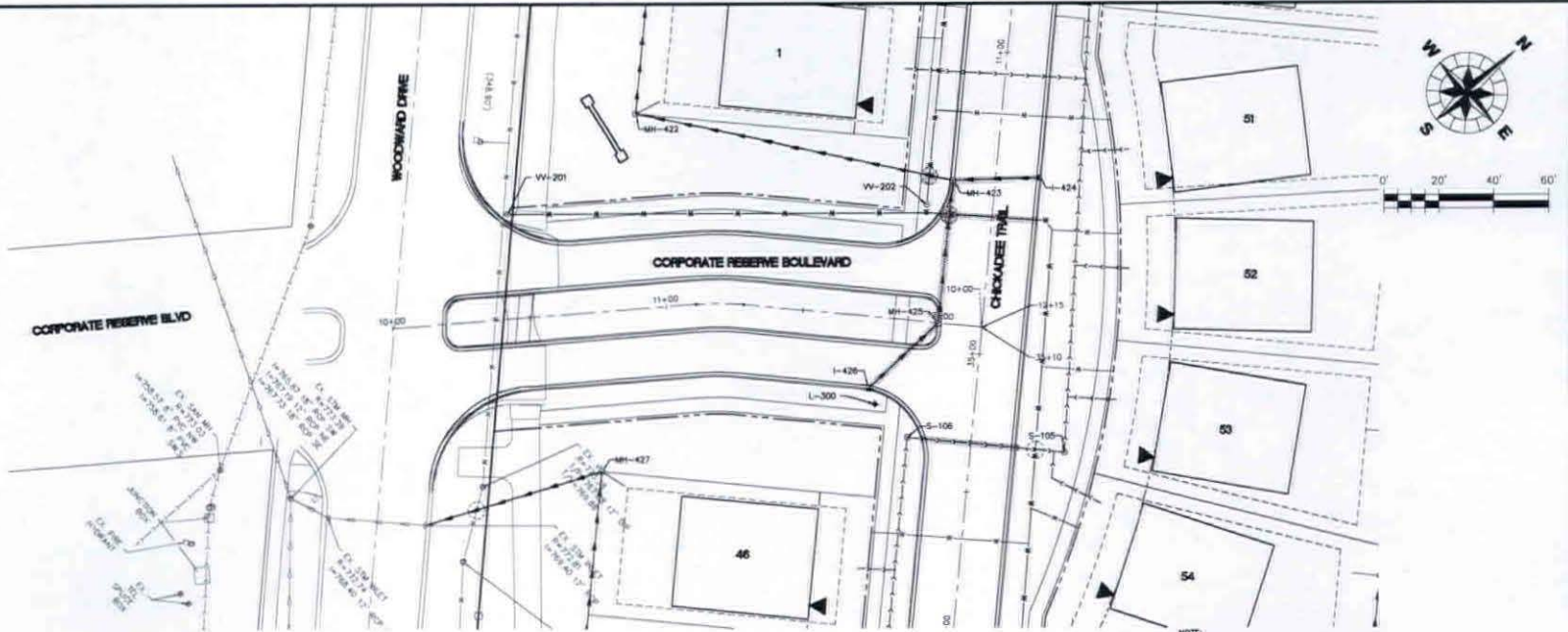
DRAWING NO. 140236-3A

SHEET: **GR4**

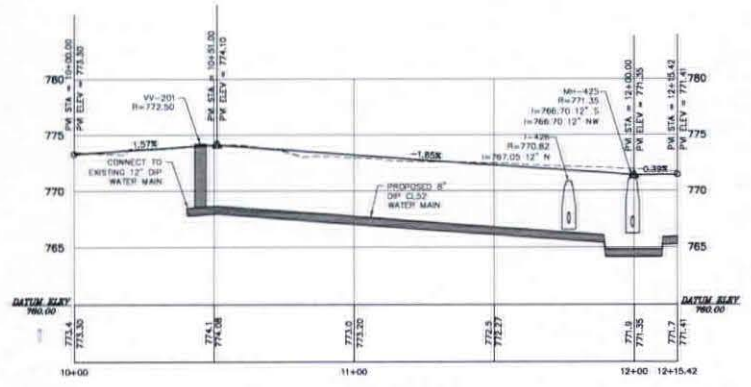
**WILLS BURKE KELSEY ASSOCIATES LTD.**  
 134 N. W. 10th Street, Suite 201  
 St. Charles, Illinois 60174  
 (630) 443-7755

**WBK**

**CORPORATE RESERVE PARTNERS, LLC**  
 270 ST. PAUL STREET, #300  
 DENVER, COLORADO 80206  
 PHONE NUMBER



NOTE:  
 1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.



**CORPORATE RESERVE BOULEVARD**  
 (STA. 10+00-12+14.42)  
 VERTICAL SCALE: 1" = 2'  
 HORIZONTAL SCALE: 1" = 20'

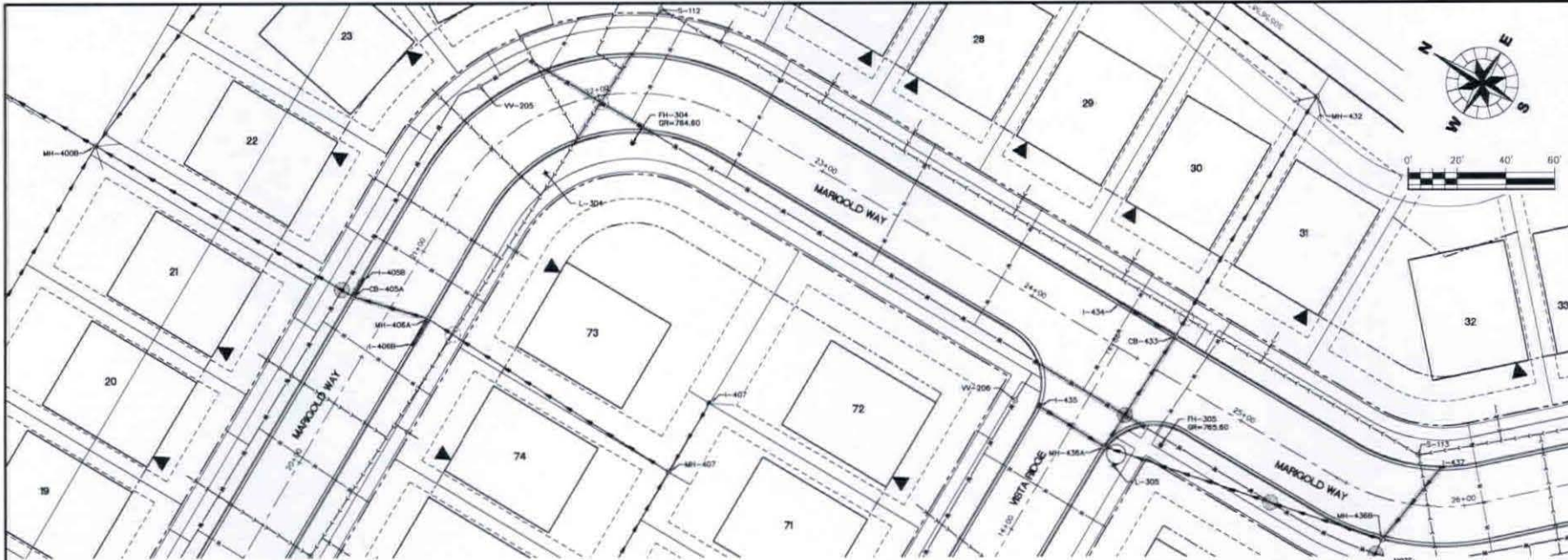
<b>WILLS BURKE KESEY ASSOCIATES LTD</b> 1415 St. Charles, Illinois 60174 (833) 443-7755 		<b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER													
PROJECT NO. 140258	DATE: 10-08-2013	<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b> <b>PLAN AND PROFILES</b>													
DRAWING NO. 170734	SHEET:	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHKD.</th> <th>APP.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	BY	CHKD.	APP.						
NO.	DATE	DESCRIPTION	BY	CHKD.	APP.										







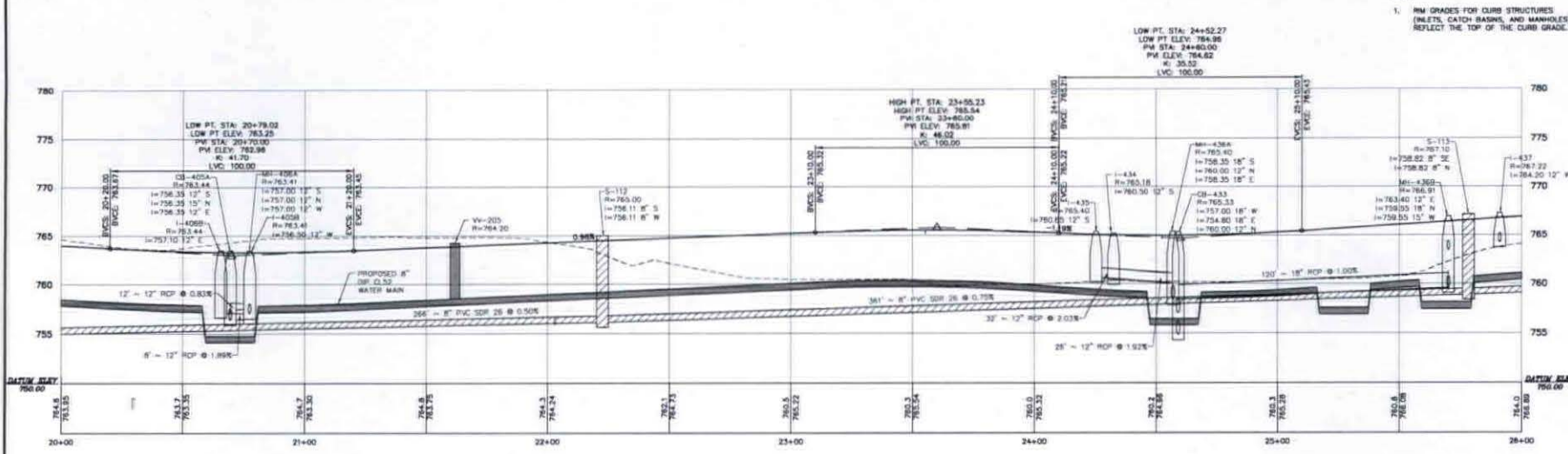




**CORPORATE RESERVE SUBDIVISION OF LOT 8**

**PLAN AND PROFILES**

DATE	BY	CHKD	APP'D
12/11/18	PER CITY REVIEW LETTER DATED 11/13/18		
12/11/18	DATE OF APPROVAL	PP-0008-2018	



**MARGOLD WAY**  
(STA. 20+00-28+00)

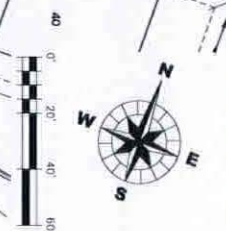
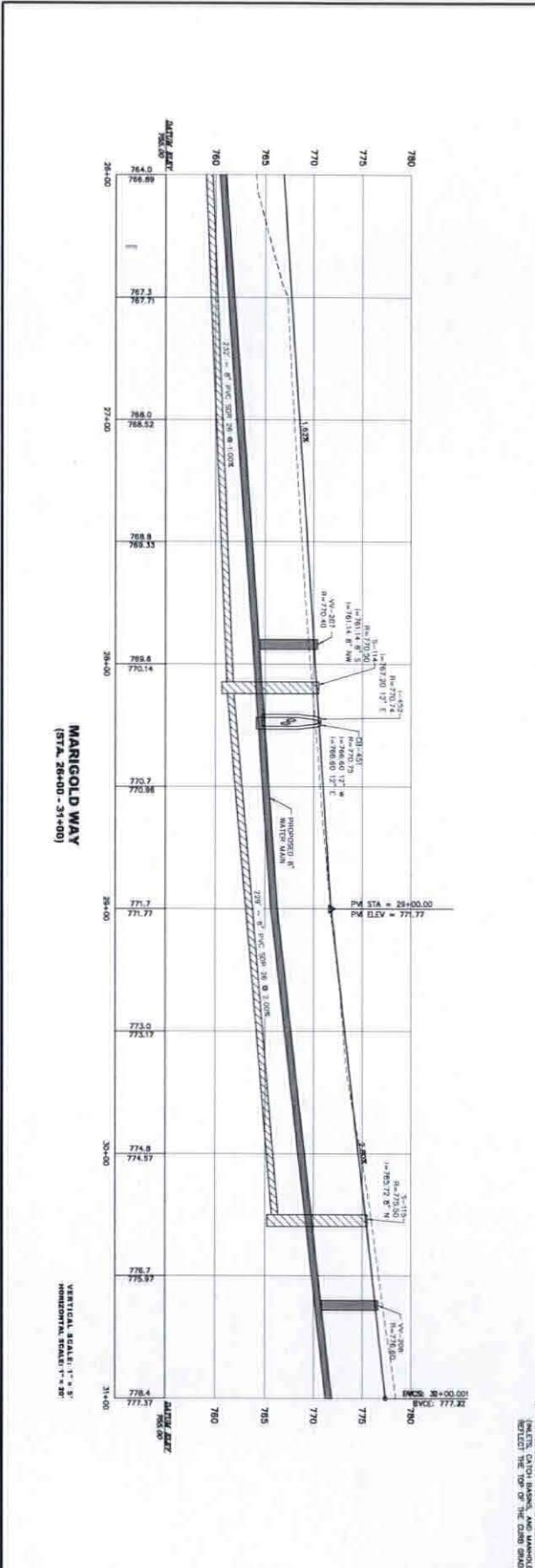
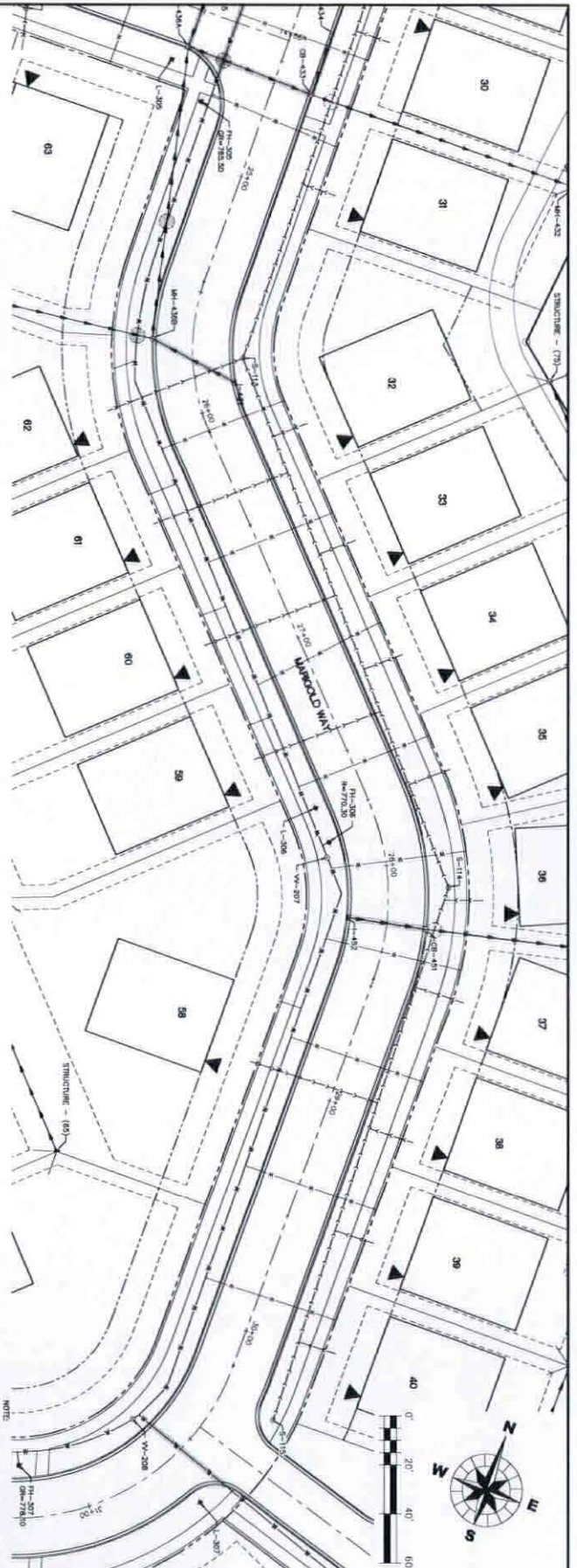
VERTICAL SCALE: 1" = 4'  
HORIZONTAL SCALE: 1" = 20'

NOTE:  
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.

CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80206  
PHONE NUMBER

WILLS BURKE KESEY ASSOCIATES LTD.  
516 West Main Street, Suite 201  
DENVER, CO 80202  
(303) 443-7755

PROJECT NO: 140238  
DATE: 15-08-2018  
DRAWING NO: 200P-38  
SHEET:



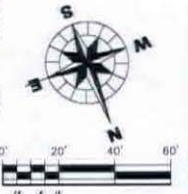
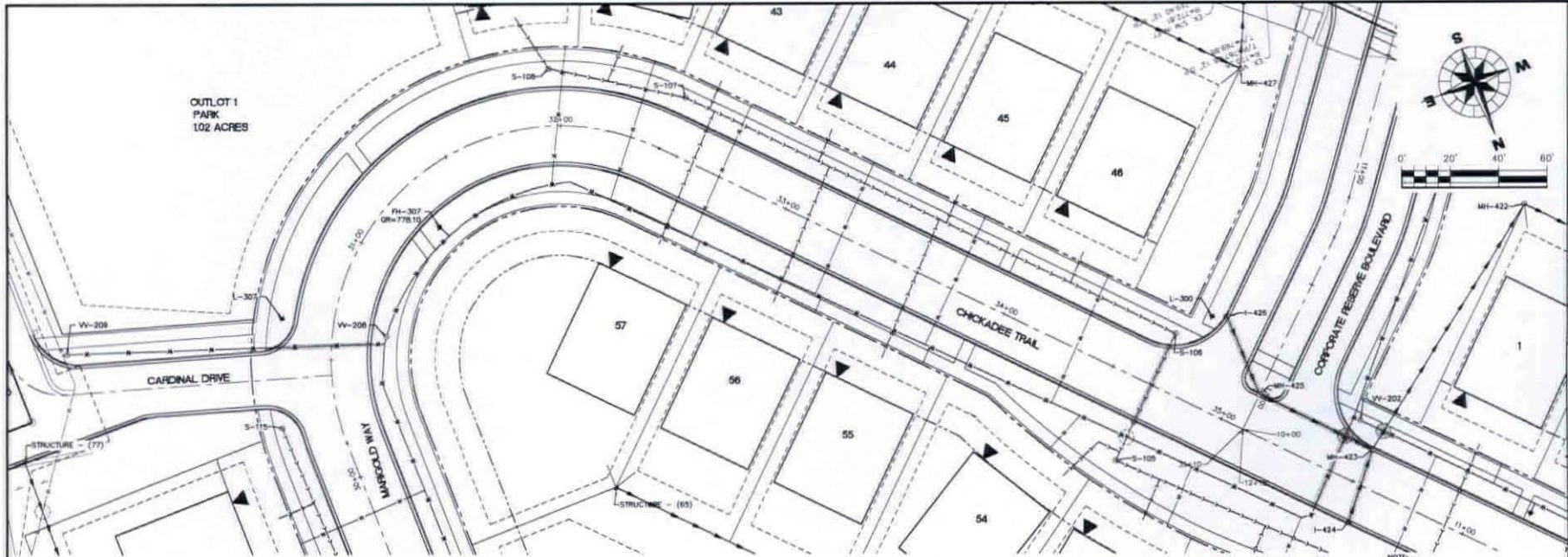
NOTE:  
1. SEE GRADING FOR CURB STRUCTURES  
(INCLUDE CURB BENCH, AND MANHOLES)  
EXCEPT THE TOP OF THE CURB GRADE.

**MARGOLD WAY**  
(STA. 26+00 - 31+00)

VERTICAL SCALE: 1" = 2'  
HORIZONTAL SCALE: 1" = 20'

	<b>WILLS BURKE KELSEY ASSOCIATES LTD</b> 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	<b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER	CLIENT CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER	DRAWN: [ ] DATE: [ ] CHECKED: [ ] SCALE: AS NOTED	<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b>  <b>PLAN AND PROFILES</b>
	PROJECT NO. 10278 DATE: 10/24/2011 DRAWING NO. 27828 SHEET:	PPS	21 11 11 PER CITY REVIEW LETTER DATED 11-13-11 NO. DATE: [ ]	21 11 11 PER CITY REVIEW LETTER DATED 11-13-11 NO. DATE: [ ]	21 11 11 PER CITY REVIEW LETTER DATED 11-13-11 NO. DATE: [ ]





OUTLOT 1  
PARK  
1.02 ACRES

CORPORATE RESERVE SUBDIVISION  
OF LOT B

NO.	DATE	BY	CHKD.	APP.	SCALE	AS NOTED
1						
2						
3						
4						
5						
6						
7						
8						
9						
10						

PLAN AND PROFILES

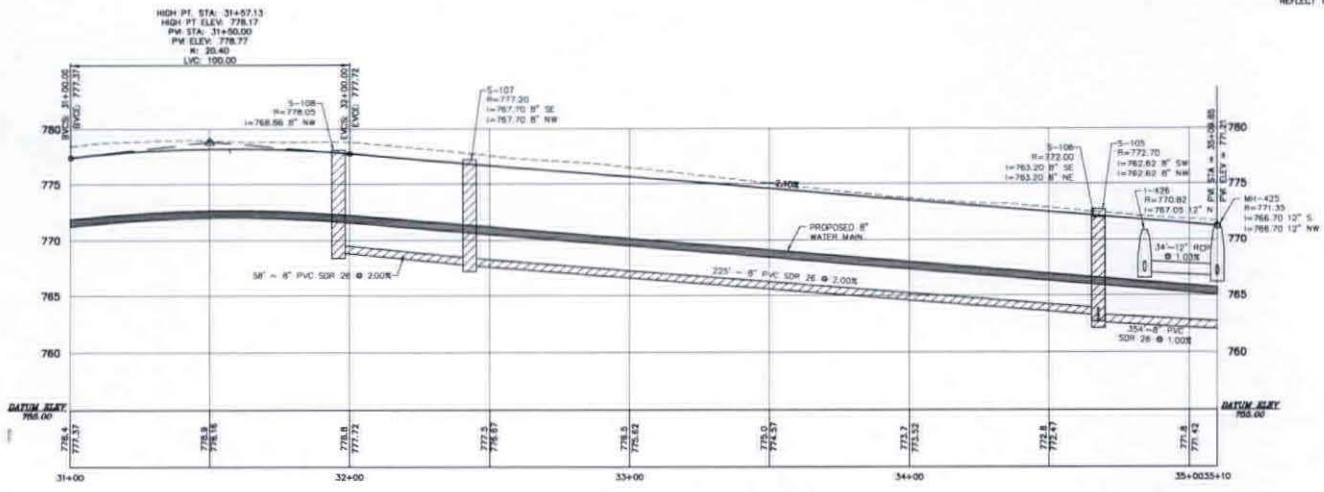
CORPORATE RESERVE  
DEVELOPMENT PARTNERS, LLC  
270 ST. PAUL STREET, #300  
DENVER, COLORADO 80205

WILLS BURKE KESEY ASSOCIATES LTD.  
3100 South Broadway, Suite 201  
St. Charles, Missouri 63074  
(630) 443-7755



PROJECT NO: 140236  
DATE: 05-08-2015  
DRAWING NO: 230P 36

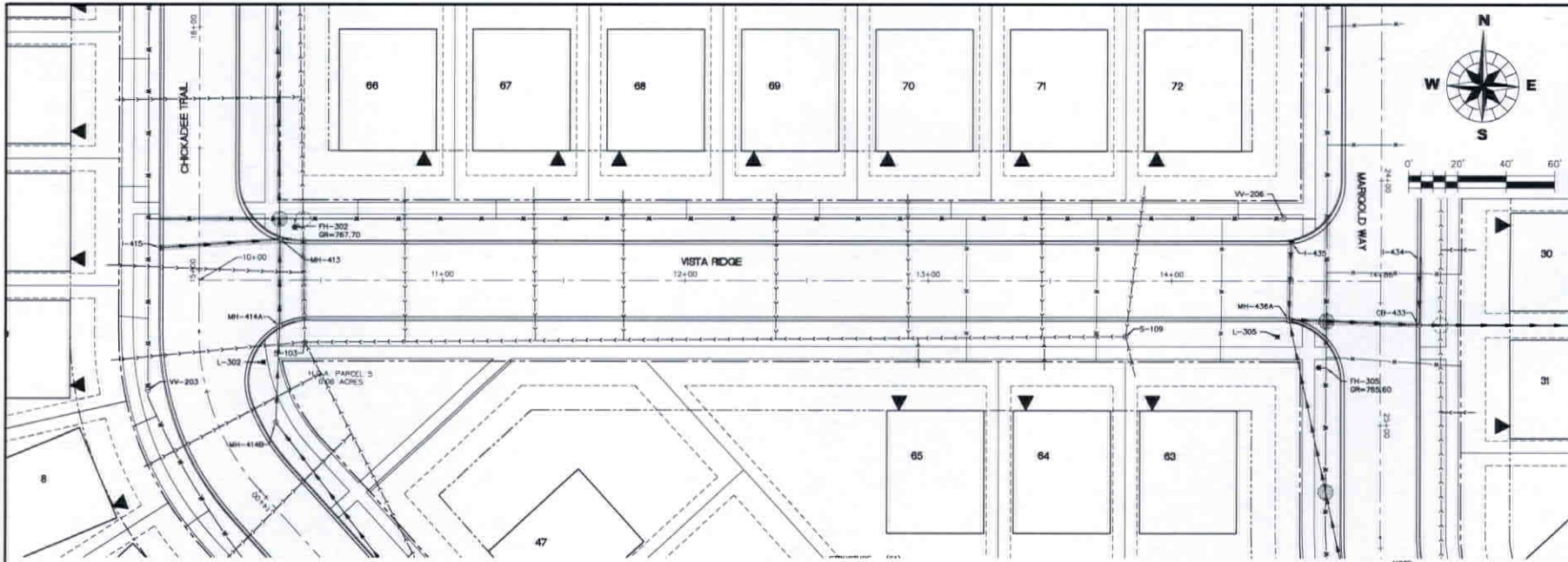
SHEET: PP6



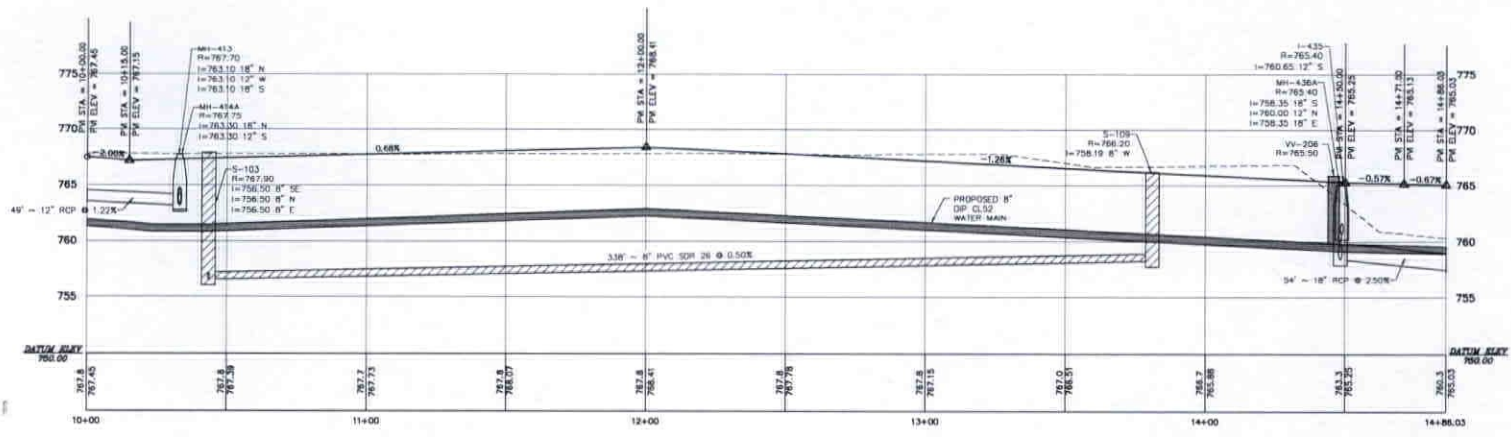
MARIGOLD WAY - CHICKADEE TRAIL  
(STA. 31+00 - 35+10)

VERTICAL SCALE: 1" = 8'  
HORIZONTAL SCALE: 1" = 20'

NOTE:  
1. MM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.



NOTE:  
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.



**VISTA RIDGE**  
(STA. 10+00- 14+85.03)

VERTICAL SCALE: 1" = 5'  
HORIZONTAL SCALE: 1" = 30'

**CORPORATE RESERVE SUBDIVISION OF LOT 8**

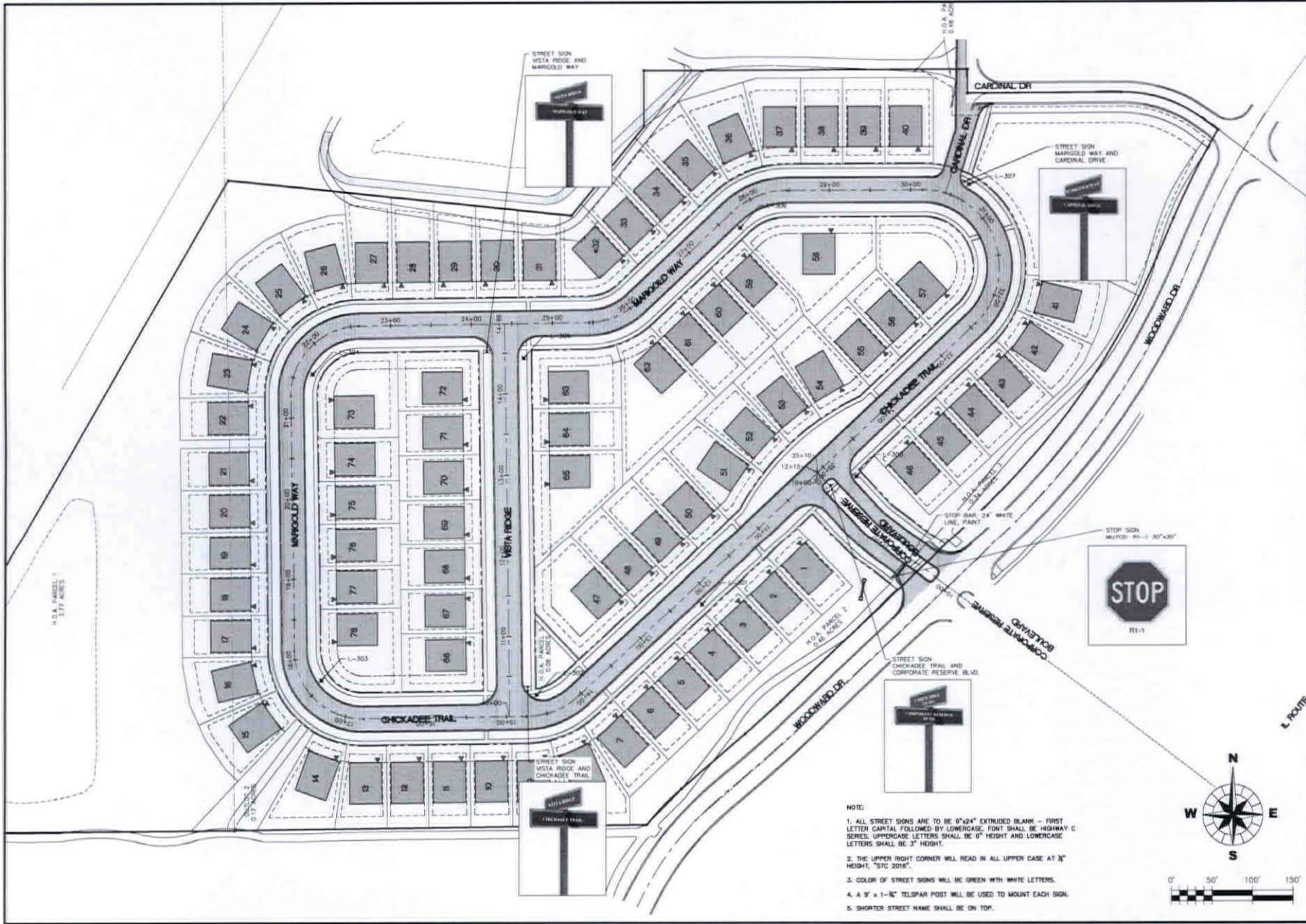
**PLAN AND PROFILES**

DATE	BY	CHECKED	SCALE
15.08.2011	W.B.K.	J.C.C.	AS NOTED

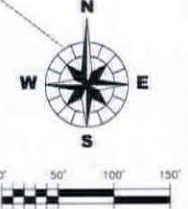
WILLS BURKE KELSEY ASSOCIATES LTD.  
1115 S. CHARLES, SUITE 201  
DENVER, COLORADO 80206  
(303) 443-7755

PROJECT NO. 140256  
DATE: 15.08.2011  
DRAWING NO. 230P 30  
SHEET: **PP7**





- NOTE:
1. ALL STREET SIGNS ARE TO BE 9"x24" EXTRUDED BLANK - FIRST LETTER CAPITAL FOLLOWED BY LOWERCASE. FONT SHALL BE HIGHWAY C SERIES. UPPERCASE LETTERS SHALL BE 6" HEIGHT AND LOWERCASE LETTERS SHALL BE 3" HEIGHT.
  2. THE UPPER RIGHT CORNER WILL READ IN ALL UPPER CASE AT "X" HEIGHT, "STC 2016".
  3. COLOR OF STREET SIGNS WILL BE GREEN WITH WHITE LETTERS.
  4. A 9" x 1-1/2" TELSIPAR POST WILL BE USED TO MOUNT EACH SIGN.
  5. SHORTER STREET NAME SHALL BE ON TOP.



**CORPORATE RESERVE SUBDIVISION OF LOT 8  
SIGNAGE LIGHTING AND PAVEMENT MARKING PLAN**

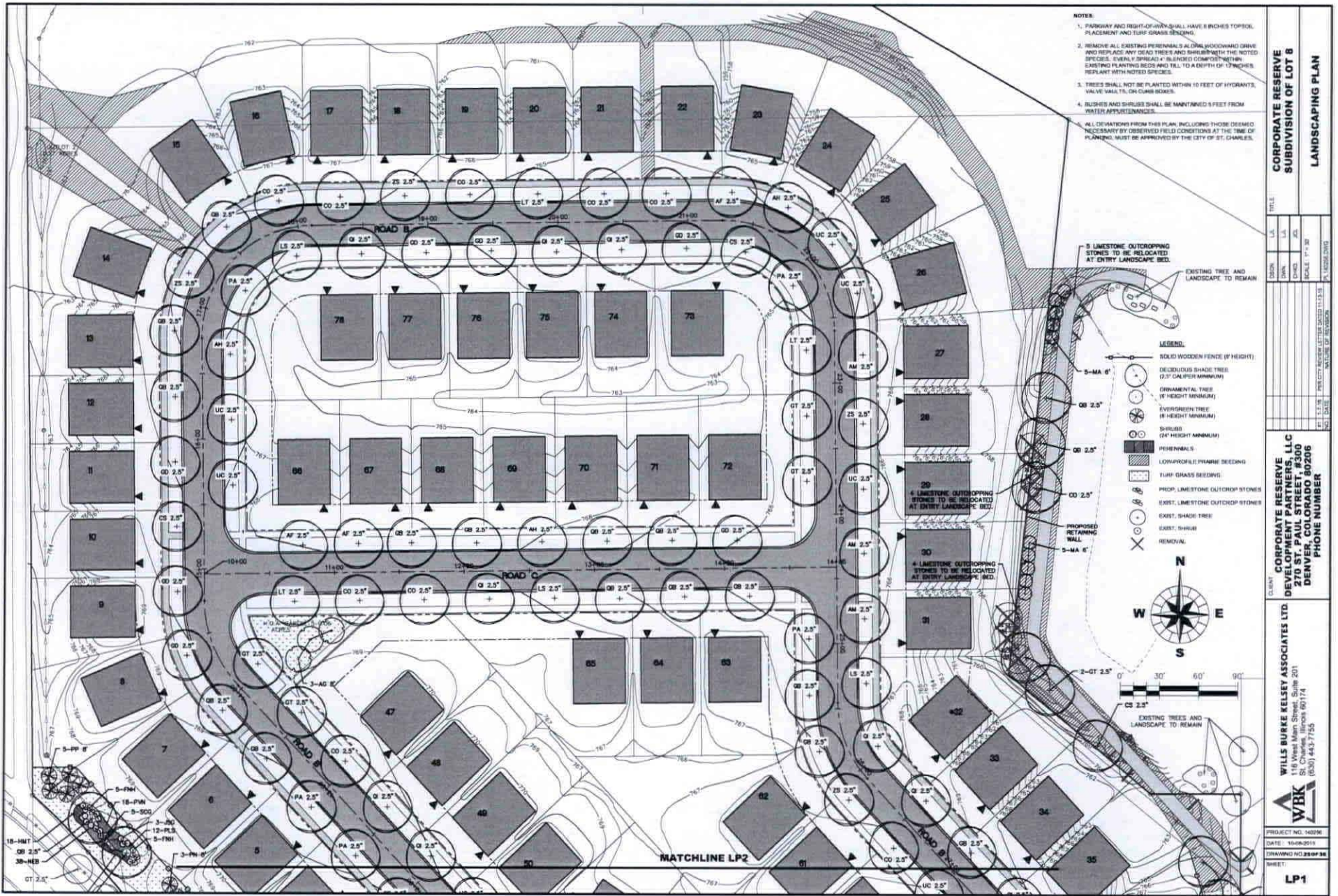
NO.	DATE	REVISIONS	BY	CHKD.	APP.

CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC  
 270 ST. PAUL STREET, #300  
 DENVER, COLORADO 80206  
 PHONE NUMBER

WILLS BURKE KESEY ASSOCIATES LTD.  
 1111 S. CHERRY, ILLINOIS 60174  
 (630) 443-7755

PROJECT NO. 140206  
 DATE: 10-08-2015  
 DRAWING NO. 140206-SP1  
 SHEET:



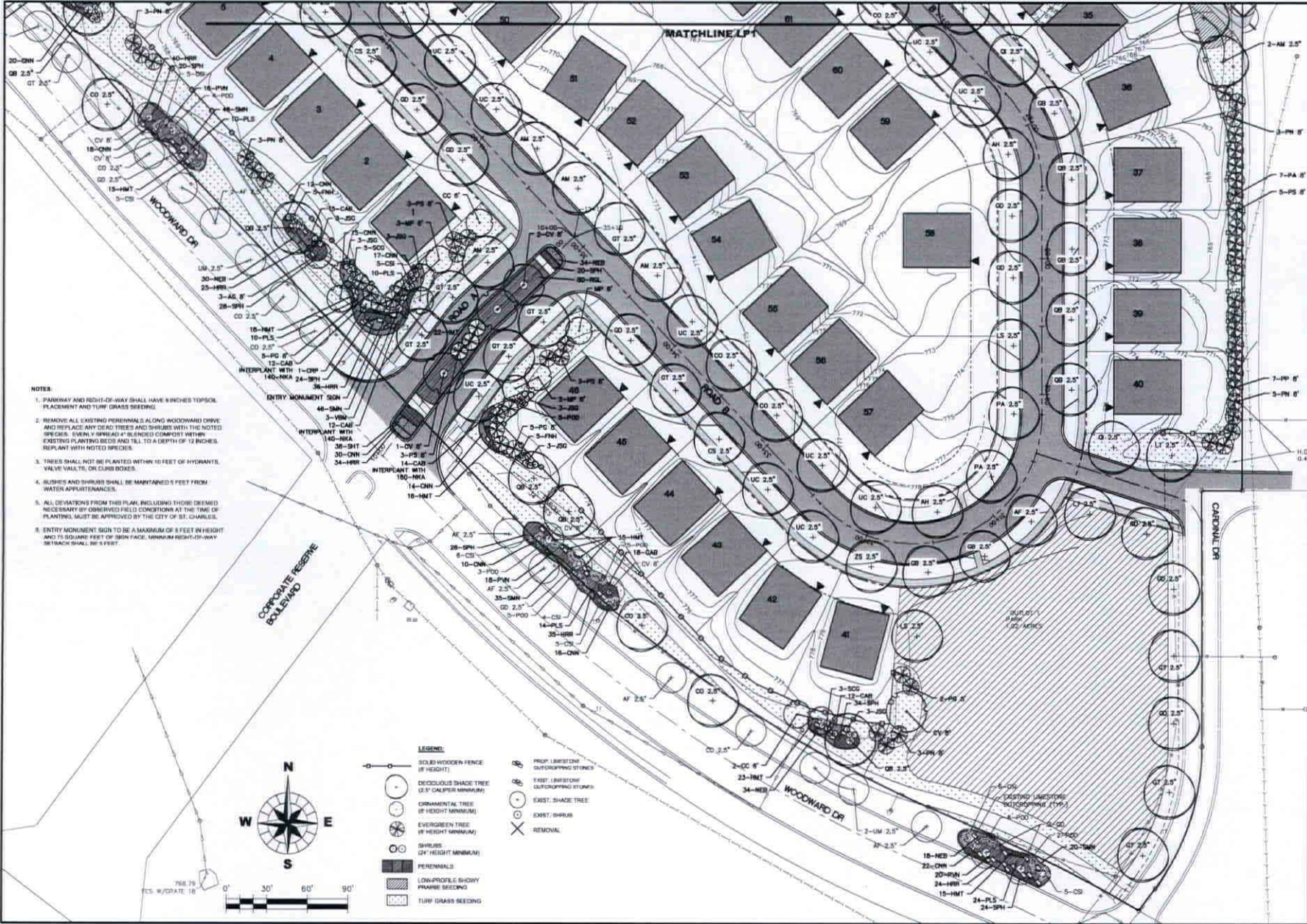


PROJECT NO. 140396		DATE: 10/08/2019	
DRAWING NO. 250P-36		SHEET	
<b>LP1</b>			

CLIENT	CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER
TITLE	CORPORATE RESERVE SUBDIVISION OF LOT B LANDSCAPING PLAN
DRAWN	
CHECKED	
SCALE	1" = 30'
DATE	10/08/2019





- NOTES**
1. PARKWAY AND RIGHT-OF-WAY SHALL HAVE 6 INCHES TOPSOIL PLACEMENT AND TURF GRASS SEEDING.
  2. REMOVE ALL EXISTING PERENNIALS ALONG WOODWARD DRIVE AND REPLACE ANY DEAD TREES AND SHRUBS WITH THE NOTED SPECIES. VERIFY ANY REMOVALS BY EXISTING CONTRACT WITH EXISTING PLANTING BEDS AND TILL TO A DEPTH OF 12 INCHES. REPLANT WITH NOTED SPECIES.
  3. TREES SHALL NOT BE PLANTED WITHIN 10 FEET OF HYDRANTS, VALVE VAULTS, OR CURB BOWES.
  4. SHRUBS AND SHRUBS SHALL BE MAINTAINED 5 FEET FROM WATER APPURTENANCES.
  5. ALL DEVIATIONS FROM THIS PLAN INCLUDING THOSE DEEMED NECESSARY BY OBSERVED FIELD CONDITIONS AT THE TIME OF PLANTING MUST BE APPROVED BY THE CITY OF ST. CHARLES.
  6. ENTRY MONUMENT SIGN TO BE A MAXIMUM OF 8 FEET IN HEIGHT AND 15 SQUARE FEET OF SIGN FACE. MINIMUM RIGHT-OF-WAY SETBACK SHALL BE 5 FEET.

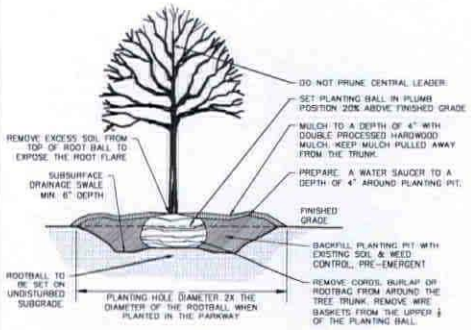
- LEGEND:**
- SOLID WOODEN FENCE (IF HEIGHT)
  - DECIDUOUS SHADE TREE (2" CALIPER MINIMUM)
  - ORNAMENTAL TREE (IF HEIGHT MINIMUM)
  - EVERGREEN TREE (IF HEIGHT MINIMUM)
  - SHRUBS (IF HEIGHT MINIMUM)
  - PERENNIALS
  - LOW-PROFILE SHINY PLANK SEEDING
  - TURF GRASS SEEDING
  - PROP. LIMB/STEM OUTCROPPING STONES
  - EXIST. LIMB/STEM OUTCROPPING STONES
  - EXIST. SHADE TREE
  - EXIST. SHRUBS
  - REMOVAL

<b>TITLE</b> CORPORATE RESERVE SUBDIVISION OF LOT 8 LANDSCAPING PLAN	
<b>DESIGN</b> DESIGN: [ ] DRAWN: [ ] CHECKED: [ ] SCALE: 1" = 30' DATE: [ ]	<b>PROJECT NO.</b> 140298 <b>DATE:</b> 10-09-2011 <b>DRAWING NO.</b> 20-HP-06 <b>SHEET</b> LP2
<b>CLIENT</b> WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	
<b>PHONE NUMBER</b> (630) 443-7755	

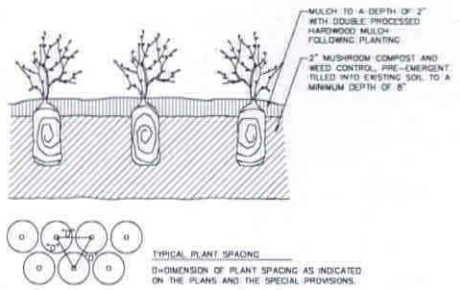


**GENERAL NOTES**

- ALL PLANTS SHALL CONFORM IN SIZE AND GRADE IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK.
- ALL PLANTS WILL BE HANDLED AND PLANTED IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES AND PROFESSIONAL STANDARDS AS PUBLISHED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION IN A UNIFORM SET OF WORKMANSHIP STANDARDS IN LANDSCAPE SPECIFICATIONS.
- SPECIFIED VARIETIES OF ANY SPECIES SHALL BE SPECIFY TYPE, TREE AND SHALL BE FIRST CLASS REPRESENTATIVES OF THEIR NORMAL SPECIES AND VARIETIES. THEY SHALL HAVE WELL DEVELOPED ROOT AND BRANCH SYSTEMS, REASONABLY STRAIGHT TRUNKS, AND A WELL DEFINED SINGLE LEADER.
- TREES SHALL BE NURSERY GROWN WITH A GOOD COMPACT, FULLY DEVELOPED FIBROUS ROOT SYSTEM WHICH HAS BEEN DEVELOPED BY PROPER CULTURAL TREATMENT AND IS SUFFICIENT ENOUGH TO INSURE PLANT GROWTH.
- TREES SHALL BE A MINIMUM TRUNK DIAMETER OF THREE INCHES, CALIPERED AT FOUR AND ONE-HALF FEET ABOVE THE HIGHEST GROUND LEVEL. TREES SHALL BE NORTHERN NURSERY GROWN (HARDINESS ZONE 3 USDA MAP). TREES SHALL HAVE BEEN TRANSPLANTED TWICE. THE LAST TRANSPLANTING NOT LESS THAN FOUR YEARS PRIOR TO PLANTING. ALL TREES SHALL BE TAGGED AND IDENTIFIED AS TO SPECIES, SIZE, AND PLACE OF ORIGIN. TAGS SHALL REMAIN IN PLACE UNTIL INSPECTION AND APPROVAL BY THE PUBLIC WORKS DEPARTMENT IS DONE BOTH AT THE NURSERY AND AT THE FINAL PLANTING SITE. ALL TREES SHALL BE BALLED AND BURLAPPED. ALL TREES SHALL HAVE STRAIGHT TRUNKS AND GOOD BRANCHING. BRANCHES SHALL BEGIN FROM FIVE TO SIX FEET ABOVE THE GROUND LEVEL, AND SHALL BE HIGH QUALITY REPRESENTATIVES OF THEIR SPECIES IN ALL REGARDS, INCLUDING GENERAL SHAPE. EACH TREE SHALL BE PLANTED PLUMB AND AT THE SAME LEVEL AS WHERE IT STOOD IN THE NURSERY IN RELATION TO FINISHED GRADE. JACKETS SHALL BE BLACK TOPSOIL, PROPERLY FERTILIZED WITH ORGANIC FERTILIZER AND SHALL BE THOROUGHLY WATERED WHEN THE HOLE IS TWO-THIRDS FULL OF TOPSOIL. ALL SPURS SHALL BE REMOVED FROM THE SITE.
- AFTER WATERING, THE FILLS SHALL BE COMPLETED AND THE SOIL THOROUGHLY TAMPED. AFTER PLANTING, A FOUR INCH HARDWOOD BARK MULCH OR AN APPROVED EQUAL SHALL BE APPLIED OVER THE BERTHED GROUND AND A SHALLOW WATERING BASIN PROVIDED AROUND THE TREE.
- ALL ORIGINS OF TREES IN THE NURSERY AND ALL PLANTING SHALL BE DONE DURING THE PROPER SEASON.
- ALL TREES SHALL BE MAINTAINED UNTIL ESTABLISHED. ALL TREES NOT IN A VIGOROUS GROWING CONDITION AFTER ONE GROWING SEASON SHALL BE REPLACED AT THE BEGINNING OF THE NEXT SUCCEEDING PLANTING SEASON.
- TREE PITS SHALL BE AT LEAST EIGHTEEN INCHES WIDER THAN THE DIAMETER OF THE BALL, HAVE VERTICAL SIDES AND A DEPTH OF AT LEAST TWENTY-FOUR INCHES BELOW FINISHED GRADE.
- ALL TREES SHALL BE WRAPPED WITHIN TWENTY TWO HOURS AFTER PLANTING. TRUNKS OF THE TREES SHALL BE WRAPPED SPIRALLY FROM TOP TO BOTTOM WITH WATERPROOF CREEP PAPER AND SHALL BE SECURELY TIED WITH HEAVY CORD AT TOP AND BOTTOM AND AT REGULAR INTERVALS ALONG THE TRUNK. THE WRAP SHALL COVER THE TRUNK FROM THE GROUND TO THE FIRST BRANCH AND SHALL BE NEAT AND SNUG.



**TREE PLANTING DETAIL**  
N.T.S.



**PERENNIAL PLANTING DETAIL**  
N.T.S.

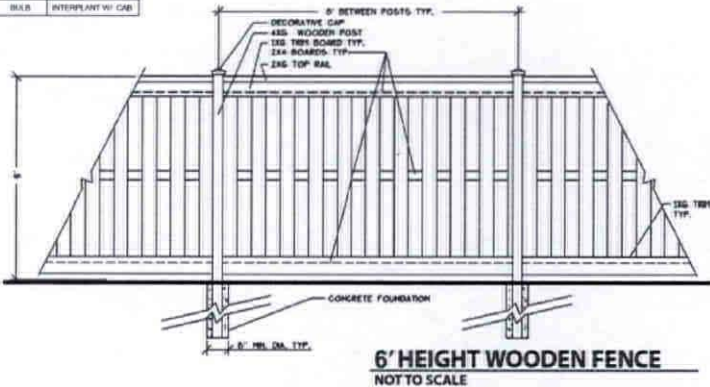
LANDSCAPE PLANTINGS					
QUANTITY	CODE	SCIENTIFIC NAME	COMMON NAME	TYPE	SIZE
<b>SHADE TREES</b>					
5.0	AF	ACER FREEMANII 'JEFFERSON'	ALTAMA SHADE MAPLE	8.5 B	2.5" CALIPER
10.0	AM	ACER MAYBEE MORTON	STATE STREET MAPLE	8.5 B	2.5" CALIPER
5.0	AH	AESCULUS HYPOCASTANUM	HORSE CHESTNUT	8.5 B	2.5" CALIPER
5.0	CS	CATALPA SPECIOSA	CATALPA TREE	8.5 B	2.5" CALIPER
15.0	GD	CELTIS OCCIDENTALIS	HACKBERRY	8.5 B	2.5" CALIPER
15.0	GR	GINKGO BILOBA 'PRINCETON SENTINEL'	MADONNAH TREE	8.5 B	2.5" CALIPER
15.0	GT	GLEDITSIA TRACANTHOS SKYLINE	HONEYLOCUST	8.5 B	2.5" CALIPER
15.0	QJ	GYMNOCADUS DIOCUS 'ESPRESSO'	KENTUCKY COFFEE TREE	8.5 B	2.5" CALIPER
5.0	LS	LIQUIDAMBAR STRYACIFLUA	AMERICAN SWEEGWOOD	8.5 B	2.5" CALIPER
5.0	LT	LIRIODENDRON TULIFRERA	TULIP TREE	8.5 B	2.5" CALIPER
5.0	PA	PLATANUS X ACERIFOLIA MORTON EUCLYD	EVATION PLANE TREE	8.5 B	2.5" CALIPER
10.0	QR	QUERCUS BICOLOR	SWAMP WHITE OAK	8.5 B	2.5" CALIPER
10.0	QI	QUERCUS BRICORANA	SINGLE OAK	8.5 B	2.5" CALIPER
15.0	MI	MILVUS MORTON	ACOLADEE ELM	8.5 B	2.5" CALIPER
5.0	ZS	ZELKOVA BERRATA	JAPANESE ZELKOVA	8.5 B	2.5" CALIPER
<b>ORNAMENTAL TREES</b>					
5.0	AG	AMELANCHIER X GRANDIFLORA AUTUMN BRILLIANCE	APPLE SERVICEBERRY	8.5 B	8' HEIGHT
3.0	CC	CERISE CANADENSE	EASTERN REDBUD	8.5 B	8' HEIGHT
4.0	CV	CRATAEGUS VIRENS 'WINTER KING'	GREEN HAWTHORN	8.5 B	8' HEIGHT
10.0	MA	MALUS ACRONACHIA	ACRONACHIA CRABAPPLE	8.5 B	8' HEIGHT
5.0	MP	MALUS PYRAE FINE	CRABAPPLE	8.5 B	8' HEIGHT
<b>EVERGREEN TREES</b>					
12.0	PD	PICEA GLAUCO DENSATA	BLACK HILLS SPRUCE	8.5 B	8' HEIGHT
3.0	PF	PICEA PUMILANS	DOLDRADO DENSE SPRUCE	8.5 B	8' HEIGHT
3.0	PN	PINUS NIGRA	AUSTRIAN PINE	8.5 B	8' HEIGHT
3.0	PS	PINUS STROBUS	EASTERN WHITE PINE	8.5 B	8' HEIGHT
<b>285.0 TOTAL TREE PLANTING</b>					
<b>SHRUBS</b>					
5.0	CB	CORNUS SERICEA INVANSIT	REDOSMER OGDONWOOD	CONTAINER	24" HEIGHT
1.0	CP	COTINUS COGONIGRA 'ROYAL PURPLE'	PURPLE SMOKEBUSH	CONTAINER	36" HEIGHT
20.0	FHM	FORESYTHIA X INTERMEDIA 'NEW HAMPSHIRE GOLD'	NEW HAMPSHIRE GOLD FORSYTHIA	CONTAINER	24" HEIGHT
21.0	JN	JUNIPERUS X PRYTHIANA 'SEA GREEN'	SEA GREEN JUNIPER	CONTAINER	24" HEIGHT
5.0	PD	PHYSCALIPUS OPLIFOLIUS 'DABLE'	PURPLELEAF NINEBARK	CONTAINER	24" HEIGHT
80.0	RA	RHUS AROMATICA 'DRO-LAW'	DRAGON SHRUB	CONTAINER	12" HEIGHT - 36" O.C.
15.0	SB	SIBIRIA X CINEREA 'GREENHEM'	FRESH SHOWN SPRUCE	CONTAINER	24" HEIGHT
3.0	VM	VIBURNUM DENTATUM BLUE MUFFIN	BLUE MUFFIN VIBURNUM	CONTAINER	36" HEIGHT
<b>150.0 TOTAL SHRUB PLANTING</b>					
<b>PERENNIALS</b>					
40.0	GA	GALEANDRIS ARUNDINACEA VAR BRACHYTRICHA	KOREAN FEATHER REED GRASS	CONTAINER	3 GALLON - 36" O.C.
14.0	DN	DIAN AMNTHA 'NEPETA' SPP. 'NEPETA'	LESSER DIANAMNTHA	CONTAINER	1 GALLON - 24" O.C.
14.0	MT	HEMEROCALLIS 'MARY TODD'	MARY TODD	CONTAINER	1 GALLON - 24" O.C.
14.0	HR	HEMEROCALLIS 'ROSEY RETURN'	ROSEY RETURN	CONTAINER	1 GALLON - 18" O.C.
14.0	NE	NEPETA 'RACEMOSA' EARLY BIRD'	EARLY BIRD CATMINT	CONTAINER	1 GALLON - 18" O.C.
22.0	PN	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	CONTAINER	3 GALLON - 36" O.C.
40.0	PL	PEROVSKIA ATROPURPUREA	RUSSIAN BASS	CONTAINER	3 GALLON - 36" O.C.
10.0	SH	SPONSOBOLIS HETEROLEPIS	PRARIE DROPSEED	CONTAINER	1 GALLON - 24" O.C.
14.0	SN	SALVIA NEROLEPIS 'MAY NIGHT'	MAY NIGHT SALVIA	CONTAINER	1 GALLON - 18" O.C.
<b>110.0 TOTAL PERENNIAL PLANTING</b>					
<b>BULBS</b>					
480	WA	NAIPALIS 'WIND ALFRED'	WIND ALFRED DAFFODIL	8.5 B	INTERPLANT W/ CAR

**SHRUB PLANTING DETAIL**  
N.T.S.

TURF GRASS SEEDING	
RATE (LBS/ACRE)	COMMON NAME
80.0	PARK KENTUCKY BLUEGRASS
80.0	DAWSON CREEPING RED FESCUE
80.0	TULIP PUCCELLUNA DISTANS
20.0	PERENNIAL PERENNIAL RYEGRASS
320.0	TOTAL RATE PER ACRE (LBS)

CITY OF ST. CHARLES - LANDSCAPE ORDINANCE CALCULATIONS	
DESCRIPTION	REQUIREMENT
TOTAL PUBLIC SITE AREA	481,903.4 SQFT
TOTAL IMPERVIOUS AREA	164,017.6 SQFT
PERCENTAGE OF IMPERVIOUS AREA	34.2%
TOTAL LANDSCAPE AREA	318,885.9 SQFT
PERCENTAGE OF LANDSCAPE AREA	65.8%
PARKWAY LANDSCAPE AREA	18,789.8 SQFT

LOW-PROFILE SHOWY PRAIRIE SEEDING		
RATE (LBS/ACRE)	SCIENTIFIC NAME	COMMON NAME
1.000	ADRYOPHYSA TRICHOCALUM	SLENDER WHEAT GRASS
3.000	ANDROPOGON SCOPARIUS	LITTLE BLUE STEM
1.000	BOUTELOA CURTRENDOIA	SEED DATIS GRAMA
1.000	ELYNIA CANADENSIS	CANADA WED RYE
1.000	ELYNIA VIRGINICA	VIRGINIA WED RYE
0.125	JUNCUS TENAX	SLENDER PATH RUSH
0.125	ABOLYSIA TUBEROSA	BUTTERFLY WHEED
0.125	ASTER LAEVIS	SMOOTH BLUE ASTER
0.250	ASTER NOVINE-ANGULI	NEW ENGLAND ASTER
0.250	CASSIA FASCICULATA	PARTRIDGE PEA
1.000	COREOPSIS LANCEOLATA	SAND CONEFLOWER
0.625	DESMANTHUS KLUNDENSE	ILLINOIS BUNGLE FLOWER
0.625	ECHINACEA PURPUREA	PURPLE CONEFLOWER
0.250	HELIOPSIS HELIOPSIS	DAWEY SUNFLOWER
0.250	LATRIS ASPERA	BUTTON BLAZING STAR
0.125	LATRIS SPICATA	SPRED GAUFEATHER
0.250	LUPINUS PERENNIS OCCIDENTALIS	LUPINE
0.063	MONARDA FISTULOSA	WILD BERGAMOT
0.188	PERSTEMON DIGITALIS	FOXGLOVE BARDTOUNGE
0.500	PETALOSTEMUM PURPUREUM	PURPLE PRARIE CLOVER
0.063	PHYCANANTHEM VIRGINICUM	COMMON MOUNTAIN MINT
0.625	RATIBIDA PINNATA	YELLOW CONEFLOWER
0.750	RUDIBEDIA HYPERA	BLACKEYED SUSAN
0.125	SOLIDAGO RIGIDA	STIFF GOLDENROD
0.683	TRACHEANTHA OHENSIS	ORIO SPREWERD
0.125	VERBENA STRICTA	HOARY VERVAIN
13.500	TOTAL RATE PER ACRE (LBS)	* INOCULANT REQUIRED



**CORPORATE RESERVE SUBDIVISION OF LOT B LANDSCAPING PLAN**

TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

SCALE: \_\_\_\_\_

PROJECT NO. 140206  
DATE: 04-08-2019  
DRAWING NO. 210P-36 SHEET

**WILLS BURKE KESEY ASSOCIATES LTD.**  
1145 North W. Street, Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755

**WIK**

PROJECT NO. 140206  
DATE: 04-08-2019  
DRAWING NO. 210P-36 SHEET

**LP3**



**STORM WATER POLLUTION PREVENTION PLAN (SWPPP): CORPORATE RESERVE**

THIS STORMWATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE NPDES PERMIT NUMBER ALSO ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES. THE PLAN CONSISTS OF THE SWPPP NARRATIVE AND NOTES, THE SWPPP PLANS/SETS, INCLUDING ON AND OFF-SITE CONTROLS, AND THE SWPPP DETAILS. THIS PLAN IS ONLY COMPLETE WHEN THE COMPONENT PARTS ARE INCLUDED.

**1. SITE DESCRIPTION:**

- A. THE WORK UNDER THIS CONTRACT WILL BE COMPLETED ON PROPERTY OWNED BY CORPORATE RESERVE TO DEVELOP THE SUBDIVISION OF LOT 8.
- B. THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF THE MAJOR ACTIVITIES WHICH WILL DISTURB SOIL FOR MAJOR PORTIONS OF THE CONSTRUCTION SITE, SUCH AS EXCAVATION AND GRADING SEQUENCE OF THE CONSTRUCTION ACTIVITIES MAY BE AS FOLLOWS:
  - a. INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
  - b. CLEAR AND GRUB SITE
  - c. MASS GRADE
  - d. INSTALL UTILITIES
  - e. INSTALL IMPERVIOUS SURFACES
  - f. STABILIZE SITE
- C. THE TOTAL AREA OF THE CONSTRUCTION SITE IS ESTIMATED TO BE 20 ACRES, THE TOTAL AREA OF THE SITE THAT IS ESTIMATED TO BE DISTURBED BY EXCAVATION, GRADING OR OTHER ACTIVITIES IS 20 ACRES.
- D. THE ESTIMATED RUNOFF COEFFICIENT FOR THE PROPOSED PROJECT IS 0.33 FOR 4 ACRE LOTS AND 0.38 FOR THE PROPOSED ROADWAY. INFORMATION CONCERNING THE SIZES AT THE SITE IS CONTAINED IN THE SOILS REPORT FOR THE PROJECT, WHICH IS HEREBY INCORPORATED BY REFERENCE.
- E. THE SITE DRAINS TO EXISTING DETENTION BASINS WHICH ARE DIRECTLY TRIBUTARY TO THE FURNACE.

**2. CONTROLS:**

THIS SECTION OF THE PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED IN 1.B ABOVE. FOR EACH MEASURE DISCUSSED, THE CONTRACTOR WILL BE RESPONSIBLE FOR ITS IMPLEMENTATION AS INDICATED. EACH CONTRACTOR HAS SIGNED THE REQUIRED CERTIFICATION ON FORMS WHICH ARE ATTACHED TO AND ARE A PART OF THIS PLAN.

THE SOIL EROSION AND SEDIMENT CONTROL PLAN DRAWINGS DEFINE THE SIZE AND LOCATION OF THE MEASURES TO BE INSTALLED DURING THE CONSTRUCTION OF THIS PROJECT.

**A. SOIL EROSION AND SEDIMENT CONTROL:**

- a. STABILIZATION PRACTICES: PROVIDED BELOW IS A DESCRIPTION OF THE TEMPORARY AND PERMANENT STABILIZATION PRACTICES INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS WILL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND DISTURBED PORTIONS OF THE SITE WILL BE STABILIZED. EXCEPT AS PROVIDED IN 2.A.1 AND 2.B, STABILIZATION MEASURES SHALL BE INITIATED ON A DAILY BASIS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED, OR ON ALL DISTURBED PORTIONS OF THE SITE AFTER CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF 14 OR MORE CALENDAR DAYS.

WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7 DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE THEREAFTER.

- DESCRIPTION OF STABILIZATION PRACTICES:
  - DUST CONTROL WILL BE ACCOMPLISHED USING WATERING TRUCKS AS DIRECTED BY THE ENGINEER.
  - EROSION CONTROL BLANKET (TEMPORARY) EROSION CONTROL BLANKET HEAVY DUTY (TEMPORARY) AND ROLLED EXCELLOID LOGS WILL BE USED TO STABILIZE THE CONSTRUCTION AREAS WHERE THE FINAL GRADE HAS BEEN REACHED BUT CANNOT BE PERMANENTLY STABILIZED DUE TO THE PLANTING SEASON RESTRICTIONS.
  - SHEET FLOWS EXITING THE SITE WILL ENCOUNTER PERIMETER EROSION BARRIERS.
  - STABILIZED CONSTRUCTION ENTRANCES WILL BE CONSTRUCTED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ENTERS OR EXISTS THE SITE.
  - STOCKPILES THAT ARE TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL HAVE SOIL EROSION AND SEDIMENT CONTROL PROVIDED, AT A MINIMUM, PERIMETER EROSION BARRIERS WILL BE PLACED AROUND THE BOTTOM OF THE STOCKPILE.
  - STOCKPILES TO REMAIN IN PLACE LONGER THAN 14 DAYS ARE TO BE TEMPORARILY SEEDED.

**b. STRUCTURAL PRACTICES:**

PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED TO THE DEGREE ATTAINABLE TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

- INSTALLATION OF TEMPORARY SOIL STABILIZATION - EROSION CONTROL BLANKET (TEMPORARY), EROSION CONTROL BLANKET HEAVY DUTY (TEMPORARY) AND ROLLED EXCELLOID LOGS
- DITCH CHECKS
- MAINTENANCE OF VEGETATION AND PLANTINGS
- ROCK LINED CHANNELS

**B. STORM WATER MANAGEMENT**

PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL THE POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER THE CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

- a. THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF TECHNICAL GUIDANCE CONTAINED IN THE REPAIR ILLINOIS URBAN MANUAL AND OTHER CHANGES LISTED IN THE SPECIFICATIONS. THE STORM WATER POLLUTANT CONTROL MEASURES SHALL INCLUDE:
  - BILT FENCE
  - INLET PROTECTION
  - STABILIZED CONSTRUCTION ENTRANCE
- b. VELOCITY DISPERSION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG

THE LENGTH OF ANY OUTFALL CHANNEL, AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED. (I.E., MAINTENANCE OF HYDROLOGIC CONDITIONS, SUCH AS THE HYDROPERIOD AND HYDROGRAPHS PRESENT PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES, STORM WATER MANAGEMENT CONTROL INCLUDES:

- DITCH CHECKS
- LINED APRON
- INLET PROTECTION
- SEDIMENT BARRIERS

**C. OTHER CONTROLS:**

- a. NON-HAZARDOUS WASTE DISPOSAL: THE SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS WILL BE COLLECTED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO ACQUIRE ANY PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON-SITE WILL NOT BE PERMITTED. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED INTO WATERS OF THE U.S., EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- b. HAZARDOUS WASTE DISPOSAL: SHALL CONFORM TO THE DOT SPECIAL PROVISION.
- c. SANITARY WASTE DISPOSAL: THE PROVISIONS OF THIS PLAN SHALL ENSURE AND DEMONSTRATE COMPLIANCE WITH THE APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS. THE CONTRACTOR SHALL NOT CREATE OR ALLOW UNSANITARY CONDITIONS. SEWAGE AUTHORIZATION IS REQUIRED FOR INSTALLATION OF SANITARY SEWER OR SEPTIC SYSTEMS.
- d. OFF-SITE VEHICLE TRACKING: EACH SITE SHALL HAVE ONE OR MORE STABILIZED CONSTRUCTION ENTRANCES IN CONFORMANCE WITH THE PLAN DETAILS. WHERE THE CONSTRUCTION EQUIPMENT IS OPERATED ON ANY PORTION OF THE TRAVELED SURFACE OR STRUCTURES USUALLY BY TRAFFIC OR BY ADJACENT TO THE PROJECT, THE CONTRACTOR SHALL CLEAN (WOT FLOWING) OF THE TRAVELED SURFACE OF ALL DIRT AND DEBRIS AT THE END OF EACH DAY'S OPERATIONS OR MORE FREQUENTLY IF DIRECTED BY THE ENGINEER.
- e. DEWATERING DEVICES: IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM SOIL EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH A SUMP PIT INTO A SETTLEMENT BASIN. ALL SUMPED DISCHARGES TO WATERS OF THE U.S. SHALL BE PERMITTED BY THE USACE PRIOR TO INSTALLATION.
- f. SITE CLEANUP: TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM THE OPERATION OF TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER SOIL EROSION AND SEDIMENTATION.

**D. APPROVED COUNTY/STATE OF LOCAL PLANS:**

THE MANAGEMENT PRACTICES, CONTROLS, AND OTHER PROVISIONS CONTAINED IN THIS PLAN ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE CURRENT VERSION OF ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S (IEPA) URBAN MANUAL, STANDARDS AND SPECIFICATIONS. PROCEDURES AND REQUIREMENTS SPECIFIED IN APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PLANS OR STORM WATER MANAGEMENT PLANS APPROVED BY LOCAL OFFICIALS SHALL BE DESCRIBED OR INCORPORATED BY REFERENCE BELOW. REQUIREMENTS SPECIFIED IN SOIL EROSION AND SEDIMENT CONTROL PLANS, SITE PERMITS, STORM WATER MANAGEMENT SITE PLANS, OR SITE FORMS APPROVED BY COUNTY, STATE, OR LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF A NOTICE OF INTENT (NOI), INCORPORATED AND ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

THE SOIL EROSION AND SEDIMENT CONTROL FOR THIS SITE MUST MEET THE REQUIREMENTS OF THE FOLLOWING AGENCIES:

CITY OF ST. CHARLES

**1. MAINTENANCE:**

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES THAT WILL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, SOIL EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND STANDARD SPECIFICATIONS. THE CONTRACTOR WILL ASSIGN A SOIL EROSION AND SEDIMENT CONTROL MANAGER (SECM) TO THE PROJECT. HIS DUTY WILL BE TO SUPERVISE THE MAINTENANCE OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AND IMPLEMENTATION OF THIS PLAN.

**THE FOLLOWING SHALL BE THE MINIMUM MAINTENANCE REQUIRED:**

- A. VEGETATIVE SOIL EROSION MEASURES - i.e. THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, VEGETATIVE FILTERS, ETC., SHALL BE MAINTAINED PERIODICALLY AND SUPPLIED ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEED AS NECESSARY.
- B. PERIMETER EROSION BARRIER AND ROLLED EXCELLOID LOGS WILL BE EXAMINED REGULARLY AND REPAIRED AS NECESSARY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES A HEIGHT EQUAL TO 50% OF THE HEIGHT OF THE BARRIER.
- C. STABILIZED ACCESS ROAD AND STABILIZED CONSTRUCTION ENTRANCES SHALL HAVE SEDIMENT BUILT UP/REMOVED AS NECESSARY TO PREVENT TRACKING OF SEDIMENT OFF-SITE.

**4. INSPECTIONS:**

THE ENGINEER WILL BE RESPONSIBLE FOR CONDUCTING SOIL EROSION AND SEDIMENT CONTROL INSPECTIONS. THE CONTRACTOR'S SECM SHALL BE NOTIFIED WHEN THE INSPECTIONS ARE TO TAKE PLACE AND IS EXPECTED TO BE PRESENT DURING THE INSPECTIONS. A MAINTENANCE INSPECTION REPORT WILL BE COMPLETED AFTER EACH INSPECTION. A COPY OF THE REPORT IS TO BE COMPLETED BY THE INSPECTOR AND STORED ON-SITE WITH A COPY GIVEN TO THE CONTRACTOR.

THE INSPECTION SHALL INCLUDE ALL DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT BEEN FINALLY STABILIZED. THE STRUCTURAL CONTROL MEASURES LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AND ALL MAJOR DITCHES. SUCH INSPECTION SHALL BE CONDUCTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN STORM (OR EQUIVALENT SNOWFALL THAT IS 0.5 INCHES OR GREATER). DEPTH OF RAIN FALL WILL BE DETERMINED BY AN ON-SITE RAIN GAUGE. THE ENGINEER SHALL READ THE RAIN GAUGE DAILY AND AFTER EACH RAIN STORM.

- a. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO

PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND WATERWAYS. SOIL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THIS PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. IF REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF THE COMPLETION OF THE INSPECTION REPORT. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER THE MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE TRACKING.

IN ADDITION TO THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE, THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTION SHALL BE IMPLEMENTED WITHIN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION.

C. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAMES AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATES OF THE INSPECTIONS, MAJOR OBSERVATIONS RELATIVE TO THE IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN, AND ACTION TAKEN IN ACCORDANCE WITH SECTION 4.B SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE YEARS AFTER THE DATE OF INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART 16.0 OF THE GENERAL PERMIT.

D. IF ANY VIOLATIONS OF THE PROVISIONS OF THIS PLAN ARE IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE ENGINEER SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE" (ION) REPORT FOR THE IDENTIFIED VIOLATION. THE ENGINEER SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ABOUT THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. THE IEPA MUST BE NOTIFIED BY PHONE, FAX, OR EMAIL WITHIN 24 HOURS OF THE DISCOVERY OF THE NONCOMPLIANCE ACTION. THE ION REPORT MUST BE SUBMITTED TO THE IEPA WITHIN 10 DAYS OF THE DISCOVERY OF THE NONCOMPLIANCE. IT SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART 16.0 OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING ADDRESS:

ILLINOIS ENVIRONMENTAL PROTECTION AGENCY  
DIVISION OF WATER POLLUTION CONTROL  
COMPLIANCE ASSURANCE SECTION  
1621 NORTH GRAND EAST  
P.O. BOX 19376  
SPRINGFIELD, IL 62719-9376  
www.epaonline.org/illinois.gov

**5. NON-STORM WATER DISCHARGES:**

EXCEPT FOR THE FLOWS FROM FIRE FIGHTING ACTIVITIES, SOURCES OF NON-STORM WATER THAT MAY BE COMING WITHIN STORM WATER DRAINAGES ARE TREATED BY THE MEASURES INCLUDED IN THESE PLANS. THESE SOURCES INCLUDE THE FOLLOWING:

- WATER USED TO WASH VEHICLES
- WATER USED TO CONTROL DUST
- PAVEMENT WASH WATER WHICH SPILLS ON LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED)
- IRRIGATION DITCHES
- UNCONTAMINATED GROUND WATER
- FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROTECTIVE MATERIALS SUCH AS SOLVENTS

**6. INVENTORY FOR POLLUTION PREVENTION PLAN:**

THE MATERIALS ON SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ON SITE DURING CONSTRUCTION. TABLE TO BE FILLED BY CONTRACTOR.

NAME	QUANTITY	LOCATION

**7. SPILL PREVENTION - MATERIAL MANAGEMENT PRACTICES:**

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

- GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
  - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
  - ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
  - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
  - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
  - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.
  - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
  - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

**HAZARDOUS PRODUCTS:**

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT REUSABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED.
- IF SURPLUS PRODUCT WILL BE DISPOSED OF, MANUFACTURERS OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

**SPILL CONTROL PRACTICES:**

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- MANUFACTURER'S RECOMMENDED METHOD FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL SPECIFICALLY, BUT NOT BE LIMITED TO, SHODS, GUT PANS, MOPS, BAKES, GLOVES, GOGGLES, KITTY LITTER, SAND, SAND/ST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFIC FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS SUBSTANCES.

**EROSION AND SEDIMENT CONTROL NOTES**

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, CURRENT VERSION.
2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
3. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN PROTECTED ON THESE PLANS INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE EROSION OR WASTE AREAS, A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE ENGINEER.
5. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR BILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS STRICTLY PROHIBITED.
6. IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUB-CONTRACTORS WHO MAY PERFORM WORK ON THIS PROJECT OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
7. NO WORK SHALL BE PERFORMED IN FLOWING WATER, WORK IN AND NEAR CRITICAL AREAS SHOULD BE ISOLATED FROM CONCENTRATED FLOWS OR STREAM FLOWS.
8. THE COMPLETED SLOPES SHALL BE SEEDED AND MULCHED, OR BLANKETTED IF APPLICABLE AS THE EXCAVATION PROCEEDS TO THE EXTENT CONSIDERED DESIRABLE AND PRACTICAL. PERMANENT SEEDING SHALL BE USED WHENEVER POSSIBLE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROLONG FINAL GRADING AND SHAPING SO THAT THE ENTIRE PROJECT CAN BE PERMANENTLY SITED AT ONE TIME.
9. ALL DISTURBED AREAS SHALL BE COVERED IN AN ACCEPTABLE OR APPROVED TYPE OF PERMANENT SEEDING UNLESS OTHERWISE INDICATED.
10. WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN SEVEN (7) DAYS OF COMPLETION, WHERE WORK HAS TEMPORARILY CEASED FOR FOURTEEN (14) DAYS OR MORE, PERMANENT STABILIZATION SHALL OCCUR BY THE 7TH DAY AFTER WORK HAS CEASED.
11. ALL ADJACENT STREETS AND PARKING LOTS MUST BE KEPT CLEAR OF DEBRIS, INSPECTED DAILY, AND CLEANED WHEN NECESSARY.

<b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b>	
<b>STORMWATER POLLUTION PREVENTION PLAN</b>	
DATE: 10-28-2013 DRAWING NO: 200P-30	SCALE: 1" = 100' BY: J. BURKE CHECKED: J. BURKE DATE: 10-28-2013
<b>CLIENT:</b> WILLS BURKE KESEY ASSOCIATES LTD. 118 West Main Street, Suite 201 St. Charles, Illinois 60174 (800) 443-7755	
<b>PROJECT NO. 14296</b> DATE: 10-28-2013 DRAWING NO: 200P-30 SHEET:	
<b>SW1</b>	



CONTROL MEASURE GROUP	CONTROL MEASURE	APPL.	KEY	CONTROL MEASURE CHARACTERISTICS	TEMP.	PERM.
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	X	TS	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.	X	
	PERMANENT SEEDING	X	PS	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.		X
	DORMANT SEEDING	X	DS	SAME AS PERMANENT SEEDING EXCEPT IS DONE DURING DORMANT SEASON. HIGHER RATES OF SEED APPLICATION ARE REQUIRED.	X	X
	SODDING	X	SD	QUICK PERMANENT COVER TO CONTROL EROSION. COURSE WAY TO ESTABLISH VEGETATION FILTER STRIP. CAN BE USED ON STEEP SLOPES OR IN DRAINAGEWAYS WHERE SEEDING MAY BE DIFFICULT.		X
	PLANTS, TREES, & SHRUBS	X	GC	PROVIDES GROUND COVER, SHRUBS AND TREES IN ACCORD TO PERMANENT VEGETATION. MAY BE USED AS PART OF A FINAL LANDSCAPE PLAN ALONG WITH SHRUBS AND TREES.		X
NON VEGETATIVE SOIL COVER	MULCHING	X	M	PROTECTS AND PRESERVES MOISTURE FOR PERMANENT SEEDING. PROVIDES UNWANTED VEGETATION AND PRESERVERS MOISTURE. PROVIDES COVER WHERE VEGETATION CANNOT BE ESTABLISHED.	X	
	EROSION CONTROL BLANKET	X	EB	PROTECTS AND PRESERVES MOISTURE FOR PERMANENT SEEDING ON STEEP SLOPES, AREAS OF PERIODIC CONCENTRATED RUNOFF (DITCHES) OR IN AREAS THAT MAY BE DAMAGED BY RECREATION TRAFFIC.	X	
	AGGREGATE COVER	X	AD	PROVIDES SOIL COVER ON SIGNS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.	X	X
DIVERSIONS	PAVING	X	P	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.	X	X
	ROCK DIVERSION		RD	TYPICALLY USED ABOVE SLOPES. USED WHERE AN EXCESS OF SOIL IS AVAILABLE.		
	CHANNEL DIVERSION		CD	TYPICALLY USED AT TOP OR BASE OF SLOPES. USED WHEN EXCESS SOIL IS NOT AVAILABLE.		
	COMBINATION DIVERSION		DC	TYPICALLY USED ANYWHERE ON A SLOPE. SOIL TAKEN OUT OF CHANNEL IS USED TO BUILD THE RIDGE.		
	CURB AND GUTTER	X	CG	SPECIAL CASE OF DIVERSION USED IN CONJUNCTION WITH A STREET TO DIVERT WATER FROM AN ADJACENT PROTECTION.	X	X
WATERWAYS	BENCHES		B	SPECIAL CASE OF DIVERSION CONSTRUCTED WHEN WORKING ON CUT SLOPES TO SHORTEN LENGTH OF SLOPE AND AID SLOPE STABILITY.		
	BARE CHANNEL		BC	PROVIDES MEANS OF CONVEYING RUNOFF TO DESIRED LOCATION. MAY BE USED TO DRAIN PROTECTION AREAS. ONLY APPLICABLE WHEN VELOCITY OF FLOW IS VERY LOW.		
	STRUCTURAL STREAMBANK STABILIZATION		SSS	PROTECTS STREAMBANKS FROM EROSION FORCE OF FLOWING WATER.		
	VEGETATIVE CHANNEL		VC	PROVIDES ADDED STABILITY TO CHANNEL. USED WHEN VELOCITY OF FLOW IS NOT EXTREMELY FAST.		
	VEGETATIVE STREAMBANK STABILIZATION		VS	PROTECTS STREAMBANKS FROM EROSION FORCE OF FLOWING WATER AND PROVIDES NATURAL LEADING APPEARANCE.		
	LINED CHANNEL	X	LC	USED WHEN VEGETATION WILL NOT PROTECT THE CHANNEL AGAINST HIGH VELOCITIES OF FLOW OR WHERE VEGETATION CANNOT BE ESTABLISHED.	X	X
	DITCH CHECKS		DC	USED IN DITCHES TO REDUCE THE VELOCITY OF WATER IN A DITCH TO MINIMIZE SOIL EROSION PRIOR TO THE DITCH BEING VEGETATED.		
ENCLOSED DRAINAGE	STORM SEWER	X	ST	CAN BE USED TO CONVEY SEDIMENT Laden WATER TO SEDIMENT BASIN OR IN CONJUNCTION WITH A WATERWAY.	X	X
	UNDERDRAIN		UD	USED TO LOWER WATER TABLE AND INTERCEPT GROUNDWATER FOR BETTER VEGETATION GROWTH AND SOIL STABILITY. USED TO CARRY BASE FLOW IN WATERWAYS AND TO DEWATER SEDIMENT BASINS.		
SPILLWAYS	STRAIGHT PIPE SPILLWAY		SP	USED FOR RELATIVELY SMALL VERTICAL DROPS AND SMALL FLOWS OF WATER.		
	DROP INLET SPILLWAY		DS	SAME AS PIPE SPILLWAY EXCEPT LARGER FLOWS AND LARGE VERTICAL DROPS CAN BE ACCOMMODATED.		
	WEIR SPILLWAY		W	USED FOR RELATIVELY SMALL VERTICAL DROPS AND FLOWS MUCH GREATER THAN PIPE STRUCTURES.		
OUTLETS	BOX INLET WEIR SPILLWAY		BS	SAME AS WEIR SPILLWAY EXCEPT LARGER FLOWS CAN BE ACCOMMODATED BECAUSE OF LOWER WEIR LENGTH.		
	LINED APRON	X	LA	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURES.	X	X
	EMBANKMENT SEDIMENT BASIN		ES	USED WHERE TOPOGRAPHY LENDS ITSELF TO CONSTRUCTING A DAM AND EARTH FILL IS AVAILABLE.		
	EXCAVATED SEDIMENT BASIN		XS	USED WHERE EMBANKMENT COULD CAUSE A HAZARD DOWNSTREAM IN CASE OF FAILURE AND WHEN EXCESS EARTH FILL IS NOT AVAILABLE.		
SEDIMENT BASINS	COMBINATION SEDIMENT BASIN		CS	USED WHEN TOPOGRAPHY IS SUITABLE BUT ADDITIONAL CAPACITY IS NEEDED.		
	BARRIER FILTER	X	BF	USED TO FILTER SEDIMENT FROM RUNOFF.	X	
	VEGETATIVE FILTER		VF	USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF. SIZE MUST BE INCREASED IN PROPORTION TO DRAINAGE AREA.		
SEGMENT FILTERS	FILTER FABRIC	X	FF	USED FOR ROADWAY CURB INLETS.	X	
	SILT FENCE	X	SF	USED ALONG DRAINAGEWAYS OR PROPERTY LINES TO FILTER SEDIMENT FROM RUNOFF.	X	
	STABILIZED CONVEYANCE	X	SC	PREVENTS MUD FROM BEING PICKED UP AND CARRIED OFF-SITE.	X	
MUD AND DUST CONTROL	DUST AND TRAFFIC CONTROL	X	DT	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.	X	

**CONSTRUCTION STAGING**

**CORPORATE RESERVE**

**PRE-CONSTRUCTION**

INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WITHIN THE CONSTRUCTION AND STAGING AREA STABILIZE CONSTRUCTION ENTRANCE AND SALT FENCE.

**STAGE 1**

- GRADE BASKIN FOR SEDIMENT STORAGE
- MASS GRADE REMAINING SITE
- ADD DITCH CHECKS
- INSTALL STORM SEWER AND OTHER UTILITIES
- INSTALL LINED APRONS AND INLET PROTECTION

**STAGE 2**

- INITIATE STABILIZATION WHERE APPLICABLE
- PAVE AND INSTALL CURBS AND GUTTERS, SIDEWALKS, AND ALL OTHER IMPERVIOUS SURFACES

**STAGE 3**

- REMOVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WHICH ARE NO LONGER REQUIRED

**CONSTRUCTION STAGING NOTES:**

THE CONTRACTOR WILL NOT BE ALLOWED TO CLEAR MORE THAN ONE STAGE AT A TIME. SOIL STABILIZATION (TEMPORARY OR PERMANENT) MUST BE COMPLETED WITHIN 48 HOURS OF OPENING THE SOIL TO THE ELEMENTS. PERMANENT SOIL STABILIZATION WILL BE INSTALLED PRIOR TO STARTING THE NEXT STAGE OF CONSTRUCTION.

WINTER SHUT DOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPE AND OTHER BARE AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER TO PROVIDE PROPER SOIL EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN SOLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET, HEAVY MULCH, OR HYDRO MULD.

**CONTRACTOR CERTIFICATION**

**CONTRACTOR CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LIR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

**GENERAL CONTRACTOR**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**SUB-CONTRACTOR RESPONSIBLE FOR**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**WITNESSED BY OWNER**

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL GENERAL AND SPECIAL REQUIREMENTS, CONDITIONS, AND PROVISIONS ON ALL APPLICABLE LOCAL, STATE, AND FEDERAL PERMITS ISSUED FOR THIS PROJECT.

WILLS BURKE KELSEY ASSOCIATES, LTD. IS NOT RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN, INCLUDING MAINTENANCE AND/OR REPAIR OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, OR FOR COMPLIANCE OF THE CONTRACTORS (AND SUBCONTRACTORS) WITH THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

**INSPECTION AND MAINTENANCE TABLE**

ACTIVITY	RESPONSIBLE PARTY	DURATION
MAINTENANCE OF STABILIZATION DURING CONSTRUCTION		DURING CONSTRUCTION AS NEEDED
OBSERVATION OF STABILIZATION DURING CONSTRUCTION		WEEKLY AND WITH 24 HRS AFTER RAINFALL EVENT OF 0.5" OR GREATER
VEGETATION MAINTENANCE		1 YEAR FROM COMPLETION
VEGETATION AND STABILIZATION MAINTENANCE		ONGOING FROM PROJECT COMPLETION

**SOIL PROTECTION SCHEDULE**

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A									
DORMANT SEEDING											B	
TEMPORARY SEEDING			C			D						
SODDING			E**									
MULCHING	F											

- A. SEE LANDSCAPE PLAN
- B. SEE LANDSCAPE PLAN
- C. SPRING DATE: 100 LBS/ACRE
- D. WHEAT OR GENERAL RYE: 150 LBS/ACRE
- E. SOO
- F. STRAW MULCH: 2 TONS/ACRE

\* IRRIGATION NEEDED DURING JUNE AND JULY  
 \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOO.

**CORPORATE RESERVE SUBDIVISION OF LOT 8 STORMWATER POLLUTION PREVENTION PLAN**

DATE	SCALE	DATE	SCALE
DATE	SCALE	DATE	SCALE
DATE	SCALE	DATE	SCALE

**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER**

**WILLS BURKE KELSEY ASSOCIATES, LTD. 115 West Main Street, Suite 201 DENVER, COLORADO 80202 (303) 443-7755**



PROJECT NO. 140208  
 DATE: 10-08-2013  
 DRAWING NO. 23007 3/0

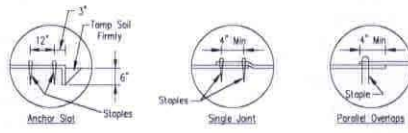
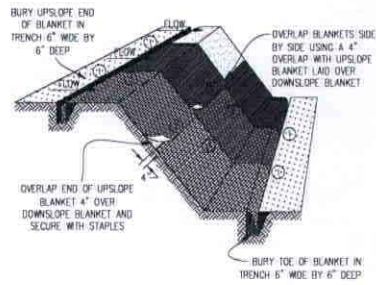
SHEET

**SW2**

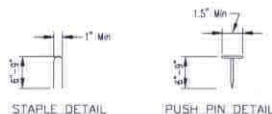








DETAIL 1                      DETAIL 2                      DETAIL 3

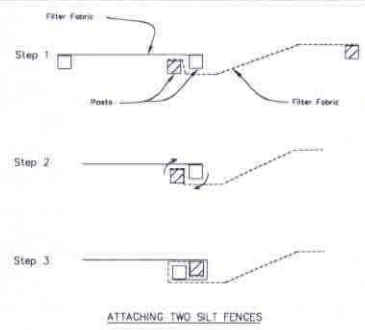


STAPLE DETAIL                      PUSH PIN DETAIL

- NOTES:
1. Staples shall be placed in a diamond pattern at 2 per s.y. for stitched blankets. Non-stitched shall use 4 staples per s.y. of material. This equates to 200 staples with stitched blanket and 400 staples with non-stitched blanket per 100 s.y. of material.
  2. Staple or push pin lengths shall be selected based on soil type and conditions (minimum staple length is 6").
  3. Erosion control material shall be placed in contact with the soil over a prepared seedbed.
  4. All anchor slots shall be stapled at approximately 12" intervals.

EROSION CONTROL BLANKET INSTALLATION DETAILS

SILT FENCE - SPLICING TWO FENCES

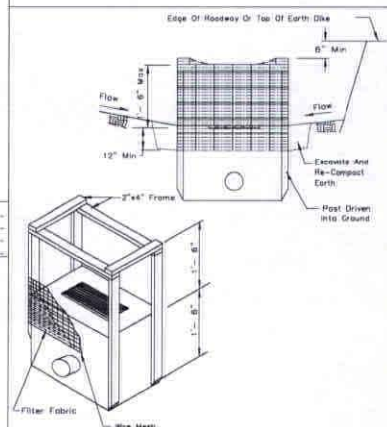


ATTACHING TWO SILT FENCES

1. Place the end post of the second fence inside the end post of the first fence.
2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
3. Cut the fabric near the bottom of the stakes to accommodate the 6" gap.
4. Drive both posts a minimum of 18 inches into the ground and bury the top.
5. Compact backfill (particularly at splices) completely to prevent stormwater pooling.

PROJECT	DATE	STANDARD DWG. NO.	PROJECT	DATE	STANDARD DWG. NO.
DESIGNED	DATE	ILM-620B(W)	DESIGNED	DATE	IL-610
CHECKED	DATE	SHEET 1 OF 1	CHECKED	DATE	SHEET 1 OF 1
APPROVED	DATE	DATE: 8-18-2011	APPROVED	DATE	DATE: 8-18-2011

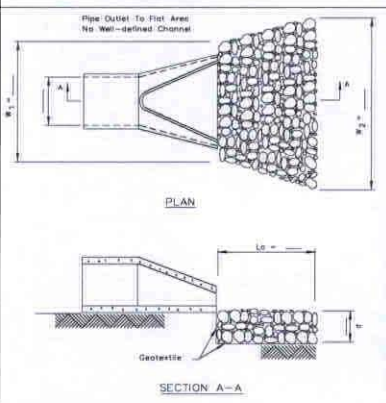
INLET PROTECTION - FABRIC DROP PLAN



- NOTES:
1. Filter fabric shall meet the requirement of material specification 592 GEOTEXTILE Table 1 or 2, Class 1, with an EOS of at least 30 for nonwoven and 50 for woven.
  2. The wire mesh shall have a maximum opening of at least 6 inches.
  3. Limit drainage area to the inlet protection to 1 acre.

PROJECT	DATE	STANDARD DWG. NO.	PROJECT	DATE	STANDARD DWG. NO.
DESIGNED	DATE	IL-560	DESIGNED	DATE	IL-620
CHECKED	DATE	SHEET 1 OF 1	CHECKED	DATE	SHEET 1 OF 1
APPROVED	DATE	DATE: 8-28-11	APPROVED	DATE	DATE: 11-28-11

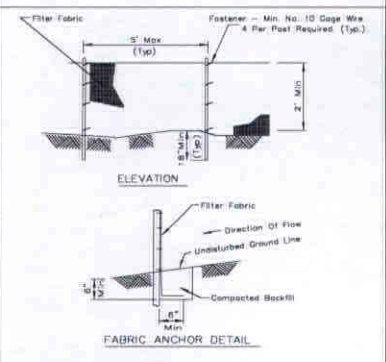
PIPE OUTLET TO FLAT AREA



- NOTES:
1. The filter fabric shall meet the requirements in material specifications 592 GEOTEXTILE Table 1 or 2, class 1 or 2, or 11 or 111.
  2. The rock riprap shall meet the DOT requirements for the following gradation: RR Quality.
  3. The riprap shall be placed according to construction specification 61 LODGE ROCK RIPPAP. The rock may be equipment placed.

PROJECT	DATE	STANDARD DWG. NO.	PROJECT	DATE	STANDARD DWG. NO.
DESIGNED	DATE	IL-610	DESIGNED	DATE	IL-610
CHECKED	DATE	SHEET 1 OF 1	CHECKED	DATE	SHEET 1 OF 1
APPROVED	DATE	DATE: 8-18-2011	APPROVED	DATE	DATE: 8-18-2011

SILT FENCE PLAN



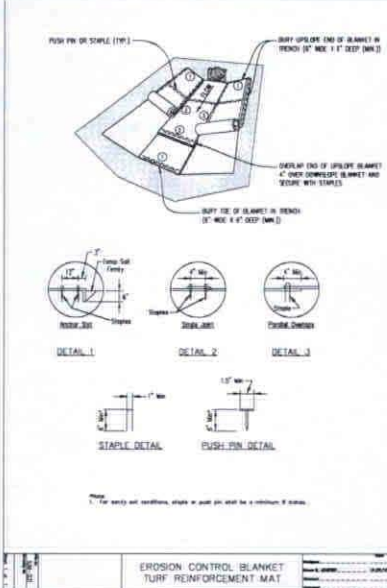
- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
  2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class 1 with equivalent opening size of at least 30 for nonwoven and 50 for woven.
  3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

PROJECT	DATE	STANDARD DWG. NO.	PROJECT	DATE	STANDARD DWG. NO.
DESIGNED	DATE	IL-620	DESIGNED	DATE	IL-620
CHECKED	DATE	SHEET 1 OF 1	CHECKED	DATE	SHEET 1 OF 1
APPROVED	DATE	DATE: 11-28-11	APPROVED	DATE	DATE: 11-28-11

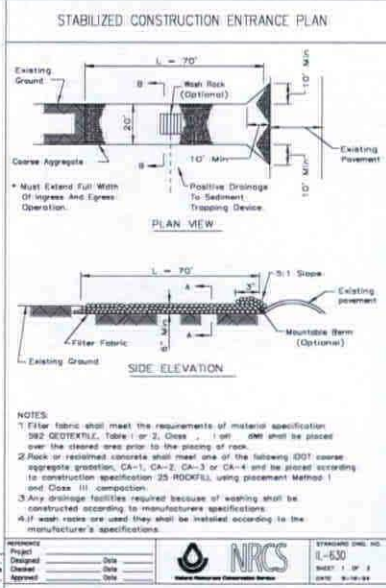
**CORPORATE RESERVE SUBDIVISION OF LOT B**  
**SOIL EROSION SEDIMENTATION CONTROL PLAN DETAILS**  
 PROJECT NO. 140296  
 DATE: 10-08-2011  
 DRAWING NO. 310P 30  
 SHEET: SE2

**WILLS BURKE KELSEY ASSOCIATES LTD**  
 116 West Main Street, Suite 201  
 St. Charles, Illinois 60174  
 (830) 443-7755

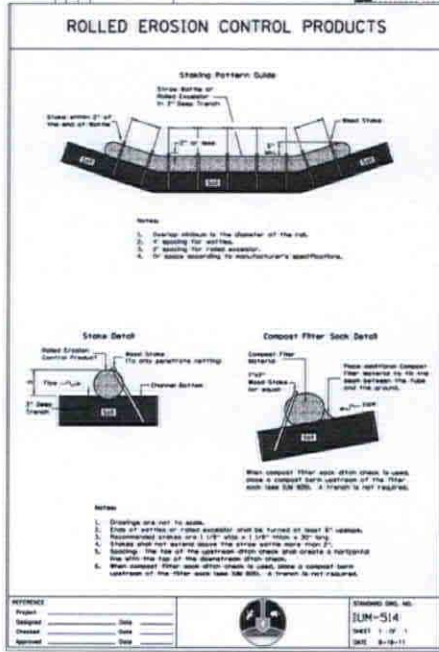
**CLIENT**  
**WILLS BURKE KELSEY ASSOCIATES LTD**  
 270 ST. PAUL STREET #200  
 DENVER, COLORADO 80208  
 PHONE NUMBER



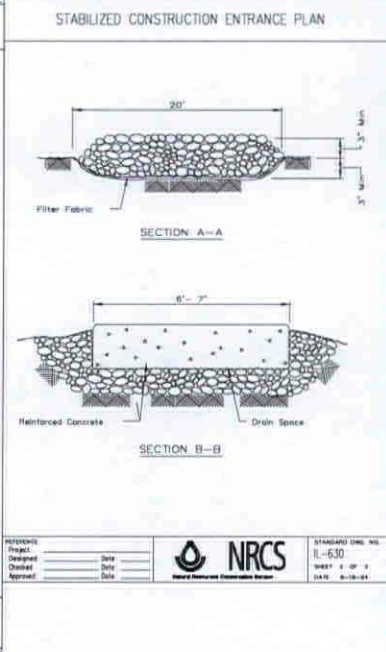
Project	Date	STANDARD SPEC. NO.
Designed	Date	IL-630
Checked	Date	SHEET 1 OF 2
Approved	Date	DATE 8-18-11



Project	Date	STANDARD SPEC. NO.
Designed	Date	IL-630
Checked	Date	SHEET 1 OF 2
Approved	Date	DATE 8-18-11



Project	Date	STANDARD SPEC. NO.
Designed	Date	IL-630
Checked	Date	SHEET 1 OF 1
Approved	Date	DATE 8-18-11



Project	Date	STANDARD SPEC. NO.
Designed	Date	IL-630
Checked	Date	SHEET 2 OF 2
Approved	Date	DATE 8-18-11

**CORPORATE RESERVE SUBDIVISION OF LOT 8**

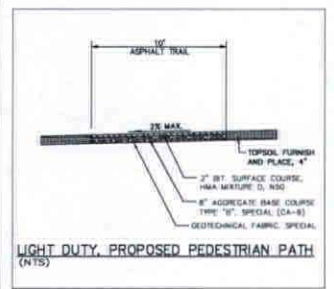
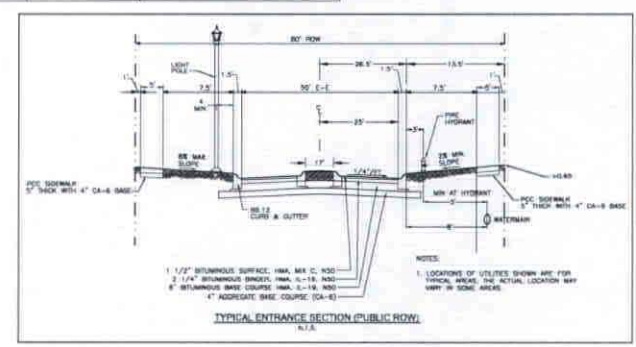
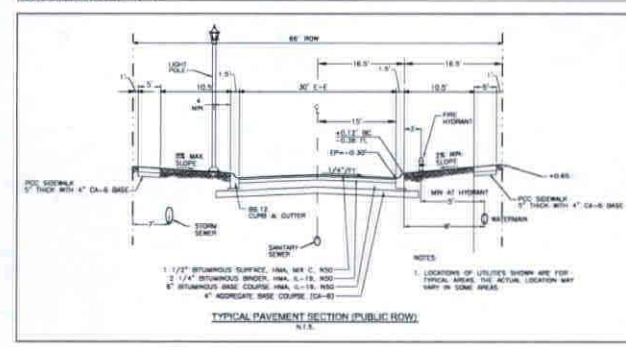
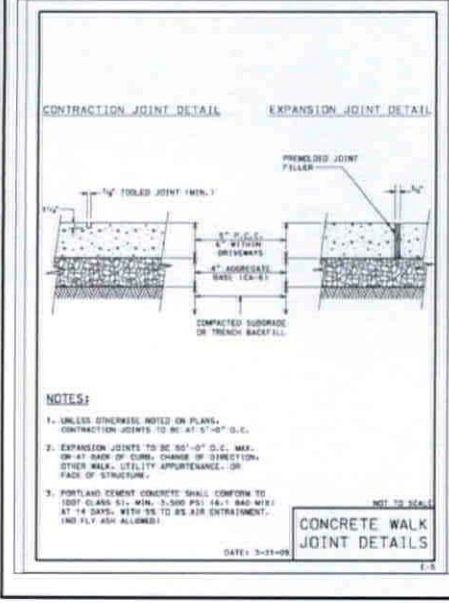
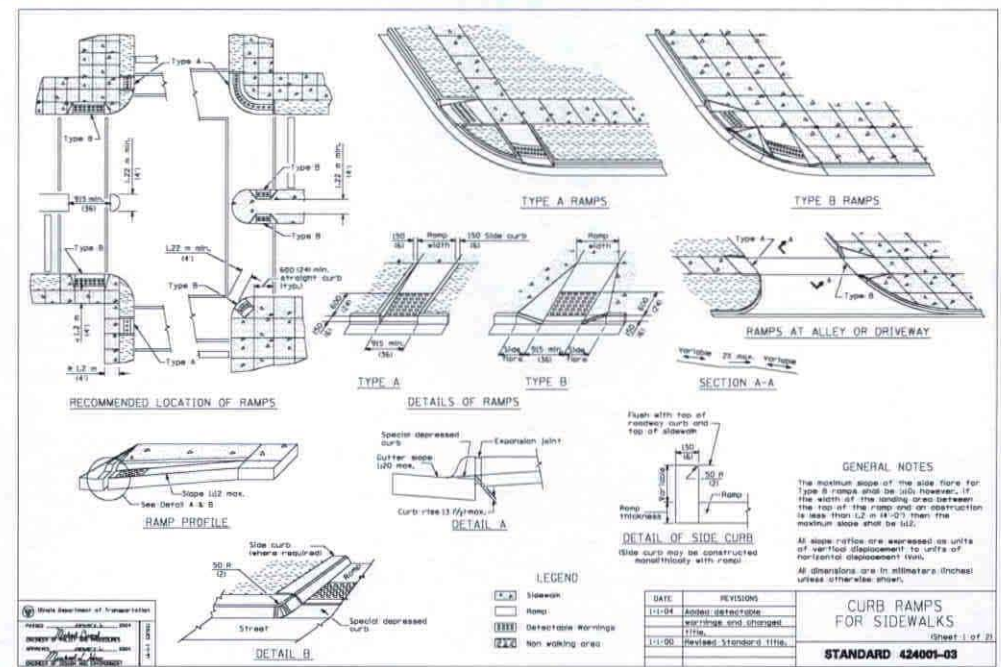
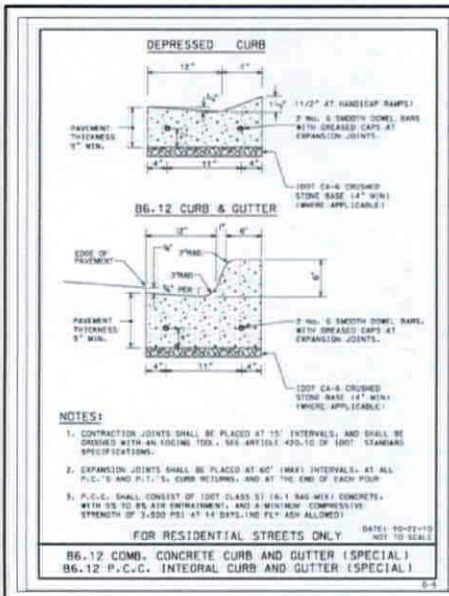
**SOIL EROSION SEDIMENTATION CONTROL PLAN**

**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**  
 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206  
 PHONE NUMBER

**WILLS BURVE KELSEY ASSOCIATES LTD.**  
 116 West Main Street, Suite 201, St. Charles, Illinois 60174  
 (630) 443-7755

PROJECT NO. 14029  
 DATE: 10-08-2010  
 DRAWING NO. 330P-34  
 SHEET

SE3



**CORPORATE RESERVE SUBDIVISION OF LOT 8**

**WILLS BURRE KELSEY ASSOCIATES LTD**  
 114 S. CHARLES ST. DENVER, CO 80202  
 (303) 443-7755

**WBK**

PROJECT NO. 140356  
 DATE: 10-04-2015  
 DRAWING NO. 330F-38  
 SHEET:

**CORPORATE RESERVE PARTNERS, LLC**  
 270 ST. PAUL STREET, #300  
 DENVER, COLORADO 80206  
 PHONE NUMBER

**DETAILS**

SCALE: 1" = 10'

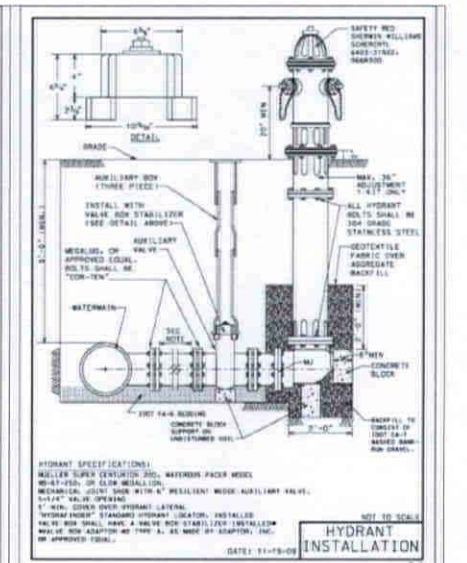
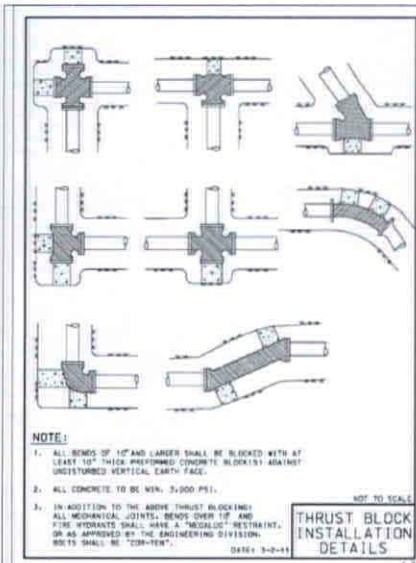
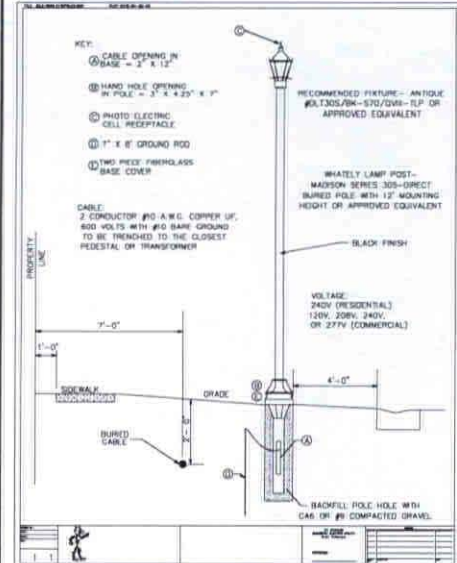
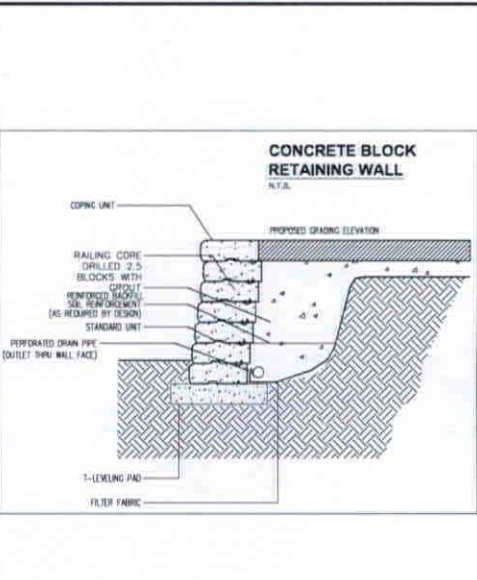
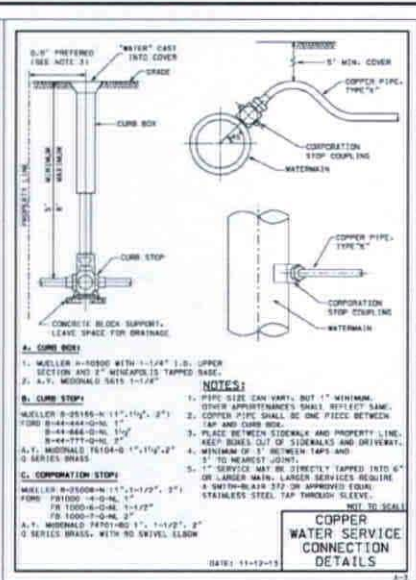
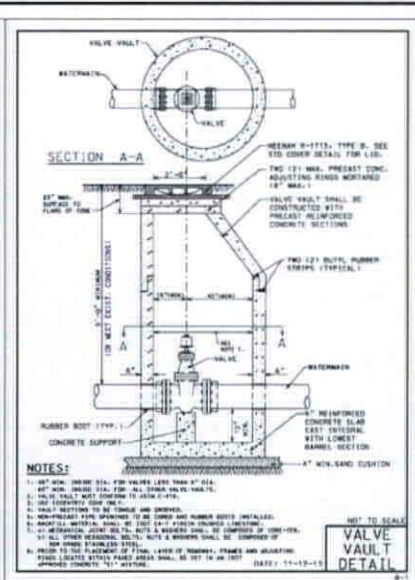
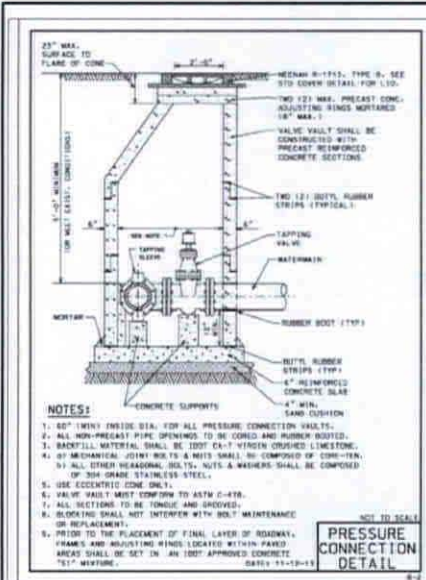
DATE: 10-04-2015

BY: [Signature]

CHECKED: [Signature]

DATE: 10-04-2015



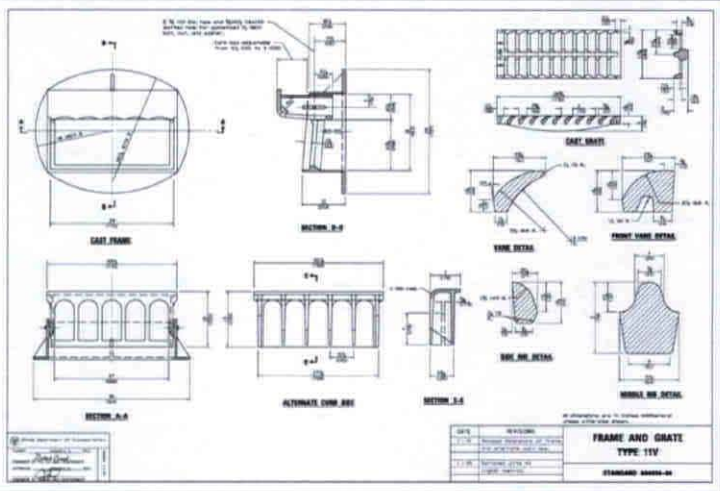
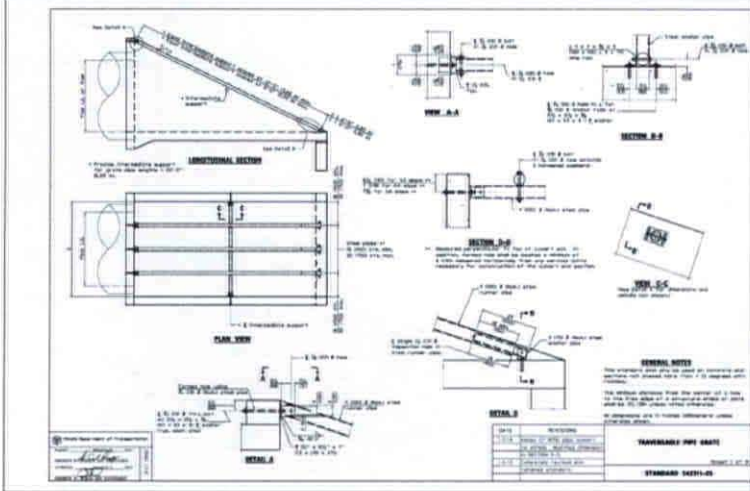


**CORPORATE RESERVE SUBDIVISION OF LOT B DETAILS**

CLIENT: **WILLS BURKE KESELY ASSOCIATES LTD**  
 115 West Main Street, Suite 201  
 DENVER, COLORADO 80202  
 (303) 463-7755

PROJECT NO. 140296  
 DATE: 10-6-2010  
 DRAWING NO. 34 OF 30  
 SHEET: **DT2**





**PIPE GRATE SCHEDULE FOR PIPE CURRENT END SECTION**

Grate No.	Grate Size	Grate Material	Grate Weight	Grate Area	Grate Perimeter	Grate Spacing	Grate Thickness	Grate Depth	Grate Height	Grate Length	Grate Width	Grate Volume
1	12" x 12"	304 SS	1.2	144	96	12"	1/4"	12"	12"	12"	12"	1.2
2	18" x 18"	304 SS	2.7	324	144	18"	1/4"	18"	18"	18"	18"	2.7
3	24" x 24"	304 SS	4.8	576	192	24"	1/4"	24"	24"	24"	24"	4.8
4	30" x 30"	304 SS	7.5	900	240	30"	1/4"	30"	30"	30"	30"	7.5
5	36" x 36"	304 SS	10.8	1296	288	36"	1/4"	36"	36"	36"	36"	10.8
6	42" x 42"	304 SS	14.7	1764	336	42"	1/4"	42"	42"	42"	42"	14.7
7	48" x 48"	304 SS	19.2	2304	384	48"	1/4"	48"	48"	48"	48"	19.2
8	54" x 54"	304 SS	24.3	2916	432	54"	1/4"	54"	54"	54"	54"	24.3
9	60" x 60"	304 SS	29.7	3600	480	60"	1/4"	60"	60"	60"	60"	29.7
10	66" x 66"	304 SS	35.6	4356	528	66"	1/4"	66"	66"	66"	66"	35.6
11	72" x 72"	304 SS	42.0	5184	576	72"	1/4"	72"	72"	72"	72"	42.0
12	78" x 78"	304 SS	48.9	6084	624	78"	1/4"	78"	78"	78"	78"	48.9
13	84" x 84"	304 SS	56.4	7056	672	84"	1/4"	84"	84"	84"	84"	56.4
14	90" x 90"	304 SS	64.5	8100	720	90"	1/4"	90"	90"	90"	90"	64.5
15	96" x 96"	304 SS	73.2	9216	768	96"	1/4"	96"	96"	96"	96"	73.2
16	102" x 102"	304 SS	82.5	10404	816	102"	1/4"	102"	102"	102"	102"	82.5
17	108" x 108"	304 SS	92.4	11664	864	108"	1/4"	108"	108"	108"	108"	92.4
18	114" x 114"	304 SS	102.9	12996	912	114"	1/4"	114"	114"	114"	114"	102.9
19	120" x 120"	304 SS	114.0	14400	960	120"	1/4"	120"	120"	120"	120"	114.0
20	126" x 126"	304 SS	125.7	15876	1008	126"	1/4"	126"	126"	126"	126"	125.7
21	132" x 132"	304 SS	138.0	17424	1056	132"	1/4"	132"	132"	132"	132"	138.0
22	138" x 138"	304 SS	150.9	19044	1104	138"	1/4"	138"	138"	138"	138"	150.9
23	144" x 144"	304 SS	164.4	20736	1152	144"	1/4"	144"	144"	144"	144"	164.4
24	150" x 150"	304 SS	178.5	22500	1200	150"	1/4"	150"	150"	150"	150"	178.5
25	156" x 156"	304 SS	193.2	24336	1248	156"	1/4"	156"	156"	156"	156"	193.2
26	162" x 162"	304 SS	208.5	26244	1296	162"	1/4"	162"	162"	162"	162"	208.5
27	168" x 168"	304 SS	224.4	28224	1344	168"	1/4"	168"	168"	168"	168"	224.4
28	174" x 174"	304 SS	240.9	30276	1392	174"	1/4"	174"	174"	174"	174"	240.9
29	180" x 180"	304 SS	258.0	32400	1440	180"	1/4"	180"	180"	180"	180"	258.0
30	186" x 186"	304 SS	275.7	34596	1488	186"	1/4"	186"	186"	186"	186"	275.7
31	192" x 192"	304 SS	294.0	36864	1536	192"	1/4"	192"	192"	192"	192"	294.0
32	198" x 198"	304 SS	312.9	39204	1584	198"	1/4"	198"	198"	198"	198"	312.9
33	204" x 204"	304 SS	332.4	41616	1632	204"	1/4"	204"	204"	204"	204"	332.4
34	210" x 210"	304 SS	352.5	44100	1680	210"	1/4"	210"	210"	210"	210"	352.5
35	216" x 216"	304 SS	373.2	46656	1728	216"	1/4"	216"	216"	216"	216"	373.2
36	222" x 222"	304 SS	394.5	49284	1776	222"	1/4"	222"	222"	222"	222"	394.5
37	228" x 228"	304 SS	416.4	51984	1824	228"	1/4"	228"	228"	228"	228"	416.4
38	234" x 234"	304 SS	438.9	54756	1872	234"	1/4"	234"	234"	234"	234"	438.9
39	240" x 240"	304 SS	462.0	57600	1920	240"	1/4"	240"	240"	240"	240"	462.0
40	246" x 246"	304 SS	485.7	60516	1968	246"	1/4"	246"	246"	246"	246"	485.7
41	252" x 252"	304 SS	510.0	63504	2016	252"	1/4"	252"	252"	252"	252"	510.0
42	258" x 258"	304 SS	534.9	66564	2064	258"	1/4"	258"	258"	258"	258"	534.9
43	264" x 264"	304 SS	560.4	69696	2112	264"	1/4"	264"	264"	264"	264"	560.4
44	270" x 270"	304 SS	586.5	72900	2160	270"	1/4"	270"	270"	270"	270"	586.5
45	276" x 276"	304 SS	613.2	76176	2208	276"	1/4"	276"	276"	276"	276"	613.2
46	282" x 282"	304 SS	640.5	79524	2256	282"	1/4"	282"	282"	282"	282"	640.5
47	288" x 288"	304 SS	668.4	82944	2304	288"	1/4"	288"	288"	288"	288"	668.4
48	294" x 294"	304 SS	696.9	86436	2352	294"	1/4"	294"	294"	294"	294"	696.9
49	300" x 300"	304 SS	726.0	90000	2400	300"	1/4"	300"	300"	300"	300"	726.0
50	306" x 306"	304 SS	755.7	93636	2448	306"	1/4"	306"	306"	306"	306"	755.7
51	312" x 312"	304 SS	786.0	97344	2496	312"	1/4"	312"	312"	312"	312"	786.0
52	318" x 318"	304 SS	816.9	101124	2544	318"	1/4"	318"	318"	318"	318"	816.9
53	324" x 324"	304 SS	848.4	104976	2592	324"	1/4"	324"	324"	324"	324"	848.4
54	330" x 330"	304 SS	880.5	108900	2640	330"	1/4"	330"	330"	330"	330"	880.5
55	336" x 336"	304 SS	913.2	112896	2688	336"	1/4"	336"	336"	336"	336"	913.2
56	342" x 342"	304 SS	946.5	116964	2736	342"	1/4"	342"	342"	342"	342"	946.5
57	348" x 348"	304 SS	980.4	121104	2784	348"	1/4"	348"	348"	348"	348"	980.4
58	354" x 354"	304 SS	1014.9	125316	2832	354"	1/4"	354"	354"	354"	354"	1014.9
59	360" x 360"	304 SS	1050.0	129600	2880	360"	1/4"	360"	360"	360"	360"	1050.0
60	366" x 366"	304 SS	1085.7	133956	2928	366"	1/4"	366"	366"	366"	366"	1085.7
61	372" x 372"	304 SS	1122.0	138384	2976	372"	1/4"	372"	372"	372"	372"	1122.0
62	378" x 378"	304 SS	1158.9	142884	3024	378"	1/4"	378"	378"	378"	378"	1158.9
63	384" x 384"	304 SS	1196.4	147456	3072	384"	1/4"	384"	384"	384"	384"	1196.4
64	390" x 390"	304 SS	1234.5	152100	3120	390"	1/4"	390"	390"	390"	390"	1234.5
65	396" x 396"	304 SS	1273.2	156816	3168	396"	1/4"	396"	396"	396"	396"	1273.2
66	402" x 402"	304 SS	1312.5	161604	3216	402"	1/4"	402"	402"	402"	402"	1312.5
67	408" x 408"	304 SS	1352.4	166464	3264	408"	1/4"	408"	408"	408"	408"	1352.4
68	414" x 414"	304 SS	1392.9	171396	3312	414"	1/4"	414"	414"	414"	414"	1392.9
69	420" x 420"	304 SS	1434.0	176400	3360	420"	1/4"	420"	420"	420"	420"	1434.0
70	426" x 426"	304 SS	1475.7	181476	3408	426"	1/4"	426"	426"	426"	426"	1475.7
71	432" x 432"	304 SS	1518.0	186624	3456	432"	1/4"	432"	432"	432"	432"	1518.0
72	438" x 438"	304 SS	1560.9	191844	3504	438"	1/4"	438"	438"	438"	438"	1560.9
73	444" x 444"	304 SS	1604.4	197136	3552	444"	1/4"	444"	444"	444"	444"	1604.4
74	450" x 450"	304 SS	1648.5	202500	3600	450"	1/4"	450"	450"	450"	450"	1648.5
75	456" x 456"	304 SS	1693.2	207936	3648	456"	1/4"	456"	456"	456"	456"	1693.2
76	462" x 462"	304 SS	1738.5	213444	3696	462"	1/4"	462"	462"	462"	462"	1738.5
77	468" x 468"	304 SS	1784.4	219024	3744	468"	1/4"	468"	468"	468"	468"	1784.4
78	474" x 474"	304 SS	1830.9	224676	3792	474"	1/4"	474"	474"	474"	474"	1830.9
79	480" x 480"	304 SS	1878.0	230400	3840	480"	1/4"	480"	480"	480"	480"	1878.0
80	486" x 486"	304 SS	1925.7	236196	3888	486"	1/4"	486"	486"	486"	486"	1925.7
81	492" x 492"	304 SS	1974.0	242064	3936	492"	1/4"	492"	492"	492"	492"	1974.0
82	498" x 498"	304 SS	2022.9	248004	3984	498"	1/4"	498"	498"	498"	498"	2022.9
83	504" x 504"	304 SS	2072.4	254016	4032	504"	1/4"	504"	504"	504"	504"	2072.4
84	510" x 510"	304 SS	2122.5	260100	4080	510"	1/4"	510"	510"	510"	510"	2122.5
85	516" x 516"	304 SS	2173.2	266256	4128	516"	1/4"	516"	516"	516"	516"	2173.2
86	522" x 522"	304 SS	2224.5	272484	4176	522"	1/4"	522"	522"	522"	522"	2224.5
87	528" x 528"	304 SS	2276.4	278784	4224	528"	1/4"	528"	528"	528"	528"	2276.4
88	534" x 534"	304 SS	2328.9	285156	4272	534"	1/4"	534"	534"	534"	534"	2328.9
89	540" x 540"	304 SS	2382.0	291600	4320	540"	1/4"	540"	540"	540"	540"	2382.0
90	546" x 546"	304 SS	2435.7	298116	4368	546"	1/4"	546"	546"	546"	546"	2435.7
91	552" x 552"	304 SS	2490.0	304704	4416	552"	1/4"	552"	552"	552"	552"	2490.0
92	558" x 558"	304 SS	2544.9	311364	4464	558"	1/4"	558"	558"	558"	558"	2544.9
93	564" x 564"	304 SS	2600.4	318096	4512	564"	1/4"	564"	564"	564"	5	





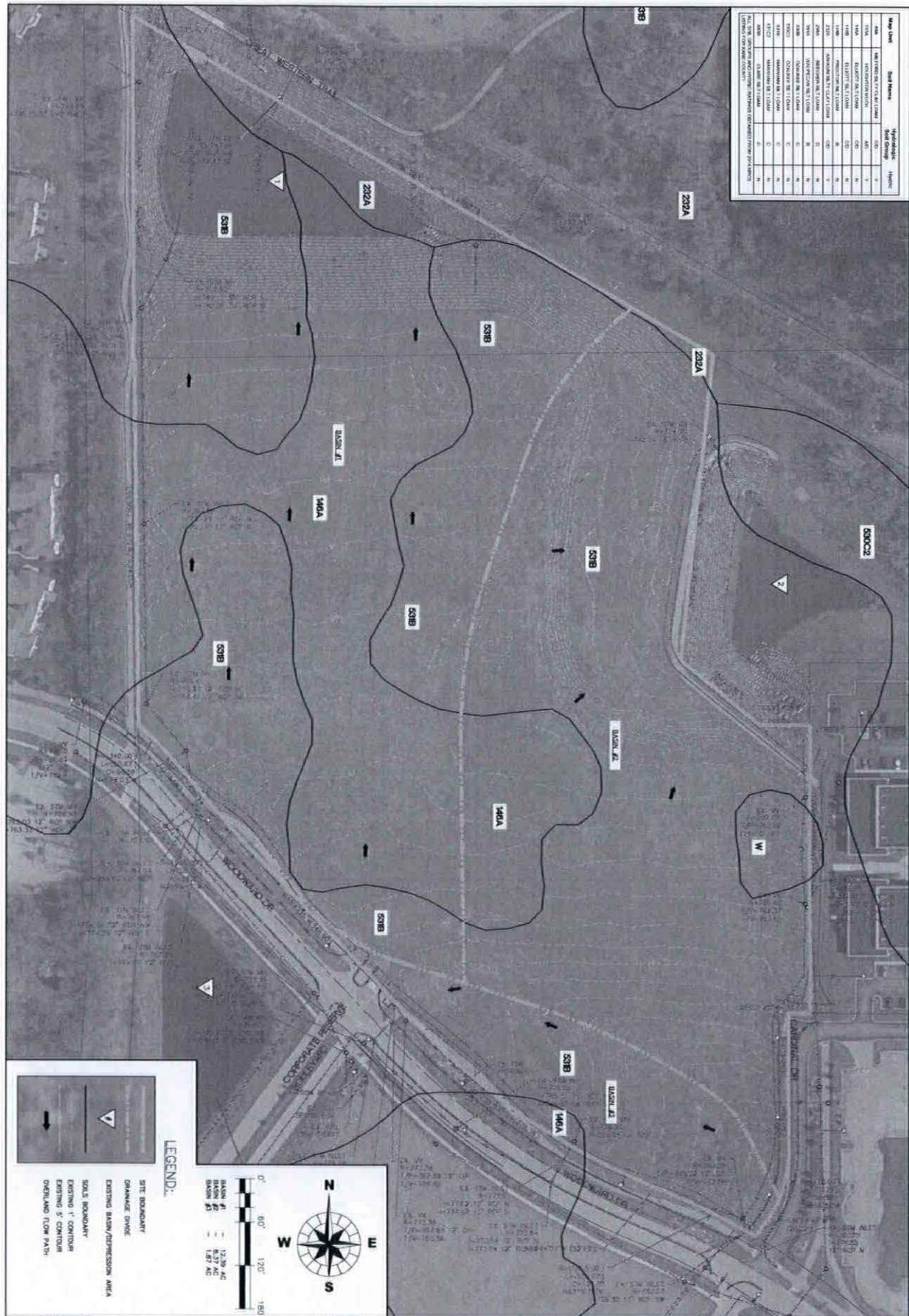








Map Sheet	Sheet Name	Hydrologic
1	100' X 100' (1" = 40')	1
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3	100' X 100' (1" = 40')	3
4	100' X 100' (1" = 40')	4
5	100' X 100' (1" = 40')	5
6	100' X 100' (1" = 40')	6
7	100' X 100' (1" = 40')	7
8	100' X 100' (1" = 40')	8
9	100' X 100' (1" = 40')	9
10	100' X 100' (1" = 40')	10
11	100' X 100' (1" = 40')	11
12	100' X 100' (1" = 40')	12
13	100' X 100' (1" = 40')	13
14	100' X 100' (1" = 40')	14
15	100' X 100' (1" = 40')	15
16	100' X 100' (1" = 40')	16
17	100' X 100' (1" = 40')	17
18	100' X 100' (1" = 40')	18
19	100' X 100' (1" = 40')	19
20	100' X 100' (1" = 40')	20
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34	100' X 100' (1" = 40')	34
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48	100' X 100' (1" = 40')	48
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62	100' X 100' (1" = 40')	62
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64	100' X 100' (1" = 40')	64
65	100' X 100' (1" = 40')	65
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67	100' X 100' (1" = 40')	67
68	100' X 100' (1" = 40')	68
69	100' X 100' (1" = 40')	69
70	100' X 100' (1" = 40')	70
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86	100' X 100' (1" = 40')	86
87	100' X 100' (1" = 40')	87
88	100' X 100' (1" = 40')	88
89	100' X 100' (1" = 40')	89
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93	100' X 100' (1" = 40')	93
94	100' X 100' (1" = 40')	94
95	100' X 100' (1" = 40')	95
96	100' X 100' (1" = 40')	96
97	100' X 100' (1" = 40')	97
98	100' X 100' (1" = 40')	98
99	100' X 100' (1" = 40')	99
100	100' X 100' (1" = 40')	100



**LEGEND:**

- SITE BOUNDARY
- DRAINAGE DITCH
- EXISTING DRAIN/RETENTION AREA
- SOILS BOUNDARY
- EXISTING 1' CENTROID
- EXISTING 2' CENTROID
- OVERLAND FLOW PATH

**SCALE:**

0' 60' 120' 180'

1" = 40'

1" = 20'

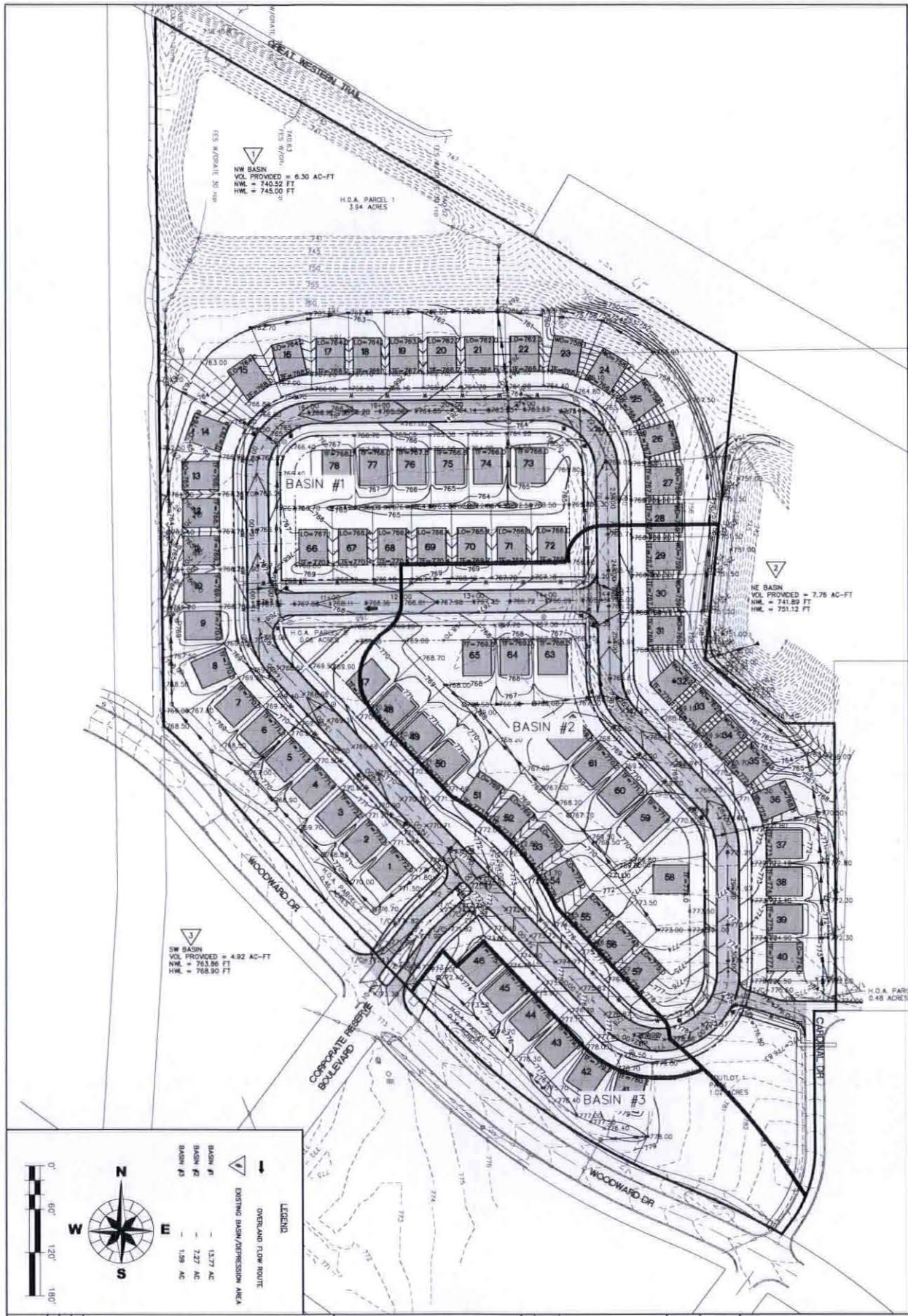
1" = 10'

**COMPASS:**

N, S, E, W

<b>VTM</b> 	<b>WILLS BURKE KELSEY ASSOCIATES LTD.</b> 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	<b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206	DESIGN	JSE	<b>TITLE</b> <b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b> <b>VICINITY TOPOGRAPHIC MAP</b>
			OWN	AJR	
			CHECKED	KEM	
			SCALE	1" = 40'	
			NO. DATE	NATURE OF REVISION	VTM140256.DWG





NW BASIN  
VOL PROVIDED = 6.30 AC-FT  
NWL = 745.52 FT  
HWL = 745.00 FT

H.O.A. PARCEL 1  
3.94 ACRES

NE BASIN  
VOL PROVIDED = 7.76 AC-FT  
NWL = 741.89 FT  
HWL = 731.12 FT

SW BASIN  
VOL PROVIDED = 4.92 AC-FT  
NWL = 763.86 FT  
HWL = 768.90 FT



**LEGEND**

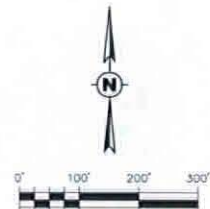
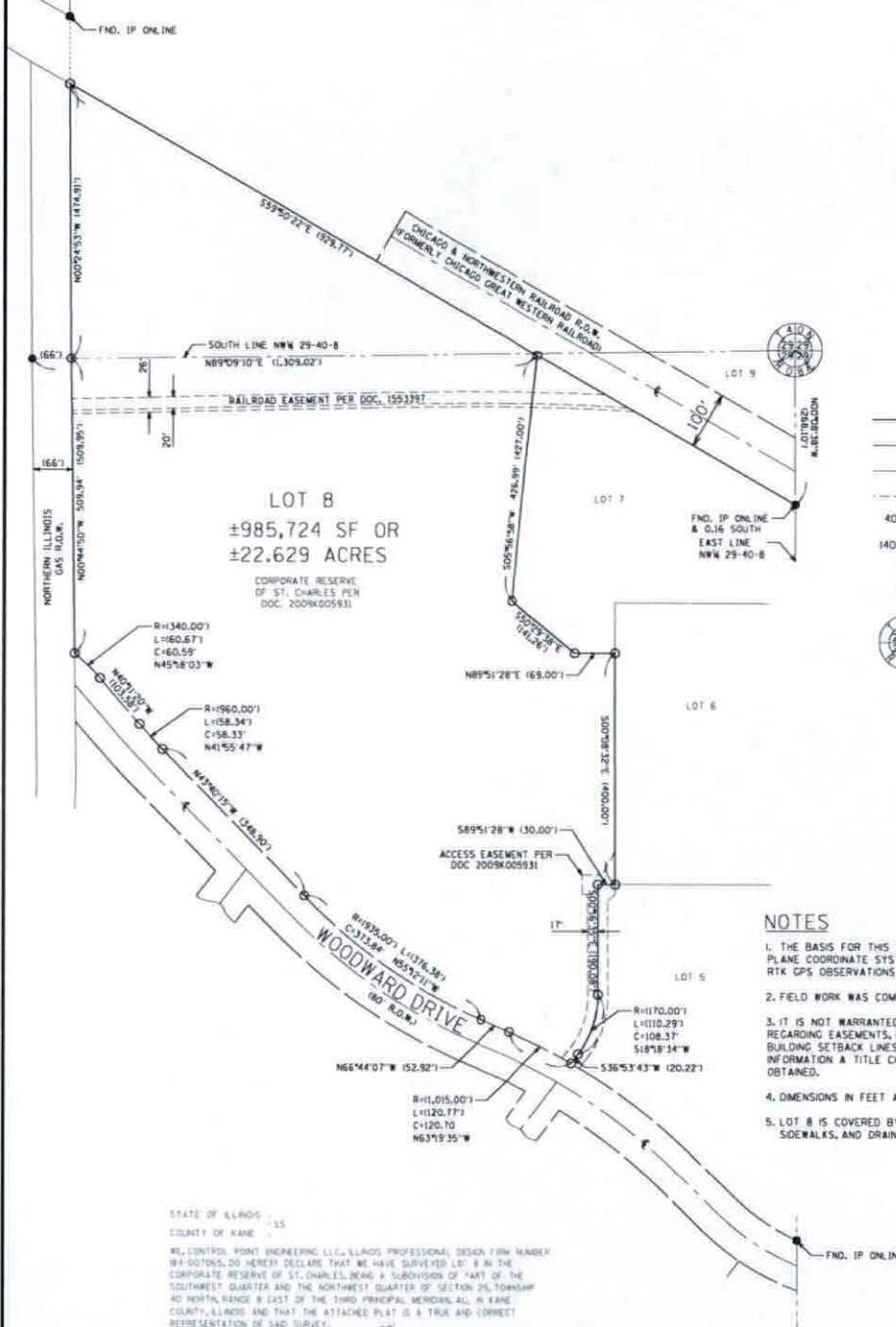
	OVERLAND FLOW ROUTE
	EXISTING BASIN/PRESSURE AREA
	BASIN #1 - 13.27 AC
	BASIN #2 - 7.27 AC
	BASIN #3 - 1.99 AC

<b>WILLS BURKE KELSEY ASSOCIATES LTD.</b> 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	<b>CLIENT</b> <b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206	DSGN: JSE DWN: AJR CHKD: KEM	<b>TITLE</b> <b>CORPORATE RESERVE SUBDIVISION OF LOT 8</b> <b>SITE TOPOGRAPHIC MAP (PROPOSED)</b>
		SCALE: 1" = 60' STMP#140258.DWG	

PLS DATE DATE  
 FILE NAME FILE NAME  
 FILE NAME FILE NAME

# PLAT OF SURVEY

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009K005931, ALL IN KANE COUNTY, ILLINOIS.



## LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- QUARTER SECTION LINE
- 400.00'
- 1400.00'
- FOUND IRON PIPE OR IRON REBAR
- SET 1/2" X 24" IRON PIPE
- QUARTER SECTION CORNER

## NOTES

1. THE BASIS FOR THIS SURVEY IS GRID NORTH OF THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, BASED ON MULTIPLE AVERAGED RTK GPS OBSERVATIONS REFERENCE TO THE TRIMBLE VRS NETWORK.
2. FIELD WORK WAS COMPLETED 5/11/15.
3. IT IS NOT WARRANTED THAT THIS PLAT CONTAINS COMPLETE INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, RIGHT OF WAY, BUILDING SETBACK LINES, AND OTHER ENCUMBRANCES. FOR COMPLETE INFORMATION A TITLE COMMITMENT FOR TITLE INSURANCE SHOULD BE OBTAINED.
4. DIMENSIONS IN FEET AND DECIMALS.
5. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, SIDEWALKS, AND DRAINAGE PER DOCUMENT 2009K005931

STATE OF ILLINOIS  
 COUNTY OF KANE

WE, CONTROL POINT ENGINEERING LLC, ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 94-007045, DO HEREBY DECLARE THAT WE HAVE SURVEYED LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS AND THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY. GIVEN UNDER MY HAND AND SEAL THIS 10<sup>TH</sup> DAY OF MAY, 2015 AT BATAVIA, ILLINOIS.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.  
 RUDY E. LYON  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3832  
 MY LICENSE EXPIRES NOVEMBER 30, 2017  
 DESIGN FIRM LICENSE EXPIRES APRIL 30, 2017



PROJECT NO. 150808  
 DATE: 5/15/15  
 SHEET 1 OF 1  
 DRAWING NO. PL1



CONTROL POINT ENGINEERING LLC  
 1240 LYON ROAD  
 BATAVIA, IL 60510  
 PHONE: (630) 482-2341

CLIENT:  
**WILLS BURKE KELSEY & ASSOCIATES LTD.**  
 116 W. MAIN ST., SUITE 201  
 ST. CHARLES, IL 60174

1			
2			
3			
4			
5			
6			
7			
8			
NO.	DATE	REVISION DESCRIPTION	

OBGN. RPD  
 DWN. RPD  
 CHRD. RPD  
 SCALE: 1"=100'

PLAT OF SURVEY  
 LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES



**LEGAL DESCRIPTION**

LOT 8, IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 43 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 28, 2008 AS DOCUMENT NUMBER 2008032551, IN KANE COUNTY, ILLINOIS

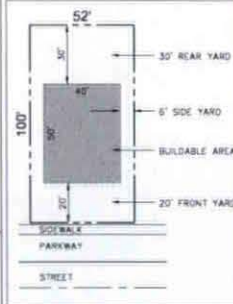
**PROJECT DATA**

PROPOSED LAND USE:  
 DETACHED SINGLE FAMILY RESIDENTIAL  
 EXISTING ZONING CLASSIFICATION:  
 O-8 OFFICE RESERVAH

LAND USE	ACRES
LOTS	11.57
H.O.A. PARCELS	5.05
PUBLIC PARK	1.02
TRAIL CORRIDOR	0.17
INTERNAL ROAD R.O.W.	4.81
TOTAL SITE	22.62

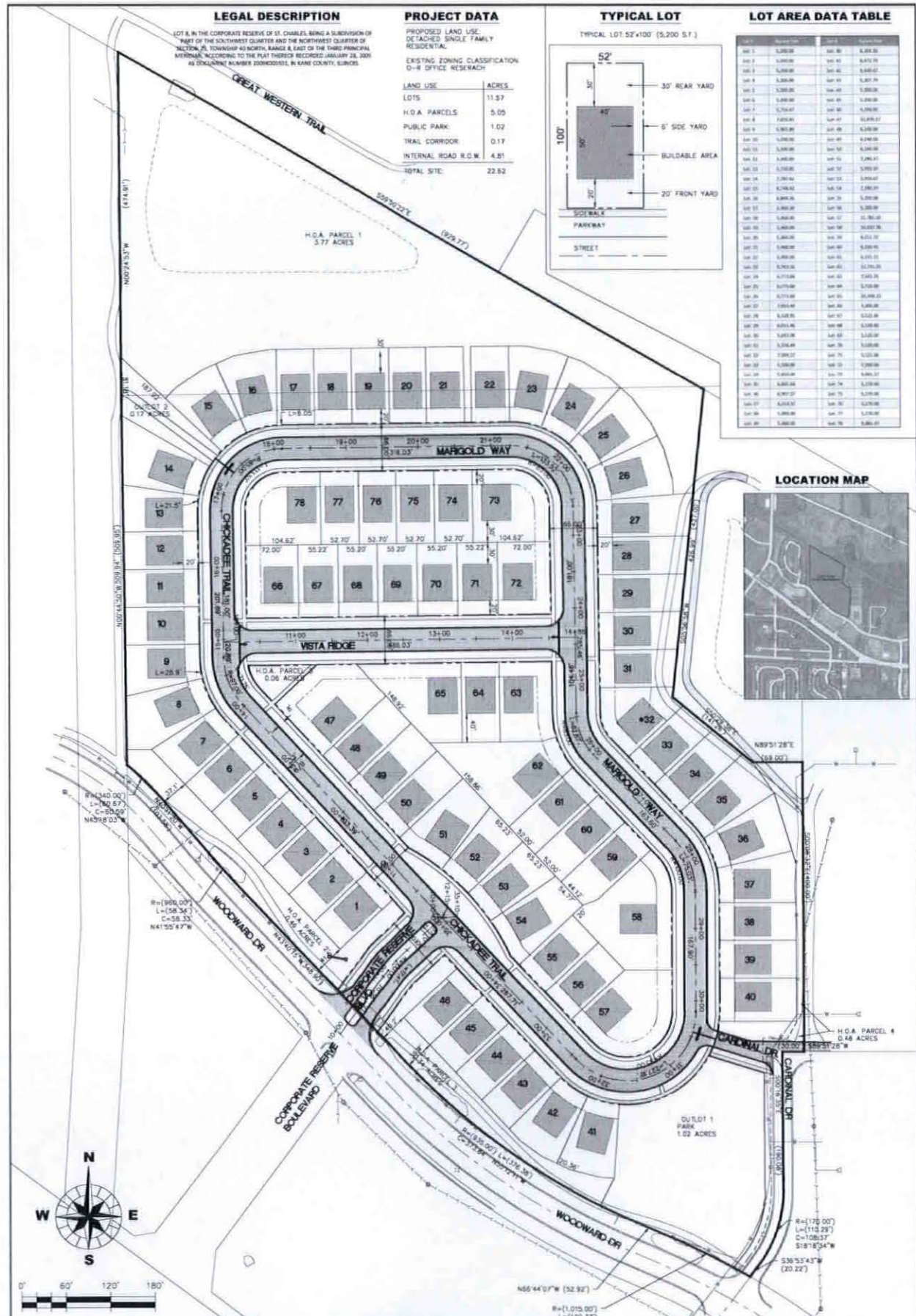
**TYPICAL LOT**

TYPICAL LOT: 52'x100' (5,200 S.F.)

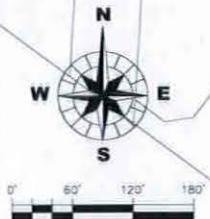


**LOT AREA DATA TABLE**

LOT #	AREA (S.F.)	AREA (ACRES)
LOT 1	5,200.00	0.1893
LOT 2	5,200.00	0.1893
LOT 3	5,200.00	0.1893
LOT 4	5,200.00	0.1893
LOT 5	5,200.00	0.1893
LOT 6	5,200.00	0.1893
LOT 7	5,200.00	0.1893
LOT 8	5,200.00	0.1893
LOT 9	5,200.00	0.1893
LOT 10	5,200.00	0.1893
LOT 11	5,200.00	0.1893
LOT 12	5,200.00	0.1893
LOT 13	5,200.00	0.1893
LOT 14	5,200.00	0.1893
LOT 15	5,200.00	0.1893
LOT 16	5,200.00	0.1893
LOT 17	5,200.00	0.1893
LOT 18	5,200.00	0.1893
LOT 19	5,200.00	0.1893
LOT 20	5,200.00	0.1893
LOT 21	5,200.00	0.1893
LOT 22	5,200.00	0.1893
LOT 23	5,200.00	0.1893
LOT 24	5,200.00	0.1893
LOT 25	5,200.00	0.1893
LOT 26	5,200.00	0.1893
LOT 27	5,200.00	0.1893
LOT 28	5,200.00	0.1893
LOT 29	5,200.00	0.1893
LOT 30	5,200.00	0.1893
LOT 31	5,200.00	0.1893
LOT 32	5,200.00	0.1893
LOT 33	5,200.00	0.1893
LOT 34	5,200.00	0.1893
LOT 35	5,200.00	0.1893
LOT 36	5,200.00	0.1893
LOT 37	5,200.00	0.1893
LOT 38	5,200.00	0.1893
LOT 39	5,200.00	0.1893
LOT 40	5,200.00	0.1893
LOT 41	5,200.00	0.1893
LOT 42	5,200.00	0.1893
LOT 43	5,200.00	0.1893
LOT 44	5,200.00	0.1893
LOT 45	5,200.00	0.1893
LOT 46	5,200.00	0.1893
LOT 47	5,200.00	0.1893
LOT 48	5,200.00	0.1893
LOT 49	5,200.00	0.1893
LOT 50	5,200.00	0.1893
LOT 51	5,200.00	0.1893
LOT 52	5,200.00	0.1893
LOT 53	5,200.00	0.1893
LOT 54	5,200.00	0.1893
LOT 55	5,200.00	0.1893
LOT 56	5,200.00	0.1893
LOT 57	5,200.00	0.1893
LOT 58	5,200.00	0.1893
LOT 59	5,200.00	0.1893
LOT 60	5,200.00	0.1893
LOT 61	5,200.00	0.1893
LOT 62	5,200.00	0.1893
LOT 63	5,200.00	0.1893
LOT 64	5,200.00	0.1893
LOT 65	5,200.00	0.1893
LOT 66	5,200.00	0.1893
LOT 67	5,200.00	0.1893
LOT 68	5,200.00	0.1893
LOT 69	5,200.00	0.1893
LOT 70	5,200.00	0.1893
LOT 71	5,200.00	0.1893
LOT 72	5,200.00	0.1893
LOT 73	5,200.00	0.1893
LOT 74	5,200.00	0.1893
LOT 75	5,200.00	0.1893
LOT 76	5,200.00	0.1893
LOT 77	5,200.00	0.1893
LOT 78	5,200.00	0.1893



**LOCATION MAP**



1 OF 1 SHEET NO. 130813-01 DATE: 10/10/2013 DRAWN BY: JAY KELLY CHECKED BY: JAY KELLY PROJECT NO.: 130813-01	WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	CLIENT: <b>CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC</b> 270 ST. PAULS ST., SUITE #300 DENVER, CO. 80206 303-801-0888	DESIGNED BY: CMY DRAWN BY: GMP CHECKED BY: CMY SCALE: 1" = 80' FILE: 130813-01.DWG	TITLE: <b>CORPORATE RESERVE CITY OF ST. CHARLES</b>  <b>PRELIMINARY PLAT</b>
			DATE: _____ NATURE OF REVISION: _____	

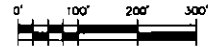
**EXHIBIT "E"**

**FINAL PLAT OF SUBDIVISION  
(4 pages)**



# FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A  
SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF  
SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN,  
ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 26, 2009 AS DOCUMENT NO.  
200900593L ALL IN HANE COUNTY, ILLINOIS.



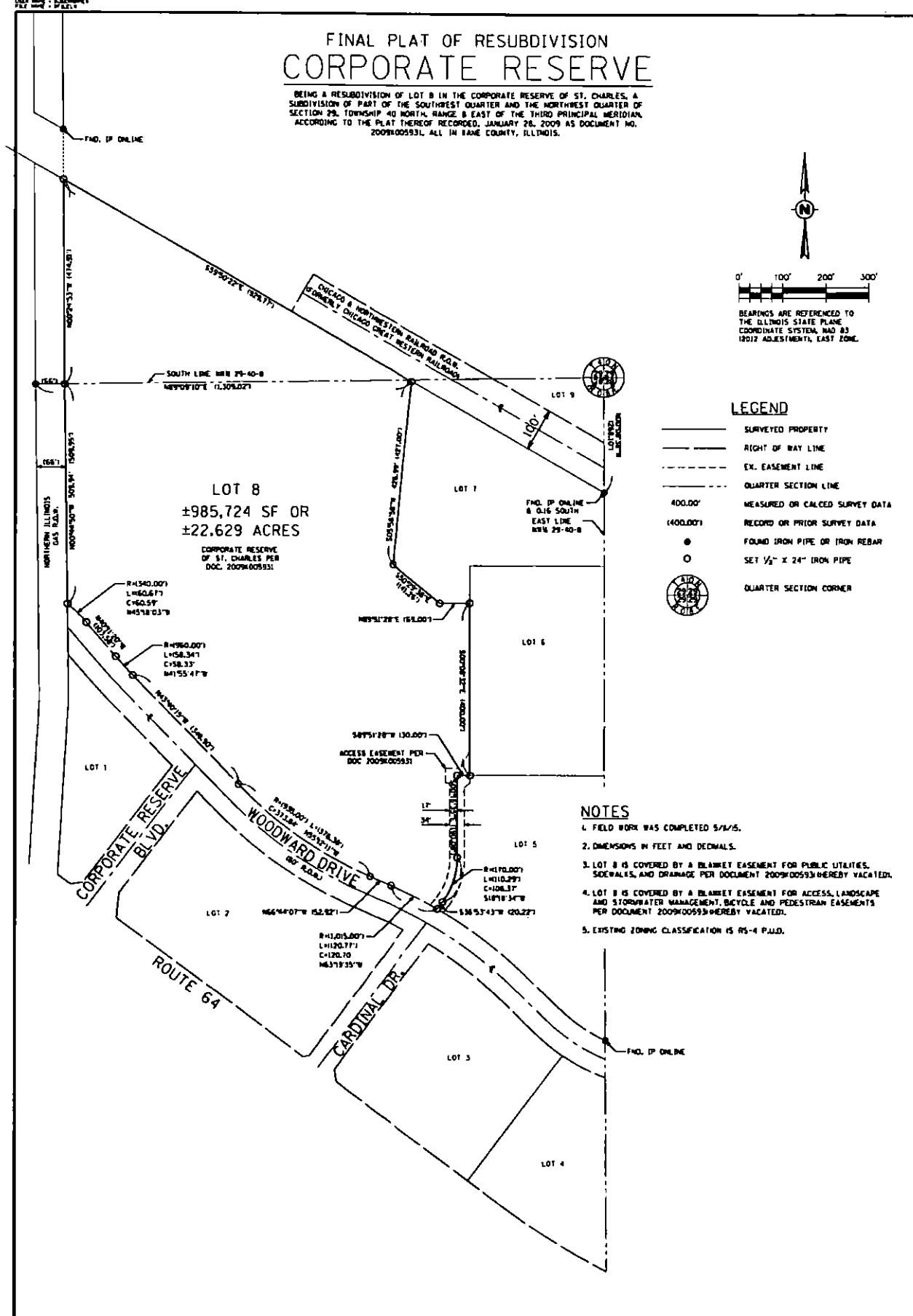
BEARINGS ARE REFERENCED TO  
THE ILLINOIS STATE PLANE  
COORDINATE SYSTEM, NAD 83  
18217 ADJUSTMENT, EAST ZONE.

## LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- QUARTER SECTION LINE
- MEASURED OR CALCULATED SURVEY DATA
- RECORD OR PRIOR SURVEY DATA
- FOUND IRON PIPE OR IRON REBAR
- SET 1/2" X 24" IRON PIPE
- QUARTER SECTION CORNER

## NOTES

1. FIELD WORK WAS COMPLETED 5/11/15.
2. DIMENSIONS IN FEET AND DECIMALS.
3. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, SIDEWALKS, AND DRAINAGE, PER DOCUMENT 2009W00593 HEREBY VACATED.
4. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR ACCESS, LANDSCAPE AND STORMWATER MANAGEMENT, BICYCLE AND PEDESTRIAN EASEMENTS PER DOCUMENT 2009W00593 HEREBY VACATED.
5. EXISTING ZONING CLASSIFICATION IS RS-4 P.U.D.



PL1  
DATE: 5/11/15  
SCALE: 1"=100'



**CONTROL POINT ENGINEERING LLC**  
1240 LYON ROAD  
BATAVIA, IL 60510  
PHONE: (630) 482-2341

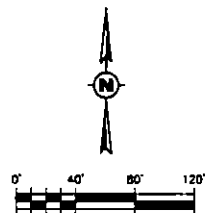
CLIENT:  
**THE PAULS CORPORATION**  
370 SAINT PAUL ST.  
DENVER, CO 80202

NO.	DATE	REVISIONS DESCRIPTION
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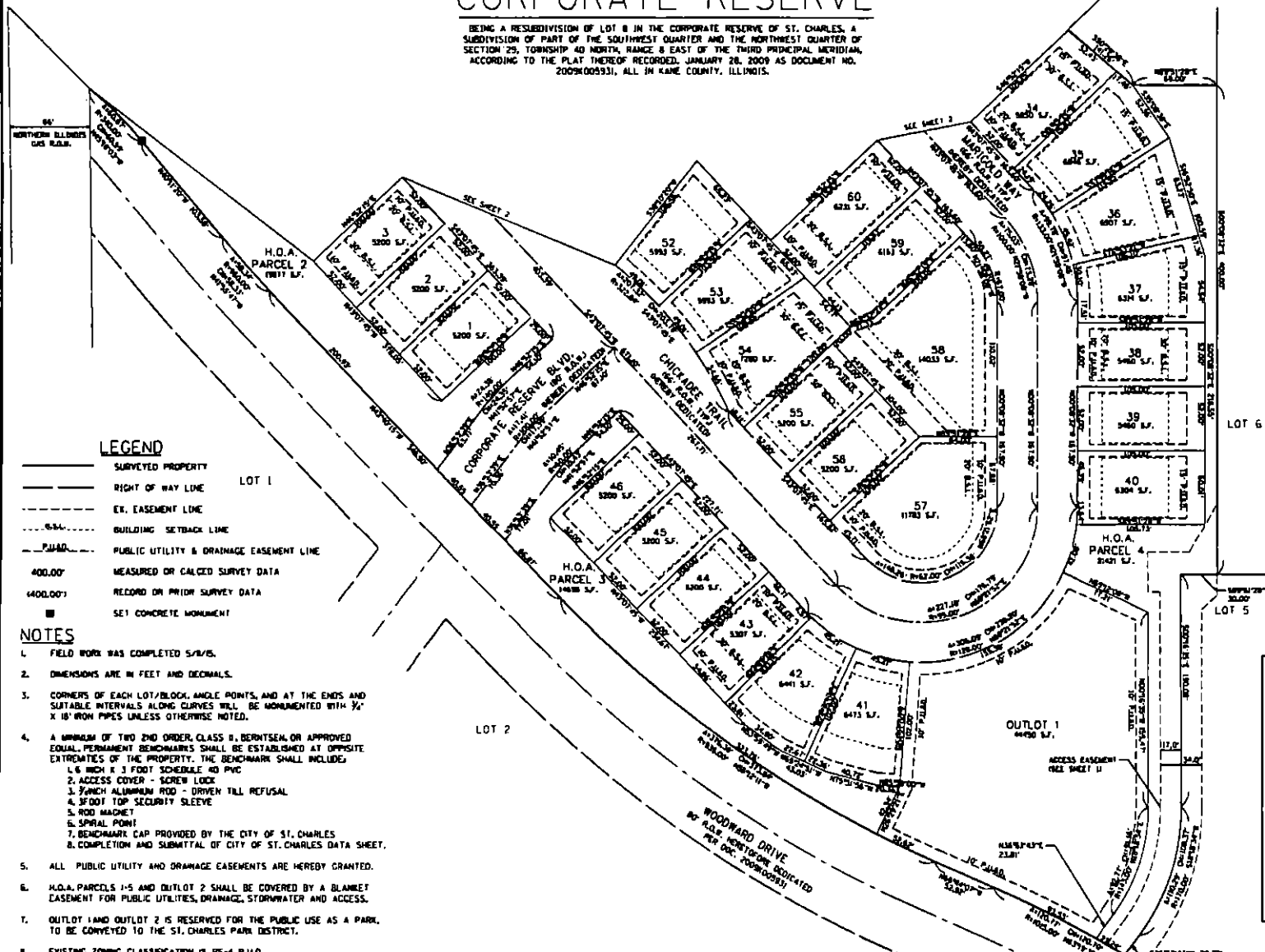
ORGN. RPD  
DWG. RPD  
CHKD. RPD  
SCALE: 1"=100'  
**PLAT OF RESUBDIVISION**  
**LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES**

# FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009005931, ALL IN KANE COUNTY, ILLINOIS.



SEARCHES ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 GQ12 ADJUSTMENT, EAST ZONE.



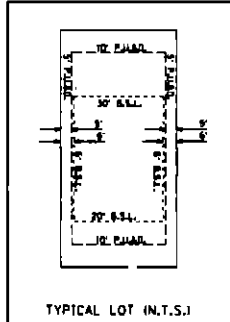
### LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE LOT 1
- EX. EASEMENT LINE
- BUILDING SETBACK LINE
- PUBLIC UTILITY & DRAINAGE EASEMENT LINE
- 400.00' MEASURED OR CALCULATED SURVEY DATA
- 400.00' RECORD OR PRIOR SURVEY DATA
- SET CONCRETE MONUMENT

### NOTES

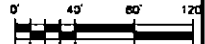
1. FIELD WORK WAS COMPLETED 5/15/15.
2. DIMENSIONS ARE IN FEET AND DECIMALS.
3. CORNERS OF EACH LOT/BLOCK, ANGLE POINTS, AND AT THE ENDS AND SUITABLE INTERVALS ALONG CURVES WILL BE MONUMENTED WITH 3/4" X 1/2" IRON PIPES UNLESS OTHERWISE NOTED.
4. A MINIMUM OF TWO 2ND ORDER, CLASS II, BERTHSEN OR APPROVED EQUAL PERMANENT BENCHMARKS SHALL BE ESTABLISHED AT OPPOSITE EXTREMITIES OF THE PROPERTY. THE BENCHMARK SHALL INCLUDE:
  1. 6" HIGH X 3" FOOT SCHEDULE 40 PVC
  2. ACCESS COVER - SCREW LOCK
  3. 3/4" INCH ALUMINUM ROD - DRIVEN TILL REFUSAL
  4. 3 FOOT TOP SECURITY SLEEVE
  5. ROD MAGNET
  6. SPIRAL POINT
  7. BENCHMARK CAP PROVIDED BY THE CITY OF ST. CHARLES
  8. COMPLETION AND SUBMITTAL OF CITY OF ST. CHARLES DATA SHEET.
5. ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS ARE HEREBY GRANTED.
6. H.O.A. PARCELS 1-5 AND OUTLOT 2 SHALL BE COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, DRAINAGE, STORMWATER AND ACCESS.
7. OUTLOT 1 AND OUTLOT 2 IS RESERVED FOR THE PUBLIC USE AS A PARK, TO BE CONVEYED TO THE ST. CHARLES PARK DISTRICT.
8. EXISTING ZONING CLASSIFICATION IS RS-4 P.A.D.

PLAT OF RESUBDIVISION																	
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES																	
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	BY	DESCRIPTION													
NO.	DATE	BY	DESCRIPTION														
CLIENT: THE PAULS CORPORATION 270 SAINT PAUL AVENUE DENVER, CO 80206																	
CONTROL POINT ENGINEERING LLC 1240 LYON ROAD BATAVIA, IL 60510 PHONE: (630) 482-2341																	
PROJECT NO: 15-006 DATE: 8/15/15 SHEET 2 OF 4 DRAWING NO. <b>PL2</b>																	



# FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009005931, ALL IN KANE COUNTY, ILLINOIS.



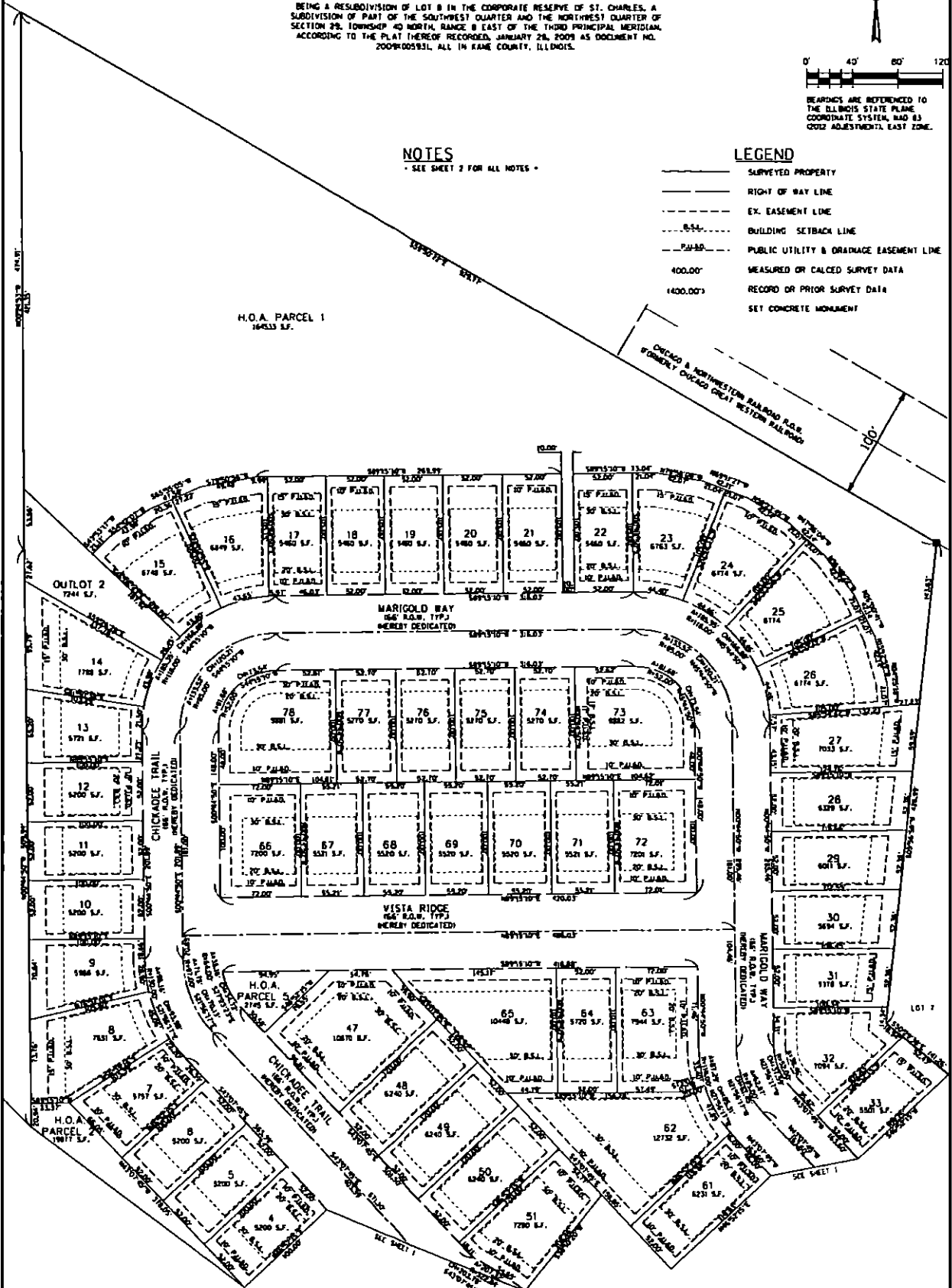
BEARINGS ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 QUAD ADJUSTMENT, EAST ZONE.

## NOTES

SEE SHEET 2 FOR ALL NOTES -

## LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- - - - - B.S.L. BUILDING SETBACK LINE
- - - - - P.U.E. PUBLIC UTILITY & GRADAGE EASEMENT LINE
- 400.00' MEASURED OR CALCD SURVEY DATA
- 1400.00' RECORD OR PRIOR SURVEY DATA
- SET CONCRETE MONUMENT



PL 3



**CONTROL POINT ENGINEERING LLC**  
1240 LYON ROAD  
BATAVIA, IL 60510  
PHONE: (630) 482-2341

CLIENT:  
**THE PAULS CORPORATION**  
270 SAINT PAUL ST.  
DENVER, CO 80206

DESIGN	SPD
DRAWN	SPD
CHECKED	SPD
SCALE	1"=40'
DATE	REVISION BY DESCRIPTION

**PLAT OF RESUBDIVISION**  
**LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES**

PLAT DATE: 08/28/2009  
DRAWN BY: J. W. BROWN  
FILE NO.: 08/28/09

# FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009005931, ALL IN KANE COUNTY, ILLINOIS.

### UNIMPAID TAXES

STATE OF ILLINOIS  
COUNTY OF KANE, ILL.  
"THIS IS TO CERTIFY THAT I, RUBY P. DIXON, ILLINOIS LAND SURVEYOR NO. 3832, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009005931, ALL IN KANE COUNTY, ILLINOIS.

"GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
ILLINOIS REGISTERED LAND SURVEYOR NO. \_\_\_\_\_"

### OWNER'S CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF KANE, ILL.  
"THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

### NOTARY CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF KANE, ILL.  
"I, \_\_\_\_\_, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

"GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ AT \_\_\_\_\_, ILLINOIS.

NOTARY PUBLIC

### COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF KANE, ILL.  
"I, \_\_\_\_\_, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO UNPAID GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

"I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT."  
"GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

COUNTY CLERK

### PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS  
CITY OF ST. CHARLES, ILL.

"APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

PLEASE RETURN THE RECORDED BYLAW TO:  
CITY OF ST. CHARLES  
2. E. MAIN STREET  
ST. CHARLES, IL 60114

### CONVEYANCE TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS  
COUNTY OF KANE, ILL.  
"I DO HEREBY CERTIFY THAT THERE ARE NO UNPAID OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS  
DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

### DIRECTOR OF COMMUNITY DEVELOPMENT OR DESIGNER CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF KANE, ILL.  
"I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT  
DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

### CITY COUNCIL CERTIFICATE

"APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

CITY COUNCIL OF CITY OF ST. CHARLES, ILLINOIS

MAYOR  
ATTEST:

CITY CLERK

### SPECIAL FLOOD HAZARD AREA CERTIFICATE

"THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE CITY OF ST. CHARLES, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 170802004N DATED AUGUST 3, 2005.

ILLINOIS REGISTERED LAND SURVEYOR NO. 3832

### STORMWATER DETENTION EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REMOVING, ALTERING, ENLARGING, REPAIRING, CLEANING, MAINTAINING STORM SEWERS, DRAINAGE BAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION. THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BINDING ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS. NO PERSON SHALL DESTROY OR MODIFY SLOPES OR OTHERWISE AFFECT THE DETENTION VOLUME WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

### PUBLIC UTILITY AND TRAINING EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO AMERICAN AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES", IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REMOVING, ALTERING, ENLARGING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE BAYS, STORM WATER DETENTION AND RETENTION, WATER BAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPAIRED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE BAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER OR THROUGH SAID EASEMENTS. NO PERMANENT BUILDINGS, TREES, GARAGES, SHRUBS, OR BEARING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES. FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUSTAINABLE GRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

### PUBLIC ACCESS

PERMANENT NON-EXCLUSIVE EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES, IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC ACCESS EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAIN, FOR THE PURPOSE OF ACCESS TO CITY OWNED UTILITIES AND OTHER GRANTED EASEMENTS, AS DEEMED NECESSARY BY THE CITY OF ST. CHARLES. THE RIGHT IS ALSO HEREBY GRANTED TO SAID CITY TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY OR EASEMENT. NO PERMANENT BUILDINGS SHALL BE PLACED IN SAID EASEMENT, BUT SAME MAY BE USED FOR SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS.  
ORD. 2002-09-05 523

CONTROL POINT ENGINEERING LLC  
1240 LYON ROAD  
BATAVIA, IL 60810  
PHONE: (630) 482-2341

CLIENT: THE PAULS CORPORATION  
270 SAINT PAUL ST.  
DENVER, CO 80202

PLAT OF RESUBDIVISION  
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES

PLA



**EXHIBIT "F"**

**PUD DEVIATIONS**

<b>Table 17.12-2 Residential District Bulk Requirements – RS-4 District</b>	
<b>Minimum Lot Area</b>	5,200 sq. ft.
<b>Minimum Lot Width</b>	52 ft.
<b>Maximum Building Coverage</b>	38.5%
<b>Minimum Interior Side Yard</b>	6 ft.

**EXHIBIT "G"**

**SUMMARY OF MONOTONY CODE REGULATIONS**

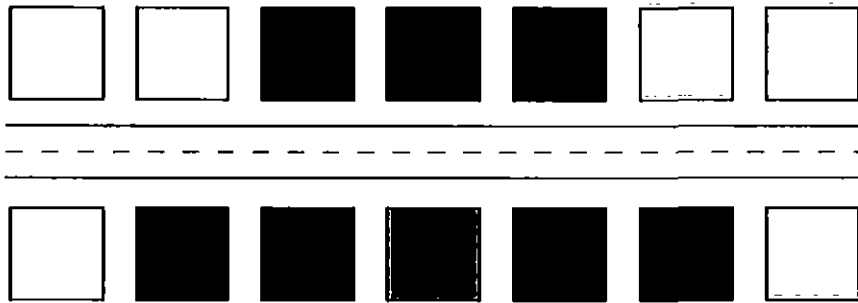


# CORPORATE RESERVE ANTI-MONOTONY STANDARDS

## I. Single Family Detached Community

- a. No house shall have the same configuration or the same color package that is within two (2) houses on either side or on any of the three (3) houses most directly across the street from the subject house except in the event lot lines do not match up or are "staggered" across from a subject house, in which event only 2 lots directly across the street shall be restricted.

### CORPORATE RESERVE MONOTONY RESTRICTIONS



## II. Definitions:

- a. Configuration - a combination of product type, elevation, exterior fenestration (siding or stone) and color package.
- b. Color Package - a combination of siding, stone, trim/gutter, accent, and roof colors incorporated into the exterior color fenestration of a single house.

State of Illinois )  
 )  
Counties of Kane and DuPage ) ss.

## Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

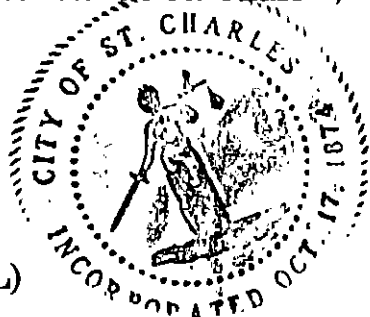
I further certify that on January 19, 2016, the Corporate Authorities of such municipality passed and approved Ordinance No. 2016-Z-2, entitled

"Motion to approve an Ordinance Amending Ordinance No. 2008-Z-18 (Corporate Reserve of St. Charles PUD) and Granting Approval of a Map Amendment, New Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Lot 8 – The Corporate Reserve of St. Charles."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2016-Z-2, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on January 25, 2016, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 19<sup>th</sup> day of January, 2016.



(S E A L)

*Nancy Garrison*  
Municipal Clerk





**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 4f

Title: Recommendation to Approve and Execute an Acceptance Resolution for Public Watermain, Sanitary Sewer and Storm Sewer and Appurtenances Located in Easements at 1200 Rukel Way in the Kirk Road St. Charles Subdivision.

Presenter: Chris Bong, P.E.

Meeting: Planning & Development Committee

Date: November 14, 2016

Proposed Cost: \$0

Budgeted Amount: \$

Not Budgeted:

**Executive Summary** *(if not budgeted please explain):*

Public watermain, sanitary sewer and storm sewer and appurtenances were constructed to service the improvements for AJR Filtration at 1200 Rukel Way. Said utilities have undergone and passed all required testing and inspection, and are found to be acceptable. The Development Engineering Division has received all required documents including utility easements and as-built drawings depicting the locations of said public improvements.

**Attachments** *(please list):*

- Acceptance Resolution
- Bill of Sale
- Exhibit "A"

**Recommendation/Suggested Action** *(briefly explain):*

Staff recommends approval and execution of an acceptance resolution for public watermain, sanitary sewer and storm sewer and appurtenances located in easements at 1200 Rukel way in the Kirk Road St. Charles Subdivision.

(Watermain, Sanitary Sewer, Storm Sewer)

**City of St. Charles  
Kane and DuPage Counties**

**ACCEPTANCE RESOLUTION**

**Subdivision Name:** **Kirk Road St. Charles Subdivision**

**Whereas** Rukel Management LLC, the Developer of Kirk Road St. Charles Subdivision, entered into a contract with Meridian Design Build LLC., for the construction of public watermain, sanitary sewer and storm sewer and appurtenances in easements at 1200 Rukel Way as described in the attached exhibits in the aforesaid Subdivision; and

**Whereas**, the Contractor has constructed the public watermain, sanitary sewer and storm sewer and appurtenances in accord with the plans and specifications, as revised, heretofore approved by the City of St. Charles; and

**Whereas**, the public watermain, sanitary sewer and storm sewer and appurtenances have been inspected by the Engineer for the sub divider and by a representative for the City of St. Charles and are found to be satisfactory;

**Now, Therefore, Be It Resolved** by the City Council of St. Charles, that said Council hereby approves and accepts the public watermain, sanitary sewer and storm sewer and appurtenances. It being understood that this acceptance and/or approval in no way relieves the Contractor of his Surety of any obligation for maintenance for a period of one (1) year as provided for in said Contract.

**Passed** by the City Council of the City of St. Charles, this 21st day of November, 2016, and APPROVED by the Mayor of said City of St. Charles, this 21st day of November, 2016.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

**BILL OF SALE**

KNOW ALL MEN BY THESE PRESENTS, that Rukel Management LLC ("Seller"), in consideration of One (\$1.00) Dollar and other good and valuable consideration, does hereby grant, sell, transfer and deliver unto the CITY OF ST. CHARLES, an Illinois municipal corporation in Kane County, Illinois, ("City") the following goods, chattels or other items of personal property, to wit:

ONE: Each and every part of a Water, Storm, Sanitary System and Appurtenances, as fully described in a certain set of plans and specifications attached hereto and incorporated herein as Exhibit "A".

TWO: The object of this Bill of Sale is to grant, sell, transfer and deliver to the CITY, with the exceptions noted, the ownership in all items of personalty, which comprise the Water, Storm, Sanitary System and Appurtenances by SELLER to date within the CITY.

SELLER does hereby covenant and warrant to the CITY that SELLER is the lawful owner of the aforescribed goods, chattels and personalty; that such items are free and clear from all encumbrances; that SELLER has the absolute right to sell the same as aforesaid; and that SELLER warrants and will defend the same against the claims and demands of all persons; and that the execution of this Bill of Sale is an authorized act of said SELLER.

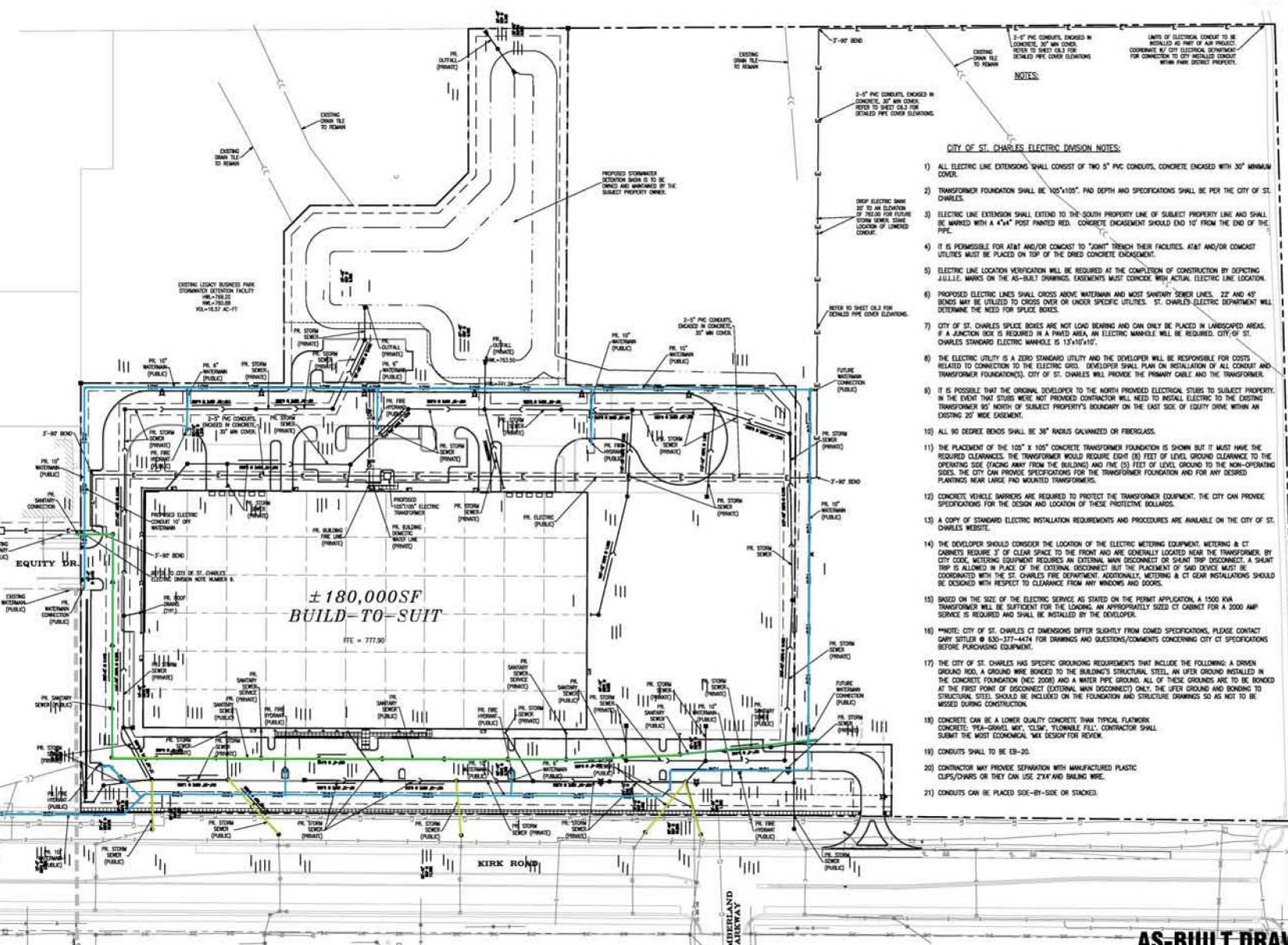
IN WITNESS WHEREOF, SELLER has signed and sealed this Bill of Sale at \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

(SELLER)

BY: \_\_\_\_\_

ATTEST:

\_\_\_\_\_



- CITY OF ST. CHARLES ELECTRIC DIVISION NOTES:**
- 1) ALL ELECTRIC LINE EXTENSIONS SHALL CONSIST OF TWO 5" PVC CONDUITS, CONCRETE ENCASED WITH 30" MINIMUM COVER.
  - 2) TRANSFORMER FOUNDATION SHALL BE 105"X105". PAD DEPTH AND SPECIFICATIONS SHALL BE PER THE CITY OF ST. CHARLES.
  - 3) ELECTRIC LINE EXTENSION SHALL EXTEND TO THE SOUTH PROPERTY LINE OF SUBJECT PROPERTY LINE AND SHALL BE MARKED WITH A 4"x4" POST PAINTED RED. CONCRETE ENGAGEMENT SHOULD END 10' FROM THE END OF THE PIPE.
  - 4) IT IS PERMISSIBLE FOR AT&T AND/OR COMCAST TO "JOINT" TRENCH THEIR FACILITIES. AT&T AND/OR COMCAST UTILITIES MUST BE PLACED ON TOP OF THE DRIED CONCRETE ENGAGEMENT.
  - 5) ELECTRIC LINE LOCATION VERIFICATION WILL BE REQUIRED AT THE COMPLETION OF CONSTRUCTION BY DEPICING ALL U.L.E. MARKS ON THE AS-BUILT DRAWINGS. EASEMENTS MUST COINCIDE WITH ACTUAL ELECTRIC LINE LOCATION.
  - 6) PROPOSED ELECTRIC LINES SHALL CROSS ABOVE WATERMAIN AND MOST SANITARY SEWER LINES. 22" AND 45" BENDS MAY BE UTILIZED TO CROSS OVER OR UNDER SPECIFIC UTILITIES. ST. CHARLES ELECTRIC DEPARTMENT WILL DETERMINE THE NEED FOR SPLICE BOXES.
  - 7) CITY OF ST. CHARLES SPLICE BOXES ARE NOT LOAD BEARING AND CAN ONLY BE PLACED IN LANDSCAPED AREAS. IF A JUNCTION BOX IS REQUIRED IN A PAVED AREA, AN ELECTRIC MANHOLE WILL BE REQUIRED. CITY OF ST. CHARLES STANDARD ELECTRIC MANHOLE IS 15"x10"x10".
  - 8) THE ELECTRIC UTILITY IS A ZERO STANDARD UTILITY AND THE DEVELOPER WILL BE RESPONSIBLE FOR COSTS RELATED TO CONNECTION TO THE ELECTRIC GRID. DEVELOPER SHALL PLAN ON INSTALLATION OF ALL CONDUIT AND TRANSFORMER FOUNDATION(S). CITY OF ST. CHARLES WILL PROVIDE THE PRIMARY CABLE AND THE TRANSFORMER.
  - 9) IT IS POSSIBLE THAT THE ORIGINAL DEVELOPER TO THE NORTH PROVIDED ELECTRICAL STUDS TO SUBJECT PROPERTY. IN THE EVENT THAT STUDS WERE NOT PROVIDED CONTRACTOR WILL NEED TO INSTALL ELECTRIC TO THE EXISTING TRANSFORMER 80' NORTH OF SUBJECT PROPERTY'S BOUNDARY ON THE EAST SIDE OF EQUITY DRIVE WITH AN EXISTING 20" WIDE EASEMENT.
  - 10) ALL 90 DEGREE BENDS SHALL BE 36" RADIUS GALVANIZED OR FIBERGLASS.
  - 11) THE PLACEMENT OF THE 105" X 105" CONCRETE TRANSFORMER FOUNDATION IS SHOWN BUT IT MUST HAVE THE REQUIRED CLEARANCES. THE TRANSFORMER WOULD REQUIRE EIGHT (8) FEET OF LEVEL GROUND CLEARANCE TO THE OPERATING SIDE (FACING AWAY FROM THE BUILDING) AND FIVE (5) FEET OF LEVEL GROUND TO THE NON-OPERATING SIDES. THE CITY CAN PROVIDE SPECIFICATIONS FOR THE TRANSFORMER FOUNDATION AND FOR ANY DESIRED PLANTINGS NEAR LARGE PAD MOUNTED TRANSFORMERS.
  - 12) CONCRETE VEHICLE BARRIERS ARE REQUIRED TO PROTECT THE TRANSFORMER EQUIPMENT. THE CITY CAN PROVIDE SPECIFICATIONS FOR THE DESIGN AND LOCATION OF THESE PROTECTIVE BOLLARDS.
  - 13) A COPY OF STANDARD ELECTRIC INSTALLATION REQUIREMENTS AND PROCEDURES ARE AVAILABLE ON THE CITY OF ST. CHARLES WEBSITE.
  - 14) THE DEVELOPER SHOULD CONSIDER THE LOCATION OF THE ELECTRIC METERING EQUIPMENT. METERING & CT CABINETS REQUIRE 3' OF CLEAR SPACE TO THE FRONT AND ARE GENERALLY LOCATED NEAR THE TRANSFORMER. BY CITY CODE, METERING EQUIPMENT REQUIRES AN EXTERNAL MAIN DISCONNECT OR SHUNT TRIP DISCONNECT. A SHUNT TRIP IS ALLOWED IN PLACE OF THE EXTERNAL DISCONNECT BUT THE PLACEMENT OF SHUNT DEVICE MUST BE COORDINATED WITH THE ST. CHARLES FIRE DEPARTMENT. ADDITIONALLY, METERING & CT GEAR INSTALLATIONS SHOULD BE DESIGNED WITH RESPECT TO CLEARANCE FROM ANY WINDOWS AND DOORS.
  - 15) BASED ON THE SIZE OF THE ELECTRIC SERVICE AS STATED ON THE PERMIT APPLICATION, A 1500 KVA TRANSFORMER WILL BE SUFFICIENT FOR THE LOADING. AN APPROPRIATELY SIZED CT CABINET FOR A 2000 AMP SERVICE IS REQUIRED AND SHALL BE INSTALLED BY THE DEVELOPER.
  - 16) \*NOTE: CITY OF ST. CHARLES CT DIMENSIONS DIFFER SLIGHTLY FROM COMED SPECIFICATIONS. PLEASE CONTACT GARY SUTTLER @ 630-377-4474 FOR DRAWINGS AND QUESTIONS/COMMENTS CONCERNING CITY CT SPECIFICATIONS BEFORE PURCHASING EQUIPMENT.
  - 17) THE CITY OF ST. CHARLES HAS SPECIFIC GROUNDING REQUIREMENTS THAT INCLUDE THE FOLLOWING: A DRIVEN GROUND ROD, A GROUND WIRE BONDED TO THE BUILDING'S STRUCTURAL STEEL, AN UFER GROUND INSTALLED IN THE CONCRETE FOUNDATION (NEC 2008) AND A WATER PIPE GROUND. ALL OF THESE GROUNDS ARE TO BE BONDED AT THE FIRST POINT OF DISCONNECT (EXTERNAL MAIN DISCONNECT) ONLY. THE UFER GROUND AND BONDING TO STRUCTURAL STEEL SHOULD BE INCLUDED ON THE FOUNDATION AND STRUCTURE DRAWINGS SO AS NOT TO BE MISSED DURING CONSTRUCTION.
  - 18) CONCRETE CAN BE A LOWER QUALITY CONCRETE THAN TYPICAL PLATFORM CONCRETE. PEA-GRAVEL MIX, CLASS, FLOWABLE FILL. CONTRACTOR SHALL SUBMIT THE MOST ECONOMICAL MIX DESIGN FOR REVIEW.
  - 19) CONDUITS SHALL TO BE EB-20.
  - 20) CONTRACTOR MAY PROVIDE SEPARATION WITH MANUFACTURED PLASTIC CLIPS/CHARS OR THEY CAN USE 2X4 AND BAULING WIRE.
  - 21) CONDUITS CAN BE PLACED SIDE-BY-SIDE OR STACKED.

No.	Description	Date
7	REVISION PER CONTRACTOR	3/16/16
8	REVISION PER LOCATIONS	3/29/16
4	PER CITY COMMENTS	10/2/15
4	PER CITY & ADOT COMMENTS	10/16/15
3	PER PLANE DOT COMMENTS	9/29/15
2	PER CITY COMMENTS	9/16/15
1	ORIGINAL PLAN DATE	7/17/15

**OVERALL UTILITY PLAN**  
**180,000 SF BUILD-TO-SUIT**  
**VENTURE ONE REAL ESTATE, LLC.**  
**ST. CHARLES, ILLINOIS**

**JACOB & HEFNER ASSOCIATES**  
 1818 S. Highland Avenue, Suite 108, Lombard, IL 60148  
 PHONE: (630) 652-6686, FAX: (630) 652-6681  
 www.jacobandhefner.com



**AS-BUILT DRAWINGS**  
**10/17/2016**

D524j  
 1" = 60'  
 C6.0





**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: 4g

Title:

Recommendation to approve a Minor Change to PUD Preliminary Plan for 2670 W. Main St. (Aldi)

Presenter:

Ellen Johnson

Meeting: Planning & Development Committee

Date: November 14, 2016

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

**Executive Summary** *(if not budgeted please explain):*

Thomas Strehmann of Aldi Inc. is proposing changes to the Aldi Food Store on W. Main St. in connection with a building expansion project. The property is located in the Pine Ridge Park PUD and is subject to Ordinance 2006-Z-4. The development plans for Aldi were approved under Ordinance 2006-Z-18. The building was completed in 2007.

The following changes to the site are proposed:

- 2,008 sf building expansion on the east wall. The wall will be moved out 17 ft. to the east.
- The drive aisle parallel to the east wall will be shifted east, resulting in a loss of three (3) parking spaces (from 79 to 76 spaces).
- Required landscaping will be provided in the relocated landscape areas.
- Redesigned front entry.
- Elimination of the standing seam metal roof around the building to straighten the roofline.
- Rooftop screening of mechanical equipment.

Staff has reviewed the submitted plans and determined the proposal complies with all applicable standards of the Pine Ridge Park PUD Ordinance and the Zoning Ordinance.

**Attachments** *(please list):*

Application for Minor Change, Plans, Site Plan & Elevations approved under Ordinance 2006-Z-18.

**Recommendation/Suggested Action** *(briefly explain):*

Recommendation to approve a Minor Change to PUD Preliminary Plan for 2670 W. Main St. (Aldi)

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**MINOR CHANGE TO PUD APPLICATION**

<b>For City Use</b>	
Project Name:	<u>Aldi - 2670 W. Main St.</u>
Project Number:	<u>2016</u> -PR- <u>016</u>
Application No.	<u>2016</u> -AP- <u>037</u>



*Instructions:*

*A Minor Change to PUD is one that modifies an approved PUD Preliminary Plan in a manner that complies with all standards of the Special Use for PUD Ordinance applicable to the property and meets the definition of a Minor Change as contained either in Section 17.04.430 of the Zoning Ordinance or the Special Use for PUD Ordinance.*

*To request approval of a Minor Change, complete this application and submit it with all required attachments to the Planning Division. When the application is complete, City staff will schedule a review by the Planning and Development Committee of the City Council. The Committee's recommendation will be forwarded to the City Council for final action.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: <b>2670 W. Main Street</b>	
	Parcel Number (s): <b>10 &amp; 11</b>	
	PUD Name: <b>Pine Ridge Park PUD</b>	
<b>2. Applicant Information:</b>	Name Thomas Strehmann	Phone (630) 742-9272
	Address 1200 N Kirk Road Batavia, IL 60510	Fax
		Email tom.strehmann@aldi.us
<b>3. Record Owner Information:</b>	Name ALDI Inc	Phone (630) 761-2423
	Address 1200 N Kirk Road Batavia, IL 60510	Fax (630) 879-8152
		Email tom.strehmann@aldi.us

**Information for proposed Minor Change:**

Name of PUD: Pine Ridge Park PUD

PUD Ordinance Number: 2006-Z-4

Ord. or Resolution(s) that approved the current plans: 2006-Z-18

**Identify Specific PUD Plans to be changed:**

- Site/Engineering Plan
- Landscape Plan
- Architectural Elevations
- Signs
- Other plans: \_\_\_\_\_

**Description of Proposed Changes:**

+/- 2,000 SF building expansion on the short wall side of ALDI store located at 2670 W. Main Street. New front entry and building signage to provide an improved look to meet ALDI's latest facade criteria.

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$200)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

❑ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

❑ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

❑ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

❑ **COVER LETTER:** Letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Please contact the Planning Division to determine if full size copies of plans are needed. For simple applications, provide one full scale plan set, three (3) 11" x 17" copies (in color if applicable), and a PDF file on CD-ROM or emailed to the Project Manager.

**Plans shall include the following, depending on the scope of the proposed Minor Change:**

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- Additional information may be necessary depending on the specific change proposed.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

ALDI Inc.

11/4/16

Record Owner

Date

  
Applicant or Authorized Agent

  
Date





**Engineering, LLC**  
Civil Engineering • Real Estate Consulting • Project Management

975 E. 22<sup>nd</sup> Street, Suite 400  
Wheaton IL 60189  
630.480.7889  
[www.rwg-engineering.com](http://www.rwg-engineering.com)

November 3, 2016

File : 253-097-16

ALDI FOOD STORE EXPANSION  
2670 Main Street, St. Charles, IL

Minor Change to the PUD

In order to bring the St. Charles Aldi Food store up to current Aldi standards and to provide an ability to market a wider variety of product to its' customers, Aldi desires to enlarge their existing food store located at 2670 Main Street in St. Charles. The proposed store expansion moves the east wall of the building approximately 17.33' eastward, allowing for an approximate 2,008 SF building expansion. Combined with the existing 16,279 SF existing building, the resultant facility is roughly 18,287 SF in size. The expansion basically trades existing pavement for new building footprint, reducing the site greenspace by only about 73 SF, which will not trigger any change in stormwater management detention criteria. The northern entrance driveway will be slightly narrower to better direct traffic flow in front of the building expansion. The parking stall count is reduced by 3 stalls, leaving a total site count of 76 stalls which conforms to Aldi and City criteria (4.15 stalls / 1,000 SF gross). The bulk of the parking lot remains as existing. Architecturally, the building will receive a new front entry and new building signage, providing an improved look that meets Aldi's latest façade criteria. Overall, the proposed project will result in an enhancement to the shopping experience for St. Charles residents.

REVISIONS	DATE	BY	CHK

**ALDI INC. - STORE #43**  
ST. CHARLES, ILLINOIS  
SITE PLAN

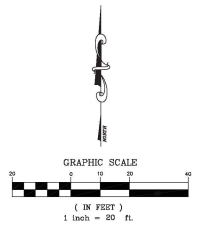


975 E. 22nd St, Suite 400  
Whitewater, IL 60189  
RWG Engineering, LLC  
Professional Engineer  
www.rwg-engineering.com

**RWG Engineering, LLC**  
Civil Engineering & Real Estate Consulting, Inc. Professional Engineer

PROJECT NO. 2302215  
DATE: 10/12/15  
SCALE: 1"=20'  
PROJ. MGR: MSK  
PROJ. ASSOC: EMS  
DRAWN BY: JLM

SHEET  
1 OF 1



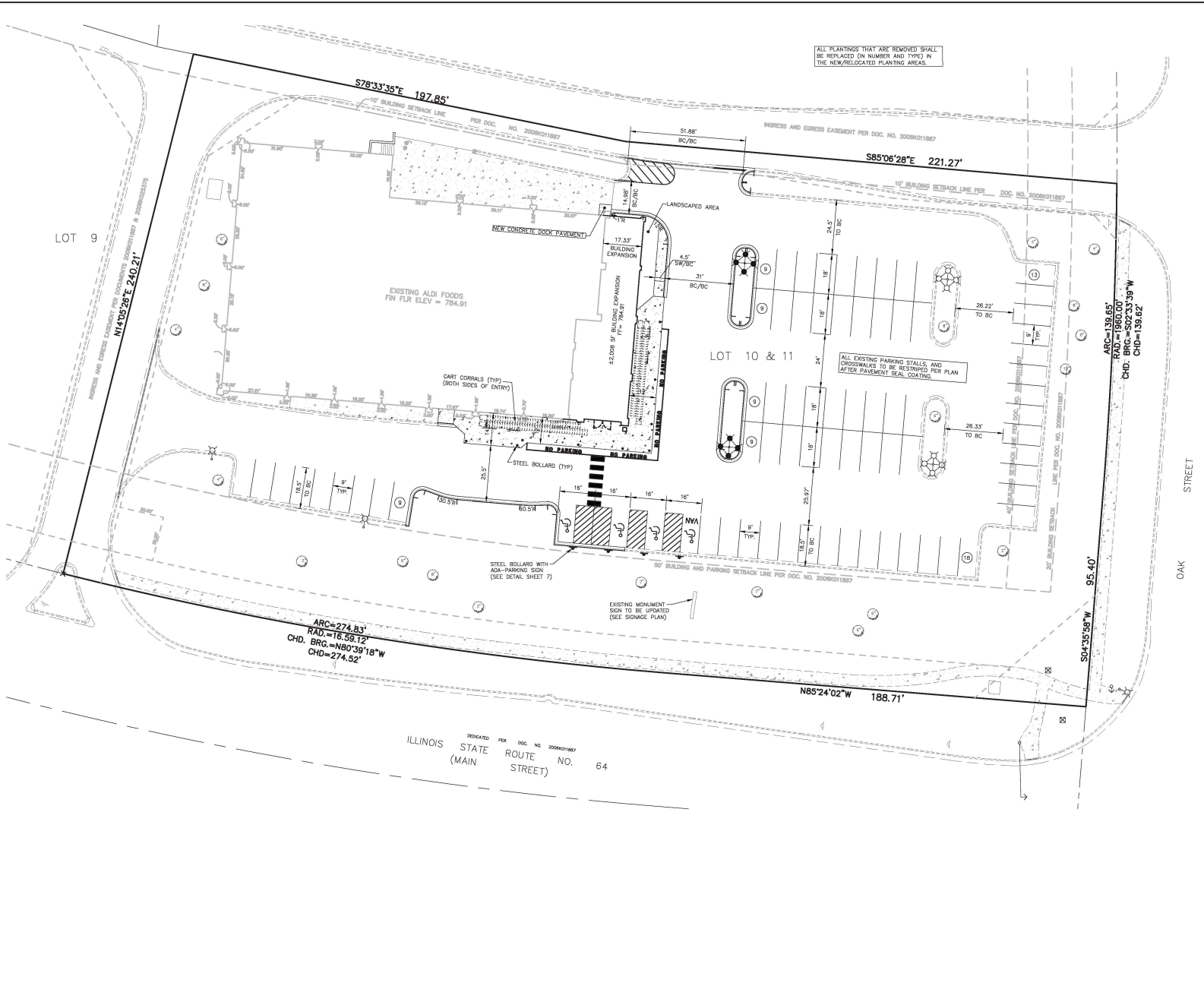
**ABBREVIATIONS LEGEND:**

EX	=	EXISTING
PR	=	PROPOSED
BC	=	BACK OF CURB
FC	=	FACE OF CURB
EP	=	EDGE OF PAVEMENT
PL	=	PROPERTY LINE
FB	=	FACE OF BUILDING
ROW	=	RIGHT OF WAY
BC/BC	=	BACK OF CURB TO BACK OF CURB
SW	=	SIDEWALK
R	=	RADIUS
(TYP)	=	TYPICAL

**SITE DATA:**

TOTAL LOT SIZE	=	105,257 S.F. (2.42 AC)
EXISTING ZONING	=	BC
<b>EXISTING SITE CONDITIONS:</b>		
EXISTING BUILDING FOOTPRINT	=	16,279 S.F. (15,475)
EXISTING PAVT./SIDEWALK	=	53,726 S.F. (51,045)
EXISTING GREENSPACE	=	35,252 S.F. (33,495)
EXISTING CONDITION IMPERVIOUS AREA	=	70,005 S.F. (1.61 AC)
<b>PROPOSED SITE CONDITIONS:</b>		
PROPOSED BUILDING FOOTPRINT	=	18,277 S.F. (17,365)
PROPOSED PAVT./SIDEWALK	=	(2,143 NET S.F.)
PROPOSED GREENSPACE	=	51,801 S.F. (49,222)
PROPOSED CONDITION IMPERVIOUS AREA	=	70,078 S.F. (1.61 AC)
<b>EXISTING PARKING SUMMARY:</b>		
REGULAR STALLS	=	76
ADA ACCESSIBLE STALLS	=	76
TOTAL STALLS	=	152
<b>PROPOSED PARKING SUMMARY:</b>		
REGULAR STALLS	=	72
ADA ACCESSIBLE STALLS	=	4
TOTAL STALLS PROVIDED	=	76 (4.16/7,000 SF)

ALL PLANTINGS THAT ARE REMOVED SHALL BE REPLACED (IN NUMBER AND TYPE) IN THE NEW/RELOCATED PLANTING AREAS.



OAK STREET

STREET

ILLINOIS STATE ROUTE NO. 64  
(MAIN STREET)

Issued:	Date:
A	Issued for Client Review 09/02/16
B	Issued for Client Review 09/06/16
C	Issued for Client Review 09/14/16
D	Issued for Client Review 10/19/16
E	Issued for Client Review 11/07/16

Revisions:	Date:
1	
2	
3	
4	
5	
6	
7	
8	
9	

Seal PROJECT ARCHITECT/ENGINEER DATE

PROJECT LEAD DATE

PROJECT DESIGNER DATE

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APD Engineering & Architecture, PLLC

Drawing Attention  
It is a violation of law for any person, unless acting under the direction of a Licensed Architect, Professional Engineer, Landscape Architect or Land Surveyor to alter any item on this document in any way. Any person who alters this document is required by law to affix his or her seal and to add the notation "Altered By" followed by his or her signature and the specific description of the alteration or revision.

**DO NOT SCALE PLANS**

Coping, Printing, Software and other processes required to produce these plans can stretch or skew the actual paper or layout. Therefore, scaling of this drawing may be inaccurate. Contact APD Engineering with any need for additional dimensions or clarifications.



**APD ENGINEERING & ARCHITECTURE, PLLC**  
615 Fishers Run  
Victor, NY 14564  
585.742.2222  
585.924.4914 fax  
www.apd.com



1200 N. Kirk Road  
Bartonsville, IL 60110  
(815) 742-1500  
(815) 742-1501 fax

ALDI Inc. Store #: 43  
St. Charles, IL  
2670 West Main Street  
St. Charles, IL 60175  
Kane County  
Project Name & Location:

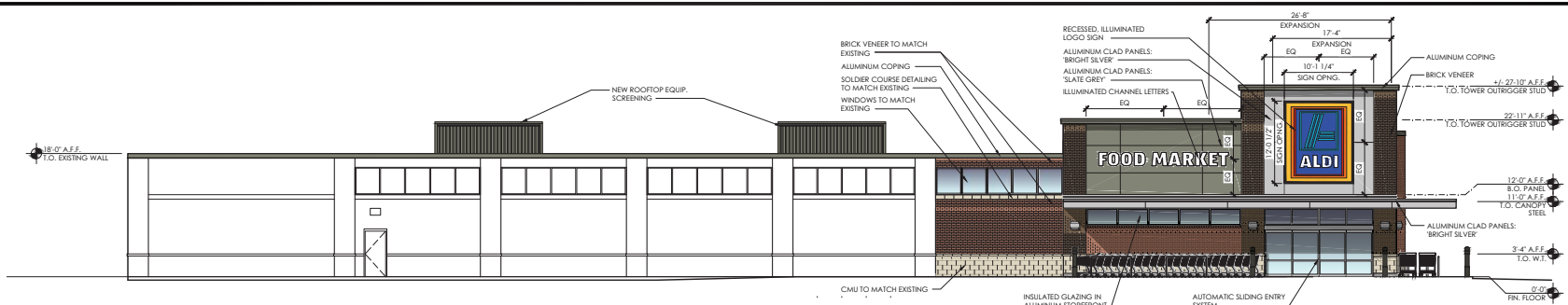
V2.0 93 x 156  
SW Expansion  
Drawing Name:

Project No.  
Date: 07/14/16  
16-0248A

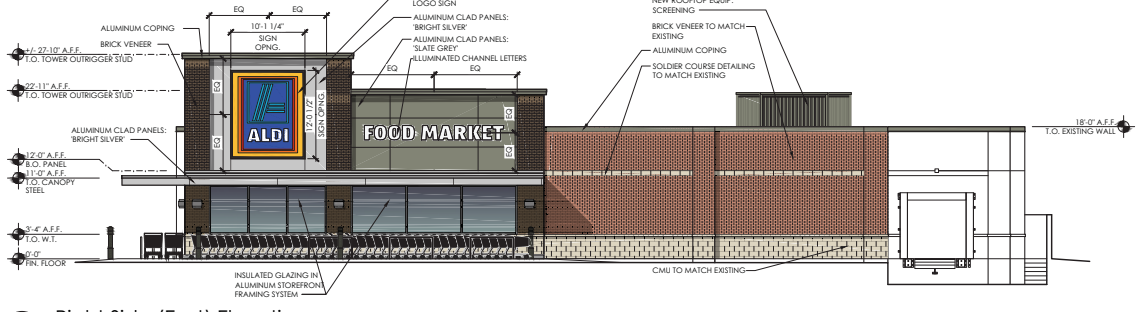
Type: V2.07  
Project No.  
Date: 07/14/16  
16-0248A

Drawn By: MJH  
Project No.  
Date: 07/14/16  
16-0248A

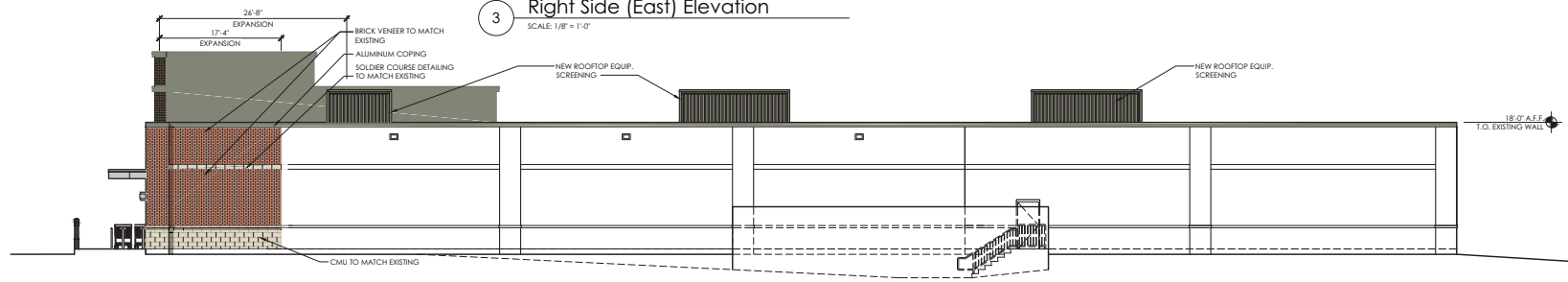
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Date: 07/14/16  
16-0248A



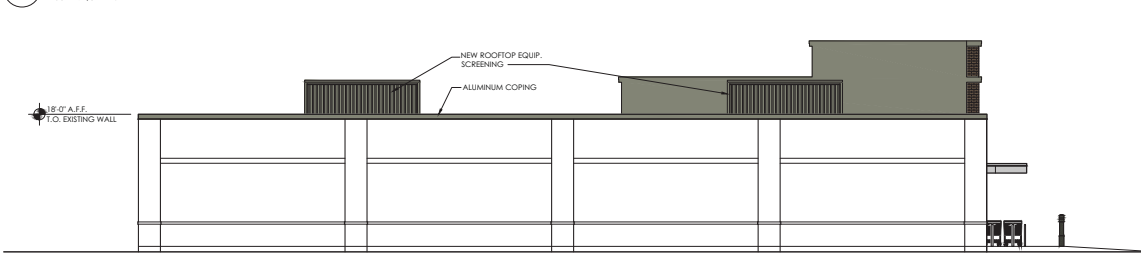
4 Front (South) Elevation  
SCALE: 1/8" = 1'-0"



3 Right Side (East) Elevation  
SCALE: 1/8" = 1'-0"



2 Rear (North) Elevation  
SCALE: 1/8" = 1'-0"



1 Left Side (West) Elevation  
SCALE: 1/8" = 1'-0"

DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	120.7	241.4
FOOD MARKET SIGN	2	38.1	76.2
TOTAL SIGNAGE			317.6

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL.

Please note that the colors shown here are a graphical representation to show contrast in materials only. Due to the nature of electronic media, colors may vary depending on computer or printer used.

For review of actual colors, a material sample board should be created on a project specific basis.

PLOTTED: 11/7/2016 10:50 AM





Elevations approved under  
Ordinance 2006-Z-18

**EXTERIOR FINISH SCHEDULE:**

SHIRT ROOF & METAL COPING: COPPER FINISH BY FAC CLAD & TYP CLAD

STONE BASE COURSES: INTEGRAL COLOR SANDSTONE @ 8" BY INTERMOUNT INTEGRAL DRY-LOCK

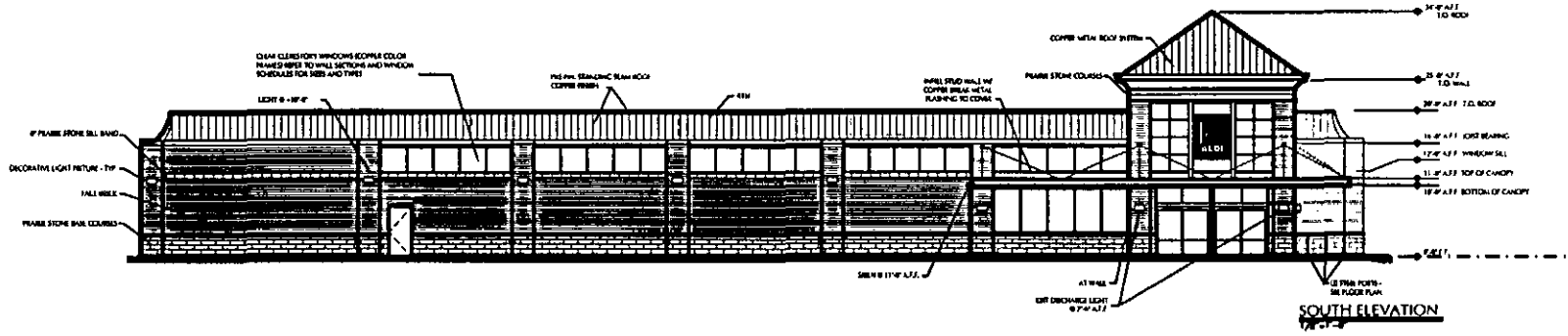
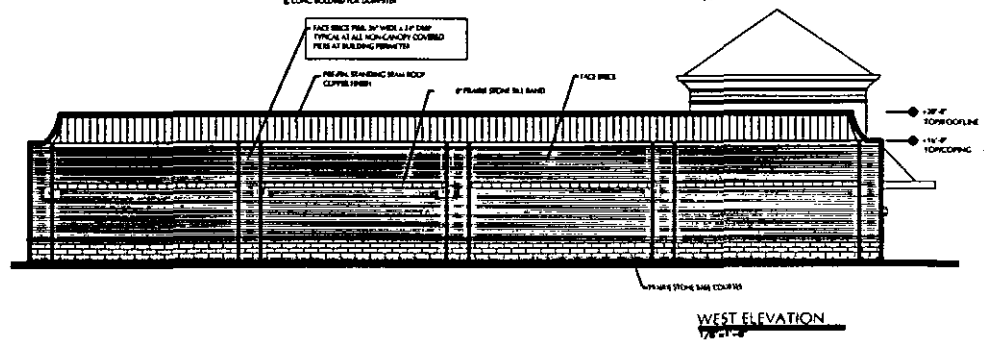
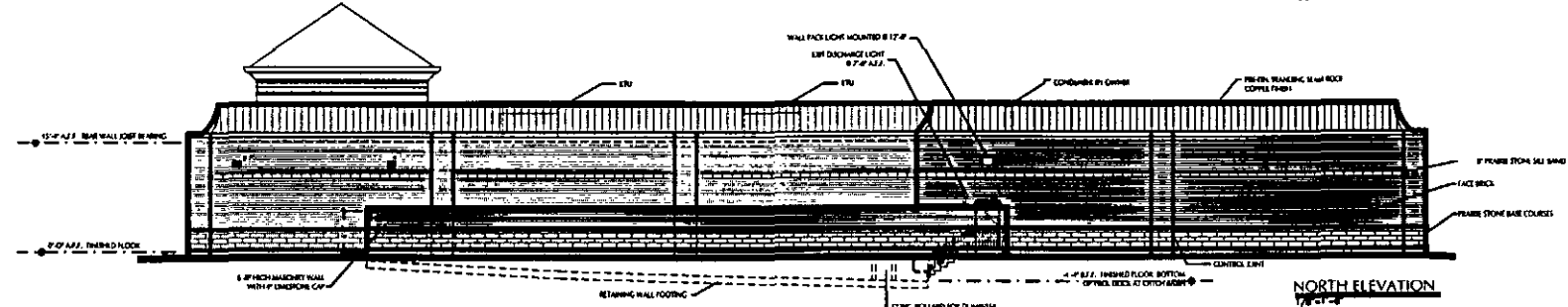
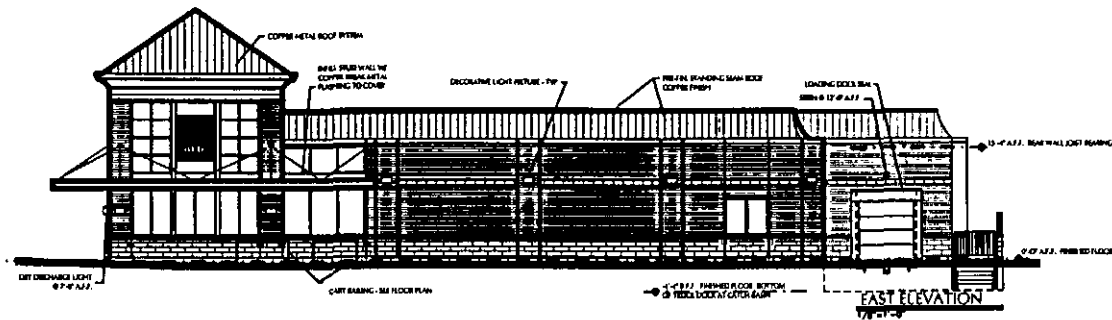
FACE BRICK: MANGO MED RUTILITY SIZE BY WILSON BRICK

METAL: BY HOLLOW-LIGHT SUPPLY # 7 BY HOLLOW

STONE FRONT: ANGIOZED METAL

CLARK:

(1) PPG GRAY LOW "E" INSULATED UNIT  
(2) CLEAR INSULATED UNIT, 1/2" LOW "E" COATING  
(3) CLEAR TEMPERED 1/4" FLOAT  
(4) INSULATED UNIT-BRICK BOND TO HAVE WHITE LAMINATED PANEL



AAI

ARCHITECTURAL ASSOCIATES, INC.

1000 N. WASHINGTON ST., SUITE 200, CHICAGO, IL 60610

TEL: 312.467.1000 FAX: 312.467.1001

WWW.AAI-ARCHITECTS.COM

ALDI

St. Charles, Illinois

1	ARCHITECT
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AAI

CHICAGO, ILLINOIS