

**Please practice social distancing while attending this meeting.
If social distancing is not possible please wear a mask.**

**AGENDA
ST. CHARLES CITY COUNCIL MEETING
RAYMOND P. ROGINA, MAYOR
MONDAY, DECEMBER 7, 2020 – 7:00 P.M.
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

- 1. Call to Order.**
- 2. Roll Call.**
- 3. Invocation.**
- 4. Pledge of Allegiance.**
- 5. Presentations**
- 6. Omnibus Vote. Items with an asterisk (*)** are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.
- *7.** Motion to accept and place on file minutes of the regular City Council meeting held November 16, 2020.
- *8.** Motion to approve and authorize issuance of vouchers from the Expenditure Approval List for the period of 11/2/2020-11/15/2020 in the amount of \$1,555,979.43.

I. New Business

- A.** Recommendation to approve an **Ordinance** Confirming and Extending a Declared State of Emergency within the City of St. Charles Due to the COVID-19 Pandemic until the next regularly scheduled City Council Meeting.
- B.** Motion to approve an agreement with Gartner Consulting to provide information technology research and consulting services for \$42,200.
- C.** Public Hearing – Proposed 2020 Property Tax Levy – City Operating Levy.
- D.** Motion to approve an **Ordinance** Levying Taxes for the 2020 Levy Year for the City of St. Charles.

- E. Public Hearing – Proposed 2020 Property Tax Levy – Special Service Areas.
- F. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 1A (Central Business District).
- G. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 1B (Downtown District).
- H. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 5 (Central Manufacturing District).
- I. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 6 (Cambridge East).
- J. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 7 (Central Manufacturing District).
- K. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 10 (Royal Fox I).
- L. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 13 (Red Gate).
- M. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 21. (Foxfield Commercial Construction and Common Area)
- N. Motion to approve an **Ordinance** for the Levy and Assessment of Taxes for the Year 2020 in and for the City of St. Charles Special Service Area Number 57 (Legacy Business Center)
- O. Public Hearing – Proposed Annexation Agreement for Pride of Kane County.

II. Committee Reports

A. Government Operations

- *1. Motion to approve a Proposal for an A6 Liquor License Application for the 7-11 Mini-Mart and Gas Station, Located at 51 S. Randall Rd., St. Charles.
- *2. Motion to approve a Proposal for a B1 Liquor License Application for Knead Urban Eatery, Located at 131 S. 1st St., St. Charles
- *3. Motion to approve a Proposal for a B1 Liquor License Application for MOD Pizza Located at 845 S. Randall Road, St. Charles.

- *4. Motion to approve and place on file the minutes of the November 16, 2020 Government Operations Committee meeting.

B. Government Services

- *1. Motion to approve a **Resolution** authorizing the Mayor and City Clerk of the City of St. Charles to approve a Professional Services Agreement for the Wildrose Lift Station Replacement to Ciorba Group.
- *2. Motion to approve a **Resolution** authorizing the Mayor and City Clerk of the City of St. Charles to approve the hourly rates provided by Fehr Graham and Ciorba Group for the Master Engineering Service Agreement.
- *3. Motion to approve an **Ordinance** Authorizing Participation in the Renewable Energy Credit Sales Program of Illinois Municipal Electric Agency.
- *4. Motion to approve a **Resolution** authorizing the Mayor and City Clerk of the City of St. Charles to approve Permanent Easement for 711 Indiana Avenue.
- *5. Motion to approve a **Resolution** Authorizing the Mayor and City Clerk of the City of St. Charles to authorize the sale of one 2003 Seagrave Heavy Rescue Squad and its associated equipment to the open market.
- *6. Motion to approve a **Resolution** Authorizing the Mayor and City Clerk of the City of St. Charles to approve a License Agreement with Earth Networks to Permit Installation of the WGN "WeatherBug" Camera and Weather System.
- *7. Motion to approve an Ordinance Amending Title 6 "Animals", Chapter 6.04 "Definitions", Section 6.04.040 "Animal Control Officer", Section 6.04.050 "Animal Under Constraint", Section 6.04.060 "Bite", Section 6.04.090 "Dangerous or Vicious Animal", Section 6.04.120 "Impoundment Day", Section 6.04.190 "Stray Animal", Section 6.04.210 "Physical Injury", Section 6.04.220 "Serious Physical Injury", and Section 6.04.230 "Vicious Dog (or Animal)" of the City of St. Charles Municipal Code.
- *8. Motion to approve an **Ordinance** Amending Title 6 "Animals", Chapter 6.08 "Administration and Enforcement", Section 6.08.010 "Authority Designated", Section 6.08.020 "Repository for Animals", Section 6.08.030 "Holding Periods – Designated", Section 6.08.060 "Schedule of Charges and Redemption of Impounded Animals", 6.08.080 "Redemption Fee", and Section 6.08.100 "Violation – Penalty", of the City of St. Charles Municipal Code.
- *9. Motion to approve an **Ordinance** Amending Title 6 "Animals", Chapter 6.12 "Regulations", Section 6.12.030 "Staking Out Unattended Animals", Section 6.12.120 "Animals Prohibited on School Premises and City Playgrounds", Section 6.12.140 "Dangerous and Vicious Animal – Impoundment and Disposal", and Section 6.12.150

“Animals Prohibited in Public Buildings and Stores”, of the City of St. Charles Municipal Code.

- *10. Motion to approve an **Ordinance** Amending Title 6 “Animals”, Chapter 6.20 “Cats”, Section 6.20.030 “Complaint Procedure”, and Section 6.20.060 “Apprehension of Cats Creating Danger to Public Safety”, of the City of St. Charles Municipal Code

C. Planning and Development

- 1. Motion to approve a **Resolution** Authorizing the Mayor and City Council to Enter Into a Certain Annexation Agreement (Pride of Kane County).
- 2. Motion to approve an **Ordinance** Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Pride of Kane County).
- 3. Motion to accept and place on file Plan Commission Resolution No. 15-2020 A Resolution Recommending Approval of a Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan for The Pride of Kane County (CIMA Developers LP).
- 4. Motion to approve an **Ordinance** Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for Pride of Kane County.
- *5. Motion to accept and place on file minutes of the November 9, 2020 Planning & Development Committee meeting.

9. Additional Items from Mayor, Council, Staff, or Citizens

- 1. Administrative
 - a. Fuel Tax Information September, 2020 – Information Only
 - b. Video Gaming Statistics October, 2020 – Information Only

10. Executive Session

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

11. Adjournment

**MINUTES FOR THE ST. CHARLES CITY COUNCIL MEETING
RAYMOND P. ROGINA, MAYOR
MONDAY, NOVEMBER 16, 2020 – 7:00 P.M.
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. **Call to Order** by Mayor Rogina at 7pm
2. **Roll Call**
Present – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Absent – None
3. **Invocation** by Ald. Payleitner
4. **Pledge of Allegiance** by Ald. Payleitner
5. **Presentations**
6. **Omnibus Vote. Items with an asterisk (*)** are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.
- *7. Motion by Ald. Stellato and seconded by Ald. Bessner to accept and place on file minutes of the regular City Council meeting held November 2, 2020 as amended.

In Favor – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – None
Absent –None
- *8. Motion by Ald. Stellato and seconded by Ald. Bessner to approve and authorize issuance of vouchers from the Expenditure Approval List for the period of 10/19/2020-11/1/2020 in the amount of \$2,174,094.27.

In Favor – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – None
Absent –None

I. New Business

- A. Motion by Ald. Payleitner and seconded by Ald. Silkaitis to approve an **Ordinance 2020-M-50** Confirming and Extending a Declared State of Emergency within the City of St. Charles Due to the COVID-19 Pandemic until the next regularly scheduled City Council Meeting.

In Favor – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – None
Absent –None

II. Committee Reports

A. Government Operations

None

B. Government Services

None

C. Planning and Development

1. Motion by Ald. Payleitner and seconded by Ald. Pietryla to approve A **Resolution 2020-106** Supporting an Amendment to the Intergovernmental Agreement with Kane County regarding Randall Road from IL64 to Dean Street.

In Favor – Stellato, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – Silkaitis
Abstain – None
Absent –None

2. Motion by Ald. Payleitner and seconded by Ald. Silkaitis to accept and place on file Plan Commission Resolution No. 17-2020 A Resolution Recommending Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for Munhall Glen (Court Airhart, Airhart Construction Corp.).

In Favor – Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – Stellato
Absent –None

3. Motion by Ald. Payleitner and seconded by Ald. Pietryla to approve An **Ordinance 2020-Z-29** Granting Approval of a Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan for Munhall Glen.

In Favor –Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – Stellato
Absent –None

- *4. Motion by Ald. Stellato and seconded by Ald. Bessner to accept and place on file Plan Commission Resolution No. 18-2020 A Resolution Recommending Approval of an Application for Special Use to amend the Kirk Trace PUD to allow an Electronic Changeable Copy sign (Cumberland Green Cooperative).

In Favor – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – None
Absent –None

- *5. Motion by Ald. Stellato and seconded by Ald. Bessner to approve An **Ordinance 2020-Z-28** Amending Ordinance No. 1988-Z-14 (Kirk Trace PUD) to permit an Electronic Changeable Copy Sign for Cumberland Green.

In Favor – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – None
Absent –None

- *6. Motion by Ald. Stellato and seconded by Ald. Bessner to Approve and Execute an Acceptance Resolution for Public Utilities for Baker Field Subdivision (912 S. 5th St.).

In Favor – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – None
Absent –None

7. Motion to approve An **Ordinance 2020-M-51** Authorizing Execution of a Real Estate Contract Between the City of St. Charles and Spillane and Sons, Inc. Regarding the Conveyance of 106 Moore Avenue. (Donation for Affordable Housing).

In Favor – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis
Opposed – None
Abstain – None
Absent –None

8. Additional Items from Mayor, Council, Staff, or Citizens

Mayor Rogina wishes everyone a safe and healthy Thanksgiving and reminds St. Charles to wear a mask, stay home if you don't have to be out, social distance, and to shop local this holiday season.

A. Executive Session

- Personnel –5 ILCS 120/2(c)(1)

- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

10. Adjournment motion by Ald. Bessner and seconded by Ald. Payleitner at 7:14pm

In Favor – Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Gruber, Vitek, Pietryla, Bessner, Lewis

Opposed – None

Abstain – None

Absent –None

Charles Amenta, City Clerk

CERTIFIED TO BE A TRUE COPY OF ORIGINAL

Charles Amenta, City Clerk

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

11/20/2020

**CITY OF ST CHARLES
COMPANY 1000
EXPENDITURE APPROVAL LIST**

11/2/2020 - 11/15/2020

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
114	DG HARDWARE	108130	31.73	11/04/2020	78866/F	MISC SUPPLIES
		108130	9.17	11/04/2020	78890/F	MISC SUPPLIES
		108130	8.25	11/12/2020	78898/F	LEVER FLUSH SIDE MOUNT
		DG HARDWARE Total		49.15		
139	AFLAC		19.80	11/06/2020	ACAN201106112516FI	AFLAC Cancer Insurance
			38.58	11/06/2020	ACAN201106112516PI	AFLAC Cancer Insurance
			137.66	11/06/2020	ACAN201106112516PV	AFLAC Cancer Insurance
			25.20	11/06/2020	ADIS201106112516FD	AFLAC Disability and STD
			22.85	11/06/2020	ADIS201106112516FN	AFLAC Disability and STD
			94.96	11/06/2020	ADIS201106112516PD	AFLAC Disability and STD
			78.94	11/06/2020	ADIS201106112516PV	AFLAC Disability and STD
			8.10	11/06/2020	AHIC201106112516FD	AFLAC Hospital Intensive Care
			33.84	11/06/2020	AHIC201106112516PV	AFLAC Hospital Intensive Care
			57.23	11/06/2020	APAC201106112516FI	AFLAC Personal Accident
			36.54	11/06/2020	APAC201106112516PI	AFLAC Personal Accident
			45.30	11/06/2020	APAC201106112516PV	AFLAC Personal Accident
			17.04	11/06/2020	ASPE201106112516PV	AFLAC Specified Event (PRP)
			22.06	11/06/2020	AVOL201106112516PI	AFLAC Voluntary Indemnity
			39.88	11/06/2020	AVOL201106112516PV	AFLAC Voluntary Indemnity
		AFLAC Total		677.98		
145	AIR ONE EQUIPMENT INC	109943	100.50	11/12/2020	161718	R&B FAB CYLI-STRAP
		AIR ONE EQUIPMENT INC Total		100.50		
159	ALFRED BENESCH AND COMPANY	108304	5,274.10	11/04/2020	168018	PROJECT BILLING
		ALFRED BENESCH AND COMPANY Total		5,274.10		
176	ALMETEK INDUSTRIES INC	110117	123.11	11/12/2020	248183	INVENTORY ITEMS

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
	ALMETEK INDUSTRIES INC Total		<u>123.11</u>			
221	ANDERSON PEST CONTROL		648.95	11/04/2020	6665456	MONTHLY BILLING
	ANDERSON PEST CONTROL Total		<u>648.95</u>			
231	MELINDA ANYON		19.00	11/12/2020	111120	PER DIEM DUI CLASS 11/13/20
	MELINDA ANYON Total		<u>19.00</u>			
233	AMERICAN PLANNING ASSOCIATION		769.00	11/12/2020	110920	APA MEMBERSHIP JOHNSON/C
	AMERICAN PLANNING ASSOCIATION Total		<u>769.00</u>			
279	ATLAS CORP & NOTARY SUPPLY CO		22.90	11/12/2020	110520	MICHAEL KARNATH NOTARY S
	ATLAS CORP & NOTARY SUPPLY CO Total		<u>22.90</u>			
282	ASSOCIATED TECHNICAL SERV LTD	108665	756.00	11/12/2020	33094	LEAK LOCATION 2871 E MAIN
	ASSOCIATED TECHNICAL SERV LTD Total		<u>756.00</u>			
298	AWARDS CONCEPTS	108187	51.47	11/12/2020	10575597	AWARDS WILLIAMS
		108187	187.67	11/12/2020	10575598	AWARDS PATEL
		108187	46.09	11/12/2020	10575599	AWARDS RODRIGUEZ
		108187	45.32	11/12/2020	10575613	AWARDS DAGOBERTO
	AWARDS CONCEPTS Total		<u>330.55</u>			
304	BACKGROUNDS ONLINE		579.70	11/12/2020	526158	BACKGROUND CHECKS
	BACKGROUNDS ONLINE Total		<u>579.70</u>			
305	BADGER METER INC	109760	7,398.30	11/04/2020	1396045	METERS
	BADGER METER INC Total		<u>7,398.30</u>			
372	BLUFF CITY MATERIALS	108200	2,785.00	11/04/2020	336451	DUMPS/IEPA FEES
	BLUFF CITY MATERIALS Total		<u>2,785.00</u>			

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
382	BOUND TREE MEDICAL LLC					
		109748	459.50	11/12/2020	83818551	INVENTORY ITEMS
		109973	799.75	11/12/2020	83820437	GOWN BLUE ISOLATION
	BOUND TREE MEDICAL LLC Total		<u>1,259.25</u>			
396	BROWNELLS INC					
		108251	504.94	11/12/2020	20013143.00	POLICE DEPT SUPPLIES/UNIFC
		108251	544.94	11/12/2020	20024946.00	POLICE DEPT SUPPLIES
		108251	100.95	11/12/2020	20030697.00	MAGAZINE GLOCK
	BROWNELLS INC Total		<u>1,150.83</u>			
424	ATLAN TECH RESELLERS INC					
		109982	1,604.93	11/12/2020	499968	FIBER PARCH CABLE & SUPPLI
	ATLAN TECH RESELLERS INC Total		<u>1,604.93</u>			
429	SEDGWICK CLAIMS					
		108233	500.00	11/12/2020	400000449994	11/5/20-2/4/21 UNEMPLOYMENT
	SEDGWICK CLAIMS Total		<u>500.00</u>			
457	JERROLD C CASS JR					
			303.24	11/12/2020	111120	SAFETY BOOTS FARM/FLEET
	JERROLD C CASS JR Total		<u>303.24</u>			
473	AT&T MOBILITY					
			33.23	11/12/2020	287258511326X110120	MONTHLY BILLING
	AT&T MOBILITY Total		<u>33.23</u>			
518	CLERK OF THE 18TH					
			250.00	11/04/2020	102820	BAIL BOND PEDRO CASTILLO
	CLERK OF THE 18TH Total		<u>250.00</u>			
544	MERRILL COLBY					
			184.44	11/12/2020	110920	BOOT REIMBURSEMENT FARM
	MERRILL COLBY Total		<u>184.44</u>			
563	CDW GOVERNMENT INC					
		109820	3,480.12	11/04/2020	2919198	HAVIS DOCK STATION
	CDW GOVERNMENT INC Total		<u>3,480.12</u>			
642	CUSTOM WELDING & FAB INC					
		110007	622.55	11/12/2020	200158	REBUILD PLOW

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
	CUSTOM WELDING & FAB INC Total		622.55			
683	DE MAR TREE & LANDSCAPE SVC					
		108292	3,530.00	11/12/2020	7896	STREET DEPT TREE TRIMMING
		108317	12,992.00	11/12/2020	7897	ELECTRIC LINE CLEARING
	DE MAR TREE & LANDSCAPE SVC Total		16,522.00			
725	DON MCCUE CHEVROLET					
		109962	226.24	11/12/2020	427069CVW	VEH 1988 RO 64509 PARTS
		109965	240.56	11/12/2020	CTCS523464	VEH 1988 RO 64517 SERVICE
	DON MCCUE CHEVROLET Total		466.80			
767	EAGLE ENGRAVING INC					
		108171	72.00	11/12/2020	2020-4562	ENGRAVED TWO LINES
	EAGLE ENGRAVING INC Total		72.00			
789	ANIXTER INC					
		109830	731.25	11/04/2020	4736671-00	INVENTORY ITEMS
	ANIXTER INC Total		731.25			
870	FIRE PENSION FUND					
			467.02	11/06/2020	FP1%201106112516FL	Fire Pension 1% Fee
			4,704.97	11/06/2020	FRP2201106112516FL	Fire Pension Tier 2
			13,596.35	11/06/2020	FRPN201106112516FL	Fire Pension
	FIRE PENSION FUND Total		18,768.34			
884	FISHER SCIENTIFIC					
		109466	608.57	11/04/2020	8253983	POPET STER
		109725	444.09	11/12/2020	1536640	INVENTORY ITEMS
	FISHER SCIENTIFIC Total		1,052.66			
905	FORCE AMERICA DISTRIBUTING LLC					
		108618	325.00	11/12/2020	200-1027863	FLAT DATA PLAN
	FORCE AMERICA DISTRIBUTING LLC Total		325.00			
916	FOX VALLEY FIRE & SAFETY INC					
		108395	195.00	11/12/2020	IN00389739	ANNUAL FIRE ALARM
		109823	72.00	11/04/2020	IN00388600	BROOKS WATER EXT GUAGE
	FOX VALLEY FIRE & SAFETY INC Total		267.00			
956	CITY OF GENEVA					

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
		108729	122,468.00	11/12/2020	2021-00060026	DISPATCH SERVICES
	CITY OF GENEVA Total		<u>122,468.00</u>			
980	GLOBAL EQUIPMENT COMPANY					
		110105	780.81	11/12/2020	116835674	MISC PARTS
	GLOBAL EQUIPMENT COMPANY Total		<u>780.81</u>			
989	GORDON FLESCH CO INC					
			85.02	11/04/2020	IN13096101	PW COPIER
			209.76	11/04/2020	IN13097791	POLICE DEPT COPIER
	GORDON FLESCH CO INC Total		<u>294.78</u>			
1015	CHRIS GROVE					
			70.00	11/04/2020	110320CG	PER DIEM 40 HR CIT 11/16-20
	CHRIS GROVE Total		<u>70.00</u>			
1026	HACH COMPANY					
		109674	569.50	11/04/2020	12168603	RCC DR3800
	HACH COMPANY Total		<u>569.50</u>			
1036	HARRIS BANK NA					
			1,560.00	11/06/2020	UNF 201106112516FD	Union Dues - IAFF
	HARRIS BANK NA Total		<u>1,560.00</u>			
1042	HARRIS COMPUTER SYSTEMS					
		109101	9,800.00	11/12/2020	CT048276	CITY VIEW MOBILE LICENSING
		109101	1,400.00	11/12/2020	CT048277	PROJECT MANAGEMENT
		110000	1,630.29	11/12/2020	MMN00133456	ANNUAL SOFTWARE MAINT
	HARRIS COMPUTER SYSTEMS Total		<u>12,830.29</u>			
1065	HENRY SCHEIN INC					
		109898	568.32	11/04/2020	84539708	POWERHEART DEFIB PAD
	HENRY SCHEIN INC Total		<u>568.32</u>			
1133	IBEW LOCAL 196					
			178.50	11/06/2020	UNE 201106112516PV	Union Due - IBEW
			837.66	11/06/2020	UNEW201106112516P	Union Due - IBEW - percent
	IBEW LOCAL 196 Total		<u>1,016.16</u>			
1136	ICMA RETIREMENT CORP					
			229.45	11/06/2020	C401201106112516CA	401A Savings Plan Company

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
			301.80	11/06/2020	C401201106112516CD	401A Savings Plan Company
			507.61	11/06/2020	C401201106112516FD	401A Savings Plan Company
			522.60	11/06/2020	C401201106112516FN	401A Savings Plan Company
			265.70	11/06/2020	C401201106112516HR	401A Savings Plan Company
			380.10	11/06/2020	C401201106112516IS	401A Savings Plan Company
			755.74	11/06/2020	C401201106112516PD	401A Savings Plan Company
			1,001.75	11/06/2020	C401201106112516PV	401A Savings Plan Company
			231.42	11/06/2020	E401201106112516CA	401A Savings Plan Employee
			301.80	11/06/2020	E401201106112516CD	401A Savings Plan Employee
			507.61	11/06/2020	E401201106112516FD	401A Savings Plan Employee
			522.61	11/06/2020	E401201106112516FN	401A Savings Plan Employee
			265.70	11/06/2020	E401201106112516HR	401A Savings Plan Employee
			380.10	11/06/2020	E401201106112516IS	401A Savings Plan Employee
			753.76	11/06/2020	E401201106112516PD	401A Savings Plan Employee
			1,001.75	11/06/2020	E401201106112516PV	401A Savings Plan Employee
			300.00	11/06/2020	ICMA201106112516CA	ICMA Deductions - Dollar Amt
			3,061.54	11/06/2020	ICMA201106112516CC	ICMA Deductions - Dollar Amt
			2,980.77	11/06/2020	ICMA201106112516FD	ICMA Deductions - Dollar Amt
			1,070.00	11/06/2020	ICMA201106112516FN	ICMA Deductions - Dollar Amt
			1,400.00	11/06/2020	ICMA201106112516HF	ICMA Deductions - Dollar Amt
			2,550.00	11/06/2020	ICMA201106112516IS	ICMA Deductions - Dollar Amt
			8,340.50	11/06/2020	ICMA201106112516PC	ICMA Deductions - Dollar Amt
			3,375.00	11/06/2020	ICMA201106112516PV	ICMA Deductions - Dollar Amt
			76.49	11/06/2020	ICMP201106112516CC	ICMA Deductions - Percent
			3,590.61	11/06/2020	ICMP201106112516FD	ICMA Deductions - Percent
			707.62	11/06/2020	ICMP201106112516FN	ICMA Deductions - Percent
			1,387.72	11/06/2020	ICMP201106112516IS	ICMA Deductions - Percent
			2,331.64	11/06/2020	ICMP201106112516PC	ICMA Deductions - Percent
			1,367.31	11/06/2020	ICMP201106112516PV	ICMA Deductions - Percent
			330.00	11/06/2020	ROTH201106112516CI	Roth IRA Deduction
			25.00	11/06/2020	ROTH201106112516FI	Roth IRA Deduction
			80.00	11/06/2020	ROTH201106112516FI	Roth IRA Deduction
			211.50	11/06/2020	ROTH201106112516HI	Roth IRA Deduction
			1,490.00	11/06/2020	ROTH201106112516PI	Roth IRA Deduction
			555.00	11/06/2020	ROTH201106112516PI	Roth IRA Deduction
			50.00	11/06/2020	RTHA201106112516FI	Roth 457 - Dollar Amount
			240.76	11/06/2020	RTHA201106112516HF	Roth 457 - Dollar Amount
			705.00	11/06/2020	RTHA201106112516PI	Roth 457 - Dollar Amount
			60.00	11/06/2020	RTHA201106112516PI	Roth 457 - Dollar Amount

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			592.07	11/06/2020	RTHP201106112516FI	Roth 457 - Percent
			244.90	11/06/2020	RTHP201106112516PI	Roth 457 - Percent
			469.64	11/06/2020	110620	PLAN 109830 PAYROLL 11/6/20
	ICMA RETIREMENT CORP Total		<u>45,522.57</u>			
1157	ILLINOIS TOLLWAY		29.00	11/12/2020	VN5901825015	TOLLWAY VIOLATION PS DEPT
	ILLINOIS TOLLWAY Total		<u>29.00</u>			
1223	INITIAL IMPRESSIONS EMBROIDERY					
		109757	525.83	11/12/2020	28921	INVENTORY ITEMS
	INITIAL IMPRESSIONS EMBROIDERY Total		<u>525.83</u>			
1240	INTERSTATE BATTERY SYSTEM OF					
		109920	231.90	11/04/2020	10083785	BATTERIES
		109868	17.00	11/04/2020	1915201029336	12V BATTERY
		109868	153.00	11/04/2020	1915201029337	12 V BATTERY
	INTERSTATE BATTERY SYSTEM OF Total		<u>401.90</u>			
1267	IT SOLUTIONS GROUP INC					
		109663	6,265.00	11/04/2020	5186	INSTALL UPGRADE
	IT SOLUTIONS GROUP INC Total		<u>6,265.00</u>			
1387	KONICA MINOLTA BUS SOLUTIONS					
			346.53	11/04/2020	9007211294	POLICE DEPT COPIER CHARGE
			77.51	11/04/2020	9007211830	FINANCE COPIER MONTHLY
			975.94	11/12/2020	9007232100	MONTHLY BILLING IS AND CA
	KONICA MINOLTA BUS SOLUTIONS Total		<u>1,399.98</u>			
1403	WEST VALLEY GRAPHICS & PRINT					
		109964	137.00	11/12/2020	20151	BUSINESS CARDS STENGLER
		108377	198.50	11/04/2020	20142	POLICE TOW REPORTS #9 FOF
	WEST VALLEY GRAPHICS & PRINT Total		<u>335.50</u>			
1420	LANDMARKS ILLINOIS					
			50.00	11/12/2020	110920RC	MEMBERSHIP RUSS COLBY
	LANDMARKS ILLINOIS Total		<u>50.00</u>			
1450	LEE JENSEN SALES CO INC					
		109704	174.55	11/04/2020	0007428-00	LABOR REPAIR/INLET FILTER

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	LEE JENSEN SALES CO INC Total		<u>174.55</u>			
1489	LOWES					
		109931	121.20	11/04/2020	01179/101620	LAUNDRY SOAP
		108227	41.54	11/04/2020	02552/101420	RESTITUTION SUPPLIES
		108197	49.10	11/04/2020	02905/101620	MISC PARTS
		109870	89.44	11/04/2020	61314	INVENTORY ITEMS
		109950	312.74	11/12/2020	01280/102020	INVENTORY ITEMS
		108328	14.72	11/12/2020	02446/102620	MISC PARTS METER DEPT
		108197	260.43	11/12/2020	02515/102720	MISC SUPPLIES
		108197	93.26	11/12/2020	02759/102220	MISC PARTS
		108173	113.92	11/12/2020	15420/102020	MISC SUPPLIES
	LOWES Total		<u>1,096.35</u>			
1500	MABAS DIVISION 13					
		110161	1,711.00	11/12/2020	110420	MABAS DUES
	MABAS DIVISION 13 Total		<u>1,711.00</u>			
1520	MANGERS FARM/WILLIAM MANGERS					
		110049	9,310.00	11/12/2020	15797	BIOSOLIDS RT 38 FARM FALL 2
	MANGERS FARM/WILLIAM MANGERS Total		<u>9,310.00</u>			
1585	MEADE ELECTRIC COMPANY INC					
		108318	3,444.88	11/12/2020	694143	SEPTEMBER BILLING
	MEADE ELECTRIC COMPANY INC Total		<u>3,444.88</u>			
1600	MENDEL PLUMBING & HEATING INC					
		109939	198.00	11/04/2020	374181	FIRE STATION 3 REPAIR
	MENDEL PLUMBING & HEATING INC Total		<u>198.00</u>			
1613	METROPOLITAN ALLIANCE OF POL					
			1,078.00	11/06/2020	UNP 201106112516PD	Union Dues - IMAP
			114.00	11/06/2020	UNPS201106112516PI	Union Dues-Police Sergeants
	METROPOLITAN ALLIANCE OF POL Total		<u>1,192.00</u>			
1616	MHC SOFTWARE INC					
		109545	6,300.00	11/04/2020	0134732	DOC EXPRESS/1099/1095 MODI
	MHC SOFTWARE INC Total		<u>6,300.00</u>			
1651	MNJ TECHNOLOGIES DIRECT INC					
		109819	4,164.00	11/04/2020	0003751085	BARRACUDA NETWORKS RENE

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
		109896	34.00	11/12/2020	0003754151	HP 3 WIRE STANDARD POWER
	MNJ TECHNOLOGIES DIRECT INC Total		<u>4,198.00</u>			
1704	NCPERS IL IMRF		8.00	11/06/2020	NCP2201106112516FM	NCPERS 2
			16.00	11/06/2020	NCP2201106112516PV	NCPERS 2
	NCPERS IL IMRF Total		<u>24.00</u>			
1711	NESTLE WATERS NORTH AMERICA		554.14	11/04/2020	10J0122067317	WATER DELIVERY
	NESTLE WATERS NORTH AMERICA Total		<u>554.14</u>			
1722	NATIONAL FIRE PROTECTION ASSOC					
		109687	414.95	11/04/2020	7835804Y	LIFE SAFETY CODE 21
	NATIONAL FIRE PROTECTION ASSOC Total		<u>414.95</u>			
1728	NIPSTA					
		108581	800.00	11/04/2020	21327700	MARIO GARZA - 200831ATF
	NIPSTA Total		<u>800.00</u>			
1745	NICOR					
			163.54	11/12/2020	0000 6 OCT 27 2020	ACCT: 55-00-99-0000-6
			273.03	11/12/2020	0000 6 OCT 30 2020	ACCT: 30-31-79-0000-6
			191.22	11/12/2020	0000 7 OCT 28 2020	ACCT: 61-00-69-0000-7
			43.09	11/12/2020	0847 6 NOV 3 2020	ACCT: 19-39-03-0847-6
			1,210.66	11/12/2020	0929 6 OCT 26 2020	ACCT: 17-18-43-0929-6
			56.13	11/12/2020	1000 0 NOV 3 2020	ACCT: 52-09-10-1000-0
			122.83	11/12/2020	1000 0 OCT 28 2020	ACCT: 68-82-40-1000-0
			71.24	11/12/2020	1000 1 NOV 4 2020	ACCT: 00-69-30-1000-1
			134.16	11/12/2020	1000 1 OCT 28 2020	ACCT: 53-92-02-1000-1
			39.93	11/12/2020	1000 2 OCT 22 2020	ACCT: 24-53-60-1000-2
			306.27	11/12/2020	1000 2 OCT 26 2020	ACCT: 53-14-51-1000-2
			39.42	11/12/2020	1000 3 OCT 27 2020	ACCT: 20-68-91-1000-3
			38.29	11/12/2020	1000 3 OCT 29 2020	ACCT: 30-28-40-1000-3
			60.64	11/12/2020	1000 4 OCT 27 2020	ACCT: 11-31-51-1000-4
			152.25	11/12/2020	1000 4 OCT 28 2020	ACCT: 53-65-70-1000-4
			48.40	11/12/2020	1000 5 OCT 26 2020	ACCT: 50-85-00-1000-5
			40.21	11/12/2020	1000 6 NOV 4 2020	ACCT: 67-14-30-1000-6
			321.42	11/12/2020	1000 7 NOV 4 2020	ACCT: 97-78-02-1000-7
			123.58	11/12/2020	1000 8 NOV 3 2020	ACCT: 03-73-20-1000-8

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			48.65	11/12/2020	1000 8 OCT 28 2020	ACCT: 28-08-50-1000-8
			45.85	11/12/2020	1000 9 12THOCT 27 20	ACCT: 99-38-20-1000-9
			42.59	11/12/2020	1000 9 OCT 26 2020	ACCT: 65-84-51-1000-9
			210.30	11/12/2020	1000 9 OCT 27 2020	ACCT: 62-11-51-1000-9
			57.44	11/12/2020	1000 9 OCT 28 2020	ACCT: 64-67-50-1000-9
			40.77	11/12/2020	1000 9 OCT 29 2020	ACCT: 57-14-10-1000-9
			67.70	11/12/2020	1000 9 WS OCT 27 20	ACCT: 35-14-51-1000-9
			39.49	11/12/2020	1584 1 NOV 3 2020	ACCT: 76-25-37-1584-1
			40.09	11/12/2020	1968 1 OCT 28 2020	ACCT: 70-22-68-1968-1
			291.01	11/12/2020	2485 8 NOV 4 2020	ACCT: 72-42-21-2485-8
			663.39	11/12/2020	4428 3 OCT 27 2020	ACCT: 19-51-90-4428-3
			41.22	11/12/2020	4606 2 NOV 3 2020	ACCT: 74-34-63-4606-2
			41.17	11/12/2020	4625 3 OCT 28 2020	ACCT: 39-82-30-4625-3
			40.03	11/12/2020	5425 2 OCT 28 2020	ACCT: 28-06-38-5425-2
			1,598.76	11/12/2020	7652 0 OCT 27 2020	ACCT: 01-08-77-7652-0
			2,758.87	11/12/2020	8317 9 OCT 26 2020	ACCT: 81-44-33-8317-9
			127.50	11/12/2020	8642 6 OCT 30 2020	ACCT: 68-60-22-8642-6
			112.36	11/12/2020	9226 2 OCT 26 2020	ACCT: 84-32-13-9226-2
			39.38	11/12/2020	9676 7 OCT 27 2020	ACCT: 39-18-86-9676-7
	NICOR Total		9,742.88			
1756	NORTH CENTRAL LABORATORIES					
		109771	655.67	11/04/2020	445683	SYRINGE FILTER
	NORTH CENTRAL LABORATORIES Total		655.67			
1797	PACE SUBURBAN BUS					
		108525	506.23	11/04/2020	483067	AUGUST RIK
	PACE SUBURBAN BUS Total		506.23			
1822	PDC LABORATORIES INC					
		108455	40.00	11/04/2020	19438237	PDC QC PROGRAM
		108455	-40.00	11/04/2020	19438237	PDC QC PROGRAM
		108455	495.00	11/12/2020	19439081	WATER TESTING
		108455	75.00	11/12/2020	19439218	WATER DEPT TESTING
		108455	75.00	11/12/2020	19439283	WATER DEPT TESTING
	PDC LABORATORIES INC Total		645.00			
1850	PICTOMETRY INTERNATIONAL CORP					
		108151	2,200.00	11/04/2020	US423198	PICTOMETRY CONNECT

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
	PICTOMETRY INTERNATIONAL CORP Total		<u>2,200.00</u>			
1861	POLICE PENSION FUND					
			10,995.24	11/06/2020	PLP2201106112516PD	Police Pension Tier 2
			13,163.29	11/06/2020	PLPN201106112516PL	Police Pension
			782.90	11/06/2020	PLPR201106112516PL	Police Pens Service Buyback
	POLICE PENSION FUND Total		<u>24,941.43</u>			
1890	LEGAL SHIELD					
			17.48	11/06/2020	PPLS201106112516CI	Pre-Paid Legal Services
			153.19	11/06/2020	PPLS201106112516FC	Pre-Paid Legal Services
			15.65	11/06/2020	PPLS201106112516FN	Pre-Paid Legal Services
			306.16	11/06/2020	PPLS201106112516PI	Pre-Paid Legal Services
			40.94	11/06/2020	PPLS201106112516PV	Pre-Paid Legal Services
	LEGAL SHIELD Total		<u>533.42</u>			
1897	PRIME TACK & SEAL CO					
		108155	707.16	11/04/2020	66370	HFE-90 TICKET #95247
		108155	637.44	11/04/2020	66458	TICKET 95318 HFE 90
		108155	590.96	11/12/2020	66544	HFE-90 TICKET 95419
	PRIME TACK & SEAL CO Total		<u>1,935.56</u>			
1898	PRIORITY PRODUCTS INC					
		108353	80.62	11/12/2020	953930	FLEET DEPT PARTS
		109942	208.57	11/12/2020	955499	FIRE DEPT SUPPLIES
		109897	382.80	11/12/2020	955507-001	INVENTORY ITEMS
		109909	38.28	11/12/2020	955621	STRIPE MARKER PAINT
		108353	154.53	11/12/2020	955714	MISC PARTS FLEET DEPT
		108353	117.07	11/04/2020	955435	FLEET DEPT PARTS
		109897	442.34	11/04/2020	955507	INVENTORY ITEMS
	PRIORITY PRODUCTS INC Total		<u>1,424.21</u>			
1900	PROVIDENT LIFE & ACCIDENT					
			26.76	11/06/2020	POPT201106112516FI	Provident Optional Life
	PROVIDENT LIFE & ACCIDENT Total		<u>26.76</u>			
1946	RANDALL PRESSURE SYSTEMS INC					
		109724	263.40	11/04/2020	I-36270-0	INVENTORY ITEMS
		109762	86.40	11/04/2020	I-36346-0	INVENTORY ITEMS
		108210	232.05	11/04/2020	I-36614-0	HOSE FITTING

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
		108210	21.34	11/04/2020	I-36616-0	MISC FLEET DEPT PARTS
		108210	38.90	11/04/2020	I-36618-0	MISC PARTS
		109724	169.20	11/12/2020	I-36270-1	INVENTORY ITEM
		109762	1,143.60	11/12/2020	I-36346-1	INVENTORY ITEMS
		108210	38.90	11/12/2020	I-36619-0	FLEET DEPT PARTS
		109947	1,592.00	11/12/2020	I-36632-0	INVENTORY ITEM
		108210	50.37	11/12/2020	I-36678-0	RO 64506 SERVICE PARTS
		108210	2.30	11/12/2020	I-36731-0	PARTS FOR FLEET
	RANDALL PRESSURE SYSTEMS INC Total		<u>3,638.46</u>			
1998	RURAL ELECTRIC SUPPLY CO OP					
		109912	2,374.81	11/04/2020	802987-00	STORAGE BRACKET
	RURAL ELECTRIC SUPPLY CO OP Total		<u>2,374.81</u>			
2032	POMPS TIRE SERVICE INC					
		109872	580.07	11/04/2020	640085105	TIRES
		108272	39.00	11/04/2020	640085230	LIGHT TRUCK SCRAP FEES
		109944	417.00	11/12/2020	330161922	SERVICE REPAIR
		109940	743.00	11/12/2020	640085229	INVENTORY ITEMS
		108272	6.00	11/12/2020	640085380	PASSENGER SCRAP DISPOSAL
	POMPS TIRE SERVICE INC Total		<u>1,785.07</u>			
2033	VILLAGE OF ROMEOVILLE					
		108209	600.00	11/04/2020	2020-354	MIKE PYZYNA-OCT 5-9, 2020
	VILLAGE OF ROMEOVILLE Total		<u>600.00</u>			
2096	SCHINDLER ELEVATOR CORPORATION					
		109995	1,027.44	11/04/2020	7153203153	FIRST STREET GARAGE
	SCHINDLER ELEVATOR CORPORATION Total		<u>1,027.44</u>			
2126	SEWER EQUIPMENT CO OF AMERICA					
		109811	224.42	11/04/2020	0000183966	CARTRIDGE/EXTENSION/VALVE
	SEWER EQUIPMENT CO OF AMERICA Total		<u>224.42</u>			
2138	SHERRILL INC					
		109600	602.04	11/04/2020	INV-565576	INTEGRAL ARBORIST HELMET
	SHERRILL INC Total		<u>602.04</u>			
2150	SIKICH					
		108255	3,000.00	11/04/2020	470539	FINAL BILLING AUDIT THRU 10/

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	SIKICH Total		<u>3,000.00</u>			
2157	SISLERS ICE & DAIRY LTD	108402	117.50	11/04/2020	613156	ICE DELIVERY
	SISLERS ICE & DAIRY LTD Total		<u>117.50</u>			
2214	ST CHARLES CHAMBER OF COMMERCE		2,500.00	11/12/2020	176304017	ANNUAL SPONSORSHIP
	ST CHARLES CHAMBER OF COMMERCE Total		<u>2,500.00</u>			
2228	CITY OF ST CHARLES		232.32	11/02/2020	3-31-93576-7-0-1020	BILLING 8-27-20 TO 9-28-20
	CITY OF ST CHARLES Total		<u>232.32</u>			
2235	STEINER ELECTRIC COMPANY		50.00	11/12/2020	S006612637.005	FREIGHT ON INV#S006612637.C
	STEINER ELECTRIC COMPANY Total		<u>50.00</u>			
2248	STORINO RAMELLO & DURKIN		1,000.00	11/12/2020	81460	MONTHLY BILLING RETAINER
			3,712.50	11/12/2020	81461	MONTHLY BILLING CITY ADMIN
			56.25	11/12/2020	81462	MONTHLY BILLING TIF 1
			56.25	11/12/2020	81463	MONTHLY BILLING ARCADA
			922.50	11/12/2020	81464	MONTHLY BILLING PW DEPT
			2,329.85	11/12/2020	81465	MONTHLY BILLING FITZ
			281.25	11/12/2020	81466	MONTHLY BILLING COVID
			450.00	11/12/2020	81467	MONTHLY BILLING LIQUOR
			5,118.75	11/12/2020	81468	MONTHLY BILLING MEGACENT
			168.75	11/12/2020	81469	MONTHLY BILLING FIRST STRE
			2,193.75	11/12/2020	81470	MONTHLY BILLING GENERAL
	STORINO RAMELLO & DURKIN Total		<u>16,289.85</u>			
2263	PETER SUHR		225.00	11/04/2020	110320PS	REIMBURSE NCARB ANNUAL R
	PETER SUHR Total		<u>225.00</u>			
2301	GENERAL CHAUFFERS SALES DRIVER		166.50	11/06/2020	UNT 201106112516CD	Union Dues - Teamsters
			2,494.50	11/06/2020	UNT 201106112516PV	Union Dues - Teamsters
	GENERAL CHAUFFERS SALES DRIVER Total		<u>2,661.00</u>			

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2314	3M VHS0733					
		109975	1,810.90	11/12/2020	9409263437	DIAMOND GRADE REFLECTIVE
	3M VHS0733 Total		<u>1,810.90</u>			
2316	APC STORE					
		108279	145.03	11/12/2020	478-528281	RO 64572 PARTS
		108279	48.99	11/12/2020	478-528432	FLEET DEPT PARTS
		110077	267.20	11/12/2020	478-528435	INVENTORY ITEMS
		108279	117.59	11/12/2020	478-528770	BATTERY
		110018	177.25	11/04/2020	478-527895	INVENTORY ITEMS
		108279	486.93	11/04/2020	478-528116	VEH 1979 2016 CHEVROLET
		108176	87.81	11/04/2020	478-528190	SP526 CYFS12FP
		108279	28.90	11/04/2020	478-528269	BATTERY DISCONNE
	APC STORE Total		<u>1,359.70</u>			
2345	TRAFFIC CONTROL & PROTECTION					
		109924	5,735.00	11/04/2020	34071	TRAFFIC CONTROL RT 64
	TRAFFIC CONTROL & PROTECTION Total		<u>5,735.00</u>			
2357	TRI CITY FAMILY SERVICES					
		108235	1,931.00	11/04/2020	110120	THIRD INSTALLMENT DUE 11/1/
		108235	1,931.00	11/12/2020	103020	3rd INSTALLMENT
		108235	-1,931.00	11/12/2020	103020	3rd INSTALLMENT
	TRI CITY FAMILY SERVICES Total		<u>1,931.00</u>			
2367	TSA ENTERPRISES INC DBA LAKE H					
		109087	3,200.00	11/12/2020	01-83761	FALL BOAT DOCK REMOVAL
	TSA ENTERPRISES INC DBA LAKE H Total		<u>3,200.00</u>			
2373	TYLER MEDICAL SERVICES					
		110128	6,800.00	11/12/2020	110220	50% DEPOSIT WELLNESS FAIR
		108898	315.00	11/12/2020	422028	MONTHLY RANDOMS
	TYLER MEDICAL SERVICES Total		<u>7,115.00</u>			
2383	UNITED STATES POSTAL SERVICE					
			4,000.00	11/12/2020	6116619-1120	METER ACCT: 06116619 REPLE
	UNITED STATES POSTAL SERVICE Total		<u>4,000.00</u>			
2401	UNIVERSAL UTILITY SUPPLY INC					
		109930	737.29	11/12/2020	3033480	U GUARD ADAPTER
		109833	1,311.60	11/04/2020	3033389	MISC PARTS

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	UNIVERSAL UTILITY SUPPLY INC Total		<u>2,048.89</u>			
2403	UNITED PARCEL SERVICE					
			257.25	11/04/2020	0000650961430	WEEKLY SHIPPING COSTS
			90.95	11/12/2020	0000650961440	WEEKLY SHIPPING
	UNITED PARCEL SERVICE Total		<u>348.20</u>			
2404	HD SUPPLY FACILITIES MAINT LTD					
		109955	87.79	11/12/2020	394381	35 QUART MIP BUCKET
		109956	148.65	11/12/2020	394382	HACH ASCORBIC ACID POWDE
		109963	115.79	11/12/2020	394408	16 OZ FILLED EYEWASH BOTTL
		110011	517.99	11/12/2020	401581	INVENTORY ITEMS
	HD SUPPLY FACILITIES MAINT LTD Total		<u>870.22</u>			
2410	VALLEY LOCK CO					
		108259	4.64	11/12/2020	67169	KEY 113 MAIN & 104 PRANE
		108177	2.49	11/12/2020	67177	KEY - JEREMY MAUTLIE
	VALLEY LOCK CO Total		<u>7.13</u>			
2428	VERMEER MIDWEST					
		109976	6,166.07	11/12/2020	S61615	VEH 1868 RO 84914 SERVICE P
	VERMEER MIDWEST Total		<u>6,166.07</u>			
2429	VERIZON WIRELESS					
			1,505.28	11/12/2020	9865652455	ACCT: 987278368-0001
	VERIZON WIRELESS Total		<u>1,505.28</u>			
2433	VESSEL INC					
		110076	60.00	11/04/2020	20-2230	4 WHEELER LOAD
	VESSEL INC Total		<u>60.00</u>			
2452	VULCAN CONSTRUCTION MATERIALS					
		108401	153.79	11/12/2020	32458726	CA16 CHIPS
	VULCAN CONSTRUCTION MATERIALS Total		<u>153.79</u>			
2453	VWR INTERNATIONAL INC					
		109245	340.43	11/12/2020	8802670932	VWR ANALOG VORTEX MIXER
		109866	525.74	11/12/2020	8802696004	LIQUID SOAP
	VWR INTERNATIONAL INC Total		<u>866.17</u>			
2470	WAREHOUSE DIRECT					

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		108327	5.38	11/12/2020	4799394-0	OFFICE SUPPLIES COM DEV
		108327	3.19	11/12/2020	4799394-1	SOAP HAND BASICS
		109980	3.58	11/12/2020	4801681-0	NOTE HLND - OFFICE SUPPLIE
		108247	40.28	11/12/2020	4803221-0	POLICE DEPT OFFICE SUPPLIE
		108247	10.10	11/12/2020	4804132-0	POLICE DEPT OFFICE SUPPLIE
		108247	14.73	11/12/2020	4804336-0	POLICE DEPT OFFICE SUPPLIE
			-21.76	11/12/2020	C4793144-0	CREDITS INV 4793144
		108237	80.84	11/04/2020	4793144-0	OFFICE SUPPLIES HR DEPT
		108237	13.90	11/04/2020	4796902-0	OFFICE SUPPLIES HR DEPT
	WAREHOUSE DIRECT Total		150.24			
2478	WATER PRODUCTS AURORA					
		109901	2,238.00	11/04/2020	0299063	INVENTORY ITEMS
		109935	16,024.00	11/12/2020	0299164	WATER DEPT SUPPLIES
	WATER PRODUCTS AURORA Total		18,262.00			
2495	WEST SIDE TRACTOR SALES CO					
		109071	31.42	11/12/2020	N98963	RO 64506 PARTS FLEET
		109071	263.45	11/12/2020	N98988	RO 64506 PARTS FLEET
	WEST SIDE TRACTOR SALES CO Total		294.87			
2506	EESCO					
		109927	2,498.80	11/12/2020	045127	MISC SUPPLIES
		109552	131.25	11/12/2020	051587	INVENTORY ITEMS
		109552	1,968.75	11/12/2020	054731	INVENTORY ITEMS
		109834	1,329.00	11/04/2020	032324	INVENTORY ITEMS
		109834	351.00	11/04/2020	038625	INVENTORY ITEMS
		109927	259.75	11/04/2020	038626	INVENTORY ITEMS
	EESCO Total		6,538.55			
2545	GRAINGER INC					
		109565	9.76	11/04/2020	9684748206	EYE WASH BOTTLE
		109902	112.26	11/04/2020	9684748214	PULLER
		109921	38.94	11/04/2020	9686735953	HAMMER DRILL BIT
		109932	327.90	11/04/2020	9686919532	INVENTORY ITEMS
		109959	940.40	11/12/2020	9690477329	INVENTORY ITEMS
		109967	4.88	11/12/2020	9690792289	EYE WASH BOTTLE
		109978	86.43	11/12/2020	9692930606	HEX/TORX BIT SET
		109983	1,452.60	11/12/2020	9693416274	GAS MASK CANISTER
		109996	599.62	11/12/2020	9696663658	BATTERY/PUMP KIT

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		109966	1,795.50	11/12/2020	9697221282	RIOT SHIELD
		110017	28.60	11/12/2020	9697388107	T CONNECTOR
		110023	72.90	11/12/2020	9698151603	COVERALL
	GRAINGER INC Total		<u>5,469.79</u>			
2637	ILLINOIS DEPT OF REVENUE					
			948.07	11/06/2020	ILST201106112516CA	Illinois State Tax
			2,020.50	11/06/2020	ILST201106112516CD	Illinois State Tax
			9,572.00	11/06/2020	ILST201106112516FD	Illinois State Tax
			1,864.75	11/06/2020	ILST201106112516FN	Illinois State Tax
			854.38	11/06/2020	ILST201106112516HR	Illinois State Tax
			1,479.60	11/06/2020	ILST201106112516IS	Illinois State Tax
			12,013.55	11/06/2020	ILST201106112516PD	Illinois State Tax
			15,251.99	11/06/2020	ILST201106112516PW	Illinois State Tax
	ILLINOIS DEPT OF REVENUE Total		<u>44,004.84</u>			
2638	INTERNAL REVENUE SERVICE					
			775.12	11/06/2020	FICA201106112516CA	FICA Employee
			2,495.97	11/06/2020	FICA201106112516CD	FICA Employee
			755.08	11/06/2020	FICA201106112516FD	FICA Employee
			2,142.43	11/06/2020	FICA201106112516FN	FICA Employee
			1,138.70	11/06/2020	FICA201106112516HR	FICA Employee
			1,957.83	11/06/2020	FICA201106112516IS	FICA Employee
			2,550.74	11/06/2020	FICA201106112516PD	FICA Employee
			20,276.88	11/06/2020	FICA201106112516PV	FICA Employee
			767.52	11/06/2020	FICE201106112516CA	FICA Employer
			2,495.97	11/06/2020	FICE201106112516CD	FICA Employer
			755.08	11/06/2020	FICE201106112516FD	FICA Employer
			2,142.51	11/06/2020	FICE201106112516FN	FICA Employer
			1,135.10	11/06/2020	FICE201106112516HR	FICA Employer
			1,961.43	11/06/2020	FICE201106112516IS	FICA Employer
			2,558.26	11/06/2020	FICE201106112516PD	FICA Employer
			20,276.88	11/06/2020	FICE201106112516PV	FICA Employer
			3,114.64	11/06/2020	FIT 201106112516CA	Federal Withholding Tax
			5,434.36	11/06/2020	FIT 201106112516CD	Federal Withholding Tax
			28,468.28	11/06/2020	FIT 201106112516FD	Federal Withholding Tax
			4,773.55	11/06/2020	FIT 201106112516FN	Federal Withholding Tax
			2,292.06	11/06/2020	FIT 201106112516HR	Federal Withholding Tax
			3,154.84	11/06/2020	FIT 201106112516IS	Federal Withholding Tax

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			30,532.58	11/06/2020	FIT 201106112516PD	Federal Withholding Tax
			37,286.07	11/06/2020	FIT 201106112516PW	Federal Withholding Tax
			408.07	11/06/2020	MEDE201106112516C	Medicare Employee
			684.63	11/06/2020	MEDE201106112516C	Medicare Employee
			3,240.41	11/06/2020	MEDE201106112516FI	Medicare Employee
			599.52	11/06/2020	MEDE201106112516FI	Medicare Employee
			293.10	11/06/2020	MEDE201106112516H	Medicare Employee
			543.19	11/06/2020	MEDE201106112516IS	Medicare Employee
			4,150.46	11/06/2020	MEDE201106112516PI	Medicare Employee
			4,904.70	11/06/2020	MEDE201106112516P'	Medicare Employee
			319.47	11/06/2020	MEDR201106112516C	Medicare Employer
			684.63	11/06/2020	MEDR201106112516C	Medicare Employer
			3,240.41	11/06/2020	MEDR201106112516FI	Medicare Employer
			599.50	11/06/2020	MEDR201106112516FI	Medicare Employer
			292.26	11/06/2020	MEDR201106112516H	Medicare Employer
			544.03	11/06/2020	MEDR201106112516IS	Medicare Employer
			4,152.22	11/06/2020	MEDR201106112516P	Medicare Employer
			4,904.70	11/06/2020	MEDR201106112516P'	Medicare Employer
	INTERNAL REVENUE SERVICE Total		<u>208,803.18</u>			
2639	STATE DISBURSEMENT UNIT					
			471.13	11/06/2020	0000001912011061125	IL Child Support Amount 1
			1,555.35	11/06/2020	0000003742011061125	IL Child Support Amount 1
			369.23	11/06/2020	0000004862011061125	IL Child Support Amount 1
			700.15	11/06/2020	0000012252011061125	IL Child Support Amount 1
	STATE DISBURSEMENT UNIT Total		<u>3,095.86</u>			
2643	DELTA DENTAL					
			3,564.38	11/02/2020	110220	DELTA DENTAL CLAIMS
			3,032.30	11/09/2020	110920	DELTA DENTAL CLAIMS
	DELTA DENTAL Total		<u>6,596.68</u>			
2644	IMRF					
			212,882.46	11/06/2020	110620	IMRF MONTHLY OCTOBER
	IMRF Total		<u>212,882.46</u>			
2648	HEALTH CARE SERVICE CORP					
			182,653.85	11/02/2020	110220	MEDICAL CLAIMS
	HEALTH CARE SERVICE CORP Total		<u>182,653.85</u>			

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2683	CONTINENTAL AMERICAN INSURANCE		42.42	11/06/2020	ACCG201106112516FI	AFLAC Accident Plan
			67.37	11/06/2020	ACCG201106112516PI	AFLAC Accident Plan
			60.59	11/06/2020	ACCG201106112516P'	AFLAC Accident Plan
	CONTINENTAL AMERICAN INSURANCE Total		<u>170.38</u>			
2730	RITZ SAFETY LLC					
		109640	367.54	11/04/2020	38146	WORK UNIFORMS
		109698	1,163.64	11/04/2020	38152	UNIFORMS
	RITZ SAFETY LLC Total		<u>1,531.18</u>			
2756	RXBENEFITS INC.					
			35,222.13	11/03/2020	INV2027008	PRESCRIPTION CLAIMS
			135.42	11/09/2020	110920	INV 132944 AND 133146
	RXBENEFITS INC. Total		<u>35,357.55</u>			
2797	ARROWHEAD SCIENTIFIC INC					
		109948	148.43	11/12/2020	131304	MISC PARTS
	ARROWHEAD SCIENTIFIC INC Total		<u>148.43</u>			
2809	INTUITIVE CONTROL SYSTEMS LLC					
		108191	4,500.00	11/12/2020	SIN026962	TRFFIC SUITE RENEWAL
	INTUITIVE CONTROL SYSTEMS LLC Total		<u>4,500.00</u>			
2881	SERVER SUPPLY.COM INC					
		109979	460.60	11/12/2020	3670429	HPE JL083A ARUBA
	SERVER SUPPLY.COM INC Total		<u>460.60</u>			
2894	HAVLICEK ACE HARDWARE LLC					
		109957	269.96	11/12/2020	84639/1	INVENTORY ITEMS
		109915	469.00	11/12/2020	84640/1	INVENTORY ITEMS
		109733	269.96	11/04/2020	84496/1	INVENTORY ITEMS
		109889	31.00	11/04/2020	84497/1	INVENTORY ITEMS
	HAVLICEK ACE HARDWARE LLC Total		<u>1,039.92</u>			
2901	FLOW TECHNICS INC					
		109985	960.00	11/12/2020	INV000008384	LABOR PW AND WWTP
	FLOW TECHNICS INC Total		<u>960.00</u>			
2929	FOOTE MIELKE CHAVEZ & O'NEIL					
			575.00	11/12/2020	6168	JUSTIN SANDQUIST

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			550.00	11/12/2020	6169	JUAN AVINA CASE
			600.00	11/12/2020	6170	NICHOLAS SENNSTROM CASE
			600.00	11/12/2020	6171	ANDREW GRAY CASE
			3,200.00	11/12/2020	6172	OCTOBER ORDINANCE RETAIN
	FOOTE MIELKE CHAVEZ & O'NEIL Total		<u>5,525.00</u>			
2990	HAWKINS INC					
		93	1,198.70	11/12/2020	4818595	WATER DEPT CHEMICALS
		93	6,743.72	11/04/2020	4818424	FERRIC CHLORIDE
	HAWKINS INC Total		<u>7,942.42</u>			
3010	PLOTE CONSTRUCTION INC					
		90	688.60	11/04/2020	232538	SURFACE
	PLOTE CONSTRUCTION INC Total		<u>688.60</u>			
3099	MIDWEST SALT LLC					
		94	2,584.38	11/12/2020	P453513	MVP INDUSTRIAL SOLAR SALT
	MIDWEST SALT LLC Total		<u>2,584.38</u>			
3102	RUSH PARTS CENTERS OF ILLINOIS					
		108293	42.96	11/12/2020	3021181780	RO 64511 VEH 1728 PARTS
		109953	51.84	11/12/2020	3021183045	FILTER
		109713	68.40	11/04/2020	3021091694	INVENTORY ITEMS
		109713	172.52	11/04/2020	3021098642	INVENTORY ITEMS
	RUSH PARTS CENTERS OF ILLINOIS Total		<u>335.72</u>			
3127	SHI INTERNATIONAL CORP					
		109860	275.00	11/04/2020	B12447467	GOV ACROBAT LICENSE
		109784	1,379.00	11/04/2020	B12457497	NET COMMANDER HARDWARE
	SHI INTERNATIONAL CORP Total		<u>1,654.00</u>			
3131	VCNA PRAIRIE INC					
		89	527.25	11/04/2020	889763232	READY MIX
		89	562.25	11/04/2020	889765151	FLAT AIR MRWR
		89	911.20	11/12/2020	889774396	FLAT AIR MRWR
	VCNA PRAIRIE INC Total		<u>2,000.70</u>			
3133	GEOGRAPHIC INFORMATION SERVICE					
		108897	3,499.99	11/04/2020	GIS-13286	LABOR
	GEOGRAPHIC INFORMATION SERVICE Total		<u>3,499.99</u>			

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3148	CORNERSTONE PARTNERS					
		109905	1,874.45	11/04/2020	CP22188	256 S 18TH ST
		109905	1,139.60	11/04/2020	CP22189	3005 KING RICHARD CIR
			18,971.69	11/12/2020	CP20367	MONTHLY MOWING OCTOBER
		109371	798.03	11/12/2020	CP20374	RED GATE MOWING OCTOBER
	CORNERSTONE PARTNERS Total		<u>22,783.77</u>			
3203	OUTDOOR HOME SERVICES HOLDINGS					
		108196	1,928.16	11/12/2020	129918432	SEPTEMBER SERVICES
	OUTDOOR HOME SERVICES HOLDINGS Total		<u>1,928.16</u>			
3207	J HOFERT CO					
		108164	6,108.11	11/12/2020	94297	COLORED STRING A LONG MIN
	J HOFERT CO Total		<u>6,108.11</u>			
3236	HR GREEN INC					
		108479	30,896.22	11/12/2020	138980	2ND & DELNOR PROJECT
	HR GREEN INC Total		<u>30,896.22</u>			
3280	PLANET DEPOS LLC					
		108345	922.40	11/04/2020	354505	TRANSCRIPTION SERVICES 9/2
	PLANET DEPOS LLC Total		<u>922.40</u>			
3285	RICK MURAWSKI					
			32.00	11/04/2020	110320RM	PER DIEM COUNTYSIDE 11/17-
	RICK MURAWSKI Total		<u>32.00</u>			
3289	VISION SERVICE PLAN OF IL NFP					
			10.40	11/06/2020	VSP 201106112516CA	Vision Plan Pre-tax
			43.22	11/06/2020	VSP 201106112516CD	Vision Plan Pre-tax
			215.66	11/06/2020	VSP 201106112516FD	Vision Plan Pre-tax
			33.60	11/06/2020	VSP 201106112516FN	Vision Plan Pre-tax
			12.22	11/06/2020	VSP 201106112516HR	Vision Plan Pre-tax
			41.34	11/06/2020	VSP 201106112516IS	Vision Plan Pre-tax
			255.14	11/06/2020	VSP 201106112516PD	Vision Plan Pre-tax
			415.12	11/06/2020	VSP 201106112516PV	Vision Plan Pre-tax
			124.95	11/12/2020	110520	VISION PLAN FOR RETIREES N
	VISION SERVICE PLAN OF IL NFP Total		<u>1,151.65</u>			
3293	SANDBAG STORE LLC					
		109937	1,763.90	11/04/2020	19708A	SANDBAGS

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	SANDBAG STORE LLC Total		<u>1,763.90</u>			
3336	NETWORKFLEET INC					
			618.17	11/12/2020	OSV000002264214	MONTHLY BILLING PUBLIC SEF
			210.47	11/12/2020	OSV000002269601	MONTHLY BILLING OCTOBER
			80.95	11/12/2020	OSV000002275072	MONTHLY BILLING COMM DEVI
	NETWORKFLEET INC Total		<u>909.59</u>			
3373	LAWRENCE GUNDERSON					
		109427	3,460.00	11/12/2020	110520	IS505 BUSINESS DISASTER CL
	LAWRENCE GUNDERSON Total		<u>3,460.00</u>			
3408	ULINE INC					
		109961	64.56	11/12/2020	125677348	WHITE TWISTED POLY ROPE
		109933	1,390.25	11/04/2020	125553871	INVENTORY ITEMS
	ULINE INC Total		<u>1,454.81</u>			
3474	TRAVELERS INDEMNITY					
			13,651.64	11/12/2020	111020	LEGAL WORK
	TRAVELERS INDEMNITY Total		<u>13,651.64</u>			
3490	HI-LINE UTILITY SUPPLY CO LLC					
		109845	588.50	11/04/2020	10172014	ELBOW AND JUMPER
		109853	1,580.33	11/04/2020	10172034	INVENTORY ITEMS
		109854	2,607.56	11/04/2020	10172131	MISC PARTS
	HI-LINE UTILITY SUPPLY CO LLC Total		<u>4,776.39</u>			
3505	Michael Redmann					
			70.00	11/04/2020	110320MR	PER DIEM 40 HRS CIT 11/16-20
	Michael Redmann Total		<u>70.00</u>			
3597	GEOSTAR MECHANICAL INC					
		110137	1,258.38	11/12/2020	I34730	REPAIR PW DEPT
		110141	102.00	11/12/2020	I34735	REPAIR WASTE WATER
		110141	1,315.20	11/12/2020	I34736	REPAIR WASTE WATER
	GEOSTAR MECHANICAL INC Total		<u>2,675.58</u>			
3623	SARAH FLETCHER					
		108704	300.00	11/12/2020	221	OCTOBER GRAPHIC DESIGN D
	SARAH FLETCHER Total		<u>300.00</u>			

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3663	DAHME MECHANICAL	109796	6,125.00	11/12/2020	20200462	CHLORINE ROOM REPAIR
	DAHME MECHANICAL Total		<u>6,125.00</u>			
3766	PROVEN BUSINESS SYSTEMS		196.47	11/04/2020	742061	MONTHLY BILLING 9/20-10/19
	PROVEN BUSINESS SYSTEMS Total		<u>196.47</u>			
3787	VIKING BROS INC	92	3,254.81	11/04/2020	INV_2020-714	BINS LCQ/FRQ
		92	1,807.48	11/04/2020	INV_2020-738	BINS FRQ CA7
	VIKING BROS INC Total		<u>5,062.29</u>			
3799	LRS HOLDINGS LLC	108486	137.91	11/04/2020	0000076817	WOODS
		108138	11,112.54	11/04/2020	PS342782	STREET SWEEPING OCTOBER
		108994	2,000.31	11/12/2020	0004503713	SEPTEMBER BILLING
		108228	130.00	11/12/2020	PS343989	SERVICES 09/25/20-10/22/20
		108148	65.00	11/12/2020	PS343990	SERVICES 9/25/20-10/22/20
		109918	390.00	11/12/2020	PS343991	SERVICES 09/25/20-10/22/20
	LRS HOLDINGS LLC Total		<u>13,835.76</u>			
3867	HOOPER CORPORATION	108490	111,016.90	11/04/2020	11986-15-05	OVERHEAD CONTRACTOR SEF
	HOOPER CORPORATION Total		<u>111,016.90</u>			
3882	CORE & MAIN LP	108818	2,511.00	11/12/2020	N233610	MISC WATER PARTS
	CORE & MAIN LP Total		<u>2,511.00</u>			
3885	KIMBERLY G ABATANGELO	108118	150.00	11/12/2020	ST10272020	MEETING MINUTES MENTAL HE
	KIMBERLY G ABATANGELO Total		<u>150.00</u>			
3886	VIA CARLITA LLC	110111	2,166.16	11/12/2020	141842	VEH 1931 RO 64590
		108277	921.24	11/12/2020	31754	RO 64556 VEH 1756 PARTS
		108277	107.58	11/12/2020	31789	RO 64563 PARTS
		108277	229.81	11/12/2020	31816	RO 64563 PARTS
		108277	33.17	11/04/2020	31623	SOCKET AND WIRE

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
	VIA CARLITA LLC Total		<u>3,457.96</u>			
3915	B&W CONTROL SYSTEMS	110013	3,040.00	11/12/2020	0217045	SUPPORT SERVICES WASTEWA
	B&W CONTROL SYSTEMS Total		<u>3,040.00</u>			
3946	JENNIFER LARSEN		32.00	11/04/2020	110320JL	PER DIEM COUNTRYSIDE 11/17
	JENNIFER LARSEN Total		<u>32.00</u>			
3968	TRANSAMERICA CORPORATION		4,713.89	11/06/2020	RHFP201106112516PI	Retiree Healthcare Funding Pla
	TRANSAMERICA CORPORATION Total		<u>4,713.89</u>			
3973	HSA BANK WIRE ONLY		200.00	11/06/2020	HSAF201106112516C/	Health Savings Plan - Family
			1,342.30	11/06/2020	HSAF201106112516FI	Health Savings Plan - Family
			457.70	11/06/2020	HSAF201106112516HF	Health Savings Plan - Family
			352.69	11/06/2020	HSAF201106112516IS	Health Savings Plan - Family
			847.31	11/06/2020	HSAF201106112516PI	Health Savings Plan - Family
			546.92	11/06/2020	HSAF201106112516PV	Health Savings Plan - Family
			175.00	11/06/2020	HSAS201106112516C/	Health Savings - Self Only
			271.16	11/06/2020	HSAS201106112516CI	Health Savings - Self Only
			633.08	11/06/2020	HSAS201106112516FI	Health Savings - Self Only
			408.33	11/06/2020	HSAS201106112516FI	Health Savings - Self Only
			754.92	11/06/2020	HSAS201106112516PI	Health Savings - Self Only
			97.69	11/06/2020	HSAS201106112516PV	Health Savings - Self Only
	HSA BANK WIRE ONLY Total		<u>6,087.10</u>			
4044	KLEIN THORPE & JENKINS LTD	104080	55.00	11/12/2020	102720	AT&T SMALL CELL CONTRACT
	KLEIN THORPE & JENKINS LTD Total		<u>55.00</u>			
4057	COPS TESTING SERVICE INC	108220	160.00	11/04/2020	106151	POLICE DEPT TESTING
	COPS TESTING SERVICE INC Total		<u>160.00</u>			
4074	AMAZON CAPITAL SERVICES INC	110040	343.64	11/04/2020	141W-NFQ9-NCHG	CONTACTOR 110-120 VAC
		108232	9.96	11/04/2020	14QK-PJ3D-MLKY	OFFICE SUPPLY
		108232	105.76	11/04/2020	14QK-PJ3D-VL6C	USB FLASH DRIVE PEN MEMOF

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
		108802	19.99	11/04/2020	16QD-R99N-1DMV	EVIDENT BAGS-FRAUD DEPOS
		110004	335.96	11/04/2020	16Y4-494P-N37Y	BODY THERMOMETER
		110064	480.00	11/04/2020	1C61-PCJ9-M7M7	INVENTORY ITEMS
		110070	59.98	11/04/2020	1DKR-1666-3XGP	HD PRO WEBCAM
		109993	11.57	11/04/2020	1FDX-TGFT-P7CP	MINI DISPLAYPORT HDMI CABL
		110005	27.70	11/04/2020	1G6D-HFRG-WMMH	CABLE PORT DISPLAY
		108370	80.91	11/04/2020	1JNR-GWL1-QMD6	OFFICE SUPPLIES
		110063	67.97	11/04/2020	1JRR-KRYT-WLFQ	HOLDER REEL RETRACTABLE
		108232	8.50	11/04/2020	1XFG-7GJV-J11P	MULTI PURPOSE PRY TOOL
		110036	8.99	11/04/2020	1YHC-FDHV-M16W	LED LICENSE PLATE LIGHT
		110114	14.99	11/12/2020	143N-7PJT-H73H	RECOIL STARTER FLEET
		110063	101.35	11/12/2020	14NR-D99C-7FLN	VEHICLE RESCUE AND EXTRIC
		108370	37.99	11/12/2020	16DM-H9PG-P7JJ	SPACE HEATER
		108370	159.25	11/12/2020	1QQ9-HCH7-PXXG	PW SUPPLIES
		110131	10.99	11/12/2020	1TCJ-YJ4Q-G9DH	CALENDARS
		108370	9.99	11/12/2020	1WXC-WX3C-NJDN	MONTHLY PLANNER
		110121	284.56	11/12/2020	1XHL-7JXJ-L31Y	ARMOR CAR CLEANER
		108232	42.50	11/12/2020	1XNL-7JXJ-DJ31	POLICE DEPT SUPPLIES
		110132	17.45	11/12/2020	1XNL-7JXJ-GHTF	WEEKLY BOOK PLANNERS
		108232	474.99	11/12/2020	1XNL-7JXJ-RMLW	LED SIGHTS
		110102	313.91	11/12/2020	1YJR-F76K-F3TJ	HERSHEY KISSES
	AMAZON CAPITAL SERVICES INC Total		3,028.90			
4114	CHICAGO PARTS AND SOUND LLC					
		108218	115.35	11/04/2020	1-0167339	MISC SUPPLIES FLEET
	CHICAGO PARTS AND SOUND LLC Total		115.35			
4121	HSA BANK					
		108245	62.00	11/04/2020	W269197	HSA SERVICE FEE
	HSA BANK Total		62.00			
4135	ILLINOIS PUBLIC RISK FUND					
			11,708.00	11/12/2020	110920	MONTHLY IPRF DEC 2020
	ILLINOIS PUBLIC RISK FUND Total		11,708.00			
4174	UNIFIRST CORPORATION					
		108571	217.36	11/12/2020	1514480/1020	STATEMENT-4 INV 10/26/20
	UNIFIRST CORPORATION Total		217.36			
4210	GALLAGHER BENEFIT SERVICES INC					

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
		108241	13,125.00	11/04/2020	212890	AUGUST-OCTOBER COUNSELII
	GALLAGHER BENEFIT SERVICES INC Total		<u>13,125.00</u>			
4242	MID AMERICA ENERGY SERVICES					
		109960	7,251.40	11/04/2020	20635	WATER MAIN REPAIR PANERA
	MID AMERICA ENERGY SERVICES Total		<u>7,251.40</u>			
4315	MAKE WAVES SCUBA INC					
		109851	123.60	11/12/2020	33682	TRIDENT BCD INFLATOR HOSE
	MAKE WAVES SCUBA INC Total		<u>123.60</u>			
4332	ADVOMATIC STUDIO LLC					
		109971	3,250.00	11/12/2020	57759	MONTHLY BILLING NOVEMBER
	ADVOMATIC STUDIO LLC Total		<u>3,250.00</u>			
4341	CIORBA GROUP					
		106991	5,898.22	11/12/2020	0025204	COUNTRY CLUB LIFT STATION
	CIORBA GROUP Total		<u>5,898.22</u>			
4375	RIVIERA FINANCE OF TEXAS					
		109407	555.99	11/12/2020	90469	10/11/20-10/17/20 LAUDADIO
		109647	550.13	11/12/2020	90470	10/11/20-10/17/20 HENRY, ANNA
	RIVIERA FINANCE OF TEXAS Total		<u>1,106.12</u>			
4412	WI SCTF					
			596.30	11/06/2020	0000012442011061125	WI Child Support Amount 1
	WI SCTF Total		<u>596.30</u>			
4417	ELLWYN DARLENE SCHROEDER					
		91	6,314.34	11/04/2020	3413	2020 OCTOBER STOCPILE # 130
	ELLWYN DARLENE SCHROEDER Total		<u>6,314.34</u>			
4426	O BRIEN CORPORATION					
		109798	120.40	11/12/2020	0321775	BLANK LASER PAPER WITH PE
	O BRIEN CORPORATION Total		<u>120.40</u>			
4447	CATHODIC PROTECTION MANAGMENT					
		109136	1,050.00	11/12/2020	9594	CATHODIC INSPECTION STOR/
	CATHODIC PROTECTION MANAGMENT Total		<u>1,050.00</u>			
4450	JEFFREY S STAY					

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
		109580	350.00	11/04/2020	101920	POLICE STATION COPING STOI
	JEFFREY S STAY Total		350.00			
4460	PUBLIC SAFETY CENTER INC					
		109972	319.85	11/12/2020	5959173	N95 MASKS
	PUBLIC SAFETY CENTER INC Total		319.85			
4472	GRIFFON SYSTEMS INC					
		109544	44,270.00	11/04/2020	3549	MISC PARTS FOR SECURITY
	GRIFFON SYSTEMS INC Total		44,270.00			
4473	BRAD MANNING FORD INC					
		109865	145.64	11/04/2020	129283	VEH 1796 RO 64492 WEATHER/
		109893	64.92	11/04/2020	129507	KIT
		109949	36.24	11/12/2020	129882	FILTER
		109951	121.62	11/12/2020	129884	INVENTORY ITEMS
		109949	54.36	11/12/2020	129921	FILTER
	BRAD MANNING FORD INC Total		422.78			
4475	HUMIR CONSTRUCTION INC					
		109577	35,336.58	11/04/2020	3916	INSTALLATION MANHOLE
	HUMIR CONSTRUCTION INC Total		35,336.58			
4497	STC LEARN					
			4,000.00	11/04/2020	110320	OCTOBER 2020 MEETING STC I
	STC LEARN Total		4,000.00			
9990011	ANGELA LEE					
			1,906.00	11/04/2020	110320AL	REIMBURSEMENT SEWER ASS
	ANGELA LEE Total		1,906.00			
9990011	7-ELEVEN INC					
			780.02	11/12/2020	110920	REFUND OVERPAYMENT ALC 1
	7-ELEVEN INC Total		780.02			
9990011	CHICAGO TRIBUNE COMPANY					
			1,798.62	11/12/2020	027107391000	CLASSIFIED LISTING CTC27107
	CHICAGO TRIBUNE COMPANY Total		1,798.62			

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
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	<u>Grand Total:</u>	<u>1,555,979.43</u>				
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The above expenditures have been approved for payment:

_____	_____
Chairman, Government Operations Committee	Date

_____	_____
Vice Chairman, Government Operations Committee	Date

_____	_____
Finance Director	Date

City of St. Charles, Illinois
Ordinance No. 2020-M-__

An Ordinance Confirming and Extending a Declared State of Emergency within the City of St. Charles Due to the COVID-19 Pandemic

WHEREAS, the City of St. Charles (“City”) has a population of more than 25,000 persons and is, therefore, a home rule unit under subsection (a) of Section 6 of Article VII of the Illinois Constitution of 1970; and

WHEREAS, subject to said Section, a home rule unit may exercise any power and perform any function pertaining to its government and affairs for the protection of the public health, safety, morals, and welfare; and

WHEREAS, on March 9, 2020, the Governor of the State of Illinois issued a Gubernatorial Disaster Proclamation declaring a state of emergency throughout the State of Illinois as a result of the COVID-19 pandemic; and

WHEREAS, on March 18, 2020, the City passed Ordinance No. 2020-M-11, establishing temporary executive powers and the Mayor of the City declared a state of emergency within the City pursuant to 65 ILCS 5/11-1-6, 20 ILCS 3305/11 and Sections 2.34 and 2.36 of the City Code of the City; and

WHEREAS, on April 27, 2020, the City passed Ordinance No. 2020-M-15, confirming and extending to and until May 30, 2020 a declared state of emergency within the City due to the COVID-19 pandemic; and

WHEREAS, on May 28, 2020 the City passed Ordinance No. 2020-M-22, confirming and extending to and until June 15, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on June 15, 2020 the City passed Ordinance No. 2020-M-24, confirming and extending to and until July 20, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on July 20, 2020 the City passed Ordinance No. 2020-M-27, confirming and extending to and until, August 3, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on August 3, 2020 the City passed Ordinance No. 2020-M-28, confirming and extending to and until, August 17, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on August 17, 2020 the City passed Ordinance No. 2020-M-31, confirming and extending to and until, September 8, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on September 8, 2020 the City passed Ordinance No. 2020-M-35, confirming and extending to and until, September 21, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on September 21, 2020 the City passed Ordinance No. 2020-M-37, confirming and extending to and until, October 5, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on October 5, 2020 the City passed Ordinance No. 2020-M-38, confirming and extending to and until, October 19, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on October 19, 2020 the City passed Ordinance No. 2020-M-46, confirming and extending to and until, November 2, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on November 2, 2020 the City passed Ordinance No. 2020-M-49, confirming and extending to and until, November 16, 2020 a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, on November 16, 2020 the City passed Ordinance No. 2020-M-50, confirming and extending until the next City Council Meeting a declared state of emergency within the City due to the COVID-19 Pandemic.

WHEREAS, while the City is currently responding to this COVID-19 pandemic, it is deemed necessary and in the interest of the people of the City, in accordance with the City's responsibility to ensure public health and safety and pursuant to the authority vested in the City pursuant to the Illinois Constitution, including Article VII, Section 6 of the 1970 Illinois Constitution, the laws of the State of Illinois, including Section 11 of the Illinois Emergency Management Agency Act, 20 ILCS 3305/11, Sections 11-1-6, 11-20-5, 8-10-5 and 10-3-6, among others, of the Illinois Municipal Code and Sections 2.34 and 2.36 of the Code of the City, to consent to the declaration that an emergency exists within and a disaster exists in the City and renew and continue the emergency powers of the Mayor.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, AS FOLLOWS:

1. RECITALS. The facts and statements contained in the preambles to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.
2. DECLARATION OF AN EMERGENCY AND DISASTER. It is hereby determined that it is advisable, necessary and in the best interest of the City that the findings, determination and declaration of the Mayor on March 18, 2020, as extended, that a state of emergency and a disaster exists in the City due to the coronavirus disease (COVID-19) outbreak continues to exist and that the actions taken by the Mayor resulting from and in furtherance of that declaration be and are hereby ratified and affirmed.

3. EXECUTIVE ORDER. The Mayor shall be and is hereby authorized and directed to continue to exercise by executive order the extraordinary emergency powers and authority as conferred and as may be reasonably necessary to respond to the emergency during the time that this state of emergency exists.

4. DURATION. This Ordinance shall remain in effect until the next regularly City Council meeting, provided that the Ordinance shall immediately cease to be effective upon a declaration by the Governor or the Mayor that the state of emergency related to the COVID-19 pandemic no longer exists.

5. AUTHORITY TO EXECUTE AND ENFORCE. The officials, officers, employees and agents of the City are authorized to take such actions and execute such documents as are necessary to carry out the purpose and intent of this Ordinance. The Mayor, police officers, and all other officers and employees of the City shall enforce the rules and regulations so adopted and orders issued by the Mayor pursuant to this Ordinance.

6. NOTICE. Upon issuing the proclamation herein authorized, the City Clerk shall notify the news media situated within the City, and shall cause copies of the proclamation declaring the existence of the emergency to be posted at the following places within the City: City Hall and the police station.

7. SEVERABILITY. If any provision of this Ordinance, or the application of any provision of this Ordinance, is held unconstitutional or otherwise invalid, such occurrence shall not affect other provisions of this Ordinance, or their application, that can be given effect without the unconstitutional or invalid provision or its application. Each unconstitutional or invalid provision, or application of such provision, is severable, unless otherwise provided by this Ordinance.

8. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed to the extent of the conflict.

PRESENTED to the City Council of the City of St. Charles, Illinois, this 7th day of December, 2020.

PASSED by the City Council of the City of St. Charles, Illinois, this 7th day of December, 2020.

APPROVED by the Mayor of the City of St. Charles, Illinois, this 7th day of December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

City Clerk

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:



CITY OF
ST. CHARLES
ILLINOIS • 1834

AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: IB

Title:

Recommendation to Approve an Agreement with Gartner Consulting to Provide Information Technology Research and Consulting Services for \$42,200

Presenter:

Larry Gunderson, Director of Information Systems

Meeting: City Council

Date: December 7, 2020

Proposed Cost: \$42,200

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

For the past two years the Information Systems Department has utilized Gartner Consulting’s IT research, advisory and contract review services to provide support for many of its initiatives. In particular, Gartner provided exceptional value by validating the costs for the purchase of network equipment, reviewing the City’s request for proposal for enterprise software applications and providing recommendations for technical standards. Gartner also provided timely support for the development of policy and technology planning for pandemic response.

For FY 21 IS staff are recommending a new one-year agreement with Gartner Consulting to continue to provide their research and advisory services. As a result, it is expected that Gartner will enable the City to realize savings in its upcoming purchase of data storage and computer servers, in addition to providing ongoing policy and technology planning support.

In order to minimize the impact to the budget, the Gartner services that the Information Systems Department will be utilizing will be reduced from previous years. This will allow a cost reduction of over 30% from the previous annual contract, without a significant reduction in scope. To fund the contract, budget will be utilized from unused funds for other technology support services.

Because of Gartner’s unique position as an independent, global technology research company, no other consulting firm provides similar services. As a result, this will be a sole source procurement.

Attachments *(please list):*

Gartner Service Agreement

Recommendation/Suggested Action *(briefly explain):*

Recommend approval of an agreement with Gartner Consulting for information technology research and consulting services for \$42,200.

Gartner, Inc. Service Agreement for CITY OF ST CHARLES (“Client”)

This Service Agreement (“SA”), including the General Terms and all applicable Service Descriptions, constitutes the complete agreement between Gartner, Inc. of 56 Top Gallant Road, Stamford, CT 06902 (“Gartner”) on behalf of itself and all wholly-owned affiliates of Gartner, Inc. and Client of 2 East Main St, Saint Charles, IL 60174 (“Client”) for the Services (as defined below). Client agrees to subscribe to the following Services for the term and fees set forth below.

1. DEFINITIONS AND ORDER SCHEDULE:

Services are the subscription-based research and related services purchased by Client in the Order Schedule below and described in the Service Descriptions. Service Names and Levels of Access are defined in the Service Descriptions. Gartner may periodically update the names and the deliverables for each Service. If Client adds Services or upgrades the level of service or access, an additional Service Agreement will be required.

Service Descriptions describe each Service purchased, specify the deliverables for each Service, and set forth any additional terms unique to a specific Service. Service Descriptions for the Services purchased in this SA may be viewed and downloaded through the hyperlinks listed in Section 2 below or may be attached to this SA in hard copy, and are incorporated by reference into this SA.

<u>Service Name</u>	<u>Level of Access</u>	<u>Quantity</u>	<u>Name of User to be Licensed</u>	<u>Contract Term Start Date</u>	<u>Contract Term End Date</u>	<u>Annual Fee USD</u>	<u>Total Fee USD</u>
Gartner for IT Leaders	Individual Access Advisor	1	Larry Gunderson	01-JAN-2021	31-DEC-2021	\$42,200.00	\$42,200.00
				Term Total	(Excluding applicable taxes)		\$42,200.00
				Total Services:	(Excluding applicable taxes)		\$42,200.00

1-24L599A0 2012

2. SERVICE DESCRIPTIONS:

<u>Service Name/ Level of Access</u>	<u>Service Description URL</u>
Gartner for IT Leaders Individual Access Advisor	http://sd.gartner.com/sd_itl_individual_advisor.pdf

3. PAYMENT TERMS

Gartner will invoice Client annually in advance for all Services. Payment is due 30 days from the invoice date. Client shall pay any sales, use, value-added, or other tax or charge imposed or assessed by any governmental entity upon the sale, use or receipt of Services, with the exception of any taxes imposed on the net income of Gartner.

Please attach any required Purchase Order (“**PO**”) to this SA and enter the PO number below. If an annual PO is required for multi-year contracts, Client will issue the new PO at least 30 days prior to the beginning of each subsequent contract year. Any pre-printed or additional contract terms included on the PO shall be inapplicable and of no force or effect. All PO’s are to be sent to purchaseorders@gartner.com. This SA may be signed in counterparts.

4. CLIENT BILLING INFORMATION

Purchase Order Number

Billing Address

Invoice Recipient Tel. No.

Invoice Recipient Name

Invoice Recipient Email

5. AUTHORIZATION

Client:
CITY OF ST CHARLES

Gartner, Inc.

Signature

Signature

Date

Date

Print Name

Print Name

Title

Title

General Terms

1. This SA for subscription-based research and related services (the “**Services**”) is non-cancelable, and may be terminated only for material breach by either party, upon 30 days prior written notice, if the breach is not cured within the notice period.

2. **Ownership and Use of the Services** Gartner owns and retains all rights to the Services not expressly granted to Client. Only the individuals named in this SA (each a “**Licensed User**”) may access the Services. Each Licensed User will be issued a unique password, which may not be shared. Client agrees to review and comply with the *Gartner Usage Policy*, which is accessible to all Licensed Users via the “Policies” section of gartner.com. Among other things, the *Gartner Usage Policy* describes how Client may substitute Licensed Users, excerpt from and/or share Gartner research documents within the Client organization, and quote or excerpt from the Services externally.

3. **DISCLAIMER OF WARRANTIES.** THE SERVICES ARE PROVIDED ON AN “AS IS” BASIS, AND GARTNER EXPRESSLY DISCLAIMS ALL WARRANTIES, EXPRESS OR IMPLIED, STATUTORY OR OTHERWISE, INCLUDING, WITHOUT LIMITATION, ANY IMPLIED WARRANTIES OF FITNESS FOR A PARTICULAR PURPOSE OR AS TO ACCURACY, COMPLETENESS OR ADEQUACY OF INFORMATION. CLIENT RECOGNIZES THE UNCERTAINTIES INHERENT IN ANY ANALYSIS OR INFORMATION THAT MAY BE PROVIDED AS PART OF THE SERVICES, AND ACKNOWLEDGES THAT THE SERVICES ARE NOT A SUBSTITUTE FOR ITS OWN INDEPENDENT EVALUATION AND ANALYSIS AND SHOULD NOT BE CONSIDERED A RECOMMENDATION TO PURSUE ANY COURSE OF ACTION. GARTNER SHALL NOT BE LIABLE FOR ANY ACTIONS OR DECISIONS THAT CLIENT MAY TAKE BASED ON THE SERVICES OR ANY INFORMATION OR DATA CONTAINED THEREIN. CLIENT UNDERSTANDS THAT IT ASSUMES THE ENTIRE RISK WITH RESPECT TO THE USE OF THE SERVICES.

4. **Client Confidential Information.** Gartner agrees to keep confidential any Client-specific information communicated by Client to Gartner in connection with this SA that is (i) clearly marked confidential if provided in written form, or (ii) preceded by a statement that such information is confidential, if provided in oral form, and such statement is confirmed in writing within 30 days of its initial disclosure. This obligation of confidence shall not apply to any information that: (1) is in the public domain at the time of its communication; (2) is independently developed by Gartner; (3) entered the public domain through no fault of Gartner subsequent to Client's communication to Gartner; (4) is in Gartner's possession free of any obligation of confidence at the time of Client's communication to Gartner; or (5) is communicated by the Client to a third party free of any obligation of confidence. Additionally, Gartner may disclose such information to the extent required by legal process.

5. **Data Protection.** In performing its obligations under this SA, Gartner and Client will each comply with all applicable data privacy legislation. In providing the services Gartner shall comply with its global privacy policy available at gartner.com/privacy.

6. Miscellaneous

(a) **Assignability.** This SA and the rights granted to Client hereunder may not be assigned, sublicensed or transferred, in whole or in part, by either party without the prior written consent of the other party, except to a successor to substantially all of the business or assets of a party by merger or acquisition. Where consent is required, it will not be unreasonably withheld.

(b) **Arbitration.** Any unresolved dispute under this SA shall be decided by arbitration conducted in Stamford, Connecticut before a single arbitrator under the administration of JAMS, in accordance with JAMS' Streamlined Arbitration Rules and Procedures. The decision of the arbitrator shall be final and binding, and the award may be entered in any court having jurisdiction. The prevailing party in any arbitration shall be entitled to an award of its reasonable attorneys' fees and costs, in addition to any award of damages or other relief.

(c) **Applicable Law.** This SA shall be governed by and construed in accordance with the procedural and substantive laws of the State of Connecticut, without reference to its conflict of law principles.

(d) **Use of Name, Trademark, and Logo.** Absent the prior written consent of the other party, neither party shall use the name, trademarks, or logo of the other in promotional materials, publicity releases, advertising, or any other similar publications or communications.

(e) **No Third Party Beneficiaries.** This SA is for the benefit of the parties only.

(f) **Surviving Clauses.** Sections 3, 4, 5 and 6 (b), (c), (d), (e) and (f) shall survive the termination of this SA.

SERVICE DESCRIPTION
Attachment to the Service Agreement
GARTNER FOR IT LEADERS
INDIVIDUAL ACCESS ADVISOR

Gartner for IT Leaders Individual Access Advisor (the “Service”) provides clients with access to research and advice about information technology and the functional responsibilities of specific IT roles.

DELIVERABLES

Each user designated by Client (“Licensed User”) receives the following Deliverables:

- Core IT Research
- Role-Specific IT Research
- Best practice and decision support content
- IT Key Metrics Data
- Diagnostic Tools, Templates, and Case Studies
- Selected Vendor Reports
- Weekly Picks & News Analysis
- Webinars
- Peer Networking
- Talking Technology Series
- Individual Inquiry
- IT Summit Conference Ticket

ADDITIONAL USAGE INFORMATION

Participation in inquiry calls is limited to the Licensed User(s) and the Gartner research advisor only (i.e., non-Users, either inside or outside of the Client company, may not attend or otherwise participate on the call).

The Gartner IT Summit Conference Ticket is a numbered identifier (e.g., 424562) that entitles the Licensed User to register for one (1) Gartner IT Summit Conference as specified in the Ticket Letter emailed to Client. An IT Summit Ticket may also be used to register for a Catalyst Conference. Tickets are valid for 12 (twelve) months from the date of issue, per the expiration date on the Ticket Letter. Tickets provided as part of a Gartner Research offering are valid only for Gartner conferences during the contract term of that Research offering. Tickets are transferable within the Client company but may not be transferred to another company. A single Ticket may not be used by more than one (1) client employee and may not be used for admission to any Gartner conference other than IT Summit or Catalyst.

Client companies around the world trust Gartner to be objective and independent in its research and advice, and Gartner takes that responsibility seriously. To preserve the objectivity of research, Gartner does not promise clients favorable coverage or leads from its research advisors and analysts. Gartner does not provide access to confidential client information, offer aid to secure capital funding, or sell any product for use in litigation. There are no exceptions. If you have questions, please email ombudsman@gartner.com.

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AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: IC

Title:

Public Hearing - Proposed 2020 Property Tax Levy – City Operating Levy

Presenter:

Chris Minick, Finance Director

Meeting: Public Hearing

Date: December 7, 2020

Proposed Cost: \$-0-

Budgeted Amount: \$ N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Staff will present the proposed tax levy for the 2020 levy year. As discussed at the November 2 City Council meeting, this year’s operating tax levy contemplates an increase in the tax levy proportionate to the increase in inflation as measured by the Consumer Price Index (CPI) – 2.30%. While the amount of the operating levy is increasing, the City’s tax rate will remain the same or perhaps increase slightly because the percentage increase in the levy is approximately equal to the increase in the value of the City’s property tax base as measured by the Equalized Assessed Valuation (EAV) of the City. The EAV of the City is not finalized at this time so staff is unable to calculate the precise property tax rate for the City’s tax levy; however, staff estimates that the EAV will increase by approximately 2.25%.

The levy amount presented incorporates the amount necessary for principal and interest payments on the City’s general obligation bond issues. It is anticipated that the debt service property tax levies will be abated in their entirety. The City has historically made these principal and interest payments from the general revenue stream rather than the property tax revenue stream. The amounts presented below are after the abatement process is completed. This abatement process lowers the property tax bills of City residents and the amount of property taxes paid to the City. Without the abatement, the City’s tax levy would be increased by \$ \$10,836,271 for payment of principal and interest on the City’s bonds.

Staff is requesting an increase of 2.3% in the amount of the operating levy to \$13,069,216. The EAV of the City is estimated to increase by approximately 2.25%. When combined with the proposed 2.30% increase in the amount of the operating levy, the City’s property tax rate should essentially remain consistent at approximately \$0.828 per \$100 of EAV. Depending on the final EAV of the City, it is possible that the tax rate could increase slightly to \$0.8283 per \$100 of EAV. As stated previously, the EAV of the City will not be finalized until 2021 so it is not possible to calculate a precise tax rate for the City at this time. The operating levy request of the City is generally in line with Tax Cap Legislation (PTELL) even though the City is not subject to PTELL legislation because St Charles is a Home Rule Community.

The City’s property tax rate is remaining essentially consistent, so any increase in the property tax bill would be the result of an increase in property value as measured by a property’s EAV. The City portion of the tax bill for a \$300,000 property was \$778.25 for the 2019 levy payable in calendar year 2020. If the property’s valuation remains the same for 2020, the City portion of the tax bill will be \$778.64, an increase of \$0.39 annually. If the property experiences a 2.25% increase in its value (the 2020 value of the property is \$306,750 rather than \$300,000) the City portion of the property tax bill will increase to \$797.28, a \$19.03 annual increase because of the increase in the value of the property.

Attachments *(please list):*

Recommendation/Suggested Action *(briefly explain):*

Staff Presentation and Public Comment



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: ID

Title: **Seeking Motion to approve the Ordinance Levying Taxes for the 2020 Levy Year for the City of St. Charles**

Presenter: Chris Minick, Finance Director

Meeting: City Council

Date: December 7, 2020

Proposed Cost: \$-0-

Budgeted Amount: \$ N/A

Not Budgeted:

Executive Summary (if not budgeted please explain):

Staff will present the proposed tax levy for the 2020 levy year. As discussed at the November 2 City Council meeting, this year’s operating tax levy contemplates an increase in the tax levy proportionate to the increase in inflation as measured by the Consumer Price Index (CPI) – 2.30%. While the amount of the operating levy is increasing, the City’s tax rate will remain the same or perhaps increase slightly because the percentage increase in the levy is approximately equal to the increase in the value of the City’s property tax base as measured by the Equalized Assessed Valuation (EAV) of the City. The EAV of the City is not finalized at this time so staff is unable to calculate the precise property tax rate for the City’s tax levy; however, staff estimates that the EAV will increase by approximately 2.25%.

The levy amount presented incorporates the amount necessary for principal and interest payments on the City’s general obligation bond issues. It is anticipated that the debt service property tax levies will be abated in their entirety. The City has historically made these principal and interest payments from the general revenue stream rather than the property tax revenue stream. The amounts presented below are after the abatement process is completed. This abatement process lowers the property tax bills of City residents and the amount of property taxes paid to the City. Without the abatement, the City’s tax levy would be increased by \$ 10,836,271 for payment of principal and interest on the City’s bonds.

Staff is requesting an increase of 2.3% in the amount of the operating levy to \$13,069,216. The EAV of the City is estimated to increase by approximately 2.25%. When combined with the proposed 2.30% increase in the amount of the operating levy, the City’s property tax rate should essentially remain consistent at approximately \$0.828 per \$100 of EAV. Depending on the final EAV of the City, it is possible that the tax rate could increase slightly to \$0.8283 per \$100 of EAV. As stated previously, the EAV of the City will not be finalized until 2021 so it is not possible to calculate a precise tax rate for the City at this time. The operating levy request of the City is generally in line with Tax Cap Legislation (PTELL) even though the City is not subject to PTELL legislation because St Charles is a Home Rule Community.

The City’s property tax rate is remaining essentially consistent, so any increase in the property tax bill would be the result of an increase in property value as measured by a property’s EAV. The City portion of the tax bill for a \$300,000 property was \$778.25 for the 2019 levy payable in calendar year 2020. If the property’s valuation remains the same for 2020, the City portion of the tax bill will be \$778.64, an increase of \$0.39 annually. If the property experiences a 2.25% increase in its value (the 2020 value of the property is \$306,750 rather than \$300,000) the City portion of the property tax bill will increase to \$797.28, a \$19.03 annual increase because of the increase in the value of the property.

Attachments (please list):

- **2020 Tax Levy Year Ordinance**

Recommendation/Suggested Action (briefly explain):

- **Motion to approve the Ordinance Levying Taxes for the 2020 Levy Year for the City of St Charles**

City of St. Charles, Illinois
Ordinance No. _____

Annual Tax Levy Ordinance

WHEREAS, the City Council of the city of St. Charles, Kane and DuPage Counties, did on the 6th day of April 2020, pass the annual budget for said City of St. Charles;

WHEREAS, said budget was duly considered and heard by public hearing on the 6th day of April 2020, in accordance with the provision of the Illinois Revised Statutes, Chapter 24, Article 8, Division 2, Paragraph 9.4 and 9.9.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS as follows:

SECTION 1. That there be and is hereby levied upon all the taxable property within the corporate limits of said City of St. Charles, Illinois, subject to taxation for the year 2020, the total sum of \$23,905,487 (Twenty Three Million, Nine Hundred and Five Thousand, Four Hundred and Eighty Seven Dollars) for the following specific purposes mentioned in said budget and in the respective sums to follow to wit:

	<u>AMOUNT BUDGETED</u>	<u>AMOUNT LEVIED</u>
A. Fire Pension Fund: Municipal normal cost as per Illinois State Statute Chapter 108-1/2 Sections 4-118 & 4-120 and giving consideration to the actuarial valuation of the fund, the present annual amount required to finance the fund on an actuarial basis and to arrive at a fully funded financial position at the end of the period specified in Section 4-118.	\$2,530,046.	
Total Amount Levied		<u>\$2,530,046.</u>

	<u>AMOUNT BUDGETED</u>	<u>AMOUNT LEVIED</u>
B. Police Pension Fund: Municipal normal cost as per Illinois State Statute Chapter 108-1/2 Sections 3-125 and 3-127 and giving consideration to the actuarial valuation of the fund, the present annual amount required to finance the fund on an actuarial basis and to arrive at a fully funded financial position at the end of the period specified in Section 3-127.	\$3,756,438.	
Total Amount Levied		<u>\$3,756,438.</u>
C. Police Protection: Regular Salaries	\$7,266,224.	
Total Amount Levied		<u>\$1,750,000.</u>
D. Fire Protection: Fire Operations Regular Salaries	\$4,492,506.	
Total Amount Levied		<u>\$1,750,000.</u>
E. Mental Health: Total amount of contract for services determined necessary to provide support to local qualifying agencies for community mental health	\$631,106.	
Total Amount Levied		<u>\$631,106.</u>

		<u>AMOUNT BUDGETED</u>	<u>AMOUNT LEVIED</u>
F.	Corporate		
	City Administration		
	Personal Services	\$ 492,587.	
	Accounting		
	Personal Services	\$1,028,564.	
	Information Services		
	Personal Services	\$1,798,790.	
	Human Resources		
	Personal Services	\$ 850,234.	
	Total Amount Levied		<u>\$2,651,626</u>
H.	Bonds & Interest		
	2011 A Bond Issue	354,275	
	2011 C Bond Issue	478,375	
	2011 D Bond Issue	326,675	
	2012 A Bond Issue	757,575	
	2012 B Bond Issue	1,141,350	
	2013 A Bond Series	894,200	
	2013 B Bond Series	357,466	
	2015A Bond Series	192,818	
	2016A Bond Series	555,875	
	2016B Bond Series	1,446,025	
	2016B TIF Bonds	289,280	
	2018 GO Bond Series	1,491,293	
	2019 GO Bond Series	1,057,250	
	2020A GO Bond Series	824,114	
	2020B GO Bond Series	669,700	
	Total	\$10,836,271.	
	Total Amount Levied – Bonds and Interest		<u>\$10,836,271.</u>

RECAPITULATION

<u>RATE</u>	<u>AMOUNT LEVIED</u>	<u>ESTIMATED</u>
A. Fire Pension Fund	\$2,530,046	.1603
B. Police Pension Fund	\$3,756,438	.2380
C. Police Protection	\$1,750,000	.1109
D. Fire Protection	\$1,750,000	.1109
E. Mental Health	\$631,106	.0400
F. Corporate	\$2,651,626	.1680
G. Bonds & Interest	\$10,836,271	.6865
TOTAL TAX LEVY	\$23,905,487	\$1.5145

SECTION 2. The amounts budgeted and not expressly itemized and carried forward in this Tax Levy Ordinance will be paid out of monies from sources other than the Tax Levy.

SECTION 3. The City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the County Clerk of Kane County and DuPage County, along with such other certification as may be required.

SECTION 4. This ordinance shall take effect and be in full force from and after its passage and approval as provided by law.

PRESENTED to the City Council of the City of St. Charles, Illinois, this 7th day of
December, 2020.

PASSED by the City Council of the City of St. Charles, Illinois, this 7th day of
December, 2020.

APPROVED by the Mayor of the City of St. Charles, Illinois, this 7th day of
December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item Number: IE

Title:

**Public Hearing - Proposed 2020 Property Tax Levy-
Special Service Areas**

Presenter:

Chris Minick, Finance Director

Meeting: Public Hearing

Date: December 7, 2020

Proposed Cost: \$ -0-

Budgeted Amount: \$ N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

In addition to the operating levy staff will also be presenting the proposed 2020 levy year amounts for the City's 9 active Special Service Areas (SSA's). The SSA's are not taxes applicable to all City residents generally, but represent small geographic areas within the City that receive services (primarily maintenance of common storm water detention areas and economic revitalization services for the City's downtown) which the City provides. The benefitting property owners pay an additional property tax to fund those additional maintenance services.

The City currently has 9 active Special Service Areas. We will hold a Public Hearing for each SSA for which staff is proposing to levy taxes for levy year 2020. The active SSA's are:

- SSA 1A (Downtown Parking)
- SSA 1B (Downtown Revitalization)
- SSA 5 (CMD Common Area Mtce)
- SSA 6 (Cambridge East Common Area Mtce)
- SSA 7 (CMD Tyler area Common Area Mtce)
- SSA 10 (Royal Fox I Common Area Mtce)
- SSA 13 (Red Gate Common Area Mtce)
- SSA 21 (Foxfield Commercial Construction and Common Area Mtce)
- SSA 57 (Legacy Bus Park, Electric substation)

Attachments *(please list):*

Recommendation/Suggested Action *(briefly explain):*

Staff Presentation and Public Comment



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: IF - IN

Title:

Seeking Motions to approve the Ordinance Levying Taxes for the 2020 Levy for:

SSA 1A; SSA 1B; SSA 5; SSA 6; SSA 7; SSA 10; SSA 13; SSA 21; and SSA 57

Presenter:

Chris Minick, Finance Director

Meeting: City Council

Date: December 7, 2020

Proposed Cost: \$-0-

Budgeted Amount: \$ N/A

Not Budgeted:

In addition to the operating levy staff will also be presenting the proposed 2020 levy year amounts for the City's 9 active Special Service Areas (SSA's). The SSA's are not taxes applicable to all City residents generally, but represent small geographic areas within the City that receive services (primarily maintenance of common storm water detention areas and economic revitalization services for the City's downtown) which the City provides. The benefitting property owners pay an additional property tax to fund those additional maintenance services.

The City currently has 9 active Special Service Areas. We will hold a Public Hearing for each SSA for which staff is proposing to levy taxes for levy year 2020. The active SSA's are:

- SSA 1A (Downtown Parking)
- SSA 1B (Downtown Revitalization)
- SSA 5 (CMD Common Area Mtce)
- SSA 6 (Cambridge East Common Area Mtce)
- SSA 7 (CMD Tyler area Common Area Mtce)
- SSA 10 (Royal Fox I Common Area Mtce)
- SSA 13 (Red Gate Common Area Mtce)
- SSA 21 (Foxfield Commercial Construction and Common Area Mtce)
- SSA 57 (Legacy Bus Park, Electric substation)

Attachments (please list):

2020 Levy Year SSA Ordinances (9)

Recommendation/Suggested Action (briefly explain):

Motions to approve the Ordinances Levying Taxes for the 2019 Levy for:

SSA 1A; SSA 1B; SSA 5; SSA 6; SSA 7; SSA 10; SSA 13; SSA 21; and SSA 57

PLEASE NOTE That there should be 10 separate motions; one for the City of St Charles and one for each of the individual SSA's.

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 1A**

WHEREAS, the City of St. Charles Special Service Area Number 1A has been created
by an ordinance entitled:

"ORDINANCE NO. 1985-M-92
AN ORDINANCE ESTABLISHING CITY OF
ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS SPECIAL SERVICE AREA NO. 1A"

adopted December 16, 1985, and effective upon passage, approval, and publication, no petition
having been filed opposing the creation of the Special Service Area, pursuant to Section 9 of
Public Act 78-901 ("Ordinance No. 1985-M-92"); and

WHEREAS, said Ordinance 1985-M-92 was amended by ordinance entitled:

"ORDINANCE NO. 1990-M-67
AN ORDINANCE PROPOSING THE ENLARGEMENT
TO SPECIAL SERVICE AREA NO. 1A IN THE
CITY OF ST. CHARLES, KANE AND DUPAGE
COUNTIES, ILLINOIS, AND PROVIDING FOR A
PUBLIC HEARING AND OTHER PROCEDURES IN
CONNECTION THEREWITH"

WHEREAS, said Ordinance 1985-M-92 has further been amended by Ordinance 1993-
M-62 entitled "An Ordinance Amending City of St. Charles, Kane and DuPage Counties,
Illinois, Special Service Area No. 1A (Central Business District)"; and

WHEREAS, said Special Service Area Number 1A consists of territory described in the
ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services in said Special Service Area.

NOW THEREFORE BE IT ORDAINED by the City Council of St. Charles, Kane and DuPage Counties, Illinois as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the tax of the year 2020 in Special Service Area Number 1A is ascertained to be the sum of \$81,000.

SECTION 2: That the following sums be, and the same are hereby levied upon the taxable property within the limits described in "ORDINANCE 1985-M-92, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 1A," as amended by "ORDINANCE NO. 1990-M-67, AN ORDINANCE PROPOSING THE ENLARGEMENT TO SPECIAL SERVICE AREA NO. 1A IN THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, AND PROVIDING FOR A PUBLIC HEARING AND OTHER PROCEDURES IN CONNECTION THEREWITH," and amended by Ordinance 1993-M-62 entitled "An Ordinance Amending City of St. Charles, Kane and DuPage Counties, Illinois, Special Service, Area No. 1A (Central Business District)" said tax to be levied for the year 2020 for the following specific purposes mentioned as special services in said ordinance and budget and in the respective sums to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$81,000
Total Amount Levied	\$81,000.

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE NO. 1985-M-92, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 1A," as amended by "ORDINANCE NO. 1990-M-67, AN ORDINANCE PROPOSING THE ENLARGEMENT TO SPECIAL SERVICE AREA NO. 1A IN THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, AND PROVIDING FOR A PUBLIC HEARING AND OTHER PROCEDURES IN CONNECTION THEREWITH" and as amended by Ordinance 1993-M-62 entitled "An Ordinance Amending City of St. Charles, Kane and DuPage Counties, Illinois, Special Service, Area No. 1A (Central Business District)"

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$81,000 which said total amount the said City of St. Charles Special Service Area Number 1A requires to be raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the city of St. Charles, Illinois, this _____ day of
December, 2020.

PASSED by the City Council of the city of St. Charles, Illinois, this _____ day of
December, 2020.

APPROVED by the Mayor of the city of St. Charles, Illinois, this _____ day of
December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 1B**

WHEREAS, the City of St. Charles Special Service Area Number 1B has been created
by an ordinance entitled:

"ORDINANCE NO. 1993-M-63
AN ORDINANCE ESTABLISHING CITY OF
ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS, SPECIAL SERVICE AREA NO. 1B"
(DOWNTOWN REVITALIZATION)

adopted December 6, 1993, and effective upon passage, approval no petition having been filed
opposing the creation of the Special Service Area, pursuant to Section 9 of Public Act 78-901;
and

WHEREAS, said Special Service Area Number 1B consists of territory described in the
ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services
in said Special Service Area.

NOW THEREFORE BE IT ORDAINED by the City Council of St. Charles, Kane and
DuPage Counties, Illinois, as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the
tax of the year 2020 in Special Service Area Number 1B is ascertained to be the sum of
\$272,000.

SECTION 2: That the following sum be, and the same is hereby levied upon the taxable
property within the limits described in "ORDINANCE NO. 1993-M-63, AN ORDINANCE

ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, SPECIAL SERVICE AREA NUMBER 1B (DOWNTOWN REVITALIZATION)," said tax to be levied for the year 2020 for the following specific purpose mentioned as special services in said ordinance and budget and in the respective sum to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$272,000.00
Total Amount Levied	\$272,000.00

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE NO. 1993-M-63, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 1B (DOWNTOWN REVITALIZATION)."

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$272,000 which said total amount the said City of St. Charles Special Service Area Number 1B requires to be raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the City of St. Charles, Illinois, this ____ day of
December, 2020.

PASSED by the City Council of the City of St. Charles, Illinois, this ____ day of
December, 2020.

APPROVED by the Mayor of the City of St. Charles, Illinois, this ____ day of
December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 5**

WHEREAS, the City of St. Charles Special Service Area Number 5 (Central Manufacturing District) has been created by an ordinance entitled:

"ORDINANCE NO. 2007-M-79
AN ORDINANCE ESTABLISHING CITY OF
ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS SPECIAL SERVICE AREA NO. 5"
(CENTRAL MANUFACTURING DISTRICT)

and effective upon passage, approval, and publication, no petition having been filed opposing the creation of the Special Service Area, pursuant to Section 9 of Public Act 78-901 ("Ordinance No. 2007-M-79"); and

WHEREAS, said Special Service Area Number 5 consists of territory described in the ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services in said Special Service Area.

NOW THEREFORE BE IT ORDAINED, by the City Council of St. Charles, Kane and DuPage Counties, Illinois as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the tax of the year 2020 in Special Service Area Number 5 is ascertained to be the sum of \$5,750.00.

SECTION 2: That the following sums be, and the same are hereby levied upon the taxable property within the limits described in "ORDINANCE 2007-M-79, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 5," said tax to be levied for the year 2020 for the following specific purposes mentioned as special services in said ordinance and budget and in the respective sums to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$5,750.00
Total Amount Levied	\$5,750.00.

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE NO. 2007-M-79, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 5."

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$5,750.00 which said total amount the said City of St. Charles Special Service Area Number 5 requires to be raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

PASSED by the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

APPROVED by the Mayor of the city of St. Charles, Illinois, this _____ day of December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 6**

WHEREAS, the City of St. Charles Special Service Area Number 6 has been created by an ordinance entitled:

"ORDINANCE NO. 1988-M-55
AN ORDINANCE ESTABLISHING CITY OF
ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS SPECIAL SERVICE AREA NO. 6"
(CAMBRIDGE EAST)

adopted August 15, 1988, and effective upon passage, approval, and publication, no petition having been filed opposing the creation of the Special Service Area, pursuant to Section 9 of Public Act 78-901 ("Ordinance No. 1988-M-55"); and

WHEREAS, said Special Service Area Number 6 consists of territory described in the ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services in said Special Service Area.

NOW THEREFORE BE IT ORDAINED, by the City Council of St. Charles, Kane and DuPage Counties, Illinois as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the tax of the year 2020 in Special Service Area Number 6 is ascertained to be the sum of \$1,300.00.

SECTION 2: That the following sum be, and the same is hereby levied upon the taxable property within the limits described in "ORDINANCE 1988-M-55, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 6 (CAMBRIDGE EAST)," said tax to be levied for the year 2020 for the following specific purposes mentioned as special services in said ordinance and budget and in the respective sum to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$1,300.00
Total Amount Levied	\$1,300.00.

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE NO. 1988-M-55, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 6 (CAMBRIDGE EAST)."

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$1,300.00 which said total amount the said City of St. Charles Special Service Area Number 6 requires to be raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

PASSED by the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

APPROVED by the Mayor of the city of St. Charles, Illinois, this _____ day of December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 7**

WHEREAS, the City of St. Charles Special Service Area Number 7 has been created by an ordinance entitled:

"ORDINANCE NO. 1990-M-1
AN ORDINANCE ESTABLISHING CITY OF
ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS SPECIAL SERVICE AREA NO. 7"
(CENTRAL MANUFACTURING DISTRICT)

adopted January 2, 1990, and effective upon passage, approval, and publication, no petition having been filed opposing the creation of the Special Service Area, pursuant to Section 9 of Public Act 78-901 ("Ordinance No. 1990-M-1"); and

WHEREAS, said Ordinance 1990-M-1 was amended by ordinance entitled:

"ORDINANCE NO. 1990-M-20 AN ORDINANCE PROPOSING
PUBLICATION IN PAMPHLET FORM SPECIAL SERVICE AREA 7,
CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS."

WHEREAS, said Special Service Area Number 7 consists of territory described in the ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services in said Special Service Area.

NOW THEREFORE BE IT ORDAINED, by the City Council of St. Charles, Kane and DuPage Counties, Illinois as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the tax of the year 2020 in Special Service Area Number 7 is ascertained to be the sum of \$8,900.00.

SECTION 2: That the following sums be, and the same are hereby levied upon the taxable property within the limits described in "ORDINANCE 1990-M-1, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 7," as amended by "ORDINANCE NO. 1990-M-20, AN ORDINANCE PROPOSING THE PUBLICATION IN PAMPHLET FORM SPECIAL SERVICE AREA NO. 7 IN THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, said tax to be levied for the year 2020 for the following specific purposes mentioned as special services in said ordinance and budget and in the respective sums to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$8,900.00
Total Amount Levied	\$8,900.00.

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE NO. 1990-M-1, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 7," as amended by "ORDINANCE NO. 1990-M-20, AN ORDINANCE PROPOSING PUBLICATION

IN PAMPHLET FORM SPECIAL SERVICE AREA NO. 7 IN THE CITY OF ST. CHARLES,
KANE AND DUPAGE COUNTIES, ILLINOIS.

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$8,900.00 which said total amount the said City of St. Charles Special Service Area Number 7 requires to be raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

PASSED by the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

APPROVED by the Mayor of the city of St. Charles, Illinois, this _____ day of December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

Ordinance No. 2020-M-
Special Service Area 7
Page 4

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 10**

WHEREAS, the City of St. Charles Special Service Area Number 10 has been created
by an ordinance entitled:

"ORDINANCE NO. 1990-M-4
AN ORDINANCE ESTABLISHING CITY OF
ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS SPECIAL SERVICE AREA NO. 10"
(ROYAL FOX I)

adopted January 2, 1990, and effective upon passage, approval, and publication, no petition
having been filed opposing the creation of the Special Service Area, pursuant to Section 9 of
Public Act 78-901 ("Ordinance No. 1990-M-4"); and

WHEREAS, said Ordinance 1990-M-4 was amended by ordinance entitled:

"ORDINANCE NO. 1990-M-4 AN ORDINANCE PROPOSING
PUBLICATION IN PAMPHLET FORM SPECIAL SERVICE AREA 10,
CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS."

WHEREAS, said Special Service Area Number 10 consists of territory described in the
ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services
in said Special Service Area.

NOW THEREFORE BE IT ORDAINED, by the City Council of St. Charles, Kane and
DuPage Counties, Illinois as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the tax of the year 2020 in Special Service Area Number 10 is ascertained to be the sum of \$11,000.00.

SECTION 2: That the following sums be, and the same are hereby levied upon the taxable property within the limits described in "ORDINANCE 1990-M-4, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 10," said tax to be levied for the year 2020 for the following specific purposes mentioned as special services in said ordinance and budget and in the respective sum to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$11,000.00
Total Amount Levied	\$11,000.00

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE NO. 1990-M-4, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 10."

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$11,000.00 which said total amount the said City of St. Charles Special Service Area Number 10 requires to be

raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

PASSED by the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

APPROVED by the Mayor of the city of St. Charles, Illinois, this _____ day of December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 13**

WHEREAS, the City of St. Charles Special Service Area Number 13 has been created
by an ordinance entitled:

"ORDINANCE NO. 1990-M-7
AN ORDINANCE ESTABLISHING CITY OF
ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS SPECIAL SERVICE AREA NO. 13"
(RED GATE)

adopted January 2, 1990, and effective upon passage, approval, and publication, no petition
having been filed opposing the creation of the Special Service Area, pursuant to Section 9 of
Public Act 78-901 ("Ordinance No. 1990-M-7"); and

WHEREAS, said Special Service Area Number 13 consists of territory described in the
ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services
in said Special Service Area.

NOW THEREFORE BE IT ORDAINED, by the City Council of St. Charles, Kane and
DuPage Counties, Illinois as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the
tax of the year 2020 in Special Service Area Number 13 is ascertained to be the sum of
\$10,000.00.

SECTION 2: That the following sums be, and the same are hereby levied upon the taxable property within the limits described in "ORDINANCE 1990-M-7, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 13 (RED GATE)," said tax to be levied for the year 2020 for the following specific purposes mentioned as special services in said ordinance and budget and in the respective sum to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$10,000.00
Total Amount Levied	\$10,000.00.

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE NO. 1990-M-7, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 13 (RED GATE)."

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$10,000.00 which said total amount the said City of St. Charles Special Service Area Number 13 requires to be raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

PASSED by the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

APPROVED by the Mayor of the city of St. Charles, Illinois, this _____ day of December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 21**

WHEREAS, the City of St. Charles Special Service Area Number 21 has been created
by an ordinance entitled:

"ORDINANCE NO. 1998-M-114
AN ORDINANCE ESTABLISHING SPECIAL SERVICE AREA NUMBER 21
OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS

adopted December 21, 1998, and effective upon passage, approval, and publication, no petition
having been filed opposing the creation of the Special Service Area, pursuant to *Section 9 of
Public Act 78-901*; and

WHEREAS, said Special Service Area Number 21 consists of territory described in the
ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services
in said Special Service Area.

NOW THEREFORE BE IT ORDAINED, by the City Council of St. Charles, Kane and
DuPage Counties, Illinois as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the
tax of the year 2020 in Special Service Area Number 21 is ascertained to be the sum of
\$268,694.00.

SECTION 2: That the following sum be, and the same is hereby levied upon the taxable property within the limits described in "ORDINANCE 1998-M-114, AN ORDINANCE ESTABLISHING SPECIAL SERVICE AREA NUMBER 21 OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS " said tax to be levied for the year 2020 for the following specific purposes mentioned as special services in said ordinance and budget and in the respective sum to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$ 30,000.00
Bond Debt Service (Principal and Interest)	<u>\$238,694.00</u>
Total Amount Levied	\$268,694.00.

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE 1998-M-114, AN ORDINANCE ESTABLISHING SPECIAL SERVICE AREA NUMBER 21 OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS."

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$268,694.00 which said total amount the said City of St. Charles Special Service Area Number 21 requires to be raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

PASSED by the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

APPROVED by the Mayor of the city of St. Charles, Illinois, this _____ day of December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

City of St. Charles, Illinois
Ordinance No. _____

**An Ordinance for the Levy and Assessment of
Taxes for the Year 2020 in and for the City
of St. Charles Special Service Area Number 57**

WHEREAS, the City of St. Charles Special Service Area Number 57 has been created
by an ordinance entitled:

"ORDINANCE NO. 2006-M-14
AN ORDINANCE ESTABLISHING CITY OF
ST. CHARLES, KANE AND DUPAGE COUNTIES,
ILLINOIS SPECIAL SERVICE AREA NO. 57"
(LEGACY BUSINESS CENTER)

adopted February 21, 2006, and effective upon passage, approval, and publication, no petition
having been filed opposing the creation of the Special Service Area, pursuant to Section 9 of
Public Act 78-901 ("Ordinance No. 2006-M-14"); and

WHEREAS, said Special Service Area Number 57 consists of territory described in the
ordinance aforesaid; and

WHEREAS, the City of St. Charles is now authorized to levy taxes for special services
in said Special Service Area.

NOW THEREFORE BE IT ORDAINED, by the City Council of St. Charles, Kane and
DuPage Counties, Illinois as follows:

SECTION 1: That the total amount budgeted for all purposes to be collected from the
tax of the year 2020 in Special Service Area Number 57 is ascertained to be the sum of
\$35,000.00.

SECTION 2: That the following sum be, and the same is hereby levied upon the taxable property within the limits described in "ORDINANCE 2006-M-14, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 57 (LEGACY BUSINESS CENTER)," said tax to be levied for the year 2020 for the following specific purposes mentioned as special services in said ordinance and budget and in the respective sum to follow to wit:

	<u>AMOUNT BUDGETED</u>
Contractual Services	\$35,000.00
Total Amount Levied	\$35,000.00

SECTION 3: This tax is levied pursuant to the Constitution of the state of Illinois and pursuant to Chapter 120, Illinois Revised Statutes, Sec. 1301 et. seq. and pursuant to "ORDINANCE NO. 2006-M-14, AN ORDINANCE ESTABLISHING CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS SPECIAL SERVICE AREA NUMBER 57 (LEGACY BUSINESS CENTER)."

SECTION 4: That there is hereby certified to the County Clerk of Kane County, Illinois the sum aforesaid, constituting said total amount and the said total amount of \$35,000.00 which said total amount the said City of St. Charles Special Service Area Number 57 requires to be raised by taxation for the year 2020 of said City; and the City Clerk of the City of St. Charles is hereby directed to file a duly certified copy of this ordinance with the county clerk.

SECTION 5: This ordinance shall be in full force and effect from and after its adoption and approval as provided by law.

PRESENTED to the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

PASSED by the City Council of the city of St. Charles, Illinois, this _____ day of December, 2020.

APPROVED by the Mayor of the city of St. Charles, Illinois, this _____ day of December, 2020.

Raymond P. Rogina, Mayor

ATTEST:

CITY CLERK

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: IO

Title: Public hearing regarding a proposed Annexation Agreement for Pride of Kane County

Presenter: Rita Tungare

Meeting: City Council

Date: December 7, 2020

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary (if not budgeted please explain):

Background

The subject property is a 2.37-acre parcel at the southeast corner of Kirk Rd. and E. Main St. The property is located in unincorporated St. Charles Township and is contiguous with city limits on all sides, making the property eligible for annexation to St. Charles. The developer and property owner, CIMA Developers, LP, has filed a Petition for Annexation. Staff has prepared an annexation agreement. Per State statute, a notice of public hearing has been posted regarding the proposed annexation agreement. Additionally, relevant taxing bodies have been notified of the proposed annexation ordinance on tonight’s City Council agenda.

CIMA Developers proposes to develop the Pride of Kane County, consisting of a Pride fuel facility, convenience store, and car wash. On November 9, 2020 the Planning & Development Committee voted on the zoning applications submitted for the project (Map Amendment, Special Use for PUD and PUD Preliminary Plan). The motion to approve failed to pass in a 4-5 vote.

Annexation Agreement

At the November meeting, the P&D Committee also reviewed a draft Annexation Agreement. An Annexation Agreement is a contractual agreement between the City and property owner. Under State statute, annexation agreements can be used to negotiate for extraordinary items that are over and above what is typically included in zoning or subdivision regulations. An Annexation Agreement is not required to annex property. Historically, the City entered Annexation Agreements for larger, multi-phase projects that required significant public improvements, or projects where the development plan was not fully defined.

The draft Agreement reviewed by the Committee had included a provision stating the City would reimburse the developer for the cost of constructing public sidewalk along the site frontages. This request has been withdrawn by the developer and the City reimbursement has been removed from the agreement.

With the sidewalk reimbursement now removed, from a practical standpoint, there is no need for an Annexation Agreement for the project. The PUD approval will include zoning and development plans for the entire property.

Per State statute, a Resolution authorizing the City to enter an Annexation Agreement must be passed by a two-thirds vote of the Corporate Authorities (8 votes of the City Council plus the Mayor). However, the ordinances to annex territory into the City and approve the zoning/PUD require only a simple majority vote.

The Council has a choice to decide whether to annex the property with or without an Annexation Agreement.

The following items related to this project are listed on tonight’s City Council agenda for action:

1. Resolution authorizing the Mayor and City Council to enter into the Annexation Agreement.
2. Ordinance annexing the property to the City of St. Charles.
3. Ordinance approving a Map Amendment, Special Use for PUD, and PUD Preliminary Plan for Pride of Kane County.

Attachments (please list):

Letter from CIMA Developers dated 11/16/20; Annexation Agreement; Letters/Comments Received



CIMA DEVELOPERS, LP

30W180 Butterfield Road
Warrenville, IL 60555
O: (630) 653-1700
F: (630) 791-8283

November 16, 2020

Community and Economic Development
Community Development Division
2 E. Main St
St. Charles, IL 60174

Attn: Ms. Rita Tungare/Mr. Russell Colby

**Re: The PRIDE of Kane County- SEC of IL Route 64 and Kirk Road
Notice to withdraw our request for sidewalk reimbursement**

Please allow this letter to serve as CIMA Developer's intent to withdraw our request for City of St. Charles reimbursement on the associated project's required sidewalk costs. CIMA Developers will bear the full responsibility and cost of this scope. Please revise the current DRAFT Annexation Agreement accordingly and as such.

Regards,

Dan Soltis

CIMA Developers, LP

ANNEXATION AGREEMENT

THIS ANNEXATION AGREEMENT (hereinafter referred to as the “AGREEMENT”) made and entered into this ____ day of _____, 2020 by and between the CITY OF ST. CHARLES, an Illinois municipal corporation located in Kane and DuPage Counties, Illinois (hereinafter referred to as “CITY”) and CIMA Developers, LP (hereinafter referred to as “OWNER”; the CITY and the OWNER being sometimes hereinafter referred to individually as “PARTY” and collectively as the “PARTIES”).

WITNESSETH:

WHEREAS, the OWNER is the owner of record of a certain parcel of real estate, legally described in Exhibit “A” attached hereto and incorporated herein (hereinafter referred to as “SUBJECT REALTY”); and

WHEREAS, the OWNER has agreed to develop the SUBJECT REALTY and assume all responsibility and liability for the development of the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT, and will carry out the duties and obligations of the OWNER as hereinafter provided; and

WHEREAS, the SUBJECT REALTY constitutes territory which is contiguous to and may be annexed to the CITY as provided in 65 ILCS 5/7-1-1, *et seq.*; and

WHEREAS, a Petition for Annexation for the SUBJECT REALTY has been filed by OWNER with the CITY in accordance with 65 ILCS 5/7-1-8; and

WHEREAS, the OWNER desires to have the SUBJECT REALTY annexed to the CITY upon the terms and conditions hereinafter set forth; and

WHEREAS, the CITY has considered the annexation of the SUBJECT REALTY and has determined that the best interest of the CITY will be met if the SUBJECT REALTY is annexed; and

WHEREAS, this Agreement is made pursuant to the provisions of 65 ILCS 5/11-15.1-1, *et seq.*; and

WHEREAS, all public hearings, as required by law, have been held by the Plan Commission and the City Council of the CITY, upon the matters covered by this AGREEMENT; and

WHEREAS, by a favorable vote of at least two-thirds (2/3) of the City Council of the CITY, a Resolution has heretofore been adopted authorizing the execution of this AGREEMENT.

NOW, THEREFORE, in consideration of the premises and of the mutual covenants and agreements herein contained, IT IS HEREBY AGREED BY AND BETWEEN THE CITY and OWNER, as follows:

Section 1. INCORPORATION OF RECITALS: The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Section 1 and the same shall continue for so long as this AGREEMENT is of force and effect.

Section 2. MUTUAL ASSISTANCE: The PARTIES shall do all things necessary or appropriate to carry out the terms and provisions of this AGREEMENT and to aid and assist each other in furthering the objectives of this AGREEMENT and the intent of the PARTIES as reflected by the terms of this AGREEMENT, including, without limitation, the giving of such notices, the holding of such public hearings, and the enactment by the CITY of such resolutions and ordinances, the execution of such permits, applications and agreements and the taking of such other actions as may be necessary to enable the PARTIES' compliance with the terms and provisions of this AGREEMENT and as may be necessary to give effect to the objectives of this AGREEMENT and the intentions of the PARTIES as reflected by the terms of this AGREEMENT.

Section 3. ANNEXATION: Subject to the provisions of 65 ILCS 5/7-1-8, as amended, the PARTIES respectively agree to do all things necessary or appropriate to cause the SUBJECT REALTY to be duly and validly annexed to the CITY as soon as practicable after the execution of this AGREEMENT. Attached hereto and incorporated herein as Exhibit "B" is the form of Ordinance providing for the annexation of the SUBJECT REALTY, entitled "An Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Pride of Kane County)", together with a copy of the plat of annexation attached thereto.

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the CITY'S lawful authority to annex the SUBJECT REALTY or challenging the method or procedures by or through which the PARTIES purported to cause the SUBJECT REALTY to be annexed to the CITY, the PARTIES agree that they shall fully cooperate, as provided in Section 2 hereof, to defend such cause of action. Should a court of competent jurisdiction finally determine that annexation of the SUBJECT REALTY was defective because of the failure of the PARTIES to follow a procedural requirement constituting a valid precondition to proper annexation of the SUBJECT REALTY, the PARTIES agree to promptly cause the SUBJECT REALTY to be reannexed to the CITY in a manner which satisfies all procedural requirements.

Should a court of competent jurisdiction finally determine that annexation of the SUBJECT REALTY by the CITY was without lawful authority (i.e., lack of contiguity), the PARTIES agree that this AGREEMENT shall thereafter be deemed a Pre-Annexation Agreement authorized pursuant to 65 ILCS 5/7-1-1, as amended, and shall remain in full force and effect to the extent permitted by law. Thereafter, should the SUBJECT REALTY become

contiguous to the CITY, the PARTIES agree to promptly take all necessary steps as may then be provided by law to perfect the annexation of the SUBJECT REALTY to the CITY.

Section 4. ZONING: Immediately subsequent to the annexation of the SUBJECT REALTY to the CITY, the PARTIES respectively agree to do all things necessary or appropriate to cause the SUBJECT REALTY to be duly and validly rezoned to the BR Regional Business District, pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended (“ZONING ORDINANCE”), and to grant a Special Use for Planned Unit Development for the SUBJECT REALTY. Attached hereto and incorporated herein as Exhibit “C” is a copy of the Ordinance rezoning the SUBJECT REALTY to the BR Regional Business District and granting a Special Use for a Planned Unit Development, entitled “An Ordinance Granting Approval of a Map Amendment, Special Use for PUD and PUD Preliminary Plan for Pride Kane County” (“PUD ORDINANCE”).

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the rezoning of the SUBJECT REALTY as provided in this AGREEMENT and in the ordinance referenced in the preceding paragraph, the PARTIES agree that they shall fully cooperate, as provided in Section 2 hereof, to defend against such cause of action. Further, the PARTIES specifically agree that to the extent such litigation proves successful, the CITY shall take such legislative action as then may be lawfully required to cause the SUBJECT REALTY to be zoned for the purposes herein contemplated.

Section 5. PRELIMINARY PLAT OF SUBDIVISION & PRELIMINARY ENGINEERING PLANS: Subject to the provisions of 65 ILCS 5/11-12-8, as amended, and Title 16 of the St. Charles Municipal Code, as amended (“SUBDIVISION ORDINANCE”), the CITY will grant preliminary plat of subdivision approval for the subdivision of the SUBJECT REALTY and preliminary engineering plan approval for the SUBJECT REALTY pursuant to the plans attached as exhibits to the PUD ORDINANCE, heretofore attached and incorporated herein as Exhibit “C”.

The OWNER shall not be required to submit for review or obtain approval of any additional preliminary plan or plat in order to obtain approval by the CITY of a final plat of subdivision of the SUBJECT REALTY which is in substantial conformity with the preliminary plat of subdivision. Upon the submission of a final plat of subdivision (“FINAL PLAT”) accompanied by final engineering plans (“FINAL ENGINEERING PLANS”), for the SUBJECT REALTY, and provided such FINAL PLAT and FINAL ENGINEERING PLANS comply with applicable ordinances of the CITY and this AGREEMENT, the CITY shall approve such FINAL PLAT and FINAL ENGINEERING PLANS within the time period provided in 65 ILCS 5/11-12-8, as amended.

Section 6. APPLICABLE MUNICIPAL STANDARDS: Upon annexation of the SUBJECT REALTY, all zoning, subdivision, building and development of the SUBJECT REALTY (including any area adjacent thereto, the improvement of which is necessary or proposed to facilitate the development of the SUBJECT REALTY) shall be undertaken in conformity with the requirements of all applicable CITY codes, ordinances, rules, regulations and standards generally in force, from time to time, within the CITY, except to the extent that the same are

superseded by more restrictive standards imposed by other regulatory authorities having jurisdiction and, further, as the same may be specifically modified by the terms of this AGREEMENT. Said applicable municipal standards shall otherwise be referred to herein as the "CITY CODE".

Section 7. RESPONSIBILITY FOR CITY REVIEW EXPENSES: OWNER agrees to pay all CITY expenses for the review, preparation of documents and plans, hearings and approvals through the adoption of this AGREEMENT incurred by the CITY, including, but not limited to, legal fees, engineering fees, and any other fees incurred with respect to this AGREEMENT. Said expenses shall be paid out of the account established with the CITY by the OWNER; provided, however, that should such account have insufficient funds, any remaining amounts due hereunder shall be billed to the OWNER and the OWNER shall pay, within thirty (30) days of the date of invoicing, same in full as a condition to the CITY'S execution of this AGREEMENT.

Section 8. UTILITY EASEMENTS: To the extent that any required public improvements are to be dedicated to the CITY, the OWNER shall grant, or cause to be granted, to the CITY, adequate easements and public rights-of-way in form and substance reasonably acceptable to the CITY.

Section 9. REQUIRED IMPROVEMENTS:

(a) Engineering Conformance. All public improvements to be constructed shall be constructed in conformance with the approved engineering plans, Section 5 hereof and the Land Improvement Agreement referred to herein (the "IMPROVEMENT AGREEMENT"). In the event that any provision of the CITY CODE, the IMPROVEMENT AGREEMENT or any engineering plans shall conflict with any other provision of the CITY CODE, the IMPROVEMENT AGREEMENT or any engineering plans, that provision determined by the CITY'S Community & Economic Development Director to be the most restrictive shall apply.

(b) Sanitary Sewer, Water and Electric Facilities. OWNER shall connect to the CITY owned wastewater, water and electric utilities to serve the SUBJECT REALTY. At such time as OWNER connects to CITY utilities, OWNER shall apply for any connection permits required by the CITY and shall pay the CITY'S required tap-on or connection fees as, from time to time, may be provided by ordinance. Except as otherwise set forth herein, the OWNER shall be responsible for the costs associated with bringing the aforesaid utilities from the connection point to the locations on the SUBJECT REALTY where the utilities will be utilized, and completing any related system improvements deemed necessary by the CITY to serve the SUBJECT REALTY.

The CITY shall not be responsible for its inability to provide any of the utility services identified herein, or for any loss or damage, including consequential damage, or delay in installation caused by strikes, riots, the elements, embargos, the failure of carriers or the inability to obtain materials or other acts of God or by virtue of any other cause beyond the CITY'S reasonable control, including but not limited to inability to acquire necessary easements or permits subject to review and issuance by other agencies. The CITY shall cooperate with the OWNER in obtaining any necessary easements.

OWNER shall disconnect the Commonwealth Edison electric service and remove any unused overhead service lines and poles from the Subject Realty. Any private water wells or sanitary sewer septic systems shall be properly abandoned in accordance with applicable codes.

(c) Storm Water Facilities.

(i) OWNER shall provide for storm water drainage and the retention/detention thereof upon and from the SUBJECT REALTY, in substantial conformity with the PRELIMINARY ENGINEERING PLANS and the CITY'S applicable storm water management ordinance, subject to review and approval of FINAL ENGINEERING PLANS.

(ii) The storm water retention/detention area ("DETENTION AREA") as identified on the PRELIMINARY PLAN, as adjusted pursuant to the review and approval of the FINAL ENGINEERING PLANS, shall be impressed with a stormwater detention easement in form and content approved by the CITY. The DETENTION AREA shall be maintained by the OWNER.

(iii) In accordance with Title 18 of the St. Charles Municipal Code ("STORMWATER ORDINANCE"), Section 18.04.010 – Stormwater Management Ordinance - Adopted – Modifications, Subsection P', the SUBJECT REALTY, identified as item No. 8, "Pride Gas Station," was exempted from the 2019 revisions to the Kane County Stormwater Ordinance. The PRELIMINARY ENGINEERING PLANS and associated DETENTION AREA have been designed in accordance with this exemption. The SUBJECT REALTY may be developed in conformance with the PRELIMINARY ENGINEERING PLANS irrespective of the expiration of said exemption.

(d) Public Sidewalks. OWNER shall cause public sidewalks to be installed along the public street frontages adjacent to the SUBJECT REALTY in substantial conformity with the PRELIMINARY ENGINEERING PLANS, as approved, and the applicable provisions of the Subdivisions Regulations of the CITY.

(e) Kirk Road Crosswalk. The CITY acknowledges that future installation of a pedestrian crosswalk across the south leg of the intersection of Kirk Road and E. Main St./IL Route 64, as shown on the PRELIMINARY ENGINEERING PLANS, would improve pedestrian connectivity. The OWNER shall not be required to install or otherwise contribute to the cost of the crosswalk in connection with the development of SUBJECT REALTY.

(f) Cross Access. As shown on the PRELIMINARY ENGINEERING PLANS, OWNER shall provide for cross access vehicular connections to the south and east to the Main Street Commons shopping center. Said cross access shall be available for use by the SUBJECT REALTY, subject to the terms and conditions of any easement agreement between the OWNER and shopping center.

(g) Building Permit Timing and Completion of Improvements Prior to Occupancy. OWNER agrees to comply with Section 16.04.140.B with regards to the timing and issuance of Building Permits and to complete the required improvements before a Certificate of Occupancy issued as stipulated in Section 16.04.140.C.

(h) Guarantee for Land Improvements. As a condition of approval of a FINAL PLAT, the OWNER shall execute a LAND IMPROVEMENT AGREEMENT, in substantially the form provided in Appendix D of the SUBDIVISION ORDINANCE and tender the security provided for therein.

Section 10. FEES AND CONTRIBUTIONS: The OWNER pay all the necessary fees and connection charges that may be applicable with respect to the SUBJECT REALTY.

Section 11. REQUIREMENTS OF OTHER JURISDICTIONS: It is agreed that the CITY is not liable or responsible for any restrictions on CITY'S obligations under this AGREEMENT that may be required or imposed by any other governmental bodies or agencies having jurisdiction over the SUBJECT REALTY, CITY and/or OWNER, including but not limited to county, state and federal regulatory bodies.

Section 12. BINDING EFFECT, SUCCESSION IN INTEREST AND TERM: This AGREEMENT shall constitute a covenant running with the land and shall be binding upon and inure to the benefit of the PARTIES hereto, successors in interest, assignees, lessees, and upon any successor municipal authorities of the CITY and successor municipalities for a period of twenty (20) years from the date hereof.

Section 13. DISCONNECTION: Once the SUBJECT REALTY has been annexed to CITY and a final plat and collateral approval granted for any part of the SUBJECT REALTY, OWNER agrees not to petition for disconnection of any part of the SUBJECT REALTY from CITY without CITY approval under any statutory provision and agrees that if the SUBJECT REALTY is disconnected from the CITY (a) the growth prospects and plan and zoning ordinances of the CITY would be unreasonably disrupted; (b) substantial disruption will result to existing municipal service facilities, such as, but not limited to, sewer systems, street lighting, water mains, garbage collection and fire protection; and (c) the CITY would be unduly harmed through loss of tax revenue in the future. However, the CITY may disconnect the SUBJECT REALTY with the written consent of OWNER.

Section 14. HOLD HARMLESS AND INDEMNIFICATION: In the event a claim is made against the CITY, its officers, other officials, agents and employees or any of them or if the CITY is made a party-defendant in any proceeding arising out, or alleged to arise out of, or in any other way be connected with this AGREEMENT or the annexation of the SUBJECT REALTY, or the development of the SUBJECT REALTY arising out of the intentional or negligent acts of owner, or owner's agents, the OWNER, to the extent permitted by law, shall defend and hold the CITY and such officers, other officials, agents and employees, past present and future, harmless from all claims, liabilities, losses, taxes, judgments, costs, and fees, including expenses and reasonable attorney's fees, in connection therewith. Any such indemnified person may obtain separate counsel to participate in the defense thereof at his own

expense; however, if the Illinois Rules of Professional Conduct, or such applicable rules, require such indemnified person to be separately defended where there is no consent to a conflict of interest, then OWNER shall bear such expense. The CITY and such officers, other officials, agents and employees shall reasonably cooperate in the defense of such proceedings. Said indemnification shall not include claims, liabilities, losses, judgments, costs and fees arising from the negligent or willfully wrongful acts or omissions of the CITY, its officers, other officials, agents and employees.

Section 15. REMEDIES: Upon a breach of this AGREEMENT, either of the PARTIES may, in law or equity, by suit, action, mandamus or any other proceeding, including specific performance, enforce or compel the performance of this AGREEMENT. Pursuit of any remedy to enforce or compel performance of this AGREEMENT shall not preclude a PARTY from pursuing any other remedy available to it to enforce or compel performance of this AGREEMENT.

Before any failure of any PARTY to this AGREEMENT to perform its obligations under this AGREEMENT shall be deemed to be a breach of this AGREEMENT, the PARTY claiming such failure shall notify, in writing by certified mail, return receipt requested, the PARTY alleged to have to perform and performance shall be demanded.

In the event that either the CITY or the OWNER sue in order to enforce the terms of this AGREEMENT, the prevailing PARTY in any such litigation shall pay all costs and expenses incurred in prosecuting or defending such litigation (including, but not limited to, reasonable attorneys fees and court costs).

Section 16. WAIVER AND SEVERABILITY: No provisions of this AGREEMENT may be waived by any PARTY except by writing signed by that PARTY. If any provision of this AGREEMENT is held invalid, such provision shall be deemed to be excised from this AGREEMENT and the remainder of this AGREEMENT shall continue in full force and effect to the extent possible; provided, however, CITY shall under no circumstances be required to incur any liability, loss or incur any expenses for any reason in the event that such section, paragraph, clause, provision or item is held invalid.

Section 17. NOTICE: Unless otherwise notified in writing, all notices, requests and demands shall be in writing and shall be delivered to or be mailed by certified mail, return receipt requested, as follows:

If to the CITY: City of St. Charles
 2 East Main Street
 St. Charles, IL 60174
 Attention: City Administrator

With copy to: Storino, Ramello & Durkin
 9501 W. Devon Avenue
 Suite 800
 Rosemont, IL 60018

Attention: Nicholas S. Peppers, City Attorney

If to the OWNER: CIMA Developers, LP
30W180 Butterfield Rd.
Warrenville, IL 60555
Attention: Peter M. Spina

The names and addresses provided in this Section may be changed from time to time by notice duly given in compliance with the provisions of this Section.

Section 18. AMENDMENT: This AGREEMENT, and any exhibits or attachments hereto, may be amended from time to time in writing with the consent of the PARTIES hereto.

Section 19. CONVEYANCES: Nothing contained in this AGREEMENT shall be constructed to restrict or limit the right of the OWNER to sell or convey all or any portion of the SUBJECT REALTY, whether improved or unimproved.

Section 20. CAPTIONS AND PARAGRAPH HEADINGS: The captions and paragraph headings used herein are for convenience only and shall not be used in construing any term or provision of this AGREEMENT.

Section 21. RECORDING: This AGREEMENT shall be recorded in the Office of the Recorder of Deeds, Kane County, Illinois, at OWNER'S expense.

Section 22. CHANGES IN REGULATIONS: It is understood and agreed, except as otherwise provided for herein, that the various requirements of the CITY CODE, including all fees and charges provided for therein, shall not be frozen during the term of this AGREEMENT and may, from time to time, be amended, and as amended, shall apply to the SUBJECT REALTY. Notwithstanding the foregoing, it is expressly understood and agreed by the PARTIES that during the term of this AGREEMENT, pursuant to the zoning to be granted hereunder, the OWNER, his successors and assigns shall be permitted to use the SUBJECT REALTY pursuant to the zoning to be granted hereunder.

Section 23. GOVERNING LAW: This AGREEMENT, and the terms and provisions contained herein, shall be construed and governed under the laws of the State Illinois.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the PARTIES have hereunto placed their hands and the CITY its seal on the date first above written.

CITY OF ST. CHARLES, an Illinois municipal corporation

By: _____
Mayor Raymond P. Rogina

ATTEST

By: _____
City Clerk Charles Amenta

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, a Notary Public, in and for the County and State aforesaid, do hereby certify, that Raymond P. Rogina, personally known to me to be the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, a municipal corporation, and Charles Amenta, personally known to me to be the City Clerk of said corporation, and personally known to me to be the same persons whose names are subscribed to the forgoing instrument appeared before me this day in person and severally acknowledged that as such Mayor and City Clerk, they signed and delivered the said instrument and caused the corporate seal of said corporation to be affixed thereto, pursuant to authority given by the City Council of said corporation, as the free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this ____ day of _____, 2020.

Notary Public

OWNER:

CIMA DEVELOPERS, LP
An Illinois Limited Partnership

By _____
PETER M. SPINA

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, a Notary Public, in and for the County and State aforesaid, do hereby certify, that Peter M. Spina, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth.

GIVEN under by hand and official seal this ____ day of _____, 2020.

Notary Public

EXHIBIT "A"

LEGAL DESCRIPTION OF SUBJECT REALTY

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

ORDINANCE ANNEXING SUBJECT REALTY

City of St. Charles, Illinois
Ordinance No. 2020-M-

**An Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois
(Pride of Kane County)**

WHEREAS, CIMA Developers, LP (the “Owner”) is the Owner of record of the territory legally described in Exhibit “A” (the “Territory”) and has filed with the City Clerk a written petition, under oath, attached hereto as Exhibit “B” (the “Annexation Petition”) requesting that the Territory therein legally described be annexed into the City of St. Charles, Kane and DuPage Counties, Illinois; said Exhibits “A” and “B” are attached hereto and incorporated herein; and

WHEREAS, said Annexation Petition has been signed by all of the owners of record of the Territory and was signed by at least fifty-one percent (51%) of the electors residing on such Territory; and

WHEREAS, the statutes of the State of Illinois provide that upon the filing of such an Annexation Petition, the corporate authorities of the City may pass an ordinance annexing said Territory to the City, if said ordinance is passed by a majority vote of the corporate authorities; and,

WHEREAS, the Territory is not within the corporate limits of any municipality, but is contiguous to the corporate limits of the City of St. Charles and eligible for annexation thereto; and

WHEREAS, the requirements of the laws of the State of Illinois, specifically 65 ILCS 5/7-1-1 and 5/7-1-8 of the Illinois Municipal Code, as amended, have been satisfied.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.
2. That the Territory be and the same is hereby annexed to the City of St. Charles, Kane and DuPage Counties, Illinois, together with all adjacent streets and highways contiguous to said Territory, so that the new boundaries of the Territory annexed shall extend to the far side of said adjacent streets and highways not within the corporate limits of any other municipality.
3. That the Mayor, City Clerk and any other necessary officers of the City are hereby authorized to execute the Plat of Annexation.
4. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be recorded with the Office of the Recorder Deeds, Kane County, Illinois, and filed with the County Clerk of Kane County.

5. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be filed with the postal service branch serving the Territory.

6. That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

7. This Ordinance shall be in full force and effect upon its passage and approval according to law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

ATTEST:

City Clerk

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

EXHIBIT A

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST

DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP
AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT B

PETITION FOR ANNEXATION

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

PETITION FOR ANNEXATION APPLICATION

Received Date
RECEIVED
St. Charles, IL
APR 07 2020
CDD
Planning Division

For City Use	
Project Name:	<u>Pride of Kane County</u>
Project Number:	<u>2019 -PR- 007</u>
Cityview Project Number:	<u>PLA 202000018</u>

Instructions:

To request annexation of property, complete this application and submit it with all required attachments to the Planning Division.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>SEC KIRK RD AND MAIN ST. (IL STATE ROUTE 64)</u>	
	Parcel Number (s):	<u>09-25-100-036</u>	
	Proposed Subdivision Name:	<u>THE PRIDE OF KANE COUNTY</u>	
2. Applicant Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>630.653.1700</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax <u>630.791.8283</u>
			Email <u>dsoltis@cimadevelopers.org</u>
3. Record Owner Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>- SAME -</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax
			Email

Application Checklist

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Refer to attached Schedule of Application Fees (\$500, plus an additional \$500 when an annexation agreement is proposed).
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

- LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper
- PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

ANNEXATION PETITION (Complete either Form #1 for Electors, or Form #2 for No Electors).

Petition to include the following information:

- Addressed to: Mayor and Members of the City Council, City of St. Charles, 2 E. Main Street, St. Charles, Illinois 60174
- A common address of the property and tax parcel number are included in the petition
- Signatures of all of the owners of record of the territory to be annexed and also by the majority of electors, if any, residing in the territory. Petition shall be signed under oath.

□ ONE MYLAR PRINT OF THE PLAT OF ANNEXATION.

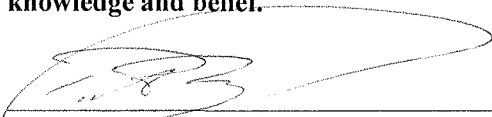

The Plat shall contain the following information:

- Survey of property to be annexed
- Legal description of property to be annexed
- Present corporate limits
- Number of acres to be annexed
- Name and address of person who prepared plat
- Indicate that the new boundary shall extend to the far side of any adjacent highway and shall include all of every highway within the area annexed.
- Certificate for signature by Mayor and the City Clerk as follows:

This is to certify that this Accurate Map of Territory Annexed is identified as that incorporated into and made a part of the City of St. Charles Ordinance No. _____ adopted by the City Council of said City on the _____ day of _____, 20_____.

By: _____ Attest: _____
Mayor City Clerk

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 _____ Record Owner	 _____ Applicant or Authorized Agent	4/1/20 _____ Date	3-29-20 _____ Date
-------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------	-------------------------	--------------------------



CIMA DEVELOPERS, LP

30W180 Butterfield Road
Warrenville, IL 60555
O: (630) 653-1700
F: (630) 791-8283

October 22, 2019

City of St. Charles
Community and Economic Development/Planning Division
Two East Main Street
St. Charles, IL 60174-1984

RE: The PRIDES Stores- SEC Kirk Road & E. Main Street (IL Rt 64) – Consent Authorization to proceed with Zoning Application

To Whom It May Concern:

I, Peter M. Spina, authorized agent of CIMA Developers, LP, the Owner of the subject property, approximately 2.38 acres located at the Southeast Corner of Kirk Road and E. Main Street (IL RT 64), St. Charles, IL give my consent to Dan Soltis of CIMA Developers, LP to apply and proceed with any City zoning proceedings necessary in relation to the accompanying Zoning Applications.

Regards,

Peter M. Spina
Authorized Agent
CIMA Developers, LP

OWNERSHIP DISCLOSURE FORM

OWNER: CIMA Developers Limited Partnership

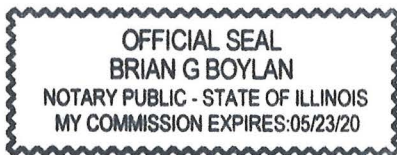


By: Peter M. Spina, sole managing member of
Angel Associates LLC, general partner

STATE OF ILLINOIS)
)SS
COUNTY OF DuPage)

I, Brian G. Boylan, a Notary Public in and for the County and State aforesaid, DO
HEREBY CERTIFY that Peter M. Spina, personally known to me to be the managing member of Angel
Associates LLC, the general partner of Cima Developers Limited Partnership, and personally known to
me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this
day in person and acknowledged that as such managing member, he signed and delivered such
instrument, as his free and voluntary act and deed, and as the free and voluntary act and deed of Angel
Associates LLC, the general partner of such Limited Partnership, for the uses and purposes therein set
forth.

Given under my hand and official seal this 1 day of April, 2020



Brian G. Boylan
Notary Public

My Commission Expires: _____

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

BEFORE THE MAYOR AND CITY COUNCIL
OF THE CITY OF ST. CHARLES, ILLINOIS

PETITION FOR ANNEXATION

The undersigned Petitioners hereby respectfully petition to annex to the City of St. Charles, Kane and DuPage Counties, Illinois, the territory described as follows:

See Exhibit "A" attached hereto and made a part hereof

Commonly know as: SEE ATTACHED LEGAL DESCRIPTION

Parcel Number(s): 09-25-100-036

And under oath state (s) as follows:


1. Your undersigned Petitioner (s) is (are) the sole owner (s) of record of the territory hereinbefore described, and *have) (has) also executed this Petition as such owner.
2. The territory hereinbefore described is not within the corporate limits of any municipality.
3. The territory hereinbefore described is contiguous to the City of St. Charles, Kane and DuPage Counties, Illinois.
4. There are no electors residing within the territory hereinbefore described.

WHEREFORE, Petitioner(s) respectfully request(s) that the corporate authorities of the City of St. Charles, Kane and DuPage Counties, Illinois, annex the territory hereinbefore described to said City in accordance with the provisions of the Petition and in accordance with law.

The undersigned petitioner(s) and elector(s), being first duly sworn on oath, state(s) that the statements set forth in the petition for annexation above are true and correct.

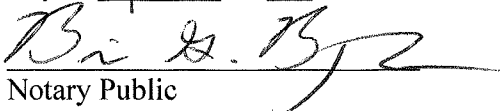
Dated this 14 day of April, 2020.

OWNER(S)

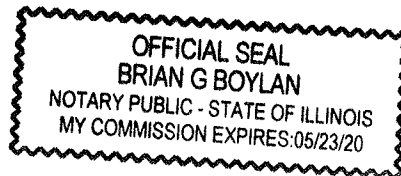


PETER M. SPINA

Subscribed and sworn to
Before me this 14th
Day of April, 2020



Notary Public



Legal Description
SEC Kirk Road & Main St. (IL State Route 64)

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

Permanent Tax No: 09-25-100-036

EXHIBIT "C"

PUD ORDINANCE

City of St. Charles, Illinois
Ordinance No. 2020-Z-

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development and PUD Preliminary Plan for
Pride of Kane County**

WHEREAS, on or about April 7, 2020, CIMA Developers, LP (the “Applicant”) filed petitions for: 1) Map Amendment from RE-1 Single-Family Estate District to BR Regional Business District; 2) Special Use for Planned Unit Development; and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of developing a gas fueling facility, convenience store, and car wash; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about June 18, 2020 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 7, 2020, July 21, 2020 and August 4, 2020 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan petitions on or about August 4, 2020; and,

WHEREAS, the Planning & Development Committee of the City Council reviewed said petitions on or about August 10, 2020 and September 14, 2020, and, on or about November 9, 2020, voted on a motion to recommend approval of said petitions, and said motion to recommend approval failed; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RE-1 Single-Family Estate District to the BR Regional Business District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Plat of Subdivision; WT Group; revisions dated 6/3/2020
- Preliminary Engineering Plans; WT Groups; revisions dated 6/8/2020 [Sheets C-2.0, C-8.0, C-9.0 revised 6/29/2020]
- Landscape Plan; Heller & Associates; revisions dated 8/3/2020
- Lighting Plan; LSI; revisions dated 6/16/2020
- Building Elevations; Arch7; not dated
- Canopy Elevations; dated 6/18/2020
- Signage Plan; Parvin-Clauss Sign Company; revisions dated 6/19/2020

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the BR Regional Business District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Stormwater Management: Per Title 18 of the St. Charles Municipal Code, “Stormwater”, Section 18.04.010 – Stormwater Management Ordinance - Adopted – Modifications, Subsection P’, the Subject Property was exempted from the 2019 revisions to the Kane County Stormwater Ordinance. The Subject Property may be developed in conformance with the approved PUD Preliminary Plan irrespective of the expiration of said exemption.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The intended use is consistent with the other retail business uses along Kirk Rd. and along E. Main St.

2. The extent to which property values are diminished by the existing zoning restrictions.

Property values will not be affected. The intended use is consistent with all nearby uses.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The property value will not be diminished, and in fact will provide an added amenity and convenience to the surrounding city and community.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The subject property's current zoning does not allow for our intended use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

This property has been vacant for a substantial amount of time.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

The intended use is consistent with development trends and all neighboring uses.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

Our intended use is consistent with the Comprehensive Plan.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

Per Title 17 of the City Code, unless otherwise requested, land being annexed is automatically zoned RE-1 Single-Family Estates District. BR zoning is requested to accommodate the proposed commercial development.

9. The extent to which the proposed amendment creates nonconformities.

The proposed development will only require paving setback and off-site sign deviations. Other than that, the development will comply with zoning requirements.

10. The trend of development, if any, in the general area of the property in question.

The intended use is consistent with the other retail business uses.

EXHIBIT “C”

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

We believe that the proposed development advances many of the purposes of the Planned Unit Development as outlined and stated in Section 17.04.400.A.

The architectural building design will provide a unique and distinctive look that will include “barn” like features that will capture the historic essence of the property.

New sidewalks are proposed along the entire west and north property lines to connect existing sidewalk structures along Kirk Rd. and Main St. to help promote pedestrian traffic and physical activity.

This property has remained undeveloped for a very long time and the proposed development allows for and encourages and promotes economic growth and efficient land use.

This development includes a reciprocal easement agreement with the neighboring property owner (Main Street Commons) which allows for cross-access service roads and shared stormwater detention.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The following factors below per Section 17.04.400.B are highlighted to justify relief from certain zoning requirements:

- The PUD will provide superior landscaping and buffering as allowed by the site parameters.
- The buildings within the PUD will be unique and distinctive in nature, capturing historic features.
- The buildings will be built with energy efficiency guidelines and site design.
- The development will be designed with shared detention with Main Street Commons.

Zoning deviations for the following are being requested: paving setbacks, off-site signage, convenience store building signage, freestanding sign setback, building foundation landscape, carwash stacking requirement.

iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Yes. The proposed development will serve as a public convenience and an added amenity. The development will offer fueling, convenience store, quick service restaurant and carwash.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Yes. The proposed development has sufficient infrastructure required to develop. Utilities, added service roads, and adequate on-site and off-site detention are being provided.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The development is consistent and compatible with surrounding land uses and will not affect nearby property in any way.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The development will not impede the normal and orderly development and improvement of the surrounding property and will complete the needed development at that particular property location in a manner that is consistent and compatible with surrounding and neighboring property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

No. The proposed development will not pose any detriment to or endanger the public health, safety, comfort or general welfare.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Yes. The development will be built to conform to all applicable codes and ordinances and meets all applicable provisions, except as may be varied pursuant to a Special Use for PUD.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Yes. The proposed development will provide an added and substantial tax base to the City, improving the overall economic well-being of the City.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

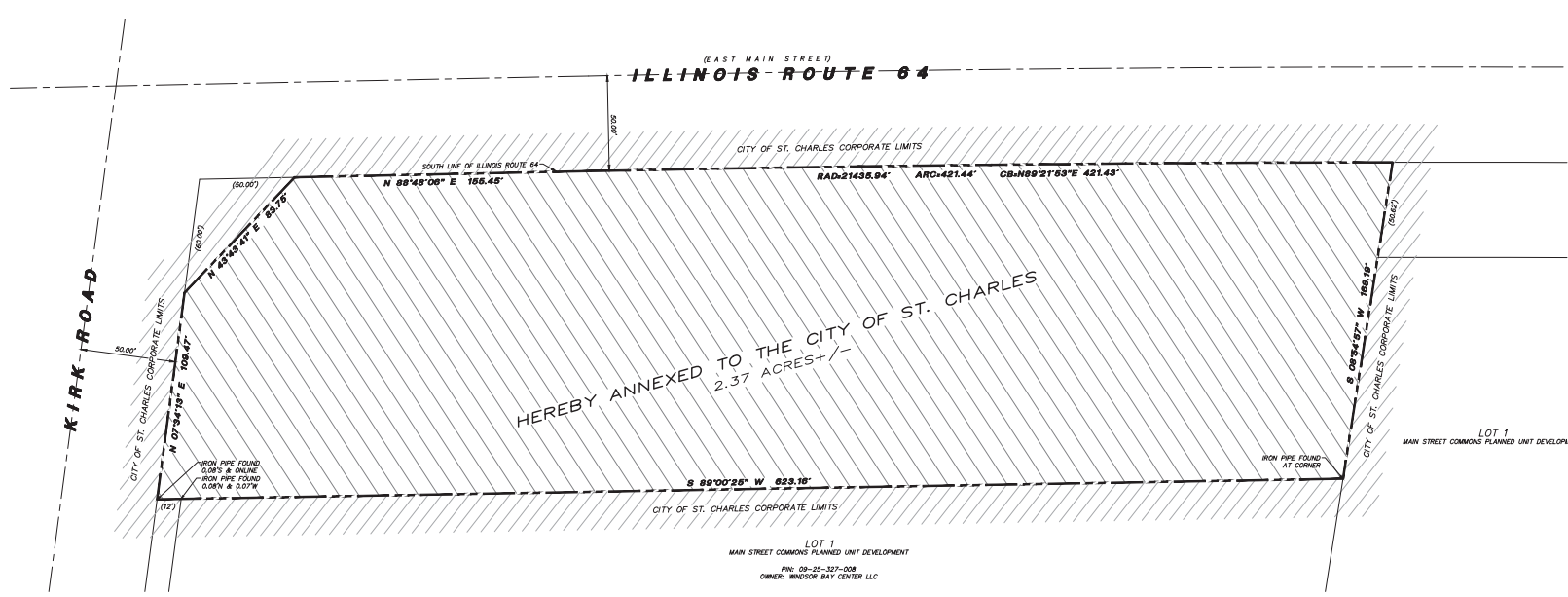
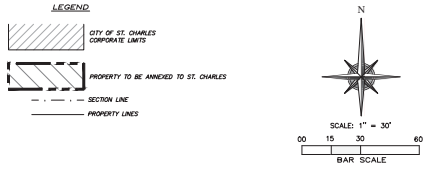
Yes. The proposed development is in conformance with the goals, objectives and policies of the adopted City of St. Charles Comprehensive Plan.

EXHIBIT "D"

**PUD PRELIMINARY PLAN
(45 pages)**

PLAT OF ANNEXATION TO THE CITY OF ST. CHARLES

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 16 DEGREES EAST 20.84 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.38 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES HERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.78 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 10.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 48 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.28 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE 'ST. CHARLES' ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5, 100.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN INTERIOR ANGLE OF 216 DEGREES, 01 MINUTES, 59 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES, 09 MINUTES, 25 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.



CITY COUNCIL CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF KANE)
THIS IS TO CERTIFY THAT THIS ACCURATE MAP OF TERRITORY ANNEXED IS IDENTIFIED AS THAT INCORPORATED INTO AND MADE PART OF THE CITY OF ST. CHARLES ORDINANCE NO. _____, ADOPTED BY THE CITY COUNCIL OF SAID CITY ON THE DAY OF _____, A.D., 20____.

BY: _____ ATTEST: _____
MAYOR CITY CLERK

KANE COUNTY CLERK'S CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF KANE)
I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.
I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT.
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF KANE COUNTY, ILLINOIS,
THIS _____ DAY OF _____, A.D., 20____.
COUNTY CLERK

OWNER'S CERTIFICATE
STATE OF _____)
) SS
COUNTY OF _____)
THIS IS TO CERTIFY THAT CIMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.
DATED THIS _____ DAY OF _____, A.D., _____
BY: _____
PRINT NAME: _____
ADDRESS: _____

NOTARY CERTIFICATE
STATE OF _____)
) SS
COUNTY OF _____)
I HEREBY CERTIFY THAT THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE ARE KNOWN TO ME AS SUCH OWNERS.
GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D., _____
NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

- NOTES:**
1. PERMANENT INDEX NUMBER (P.I.N.) #J-09-25-100-038
 2. PROPERTY AREA: 103,407 SQUARE FEET / 2.37 ACRES MORE OR LESS.
 3. BASE OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 100 ZONE.
 4. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

SURVEYORS CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF COOK)
THIS IS TO CERTIFY THAT I, FRANJO L. MATIQC, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3256, HAVE PREPARED THIS PLAT FROM EXISTING PLATS AND RECORDS FOR THE PURPOSE OF ANNEXATION TO THE CITY OF ST. CHARLES, ILLINOIS, AS SHOWN BY THE PLAT HEREON DRAWN. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
GIVEN UNDER OUR HAND AND SEAL THIS _____ DAY OF _____, A.D., _____ AT HOFFMAN ESTATES, ILLINOIS
THE W-T GROUP, LLC
FOR REVIEW 06/02/20
FRANJO L. MATIQC - PLS #035-003566 EXPIRES 11/30/2016
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004387

WT GROUP
EXPERIENCE WITH PROFESSIONAL DESIGN AND PLANNING
2022 Franklin Avenue, Naperville, Illinois, IL 60563
TEL: 630.203.0333 | F: 630.203.0444
WWW.WTGROUP.COM | WWW.WTGROUP.COM
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WT Group
Engineering Design & Construction

CIMA DEVELOPERS
PLAT OF ANNEXATION
PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

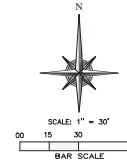
TO	DATE
CLIENT	1/13/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	6/02/20

CHECK/FIRM
DRAWN/KCH
JOB: 1910803C

ANNEX-1
SHEET 1 OF 1
PLAT OF ANNEXATION

PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

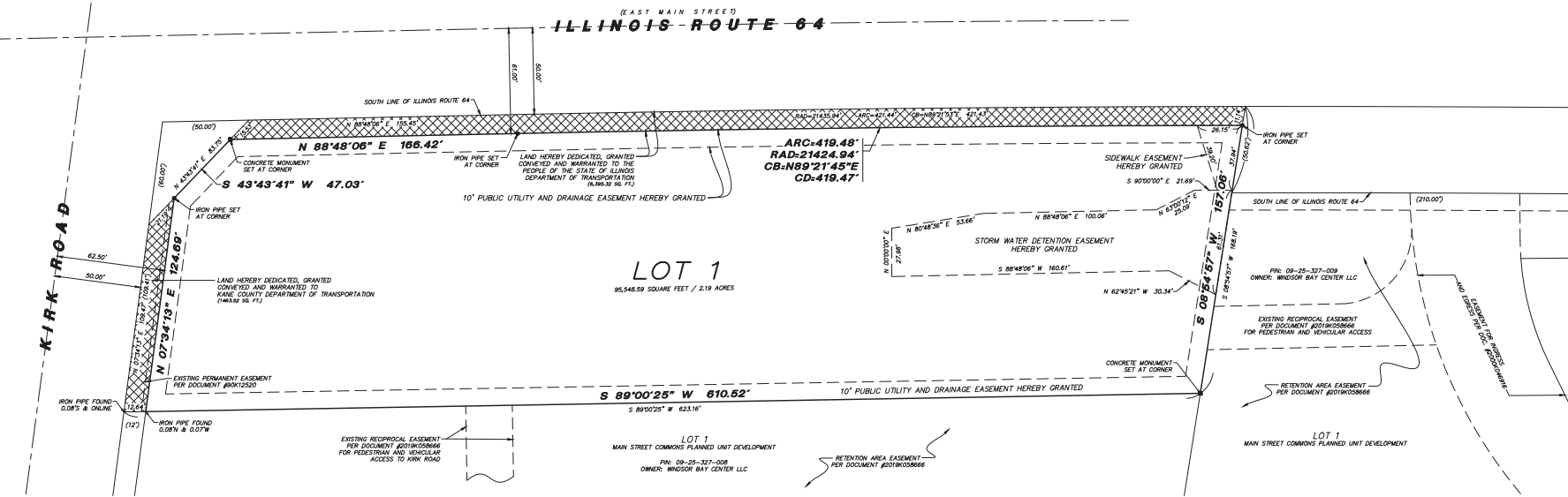


PIN NUMBER:
09-25-100-036
AFTER RECORDING RETURN TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174
PROPERTY OWNER:
CIMA DEVELOPERS, LP
30040 BUTTERFIELD ROAD
WARRENVILLE, IL 60555
SUBDIVIDER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-224-6333
DESIGNER/ENGINEER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-224-6333

- LEGEND**
- PROPERTY LINE
 - UNDERLINE OF RIGHT OF WAY
 - UNDERLYING PROPERTY LINES
 - SET CONCRETE MONUMENT / SET IRON PIPE
 - RECORD PROPERTY DIMENSIONS
 - RIGHT OF WAY (HEREBY DEDICATED)

NOTES:

1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
2. ANY DISCREPANCIES FOUND WITH THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



OWNER'S CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT CIMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.

THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, TO THE BEST OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

DATED THIS _____ DAY OF _____ A.D. _____

BY: _____

PRINT NAME: _____

ADDRESS: _____

NOTARY CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. _____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____ A.D. _____ BY THE COUNCIL OF THE CITY OF ST. CHARLES.

MAYOR _____

CITY CLERK _____

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT _____

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____, D. 20____

SPECIAL ASSESSMENT CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THERE ARE NO SELINOQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS _____

DATED AT ST. CHARLES, ILLINOIS, THIS _____ DAY OF _____ A.D. _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED BY THE PLAN COMMISSION OF THE CITY OF ST. CHARLES.

THIS _____ DAY OF _____ A.D. _____

CHAIRMAN _____

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO 82 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

ANTHONY J. QUIGLEY P.E.
REGION ONE ENGINEER

ILLINOIS DEPARTMENT OF TRANSPORTATION DEDICATION DESCRIPTION

TO BE CREATED AFTER REVIEW

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THE PROPOSED DEDICATION TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION IS HEREBY ACCEPTED.

BY: ANTHONY J. QUIGLEY P.E. DATE: _____ 20____
REGION ONE ENGINEER

WT GROUP
Engineering and Professional, Public and Private
2875 Prairie Avenue (Hoffman Estates, IL 60192)
1-800-224-6333
www.wtgroup.com

WT Group
Engineering & Design Consulting

PLAT OF SUBDIVISION
PRIDE OF KANE COUNTY
330573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

CIMA DEVELOPERS
300 W 180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
CLIENT	1/10/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	3/9/20
CLIENT	3/16/20
CLIENT	6/30/20

CHECK/FIRM
DRAWN/KCH
JOB: 1910803C

SUB-1
SHEET 1 OF 2
PLAT OF SUBDIVISION

THE PRIDE OF KANE COUNTY 33W573 EAST MAIN STREET SAINT CHARLES, ILLINOIS 60174

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	06-08-20
C-1.0	SITE DEMOLITION PLAN	06-08-20
C-2.0	SITE GEOMETRIC PLAN	06-08-20
C-3.0	SITE DEVELOPMENT PLAN	06-08-20
C-3.1 - C-3.3	SITE DEVELOPMENT DETAILS	06-08-20
C-4.0 - C-4.1	SITE GRADING PLAN	06-08-20
C-5.0	SITE UTILITY PLAN	06-08-20
C-5.1 - C-5.3	SITE UTILITY DETAILS	06-08-20
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	06-08-20
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	06-08-20
C-7.0 - C-7.1	PROJECT SPECIFICATIONS	06-08-20
C-8.0	FIRE APPARATUS CIRCULATION PLAN	06-08-20

SURVEY DRAWING INDEX		
SHEET	DESCRIPTION	DATE
SUR-1	TOPOGRAPHIC SURVEY (PREPARED BY THE W-T GROUP)	03-12-19

BENCHMARKS:
 SITE BENCHMARK #1 - SET CROSS ON SSE BOLT OF HYDRANT LOCATED IN GRASS APPROXIMATELY 6.8' S OF EAST MAIN STREET AND 76.4' E OF M4 #6, AS SHOWN ON SHEET SUR-2. ELEVATION=104.79' (NAVD88)
 SITE BENCHMARK #2 - SET CROSS ON CONCRETE SIDEWALK LOCATED APPROXIMATELY 25.3' ESE OF KIRK ROAD AND 22.8' SWH OF ENTRANCE, AS SHOWN ON SHEET SUR-2. ELEVATION=104.23' (NAVD88)
 SITE BENCHMARK #3 - SET CROSS IN WALK LOCATED 39' EAST OF FOND AND 200 FEET SOUTH OF ROUTE 64 ON WEST SIDE OF DRIVE, AS SHOWN ON SHEET SUR-3. ELEVATION=104.12' (NAVD88)



SCALE 1"=1000'
 SECTION 25
 TOWNSHIP 40N
 RANGE 8E
 MAP DATA © 2019 6006LE

CIVIL ENGINEERING STATEMENT AND SEAL

I, TODD ABRAMS, P.E. DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF TRANSPORTATION AND PROFESSIONAL REGULATION DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (IAC 140-1.0-2) AND THE ILLINOIS ACCESSIBILITY CODE (11 ILL. ADM. CODE 400).

DATE: 6-8-20

TODD ABRAMS
 TODD ABRAMS - ILLINOIS P.E. # 062-066600
 DATE OF EXPIRATION - NOVEMBER 30, 2021
 NOTE: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH C-7.1

CALL JULIE TOLL FREE
 1(800)842-0123
 OPERATES 24 HOURS A
 DAY 365 DAYS A YEAR



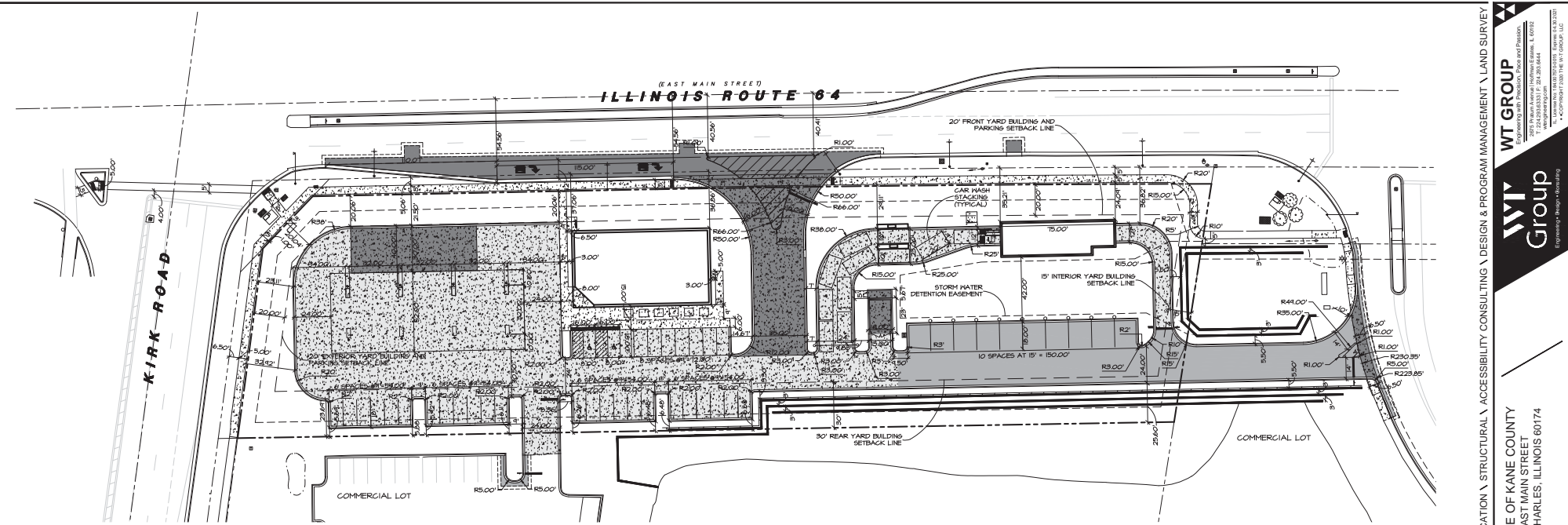
CALL
 1(800)842-0123
 48 HOURS BEFORE
 YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.

NOTE: TOTAL PROPERTY AREA: 2.31 ACRES
 NOTE: TOTAL DISTURBED AREA: 2.69 ACRES
 NOTE: ALL SURROUNDING PROPERTIES ARE COMMERCIAL LAND USE

TO	DATE
REV. SITE	8/18/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/8/20

CHECKED BY: TEP
 DRAWN BY: TEP
 JOB: 1910803C



HATCH LEGEND

	NEW ASPHALT PAVEMENT
	NEW IL ROUTE 64 ASPHALT PAVEMENT
	NEW 5' CONCRETE SIDEWALK
	NEW 6' CONCRETE PAVEMENT
	NEW 8' CONCRETE PAVEMENT

NONRESIDENTIAL ZONING COMPLIANCE TABLE
Name of Developer: PRIDE OF KANE COUNTY

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR-REGIONAL BUSINESS	Ordinance #:	
Minimum Lot Area	1 ACRE		2.37 ACRES
Minimum Lot Width	NONE		NONE
Maximum Building Coverage	50%		17%
Maximum Gross Floor Area per Building	NONE	BUILDING 1-4,500 SF. BUILDING 2-1,650 SF.	
Maximum Building Height	40 FEET		20 FEET
Front Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1-25.86 FT, BLDG 2-23.09 FT PARKING 30.81 FEET, 37.86 FEET
Interior Side Yard	BUILDING-15 FEET PARKING-NONE		BLDG 1-39.03 FT, BLDG 2-55.13 FT PARKING-27.09 FT, PARKING-30.93 FT
Exterior Side Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1-205.66 FT, BLDG 2-481.28 FT PARKING-61.96 FEET, 42.51 FEET
Minimum Rear Yard	BUILDING-30 FEET PARKING-0 FEET		BLDG 1-41.28 FT, BLDG 2-109.27 FT PARKING-57.1 FT
Landscape Buffer Yard ^a	NOT REQUIRED		NOT REQUIRED
% Overall Landscaped Area	20% WITH ON SITE STORM		17% WITH ON SITE STORM
Building Foundation Landscaping	50% HORIZONTAL DIMENSIONS OF BUILDING		BUILDING 1-50% BUILDING 2-100%
% Interior Parking Lot Landscaping	NOT AVAILABLE		NOT AVAILABLE
Interior Parking Lot Shade Trees	NOT AVAILABLE		NOT AVAILABLE
# of Parking spaces	CARWASH-7 PER PER Y-10 RETAIL BUILDING-4 PER 1,000 SF-17 SPACES		CARWASH-10 SPACES + 10 STACKING RETAIL BUILDING-34

- SITE GEOMETRIC NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 12-26-19, PREPARED BY THE H-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
 - ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
 - SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
 - CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
 - CONTRACTOR SHALL CONTACT JILLIE (811 OR 1-800-842-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
 - ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
 - ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

CALL JILLIE
811 OR TOLL FREE (800)842-0123 OPERATES
24 HOURS A DAY 365 DAYS A YEAR



CALL 1-800-842-0123
48 HOURS BEFORE YOU DIG
CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA
OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK



WT GROUP
ENGINEERING AND PLUMBING CONSULTANTS
1224 S. 103RD ST. SUITE 200
MILWAUKEE, WI 53224
TEL: 414.353.1000 FAX: 414.353.1001
WWW.WTGROUP.COM

WT Group
Engineering • Design • Consulting

THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
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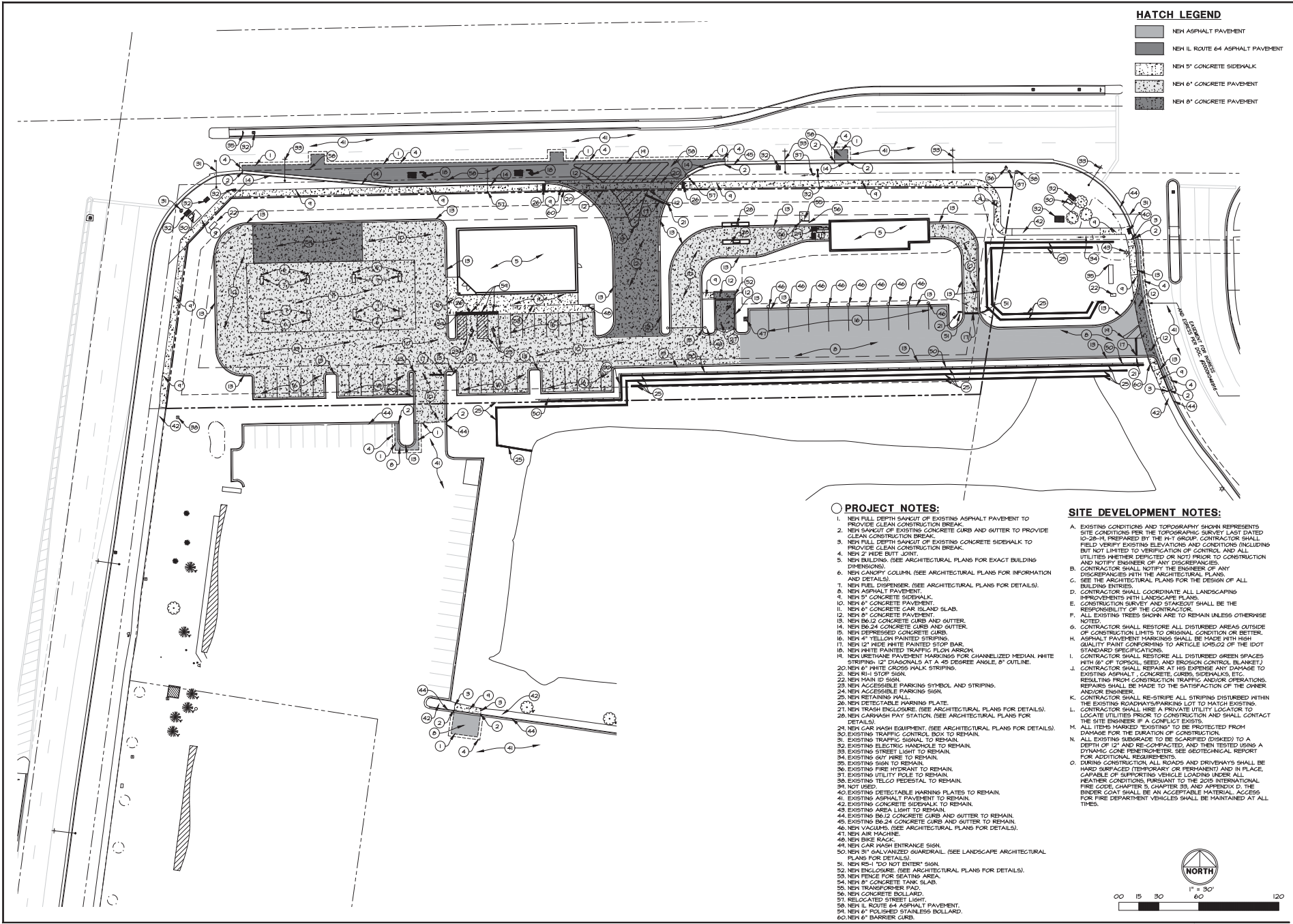
CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE






TO	DATE
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

CHECKED BY: _____
DRAWN BY: TEP
JOB: 1910803C

C-2.0
SITE GEOMETRIC PLAN



HATCH LEGEND

-  NEW ASPHALT PAVEMENT
-  NEW IL ROUTE 64 ASPHALT PAVEMENT
-  NEW 5' CONCRETE SIDEWALK
-  NEW 6' CONCRETE PAVEMENT
-  NEW 8' CONCRETE PAVEMENT

PROJECT NOTES:

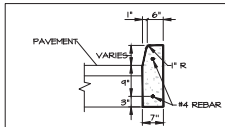
1. NEW FULL DEPTH SANICUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW SANICUT OF EXISTING CONCRETE CURB AND GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW FULL DEPTH SANICUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. NEW 2" WIDE BUTT JOINT.
5. NEW BUILDING (SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS).
6. NEW CANOPY COLUMN (SEE ARCHITECTURAL PLANS FOR INFORMATION AND DETAILS).
7. NEW FUEL DISPENSER (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. NEW ASPHALT PAVEMENT.
9. NEW 5' CONCRETE SIDEWALK.
10. NEW 4' CONCRETE PAVEMENT.
11. NEW 6' CONCRETE CAR ISLAND SLAB.
12. NEW 8' CONCRETE PAVEMENT.
13. NEW B6/2 CONCRETE CURB AND GUTTER.
14. NEW B6/24 CONCRETE CURB AND GUTTER.
15. NEW DEPRESSED CONCRETE CURB.
16. NEW 4" YELLOW PAINTED STRIPING.
17. NEW 12" WIDE WHITE PAINTED STOP BAR.
18. NEW URETHANE PAVEMENT MARKINGS FOR CHANNELIZED MEDIAN WHITE STRIPING, 12" DIAGONALS AT A 45 DEGREE ANGLE, 8" OUTLINE.
20. NEW 4" WHITE CROSS WALK STRIPING.
21. NEW R-1 STOP SIGN.
22. NEW H-1 SIGN.
23. NEW ACCESSIBLE PARKING SYMBOL AND STRIPING.
24. NEW ACCESSIBLE PARKING SIGN.
25. NEW RETAINING WALL.
26. NEW DETECTABLE WARNING PLATE.
27. NEW TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
28. NEW CARWASH PAY STATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
29. NEW CAR WASH EQUIPMENT (SEE ARCHITECTURAL PLANS FOR DETAILS).
30. EXISTING TRAFFIC CONTROL BOX TO REMAIN.
31. EXISTING TRAFFIC SIGNAL TO REMAIN.
32. EXISTING ELECTRIC HANDLES TO REMAIN.
33. EXISTING STREET LIGHT TO REMAIN.
34. EXISTING WIRE TO REMAIN.
35. EXISTING SIGN TO REMAIN.
36. EXISTING HYDRANT TO REMAIN.
37. EXISTING UTILITY POLE TO REMAIN.
38. EXISTING TELCO PEDestal TO REMAIN.
39. NOT USED.
40. EXISTING DETECTABLE WARNING PLATES TO REMAIN.
41. EXISTING ASPHALT PAVEMENT TO REMAIN.
42. EXISTING CONCRETE SIDEWALK TO REMAIN.
43. EXISTING AREA LIGHT TO REMAIN.
44. EXISTING B6/2 CONCRETE CURB AND GUTTER TO REMAIN.
45. EXISTING B6/24 CONCRETE CURB AND GUTTER TO REMAIN.
46. NEW VAGUIMS (SEE ARCHITECTURAL PLANS FOR DETAILS).
47. NEW AIR MACHINE.
48. NEW BIKE RACK.
49. NEW CAR WASH ENTRANCE SIGN.
50. NEW 31" GALVANIZED GUARDRAIL (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
51. NEW R-1 "DO NOT ENTER" SIGN.
52. NEW ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
53. NEW FENCE FOR SEEING AREA.
54. NEW 8' CONCRETE TANK SLAB.
55. NEW TRANSFORMER AREA.
56. NEW CONCRETE BOLLARD.
57. RELOCATED STREET LIGHT.
58. NEW IL ROUTE 64 ASPHALT PAVEMENT.
59. NEW 6' POLISHED STAINLESS BOLLARD.
60. NEW 6' BARRIER CURB.

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10/28/14 PREPARED BY THE HY GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL (BLANKET).
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAY/PARKING LOT TO MATCH EXISTING.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RECOMPACTED AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- O. DURING CONSTRUCTION ALL ROADS AND DRIVEWAYS SHALL BE HAND SURFACED TEMPORARILY OR PERMANENTLY AND IN PLACE, CAPABLE OF SUPPORTING VEHICLE LOADINGS UNDER ALL WEATHER CONDITIONS. PURSUANT TO THE 2015 INTERNATIONAL FIRE CODE, CHAPTER 5, CHAPTER 55, AND APPENDIX D, THE BINDER COAT SHALL BE AN ACCEPTABLE MATERIAL. ACCESS FOR FIRE DEPARTMENT VEHICLES SHALL BE MAINTAINED AT ALL TIMES.

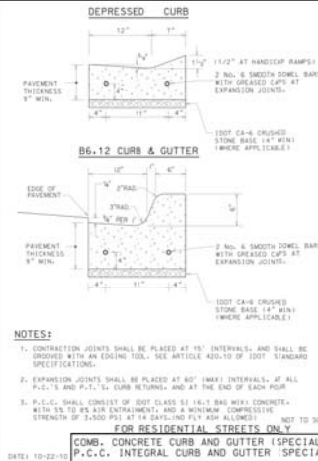
ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/13/20
REV. SITE	6/30/20

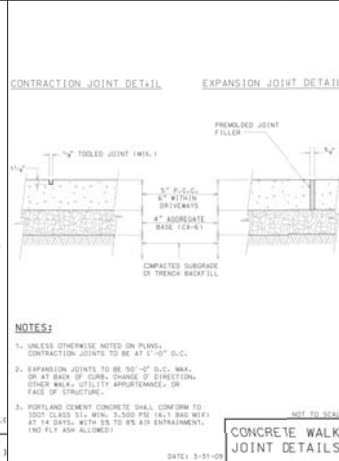


- NOTES:**
1. BARRIER CURB SHALL BE CONCRETE.
 2. CONTRACTION JOINTS, 1/4" WIDE X 1" DEEP, SHALL BE LOCATED AT RADIUS TANGENTS.
 3. BASE MATERIAL SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.

DETAIL - BARRIER CURB
NOT TO SCALE

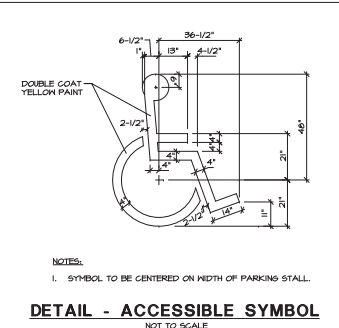


- NOTES:**
1. CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS AND SHALL BE FINISHED WITH AN EDGING TOOL. SEE ARTICLE 405.02 OF 2007 STANDARD SPECIFICATIONS.
 2. EXPANSION JOINTS SHALL BE PLACED AT 60' INTERVALS, IF ALL P.C.C.'S AND P.C.T.'S CURB RETURN, AND AT THE END OF EACH POLE.
 3. P.C.C. SHALL CONSIST OF 100% CLASS II 1/2" MAX. SIZE AGGREGATE WITH 15 TO 18 AIR ENTRAINMENT, AND A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 14 DAYS, NO P.C. IS ALLOWED. NOT TO SCALE.
- FOR RESIDENTIAL STREETS ONLY**
- COMB. CONCRETE CURB AND GUTTER (SPECIAL)
P.C.C. INTEGRAL CURB AND GUTTER (SPECIAL)



- NOTES:**
1. UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE AT 15'-0" O.C.
 2. EXPANSION JOINTS TO BE 50'-0" O.C. MAX. OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER NEAR UTILITY APERTURES, OR FACE OF STRUCTURE.
 3. PORTLAND CEMENT CONCRETE SHALL CONFORM TO 100% CLASS III, MIN. 3,000 PSI (4.1 MAX. WEIGHT) AT 14 DAYS, WITH 15 TO 18 AIR ENTRAINMENT, AND 4.1 MAX. ALLOWED.

CONCRETE WALK JOINT DETAILS
NOT TO SCALE



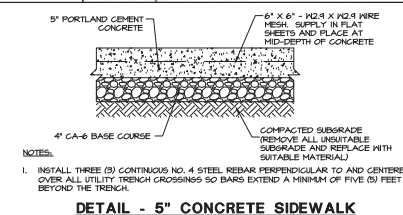
- NOTES:**
1. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.

DETAIL - ACCESSIBLE SYMBOL
NOT TO SCALE



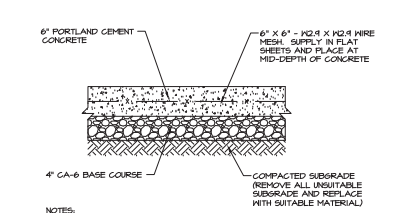
- NOTES:**
1. CENTER SIGN IN PARKING STALL AND INSTALL MINIMUM OF 5' AND MAXIMUM OF 6' ABOVE FINISHED PAVEMENT ELEVATION.
 2. CONTRACTOR SHALL VERIFY FINE AMOUNT WITH JURISDICTIONALITY PRIOR TO INSTALLATION.

DETAIL - ACCESSIBLE PARKING SIGN
NOT TO SCALE



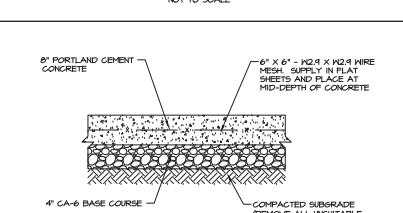
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 5" CONCRETE SIDEWALK



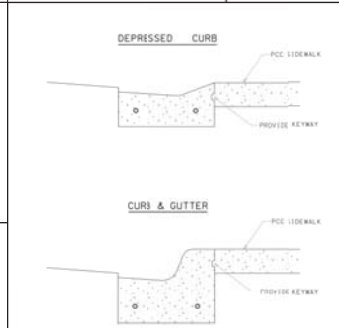
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 6" CONCRETE PAVEMENT
NOT TO SCALE



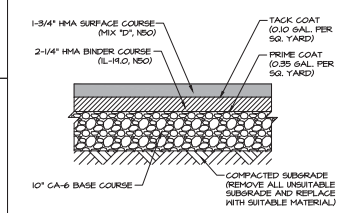
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 8" CONCRETE PAVEMENT
NOT TO SCALE

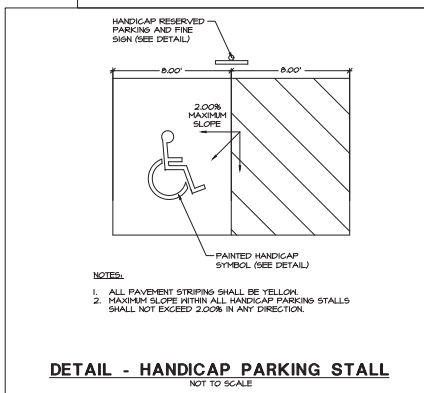


- NOTES:**
1. SEE TYPICAL DETAIL FOR CURB AND GUTTER FOR CURB DIMENSIONS AND SPECIFICATIONS.

SIDEWALK AT CURB AND GUTTER
NOT TO SCALE

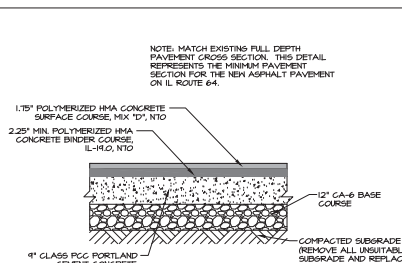


DETAIL - ASPHALT PAVEMENT
NOT TO SCALE

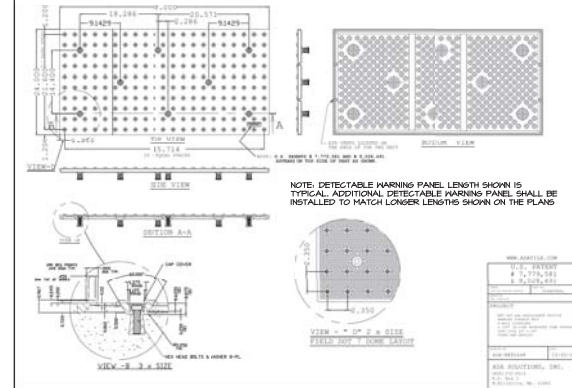
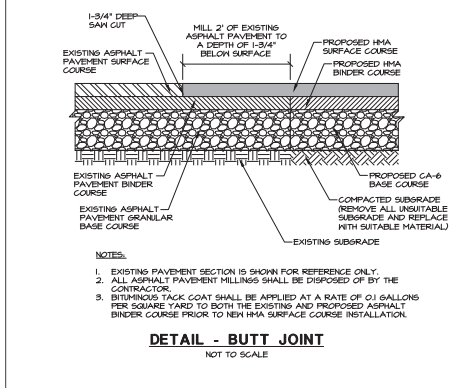
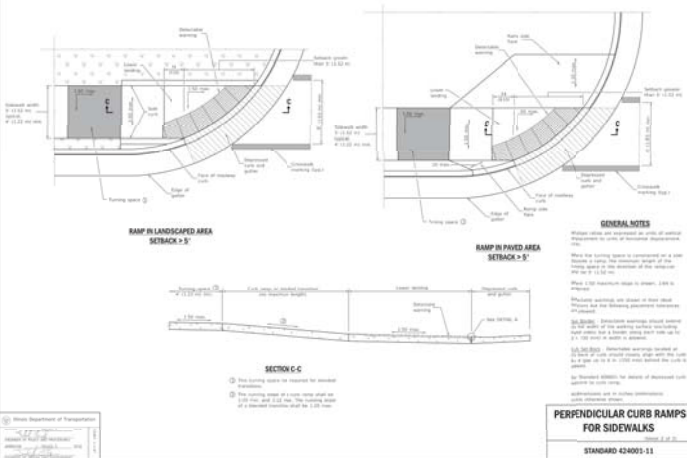
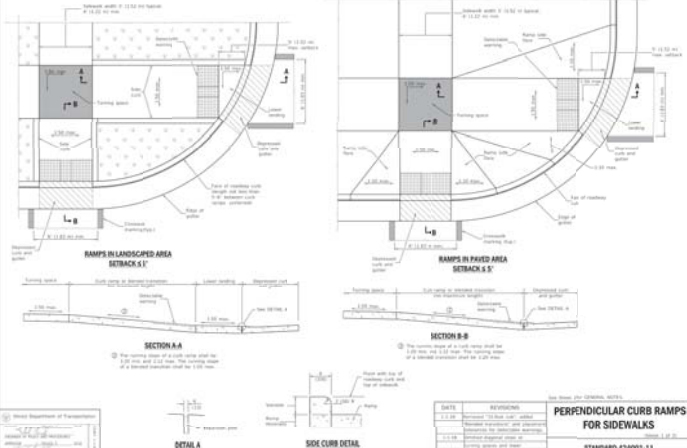
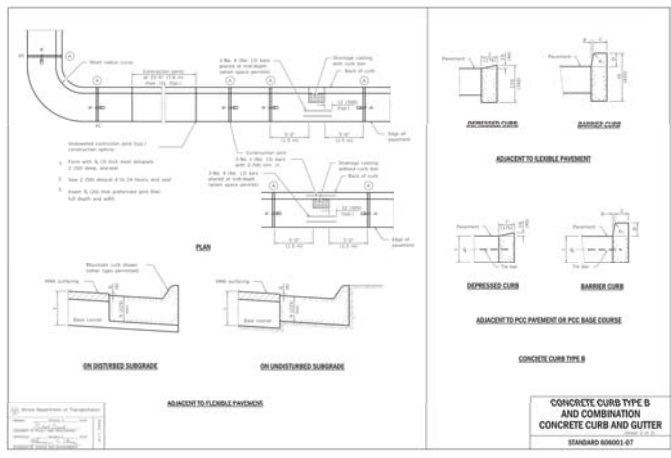
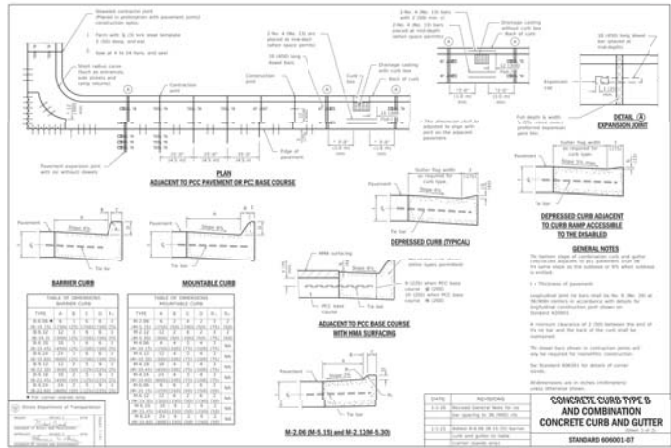


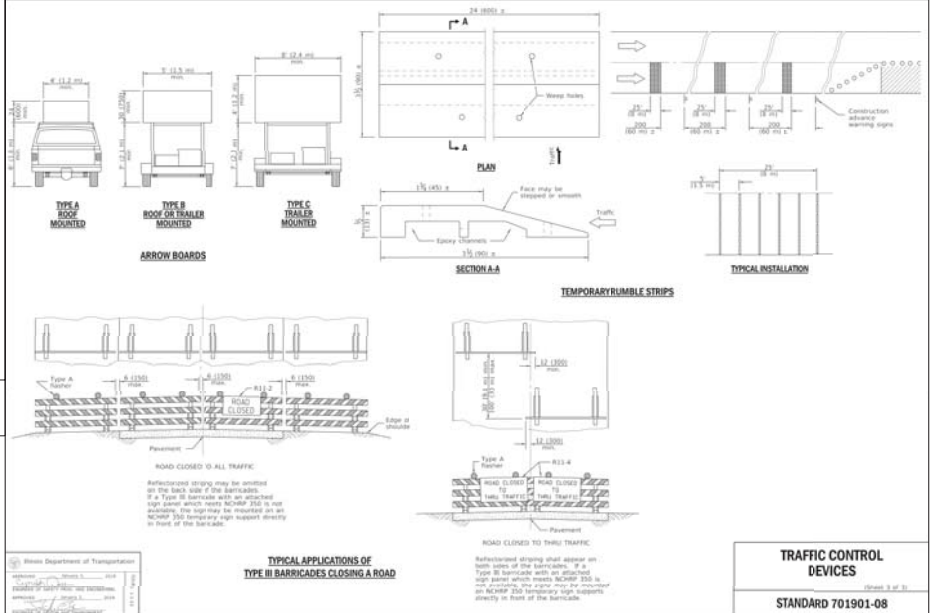
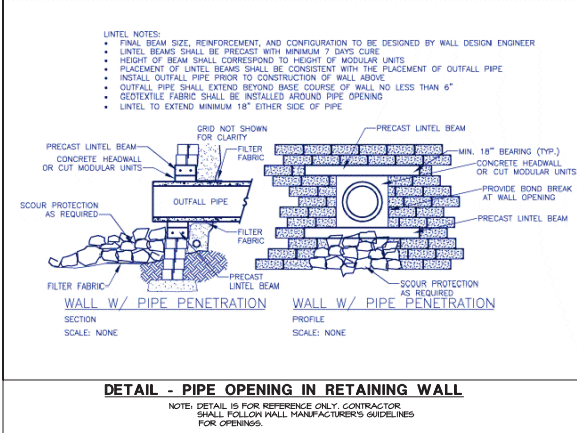
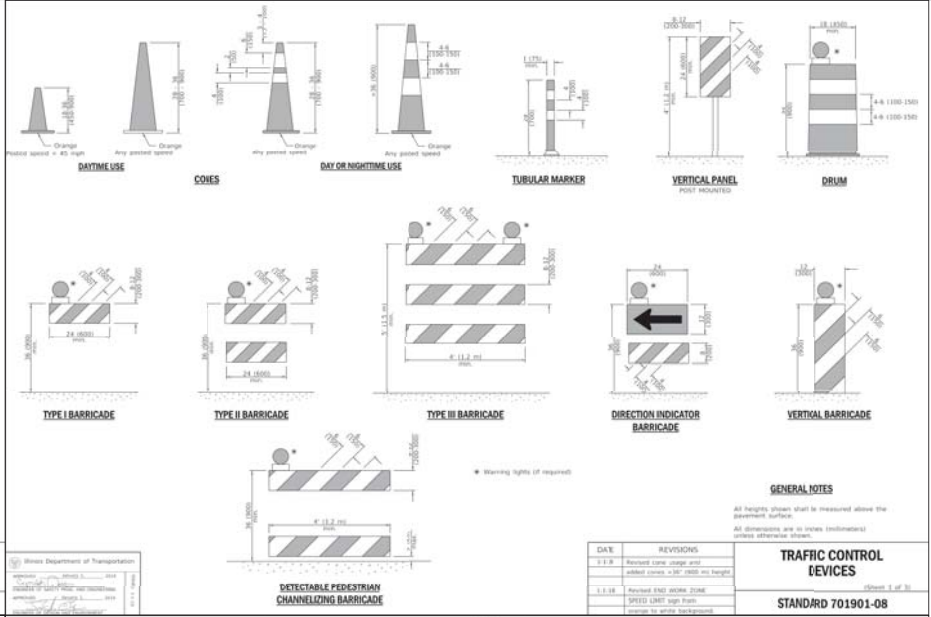
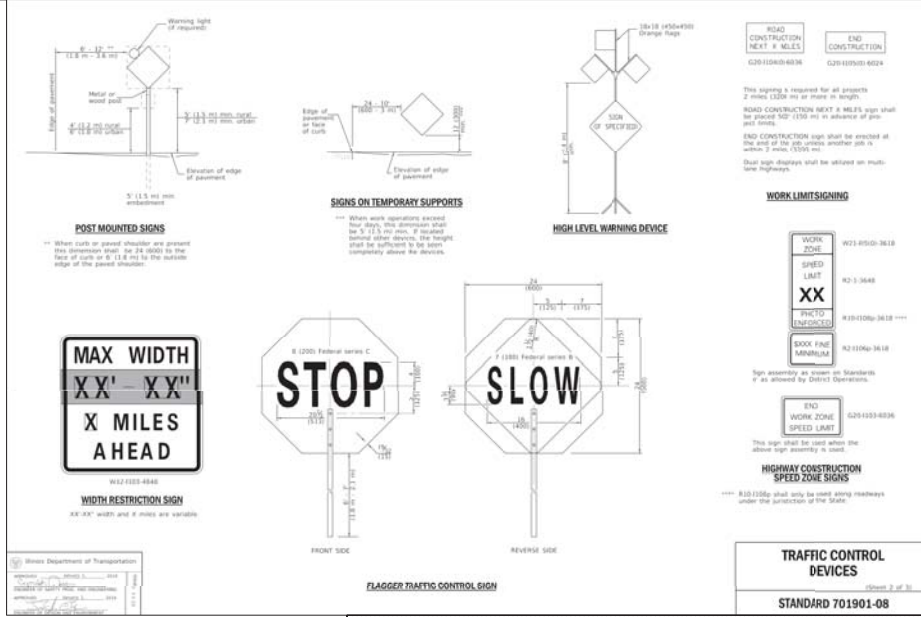
- NOTES:**
1. ALL PAVEMENT STRIPING SHALL BE YELLOW.
 2. MAXIMUM SLOPE WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

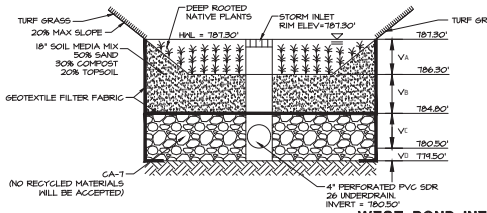
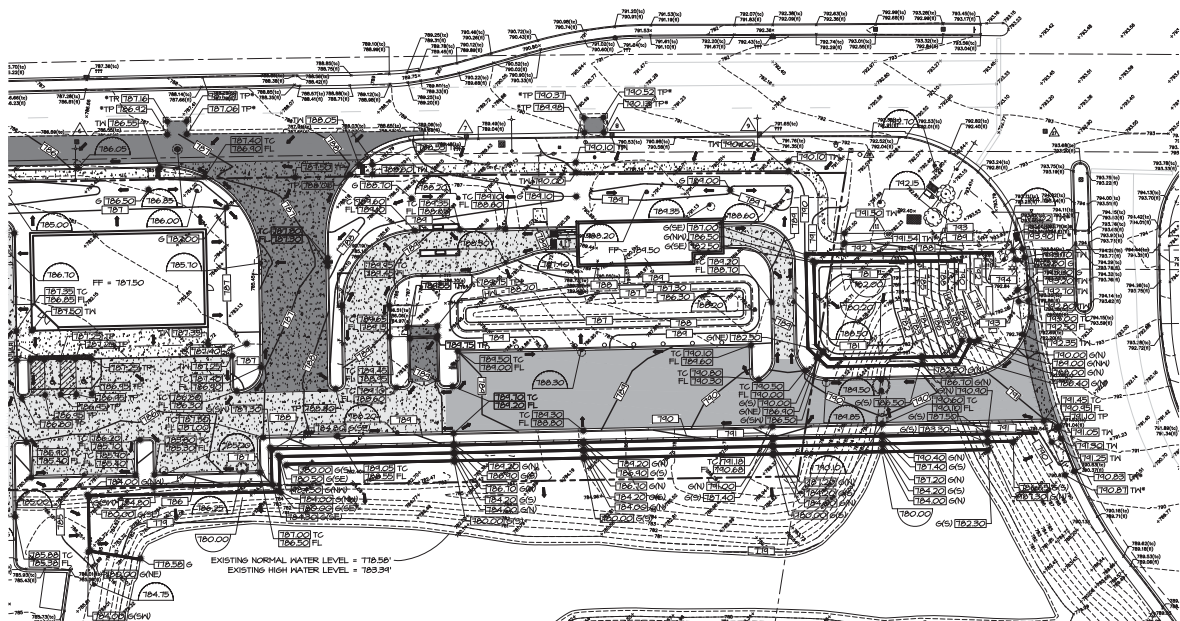
DETAIL - HANDICAP PARKING STALL
NOT TO SCALE



DETAIL - IL ROUTE 64 ASPHALT PAVEMENT
FOR USE ON IL ROUTE 64 ONLY
NOT TO SCALE







VOLUME TYPE	POROSITY	MEDIA VOLUME	STORAGE VOLUME	VOLUME PROVIDED
SURFACE STORAGE	1.00	VA = 1489 C.F.	1.00 X VA	1489 C.F.
SOIL MEDIA MIX	0.25	VB = 3162 C.F.	0.5 X 0.25 X VB	395 C.F.
COARSE AGG. (ABOVE INVERT)	0.36	VC = 6034 C.F.	0.5 X 0.36 X VC	1086 C.F.
COARSE AGG. (BELOW INVERT)	0.36	VD = 2101 C.F.	0.36 X VD	756 C.F.
			WEST RAIN GARDEN TOTAL	4899 C.F.

INfiltration VOLUME REQUIRED = 1.416 AC. X 0.75' = 0.0895 ACRE - FEET
 INfiltration VOLUME PROVIDED = 0.098 AC-FT X 0.0895 AC-FT

WEST POND INFILTRATION VOLUME
 NOT TO SCALE

EXISTING POND - DETENTION STORAGE VOLUME ADDED			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	8,235 SQ. FT.		
783.75	8,505 SQ. FT.	1,674 CU. FT.	48,440 CU. FT. OR 1,1120 AC-FT
783.50	8,832 SQ. FT.	2,167 CU. FT.	46,766 CU. FT. OR 1,0736 AC-FT
783.39 HWL	8,974 SQ. FT.	979 CU. FT.	44,599 CU. FT. OR 1,0238 AC-FT
783.20	9,220 SQ. FT.	1,728 CU. FT.	43,619 CU. FT. OR 1,0014 AC-FT
783.00	9,220 SQ. FT.	2,726 CU. FT.	41,891 CU. FT. OR 0,9617 AC-FT
782.91 WEIR	9,582 SQ. FT.	9,172 CU. FT.	39,165 CU. FT. OR 0,8991 AC-FT
782.00	10,576 SQ. FT.	11,116 CU. FT.	29,993 CU. FT. OR 0,6885 AC-FT
781.00	11,855 SQ. FT.	12,234 CU. FT.	18,877 CU. FT. OR 0,4334 AC-FT
780.00	12,812 SQ. FT.	6,574 CU. FT.	6,644 CU. FT. OR 0,1525 AC-FT
779.00	335 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT
778.58	0 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT

TOTAL POND V_{783.39} = 43,619 CU. FT.
 OR 1,001 AC-FT

EXISTING POND - DETENTION STORAGE VOLUME LOST			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	3,231 SQ. FT.		
783.75	3,137 SQ. FT.	637 CU. FT.	11,630 CU. FT. OR 0,2670 AC-FT
783.50	3,022 SQ. FT.	770 CU. FT.	10,993 CU. FT. OR 0,2524 AC-FT
783.39 HWL	2,972 SQ. FT.	330 CU. FT.	10,223 CU. FT. OR 0,2347 AC-FT
783.20	2,887 SQ. FT.	557 CU. FT.	9,893 CU. FT. OR 0,2271 AC-FT
782.91 WEIR	2,761 SQ. FT.	819 CU. FT.	9,336 CU. FT. OR 0,2143 AC-FT
782.00	2,400 SQ. FT.	2,348 CU. FT.	8,518 CU. FT. OR 0,1955 AC-FT
781.00	2,020 SQ. FT.	2,210 CU. FT.	6,169 CU. FT. OR 0,1416 AC-FT
780.00	1,712 SQ. FT.	1,866 CU. FT.	3,959 CU. FT. OR 0,0909 AC-FT
779.00	1,375 SQ. FT.	1,544 CU. FT.	2,093 CU. FT. OR 0,0481 AC-FT
778.58	1,243 SQ. FT.	550 CU. FT.	550 CU. FT. OR 0,0126 AC-FT

TOTAL POND V_{783.39} = 9,893 CU. FT.
 OR 0,227 AC-FT

PROPOSED DETENTION POND VOLUME - EAST POND				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL	4,231 SQ. FT.	842 CU. FT.	20,626 CU. FT. OR	0,4735 AC-FT
788.00	4,191 SQ. FT.	4,085 CU. FT.	19,784 CU. FT. OR	0,4542 AC-FT
787.00	3,978 SQ. FT.	3,490 CU. FT.	15,699 CU. FT. OR	0,3604 AC-FT
786.00	3,002 SQ. FT.	2,904 CU. FT.	12,209 CU. FT. OR	0,2803 AC-FT
785.00	2,805 SQ. FT.	2,707 CU. FT.	9,306 CU. FT. OR	0,2136 AC-FT
784.00	2,608 SQ. FT.	2,509 CU. FT.	6,599 CU. FT. OR	0,1515 AC-FT
783.00	2,410 SQ. FT.	2,166 CU. FT.	4,090 CU. FT. OR	0,0939 AC-FT
782.00	1,921 SQ. FT.	1,590 CU. FT.	1,925 CU. FT. OR	0,0442 AC-FT
781.00	1,258 SQ. FT.	335 CU. FT.	335 CU. FT. OR	0,0077 AC-FT
780.20	0 SQ. FT.			

TOTAL POND V_{788.20} = 20,626 CU. FT.
 OR 0,474 AC-FT

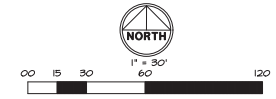
PROPOSED DETENTION POND VOLUME - WEST POND				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL	3,403 SQ. FT.	663 CU. FT.	2,527 CU. FT. OR	0,0580 AC-FT
788.00	3,226 SQ. FT.	1,864 CU. FT.	1,864 CU. FT. OR	0,0428 AC-FT
787.30 OUTLET ELEV.	2,101 SQ. FT.	1,493 CU. FT.	1,493 CU. FT. OR	0,0343 AC-FT
786.30	885 SQ. FT.			

TOTAL POND V_{788.20} = 2,527 CU. FT.
 OR 0,058 AC-FT

PROPOSED DETENTION POND VOLUME - WEST & EAST PONDS				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL			23,154 CU. FT. OR	0,5315 AC-FT
788.00			21,648 CU. FT. OR	0,4970 AC-FT
787.00			17,192 CU. FT. OR	0,3947 AC-FT
786.00			12,209 CU. FT. OR	0,2803 AC-FT
785.00			9,306 CU. FT. OR	0,2136 AC-FT
784.00			6,599 CU. FT. OR	0,1515 AC-FT
783.00			4,090 CU. FT. OR	0,0939 AC-FT
782.00			1,925 CU. FT. OR	0,0442 AC-FT
781.00			335 CU. FT. OR	0,0077 AC-FT
780.20				

TOTAL POND V_{788.20} = 23,154 CU. FT.
 OR 0,532 AC-FT

VOLUME REQUIRED = 1,200 ACRE - FEET
 VOLUME ADDED EXISTING POND = 1,001 ACRE - FEET
 VOLUME LOST EXISTING POND = 0,227 ACRE - FEET
 VOLUME PROVIDED NEW PONDS = 0,532 ACRE - FEET
 VOLUME PROVIDED = 1,306 ACRE - FEET



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 *CORPORATE FOSTER WHEELER GROUP, LLC

WT Group
 Engineering • Design • Consulting

CIMA DEVELOPERS
 300W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60055

THE PRIDE OF KANE COUNTY
 330W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

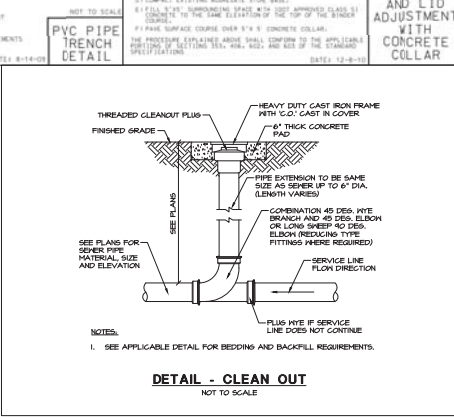
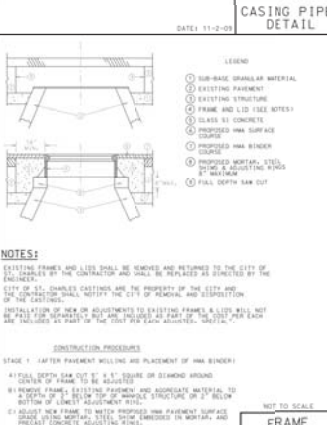
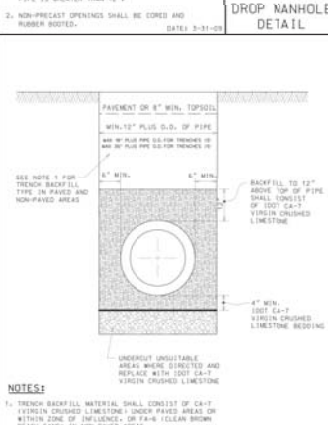
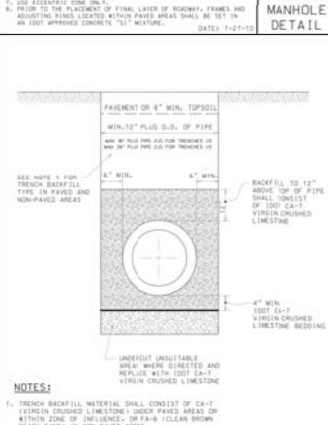
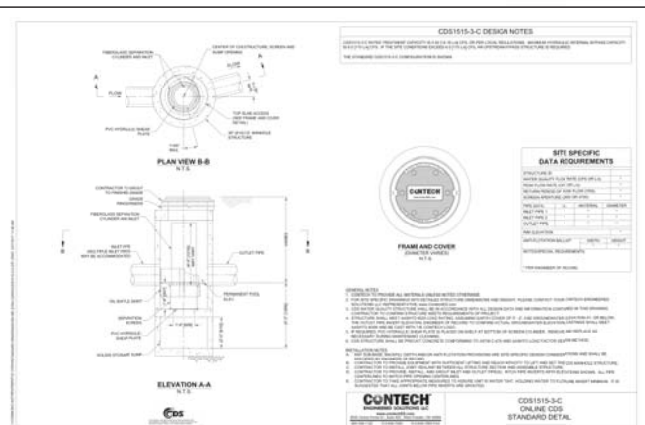
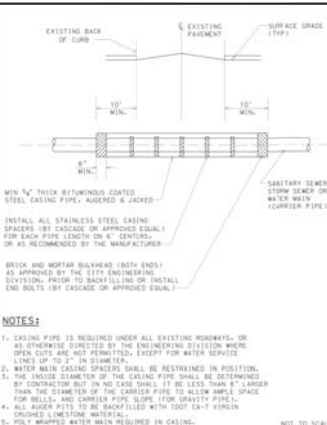
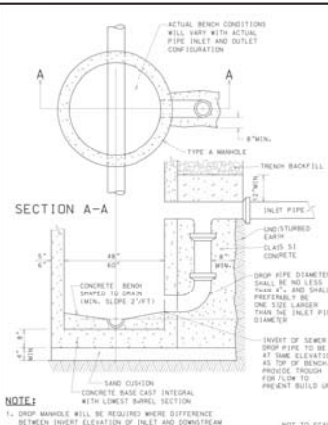
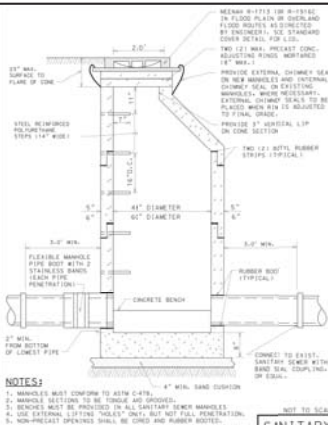
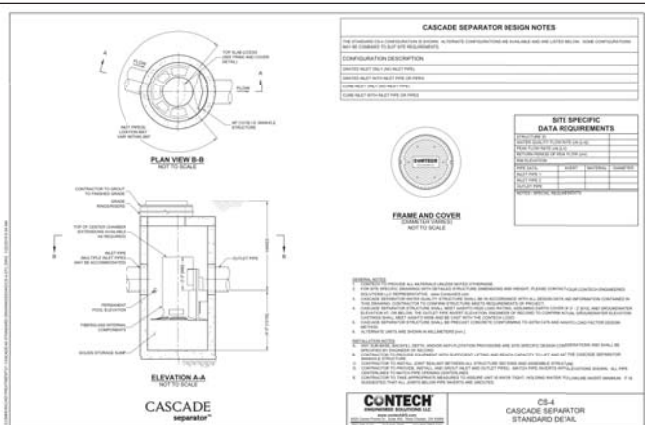
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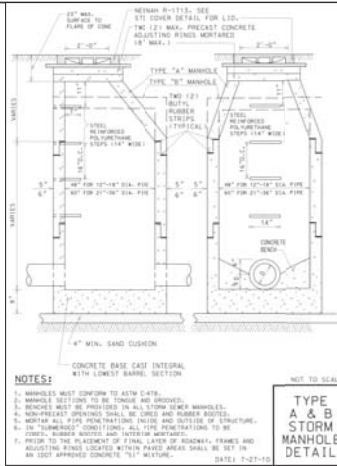
ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/13/20
REV. SITE	2/13/20
REV. SITE	6/9/20

CHECK/DO
 DRAWN/TEP
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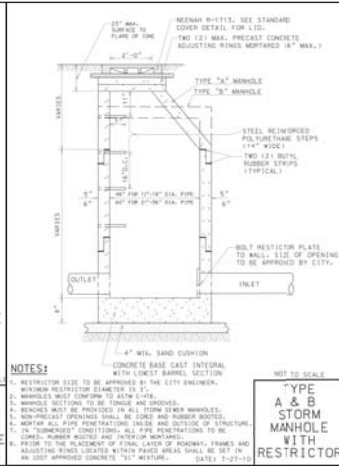
C-4.1
 SITE GRADING PLAN





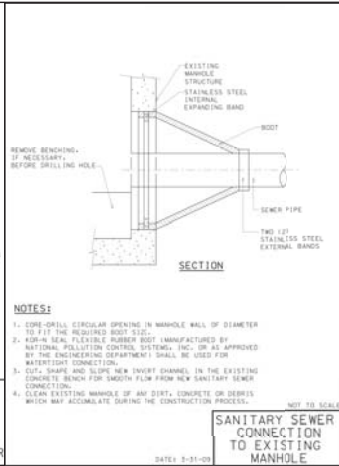
- NOTES:**
1. MANHOLES MUST CONFORM TO ASTM C-476.
 2. MANHOLE SECTIONS TO BE CONCRETE AND REINFORCED.
 3. NON-PRECAST OPENINGS SHALL BE COPIED AND RUBBER BOOTED.
 4. MORTAR ALL JOINTS BETWEEN INLETS AND OUTLETS OF STRUCTURE.
 5. IN "TURNED-IN" CONDITIONS, ALL PIPE PENETRATIONS TO BE COPIED, RUBBER BOOTED AND INTERIOR MORTARED.
 6. PRIOR TO THE PLACEMENT OF FINAL LAYER OF REINFORCING, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN UNSET APPROVED CONCRETE "T" MATTER.

TYPE A & B STORM MANHOLE DETAIL
NOT TO SCALE
DATE: 7-27-13



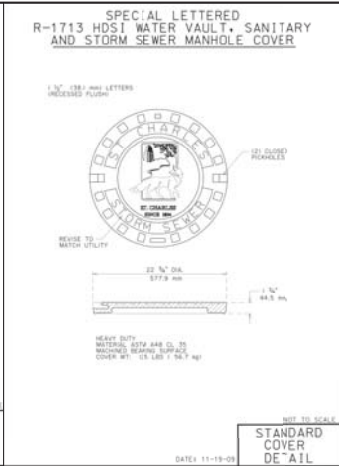
- NOTES:**
1. RESTRICTOR RINGS TO BE APPROVED BY THE CITY ENGINEER.
 2. RESTRICTOR DIAMETER TO BE 1\"/>

TYPE A & B STORM MANHOLE WITH RESTRICTOR
NOT TO SCALE
DATE: 7-27-13

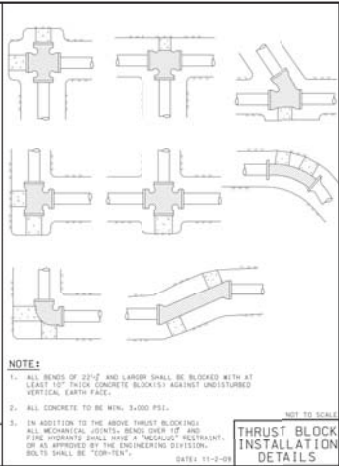


- NOTES:**
1. CORE-DRILL CIRCULAR OPENING IN MANHOLE WALL OF DIAMETER TO FIT THE REQUIRED BOOT SIZE.
 2. RUBBER SEAL, PLASTIC RUBBER BOOT MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC. OR AS APPROVED BY THE ENGINEERING DEPARTMENT SHALL BE USED FOR WATER-TIGHT CONNECTION.
 3. CUTS, SQUARE AND SLOPE NEW INVERT CHANNEL IN THE EXISTING CONCRETE BENCH FOR SMOOTH FLOW FROM SANITARY SEWER CONNECTION.
 4. CLEAN EXISTING MANHOLE OF ANY DIRT, CONCRETE OR DEBRIS WHICH MAY ACCUMULATE DURING THE CONSTRUCTION PROCESS.

SANITARY SEWER CONNECTION TO EXISTING MANHOLE
NOT TO SCALE
DATE: 7-27-13

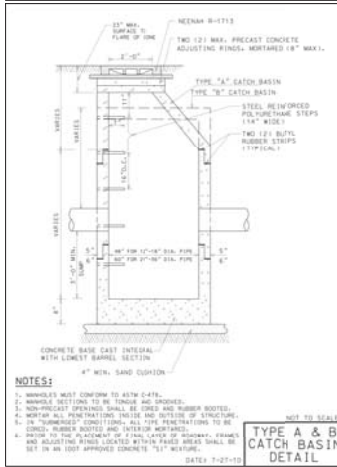


- NOTES:**
1. ALL ENDS OF 2\"/>



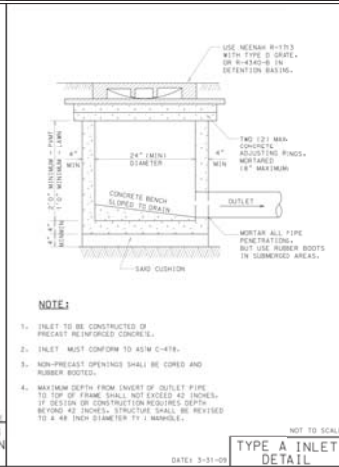
- NOTES:**
1. ALL ENDS OF 2\"/>

STANDARD COVER DE-AIL
NOT TO SCALE
DATE: 11-19-09



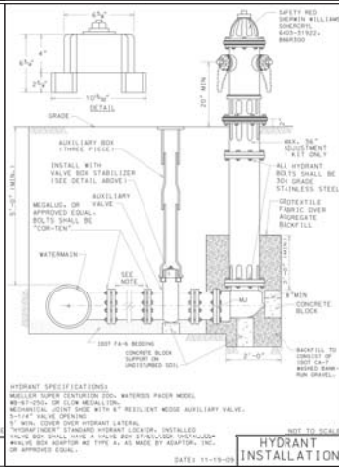
- NOTES:**
1. MANHOLES MUST CONFORM TO ASTM C-476.
 2. MANHOLE SECTIONS TO BE CONCRETE AND REINFORCED.
 3. NON-PRECAST OPENINGS SHALL BE COPIED AND RUBBER BOOTED.
 4. MORTAR ALL JOINTS BETWEEN INLETS AND OUTLETS OF STRUCTURE.
 5. IN "TURNED-IN" CONDITIONS, ALL PIPE PENETRATIONS TO BE COPIED, RUBBER BOOTED AND INTERIOR MORTARED.
 6. PRIOR TO THE PLACEMENT OF FINAL LAYER OF REINFORCING, FRAMES AND ADJUSTING RINGS LOCATED WITHIN PAVED AREAS SHALL BE SET IN AN UNSET APPROVED CONCRETE "T" MATTER.

TYPE A & B CATCH BASIN DETAIL
NOT TO SCALE
DATE: 7-27-13



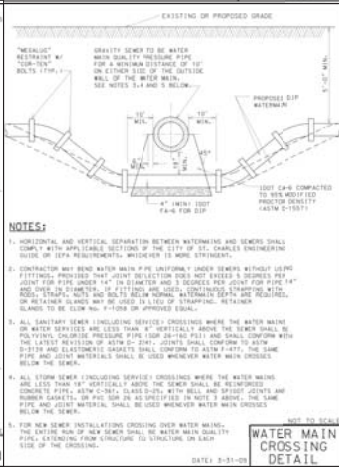
- NOTE:**
1. INLET TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
 2. INLET MUST CONFORM TO ASTM C-476.
 3. NON-PRECAST OPENINGS SHALL BE COPIED AND RUBBER BOOTED.
 4. MAIN-TANK DEPTH FROM INVERT OF OUTLET PIPE TO TOP OF FRAME SHALL NOT EXCEED 42 INCHES. IF DEPTH OF CONSTRUCTION REQUIRES DEPTH BEYOND 42 INCHES, STRUCTURE SHALL BE REINFORCED TO A 48 INCH DIAMETER 18\"/>

TYPE A INLET DETAIL
NOT TO SCALE
DATE: 3-31-09



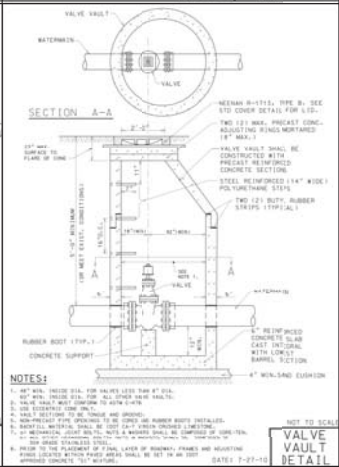
- HYDRANT SPECIFICATIONS:**
- 1. HYDRANT TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
 - 2. HYDRANT TO BE CONSTRUCTED TO A MINIMUM DEPTH OF 42 INCHES BELOW FINISHED GRADE.
 - 3. HYDRANT TO BE CONSTRUCTED TO A MINIMUM DEPTH OF 42 INCHES BELOW FINISHED GRADE.
 - 4. HYDRANT TO BE CONSTRUCTED TO A MINIMUM DEPTH OF 42 INCHES BELOW FINISHED GRADE.

HYDRANT INSTALLATION
NOT TO SCALE
DATE: 11-19-09



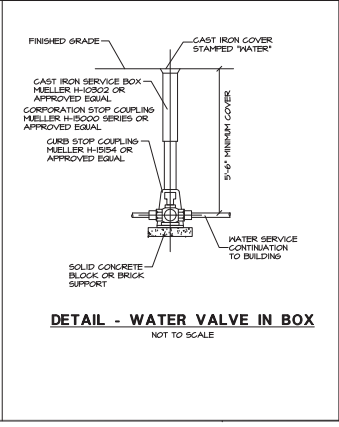
- NOTES:**
1. HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATERMANS AND SEWERS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CITY OF ST. CHARLES ENGINEERING BUREAU OF DEPT. REQUIREMENTS, PROVIDED IS MORE STRINGENT.
 2. CONTRACTOR MUST BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT COLLECTION DOES NOT EXCEED 6 FEET. SEWERS MAY JOINT FOR PIPE UNDER 14\"/>

WATER MAIN CROSSING DETAIL
NOT TO SCALE
DATE: 8-31-08

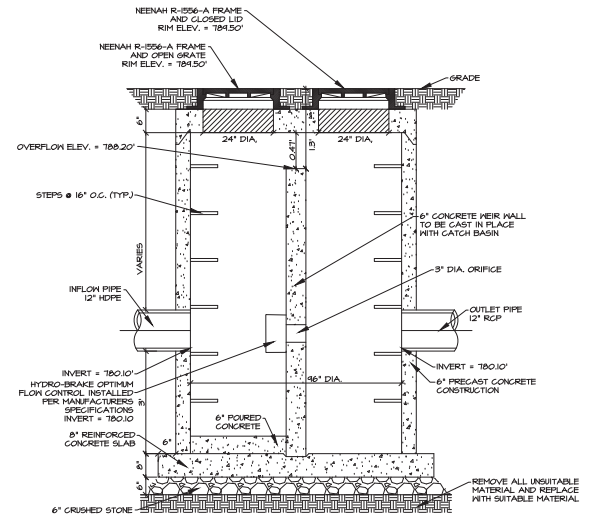
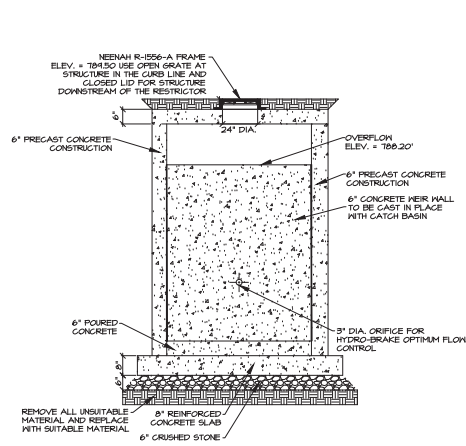


- NOTES:**
1. ALL ENDS OF 2\"/>

VALVE VAULT DETAIL
NOT TO SCALE
DATE: 7-27-13



DETAIL - WATER VALVE IN BOX
NOT TO SCALE



DETAIL - 96" CATCH BASIN #30 WITH RESTRICTOR

Technical Specification			
Control Point	Head (ft)		Flow (cfs)
Primary Design	5.100	0.096	Hydro-Braker® Optimum Flow Control including: • 8.118 gpm 304L stainless steel mesh screen • 1/2" diameter stainless steel pipe • 1/2" diameter stainless steel pipe with 1/2" diameter stainless steel flange • 1/2" diameter stainless steel pipe with 1/2" diameter stainless steel flange • 1/2" diameter stainless steel pipe with 1/2" diameter stainless steel flange • 1/2" diameter stainless steel pipe with 1/2" diameter stainless steel flange
Flush-Flow™	3.800	0.061	
Kick-Flow™	1.850	0.049	
Mass Flow		0.070	

Hydro-Braker Optimum Flow Control

SECTION A-A **SECTION B-B**

IMPORTANT: The headflow characteristics of the BPE-0063-2710-2469-2710 Hydro-Braker® Optimum Flow Control are unique. Customer feedback including the use of an outlet flow control will invalidate any design based on this data.

THIS DESIGN LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE.

DESIGN: The headflow characteristics of the BPE-0063-2710-2469-2710 Hydro-Braker® Optimum Flow Control are unique. Customer feedback including the use of an outlet flow control will invalidate any design based on this data.

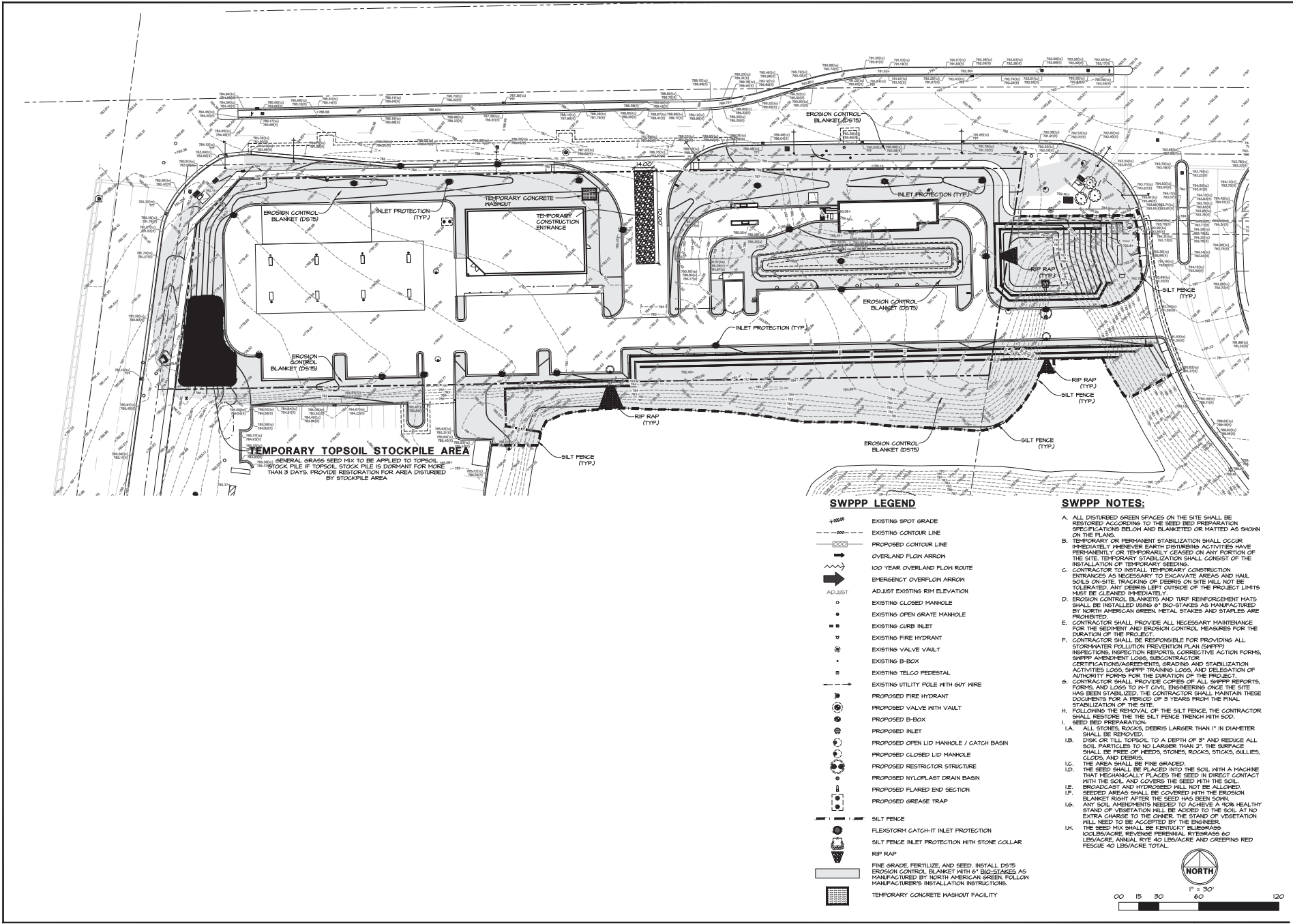
ADVICE: The use of an outlet flow control will invalidate any design based on this data.

DATE: 12/25/2020 10:22 AM
SITE: Pride of Kane County
PROJECT: Main Pipe
REF: New Pond

Hydro International
 SHE-0063-2710-2469-2710
 Hydro-Braker® Optimum
 hydro@hydrointernational.com

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/30/20



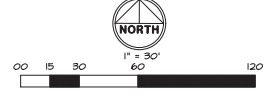
TEMPORARY TOPSOIL STOCKPILE AREA
 GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 30 DAYS. PROVIDE RESTORATION FOR AREA DISTURBED BY STOCKPILE AREA

SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING TELCO PEDESTAL
- EXISTING UTILITY POLE WITH GUY WIRE
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE VAULT
- PROPOSED B-BOX
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLON LAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- PROPOSED GREASE TRAP
- SILT FENCE
- FLEXSTORM CATCH-IT INLET PROTECTION
- SILT FENCE INLET PROTECTION WITH STONE COLLAR
- RIP RAP
- FINE GRADE, FERTILIZE AND SEED, INSTALL D5TS EROSION CONTROL BLANKET WITH 6' BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY

SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO ELEVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CIVIL ENGINEERING ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOIL.
- I. SEED BED PREPARATION
 - 1A. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - 1B. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF NEEDS, STONES, ROCKS, STICKS, GULLIES, CLOS, AND DEBRIS.
 - 1C. THE AREA SHALL BE FINE GRADED.
 - 1D. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL. BROADCAST AND HYPOPOSED WILL NOT BE ALLOWED.
 - 1E. SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - 1F. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 40% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - 1G. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 10 LBS/ACRE, REVERSE PERENNIAL RYEGRASS 40 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE, AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



WT GROUP
 CONSULTING AND DESIGN
 1224 S. 103RD ST. | ST. LOUIS, MO 63104
 TEL: 314.433.8800 | FAX: 314.433.8801
 WWW.WTGROUP.COM

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 Engineering • Design • Construction

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

CIMA DEVELOPERS
 300180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

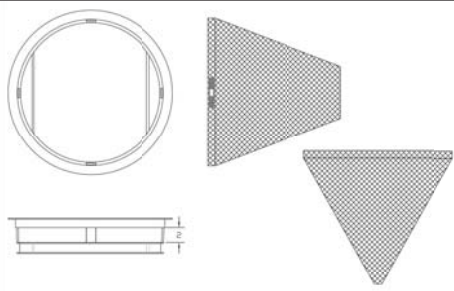
THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
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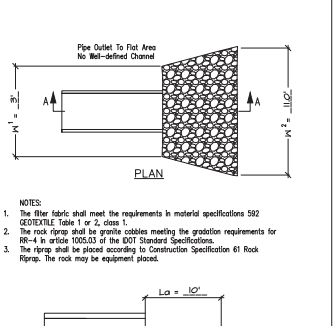
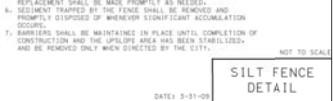
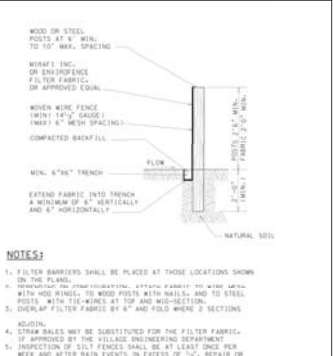
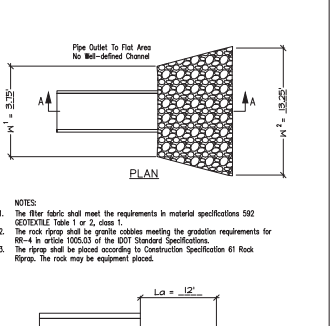
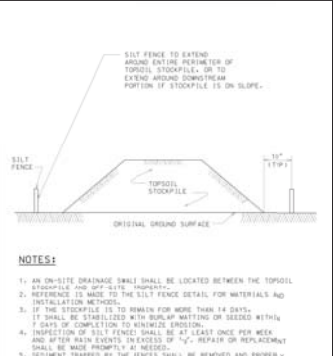
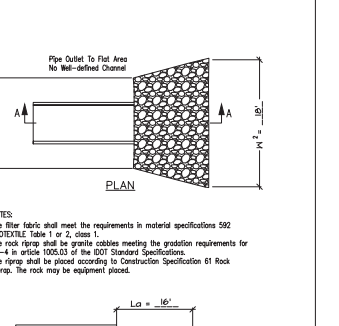
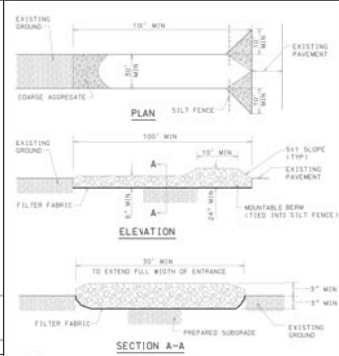
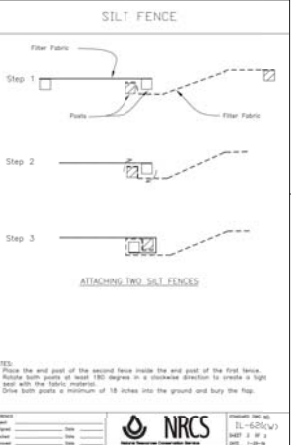
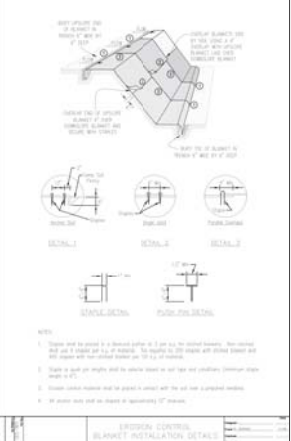
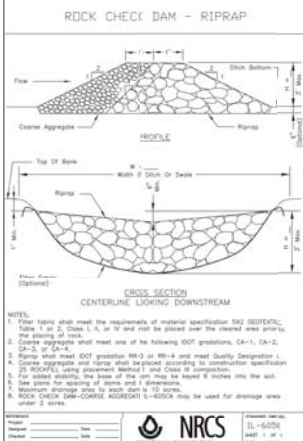
CHECK/TOA
 DRAWN/TEP
 JOB:1910803C

C-6.0
 STORMWATER
 POLLUTION PREVENTION
 PLAN



DATE	REVISION
	Original

Typical Round Catch-All
Marathon Materials, Inc.



GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWINGS:
11. ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION.
12. 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN URBANS' LATEST EDITION.
13. 'ILLINOIS URBAN MANUAL,' LATEST EDITION.
14. BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES.
15. UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, 'SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION'.
16. ILLINOIS DRAINAGE LAW.
17. ILLINOIS ENVIRONMENTAL BARRIERS ACT.
18. ILLINOIS ACCESSIBILITY CODE.
19. ILLINOIS ENVIRONMENTAL PROTECTION AGENCY REQUIREMENTS.
20. TITLE 35 OF THE ILLINOIS ADMINISTRATIVE CODE.
2. ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S) SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHEETING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE AND TO THE SATISFACTION OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNAGE AND TRAFFIC CONTROL DEVICES TO FORM AND PROTECT THE WORK AREA.
3. CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERS OR PUBLIC WORKS DEPARTMENT AND/OR OTHER GOVERNING AUTHORITY(S) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON EACH MAJOR CATEGORY OF WORK, INCLUDING BUT NOT LIMITED TO, ANY AND ALL EXISTING UTILITIES, PARKING LOTS OR UTILITY INSTALLATIONS. 12 HOUR NOTICE SHALL BE GIVEN FOR ANY WORK ITEM THAT REQUIRES INSPECTION AND TESTING, SUCH AS SANITARY SEWER OR WATER MAIN INSTALLATION.
4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. CONTRACTOR SHALL CALL THE JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS (JULIE) AT 1-800-328-2028 OR BY DIALING 811. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES. MARKERS INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
6. ALL EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITIES LINES OF ANY NATURE ARE ENCOUNTERED IN CONFLICT WITH LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
7. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNERS.
8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
9. ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN ATTENDED TO OTHERWISE TIED BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
10. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS ADJACENT PUBLIC THROUGH-PASSES AND ADJACENT PROPERTY.
11. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITIONS OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS LOCATED ON THE PLANS.
12. NO BURNING OR INCINERATION OF RUBBISH SHALL BE PERMITTED ON SITE.
13. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 18 (EIGHTEEN) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
15. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
16. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
17. THREE (3) ORIGINAL COPIES OF ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:
17.1. ASPHALT PAVEMENT MIX DESIGN
17.2. CONCRETE MIX DESIGN
17.3. GRANULAR MATERIAL GRADATION
17.4. PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VALVETS, ETC.)
17.5. WATER MAIN MATERIALS (VALVES, FIRE HYDRANTS, ETC.)
18. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AN AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM THEREIN:
18.1. TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
18.2. HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
18.3. RISE AND INVERT AND/or INVERT ELEVATION FOR ALL PROPOSED UTILITIES.
18.4. AS-BUILT AND/OR RECORD DRAWINGS INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL LOCATION AND/OR ELEVATION INFORMATION SHALL BE INDICATED ON THE AS-BUILT DRAWINGS THROUGHOUT THE PROPOSED IMPROVEMENTS AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

SITE GRADING AND PAVING

- 1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES IN THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EXISTING AND NEW EARTHWORK AND ALL RELATED OPERATIONS INCLUDING THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS,' ALL UNSUITABLE OR EXCESSIVE MATERIALS SHALL BE REMOVED OFF-SITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING, UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-Spread AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
4. THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL APPENDIX THEREIN ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS. BY A SOILS ENGINEER OR HIS REPRESENTATIVE. FINISHED CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND RE-APPLICATION AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING TRENCH WHICH ARE NOT INDICATED TO BE REMOVED. IF DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
8. REMOVED DRIVEWAY PAVEMENT, SIDEWALKS, CURBS, TRENCHES AND STUMPS SHALL BE REPAIRED OR LEGALLY CURED SITE LOCATIONS DETERMINED BY THE CONTRACTOR.
9. ON AND OFF SITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF SHALL BE REPAIRED AT HIS OWN EXPENSE. IF STATE AND LOCAL 'STANDARD SPECIFICATIONS IN MATERIALS' AND 'STANDARD SPECIFICATIONS' ARE APPLICABLE TO THESE ITEMS, THEY SHALL TAKE PRECEDENCE.
10. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC.) SECTION OR TOPSOIL AS INDICATED ON THE PLANS.
11. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
12. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADING.
13. ALL EXISTING AND PROPOSED TOP OF FINISH ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
14. ALL CONCRETE POURED SHALL BE:
14.1. MINIMUM COMPRESSIVE STRENGTH:
(a) 3500 P.S.I. AT 28 DAYS PER 10.7.3
14.2. 4500 P.S.I. AT 28 DAYS PER A.C.J.
14.3. MAX WATER-CEMENTitious MATERIALS RATIO, 0.44 (AIR-ENTRAINED)
14.3. AIR CONTENT, 6% +/- 1/8% AT POINT OF DELIVERY FOR EXPOSED CONCRETE
15. WHEN FIBER MIX REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF FIBERGLASS POLYPROPYLENE FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE PAVEMENT, COMPLYING WITH ASTM C 116, TYPE III, TO 3 INCHES LONG, FIBERS SHALL BE UNIFORMLY DISPERSED IN THE CONCRETE MIXTURE AT THE MANUFACTURER'S RECOMMENDED RATE, BUT NOT LESS THAN 1.5 LB / YD. / YD.
16. THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE POONDING OF STORM WATER, ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
17. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
18. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPERE THE SURFACE DRAINAGE SYSTEM.
19. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHEREVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET READ, APPLICABLE TO THESE OPERATIONS. THE CONTRACTOR OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.

WATER MAINS AND SEWERS

HORIZONTAL SEPARATION REQUIREMENTS

- 1. WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND
2.2. THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; AND
2.3. THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELVE LOCATED TO ONE SIDE OF THE SEWER.
3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED WITHIN A MINIMUM OF 18" JOINT GASKET OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO THE MAIN STANDARD OF CONSTRUCTION. THE JOINT SHALL BE PRESSURE TESTED FOR THE MAXIMUM EXPECTED SURCHARGE HEAD PRIOR TO BACKFILLING.

SANITARY SEWERS

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN URBANS' LATEST EDITION AND ALL SUBSEQUENT REVISIONS THEREOF ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
3. ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3312, UNLESS OTHERWISE NOTED.
3-1. WHERE SANITARY SEWER PIPE IS NOTED AS PVC G-400, THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD C-900 WITH WATER TIGHT, PRESSURE RATED JOINTS CONFORMING TO ASTM D-3194.
4. SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLE'S EXISTING CONNECTION POINTS INDICATED ON THE PLANS.
5. A WATER TIGHT PLUS SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.
6. ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND HANGINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
7. ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE, SHALL BE CRUSHED GRAVEL OR STONE MEETING IDOT GRADATION CA-1, CA-1 OR CA-1S.
8. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL SANITARY SEWERS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
9. THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. MEASUREMENTS TO LOT CORNERS OR OTHER PERMANENT SITE FEATURE AND SHALL FURNISH A TRUE AND CORRECT LOCATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS INFORMATION AND IF SHALL BE REPAIRED AT HIS OWN EXPENSE. IF THE CONTRACTOR FAILS TO PROPERLY LOCATE ANY SEWER, HE SHALL BE RESPONSIBLE FOR ANY DAMAGE WHICH IS INCURRED AS A RESULT OF THE IMPROPERLY LOCATED UTILITIES.
10. ALL SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF DIVISION II, SECTION 92 OF THE 'STANDARD SPECIFICATIONS' AND THE DETAILS IN THE PLANS.
11. A FLEXIBLE TIE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO EXISTING TRENCH MANHOLES. THE TIE JOINT SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THIS FLEXIBLE TIE JOINT SHALL BE A MAXIMUM OF TWO (2) ADJUSTING RINGS AND SHALL BE A SUBSTANTIAL SERRATED FLANGE WHICH IS CAST DIRECTLY INTO THE END OF THE MANHOLE BASE TO FORM A WATER TIGHT SEAL AND PROTRUDES OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/TRENCH STRUCTURE. THE TIE JOINT SHALL BE A MINIMUM OF TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS. THE SEAL SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP AND SHALL NOT BE REMOVED.
12. ALL REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE SEWER AND THE MANHOLE.
13. AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY WEIGHTS AND SHALL BE THOROUGHLY VETTERED BEFORE LAYING.
14. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING NYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
14.1. CIRCULAR SAG-OUT OF SEWER MAIN BY PROPER TOOLS (SEWER-TAP MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HALF-YE SADDLE OR HUB-TEE SADDLE.
15. ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER. ALL FOOTING DRAINS AND DOWNSPOUTS SHALL DISCHARGE OUTTO THE GROUND OR INTO THE STORM SEWER SYSTEM AS INDICATED ON THE DRAWINGS.
16. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS 91-12 AND 91-13 OF THE 'STANDARD SPECIFICATIONS' AND INTENDED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.

WATER MAINS

- 1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN URBANS' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
3. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C-900, C-905, C-111 AND C-114, UNLESS OTHERWISE NOTED.
4. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATER MAIN PIPE SHALL BE LAD WITH A MINIMUM COVER OR PROTECTED GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE. PROTECTION INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF OBTAINING ADEQUATE STRENGTH.
5. ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE, SHALL BE CRUSHED GRAVEL OR STONE MEETING IDOT GRADATION CA-1, CA-1 OR CA-1S.
6.1. ALL WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE, SHALL BE CRUSHED GRAVEL OR STONE MEETING IDOT GRADATION CA-1, CA-1 OR CA-1S.
6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
7. A WATER TIGHT PLUS SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.
8. UPON COMPLETION OF THE WATER MAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
8.1. DISINFECTION IN ACCORDANCE WITH SECTION 41-2.1 OF THE 'STANDARD SPECIFICATIONS' AND INTENDED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.
8.2. DISINFECTION IN ACCORDANCE WITH SECTION 41-2.1 OF THE 'STANDARD SPECIFICATIONS' AND INTENDED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.

WATER SERVICES AND CONNECTIONS

- 1. ALL WATER SERVICE PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS.'
2. ALL WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B-88-88. NO COUPLERS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOP OR BETWEEN THE CURB STOP AND THE BUILDING.
3. ALL WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE AS MANUFACTURED BY THE MUELLER COMPANY OR APPROVED EQUAL.
4. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD 'WATER' CAST IN THE TOP.
5. ALL VALVES, VALVE BOXES OR VALVETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF DIVISION IV, SECTION 44 OF THE 'STANDARD SPECIFICATIONS.'
6. VALVES SHALL BE AMERICAN FLOJ CONTROL SERIES 2500 DUCTILE IRON RESILIENT SEAT EPOXY COATED FLEXION VALVE CONFORMING TO THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS' AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
7. ALL VALVES SHALL BE INSTALLED IN VALVE VALVETS HAVING A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE GROUND SECTION. THE VALVETS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VALVETS SHALL BE LEAK PROOF.
8. ALL REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

WATER MAINS AND SEWERS

VERTICAL SEPARATION REQUIREMENTS

- 1. WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER. THE INVERT OF ANY SEWER SHALL BE HORIZONTAL. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIVALENT FROM THE SEWER OR DRAIN.
2. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRESTRESSED CONCRETE PIPE OR PVC PIPE EQUIVALENT TO THE MAIN STANDARD OF CONSTRUCTION WHEN:
2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 1. ABOVE; OR
2.2. THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.
3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. THE SEWER OR DRAIN SHALL BE SUPPORTED TO PREVENT SETTLING AND BREAKING OF THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

STORM SEWERS

- 1. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN URBANS' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS' AND DIVISIONS 500 AND 600 OF THE 'DOT STANDARD SPECIFICATIONS.'
3. ALL RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS V, PER ASTM C-445 AND SECTION 31-102 OF THE 'STANDARD SPECIFICATIONS.' ALL 10" DIAMETER RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS V.
4. ALL HDPE STORM SEWER PIPE SHALL BE RIGID HIGH DENSITY POLYETHYLENE PIPE WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR MEETING AUSTRI H-204. TYPE 5, PIPE SECTIONS SHALL BE JOINED WITH PVC DOUBLE RIB COUPLERS INSTALLED ON THE PIPE WITH GASKET GASKETS. THE GASKETS SHALL BE HELD TIGHT EXCEPT THAT OF PVC SDR 26 WITH PUSH-ON JOINTS. ALL HDPE STORM SEWER PIPE SHALL ONLY BE FOR PRIVATE USE.
5. ALL PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3312, UNLESS OTHERWISE NOTED.
6. ALL STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND HANGINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
6.1. ALL STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE, SHALL BE CRUSHED GRAVEL OR STONE MEETING IDOT GRADATION CA-1, CA-1 OR CA-1S.
6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
7. ALL REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
8. ALL FIELD TIE JOINTS ESTABLISHED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE AND REINFORCED WITH NEW CONCRETE TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION AND ALL FIELD TIE OR DRAIN PIPE JOINTS SHALL BE MAINTAINED BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.

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ISSUE

TO	DATE
REV. SITE	6/11/19
REV. SITE	6/26/19
REV. SITE	11/3/20
REV. SITE	2/4/20
REV. SITE	3/18/20
REV. SITE	6/10/20
REV. SITE	6/10/20

CHECKLIST
DRAWN: TEP
JOB: 1910030C

C-7.0
PROJECT SPECIFICATIONS

STORMWATER POLLUTION PREVENTION NOTES

1. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH THE PERMIT, INCIDENT OF NON-COMPLIANCE (I/CN) FORM AND INSPECTION FORMS.
2. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CITY ENGINEER. CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE PROJECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- 3.1. ILLINOIS QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 3.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTORS WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
5. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.
6. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
8. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION POLLUTION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
9. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASUREMENTS SHALL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
10. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TEMPORARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
11. ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
12. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
13. ALL DISTURBED AREAS SHOULD BE SEEDED OR SOODED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
14. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOE OF DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED IMMEDIATELY.
15. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
16. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A MANNER AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, MASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
17. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSSES IS PROHIBITED.
18. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SHALL, DEWATERING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.
19. ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
20. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6% SLOPE OR STEEPER AND AS SHOWN ON THE PLANS.
22. ALL DISTURBED GREEN SPACES WITHIN THE R.O.W. SHALL BE RESTORED WITH 6" OF TOPSOIL AND CLASS 2A SEEDING.
23. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SAFTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER. EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEFORE THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT INCLUDE VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
24. ONCE ALL DISTURBED AREAS WITHIN THE R.O.W. SHALL BE RESTORED WITH SEED AND BLANKET OR SOIL AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE FENCE SHALL BE RESTORED WITH TOPSOIL, SEED FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL, AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
25. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

1. OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SHEETS THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTORS.
- 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
6. PERFORM SITE CLEANING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SWALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL, BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
10. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
11. INSTALL DETENTION SYSTEMS, STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
12. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
13. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
14. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
15. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
16. SUBMIT A NOTICE OF TERMINATION (N.O.T.) TO THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY UPON COMPLETION OF ALL SITE CONSTRUCTION AND FINAL SITE STABILIZATION (I.E. OVER 70% VEGETATIVE COVER).



THE PRIDE OF KANE COUNTY
3301/80 BUTTERFIELD ROAD
SAINT CHARLES, ILLINOIS 60174

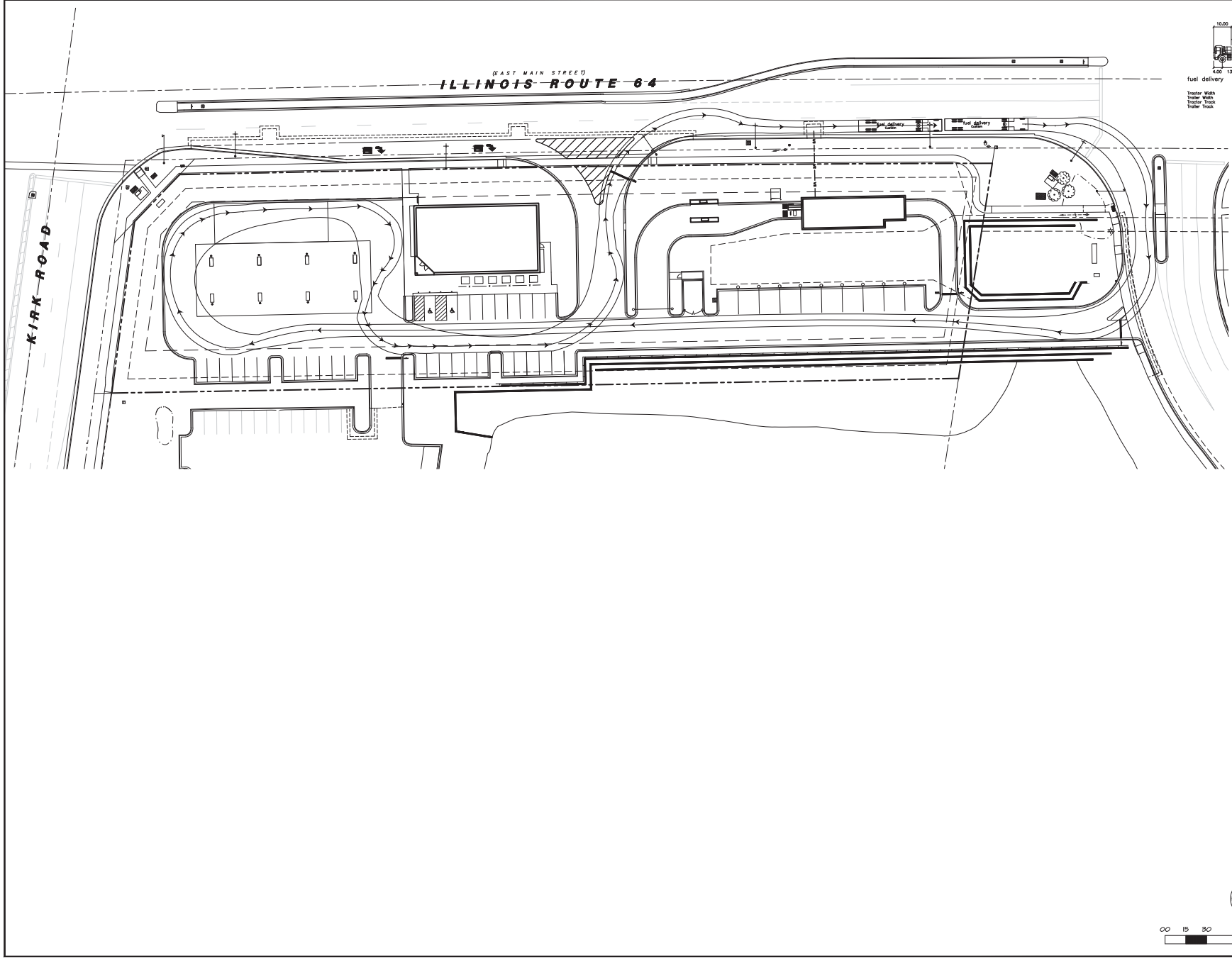
CIMA DEVELOPERS
3301/80 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/10/20
REV. SITE	6/30/20

CHECK/TO
DRAWN/TEP
JOB:1910803C

C-7.1
PROJECT SPECIFICATIONS

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY



	feet
Tractor Width	8.50
Trailer Width	8.50
Trailer Track	8.50
Load to Lock Time	1.00
Steering Angle	30.0
Articulating Angle	75.0

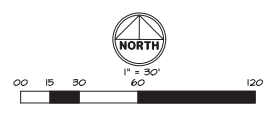
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY
WT GROUP
 ENGINEERING AND PLUMBING CONSULTANTS
 1224 200 0331 ST. JOE, IN 46782
 WWW.WTGROUP.COM TEL: 317.336.0000 FAX: 317.336.0001
 *A COMMITMENT TO THE WT GROUP, LLC

WT Group
 Engineering • Design • Consulting

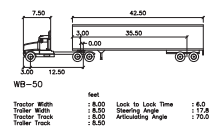
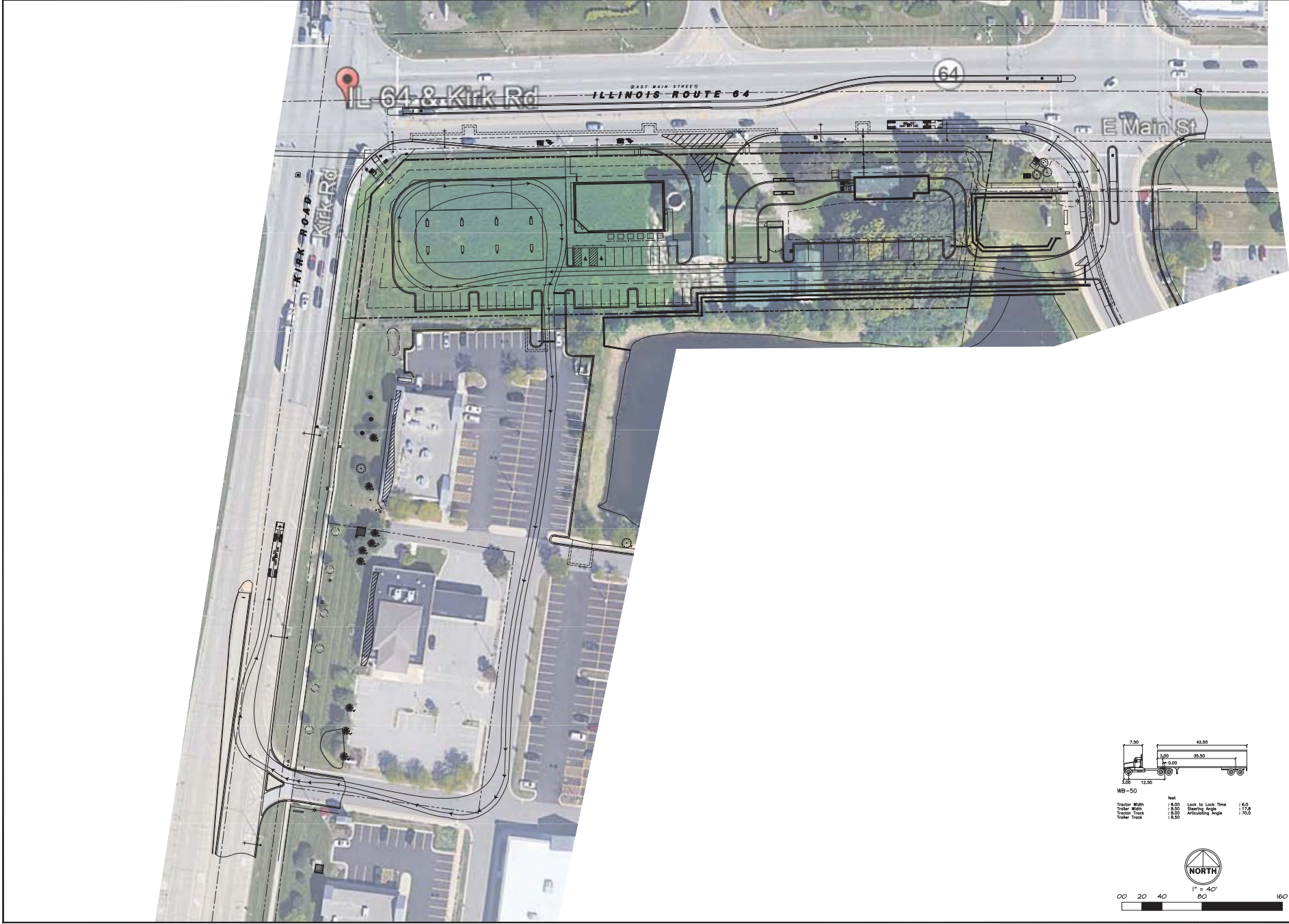
CIMA DEVELOPERS
 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

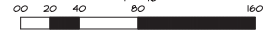
TO	DATE
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20



CHECKED: TGA
 DRAWN: TEP
 JOB: 1910803C
C-8.0
 TRUCK CIRCULATION PLAN



WB-50		feet	
Tractor Width	8.00	Lock to Lock Time	14.0
Tractor Height	8.00	Steering Angle	17.8
Trailer Track	8.00	Articulating Angle	70.0
Trailer Width	8.00		



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

WT GROUP
 ENGINEERING AND PROJECT MANAGEMENT
 224.293.0333 | 224.293.0444 | E 0102
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WV Group
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CIMA DEVELOPERS
 THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

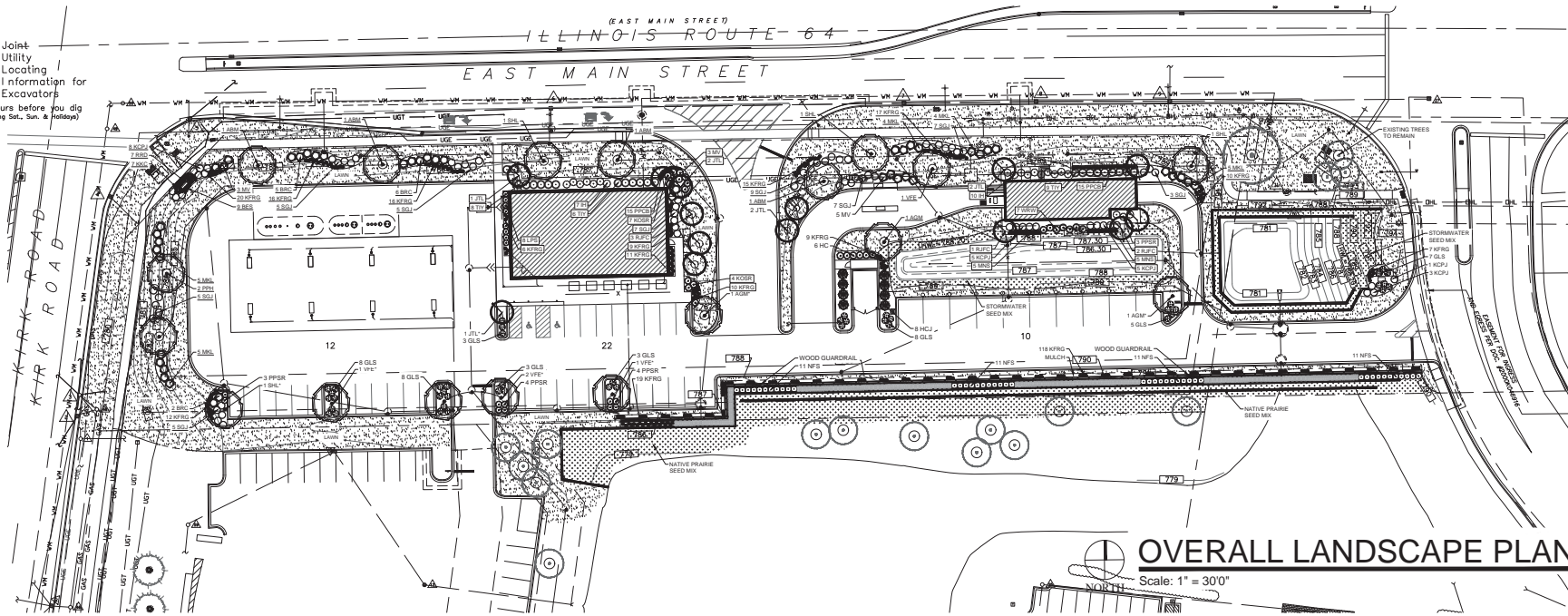
ISSUE
 TO: _____ DATE: _____
 REV. SITE: 8/26/19
 REV. SITE: 1/13/20
 REV. SITE: 2/4/20
 REV. SITE: 2/11/20
 REV. SITE: 2/18/20
 REV. SITE: 4/30/20
 REV. SITE: 6/29/20

CHECKED BY: _____
 DRAWN BY: TEP
 JOB: 1910803C

C-9.0
 FIRE APPARATUS
 CIRCULATION PLAN

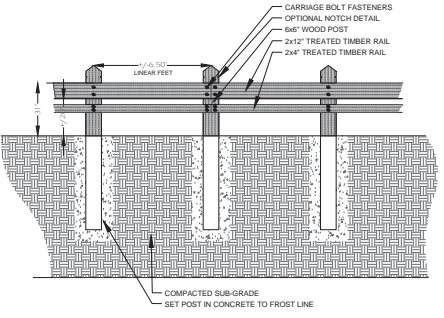


Joint Utility Locating Information for Excavators
Call 48 hours before you dig (excluding Sat., Sun. & Holidays)



OVERALL LANDSCAPE PLAN

Scale: 1" = 30'0"

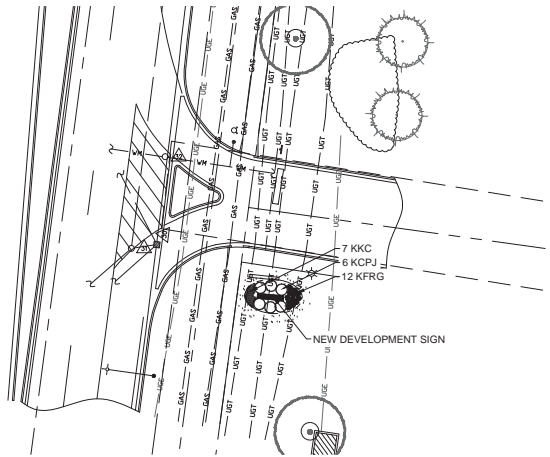


WOOD GUARDRAIL SECTION

1 DETAIL N.T.S.



EXAMPLE OF WOOD GUARDRAIL



KIRK ROAD MONUMENT SIGN LANDSCAPE

Scale: 1" = 10'0"



- SHADE TREES (DECIDUOUS)**
 - ABM Autumn Blaze Maple
 - BRM Prairie Tree Hackberry
 - DHL Skyline Honeylocust
 - ADAM Autumn Gold Kalmianeb
 - VEE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
 - BRM King Pine American Hornbeam
 - RFC Red Jewel Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
 - HCJ Hartz Columnar Juniper (upright)
- EVERGREEN SHRUBS**
 - SGJ Sea Green Juniper
 - KCPJ Kinky Compact Effort Juniper
 - TIV Tautou Intermediate Yew
- DECIDUOUS SHRUBS**
 - BAC Brilliant Red Chokeberry
 - HC Pinking Hedge Coleonaster
 - HC Incrediball Hydrangea
 - GLS Gra Low Fragrant Sumac
 - KDOR Knock Out Double Rose
 - PPSR Pink Pavement Series Rose
 - NS Neon Flash Spirea
 - MK Michigan Dwarf Elm
 - MV Mexican Viburnum
 - WVW White & Rose Compact Weigela
- ORNAMENTAL GRASSES**
 - KFRG Karl Foerster Feather Reed Grass
- HERBACEOUS PERENNIALS**
 - RSD Royal Reburn Daylily
 - PPCR Palace Purple Coreopsis
 - KCC Dwarf Catmint
 - RES Black-eyed Susan
 - NYS May Night Salvia

Cardno Native Plant Nursery
www.cardnonativeplantnursery.com
128 Sunset Drive
Waukegan, Indiana 46574
Ph: 574-586-2412

Stormwater Seed Mix
For Use on Stormwater Management Ponds (SWP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS	Dances/Acre
Permanent Grasses/Sedges/Rushes:			
Carex crinitata	Crested Oval Sedge		1.00
Carex frankii	Bristly Cattail Sedge		1.00
Carex lasiocoma	Buttonbush Sedge		2.00
Carex (sparganoides v. cephaloides)	Rough Clustered Sedge		2.00
Carex vulpinoidea	Brown Fox Sedge		6.00
Eriochloa ovata	Blunt Spike Rush		0.50
Elymus virginicus	Virginia Wild Rye		12.00
Glyceria striata	Fowl Manes Grass		1.25
Aeluropus effusus	Common Rush		1.00
Aeluropus lamiifolius	Torney's Rush		0.25
Lernaea arvensis	Rice Cut Grass		1.00
Panicum strigosum	Switch Grass		2.00
Scirpus atrovirens	Dark Green Rush		1.00
Scirpus cyperinus	Wood Grass		45.50
Scirpus (Buxifolia)	River Bulrush		0.25
Scirpus validus	Great Bulrush		6.00
Total			45.75
Temporary Cover:			
Avena sativa	Common Oat		360.00
Lolium multiflorum	Annual Rye		135.00
Total			495.00

Forbs:

Alisma spp.	Water Plantain (Various Mix)	4.25
Asclepias incarnata	Swamp Milkweed	1.50
Bidens spp.	Bidens (Various Mix)	2.00
Helianthus autumnalis	Sneezeweed	3.00
Mimulus ringens	Monkey Flower	1.00
Pentstemon axillaris	Diach Stair-step	0.50
Polygonum pennsylvanicum	Pinkweed	4.00
Rudbeckia subtomentosa	Sweet Black-eyed Susan	1.00
Sagittaria arifolia	Broad Leaf Arrowweed	1.00
Senecio hebecarpa	Wild Senecio	1.00
Thalictrum dasycarpum	Purple Meadow Rue	2.00
Total		23.25

Approximate area of coverage:
Total area (SF) of coverage surrounding SWM ponds: 2,690
Total area (acres) of coverage surrounding SWM ponds: 0.06

PLANT ABBREVIATIONS

- BUILDING FOUNDATION
- STREET FRONTAGE
- PARKING ISLAND TREE*



PROJECT



THE PRIDE OF KANE COUNTY

Southeast Corner of Main St. & Kirk Rd. St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 19-066

DATE 08.03.20

SHEET NUMBER

L 1.0

STORMWATER SEED MIX

Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)
 ABM Autumn Blaze Maple
 PPM Prairie Pride Hackberry
 SHL Skyline Honeylocust
 AGM Autumn Gold Maidenhair
 VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)
 RFH Rising Fire American Hornbeam
 RJFC Red Jewel Flowering Crabapple
 JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES
 HCl Metal Columnar Juniper (upright)

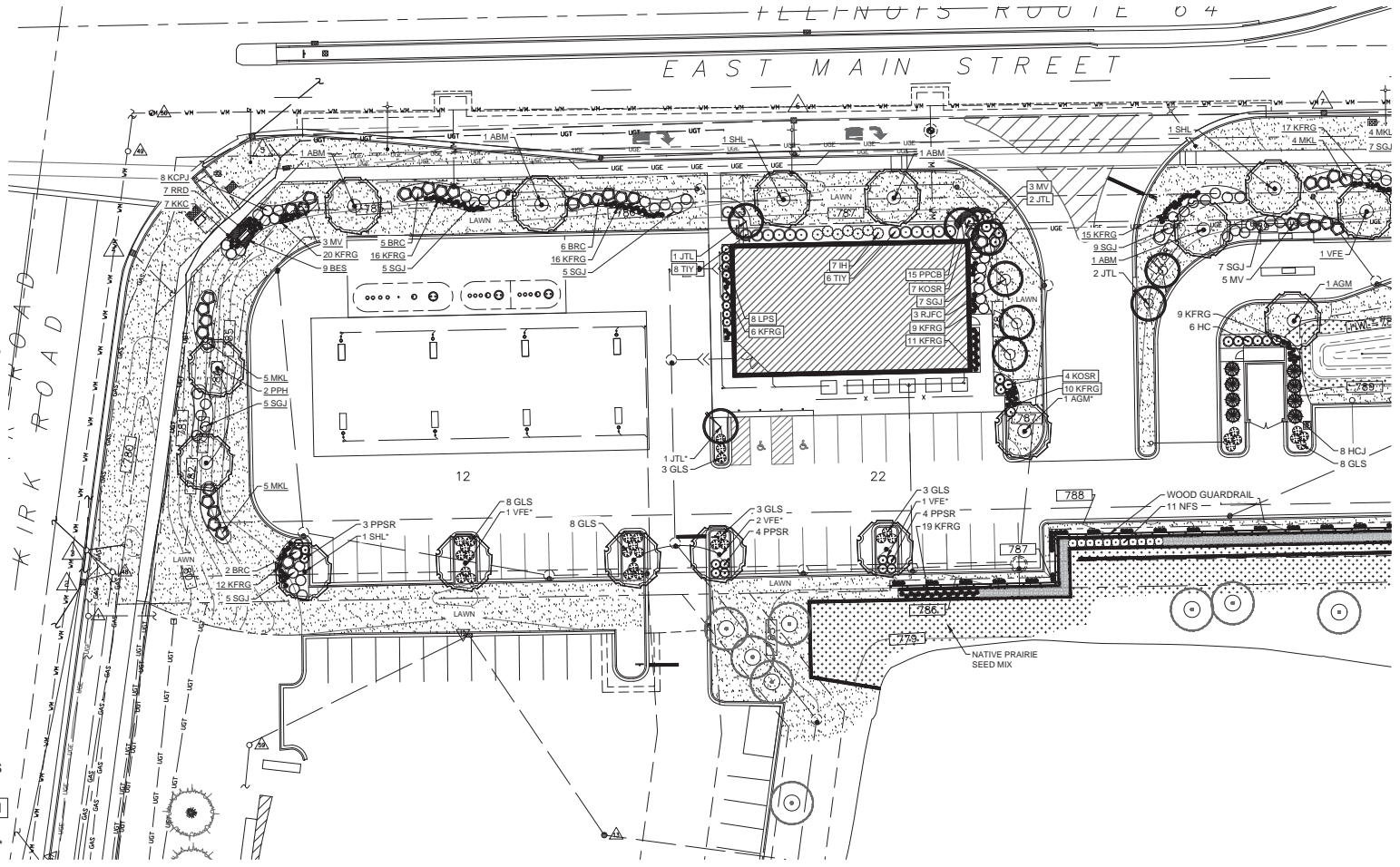
EVERGREEN SHRUBS
 SGJ Sea Green Juniper
 KCPJ Kallay Compact Pfitzer Juniper
 TTY Taunton Intermediate Yew

DECIDUOUS SHRUBS
 BRC Brilliant Red Chokeberry
 HC Peking (Hedge) Cotoneaster
 IH Incredible Hydrangea
 GLS Gro Low Fragrant Sumac
 KOSR Knock Out Shrub Rose
 PPSR Pink Pavement Series Rose
 NPS Neon Flash Spirea
 NKL Niles Kim Dwarf Lilac
 MV Mohican Viburnum
 WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES
 KFRG Karl Foerster Feather Reed Grass

HERBACEOUS PERENNIALS
 RRD Rosy Returns Daylily
 PPCB Palace Purple Coralbells
 KKC Dwarf Catmint
 BES Black-eyed Susan
 MNS May Night Salvia

PLANT ABBREVIATIONS
 BUILDING FOUNDATION
 STREET FRONTAGE
 PARKING ISLAND TREE*



ENLARGED LANDSCAPE PLAN

Scale: 1" = 20'0"

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
 ph 262.639.9733
 david@vdayheller.com
 www.vdayheller.com



Southeast Corner of Main St. & Kirk Rd.
 St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
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07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE
 ENLARGED LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
DATE	08.03.20
SHEET NUMBER	

L 1.1



Joint
Utility
Locating
Information for
Excavators

Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)

- ABM Autumn Blaze Maple
- PPH Prairie Pride Hackberry
- SHL Skyline Honeylocust
- AGM Autumn Gold Maidenhair
- VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)

- RFH Rising Fire American Hornbeam
- RJFC Red Jewel Flowering Crabapple
- JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

- HCI Hetzi Columnar Juniper (upright)

EVERGREEN SHRUBS

- SGJ Sea Green Juniper
- KCPJ Kallay Compact Pfitzer Juniper
- TTY Taunton Intermediate Yew

DECIDUOUS SHRUBS

- BRC Brilliant Red Chokeberry
- HC Peking (Hedge) Cotoneaster
- IH Incrediball Hydrangea
- GLS Gro Low Fragrant Sumac
- KOSR Knock Out Shrub Rose
- PPSR Pink Pavement Series Rose
- NFS Neon Flash Spirea
- MKL Miss Kim Dwarf Lilac
- MV Mohican Viburnum
- WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES

- KFRG Karl Foerster Feather Reed Grass

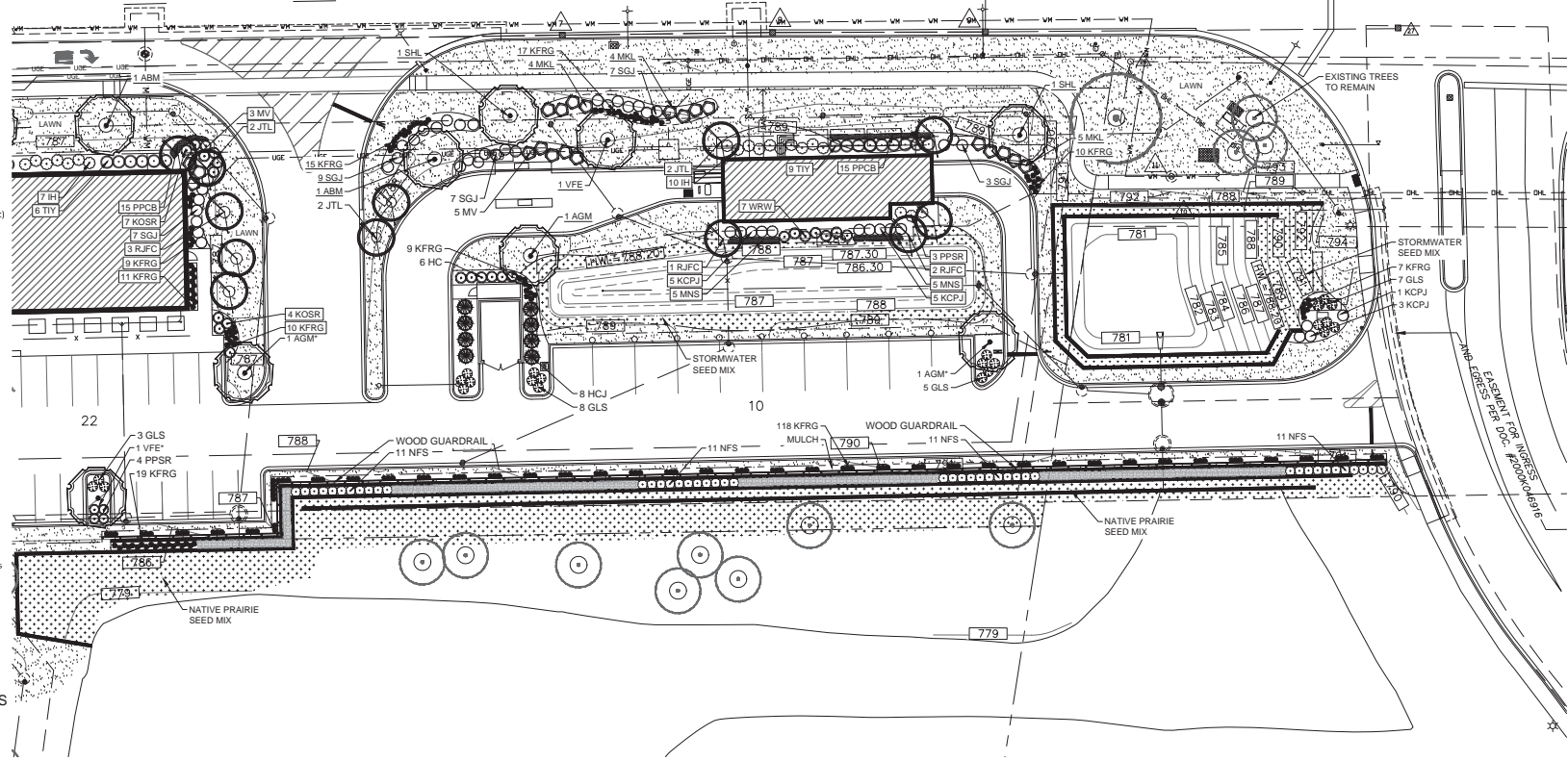
HERBACEOUS PERENNIALS

- BRD Rosy Returns Daylily
- PPCB Palace Purple Coralbells
- KKC Dwarf Catmint
- BES Black-eyed Susan
- MNS May Night Salvia

PLANT ABBREVIATIONS

- BUILDING FOUNDATION
- STREET FRONTAGE
- PARKING ISLAND TREE*

(EAST MAIN STREET)
ILLINOIS ROUTE 64
MAIN STREET



ENLARGED LANDSCAPE PLAN

Scale: 1" = 200'



PROJECT



**THE PRIDE OF
KANE COUNTY**

Southeast Corner of
Main St. & Kirk Rd.
St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
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08.03.20	REVISED CIVIL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

**ENLARGED
LANDSCAPE
PLAN**

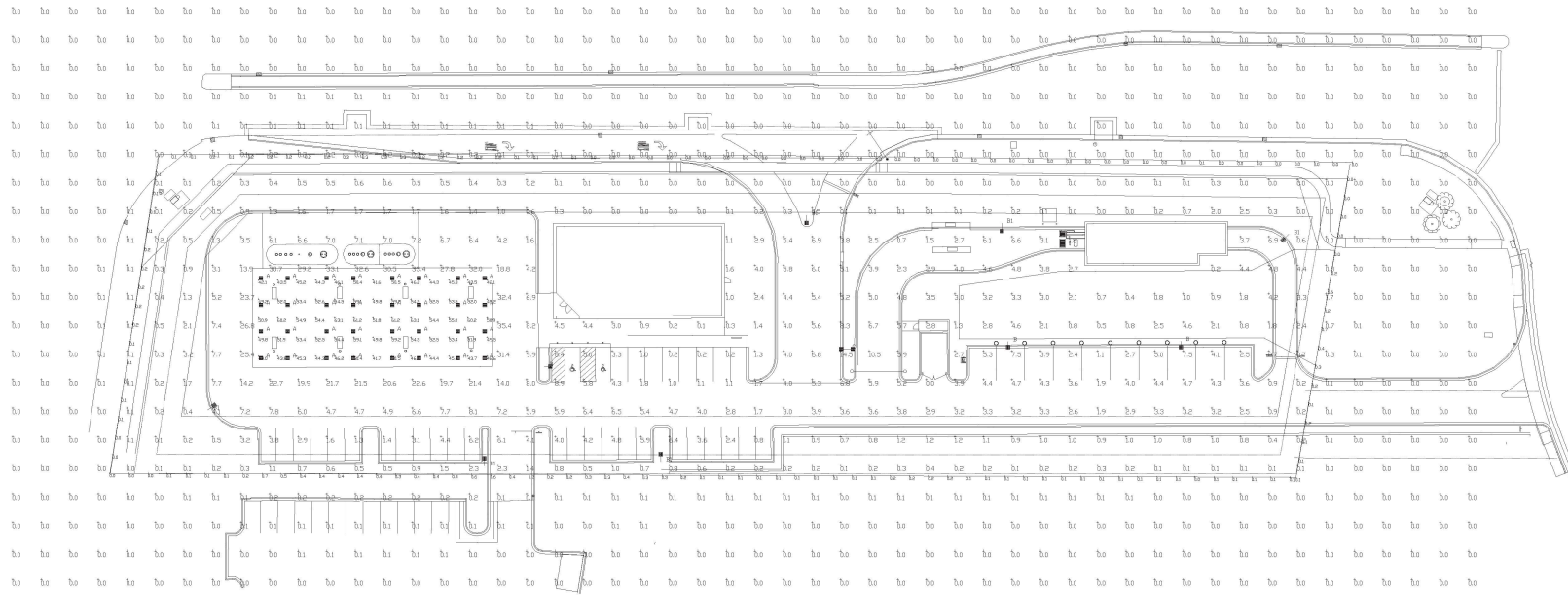
PROJECT MANAGER WDH

PROJECT NUMBER 19-066

DATE 08.03.20

SHEET NUMBER

L 1.2



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	UBF	LLF	Arr. Lum. Lumens	Arr. Watts
	32	A	SINGLE	SCV-LED-15L-SC-50 MTD @ 15'	1.000	1.000	1.000	15410	103
	3	B	SINGLE	SLM-LED-18L-SIL-FT-50-78CRI-SINGLE-16'POLE+2'BASE	1.000	1.000	1.000	19664	148.5
	6	BI	SINGLE	SLM-LED-18L-SIL-FT-50-78CRI-1L-SINGLE-16'POLE+2'BASE	1.000	1.000	1.000	12568	148.5
	1	C	DI80	SLM-LED-18L-SIL-FT-50-78CRI-DI80-16'POLE+2'BASE	1.000	1.000	1.000	39328	297

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FULL CALC POINTS	Illuminance	Fc	1.52	35.4	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	50.74	631	41.6	1.22	1.52
EAST PROPERTY LINE	Illuminance	Fc	0.31	1.6	0.0	N.A.	N.A.
NORTH PROPERTY LINE	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.
SOUTH PROPERTY LINE	Illuminance	Fc	0.20	0.7	0.0	N.A.	N.A.
WEST PROPERTY LINE	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	7.21	35.4	0.0	N.A.	N.A.



[Click image to open Product Page](#)

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamp/LEDs and other variable field conditions. Calculations do not include obstructions such as eutings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 4992.5

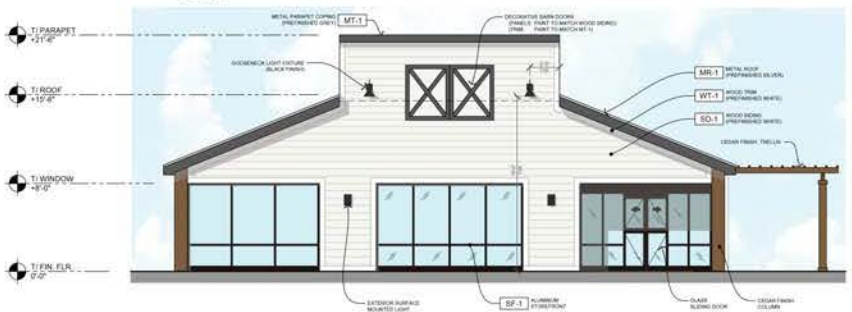



LIGHTING PROPOSAL LD-148828-3
 PREP: KERRY ROAD & I.L. RTE. 64 ST CHARLES, IL
 DRAWN: DATE: 06-19 REV: 06-20 SHEET 1 OF 1
 SCALE: 1"=30' 0 30



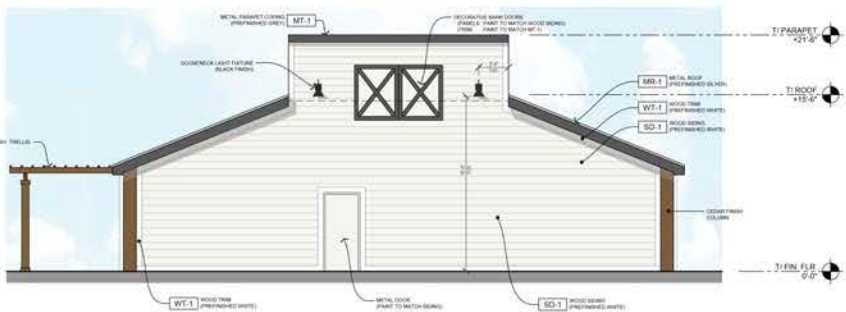
01 - SOUTH ELEVATION

31'0" = 1'-0"



02 - WEST ELEVATION

31'0" = 1'-0"



03 - EAST ELEVATION

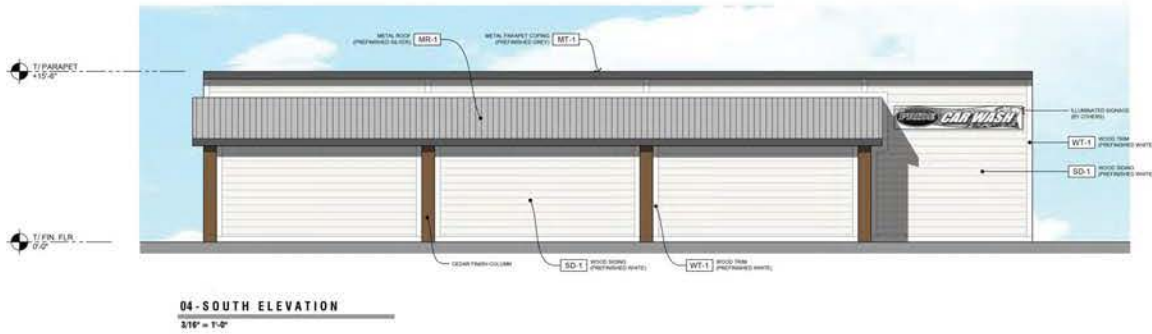
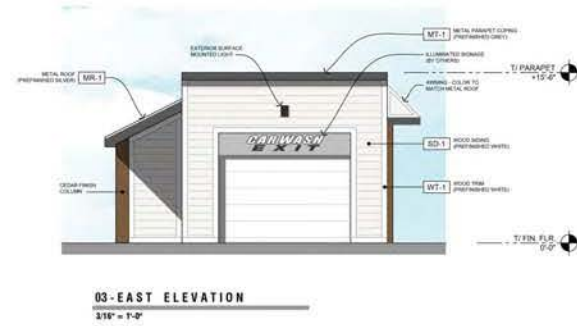
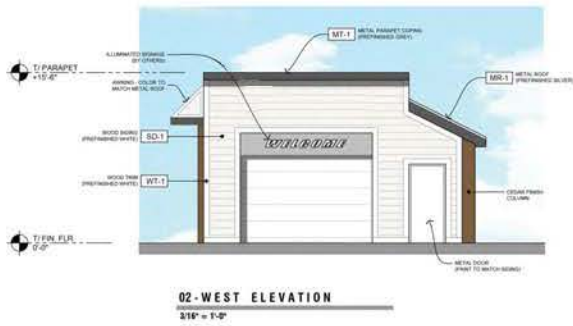
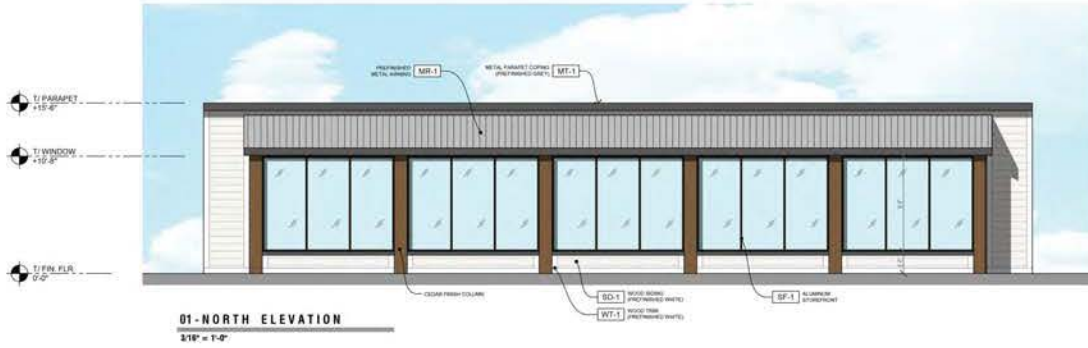
31'0" = 1'-0"

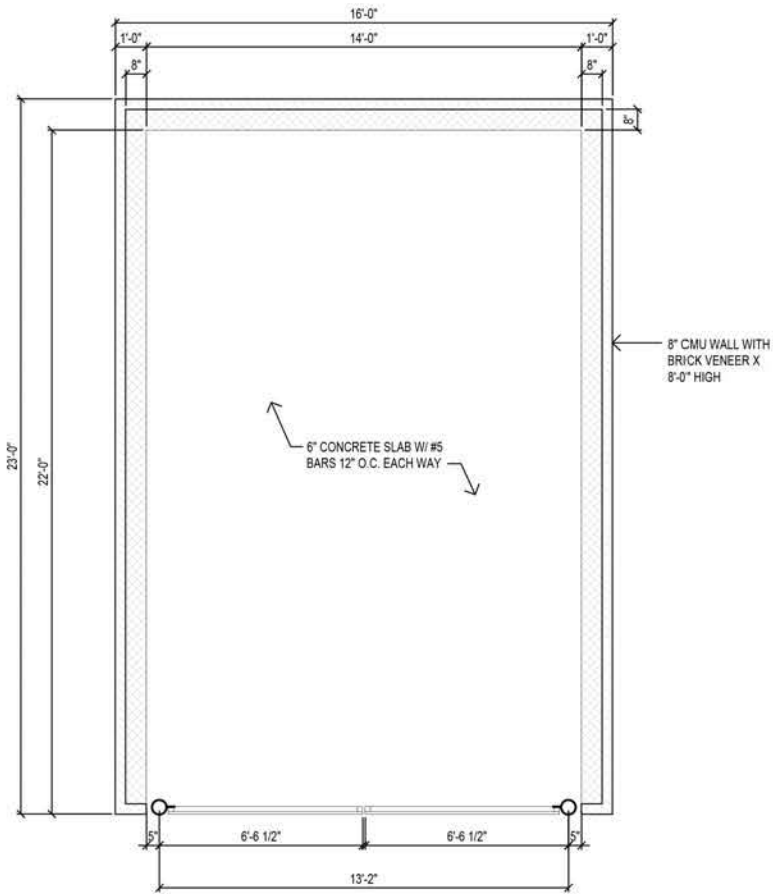


04 - NORTH ELEVATION

31'0" = 1'-0"

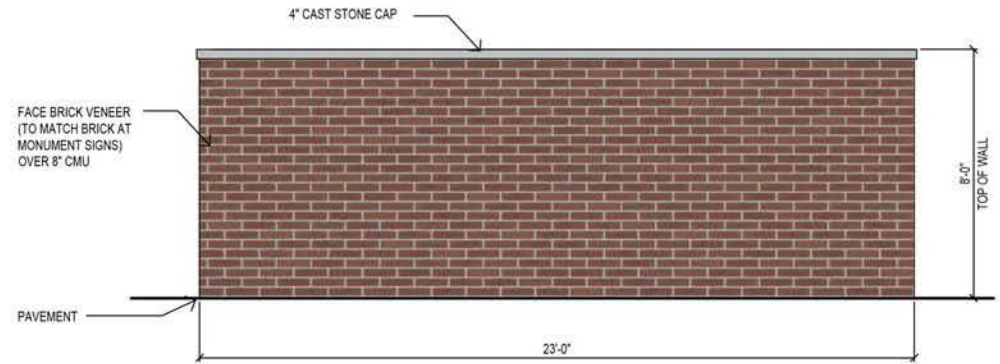






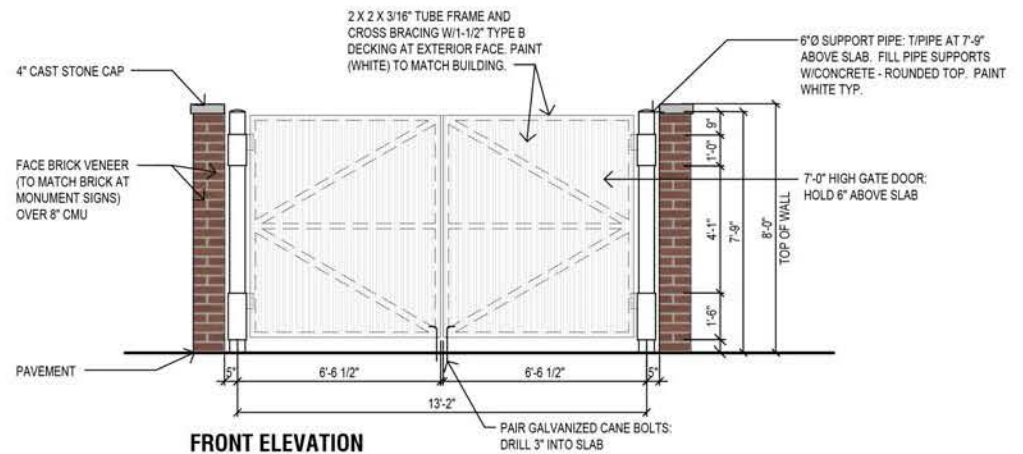
DUMPSTER PLAN

SCALE: 1/4" = 1'-0"



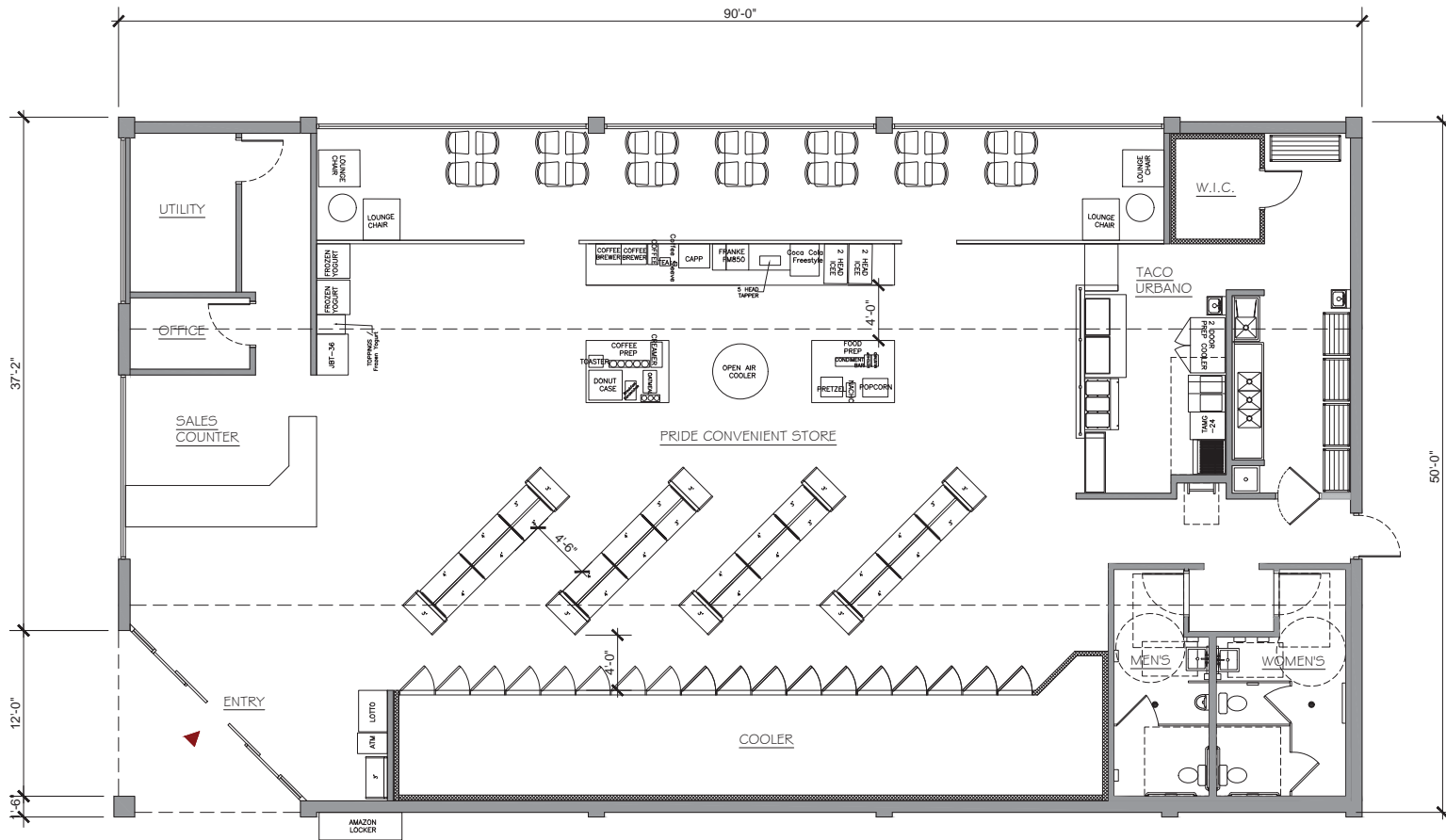
TYPICAL ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

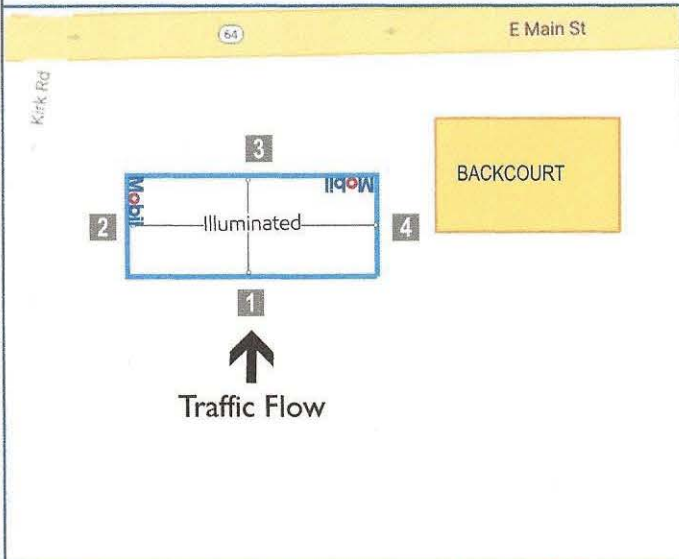


C-STORE PLAN
1/4" = 1'-0"

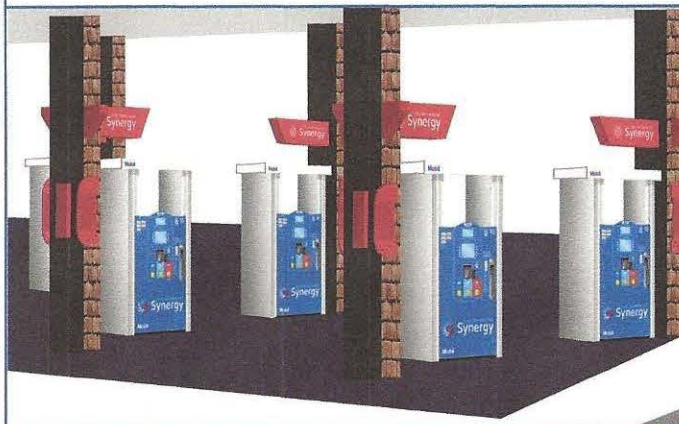


B SITE CONFIGURATIONS

Canopy fascia artwork for visualization purposes only

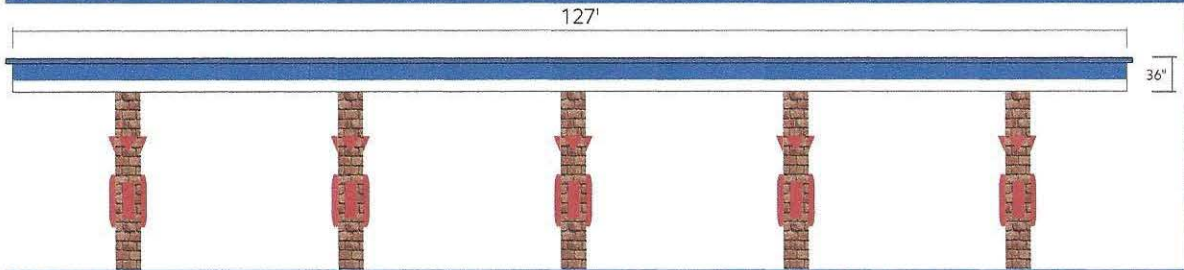


Overhead Map

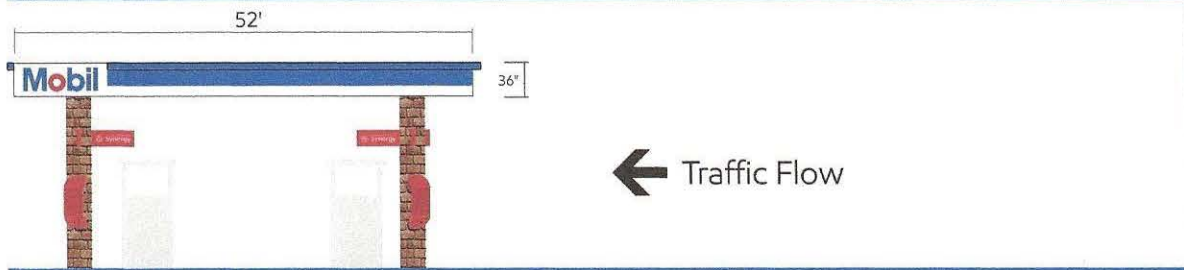


Canopy Perspective

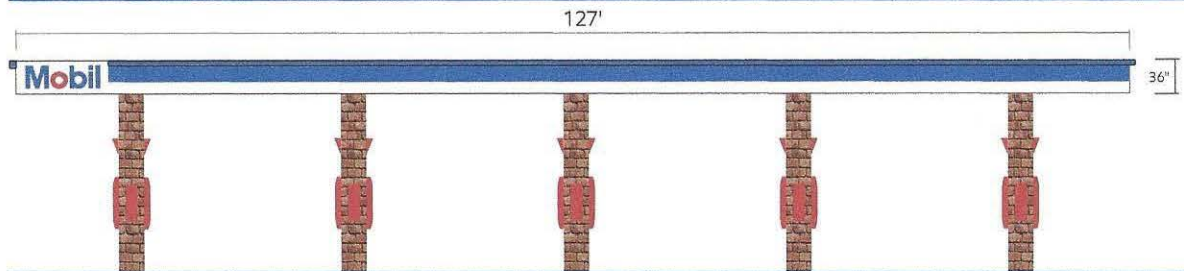
1 | BACK ELEVATION



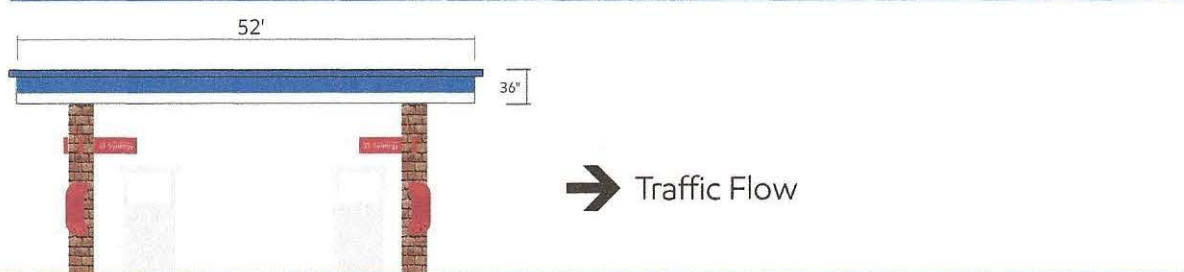
2 | RIGHT ELEVATION



3 | FRONT ELEVATION



4 | LEFT ELEVATION



Project Name

ExxonMobil

PBL #

-

Customer

ExxonMobil

Created by

B.Dighero

Brand Book

Site Image Materials Maintenance

2 Northfield Plaza, Ste 250

Northfield, IL 60093

P. (847) 441-1818 F. (847) 592-9564

Revision #

R3

Date

06_18_2020

Scale

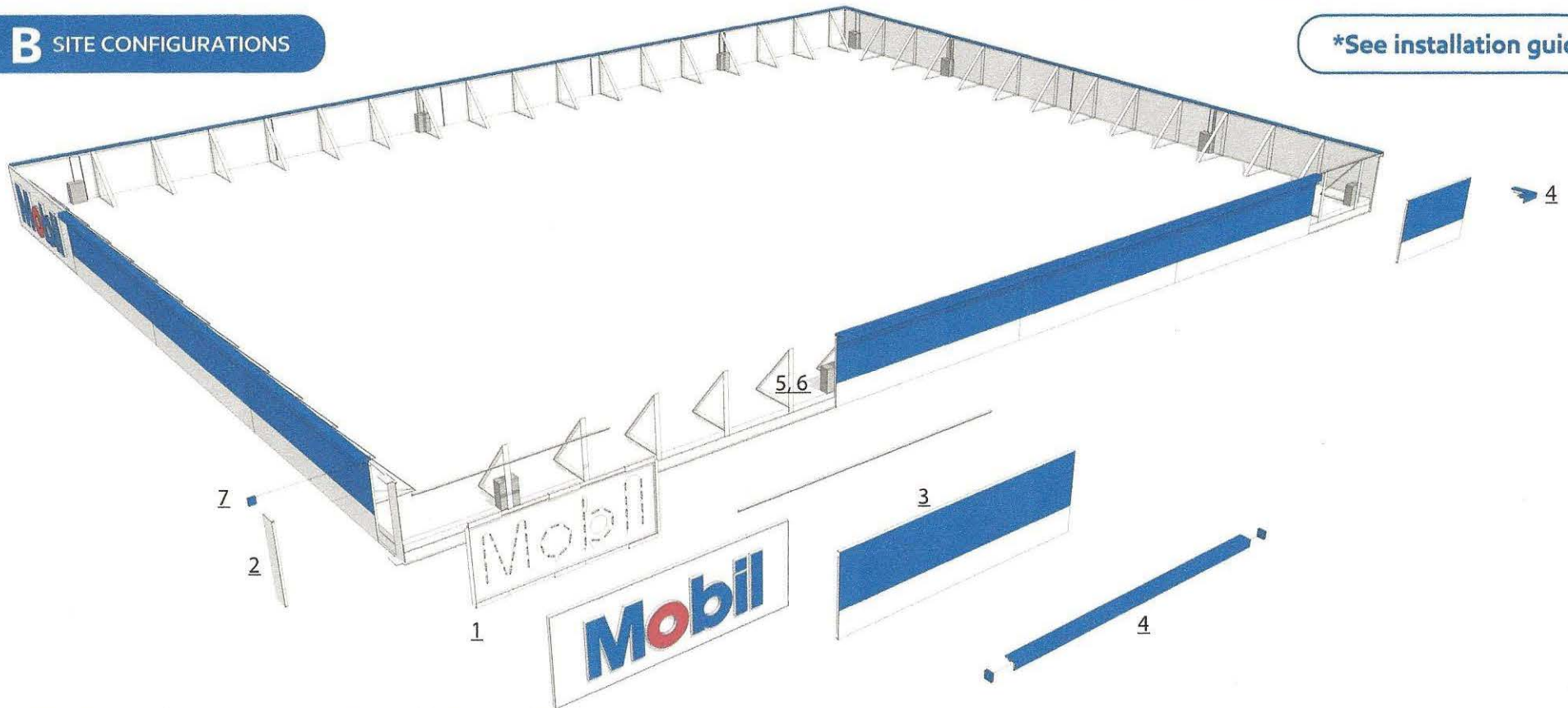
NA

Page #

4 OF 13

B SITE CONFIGURATIONS

*See installation guide



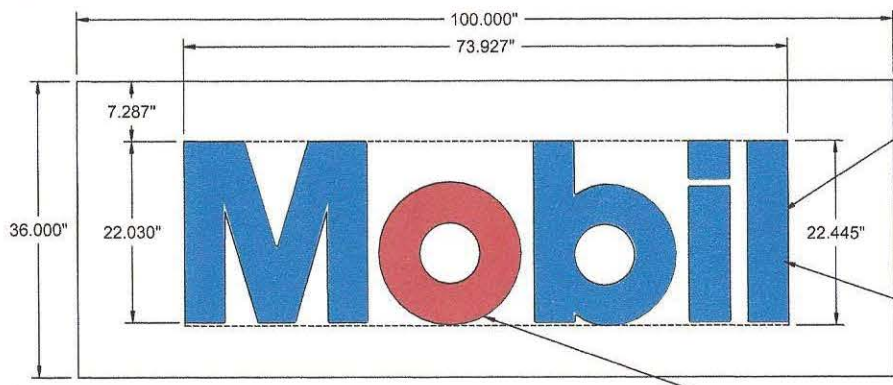
- Step 1. Begin with installing any logos (left or right Exxon or Mobil): back skin, side return, LED tray, power supplies and face.
- Step 2. Install logo corner panels on either side of the logo and the ends of each run.
- Step 3. Install mounting brackets and 120" ACM panels, cutting one panel per side to fit.
- Step 4. Install LED corners first, then install 118" LED downlight starting with ACM panel next to the logo. Install short downlight, cut to length or overlap as required on each side for site conditions.
- Step 5. Install (1) power supplies every other panel and connect to LEDs. Each corner downlight comes with their own power supply.
- Step 6. Install junction box power circuits every 200 feet for each side as required by site layout. Electrician to connect to 120VAC.
- Step 7. Install end caps.

Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	9 OF 16	

B SITE CONFIGURATIONS

***See installation guide**

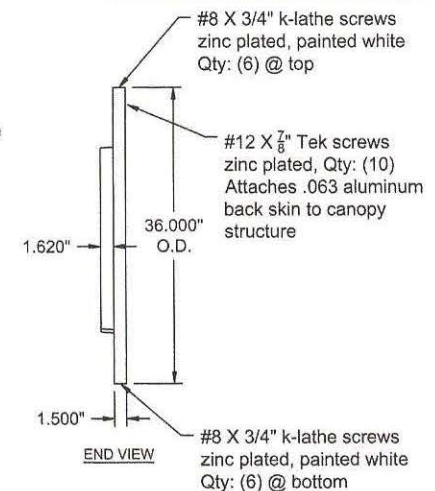
SINGLE LETTER SPECS:
 "M" = 2.88 sq ft
 "o" = 1.44 sq ft
 "b" = 1.83 sq ft
 "i" = .80 sq ft
 "l" = .83 sq ft
 TOTAL = 7.78 sq ft
LETTER SPECS:
 22.445" X 73.927" = 11.5 SF
SIGN SPECS:
 36" X 100" = 25 SF
UL NUMBER:
 E84811



Translucent white sign grade polycarbonate (2447) with 50% transmission

Translucent Mobil Blue vinyl applied to front face: 3M 3630-8248, PMS 293C

Translucent Mobil Red vinyl applied to front face: 3M 3630-2590, PMS 485C



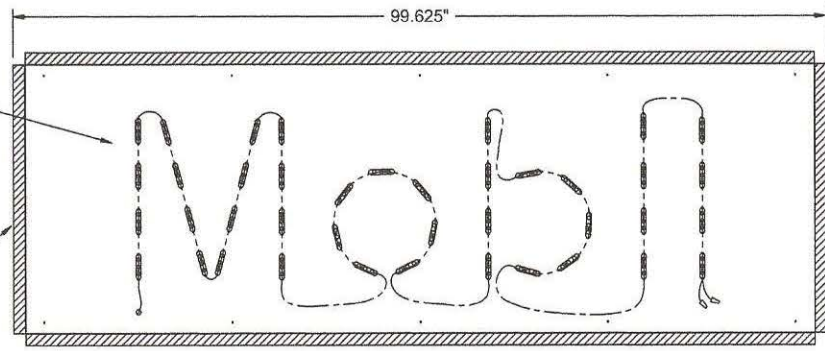
Appx weight of sign = 75lbs

FRONT VIEW - PUSH THRU LETTERS IN FACE

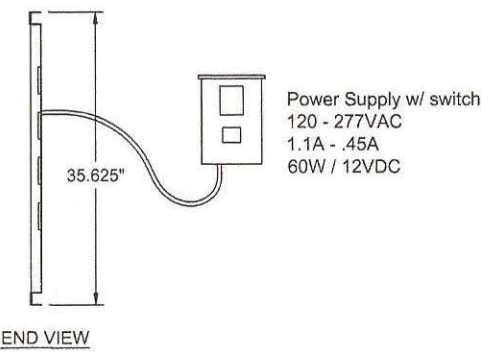
END VIEW

(40) Streetfighter LED
 .72W / module
 28.08W Total
 60W power supply
 120VAC / 12VDC

.063" aluminum pre-paint white with 1/4" X 1" neoprene gasket PN 394204



INTERNAL DETAILS



END VIEW

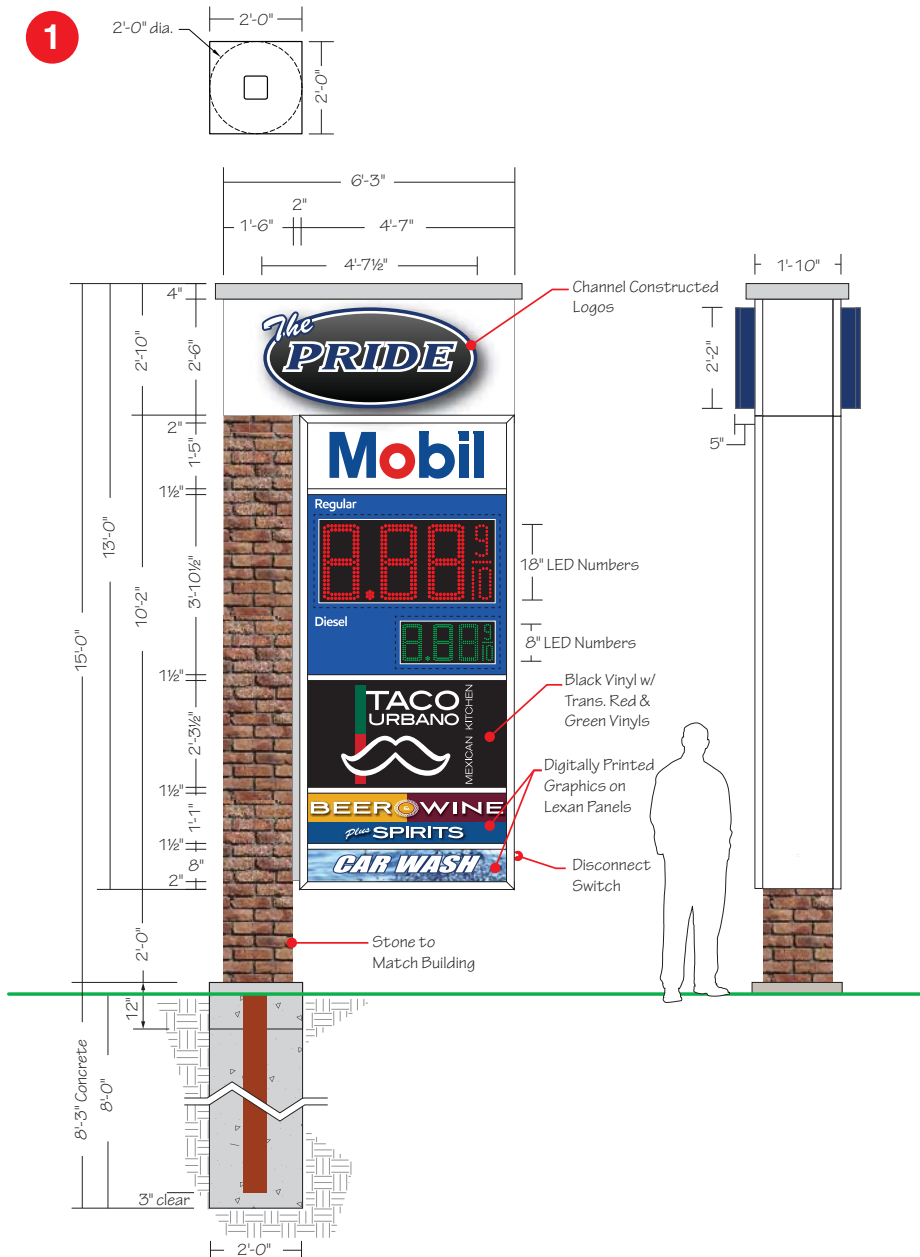


NIGHT VIEW

Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/26/2020	NA	8 OF 16	

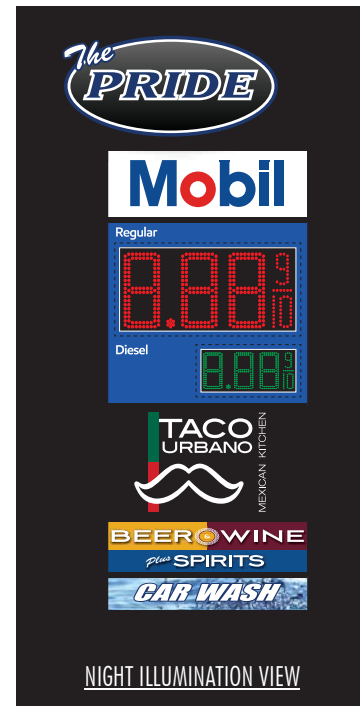
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1



(1) 13'-0" x 6'-3" Double Face Illuminated Flag Mounted Sign - 81.25 SF

- Cabinet:** Fabricated Aluminum Painted White - Satin Finish
- Pride Logos:** 5" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Mobile Logos:** 3M 3630-97 Bristol Blue & 143 Poppy Red Translucent Vinyls
- Pricer Panel:** 3M 3630-97 Bristol Blue Translucent Vinyl - Copy Reversed Out White
- Pricer Units: 16" LED & 12" LED
- Tenant Panels:** White Polycarbonate
- "Taco Urbano" Graphics:** 3M 7725-12 Black / 3630-76 Holly Green / 3630-33 Red Vinyls
- "Beer Wine Liquor" & Car Wash Panels:** White Polycarbonate w/ Digitally Printed Graphics
- Illumination:** White LEDs
- Power:** (2) 20Amp @ 120Volts Electrical Circuits Run to Site by Others
- Column:** CMU Block w/ Brick to Match Building
- Mounting:** (1) HSS 6" x 6" x 3/8" ASTM A-500 Gr. B with
(3) 4" x 4" x 3/16" ASTM A-500 Gr. B Steel Mounting Plates
- (1) 2'-0" dia. x 8'-0" deep Concrete Foundation w/
2'-0" W x 2'-0" L x 12" D Square Concrete Pad for Masonry



Parvin-Clauss
SIGN COMPANY

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165TubewayDrive • Carol Stream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

1 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 11.04.19 - center sundry cab.
- 5.18.20 - new layout
- 5.19.20 - size adjustments
- 5.26.20 - Taco Urbano Logo
- 6.19.20
-
-
-

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

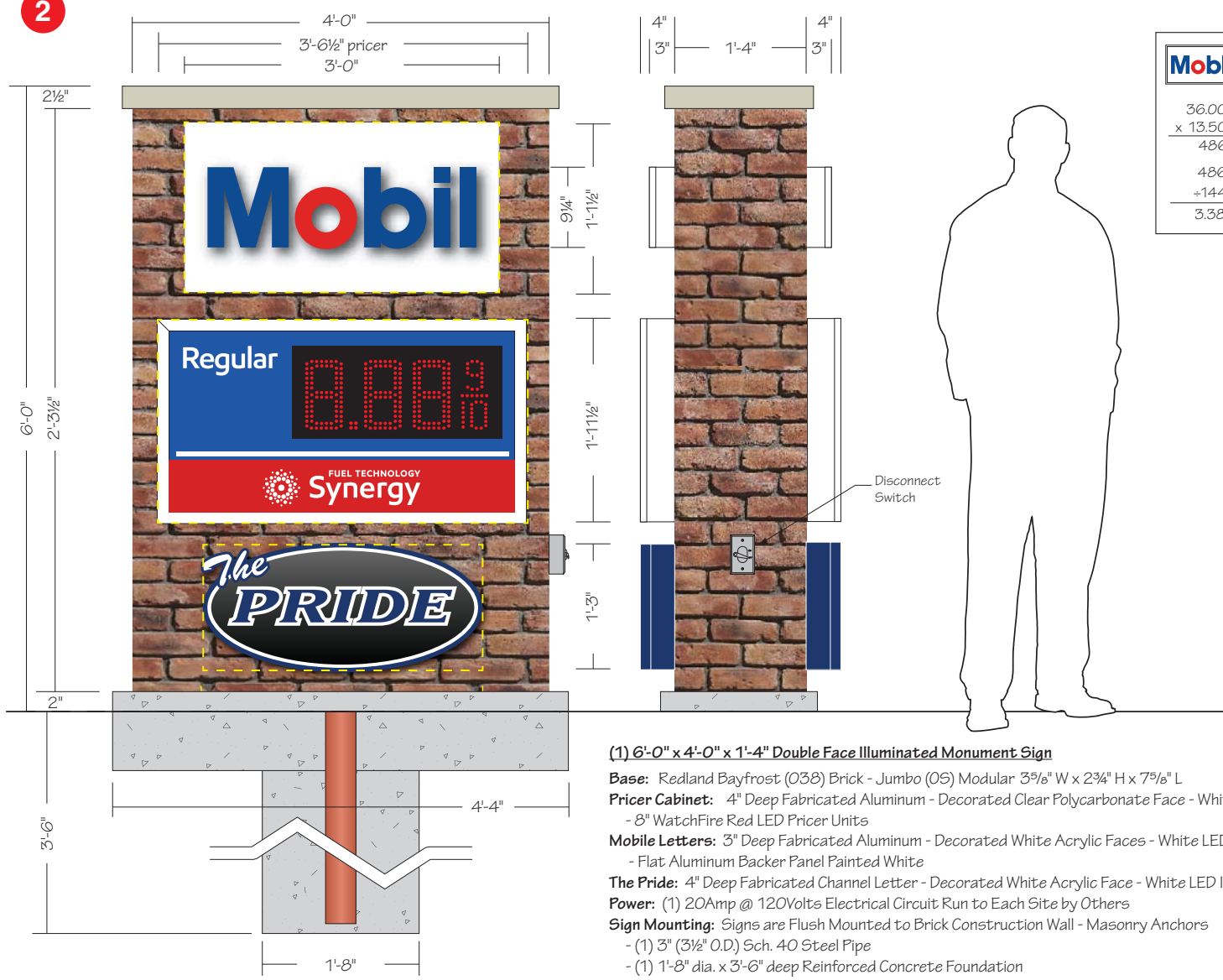


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2



36.00" x 13.50" 486"
486" +144" 3.38 SF

42.50" x 23.50" 998.75"
998.75" + 144" 7 SF

32.50" x 15.00" 487.50"
487.50" +144.00" 3.38 SF

3.38 SF 7.00 SF + 3.38 SF 13.76 SF
Signs

72.00" x 48.00" 3456"
3456" +144" 24 SF
Base

(1) 6'-0" x 4'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Redland Bayfrost (038) Brick - Jumbo (05) Modular 3⁵/₈" W x 2³/₄" H x 7⁵/₈" L
- Pricer Cabinet:** 4" Deep Fabricated Aluminum - Decorated Clear Polycarbonate Face - White LED Illumination
- 8" WatchFire Red LED Pricer Units
- Mobile Letters:** 3" Deep Fabricated Aluminum - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3¹/₂" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 4'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

Parvin-Clauss
SIGN COMPANY

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e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

2 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

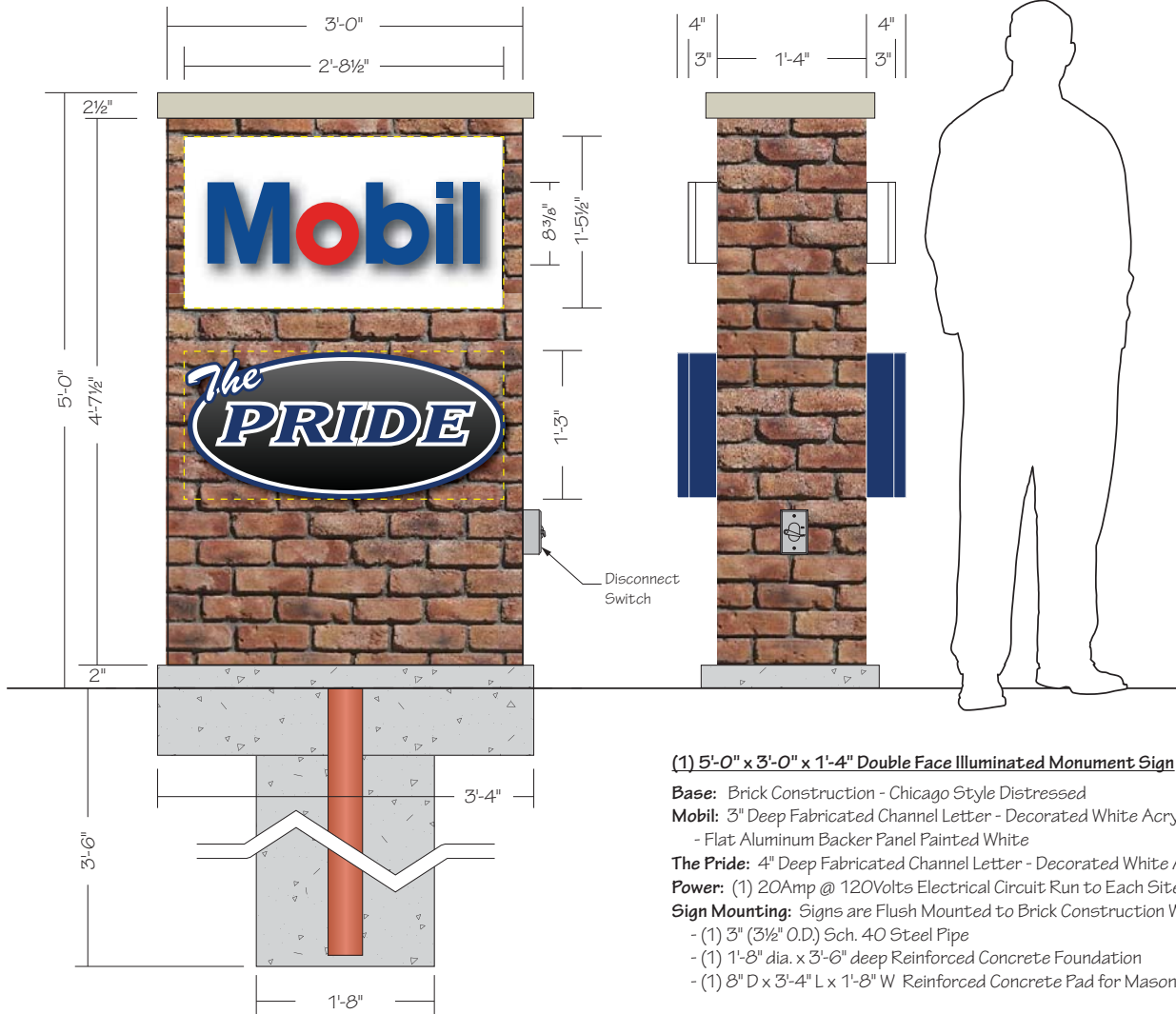
- 11.04.19 - all cabs. on brick area
- 5.18.20
- 5.19.20
- 5.26.20 - Mobil letters / cab. depth
- 6.19.20
-
-
-

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

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(1) 5'-0" x 3'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Brick Construction - Chicago Style Distressed
- Mobil:** 3" Deep Fabricated Channel Letter - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3 1/2" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 3'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

$\begin{array}{r} 32.50'' \\ \times 17.50'' \\ \hline 568.75'' \\ +144'' \\ \hline 4\text{ SF} \end{array}$	 $\begin{array}{r} 32.50'' \\ \times 15.00'' \\ \hline 487.50'' \\ +144'' \\ \hline 3.38\text{ SF} \end{array}$
-------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

$\begin{array}{r} 4.00\text{ SF} \\ + 3.38\text{ SF} \\ \hline 7.38\text{ SF} \end{array}$ <p>Signs</p>	$\begin{array}{r} 60'' \\ \times 36'' \\ \hline 2160'' \\ + 144'' \\ \hline 15\text{ SF} \end{array}$ <p>Base</p>
---------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------

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e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

3 of 12

WORK ORDER

82989

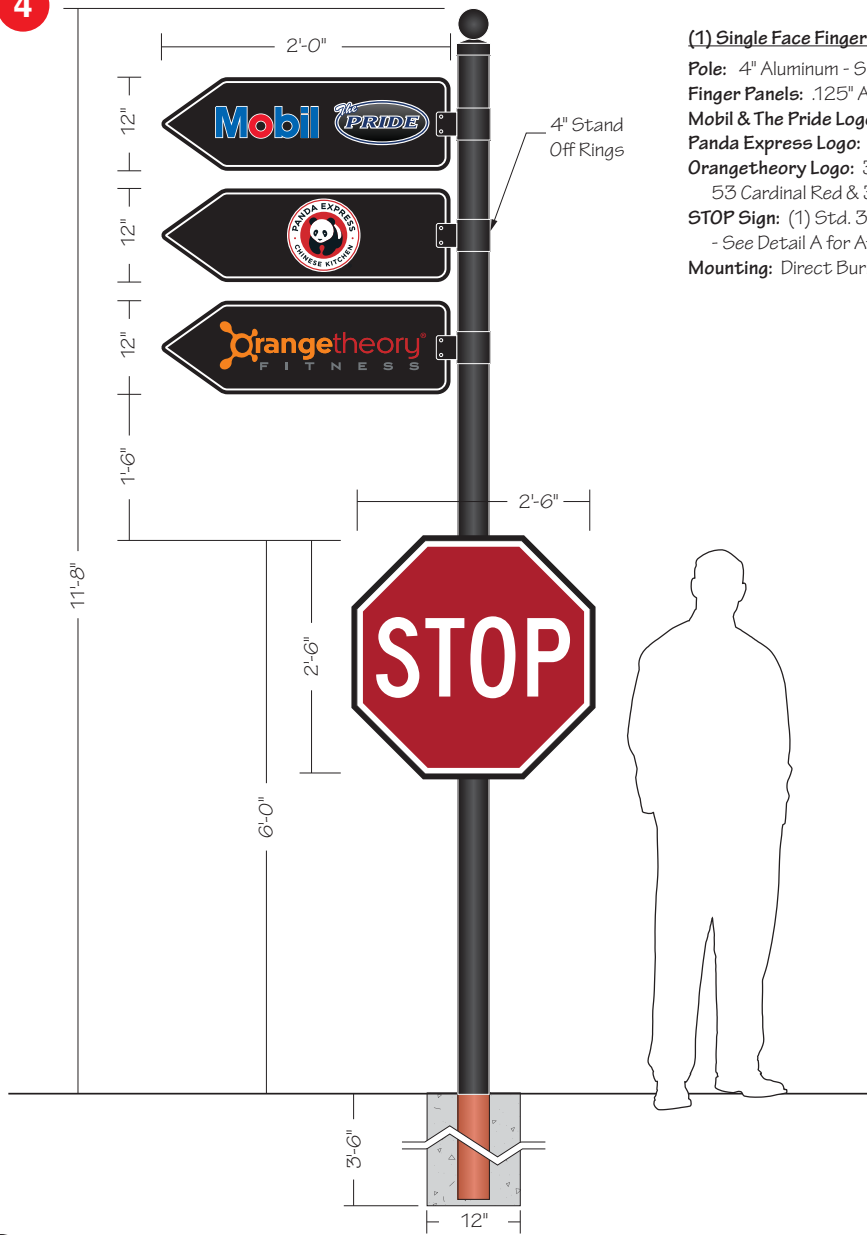
FILE NAME

PRD82989

REVISIONS:

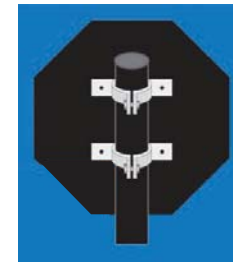
- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20 - Mobil letters / cab. depth
- 5 6.19.20
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



(1) Single Face Fingerpost Directional Sign

Pole: 4" Aluminum - Smooth - Painted Black - Ball Cap
Finger Panels: .125" Aluminum Painted Black w/ Reflective White Vinyl In-line Border
Mobil & The Pride Logos: Digitally Printed on White Vinyl Applied
Panda Express Logo: Digitally Printed on White Vinyl Applied
Orangetheory Logo: 3M 7725-14 Bright Orange, 53 Cardinal Red & 31 Medium Gray Vinyls Applied
STOP Sign: (1) Std. 30" x 30" Applied to .125" thick Black Aluminum Backer Panel
 - See Detail A for Attachment Hardware
Mounting: Direct Burial in 1'-0" dia. x 3'-6" deep Concrete Foundation



DETAIL A - Post Brackets



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 www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
 St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
 House / RM / KZ

DRAWN BY
 Bill Marlow

DATE
 10.23.19

SCALE
 3/4" = 1'

SHEET NO.
 4 of 12

WORK ORDER
 82989

FILE NAME
 PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20
6	
7	
8	

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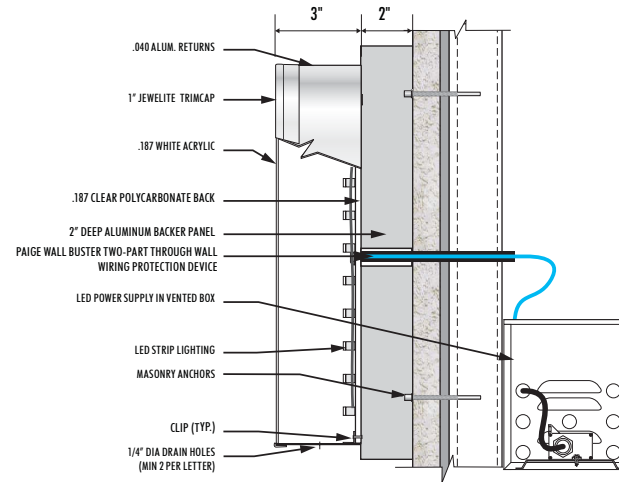
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5



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

- Panel:** 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** .125" Aluminum Painted PMS 288 Blue
- Inline Strip:** 3M 7725-10 White Vinyl
- Black/Grey Gradient:** Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face
- Letters & White In-line:** Fabricated 3" Deep Channel Letters
- "The" Returns:** .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap
- "PRIDE" & In-line Returns:** .040" Pre-finished White Aluminum - 1" White Trimcap
- Faces:** 732B White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces
- Illumination:** White LEDs with Remote 60Watt Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



01-SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

5 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

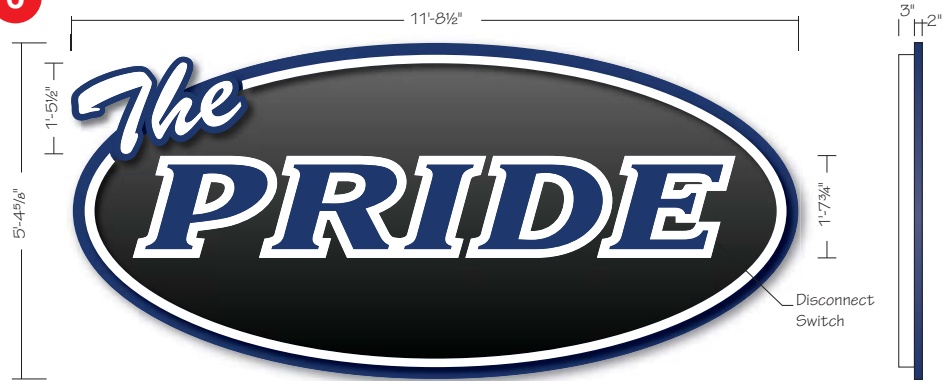


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6



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

Panel: 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish

Faces: .125" Aluminum Painted PMS 288 Blue

Inline Strip: 3M 7725-10 White Vinyl

Black/Grey Gradient: Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face

Letters & White In-line: Fabricated 3" Deep Channel Letters

"The" Returns: .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap

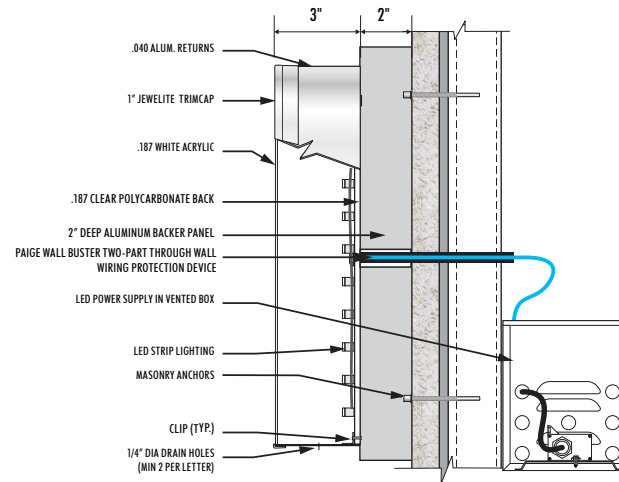
"PRIDE" & In-line Returns: .040" Pre-finished White Aluminum - 1" White Trimcap

Faces: 7328 White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces

Illumination: White LEDs with Remote 60Watt Power Supplies

Power: Use Existing at Site

Mounting: Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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165TubewayDrive • CarolStream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

6 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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This sign is built to UL Standards for operation in North America.

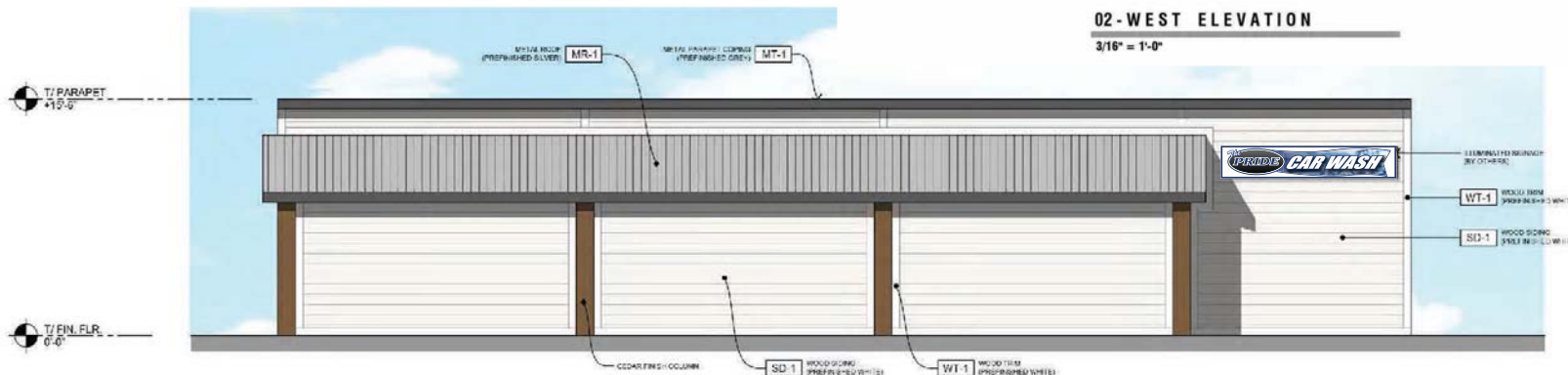
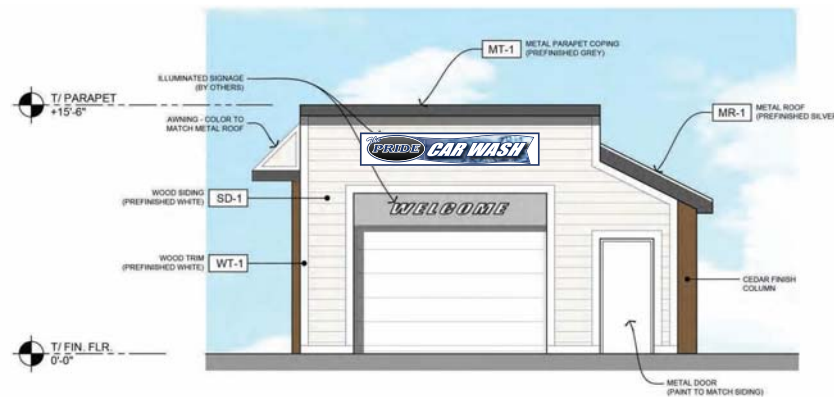
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(2) 2'-1 1/2" x 11'-6" x 5" Deep SF Wall Sign

- Cabinet:** 5" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** 3/16" White Polycarbonate
- Graphics:** Digitally Printed on Translucent White Vinyl
- Illumination:** White LEDs with 12V GOW 120/277V Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



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St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

7 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 11.04.19
- 5.18.20
- 5.19.20
- 5.26.20
- 6.19.20 - New Sign
-
-
-

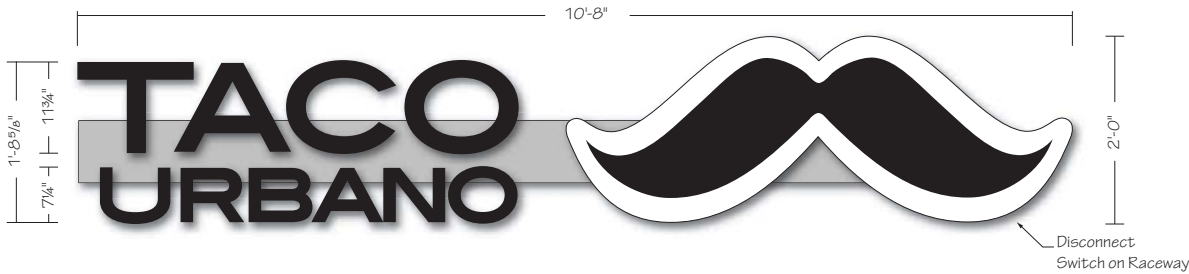
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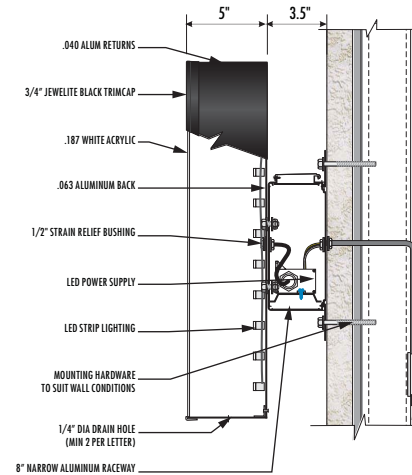
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(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway

- Letter & Logo Returns:** .040" Fabricated Aluminum Prefinished Black
- Letter Faces:** White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
- Logo Face:** White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
- Raceway:** Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
- Illumination:** White LEDs with 60Watt Power Supplies in Raceway
- Power:** (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



01 - SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

8 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 11.04.19
- 5.18.20
- 5.19.20
- 5.26.20
- 6.19.20 - New Elevation
-
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-

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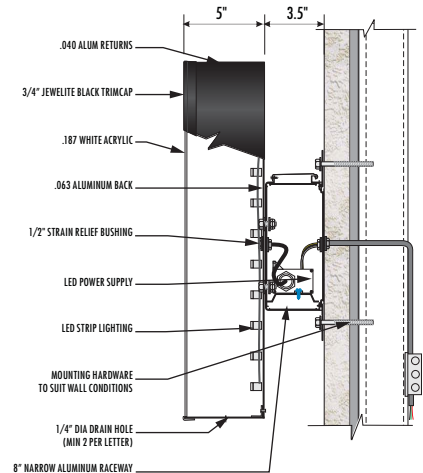
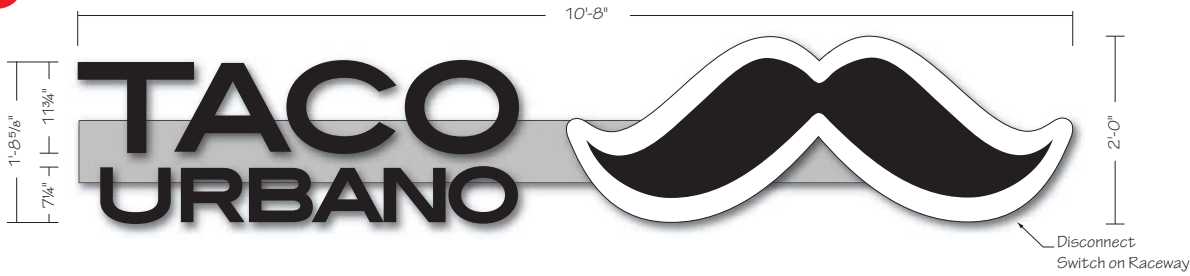


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9



(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway
Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction

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AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

9 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 1 11.04.19
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- 5 6.19.20 - New Elevation
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- 8

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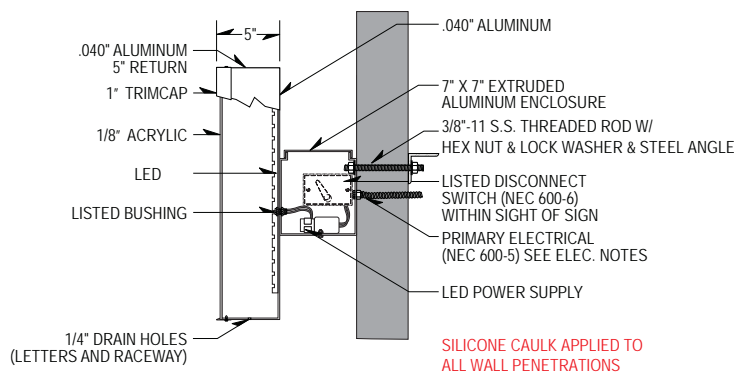
04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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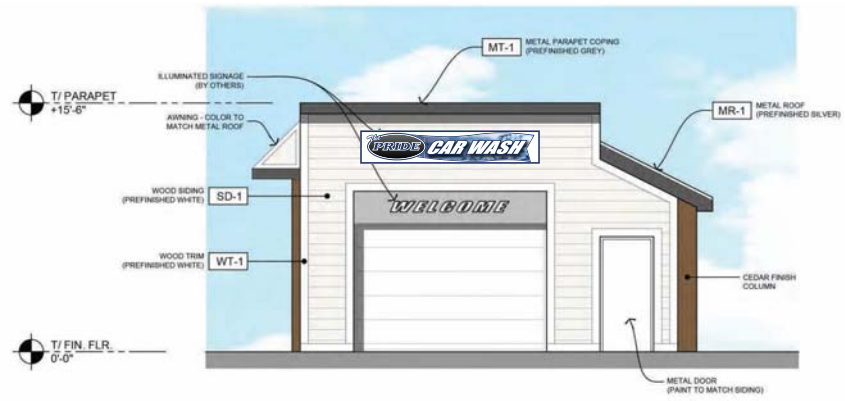


(1 set each) 5" Deep Illuminated Channel Letters on Raceways - 8.45 SF / 14.40 SF

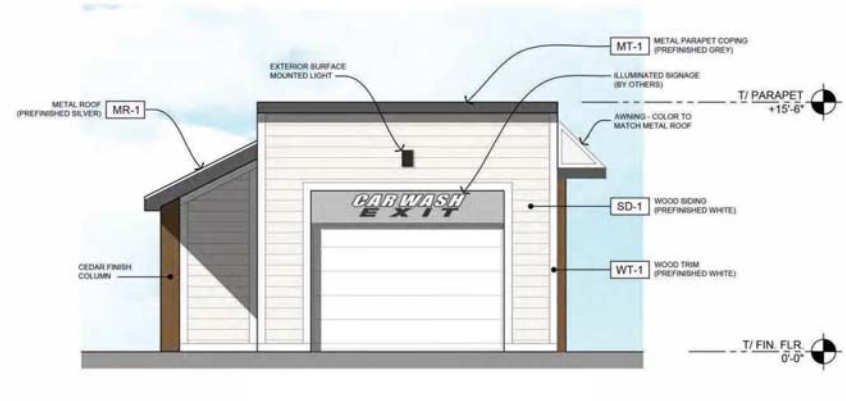
Returns: Fabricated Aluminum Painted PMS 288 Blue
Faces: #7328 White Acrylic w/ 1" Jewelite White trimcap
Vinyl: 3M 3630-157 Sultan Blue Translucent Vinyl
Raceways: Std. 7" x 7" Aluminum Painted to Match Wall Color - SW 7063 Nebulous White
Illumination: White LED
Power: (1) 20Amp @ 120Volts Electrical Circuit Run to Site by Others
Mounting: Raceways Flush Mounted to Building - Appropriate Hardware for Wall Construction

*Bottom Raceway Mount
Upside Down*

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION



02 - WEST ELEVATION
Scale: 1/8" = 1'-0"



03 - EAST ELEVATION
Scale: 1/8" = 1'-0"

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DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

10 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

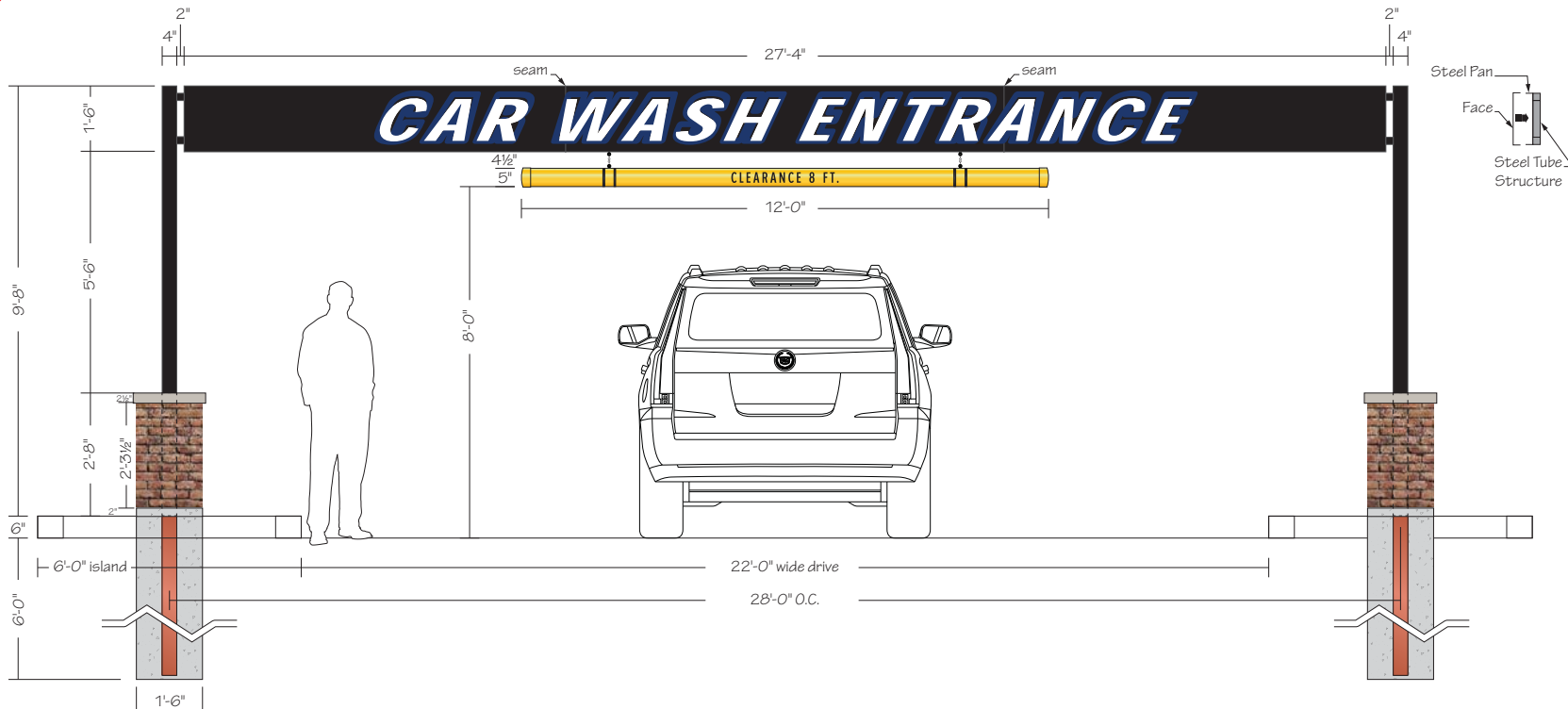
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(1) 1'-6" x 27'-4" x 2" Single Face Non-Illuminated Entrance Gateway

Cabinet: Fabricated Aluminum Painted Black - Suede Satin Finish
 - 2" x 2" Tube Internal Structure

Graphics: 3M 7725-37 Sapphire Blue & 7725-10 White Vinyls

Clearance Bar: 5" PVC Pipe w/ Caps Painted MAP 42248 Sundance Yellow

Clearance Ht. Copy & Stripes: 3M 680-85 Black Reflective Vinyl

Bases: Masonry to Match Building - Redland Bayfrost (038) Brick

- Jumbo (05) Modular: 35/8" W x 2 3/4" H x 75/8" L

Mounting: (2) 4" x 4" Tube Steel set into (2) 1'-6" dia. x 6'-0" deep Concrete Foundations

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION

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REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

11 of 12

WORK ORDER

82989

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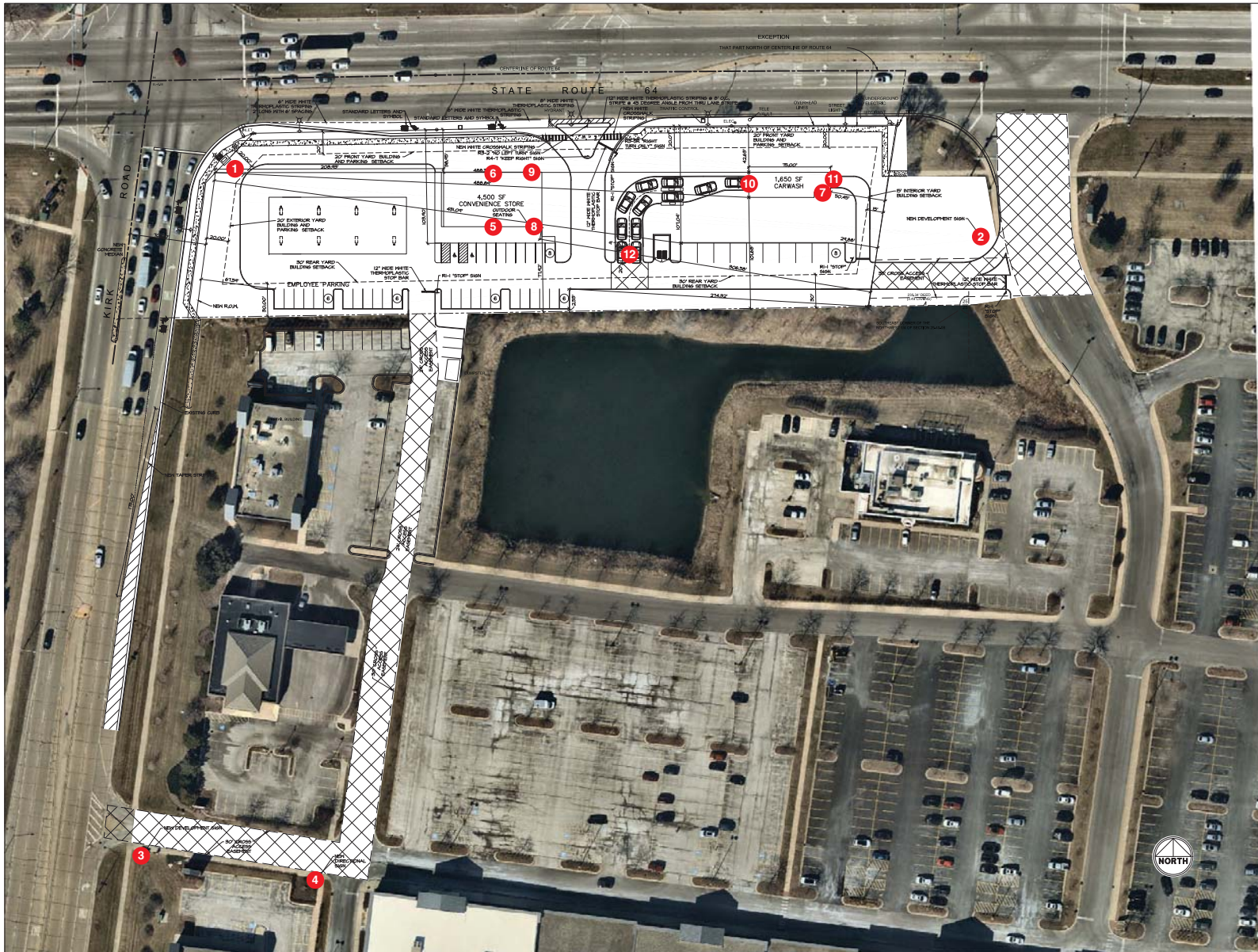
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Bill Marlow

DATE

10.23.19

SCALE

nts

SHEET NO.

12 of 12

WORK ORDER

82989

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EXHIBIT “E”

PUD DEVIATIONS

Section 17.24.100 Drive-Through Facilities	
Stacking Lane Configuration	Two lanes of car wash vehicle stacking, as shown on the PUD Preliminary Plan.
Section 17.26.080 Building Foundation Landscaping	
Foundation Landscape Planting Beds	3 ft. along west side of convenience store building, as shown on the PUD Preliminary Plan.
Foundation Landscape Trees	3 trees along the north wall of the convenience store building and 2 trees along the north wall of the car wash building, as shown on the PUD Preliminary Plan.
Section 17.26.090 Public Street Frontage Landscaping	
Street Frontage Plantings	Less than 75% of the Main St. frontage may be landscaped, as shown on the PUD Preliminary Plan.
Table 17.28-2 Permitted Signs for Business & Mixed-Use Districts – BL, BC and BR Districts	
Freestanding Signs	3 ft. setback for monument sign at the corner of Main St. and Kirk Rd., as shown on the PUD Preliminary Plan.
Wall Signs	Four wall signs on the convenience store building, as shown on the PUD Preliminary Plan.
Section 17.28.080 Prohibited Signs	
Off-Premise Signs	Three off-premise signs to be placed in the Main Street Commons PUD: one monument sign at the Main St. entrance of Main Street Commons; one monument sign at the Kirk Rd. entrance of Main Street Commons; one directional sign within Main Street Commons; all as shown on the PUD Preliminary Plan

Letters/Comments
Received for Public Hearing

From: Laura Miller Hill <lmillerhill@gmail.com>
Sent: Thursday, December 3, 2020 7:12 AM
To: CD
Subject: Pride of Kane County Annexation

I am opposed to the annexation of the land on the corner of Kirk and Main Street. Do we really need another gas station in that area and more traffic congestion? The east side of St. Charles has become a strip of empty stores, gas stations, car dealerships, and fast food restaurants. It's time to put a hold on this kind of development. How about focusing on the small businesses who are struggling right now?

Laura Miller Hill
312 S. 10th Ave.
St. Charles, IL
60174

**MINUTES
CITY OF ST. CHARLES
GOVERNMENT OPERATIONS COMMITTEE
MONDAY, NOVEMBER 16, 2020**

1. Call to Order

The meeting was called to order by Chairman Lewis at 7:10 pm.

2. Roll Call

Present: Ald. Stellato, Ald. Silkaitis, Ald. Payleitner, Ald. Lemke, Ald. Bancroft, Ald. Gruber, Ald. Vitek, Ald. Pietryla, Ald. Bessner

3. Omnibus Vote

Items with an asterisk (*) are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

Motion by Ald. Bancroft, second by Ald. Payleitner to approve the omnibus vote.

Roll Call Vote: Ayes: Bancroft, Gruber, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner, Lemke; Nays: None. Chairman Lewis did not vote as Chairman. **Motion Carried**

4. Police Department

a. Recommendation to approve a Proposal for an A6 Liquor License Application for the 7-11 Mini-Mart and Gas Station, Located at 51 S. Randall Rd., St. Charles.

Chief Keegan explained that the item being discussed was presented at the Liquor Control Commission meeting earlier in the evening and was recommended, with no issues, by a vote of 3 – 0. Mr. Ahmed, the owner of the 7-11 establishment located at 51 S Randall Road, has been at this location for nearly 20 years. Mr. Ahmed owns an additional 7-11 store in Hoffman Estates that has sold liquor since 1995.

Mr. Ahmed and a representative from 7-11 were present to answer questions.

Motion by Ald. Payleitner, second by Ald. Pietryla to recommend the approval of an A6 Liquor License Application for the 7-11 Mini-Mart and Gas Station, Located at 51 S. Randall Rd., St. Charles.

Roll Call Vote: Ayes: Bancroft, Gruber, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner, Lemke; Nays: None. Chairman Lewis did not vote as Chairman. **Motion Carried**

b. Recommendation to approve a Proposal for a B1 Liquor License Application for Knead Urban Eatery, Located at 131 S. 1st St., St. Charles.

Chief Keegan explained that the item being discussed was presented at the Liquor Control Commission meeting earlier in the evening and was recommended with a vote of 3 – 0. The owner, Anthony Gargano, has an additional location in Geneva. The hours of operation for Knead Urban Eatery will be 11 am-9 am, 7 days a week and they will serve sandwiches and salads.

Motion by Ald. Payleitner, second by Ald. Bessner to recommend the approval of a Proposal for a B1 Liquor License Application for Knead Urban Eatery, Located at 131 S. 1st St., St. Charles.

Roll Call Vote: Ayes: Bancroft, Gruber, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner, Lemke; Nays: None. Chairman Lewis did not vote as Chairman. **Motion Carried**

c. Recommendation to approve a Proposal for a B1 Liquor License Application for MOD Pizza Located at 845 S. Randall Road, St. Charles.

Chief Keegan explained that the item being discussed was presented at the Liquor Control Commission meeting earlier in the evening and was recommended with a vote of 3 – 0. This MOD Pizza location will be in the out lot of the Meijer in St. Charles. MOD Pizza’s manager, Harlan Powell, was present to answer questions.

Chairman Lewis asked if the restaurants are going to try to open now with no indoor service. Chief Keegan answered that MOD Pizza is still doing their buildout and are a couple months away from opening. Chairman Lewis stressed the importance that there is no indoor service during this time.

Motion by Ald. Payleitner, second by Ald. Pietryla to recommend the approval of a Proposal for a B1 Liquor License Application for MOD Pizza Located at 845 S. Randall Road, St. Charles.

Roll Call Vote: Ayes: Bancroft, Gruber, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner, Lemke; Nays: None. Chairman Lewis did not vote as Chairman. **Motion Carried**

5. Finance Department

*a. Budget Revisions October, 2020

6. Additional Items from Mayor, Council, Staff, or Citizens.

7. Executive Session

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

8. Adjournment

Motion by Ald. Bessner, second by Ald. Lemke to adjourn the meeting at 7:19 pm.

Roll Call Vote: Ayes: Bancroft, Gruber, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner, Lemke; Nays: None. Chairman Lewis did not vote as Chairman. **Motion Carried**



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: IIC1

Title:

Motion to approve a Resolution Authorizing the Mayor and City Council to Enter Into a Certain Annexation Agreement (Pride of Kane County).

Presenter:

Rita Tungare

Meeting: City Council

Date: December 7, 2020

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Previously on the agenda, a public hearing was held regarding the proposed Annexation Agreement for the Pride of Kane County project.

The attached resolution authorizes the Mayor and City Council to enter into an Annexation Agreement for the property. The Agreement is attached to the resolution.

Per State law, a Resolution authorizing the City to enter an Annexation Agreement must be passed by a two-thirds vote of the Corporate Authorities (8 votes of the City Council plus the Mayor).

Whether the motion to approve this Resolution passes or fails, the Council may still consider the Ordinance Annexing the Territory, which is listed next on the agenda.

Attachments *(please list):*

Resolution authorizing execution of the Annexation Agreement.

Recommendation/Suggested Action *(briefly explain):*

Motion to approve a Resolution Authorizing the Mayor and City Council to Enter Into a Certain Annexation Agreement (Pride of Kane County).

City of St. Charles, Illinois
Resolution No. 2020- __

**A Resolution Authorizing the Mayor and City Council to Enter Into a Certain
Annexation Agreement (Pride of Kane County)**

**Presented & Passed by the
City Council on _____**

WHEREAS, the Owner of the real estate legally described on Exhibit “A” attached hereto and made a part hereof (the “Subject Property”) is CIMA Developers, LP; and,

WHEREAS, the Subject Property is located at the southeast corner of E. Main St. / Rt. 64 and Kirk Rd. within St. Charles Township, Kane County, Illinois; and,

WHEREAS, the Subject Property is contiguous to the City of St. Charles and may be annexed to the City pursuant to the Illinois Code, 65 ILCS 5/7-1-1 *et seq*; and,

WHEREAS, the Owner has filed a Petition for Annexation with the City requesting annexation of the Subject Property to the City of St. Charles; and,

WHEREAS, the Owner has submitted to the City a proposed Annexation Agreement, said Agreement being attached hereto and incorporated herein as Exhibit “B”; and,

WHEREAS, a public hearing on said Annexation Agreement was held on or about December 7, 2020, pursuant to the notice duly published in the Daily Herald, being a newspaper of general circulation, on November 21, 2020 as required by law; and,

WHEREAS, the Mayor and City Council have considered the terms and provisions of the proposed Annexation Agreement.

NOW THEREFORE BE IT RESOLVED by the Mayor and City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, a home rule municipality, in the exercise of its home rule powers as follows:

1. That the Mayor and City Clerk are hereby authorized to execute that certain Annexation Agreement heretofore incorporated herein as Exhibit “B” by and behalf of the City of St. Charles.

2. That all resolutions, or parts thereof, in conflict with the provisions of this Resolution are, to the extent of such conflict, expressly repealed.

3. That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

Resolution No. _____

Page 2

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of December, 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of December, 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of December, 2020.

Raymond P. Rogina

Attest:

City Clerk/Recording Secretary

Voice Vote:

Ayes:

Nays:

Absent:

Abstain:

Exhibit "A"

Legal Description of Subject Property

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

Resolution No. _____

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Exhibit "B"

Annexation Agreement – Pride of Kane County

ANNEXATION AGREEMENT

THIS ANNEXATION AGREEMENT (hereinafter referred to as the “AGREEMENT”) made and entered into this ____ day of _____, 2020 by and between the CITY OF ST. CHARLES, an Illinois municipal corporation located in Kane and DuPage Counties, Illinois (hereinafter referred to as “CITY”) and CIMA Developers, LP (hereinafter referred to as “OWNER”; the CITY and the OWNER being sometimes hereinafter referred to individually as “PARTY” and collectively as the “PARTIES”).

WITNESSETH:

WHEREAS, the OWNER is the owner of record of a certain parcel of real estate, legally described in Exhibit “A” attached hereto and incorporated herein (hereinafter referred to as “SUBJECT REALTY”); and

WHEREAS, the OWNER has agreed to develop the SUBJECT REALTY and assume all responsibility and liability for the development of the SUBJECT REALTY in accordance with the terms and conditions of this AGREEMENT, and will carry out the duties and obligations of the OWNER as hereinafter provided; and

WHEREAS, the SUBJECT REALTY constitutes territory which is contiguous to and may be annexed to the CITY as provided in 65 ILCS 5/7-1-1, *et seq.*; and

WHEREAS, a Petition for Annexation for the SUBJECT REALTY has been filed by OWNER with the CITY in accordance with 65 ILCS 5/7-1-8; and

WHEREAS, the OWNER desires to have the SUBJECT REALTY annexed to the CITY upon the terms and conditions hereinafter set forth; and

WHEREAS, the CITY has considered the annexation of the SUBJECT REALTY and has determined that the best interest of the CITY will be met if the SUBJECT REALTY is annexed; and

WHEREAS, this Agreement is made pursuant to the provisions of 65 ILCS 5/11-15.1-1, *et seq.*; and

WHEREAS, all public hearings, as required by law, have been held by the Plan Commission and the City Council of the CITY, upon the matters covered by this AGREEMENT; and

WHEREAS, by a favorable vote of at least two-thirds (2/3) of the City Council of the CITY, a Resolution has heretofore been adopted authorizing the execution of this AGREEMENT.

NOW, THEREFORE, in consideration of the premises and of the mutual covenants and agreements herein contained, IT IS HEREBY AGREED BY AND BETWEEN THE CITY and OWNER, as follows:

Section 1. INCORPORATION OF RECITALS: The PARTIES hereby confirm and admit the truth and validity of the representations and recitations set forth in the foregoing recitals. The PARTIES further acknowledge that the same are material to this AGREEMENT and are hereby incorporated into and made a part of this AGREEMENT as though they were fully set forth in this Section 1 and the same shall continue for so long as this AGREEMENT is of force and effect.

Section 2. MUTUAL ASSISTANCE: The PARTIES shall do all things necessary or appropriate to carry out the terms and provisions of this AGREEMENT and to aid and assist each other in furthering the objectives of this AGREEMENT and the intent of the PARTIES as reflected by the terms of this AGREEMENT, including, without limitation, the giving of such notices, the holding of such public hearings, and the enactment by the CITY of such resolutions and ordinances, the execution of such permits, applications and agreements and the taking of such other actions as may be necessary to enable the PARTIES' compliance with the terms and provisions of this AGREEMENT and as may be necessary to give effect to the objectives of this AGREEMENT and the intentions of the PARTIES as reflected by the terms of this AGREEMENT.

Section 3. ANNEXATION: Subject to the provisions of 65 ILCS 5/7-1-8, as amended, the PARTIES respectively agree to do all things necessary or appropriate to cause the SUBJECT REALTY to be duly and validly annexed to the CITY as soon as practicable after the execution of this AGREEMENT. Attached hereto and incorporated herein as Exhibit "B" is the form of Ordinance providing for the annexation of the SUBJECT REALTY, entitled "An Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Pride of Kane County)", together with a copy of the plat of annexation attached thereto.

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the CITY'S lawful authority to annex the SUBJECT REALTY or challenging the method or procedures by or through which the PARTIES purported to cause the SUBJECT REALTY to be annexed to the CITY, the PARTIES agree that they shall fully cooperate, as provided in Section 2 hereof, to defend such cause of action. Should a court of competent jurisdiction finally determine that annexation of the SUBJECT REALTY was defective because of the failure of the PARTIES to follow a procedural requirement constituting a valid precondition to proper annexation of the SUBJECT REALTY, the PARTIES agree to promptly cause the SUBJECT REALTY to be reannexed to the CITY in a manner which satisfies all procedural requirements.

Should a court of competent jurisdiction finally determine that annexation of the SUBJECT REALTY by the CITY was without lawful authority (i.e., lack of contiguity), the PARTIES agree that this AGREEMENT shall thereafter be deemed a Pre-Annexation Agreement authorized pursuant to 65 ILCS 5/7-1-1, as amended, and shall remain in full force and effect to the extent permitted by law. Thereafter, should the SUBJECT REALTY become

contiguous to the CITY, the PARTIES agree to promptly take all necessary steps as may then be provided by law to perfect the annexation of the SUBJECT REALTY to the CITY.

Section 4. ZONING: Immediately subsequent to the annexation of the SUBJECT REALTY to the CITY, the PARTIES respectively agree to do all things necessary or appropriate to cause the SUBJECT REALTY to be duly and validly rezoned to the BR Regional Business District, pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended (“ZONING ORDINANCE”), and to grant a Special Use for Planned Unit Development for the SUBJECT REALTY. Attached hereto and incorporated herein as Exhibit “C” is a copy of the Ordinance rezoning the SUBJECT REALTY to the BR Regional Business District and granting a Special Use for a Planned Unit Development, entitled “An Ordinance Granting Approval of a Map Amendment, Special Use for PUD and PUD Preliminary Plan for Pride Kane County” (“PUD ORDINANCE”).

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the rezoning of the SUBJECT REALTY as provided in this AGREEMENT and in the ordinance referenced in the preceding paragraph, the PARTIES agree that they shall fully cooperate, as provided in Section 2 hereof, to defend against such cause of action. Further, the PARTIES specifically agree that to the extent such litigation proves successful, the CITY shall take such legislative action as then may be lawfully required to cause the SUBJECT REALTY to be zoned for the purposes herein contemplated.

Section 5. PRELIMINARY PLAT OF SUBDIVISION & PRELIMINARY ENGINEERING PLANS: Subject to the provisions of 65 ILCS 5/11-12-8, as amended, and Title 16 of the St. Charles Municipal Code, as amended (“SUBDIVISION ORDINANCE”), the CITY will grant preliminary plat of subdivision approval for the subdivision of the SUBJECT REALTY and preliminary engineering plan approval for the SUBJECT REALTY pursuant to the plans attached as exhibits to the PUD ORDINANCE, heretofore attached and incorporated herein as Exhibit “C”.

The OWNER shall not be required to submit for review or obtain approval of any additional preliminary plan or plat in order to obtain approval by the CITY of a final plat of subdivision of the SUBJECT REALTY which is in substantial conformity with the preliminary plat of subdivision. Upon the submission of a final plat of subdivision (“FINAL PLAT”) accompanied by final engineering plans (“FINAL ENGINEERING PLANS”), for the SUBJECT REALTY, and provided such FINAL PLAT and FINAL ENGINEERING PLANS comply with applicable ordinances of the CITY and this AGREEMENT, the CITY shall approve such FINAL PLAT and FINAL ENGINEERING PLANS within the time period provided in 65 ILCS 5/11-12-8, as amended.

Section 6. APPLICABLE MUNICIPAL STANDARDS: Upon annexation of the SUBJECT REALTY, all zoning, subdivision, building and development of the SUBJECT REALTY (including any area adjacent thereto, the improvement of which is necessary or proposed to facilitate the development of the SUBJECT REALTY) shall be undertaken in conformity with the requirements of all applicable CITY codes, ordinances, rules, regulations and standards generally in force, from time to time, within the CITY, except to the extent that the same are

superseded by more restrictive standards imposed by other regulatory authorities having jurisdiction and, further, as the same may be specifically modified by the terms of this AGREEMENT. Said applicable municipal standards shall otherwise be referred to herein as the "CITY CODE".

Section 7. RESPONSIBILITY FOR CITY REVIEW EXPENSES: OWNER agrees to pay all CITY expenses for the review, preparation of documents and plans, hearings and approvals through the adoption of this AGREEMENT incurred by the CITY, including, but not limited to, legal fees, engineering fees, and any other fees incurred with respect to this AGREEMENT. Said expenses shall be paid out of the account established with the CITY by the OWNER; provided, however, that should such account have insufficient funds, any remaining amounts due hereunder shall be billed to the OWNER and the OWNER shall pay, within thirty (30) days of the date of invoicing, same in full as a condition to the CITY'S execution of this AGREEMENT.

Section 8. UTILITY EASEMENTS: To the extent that any required public improvements are to be dedicated to the CITY, the OWNER shall grant, or cause to be granted, to the CITY, adequate easements and public rights-of-way in form and substance reasonably acceptable to the CITY.

Section 9. REQUIRED IMPROVEMENTS:

(a) Engineering Conformance. All public improvements to be constructed shall be constructed in conformance with the approved engineering plans, Section 5 hereof and the Land Improvement Agreement referred to herein (the "IMPROVEMENT AGREEMENT"). In the event that any provision of the CITY CODE, the IMPROVEMENT AGREEMENT or any engineering plans shall conflict with any other provision of the CITY CODE, the IMPROVEMENT AGREEMENT or any engineering plans, that provision determined by the CITY'S Community & Economic Development Director to be the most restrictive shall apply.

(b) Sanitary Sewer, Water and Electric Facilities. OWNER shall connect to the CITY owned wastewater, water and electric utilities to serve the SUBJECT REALTY. At such time as OWNER connects to CITY utilities, OWNER shall apply for any connection permits required by the CITY and shall pay the CITY'S required tap-on or connection fees as, from time to time, may be provided by ordinance. Except as otherwise set forth herein, the OWNER shall be responsible for the costs associated with bringing the aforesaid utilities from the connection point to the locations on the SUBJECT REALTY where the utilities will be utilized, and completing any related system improvements deemed necessary by the CITY to serve the SUBJECT REALTY.

The CITY shall not be responsible for its inability to provide any of the utility services identified herein, or for any loss or damage, including consequential damage, or delay in installation caused by strikes, riots, the elements, embargos, the failure of carriers or the inability to obtain materials or other acts of God or by virtue of any other cause beyond the CITY'S reasonable control, including but not limited to inability to acquire necessary easements or permits subject to review and issuance by other agencies. The CITY shall cooperate with the OWNER in obtaining any necessary easements.

OWNER shall disconnect the Commonwealth Edison electric service and remove any unused overhead service lines and poles from the Subject Realty. Any private water wells or sanitary sewer septic systems shall be properly abandoned in accordance with applicable codes.

(c) Storm Water Facilities.

(i) OWNER shall provide for storm water drainage and the retention/detention thereof upon and from the SUBJECT REALTY, in substantial conformity with the PRELIMINARY ENGINEERING PLANS and the CITY'S applicable storm water management ordinance, subject to review and approval of FINAL ENGINEERING PLANS.

(ii) The storm water retention/detention area ("DETENTION AREA") as identified on the PRELIMINARY PLAN, as adjusted pursuant to the review and approval of the FINAL ENGINEERING PLANS, shall be impressed with a stormwater detention easement in form and content approved by the CITY. The DETENTION AREA shall be maintained by the OWNER.

(iii) In accordance with Title 18 of the St. Charles Municipal Code ("STORMWATER ORDINANCE"), Section 18.04.010 – Stormwater Management Ordinance - Adopted – Modifications, Subsection P', the SUBJECT REALTY, identified as item No. 8, "Pride Gas Station," was exempted from the 2019 revisions to the Kane County Stormwater Ordinance. The PRELIMINARY ENGINEERING PLANS and associated DETENTION AREA have been designed in accordance with this exemption. The SUBJECT REALTY may be developed in conformance with the PRELIMINARY ENGINEERING PLANS irrespective of the expiration of said exemption.

(d) Public Sidewalks. OWNER shall cause public sidewalks to be installed along the public street frontages adjacent to the SUBJECT REALTY in substantial conformity with the PRELIMINARY ENGINEERING PLANS, as approved, and the applicable provisions of the Subdivisions Regulations of the CITY.

(e) Kirk Road Crosswalk. The CITY acknowledges that future installation of a pedestrian crosswalk across the south leg of the intersection of Kirk Road and E. Main St./IL Route 64, as shown on the PRELIMINARY ENGINEERING PLANS, would improve pedestrian connectivity. The OWNER shall not be required to install or otherwise contribute to the cost of the crosswalk in connection with the development of SUBJECT REALTY.

(f) Cross Access. As shown on the PRELIMINARY ENGINEERING PLANS, OWNER shall provide for cross access vehicular connections to the south and east to the Main Street Commons shopping center. Said cross access shall be available for use by the SUBJECT REALTY, subject to the terms and conditions of any easement agreement between the OWNER and shopping center.

(g) Building Permit Timing and Completion of Improvements Prior to Occupancy. OWNER agrees to comply with Section 16.04.140.B with regards to the timing and issuance of Building Permits and to complete the required improvements before a Certificate of Occupancy issued as stipulated in Section 16.04.140.C.

(h) Guarantee for Land Improvements. As a condition of approval of a FINAL PLAT, the OWNER shall execute a LAND IMPROVEMENT AGREEMENT, in substantially the form provided in Appendix D of the SUBDIVISION ORDINANCE and tender the security provided for therein.

Section 10. FEES AND CONTRIBUTIONS: The OWNER pay all the necessary fees and connection charges that may be applicable with respect to the SUBJECT REALTY.

Section 11. REQUIREMENTS OF OTHER JURISDICTIONS: It is agreed that the CITY is not liable or responsible for any restrictions on CITY'S obligations under this AGREEMENT that may be required or imposed by any other governmental bodies or agencies having jurisdiction over the SUBJECT REALTY, CITY and/or OWNER, including but not limited to county, state and federal regulatory bodies.

Section 12. BINDING EFFECT, SUCCESSION IN INTEREST AND TERM: This AGREEMENT shall constitute a covenant running with the land and shall be binding upon and inure to the benefit of the PARTIES hereto, successors in interest, assignees, lessees, and upon any successor municipal authorities of the CITY and successor municipalities for a period of twenty (20) years from the date hereof.

Section 13. DISCONNECTION: Once the SUBJECT REALTY has been annexed to CITY and a final plat and collateral approval granted for any part of the SUBJECT REALTY, OWNER agrees not to petition for disconnection of any part of the SUBJECT REALTY from CITY without CITY approval under any statutory provision and agrees that if the SUBJECT REALTY is disconnected from the CITY (a) the growth prospects and plan and zoning ordinances of the CITY would be unreasonably disrupted; (b) substantial disruption will result to existing municipal service facilities, such as, but not limited to, sewer systems, street lighting, water mains, garbage collection and fire protection; and (c) the CITY would be unduly harmed through loss of tax revenue in the future. However, the CITY may disconnect the SUBJECT REALTY with the written consent of OWNER.

Section 14. HOLD HARMLESS AND INDEMNIFICATION: In the event a claim is made against the CITY, its officers, other officials, agents and employees or any of them or if the CITY is made a party-defendant in any proceeding arising out, or alleged to arise out of, or in any other way be connected with this AGREEMENT or the annexation of the SUBJECT REALTY, or the development of the SUBJECT REALTY arising out of the intentional or negligent acts of owner, or owner's agents, the OWNER, to the extent permitted by law, shall defend and hold the CITY and such officers, other officials, agents and employees, past present and future, harmless from all claims, liabilities, losses, taxes, judgments, costs, and fees, including expenses and reasonable attorney's fees, in connection therewith. Any such indemnified person may obtain separate counsel to participate in the defense thereof at his own

expense; however, if the Illinois Rules of Professional Conduct, or such applicable rules, require such indemnified person to be separately defended where there is no consent to a conflict of interest, then OWNER shall bear such expense. The CITY and such officers, other officials, agents and employees shall reasonably cooperate in the defense of such proceedings. Said indemnification shall not include claims, liabilities, losses, judgments, costs and fees arising from the negligent or willfully wrongful acts or omissions of the CITY, its officers, other officials, agents and employees.

Section 15. REMEDIES: Upon a breach of this AGREEMENT, either of the PARTIES may, in law or equity, by suit, action, mandamus or any other proceeding, including specific performance, enforce or compel the performance of this AGREEMENT. Pursuit of any remedy to enforce or compel performance of this AGREEMENT shall not preclude a PARTY from pursuing any other remedy available to it to enforce or compel performance of this AGREEMENT.

Before any failure of any PARTY to this AGREEMENT to perform its obligations under this AGREEMENT shall be deemed to be a breach of this AGREEMENT, the PARTY claiming such failure shall notify, in writing by certified mail, return receipt requested, the PARTY alleged to have to perform and performance shall be demanded.

In the event that either the CITY or the OWNER sue in order to enforce the terms of this AGREEMENT, the prevailing PARTY in any such litigation shall pay all costs and expenses incurred in prosecuting or defending such litigation (including, but not limited to, reasonable attorneys fees and court costs).

Section 16. WAIVER AND SEVERABILITY: No provisions of this AGREEMENT may be waived by any PARTY except by writing signed by that PARTY. If any provision of this AGREEMENT is held invalid, such provision shall be deemed to be excised from this AGREEMENT and the remainder of this AGREEMENT shall continue in full force and effect to the extent possible; provided, however, CITY shall under no circumstances be required to incur any liability, loss or incur any expenses for any reason in the event that such section, paragraph, clause, provision or item is held invalid.

Section 17. NOTICE: Unless otherwise notified in writing, all notices, requests and demands shall be in writing and shall be delivered to or be mailed by certified mail, return receipt requested, as follows:

If to the CITY: City of St. Charles
 2 East Main Street
 St. Charles, IL 60174
 Attention: City Administrator

With copy to: Storino, Ramello & Durkin
 9501 W. Devon Avenue
 Suite 800
 Rosemont, IL 60018

Attention: Nicholas S. Peppers, City Attorney

If to the OWNER: CIMA Developers, LP
30W180 Butterfield Rd.
Warrenville, IL 60555
Attention: Peter M. Spina

The names and addresses provided in this Section may be changed from time to time by notice duly given in compliance with the provisions of this Section.

Section 18. AMENDMENT: This AGREEMENT, and any exhibits or attachments hereto, may be amended from time to time in writing with the consent of the PARTIES hereto.

Section 19. CONVEYANCES: Nothing contained in this AGREEMENT shall be constructed to restrict or limit the right of the OWNER to sell or convey all or any portion of the SUBJECT REALTY, whether improved or unimproved.

Section 20. CAPTIONS AND PARAGRAPH HEADINGS: The captions and paragraph headings used herein are for convenience only and shall not be used in construing any term or provision of this AGREEMENT.

Section 21. RECORDING: This AGREEMENT shall be recorded in the Office of the Recorder of Deeds, Kane County, Illinois, at OWNER'S expense.

Section 22. CHANGES IN REGULATIONS: It is understood and agreed, except as otherwise provided for herein, that the various requirements of the CITY CODE, including all fees and charges provided for therein, shall not be frozen during the term of this AGREEMENT and may, from time to time, be amended, and as amended, shall apply to the SUBJECT REALTY. Notwithstanding the foregoing, it is expressly understood and agreed by the PARTIES that during the term of this AGREEMENT, pursuant to the zoning to be granted hereunder, the OWNER, his successors and assigns shall be permitted to use the SUBJECT REALTY pursuant to the zoning to be granted hereunder.

Section 23. GOVERNING LAW: This AGREEMENT, and the terms and provisions contained herein, shall be construed and governed under the laws of the State Illinois.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the PARTIES have hereunto placed their hands and the CITY its seal on the date first above written.

CITY OF ST. CHARLES, an Illinois municipal corporation

By: _____
Mayor Raymond P. Rogina

ATTEST

By: _____
City Clerk Charles Amenta

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, a Notary Public, in and for the County and State aforesaid, do hereby certify, that Raymond P. Rogina, personally known to me to be the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, a municipal corporation, and Charles Amenta, personally known to me to be the City Clerk of said corporation, and personally known to me to be the same persons whose names are subscribed to the forgoing instrument appeared before me this day in person and severally acknowledged that as such Mayor and City Clerk, they signed and delivered the said instrument and caused the corporate seal of said corporation to be affixed thereto, pursuant to authority given by the City Council of said corporation, as the free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this ____ day of _____, 2020.

Notary Public

OWNER:

CIMA DEVELOPERS, LP
An Illinois Limited Partnership

By _____
PETER M. SPINA

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, a Notary Public, in and for the County and State aforesaid, do hereby certify, that Peter M. Spina, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his free and voluntary act for the uses and purposes therein set forth.

GIVEN under by hand and official seal this ____ day of _____, 2020.

Notary Public

EXHIBIT "A"

LEGAL DESCRIPTION OF SUBJECT REALTY

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

ORDINANCE ANNEXING SUBJECT REALTY

City of St. Charles, Illinois
Ordinance No. 2020-M-

**An Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois
(Pride of Kane County)**

WHEREAS, CIMA Developers, LP (the “Owner”) is the Owner of record of the territory legally described in Exhibit “A” (the “Territory”) and has filed with the City Clerk a written petition, under oath, attached hereto as Exhibit “B” (the “Annexation Petition”) requesting that the Territory therein legally described be annexed into the City of St. Charles, Kane and DuPage Counties, Illinois; said Exhibits “A” and “B” are attached hereto and incorporated herein; and

WHEREAS, said Annexation Petition has been signed by all of the owners of record of the Territory and was signed by at least fifty-one percent (51%) of the electors residing on such Territory; and

WHEREAS, the statutes of the State of Illinois provide that upon the filing of such an Annexation Petition, the corporate authorities of the City may pass an ordinance annexing said Territory to the City, if said ordinance is passed by a majority vote of the corporate authorities; and,

WHEREAS, the Territory is not within the corporate limits of any municipality, but is contiguous to the corporate limits of the City of St. Charles and eligible for annexation thereto; and

WHEREAS, the requirements of the laws of the State of Illinois, specifically 65 ILCS 5/7-1-1 and 5/7-1-8 of the Illinois Municipal Code, as amended, have been satisfied.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That the Territory be and the same is hereby annexed to the City of St. Charles, Kane and DuPage Counties, Illinois, together with all adjacent streets and highways contiguous to said Territory, so that the new boundaries of the Territory annexed shall extend to the far side of said adjacent streets and highways not within the corporate limits of any other municipality.

3. That the Mayor, City Clerk and any other necessary officers of the City are hereby authorized to execute the Plat of Annexation.

4. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be recorded with the Office of the Recorder Deeds, Kane County, Illinois, and filed with the County Clerk of Kane County.

5. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be filed with the postal service branch serving the Territory.

6. That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

7. This Ordinance shall be in full force and effect upon its passage and approval according to law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

ATTEST:

City Clerk

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

EXHIBIT A

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST

DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP
AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT B

PETITION FOR ANNEXATION

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

PETITION FOR ANNEXATION APPLICATION

Received Date
RECEIVED
St. Charles, IL
APR 07 2020
CDD
Planning Division

For City Use	
Project Name:	<u>Pride of Kane County</u>
Project Number:	<u>2019 -PR- 007</u>
Cityview Project Number:	<u>PLA 202000018</u>

Instructions:

To request annexation of property, complete this application and submit it with all required attachments to the Planning Division.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>SEC KIRK RD AND MAIN ST. (IL STATE ROUTE 64)</u>	
	Parcel Number (s):	<u>09-25-100-036</u>	
	Proposed Subdivision Name:	<u>THE PRIDE OF KANE COUNTY</u>	
2. Applicant Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>630.653.1700</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax <u>630.791.8283</u>
			Email <u>dsoltis@cimadevelopers.org</u>
3. Record Owner Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>- SAME -</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax
			Email

Application Checklist

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Refer to attached Schedule of Application Fees (\$500, plus an additional \$500 when an annexation agreement is proposed).
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

- LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper
- PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

ANNEXATION PETITION (Complete either Form #1 for Electors, or Form #2 for No Electors).

Petition to include the following information:

- Addressed to: Mayor and Members of the City Council, City of St. Charles, 2 E. Main Street, St. Charles, Illinois 60174
- A common address of the property and tax parcel number are included in the petition
- Signatures of all of the owners of record of the territory to be annexed and also by the majority of electors, if any, residing in the territory. Petition shall be signed under oath.

□ ONE MYLAR PRINT OF THE PLAT OF ANNEXATION.

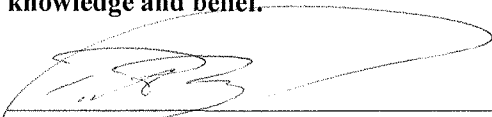

The Plat shall contain the following information:

- Survey of property to be annexed
- Legal description of property to be annexed
- Present corporate limits
- Number of acres to be annexed
- Name and address of person who prepared plat
- Indicate that the new boundary shall extend to the far side of any adjacent highway and shall include all of every highway within the area annexed.
- Certificate for signature by Mayor and the City Clerk as follows:

This is to certify that this Accurate Map of Territory Annexed is identified as that incorporated into and made a part of the City of St. Charles Ordinance No. _____ adopted by the City Council of said City on the _____ day of _____, 20_____.

By: _____ Attest: _____
Mayor City Clerk

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 _____ Record Owner	 _____ Applicant or Authorized Agent	4/1/20 _____ Date	3-29-20 _____ Date
-------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------	-------------------------	--------------------------



CIMA DEVELOPERS, LP

30W180 Butterfield Road
Warrenville, IL 60555
O: (630) 653-1700
F: (630) 791-8283

October 22, 2019

City of St. Charles
Community and Economic Development/Planning Division
Two East Main Street
St. Charles, IL 60174-1984

RE: The PRIDES Stores- SEC Kirk Road & E. Main Street (IL Rt 64) – Consent Authorization to proceed with Zoning Application

To Whom It May Concern:

I, Peter M. Spina, authorized agent of CIMA Developers, LP, the Owner of the subject property, approximately 2.38 acres located at the Southeast Corner of Kirk Road and E. Main Street (IL RT 64), St. Charles, IL give my consent to Dan Soltis of CIMA Developers, LP to apply and proceed with any City zoning proceedings necessary in relation to the accompanying Zoning Applications.

Regards,

Peter M. Spina
Authorized Agent
CIMA Developers, LP

OWNERSHIP DISCLOSURE FORM

OWNER: CIMA Developers Limited Partnership

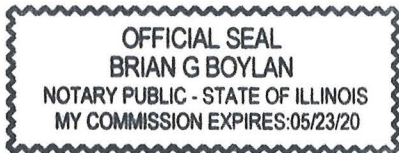


By: Peter M. Spina, sole managing member of
Angel Associates LLC, general partner

STATE OF ILLINOIS)
)SS
COUNTY OF DuPage)

I, Brian G. Boylan, a Notary Public in and for the County and State aforesaid, DO
HEREBY CERTIFY that Peter M. Spina, personally known to me to be the managing member of Angel
Associates LLC, the general partner of Cima Developers Limited Partnership, and personally known to
me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this
day in person and acknowledged that as such managing member, he signed and delivered such
instrument, as his free and voluntary act and deed, and as the free and voluntary act and deed of Angel
Associates LLC, the general partner of such Limited Partnership, for the uses and purposes therein set
forth.

Given under my hand and official seal this 1 day of April, 2020



Brian G. Boylan
Notary Public

My Commission Expires: _____

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

BEFORE THE MAYOR AND CITY COUNCIL
OF THE CITY OF ST. CHARLES, ILLINOIS

PETITION FOR ANNEXATION

The undersigned Petitioners hereby respectfully petition to annex to the City of St. Charles, Kane and DuPage Counties, Illinois, the territory described as follows:

See Exhibit "A" attached hereto and made a part hereof

Commonly know as: SEE ATTACHED LEGAL DESCRIPTION

Parcel Number(s): 09-25-100-036

And under oath state (s) as follows:


1. Your undersigned Petitioner (s) is (are) the sole owner (s) of record of the territory hereinbefore described, and *have) (has) also executed this Petition as such owner.
2. The territory hereinbefore described is not within the corporate limits of any municipality.
3. The territory hereinbefore described is contiguous to the City of St. Charles, Kane and DuPage Counties, Illinois.
4. There are no electors residing within the territory hereinbefore described.

WHEREFORE, Petitioner(s) respectfully request(s) that the corporate authorities of the City of St. Charles, Kane and DuPage Counties, Illinois, annex the territory hereinbefore described to said City in accordance with the provisions of the Petition and in accordance with law.

The undersigned petitioner(s) and elector(s), being first duly sworn on oath, state(s) that the statements set forth in the petition for annexation above are true and correct.

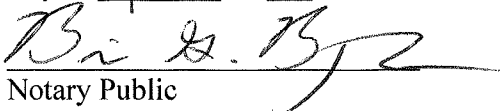
Dated this 14 day of April, 2020.

OWNER(S)

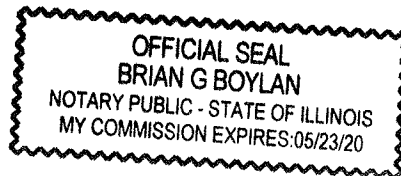


PETER M. SPINA

Subscribed and sworn to
Before me this 14th
Day of April, 2020



Notary Public



Legal Description
SEC Kirk Road & Main St. (IL State Route 64)

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

Permanent Tax No: 09-25-100-036

EXHIBIT "C"

PUD ORDINANCE

City of St. Charles, Illinois
Ordinance No. 2020-Z-

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development and PUD Preliminary Plan for
Pride of Kane County**

WHEREAS, on or about April 7, 2020, CIMA Developers, LP (the “Applicant”) filed petitions for: 1) Map Amendment from RE-1 Single-Family Estate District to BR Regional Business District; 2) Special Use for Planned Unit Development; and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of developing a gas fueling facility, convenience store, and car wash; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about June 18, 2020 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 7, 2020, July 21, 2020 and August 4, 2020 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan petitions on or about August 4, 2020; and,

WHEREAS, the Planning & Development Committee of the City Council reviewed said petitions on or about August 10, 2020 and September 14, 2020, and, on or about November 9, 2020, voted on a motion to recommend approval of said petitions, and said motion to recommend approval failed; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RE-1 Single-Family Estate District to the BR Regional Business District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Plat of Subdivision; WT Group; revisions dated 6/3/2020
- Preliminary Engineering Plans; WT Groups; revisions dated 6/8/2020 [Sheets C-2.0, C-8.0, C-9.0 revised 6/29/2020]
- Landscape Plan; Heller & Associates; revisions dated 8/3/2020
- Lighting Plan; LSI; revisions dated 6/16/2020
- Building Elevations; Arch7; not dated
- Canopy Elevations; dated 6/18/2020
- Signage Plan; Parvin-Clauss Sign Company; revisions dated 6/19/2020

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the BR Regional Business District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Stormwater Management: Per Title 18 of the St. Charles Municipal Code, “Stormwater”, Section 18.04.010 – Stormwater Management Ordinance - Adopted – Modifications, Subsection P’, the Subject Property was exempted from the 2019 revisions to the Kane County Stormwater Ordinance. The Subject Property may be developed in conformance with the approved PUD Preliminary Plan irrespective of the expiration of said exemption.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "B"

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The intended use is consistent with the other retail business uses along Kirk Rd. and along E. Main St.

2. The extent to which property values are diminished by the existing zoning restrictions.

Property values will not be affected. The intended use is consistent with all nearby uses.

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The property value will not be diminished, and in fact will provide an added amenity and convenience to the surrounding city and community.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The subject property's current zoning does not allow for our intended use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

This property has been vacant for a substantial amount of time.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

The intended use is consistent with development trends and all neighboring uses.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

Our intended use is consistent with the Comprehensive Plan.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

Per Title 17 of the City Code, unless otherwise requested, land being annexed is automatically zoned RE-1 Single-Family Estates District. BR zoning is requested to accommodate the proposed commercial development.

9. The extent to which the proposed amendment creates nonconformities.

The proposed development will only require paving setback and off-site sign deviations. Other than that, the development will comply with zoning requirements.

10. The trend of development, if any, in the general area of the property in question.

The intended use is consistent with the other retail business uses.

EXHIBIT “C”

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

We believe that the proposed development advances many of the purposes of the Planned Unit Development as outlined and stated in Section 17.04.400.A.

The architectural building design will provide a unique and distinctive look that will include “barn” like features that will capture the historic essence of the property.

New sidewalks are proposed along the entire west and north property lines to connect existing sidewalk structures along Kirk Rd. and Main St. to help promote pedestrian traffic and physical activity.

This property has remained undeveloped for a very long time and the proposed development allows for and encourages and promotes economic growth and efficient land use.

This development includes a reciprocal easement agreement with the neighboring property owner (Main Street Commons) which allows for cross-access service roads and shared stormwater detention.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

The following factors below per Section 17.04.400.B are highlighted to justify relief from certain zoning requirements:

- The PUD will provide superior landscaping and buffering as allowed by the site parameters.
- The buildings within the PUD will be unique and distinctive in nature, capturing historic features.
- The buildings will be built with energy efficiency guidelines and site design.
- The development will be designed with shared detention with Main Street Commons.

Zoning deviations for the following are being requested: paving setbacks, off-site signage, convenience store building signage, freestanding sign setback, building foundation landscape, carwash stacking requirement.

iii. **The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Yes. The proposed development will serve as a public convenience and an added amenity. The development will offer fueling, convenience store, quick service restaurant and carwash.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Yes. The proposed development has sufficient infrastructure required to develop. Utilities, added service roads, and adequate on-site and off-site detention are being provided.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The development is consistent and compatible with surrounding land uses and will not affect nearby property in any way.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The development will not impede the normal and orderly development and improvement of the surrounding property and will complete the needed development at that particular property location in a manner that is consistent and compatible with surrounding and neighboring property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

No. The proposed development will not pose any detriment to or endanger the public health, safety, comfort or general welfare.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Yes. The development will be built to conform to all applicable codes and ordinances and meets all applicable provisions, except as may be varied pursuant to a Special Use for PUD.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Yes. The proposed development will provide an added and substantial tax base to the City, improving the overall economic well-being of the City.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

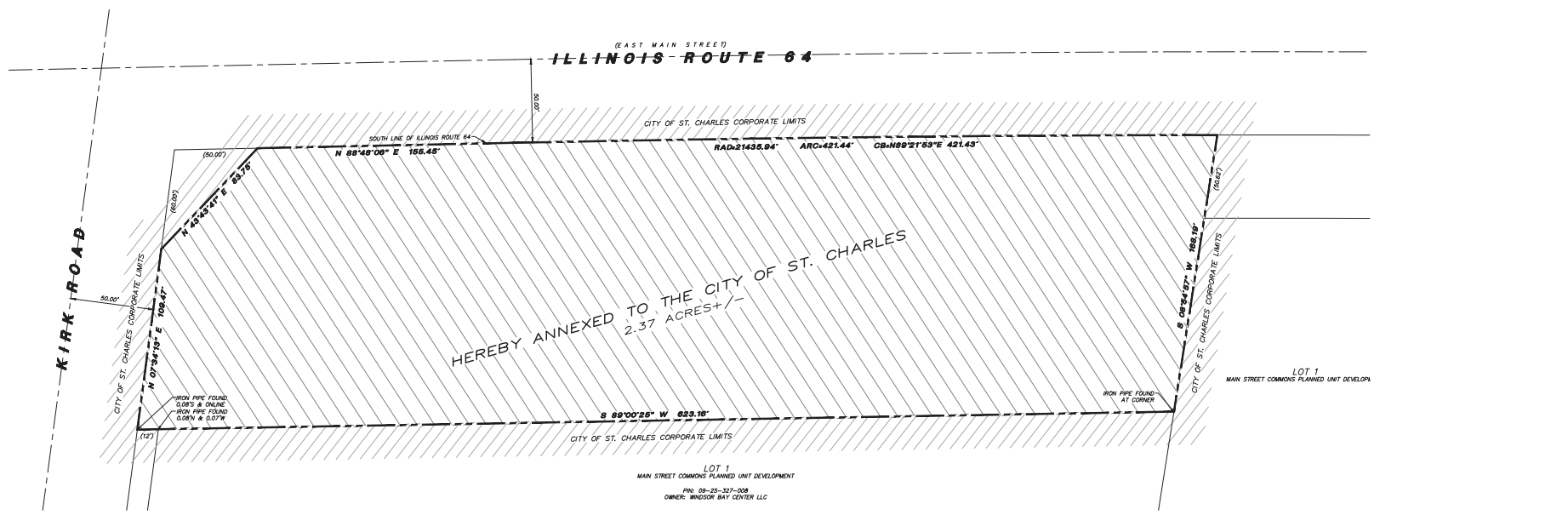
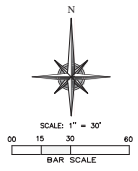
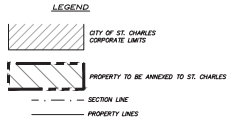
Yes. The proposed development is in conformance with the goals, objectives and policies of the adopted City of St. Charles Comprehensive Plan.

EXHIBIT "D"

**PUD PRELIMINARY PLAN
(45 pages)**

PLAT OF ANNEXATION TO THE CITY OF ST. CHARLES

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 16 DEGREES EAST 20.84 CHAINS; THENCE NORTH 7 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.38 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES HERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.78 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 10.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 48 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.28 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE 'ST. CHARLES' ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN INTERIOR ANGLE OF 216 DEGREES 08 MINUTES 59 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.



CITY COUNCIL CERTIFICATE
 STATE OF ILLINOIS)
 COUNTY OF KANE)
 THIS IS TO CERTIFY THAT THIS ACCURATE MAP OF TERRITORY ANNEXED IS IDENTIFIED AS THAT INCORPORATED INTO AND MADE PART OF THE CITY OF ST. CHARLES ORDINANCE NO. _____, ADOPTED BY THE CITY COUNCIL OF SAID CITY ON THE DAY OF _____, A.D., 20__.

BY: _____ ATTEST: _____
 MAYOR CITY CLERK

KANE COUNTY CLERK'S CERTIFICATE
 STATE OF ILLINOIS)
 COUNTY OF KANE)
 I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.
 I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT.
 GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF KANE COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D., 20__.

COUNTY CLERK

OWNER'S CERTIFICATE
 STATE OF _____)
 COUNTY OF _____)
 THIS IS TO CERTIFY THAT CIMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.
 DATED THIS _____ DAY OF _____, A.D., _____

BY: _____
 PRINT NAME: _____
 ADDRESS: _____

NOTARY CERTIFICATE
 STATE OF _____)
 COUNTY OF _____)
 I HEREBY CERTIFY THAT THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE ARE KNOWN TO ME AS SUCH OWNERS.
 GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D., _____

NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

- NOTES:**
1. PERMANENT INDEX NUMBER (P.I.N.) #J-09-25-100-038
 2. PROPERTY AREA: 103,407 SQUARE FEET / 2.37 ACRES MORE OR LESS.
 3. BASE OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 109 ZONE.
 4. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

SURVEYORS CERTIFICATE
 STATE OF ILLINOIS)
 COUNTY OF COOK)
 THIS IS TO CERTIFY THAT I, FRANJO L. MATIQC, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2556, HAVE PREPARED THIS PLAT FROM EXISTING PLATS AND RECORDS FOR THE PURPOSE OF ANNEXATION TO THE CITY OF ST. CHARLES, ILLINOIS, AS SHOWN BY THE PLAT HEREON DRAWN. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 GIVEN UNDER OUR HAND AND SEAL THIS _____ DAY OF _____, A.D., _____ AT HOFFMAN ESTATES, ILLINOIS

THE W-T GROUP, LLC
 FOR REVIEW 06/02/20

FRANJO L. MATIQC - PLS #035-003566 EXPIRES 11/30/2016
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004587

WT GROUP
 EXPERTS IN THE DESIGN, CONSTRUCTION AND FINANCING OF
 2075 Franklin Avenue, Naperville, Illinois, IL 60563
 TEL: 630.205.0000 FAX: 630.205.0444
 WWW.WTGROUP.COM
 E: info@wtgroup.com
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WT Group
 Engineering Design & Construction

PLAT OF ANNEXATION
 PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS

CIMA DEVELOPERS
 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

ISSUE

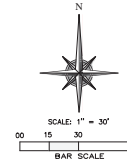
TO	DATE
CLIENT	1/13/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	6/02/20

CHECKFIRM
 DRAWN:KCH
 JOB: 1910803C

ANNEX-1
 SHEET 1 OF 1
 PLAT OF ANNEXATION

PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

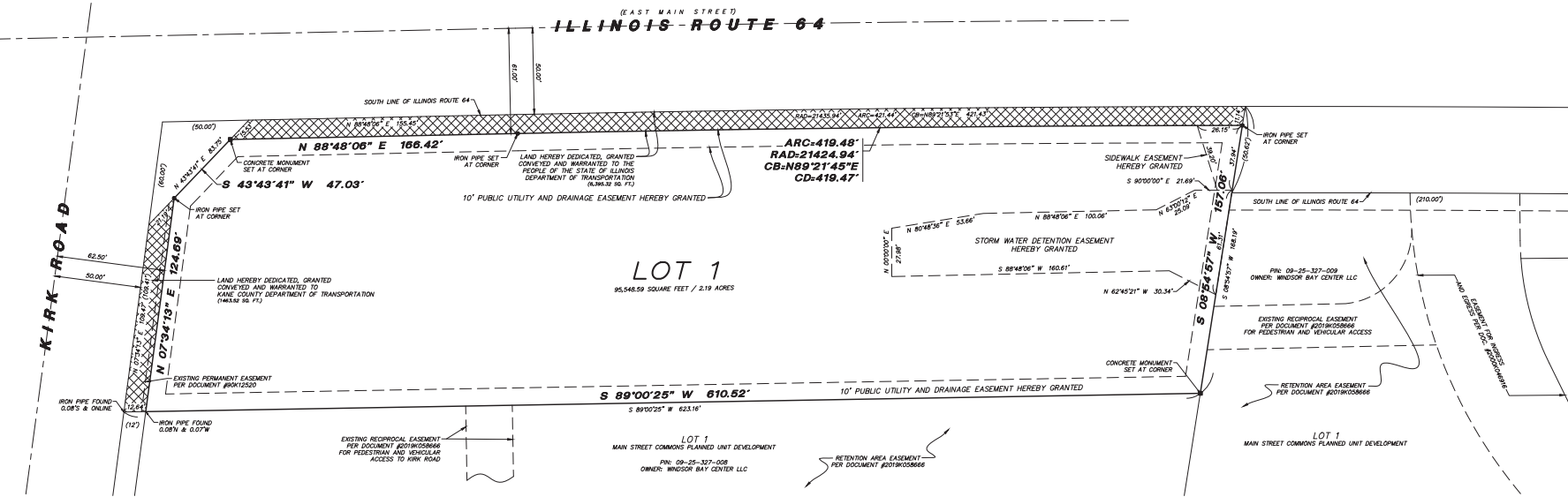


PIN NUMBER:
09-25-100-036
AFTER RECORDING RETURN TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174
PROPERTY OWNER:
CIMA DEVELOPERS, LP
30840 BUTTERFIELD ROAD
WARRENVILLE, IL 60555
SUBDIVIDER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-224-6333
DESIGNER/ENGINEER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-224-6333

- LEGEND**
- PROPERTY LINE
 - UNDERLINE OF RIGHT OF WAY
 - UNDERLYING PROPERTY LINES
 - SET CONCRETE MONUMENT / SET IRON PIPE
 - RECORD PROPERTY DIMENSIONS
 - RIGHT OF WAY (HEREBY DEDICATED)

NOTES:

1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
2. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



OWNER'S CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT CIMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.

THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, TO THE BEST OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

DATED THIS _____ DAY OF _____ A.D. _____

BY: _____

PRINT NAME: _____

ADDRESS: _____

NOTARY CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. _____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____ A.D. _____ BY THE COUNCIL OF THE CITY OF ST. CHARLES.

MAYOR _____

CITY CLERK _____

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT _____

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____, D. 20____

SPECIAL ASSESSMENT CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THERE ARE NO SELINOQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS _____

DATED AT ST. CHARLES, ILLINOIS, THIS _____ DAY OF _____ A.D. _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED BY THE PLAN COMMISSION OF THE CITY OF ST. CHARLES.

THIS _____ DAY OF _____ A.D. _____

CHAIRMAN _____

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO §2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

ANTHONY J. QUIGLEY P.E.
REGION ONE ENGINEER

ILLINOIS DEPARTMENT OF TRANSPORTATION DEDICATION DESCRIPTION

TO BE CREATED AFTER REVIEW

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE
THE PROPOSED DEDICATION TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION IS HEREBY ACCEPTED.
BY: ANTHONY J. QUIGLEY P.E. DATE: _____ 20____
REGION ONE ENGINEER

WT GROUP
Engineering and Professional, Public and Private
2875 Prairie Avenue (Hoffman Estates, IL 60192)
TEL: 224-224-6333
FAX: 224-224-6333
www.wtgroup.com

WT Group
Engineering & Design Community

PLAT OF SUBDIVISION
PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

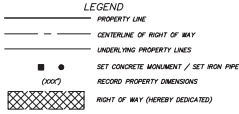
TO	DATE
CLIENT	1/10/23
CLIENT	2/11/23
CLIENT	2/14/23
CLIENT	3/9/23
CLIENT	3/16/23
CLIENT	6/30/23

CHECK/FIRM
DRAWN/KCH
JOB: 1910803C

SUB-1
SHEET 1 OF 2
PLAT OF SUBDIVISION

PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



PIN NUMBER:
 09-25-100-036
 AFTER RECORDING RETURN TO:
 CITY OF ST. CHARLES
 2 E. MAIN STREET
 ST. CHARLES, IL 60174

PROPERTY OWNER:
 CMA DEVELOPERS, LP
 300W BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

SUBDIVIDER:
 THE W-T GROUP, LLC
 2675 PRATIUM AVE.
 HOFFMAN EST., IL 60192
 224-293-6333

DESIGNER/ENGINEER:
 THE W-T GROUP, LLC
 2675 PRATIUM AVE.
 HOFFMAN EST., IL 60192
 224-293-6333



WT GROUP
 CIVIL ENGINEERING & SURVEYING
 PLAT OF SUBDIVISION
 PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS

CIMA DEVELOPERS
 300W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

ISSUE

TO	DATE
CLIENT	9/10/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	3/9/20
CLIENT	3/16/20
CLIENT	6/13/20

CHECK/FM
 DRAWN/RCH
 JOB: 1910803C

FOR REVIEW 06/03/20
 FRANJO L MATIAC - PLS #025-003556 EXPIRES 11/26/2020
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007670-0015

SUB-2
 SHEET 2 OF 2
 PLAT OF SUBDIVISION

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

STATE OF ILLINOIS)
) SS
 COUNTY OF KANE)

COUNTY RECORDER'S CERTIFICATE

THE UNDERSIGNED AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE ____ DAY OF _____ A.D. 20____ AT ____ O'CLOCK ____.

RECORDER OF DEEDS _____

PLEASE PRINT/TYPE NAME _____

STATE OF ILLINOIS)
) SS
 COUNTY OF KANE)

COUNTY ENGINEER'S CERTIFICATE

THIS PLAT HAS BEEN APPROVED BY THE KANE COUNTY ENGINEER WITH RESPECT TO ROADWAY ACCESS TO _____ PURSUANT TO ILCS CHAPTER 765 PARAGRAPH 205/2, DATED THIS _____ DAY OF _____ A.D. 20____.

COUNTY ENGINEER _____
 DATED AT _____, ILLINOIS, THIS ____ DAY OF _____, D. 20____.

STATE OF ILLINOIS)
) SS
 COUNTY OF KANE)

COUNTY CLERK'S CERTIFICATE

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.

I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF KANE COUNTY, ILLINOIS,

THIS ____ DAY OF _____, A.D. 20____.

COUNTY CLERK _____

STATE OF ILLINOIS)
) SS
 COUNTY OF KANE)

COUNTY RECORDER'S CERTIFICATE

THE UNDERSIGNED AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS ON THE ____ DAY OF _____ A.D. 20____ AT ____ O'CLOCK ____.

RECORDER OF DEEDS _____

PLEASE PRINT/TYPE NAME _____

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERTECH AND INCOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HERON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REPAIRING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOVES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR UNDER, UNDER, OR THROUGH SAID EASEMENTS, NO PERMANENT BUILDINGS, TREES, GARDENS, DRIVERS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES. FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SOFTABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

STORM WATER MANAGEMENT EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HERON DRAIN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, REPAIRING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION. THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BORING ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS, NO PERSON SHALL DESTROY OR MONKEY OR OTHERWISE AFFECT THE DETENTION VOLUME WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

SURVEYORS CERTIFICATE

STATE OF ILLINOIS)
) SS
 COUNTY OF COOK)

THIS IS TO STATE THAT I, FRANJO L MATIAC, ILLINOIS PROFESSIONAL LAND SURVEYORS #025-003556, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.84 CHAINS; THENCE NORTH 77 DEGREES WEST 14.25 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.98 CHAINS; THENCE NORTH 89 DEGREES EAST 3.38 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAIN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.9 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID PARALLEL LINE; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. #45) THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 104.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 30 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT AND ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION; ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT I WILL SET ALL SUBDIVISION MONUMENTS AND HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (705 ILCS 200/7). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

ACCORDING TO OUR INTERPOLATION OF THE FLOOD INSURANCE RATE MAP THIS SITE FALLS WITHIN PANEL NO. 1709802072A DATED 6/3/2020. THIS PANEL IS NOT PRINTED.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____ A.D. _____ AT HOFFMAN ESTATES, ILLINOIS.

THE W-T GROUP, LLC

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

THE PRIDE OF KANE COUNTY 33W573 EAST MAIN STREET SAINT CHARLES, ILLINOIS 60174

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	06-08-20
C-1.0	SITE DEMOLITION PLAN	06-08-20
C-2.0	SITE GEOMETRIC PLAN	06-08-20
C-3.0	SITE DEVELOPMENT PLAN	06-08-20
C-3.1 - C-3.3	SITE DEVELOPMENT DETAILS	06-08-20
C-4.0 - C-4.1	SITE GRADING PLAN	06-08-20
C-5.0	SITE UTILITY PLAN	06-08-20
C-5.1 - C-5.3	SITE UTILITY DETAILS	06-08-20
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	06-08-20
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	06-08-20
C-7.0 - C-7.1	PROJECT SPECIFICATIONS	06-08-20
C-8.0	FIRE APPARATUS CIRCULATION PLAN	06-08-20

SURVEY DRAWING INDEX		
SHEET	DESCRIPTION	DATE
SUR-1	TOPOGRAPHIC SURVEY (PREPARED BY THE W-T GROUP)	03-12-19

BENCHMARKS:
 SITE BENCHMARK #1 - SET CROSS ON SSE BOLT OF HYDRANT LOCATED IN GRASS APPROXIMATELY 6.8' S OF EAST MAIN STREET AND 76.4' E OF M4 #6, AS SHOWN ON SHEET SUR-2. ELEVATION=104.79' (NAVD88)
 SITE BENCHMARK #2 - SET CROSS ON CONCRETE SIDEWALK LOCATED APPROXIMATELY 25.3' ESE OF KIRK ROAD AND 22.8' SWH OF ENTRANCE, AS SHOWN ON SHEET SUR-2. ELEVATION=104.23' (NAVD88)
 SITE BENCHMARK #3 - SET CROSS IN WALK LOCATED 39' EAST OF FOND AND 200 FEET SOUTH OF ROUTE 64 ON WEST SIDE OF DRIVE, AS SHOWN ON SHEET SUR-3. ELEVATION=104.12' (NAVD88)



SCALE 1"=1000'
 SECTION 25
 TOWNSHIP 40N
 RANGE 8E
 MAP DATA © 2019 G006LLE

CIVIL ENGINEERING STATEMENT AND SEAL

I, TODD ABRAMS, P.E. DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF TRANSPORTATION AND PROFESSIONAL REGULATION DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (IAC 140-1.0-25) AND THE ILLINOIS ACCESSIBILITY CODE (11 ILL. ADM. CODE 400).

DATE: 6-8-20

TODD ABRAMS
 TODD ABRAMS - ILLINOIS P.E. # 0621-064600
 DATE OF EXPIRATION - NOVEMBER 30, 2021
 NOTE: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH C-7.1



NOTE: TOTAL PROPERTY AREA: 2.31 ACRES
 NOTE: TOTAL DISTURBED AREA: 2.69 ACRES
 NOTE: ALL SURROUNDING PROPERTIES ARE COMMERCIAL LAND USE

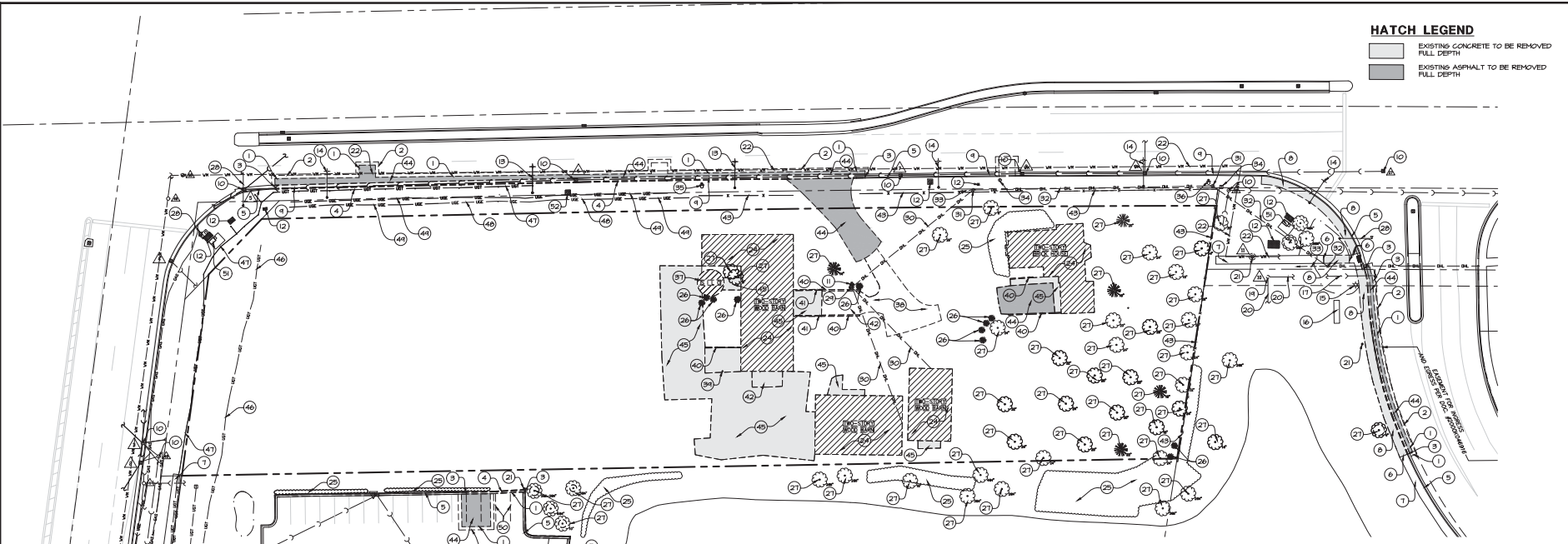
TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/15/20
REV. SITE	6/8/20

CHECKED: TGA
 DRAWN: TEP
 JOB: 1910803C

TO	DATE
REV. SITE	6/15/11
REV. SITE	6/26/11
REV. SITE	1/13/12
REV. SITE	2/4/12
REV. SITE	2/14/12
REV. SITE	3/16/12
REV. SITE	6/30/12

HATCH LEGEND

- EXISTING CONCRETE TO BE REMOVED FULL DEPTH
- EXISTING ASPHALT TO BE REMOVED FULL DEPTH



PROJECT NOTES

1. FULL DEPTH SAUCUIT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW 2' WIDE BUTT JOINT.
3. SAUCUIT OF EXISTING CONCRETE CURB & GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. EXISTING CURB & GUTTER TO BE REMOVED.
5. EXISTING CONCRETE SIDEWALK TO REMAIN.
6. SAUCUIT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
7. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
8. EXISTING STORM SEWER TO REMAIN. VERIFY UPSTREAM END OF THE SEWER AND CONTACT THE ENGINEER WITH ANY CONFLICTS.
9. EXISTING STORM STRUCTURE TO REMAIN.
10. EXISTING ELECTRIC METERS TO BE REMOVED.
11. EXISTING STREET LIGHT TO REMAIN.
12. EXISTING HANDLEHOLE TO REMAIN.
13. EXISTING STREET LIGHT TO BE RELOCATED.
14. EXISTING AREA LIGHT TO REMAIN.
15. EXISTING AREA LIGHT TO BE REMOVED.
16. EXISTING ID SIGN TO REMAIN.
17. EXISTING SANITARY SEWER TO REMAIN.
18. EXISTING SANITARY STRUCTURE TO REMAIN.
19. EXISTING SANITARY SEWER TO BE REMOVED AS NECESSARY TO COMPLETE DETENTION POND CONSTRUCTION.
20. EXISTING WATER VALVE TO REMAIN.
21. EXISTING WATER MAIN TO REMAIN.
22. EXISTING BUILDING TO REMAIN.
23. EXISTING BRUSH AREA TO BE REMOVED.
24. EXISTING BRUSH AREA TO BE REMOVED.
25. EXISTING BRUSH AREA TO BE REMOVED.
26. EXISTING TREE TO BE REMOVED.
27. EXISTING TREE TO BE REMOVED.
28. EXISTING TRAFFIC SIGNAL TO REMAIN.
29. EXISTING UTILITY POLE TO BE REMOVED.
30. EXISTING OVERHEAD ELECTRIC TO BE REMOVED.
31. EXISTING UTILITY POLE TO REMAIN.
32. EXISTING GUY WIRE ANCHOR TO REMAIN.
33. EXISTING OVERHEAD ELECTRIC TO REMAIN.
34. EXISTING FIRE HYDRANT AND AUXILIARY VALVE TO BE REMOVED.
35. EXISTING FIRE HYDRANT AND AUXILIARY VALVE TO BE REMOVED.
36. EXISTING FIRE HYDRANT TO REMAIN.
37. EXISTING SULO TO BE REMOVED.
38. EXISTING GRAVEL TO BE REMOVED FULL DEPTH.
39. EXISTING WOOD POST TO BE REMOVED.
40. EXISTING SANITARY STRUCTURE TO BE REMOVED.
41. EXISTING HANDRAIL TO BE REMOVED.
42. EXISTING FENCE TO BE REMOVED.
43. EXISTING FENCE TO BE REMOVED.
44. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF PROPOSED PAVEMENT CROSS SECTION PROPOSED SUBGRADE ELEVATION. SEE THE CONSTRUCTION DETAILS FOR THE PROPOSED PAVEMENT CROSS SECTIONS.
45. EXISTING CONCRETE SIDEWALK TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTION. PROPOSED SUBGRADE ELEVATION. SEE THE CONSTRUCTION DETAILS FOR THE PROPOSED PAVEMENT CROSS SECTIONS.
46. EXISTING TELEPHONE LINE TO BE REMOVED.
47. EXISTING TELEPHONE LINE TO REMAIN.
48. EXISTING ELECTRIC LINE TO BE REMOVED AND RELOCATED.
49. EXISTING ELECTRIC LINE TO REMAIN.
50. EXISTING PAVEMENT STRIPINGS TO BE COVERED BY NEW PAVEMENT SEALCOAT FORMS FOR THE DURATION OF CONSTRUCTION.
51. EXISTING TRAFFIC CONTROL BOX TO REMAIN.
52. EXISTING HANDLEHOLE TO BE REMOVED.

SITE DEMOLITION NOTES:

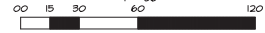
- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORTS.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURBS AND GUTTERS AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAO COMPANY PRIOR TO DEMOLITION LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- K. CONTRACTOR SHALL OBTAIN PERMITS AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE.
- L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY FITNESS THE PROOF ROLL. PROOF-ROLLING SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS FROM THE TOPOGRAPHIC SURVEY LAST DATED 03-12-11, PREPARED BY THE WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. SEE SHEET SURV FOR TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY LOCATIONS.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.
- S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG MIN NON-SINKING CONCRETE MORTAR FLUGS AT BOTH ENDS.

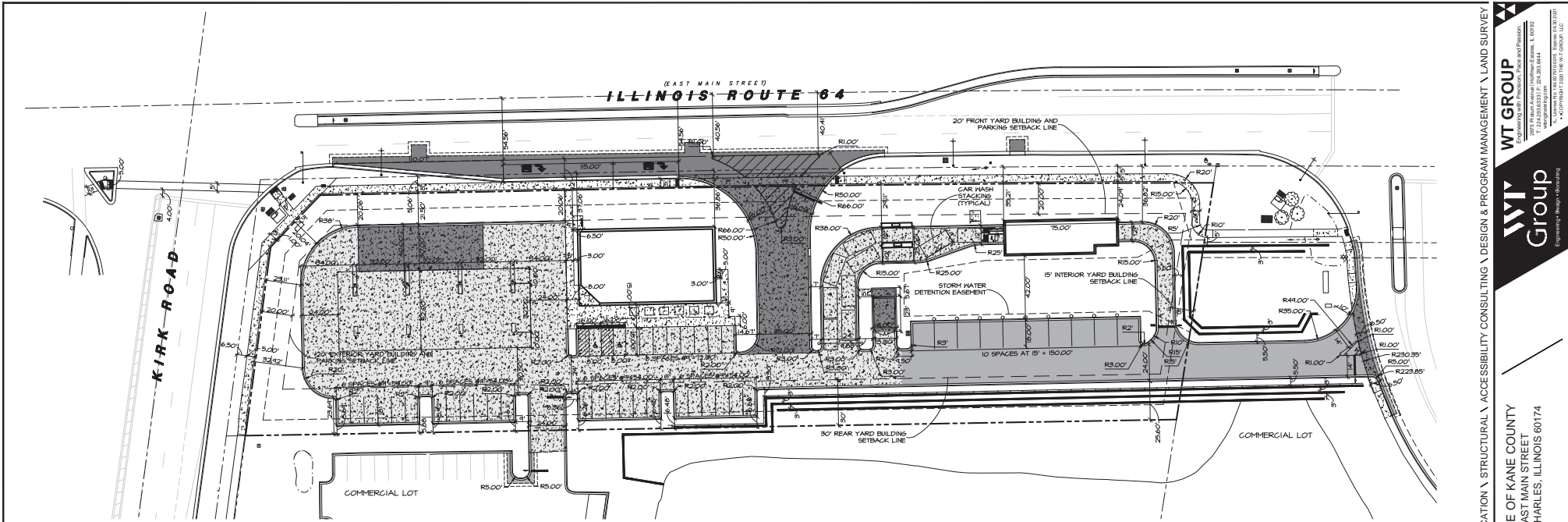
DEMOLITION LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD LINES
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING FIBER OPTIC LINE
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING UTILITY PEDESTAL
- EXISTING TELCO POLE W/ GUY WIRE

EXISTING UTILITY DATA

Rm=78165 (SANITARY) 48" CONCRETE STRUCTURE N=77157 (UNKNOWN N/S) N=77156 (15' ROP N) NO FLOW METERED	Rm=78167 (STORM) 48" CONCRETE STRUCTURE N=77158 (15' ROP N) N=77159 (15' ROP E) TOP OF MAN=77728	Rm=78168 (STORM) 48" CONCRETE STRUCTURE N=78181 (15' ROP W) N=78182 (15' ROP N) N=78183 (15' ROP E) N=78184 (15' ROP E)	Rm=78169 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)
Rm=78170 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)	Rm=78171 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)	Rm=78172 (STORM) 48" CONCRETE STRUCTURE N=78181 (15' ROP W) N=78182 (15' ROP N) N=78183 (15' ROP E) N=78184 (15' ROP E)	Rm=78173 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)
Rm=78174 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)	Rm=78175 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)	Rm=78176 (STORM) 48" CONCRETE STRUCTURE N=78181 (15' ROP W) N=78182 (15' ROP N) N=78183 (15' ROP E) N=78184 (15' ROP E)	Rm=78177 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)
Rm=78178 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)	Rm=78179 (STORM) 48" CONCRETE STRUCTURE N=77157 (P/C NW) N=77156 (15' ROP N) N=77157 (15' ROP E) N=77158 (15' ROP SE) N=77159 (15' ROP SE)	Rm=78180 (SANITARY) 48" CONCRETE STRUCTURE N=78199 (15' CLAY S) N=78198 (15' CLAY S)	Rm=78181 (STORM) 48" CONCRETE STRUCTURE TOP OF PIPE=78708.52 (PT E/W)





HATCH LEGEND

	NEW ASPHALT PAVEMENT
	NEW IL ROUTE 64 ASPHALT PAVEMENT
	NEW 5' CONCRETE SIDEWALK
	NEW 6' CONCRETE PAVEMENT
	NEW 8' CONCRETE PAVEMENT

NONRESIDENTIAL ZONING COMPLIANCE TABLE
Name of Developer: PRIDE OF KANE COUNTY

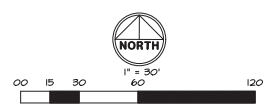
	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR-REGIONAL BUSINESS	Ordinance #:	
Minimum Lot Area	1 ACRE		2.37 ACRES
Minimum Lot Width	NONE		NONE
Maximum Building Coverage	50%		17%
Maximum Gross Floor Area per Building	NONE	BUILDING 1-4,500 S.F. BUILDING 2-1,650 S.F.	
Maximum Building Height	40 FEET		20 FEET
Front Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1-25.86 FT, BLDG 2-23.09 FT PARKING 30.81 FEET, 37.86 FEET
Interior Side Yard	BUILDING-15 FEET PARKING-NONE		BLDG 1-39.03 FT, BLDG 2-55.13 FT PARKING-27.09 FT, PARKING-30.93 FT
Exterior Side Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1-205.66 FT, BLDG 2-481.28 FT PARKING-61.96 FEET, 42.51 FEET
Minimum Rear Yard	BUILDING-30 FEET PARKING-0 FEET		BLDG 1-41.28 FT, BLDG 2-109.27 FT PARKING-57.1 FT
Landscape Buffer Yard ^a	NOT REQUIRED		NOT REQUIRED
% Overall Landscaped Area	20% WITH ON SITE STORM		17% WITH ON SITE STORM
Building Foundation Landscaping	50% HORIZONTAL DIMENSIONS OF BUILDING		BUILDING 1-50% BUILDING 2-100%
% Interior Parking Lot Landscaping	NOT AVAILABLE		NOT AVAILABLE
Interior Parking Lot Shade Trees	NOT AVAILABLE		NOT AVAILABLE
# of Parking spaces	CARWASH-7 PER PER Y-10 RETAIL BUILDING-4 PER 1,000 S.F.-17 SPACES		CARWASH-10 SPACES + 10 STACKING RETAIL BUILDING-34

- SITE GEOMETRIC NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 12-26-14, PREPARED BY THE H-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
 - ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
 - SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
 - CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
 - CONTRACTOR SHALL CONTACT JILLIE (811 OR 1-800-842-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
 - ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
 - ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

CALL JILLIE
811 OR TOLL FREE (800)842-0123 OPERATES
24 HOURS A DAY 365 DAYS A YEAR



CALL 1-800-842-0123
48 HOURS BEFORE YOU DIG
CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.



WT GROUP
ENGINEERING & DESIGN
1224 S. 103RD ST. SUITE 200
MILWAUKEE, WI 53228
TEL: 414.353.1000 FAX: 414.353.1001
WWW.WTGROUP.COM

WT Group
Engineering • Design • Consulting

THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174

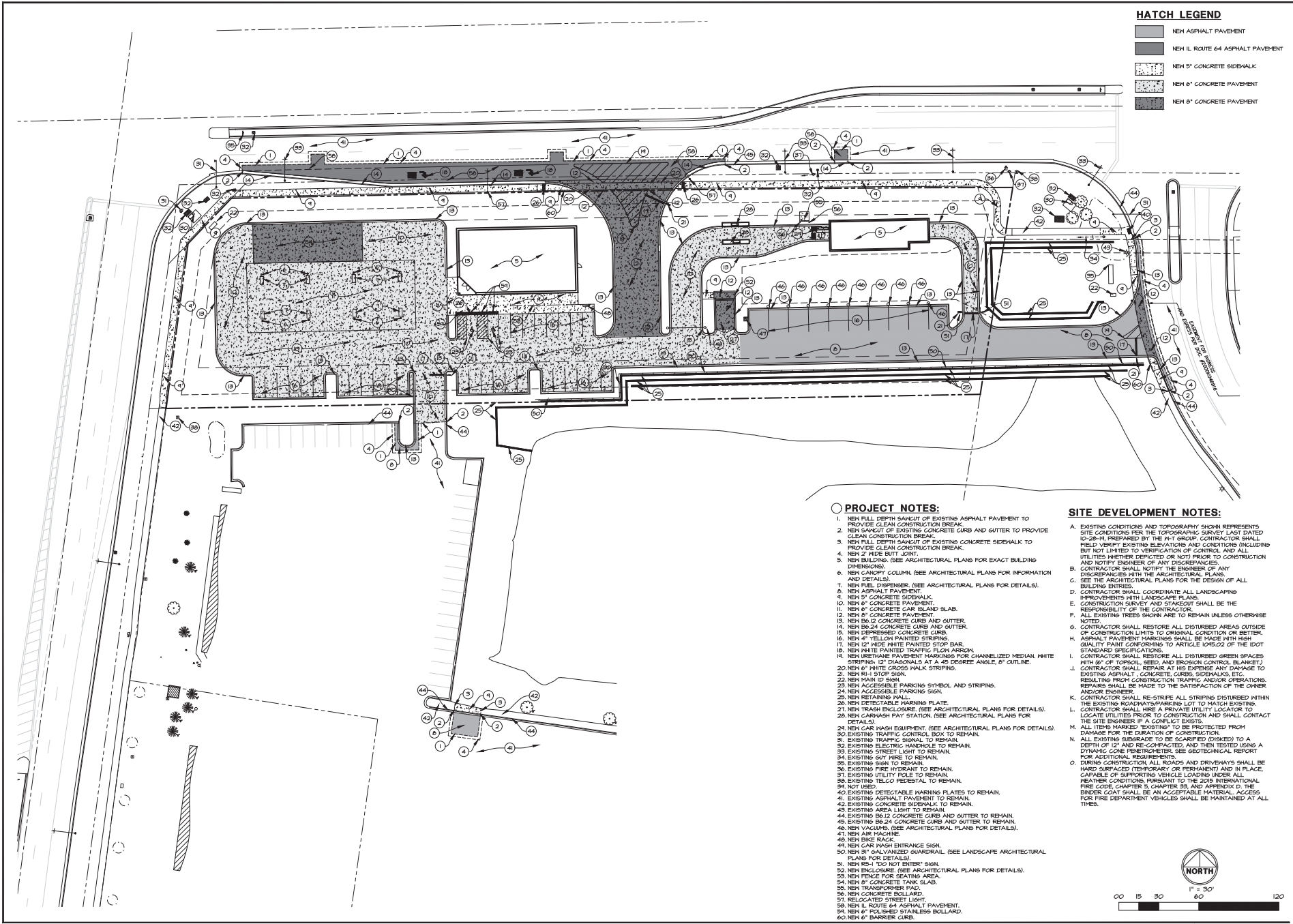
CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE






TO	DATE
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

CHECKED BY: _____
DRAWN BY: TEP
JOB: 1910803C

C-2.0
SITE GEOMETRIC PLAN



HATCH LEGEND

-  NEW ASPHALT PAVEMENT
-  NEW IL ROUTE 64 ASPHALT PAVEMENT
-  NEW 5' CONCRETE SIDEWALK
-  NEW 6' CONCRETE PAVEMENT
-  NEW 8' CONCRETE PAVEMENT

PROJECT NOTES:

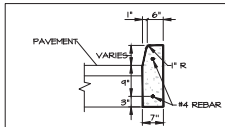
1. NEW FULL DEPTH SANICUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW SANICUT OF EXISTING CONCRETE CURB AND GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW FULL DEPTH SANICUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. NEW 2" WIDE BUTT JOINT.
5. NEW BUILDING (SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS).
6. NEW CANOPY COLUMN (SEE ARCHITECTURAL PLANS FOR INFORMATION AND DETAILS).
7. NEW FUEL DISPENSER (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. NEW ASPHALT PAVEMENT.
9. NEW 5' CONCRETE SIDEWALK.
10. NEW 4' CONCRETE PAVEMENT.
11. NEW 6' CONCRETE CAR ISLAND SLAB.
12. NEW 8' CONCRETE PAVEMENT.
13. NEW B6/2 CONCRETE CURB AND GUTTER.
14. NEW B6/24 CONCRETE CURB AND GUTTER.
15. NEW DEPRESSED CONCRETE CURB.
16. NEW 4" YELLOW PAINTED STRIPING.
17. NEW 12" WIDE WHITE PAINTED STOP BAR.
18. NEW URETHANE PAVEMENT MARKINGS FOR CHANNELIZED MEDIAN WHITE STRIPING, 12" DIAGONALS AT A 45 DEGREE ANGLE, 8" OUTLINE.
20. NEW 4" WHITE CROSS WALK STRIPING.
21. NEW R-1 STOP SIGN.
22. NEW H-1 SIGN.
23. NEW ACCESSIBLE PARKING SYMBOL AND STRIPING.
24. NEW ACCESSIBLE PARKING SIGN.
25. NEW RETAINING WALL.
26. NEW DETECTABLE WARNING PLATE.
27. NEW TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
28. NEW CARWASH PAY STATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
29. NEW CAR WASH EQUIPMENT (SEE ARCHITECTURAL PLANS FOR DETAILS).
30. EXISTING TRAFFIC CONTROL BOX TO REMAIN.
31. EXISTING TRAFFIC SIGNAL TO REMAIN.
32. EXISTING ELECTRIC HANDLES TO REMAIN.
33. EXISTING STREET LIGHT TO REMAIN.
34. EXISTING WIRE TO REMAIN.
35. EXISTING SIGN TO REMAIN.
36. EXISTING HYDRANT TO REMAIN.
37. EXISTING UTILITY POLE TO REMAIN.
38. EXISTING TELCO PEDestal TO REMAIN.
39. NOT USED.
40. EXISTING DETECTABLE WARNING PLATES TO REMAIN.
41. EXISTING ASPHALT PAVEMENT TO REMAIN.
42. EXISTING CONCRETE SIDEWALK TO REMAIN.
43. EXISTING AREA LIGHT TO REMAIN.
44. EXISTING B6/2 CONCRETE CURB AND GUTTER TO REMAIN.
45. EXISTING B6/24 CONCRETE CURB AND GUTTER TO REMAIN.
46. NEW VAGUIMS (SEE ARCHITECTURAL PLANS FOR DETAILS).
47. NEW AIR MACHINE.
48. NEW BIKE RACK.
49. NEW CAR WASH ENTRANCE SIGN.
50. NEW 31" GALVANIZED GUARDRAIL (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
51. NEW R-1 "DO NOT ENTER" SIGN.
52. NEW ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
53. NEW FENCE FOR SEEING AREA.
54. NEW 8' CONCRETE TANK SLAB.
55. NEW TRANSFORMER AREA.
56. NEW CONCRETE BOLLARD.
57. RELOCATED STREET LIGHT.
58. NEW IL ROUTE 64 ASPHALT PAVEMENT.
59. NEW 6' POLISHED STAINLESS BOLLARD.
60. NEW 6' BARRIER CURB.

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10/28/14 PREPARED BY THE HY GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL (BLANKET).
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAY/PARKING LOT TO MATCH EXISTING DAMAGE FOR THE DURATION OF CONSTRUCTION.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RECOMPACTED AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- O. DURING CONSTRUCTION ALL ROADS AND DRIVEWAYS SHALL BE HAND SURFACED TEMPORARILY OR PERMANENTLY AND IN PLACE, CAPABLE OF SUPPORTING VEHICLE LOADINGS UNDER ALL WEATHER CONDITIONS. PURSUANT TO THE 2015 INTERNATIONAL FIRE CODE, CHAPTER 5, CHAPTER 55, AND APPENDIX D, THE BINDER COAT SHALL BE AN ACCEPTABLE MATERIAL. ACCESS FOR FIRE DEPARTMENT VEHICLES SHALL BE MAINTAINED AT ALL TIMES.

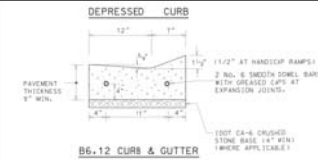
ISSUE

TO	DATE
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REV. SITE	2/11/20
REV. SITE	3/10/20
REV. SITE	6/30/20



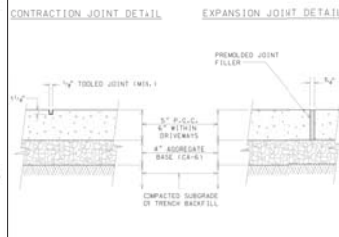
- NOTES:**
1. BARRIER CURB SHALL BE CONCRETE.
 2. CONTRACTION JOINTS, 1/4" WIDE X 1" DEEP, SHALL BE LOCATED AT RADIUS TANGENTS.
 3. BASE MATERIAL SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.

DETAIL - BARRIER CURB
NOT TO SCALE



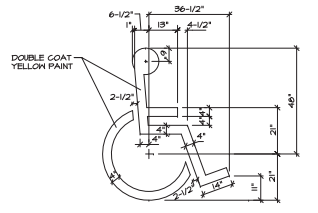
- NOTES:**
1. CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS AND SHALL BE CHISELED WITH AN EDGING TOOL. SEE ARTICLE 405.02 OF 2007 STANDARD SPECIFICATIONS.
 2. EXPANSION JOINTS SHALL BE PLACED AT 60' INTERVALS, IF ALL P.C.C.'S AND P.C.T.'S CURB RETURN, AND AT THE END OF EACH POLE.
 3. P.C.C. SHALL CONSIST OF 100% CLASS II 1/2" MAX SIZE CONCRETE WITH 1% TO 1.5% AIR ENTRAINMENT, AND A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, NO P.C. IS ALLOWED. NOT TO SCALE.

FOR RESIDENTIAL STREETS ONLY
COMB. CONCRETE CURB AND GUTTER (SPECIAL)
P.C.C. INTEGRAL CURB AND GUTTER (SPECIAL)



- NOTES:**
1. UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE AT 15'-0" O.C.
 2. EXPANSION JOINTS TO BE 50'-0" O.C. MAX. OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER NEAR. UTILITY APERTURES, OR FACE OF STRUCTURE.
 3. PORTLAND CEMENT CONCRETE SHALL CONFORM TO 100% CLASS III MIN. 3,000 PSI (4.1 MAX W/C) AT 28 DAYS, WITH 1% TO 1.5% AIR ENTRAINMENT, AND 4.1 MAX ALLOWED.

CONCRETE WALK JOINT DETAILS
NOT TO SCALE



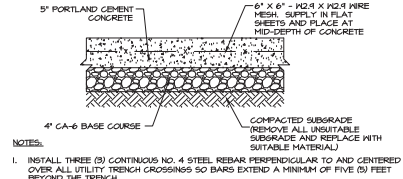
- NOTES:**
1. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.

DETAIL - ACCESSIBLE SYMBOL
NOT TO SCALE



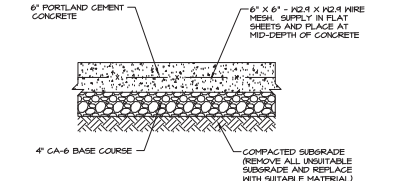
- NOTES:**
1. CENTER SIGN IN PARKING STALL AND INSTALL MINIMUM OF 5' AND MAXIMUM OF 6' ABOVE FINISHED PAVEMENT ELEVATION.
 2. CONTRACTOR SHALL VERIFY FINE AMOUNT WITH JURISDICTIONALITY PRIOR TO INSTALLATION.

DETAIL - ACCESSIBLE PARKING SIGN
NOT TO SCALE



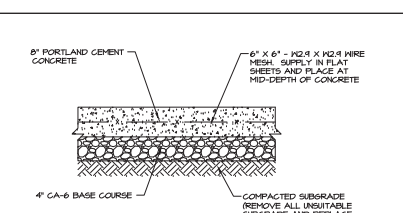
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 5" CONCRETE SIDEWALK



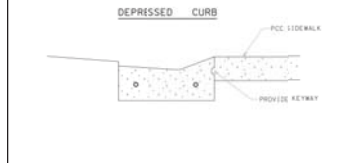
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 6" CONCRETE PAVEMENT
NOT TO SCALE



- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

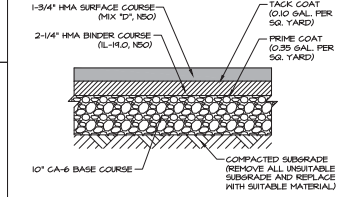
DETAIL - 8" CONCRETE PAVEMENT
NOT TO SCALE



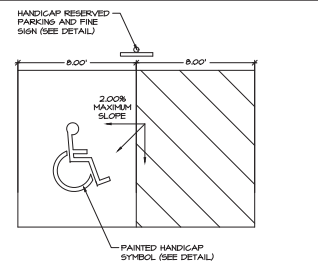
- NOTES:**
1. SEE TYPICAL DETAIL FOR CURB AND GUTTER FOR CURB DIMENSIONS AND SPECIFICATIONS.

DETAIL - DEPRESSED CURB
DETAIL - CURB & GUTTER
NOT TO SCALE

DETAIL - SIDEWALK AT CURB AND GUTTER
DATE: 9-21-09

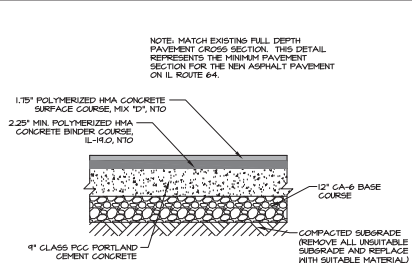


DETAIL - ASPHALT PAVEMENT
NOT TO SCALE



- NOTES:**
1. ALL PAVEMENT STRIPING SHALL BE YELLOW.
 2. MAXIMUM SLOPE WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2.0% IN ANY DIRECTION.

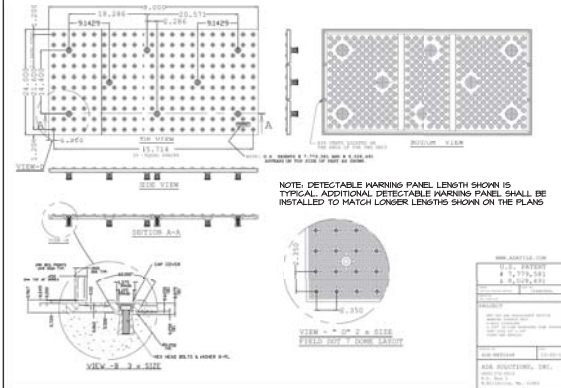
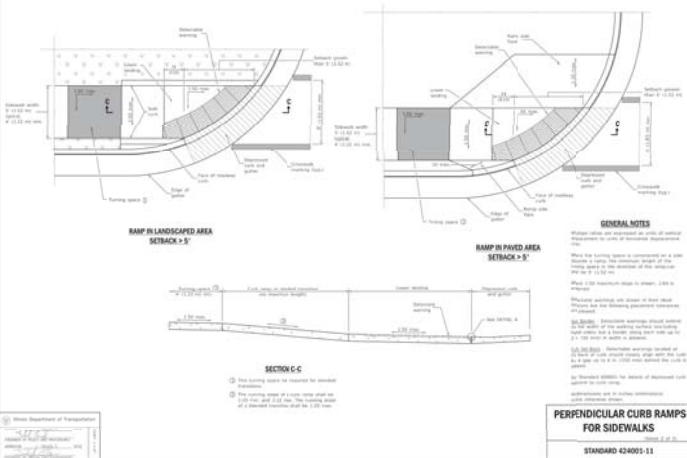
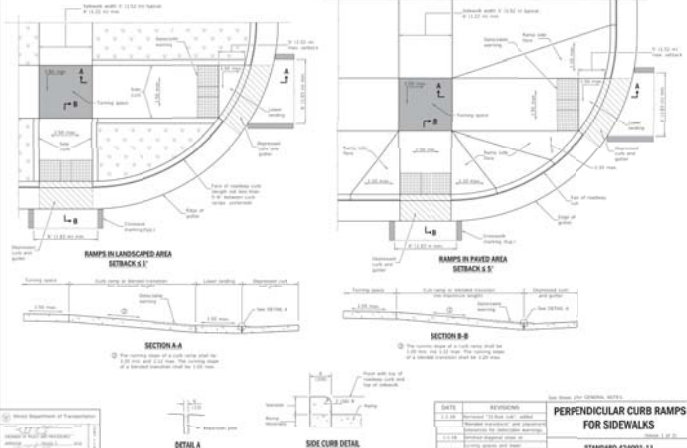
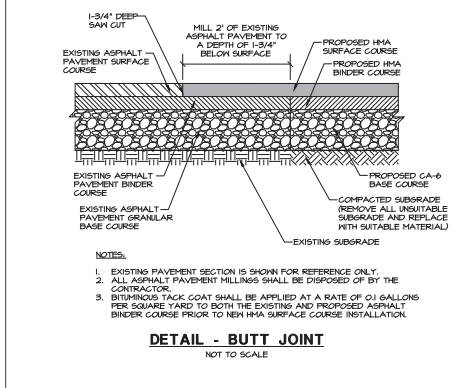
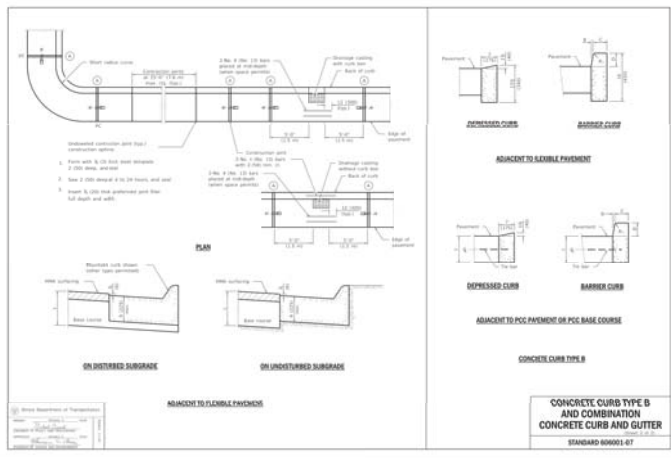
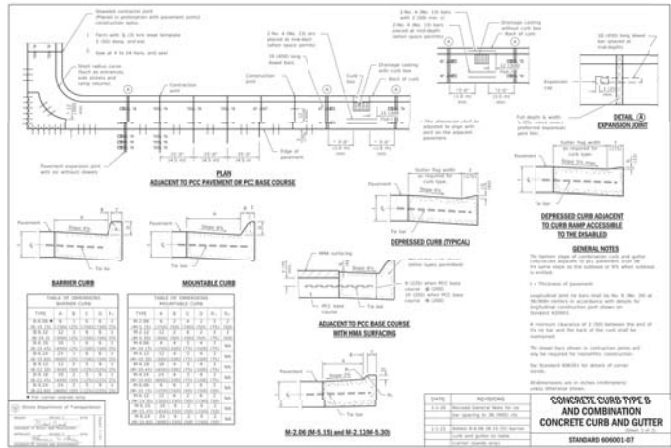
DETAIL - HANDICAP PARKING STALL
NOT TO SCALE



DETAIL - IL ROUTE 64 ASPHALT PAVEMENT
FOR USE ON IL ROUTE 64 ONLY
NOT TO SCALE

ISSUE

TO	DATE
REV. SITE	8/19/19
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REV. SITE	3/10/20
REV. SITE	6/30/20



POST MOUNTED SIGNS

When work operations exceed flow depth, this dimension shall be 5 (7.5) m. If installed beyond other devices, the height shall be sufficient to be seen conspicuously above the devices.

HIGH LEVEL WARNING DEVICE

18x18 (45x45) Orange flag

FLAGGER TRAFFIC CONTROL SIGN

When work operations exceed flow depth, this dimension shall be 24 (600) to the top of sign or 15 (38) to the bottom edge of the panel structure.

TRAFFIC CONTROL DEVICES

Sheet 2 of 2
STANDARD 701901-08

DAYTIME USE

COLES

DAY OR NIGHTTIME USE

TUBULAR MARKER

VERTICAL PANEL

DRUM

TYPE I BARRICADE

TYPE II BARRICADE

TYPE III BARRICADE

DIRECTION INDICATOR BARRICADE

VERTICAL BARRICADE

DETECTABLE PEDESTRIAN CHANNELIZING BARRICADE

GENERAL NOTES

All heights shown shall be measured above the pavement surface.

All dimensions are to center (indicated) unless otherwise shown.

TRAFFIC CONTROL DEVICES

Sheet 2 of 2
STANDARD 701901-08

DETAIL - PIPE OPENING IN RETAINING WALL

NOTE: DETAIL IS FOR REFERENCE ONLY. CONTRACTOR SHALL FOLLOW WALL MANUFACTURER'S GUIDELINES FOR OPENINGS.

WALL W/ PIPE PENETRATION

WALL W/ PIPE PENETRATION

SECTION SCALE: NONE

PROFILE SCALE: NONE

TYPE A ROPE MOUNTED

TYPE B ROOF OR TRAILER MOUNTED

TYPE C TRAILER MOUNTED

ARROW BOARDS

TEMPORARY RUMBLE STRIPS

TYPICAL APPLICATIONS OF TYPE III BARRICADES CLOSING A ROAD

TRAFFIC CONTROL DEVICES

Sheet 2 of 2
STANDARD 701901-08

WT GROUP
CORPORATE HEADQUARTERS: 1000 W. PULASKI ST., CHICAGO, IL 60642
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WJ Group
Engineering & Design Consulting

THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174

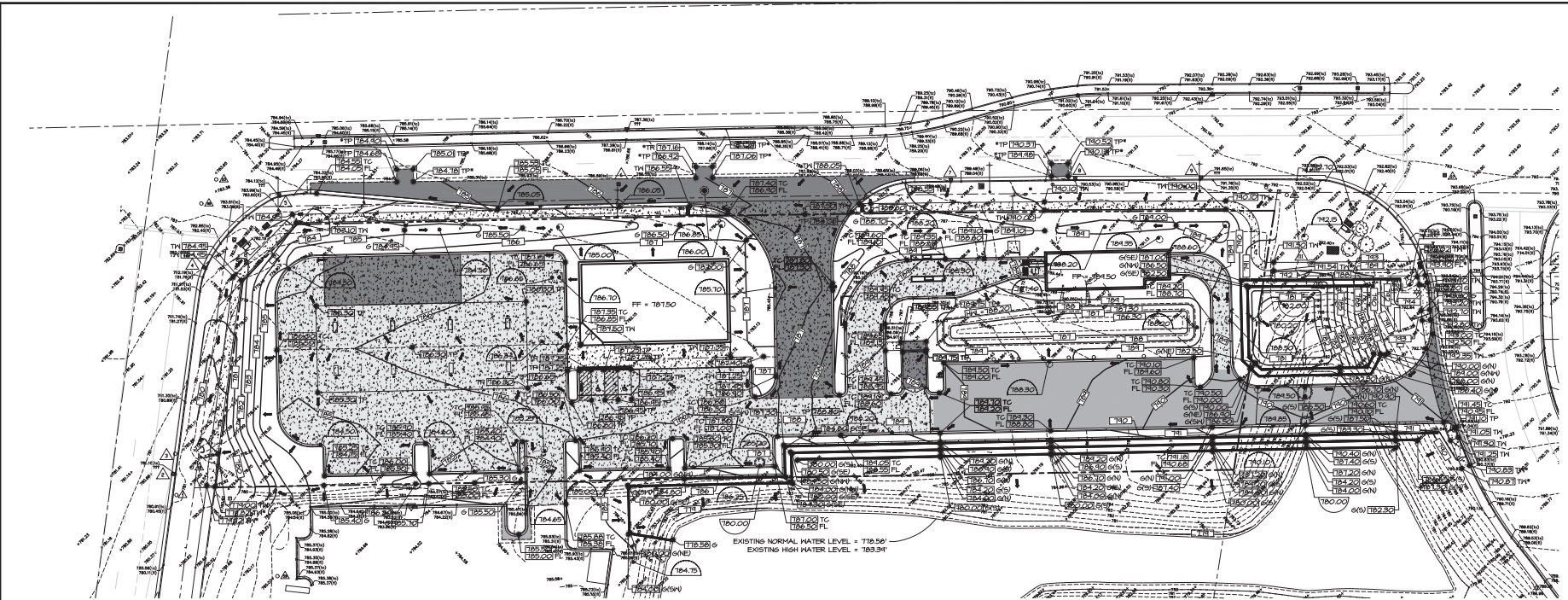
CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

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REV. SITE	2/19/20
REV. SITE	6/30/20

CHECK/TO
DRAWN/TEP
JOB:19108/03C

C-3.3
SITE DEVELOPMENT
DETAILS



EXISTING NORMAL WATER LEVEL = 778.56'
 EXISTING HIGH WATER LEVEL = 783.24'

EXISTING UTILITY DATA

<p>RM-781.66' (SANITARY) 48" CONCRETE STRUCTURE INV-771.53' (CONCREOM N/S) INV-772.50' (12" RCP N/E) INV-780.00' (12" RCP W) INV-783.33' (12" RCP S) TOP OF WATER=777.26'</p> <p>RM-780.60' (STORM) 24" CONCRETE STRUCTURE INV-777.53' (12" RCP S/S) INV-777.55' (12" RCP N/E)</p> <p>RM-780.77' (STORM) 48" CONCRETE STRUCTURE INV-777.25' (12" RCP N/E) INV-777.25' (12" RCP W) INV-777.25' (12" RCP S)</p> <p>RM-781.85' (STORM) 24" CONCRETE STRUCTURE INV-778.05' (12" RCP S/S)</p> <p>RM-783.66' (STORM) 48" CONCRETE STRUCTURE INV-778.16' (12" RCP N/E) INV-778.16' (12" RCP W) INV-778.16' (12" RCP S)</p> <p>RM-780.01' (STORM) 48" CONCRETE STRUCTURE INV-782.83' (12" RCP E/W) INV-782.83' (12" RCP N/W) INV-780.03' (12" RCP S)</p> <p>RM-780.03' (STORM) 48" CONCRETE STRUCTURE INV-782.81' (12" RCP N/W) INV-780.03' (12" RCP S)</p> <p>RM-780.03' (STORM) 48" CONCRETE STRUCTURE INV-782.81' (12" RCP N/W) INV-780.03' (12" RCP S)</p> <p>RM-780.03' (STORM) 48" CONCRETE STRUCTURE INV-782.81' (12" RCP N/W) INV-780.03' (12" RCP S)</p>	<p>RM-791.23' (STORM) 48" CONCRETE STRUCTURE INV-778.46' (12" RCP N/E) INV-778.46' (12" RCP W) INV-780.00' (12" RCP S) TOP OF WATER=777.26'</p> <p>RM-781.28' (SANITARY) 48" CONCRETE STRUCTURE INV-777.53' (12" RCP S/S) INV-777.55' (12" RCP N/E)</p> <p>RM-792.25' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=785.88' (12" DP E/W) INV-777.25' (12" RCP N/E) INV-777.25' (12" RCP W) INV-777.25' (12" RCP S)</p> <p>RM-783.64' (STORM) 48" CONCRETE STRUCTURE INV-778.04' (12" RCP N/E/S)</p> <p>RM-783.70' (STORM) 48" CONCRETE STRUCTURE INV-778.16' (12" RCP E) INV-778.16' (12" RCP N/E) INV-778.16' (12" RCP W)</p> <p>RM-780.87' (SANITARY) 48" CONCRETE STRUCTURE INV-779.47' (8" PVC L/W) INV-780.87' (12" RCP N/E) INV-779.96' (12" RCP S)</p> <p>RM-780.11' (STORM) 48" CONCRETE STRUCTURE INV-779.47' (8" PVC L/W) INV-780.11' (12" RCP N/E) INV-779.96' (12" RCP S)</p> <p>RM-780.11' (STORM) 48" CONCRETE STRUCTURE INV-779.47' (8" PVC L/W) INV-780.11' (12" RCP N/E) INV-779.96' (12" RCP S)</p> <p>RM-780.11' (STORM) 48" CONCRETE STRUCTURE INV-779.47' (8" PVC L/W) INV-780.11' (12" RCP N/E) INV-779.96' (12" RCP S)</p>	<p>RM-783.61' (STORM) 48" CONCRETE STRUCTURE INV-778.05' (12" RCP S/S/N/E)</p> <p>RM-780.66' (STORM) 48" CONCRETE STRUCTURE INV-778.05' (12" RCP S/S) INV-778.05' (12" RCP N/E)</p> <p>RM-780.24' (STORM) 48" CONCRETE STRUCTURE INV-778.04' (12" RCP N/E)</p> <p>RM-780.28' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=784.67' (E/W)</p> <p>UNABLE TO MEASURE PPE STRUCTURE FILLED WITH WATER</p> <p>UNABLE TO OPEN STRUCTURE</p> <p>RM-780.47' (SANITARY) 48" CONCRETE STRUCTURE INV-771.17' (10" CLAY N/S)INV-771.87' (8" PVC S)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.06' (12" RCP W) INV-778.06' (12" RCP S)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.06' (12" RCP W) INV-778.06' (12" RCP S)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.06' (12" RCP W) INV-778.06' (12" RCP S)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-778.06' (12" RCP W) INV-778.06' (12" RCP S)</p>	<p>RM-783.18' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=777.36' (12" DP N/S) NO LINES FOUND</p> <p>RM-783.57' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=778.39' (8" DP N/S)</p> <p>RM-785.28' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE=778.39' (8" DP N/S)</p> <p>RM-783.91' (SANITARY) 48" CONCRETE STRUCTURE INV-774.71' (8" PVC E/S)</p> <p>RM-780.04' (STORM) 48" CONCRETE STRUCTURE INV-780.84' (12" RCP N/E/S)</p> <p>RM (NORTH)=784.90' (STORM) 24" CONCRETE STRUCTURE INV-777.09' (12" RCP S/W) INV-777.09' (12" RCP S)</p> <p>RM-782.91' TOP OF SPILLWAY WALL</p>
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HATCH LEGEND

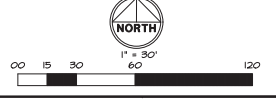
	NEH ASPHALT PAVEMENT
	NEH IL ROUTE 64 ASPHALT PAVEMENT
	NEH 5' CONCRETE SIDEWALK
	NEH 6' CONCRETE PAVEMENT
	NEH 8' CONCRETE PAVEMENT

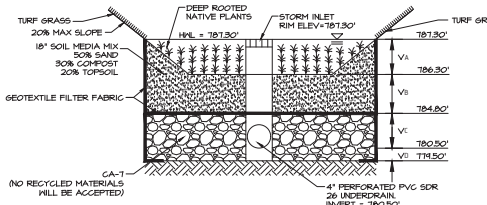
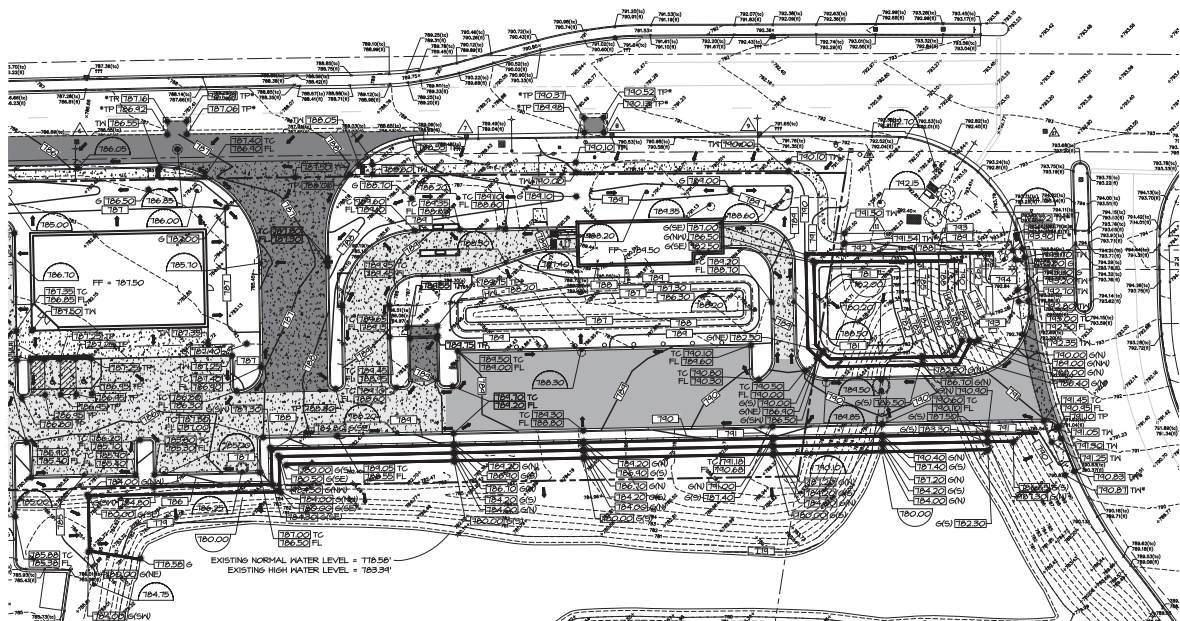
GRADING LEGEND

	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	INTERPOLATED SPOT GRADE
	PROPOSED RIM ELEVATION
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	OVERLAND FLOOD ARROW
	100 YEAR OVERLAND FLOOD ROUTE
	EMERGENCY EVACUATION ARROW
	TOP OF PAVEMENT ELEVATION
	TOP OF SIDEWALK ELEVATION
	FINISHED GRADE ELEVATION
	TOP OF CURB ELEVATION
	FLOOR LINE ELEVATION
	ADJUST EXISTING RIM ELEVATION
	EXISTING CLOSED MANHOLE
	EXISTING OPEN GRATE MANHOLE
	EXISTING GURB INLET
	EXISTING FIRE HYDRANT
	EXISTING VALVE VAULT
	EXISTING B-BOX
	EXISTING TELCO PEDESTAL
	EXISTING UTILITY POLE W/ 6/11 WIRE
	PROPOSED FIRE HYDRANT
	PROPOSED VALVE WITH VAULT
	PROPOSED B-BOX
	PROPOSED INLET
	PROPOSED OPEN LID MANHOLE / CATCH BASIN
	PROPOSED CLOSED LID MANHOLE
	PROPOSED RESTRICTOR STRUCTURE
	PROPOSED NYLOPLAST DRAIN BASIN
	PROPOSED FLARED END SECTION
	PROPOSED GREASE TRAP

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 09-12-18. PREPARED BY THE WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTOUR AND ALL UTILITIES WHETHER DELETED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE. THE TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS AND ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- C. CONTRACTOR SHALL CONTACT JULLIE (81) OR 1-800-892-0283 AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY EXCAVATION AND/OR ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, PARKWAYS, DRIVEWAYS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE ROUTES SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- I. VOIDS LEFT BY ANY TREES REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- J. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- K. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO ADJACENT THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- L. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- M. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- N. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFP-662 AND/OR LFP-663 FORMS AS PART OF THEIR CONTRACT.
- O. PREPARE SUBGRADE AS SPECIFIED IN THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER.
- P. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER FOR EXISTING TOPSOIL DEPTHS.





VOLUME TYPE	POROSITY	MEDIA VOLUME	STORAGE VOLUME	VOLUME PROVIDED
SURFACE STORAGE	1.00	VA = 1489 C.F.	1.00 X VA	1489 C.F.
SOIL MEDIA MIX	0.25	VB = 3162 C.F.	0.5 X 0.25 X VB	395 C.F.
COARSE AGG. (ABOVE INVERT)	0.36	VC = 6034 C.F.	0.5 X 0.36 X VC	1036 C.F.
COARSE AGG. (BELOW INVERT)	0.36	VD = 2101 C.F.	0.36 X VD	756 C.F.
			WEST RAIN GARDEN TOTAL	4889 C.F.

INfiltration VOLUME REQUIRED = 1.416 AC. X 0.75' = 0.0885 ACRE - FEET
 INfiltration VOLUME PROVIDED = 0.098 AC-FT X 0.0885 AC-FT

WEST POND INFILTRATION VOLUME
 NOT TO SCALE

EXISTING POND - DETENTION STORAGE VOLUME ADDED			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	8,235 SQ. FT.		
783.75	8,505 SQ. FT.	1,674 CU. FT.	48,440 CU. FT. OR 1,1120 AC-FT
783.50	8,832 SQ. FT.	2,167 CU. FT.	46,766 CU. FT. OR 1,0736 AC-FT
783.39 HWL	8,974 SQ. FT.	979 CU. FT.	44,599 CU. FT. OR 1,0238 AC-FT
783.20	9,220 SQ. FT.	1,728 CU. FT.	43,619 CU. FT. OR 1,0014 AC-FT
783.00	9,220 SQ. FT.	2,726 CU. FT.	41,891 CU. FT. OR 0,9617 AC-FT
782.91 WEIR	9,582 SQ. FT.	9,172 CU. FT.	39,165 CU. FT. OR 0,8991 AC-FT
782.00	10,576 SQ. FT.	11,116 CU. FT.	29,993 CU. FT. OR 0,6885 AC-FT
781.00	11,855 SQ. FT.	12,234 CU. FT.	18,877 CU. FT. OR 0,4334 AC-FT
780.00	12,812 SQ. FT.	6,574 CU. FT.	6,644 CU. FT. OR 0,1525 AC-FT
779.00	335 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT
778.58	0 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT

TOTAL POND V_{783.39} = 43,619 CU. FT.
 OR 1,001 AC-FT

EXISTING POND - DETENTION STORAGE VOLUME LOST			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	3,231 SQ. FT.		
783.75	3,137 SQ. FT.	637 CU. FT.	11,630 CU. FT. OR 0,2670 AC-FT
783.50	3,022 SQ. FT.	770 CU. FT.	10,993 CU. FT. OR 0,2524 AC-FT
783.39 HWL	2,972 SQ. FT.	330 CU. FT.	10,223 CU. FT. OR 0,2347 AC-FT
783.20	2,887 SQ. FT.	557 CU. FT.	9,893 CU. FT. OR 0,2271 AC-FT
782.91 WEIR	2,761 SQ. FT.	819 CU. FT.	9,336 CU. FT. OR 0,2143 AC-FT
782.00	2,400 SQ. FT.	2,348 CU. FT.	8,518 CU. FT. OR 0,1955 AC-FT
781.00	2,020 SQ. FT.	2,210 CU. FT.	6,169 CU. FT. OR 0,1416 AC-FT
780.00	1,712 SQ. FT.	1,866 CU. FT.	3,959 CU. FT. OR 0,0909 AC-FT
779.00	1,375 SQ. FT.	1,544 CU. FT.	2,093 CU. FT. OR 0,0481 AC-FT
778.58	1,243 SQ. FT.	550 CU. FT.	550 CU. FT. OR 0,0126 AC-FT

TOTAL POND V_{783.39} = 9,893 CU. FT.
 OR 0,227 AC-FT

PROPOSED DETENTION POND VOLUME - EAST POND				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL	4,231 SQ. FT.	842 CU. FT.	20,626 CU. FT. OR	0,4735 AC-FT
788.00	4,191 SQ. FT.	4,085 CU. FT.	19,784 CU. FT. OR	0,4542 AC-FT
787.00	3,978 SQ. FT.	3,490 CU. FT.	15,699 CU. FT. OR	0,3604 AC-FT
786.00	3,002 SQ. FT.	2,904 CU. FT.	12,209 CU. FT. OR	0,2803 AC-FT
785.00	2,805 SQ. FT.	2,707 CU. FT.	9,306 CU. FT. OR	0,2136 AC-FT
784.00	2,608 SQ. FT.	2,509 CU. FT.	6,599 CU. FT. OR	0,1515 AC-FT
783.00	2,410 SQ. FT.	2,166 CU. FT.	4,090 CU. FT. OR	0,0939 AC-FT
782.00	1,921 SQ. FT.	1,590 CU. FT.	1,925 CU. FT. OR	0,0442 AC-FT
781.00	1,258 SQ. FT.	335 CU. FT.	335 CU. FT. OR	0,0077 AC-FT
780.20	0 SQ. FT.			

TOTAL POND V_{788.20} = 20,626 CU. FT.
 OR 0,474 AC-FT

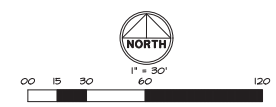
PROPOSED DETENTION POND VOLUME - WEST POND				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL	3,403 SQ. FT.	663 CU. FT.	2,527 CU. FT. OR	0,0580 AC-FT
788.00	3,226 SQ. FT.	1,864 CU. FT.	1,864 CU. FT. OR	0,0428 AC-FT
787.30 OUTLET ELEV.	2,101 SQ. FT.	1,493 CU. FT.	1,493 CU. FT. OR	0,0343 AC-FT
786.30	885 SQ. FT.			

TOTAL POND V_{788.20} = 2,527 CU. FT.
 OR 0,058 AC-FT

PROPOSED DETENTION POND VOLUME - WEST & EAST PONDS				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL			23,154 CU. FT. OR	0,5315 AC-FT
788.00			21,648 CU. FT. OR	0,4970 AC-FT
787.00			17,192 CU. FT. OR	0,3947 AC-FT
786.00			12,209 CU. FT. OR	0,2803 AC-FT
785.00			9,306 CU. FT. OR	0,2136 AC-FT
784.00			6,599 CU. FT. OR	0,1515 AC-FT
783.00			4,090 CU. FT. OR	0,0939 AC-FT
782.00			1,925 CU. FT. OR	0,0442 AC-FT
781.00			335 CU. FT. OR	0,0077 AC-FT
780.20				

TOTAL POND V_{788.20} = 23,154 CU. FT.
 OR 0,532 AC-FT

VOLUME REQUIRED = 1,200 ACRE - FEET
 VOLUME ADDED EXISTING POND = 1,001 ACRE - FEET
 VOLUME LOST EXISTING POND = 0,227 ACRE - FEET
 VOLUME PROVIDED NEW PONDS = 0,532 ACRE - FEET
 VOLUME PROVIDED = 1,306 ACRE - FEET



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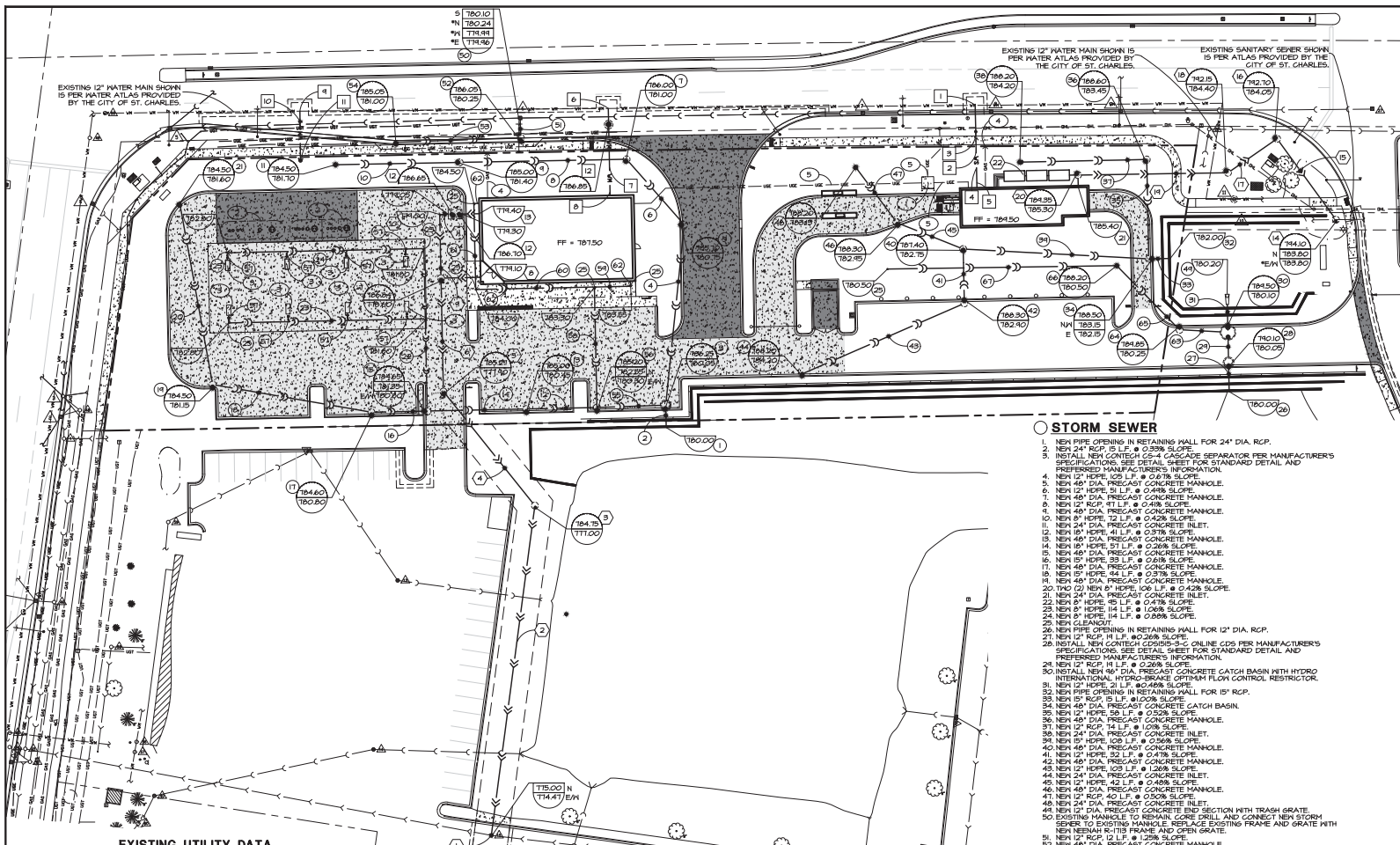
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/13/20
REV. SITE	2/13/20
REV. SITE	6/9/20

CHECK/DO
 DRAWN/TEP
 JOB:1910803C

C-4.1
 SITE GRADING PLAN



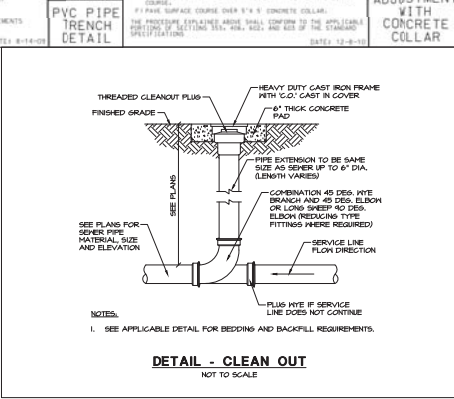
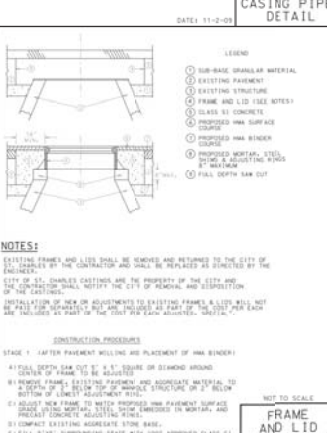
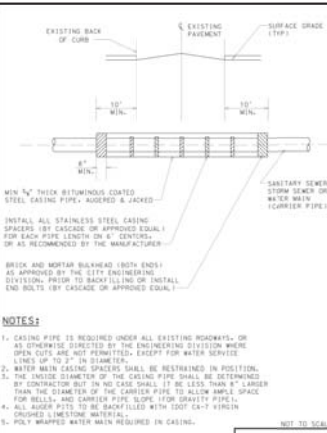
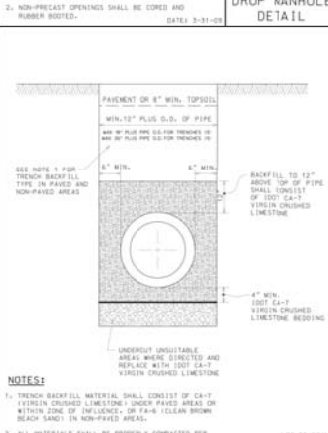
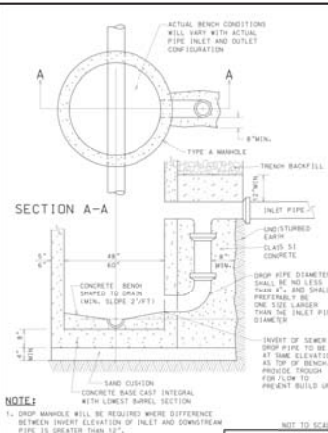
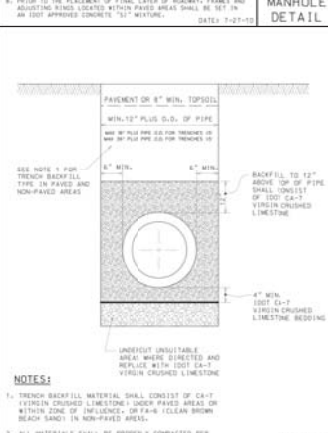
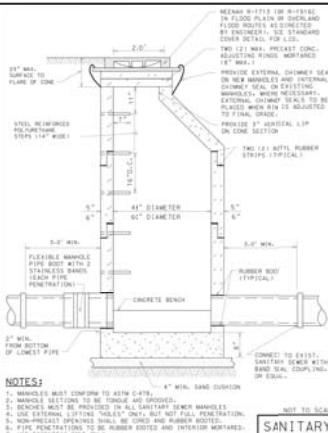
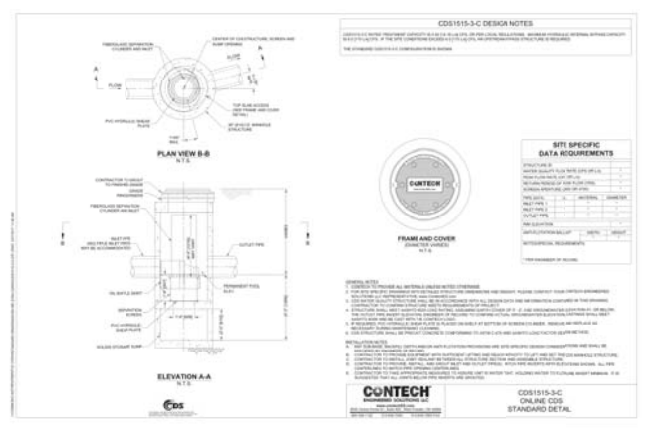
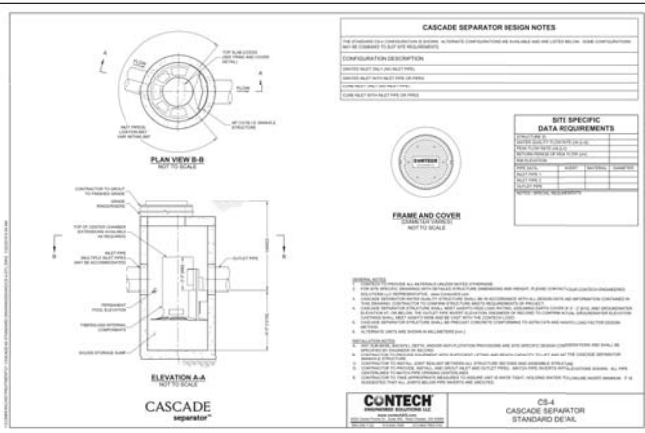
SITE UTILITY NOTES:

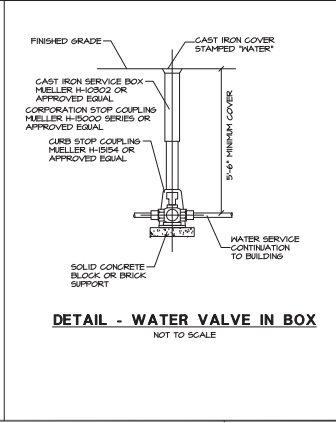
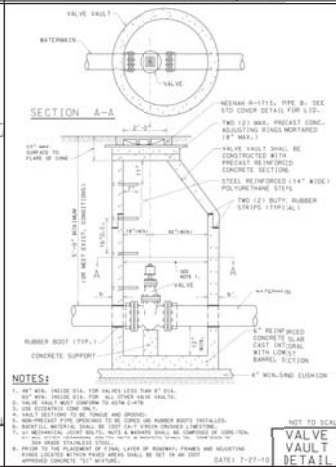
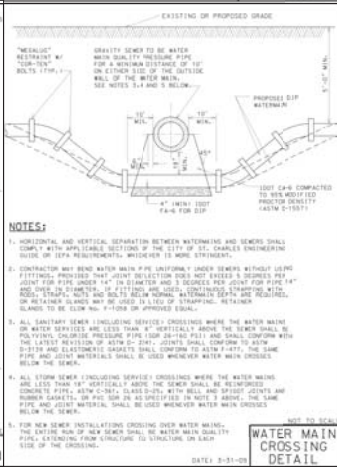
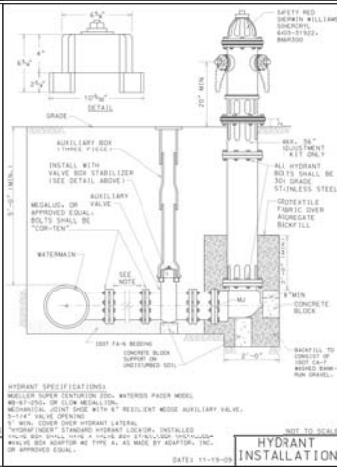
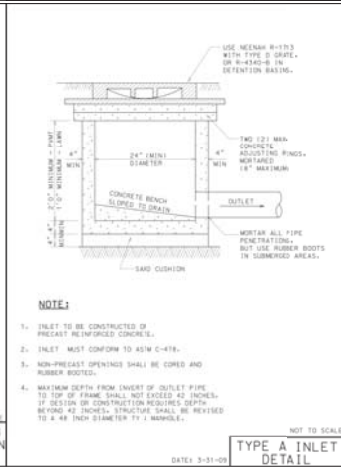
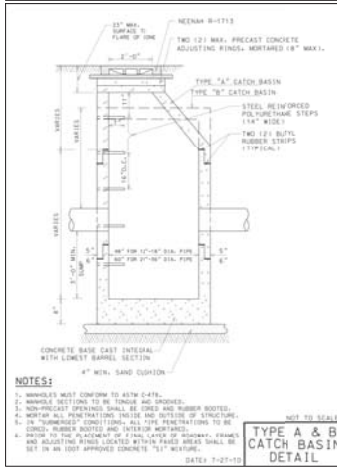
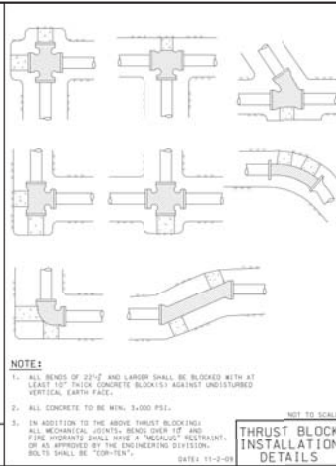
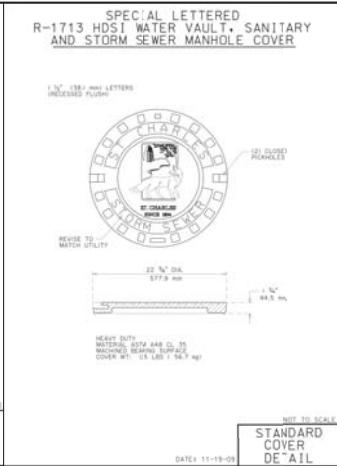
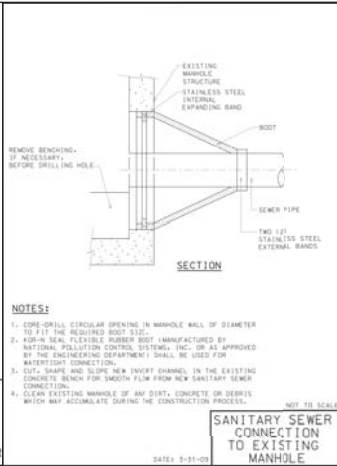
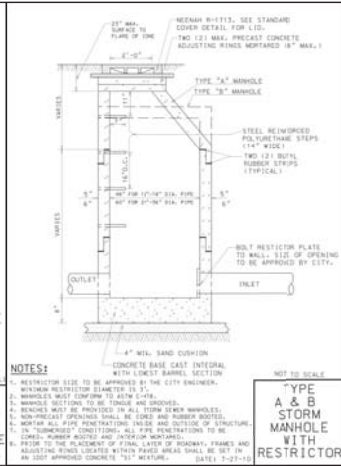
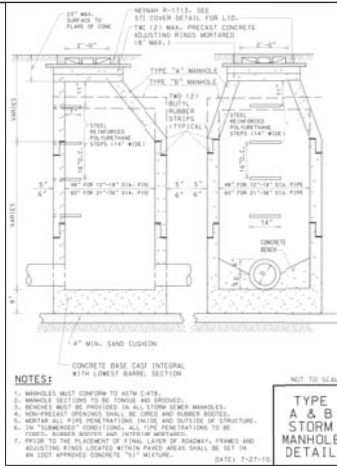
- CONTRACTOR SHALL CONTACT ILLINOIS (BI) OR (H300-842-0229) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY EXCAVATION AND/OR EXCAVATION EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE INDICATED ON THIS DRAWING.
- CONTRACTOR TO NOTIFY CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN ANY DAMAGE TO EXISTING UTILITIES NOT TO BE REMOVED SHALL BE KEPT AT ALL TIMES. EXISTING UTILITIES TO REMAIN SHALL BE KEPT AT ALL TIMES AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL EXCAVATE TO THE FIELD AND LOCATE ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS EXCEPTED BY CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL VERIFY IN FIELD OF EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN CONFORMANCE WITH LOCAL AND STATE CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CLASS IV (30) WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND SECTION 31-1.03 OF THE STANDARD SPECIFICATIONS.
- TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 18\"/>

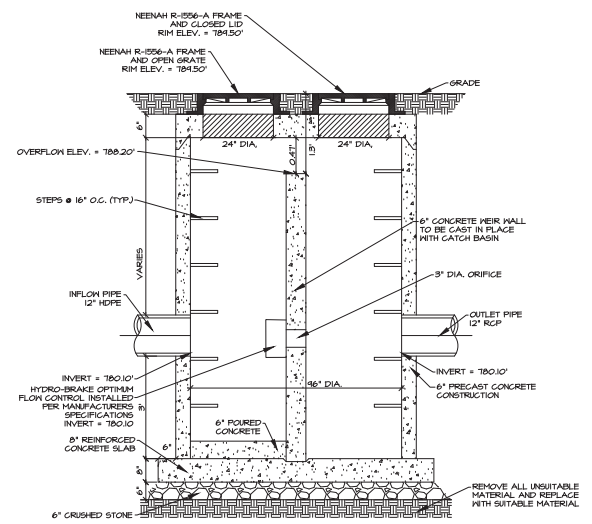
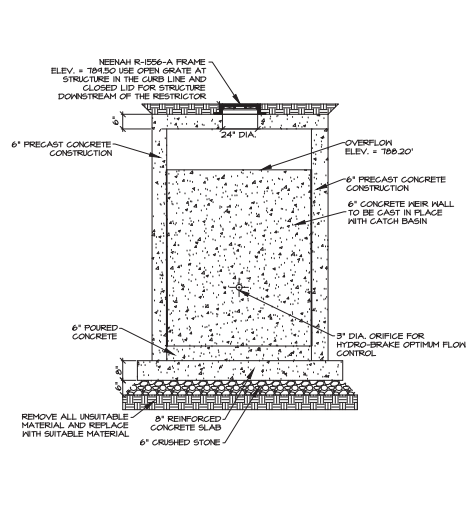
- ### STORM SEWER
- NEW PIPE OPENING IN RETAINING WALL FOR 24\"/>
- ### SANITARY SEWER
- EXISTING MANHOLE TO REMAIN. CORE DRILL, BOOT AND CONNECT NEW SANITARY SEWER TO EXISTING MANHOLE. PROVIDE EXTERNAL CHIMNEY CONNECTION AS PER ASTM C-425.
 - NEW 6\"/>

EXISTING UTILITY DATA

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<ul style="list-style-type: none"> RM-821.			







**DETAIL - 96" CATCH BASIN #30
 WITH RESTRICTOR**

Technical Specification		Hydro-Brake® Optimum Flow Control including BBA	
Control Point	Head (ft)	Flow (cfs)	
Primary Design	5.100	0.096	<ul style="list-style-type: none"> • 8.518 gpm 3/4" stainless steel • Heavy-duty stainless steel gaskets • Always always clear line of sight through to allow for maximum flow capacity • Bead treated floor to maximize cleanability • Removable • Rubber gasket to seal outlet
Flush-Flow™	3.800	0.061	
Kick-Flow™	1.850	0.049	
Maint Flow		0.070	
Minimum			

Hydro-Brake components

IMPORTANT: The head flow characteristics of the BPE-0063-2710-2469-2710 Hydro-Brake® Optimum Flow Control are unique. Customer hydro-work including installation of the head flow characteristics curve. The use of an outlet flow control will invalidate any design based on this data.

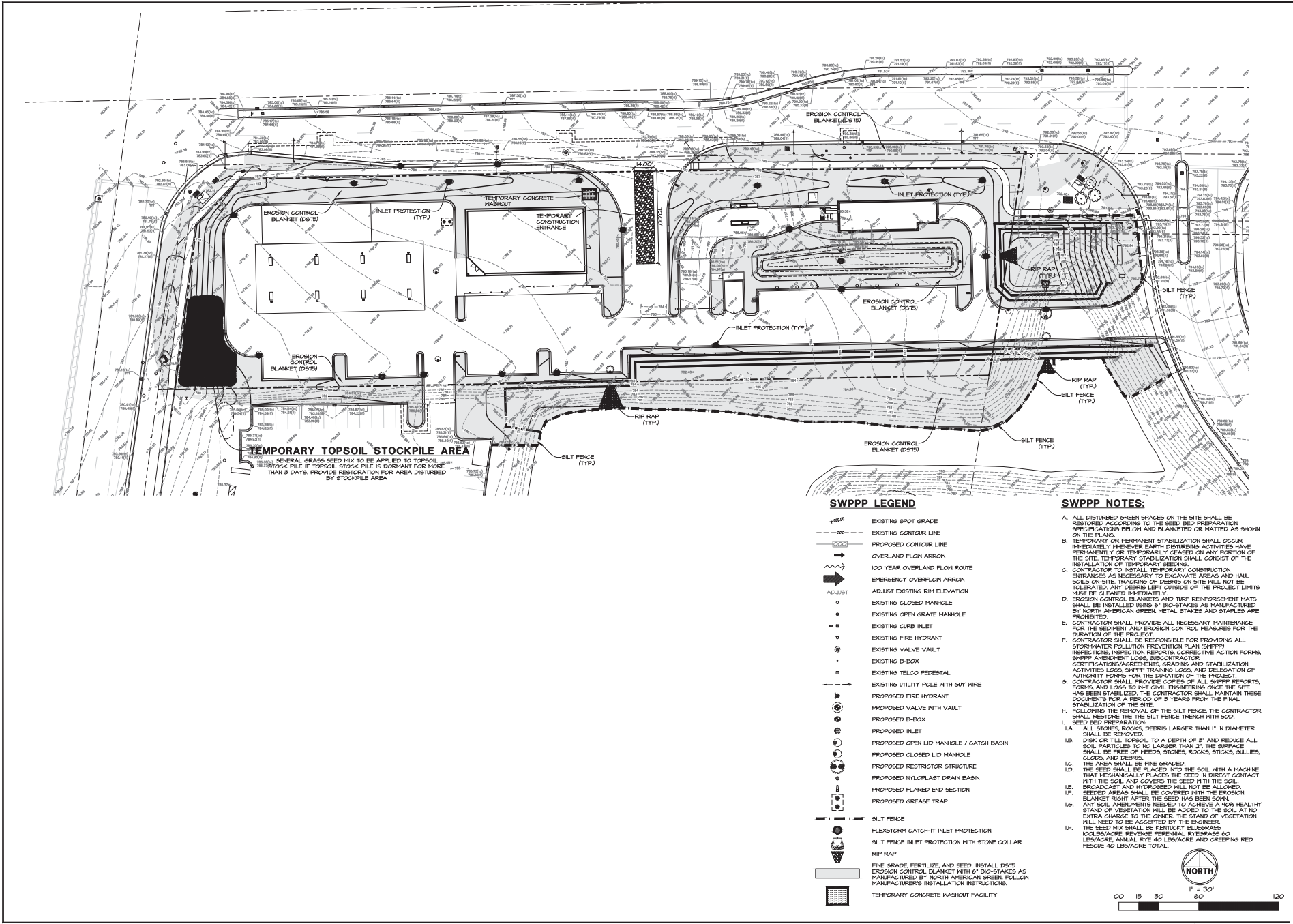
THIS DESIGN LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE.

DESIGN: The head flow characteristics of the BPE-0063-2710-2469-2710 Hydro-Brake® Optimum Flow Control are unique. Customer hydro-work including installation of the head flow characteristics curve.

ADVICE: The use of an outlet flow control will invalidate any design based on this data.

DATE: 12/25/2020 10:22 AM
SITE: Pride of Kane County
PROJECT: Main Piped
REF: New Piped

Hydro International
 SHE-0063-2710-2469-2710
 Hydro-Brake® Optimum
 hydro-int.com
 815.499.1000



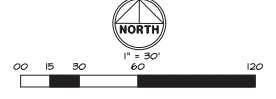
TEMPORARY TOPSOIL STOCKPILE AREA
 GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 30 DAYS. PROVIDE RESTORATION FOR AREA DISTURBED BY STOCKPILE AREA

SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING TELCO PEDESTAL
- EXISTING UTILITY POLE WITH GUY WIRE
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE VAULT
- PROPOSED B-BOX
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED N/LO/AST DRAIN BASIN
- PROPOSED FLARED END SECTION
- PROPOSED GREASE TRAP
- SILT FENCE
- FLEXSTORM CATCH-IT INLET PROTECTION
- SILT FENCE INLET PROTECTION WITH STONE COLLAR
- RIP RAP
- FINE GRADE, FERTILIZE AND SEED. INSTALL DISTS EROSION CONTROL BLANKET WITH 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY

SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO ELEVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CIVIL ENGINEERING ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOIL.
- I. SEED BED PREPARATION
 - 1A. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - 1B. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF NEEDS, STONES, ROCKS, STICKS, GULLIES, CLOS, AND DEBRIS.
 - 1C. THE AREA SHALL BE FINE GRADED.
 - 1D. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL. BROADCAST AND HYDROPOSED WILL NOT BE ALLOWED.
 - 1E. SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - 1F. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 40% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - 1G. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 10 LBS/ACRE, REVERSE PERENNIAL RYEGRASS 40 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE, AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



WT GROUP
 CONSULTING AND DESIGN
 1224 S. 103rd St., Suite 200, Mokena, IL 60450
 Phone: 815.433.1000
 Fax: 815.433.1001
 www.wtgroup.com

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 Engineering • Design • Construction

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

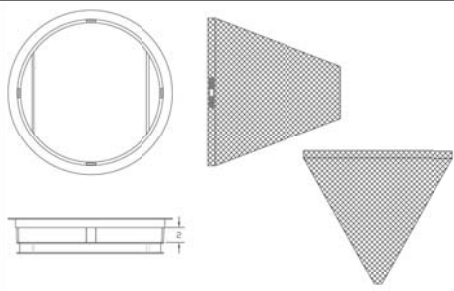
THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS
 3001/180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

ISSUE
 TO: DATE
 REV. SITE 8/19/19
 REV. SITE 8/26/19
 REV. SITE 1/13/20
 REV. SITE 2/4/20
 REV. SITE 2/11/20
 REV. SITE 3/13/20
 REV. SITE 6/30/20

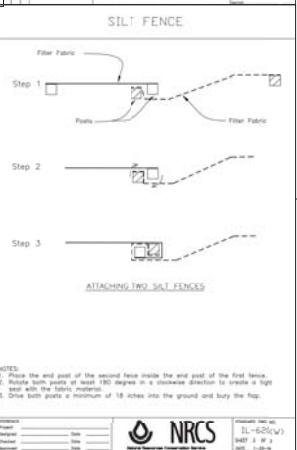
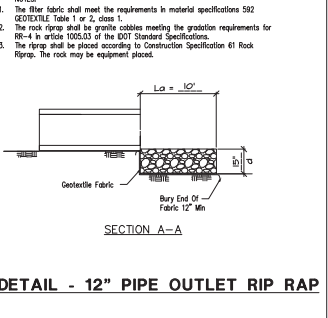
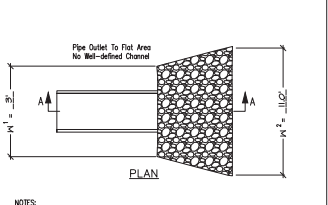
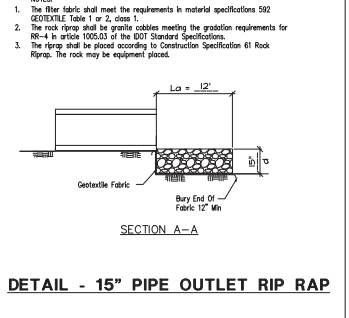
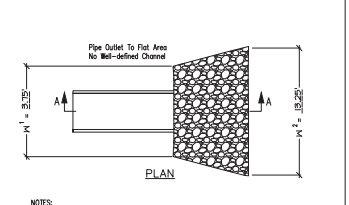
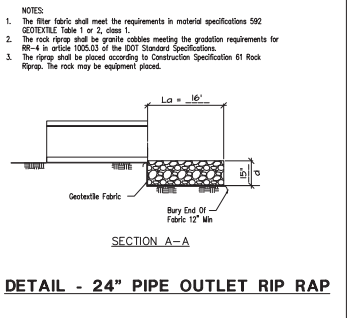
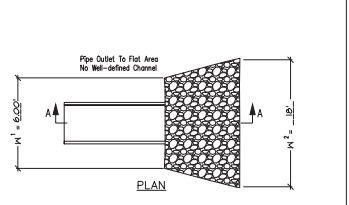
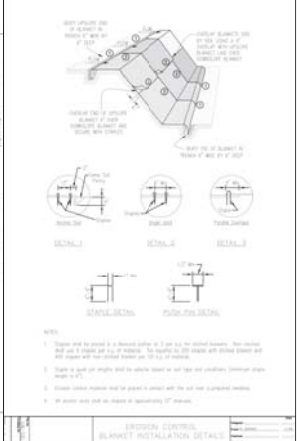
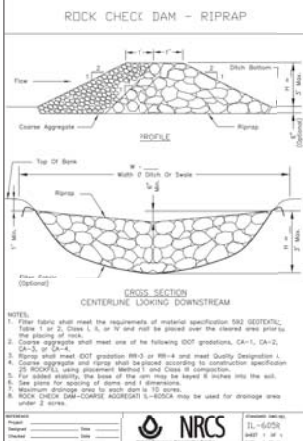
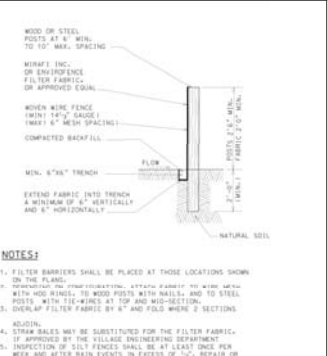
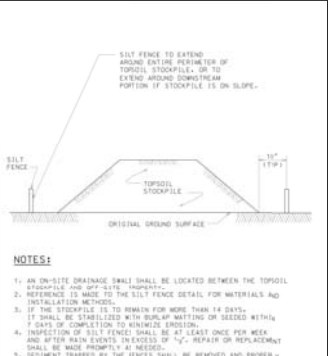
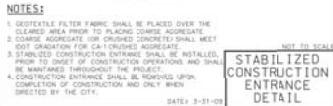
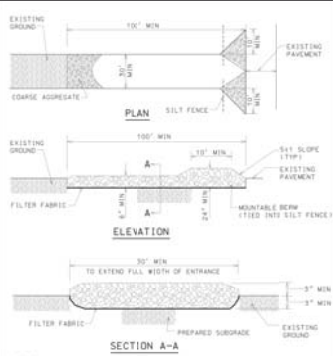
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 DRAWN/TEP
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C-6.0
 STORMWATER
 PREVENTION
 PLAN



DATE	REVISION
	Original

Typical Round Catch-All
 Marathon Materials, Inc.



DATE	REVISION
	Original

Attaching Two Silt Fences
 NRCS
 IL-6250
 2017

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWINGS.
 - 1.1. ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION.
 - 1.2. 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION.
 - 1.3. 'ILLINOIS URBAN MANUAL,' LATEST EDITION.
 - 1.4. BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES.
 - 1.5. UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, 'SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.'
 - 1.6. ILLINOIS DRAINAGE LAW.
 - 1.7. ILLINOIS ENVIRONMENTAL BARRIERS ACT.
 - 1.8. ILLINOIS ACCESSIBILITY CODE.
 - 1.9. ILLINOIS ENVIRONMENTAL PROTECTION AGENCY REQUIREMENTS.
 - 1.10. TITLE 35 OF THE ILLINOIS ADMINISTRATIVE CODE.
2. ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCIES SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHEETING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE AND TO THE SATISFACTION OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNAGE AND TRAFFIC CONTROL DEVICES TO FORM AND PROTECT THE WORK AREAS.
3. CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERS OR PUBLIC WORKS DEPARTMENT AND/OR OTHER GOVERNING AUTHORITY(S) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON EACH MAJOR CATEGORY OF WORK, INCLUDING BUT NOT LIMITED TO ANY AND ALL EXISTING PAVEMENT, DRIVEWAYS, DRIVEWAYS OR UTILITY INSTALLATIONS. 12 HOUR NOTICE SHALL BE GIVEN FOR ANY WORK ITEM THAT REQUIRES INSPECTION AND TESTING, SUCH AS SANITARY SEWER OR WATER MAIN INSTALLATION.
4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. CONTRACTOR SHALL CALL THE JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS (JULIE) AT 1-800-362-0025 OR BY DIALING 811. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND MARKERS INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
6. ALL EXISTENCES FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE CONTRACTOR OR OTHERWISE FROM RECORDED PLANS. CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION DURING CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED IN CONFLICT WITH LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
7. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNERS.
8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
9. ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN ATTENDED TO OTHERWISE TIED BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
10. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED THROUGH CONSTRUCTION OPERATIONS ABOUT PUBLIC THROUGH-PASSES AND ADJACENT PROPERTY.
11. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITIONS OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS LOCATED ON THE PLANS.
12. NO BURNING OR INCINERATION OF RUBBISH SHALL BE PERMITTED ON SITE.
13. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 18 (EIGHTEEN) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
15. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
16. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
17. THREE (3) ORIGINAL COPIES OF ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:
 - 17.1. ASPHALT PAVEMENT MIX DESIGN
 - 17.2. CONCRETE MIX DESIGN
 - 17.3. GRANULAR MATERIAL GRADATION
 - 17.4. PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VALVES, ETC.)
 - 17.5. WATER MAIN MATERIALS (VALVES, FIRE HYDRANTS, ETC.)
18. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(IES), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AN AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM THEREIN AFFIDAVIT TO THE CORNER OF EACH OF THE FOLLOWING ITEMS:
 - 18.1. TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING, ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
 - 18.2. HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
 - 18.3. RHI AND INVERT AND/or INLET PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.
 - 18.4. AS-BUILT AND/OR RECORD DRAWINGS INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION, ANY AND ALL CONSTRUCTION OPERATIONS OR PROPOSED DRAINAGE SYSTEMS TO BE INSTALLED THROUGH THE PROPOSED IMPROVEMENTS AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

SITE GRADING AND PAVING

1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES IN THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MOST STRINGENT CODE SHALL TAKE PRECEDENCE.
2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF PROPOSED SLOPES, EROSION PREVENTION AND ALL RELATED ACTIVITIES PERTAINING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS' AND SECTION 200 OF THE 'STANDARD SPECIFICATIONS,' ALL UNSUITABLE OR EXCESSIVE MATERIALS SHALL BE REMOVED OFF-SITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING, UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL, RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
4. THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL APPENDIX THEREIN AND SUPPORTING DOCUMENTS FOR THIS PROJECT, THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADES OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS. BY A SOILS ENGINEER OR HIS REPRESENTATIVE, BEFORE THE CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL (A) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034 WITH THE FINISHED GRADE AND 12" OVER THE CRUSHED GRAVEL OR STONE MEETING IDOT GRADATION CA-11 OR CA-13.
6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING TRENCHES WHICH ARE NOT INDICATED TO BE REMOVED. IF DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
8. REMOVED DRIVEWAY PAVEMENT, SIDEWALKS, CURBS, TRENCHES AND STUMPS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS DETERMINED BY THE CONTRACTOR.
9. ON AND OFF SITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF SHALL BE REPAIRED AT HIS OWN EXPENSE. IF THE STATE AND LOCAL 'STANDARD SPECIFICATIONS IN MATERIALS' AND 'STANDARD SPECIFICATIONS' IS USED.
10. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC) SECTION OR TOPSOIL AS INDICATED ON THE PLANS.
11. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
12. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADING PLANS.
13. ALL EXISTING AND PROPOSED TOP OF FINEAG ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
14. ALL CONCRETE POURED SHALL BE:
 - 14.1. MINIMUM COMPRESSIVE STRENGTH: (1) 3500 P.S.I. AT 28 DAYS PER A.C.I. (10.7)
 - 14.2. 4500 P.S.I. AT 28 DAYS PER A.C.I. (10.7)
 - 14.3. MAX WATER-CEMENTIOUS MATERIALS RATIO, 0.44 (AIR-ENTRAINED)
 - 14.4. AIR CONTENT, 6% +/- 1/2% AT POINT OF DELIVERY FOR EXPOSED CONCRETE
15. WHEN FIBER MIX REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF REINFORCED POLYPROPYLENE FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE PAVEMENT, COMPLYING WITH ASTM C 1186, TYPE III, TO 3 INCHES LONG, FIBERS SHALL BE UNIFORMLY DISPERSED IN THE CONCRETE MIXTURE AT THE MANUFACTURER'S RECOMMENDED RATE, BUT NOT LESS THAN 1.5 LB / CY, YD.
16. THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE POONDING OF STORM WATER, ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
17. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
18. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.
19. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHEREVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET READ, APPLICABLE ORDINANCES, LOCAL ORDINANCES, OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.

**WATER MAINS AND SEWERS
HORIZONTAL SEPARATION
REQUIREMENTS**

1. WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALY FROM ANY EXISTING OR PROPOSED DRAIN OR SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
 - 2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND
 - 2.2. THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; AND
 - 2.3. THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN INDISTURBED EARTH SHELVE LOCATED TO ONE SIDE OF THE SEWER.
3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTION 41-214 OF THE 'STANDARD SPECIFICATIONS' AND INTERFERED WITH PRECAST CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO THE WATER MAIN STANDARDS OF CONSTRUCTION, SHALL BE PROVIDED AND SHALL BE PRESSURE TESTED FOR THE MAXIMUM EXPECTED SURCHARGE HEAD PRIOR TO BACKFILLING.

SANITARY SEWERS

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION AND ALL SUBSEQUENT REVISIONS THEREOF ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
3. ALL SANITARY SEWER PIPE SHALL BE POLY(VINYL CHLORIDE (PVC)) SDR 26 PER ASTM D-3034 WITH THE FINISHED GRADE AND 12" OVER THE TOP OF THE PIPE PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3032, UNLESS OTHERWISE NOTED.
- 3.1. WHERE SANITARY SEWER PIPE IS NOTED AS PVC C-400, THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C-400 WITH HATERIGHT, PRESSURE RATED JOINTS CONFORMING TO ASTM D-3094.
4. SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLES AND/OR CONNECTION POINTS INDICATED ON THE PLANS.
- 4.1. A WATER TIGHT PLUS SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.
5. ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
6. ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034 WITH THE FINISHED GRADE AND 12" OVER THE CRUSHED GRAVEL OR STONE MEETING IDOT GRADATION CA-11 OR CA-13.
7. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL SEWER MAINS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
8. THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. MEASUREMENTS TO LOT CORNERS OR OTHER PERMANENT SITE FEATURE AND SHALL FURNISH A TRUE AND CORRECT COPY OF THIS INFORMATION TO THE ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS INFORMATION AND IF SHALL BE REPAIRED AT HIS OWN EXPENSE. IF THE CONTRACTOR FAILS TO PROPERLY LOCATE ANY SEWER, HE SHALL BE RESPONSIBLE FOR ANY DAMAGE WHICH IS INCURRED AS A RESULT OF THE IMPROPERLY LOCATED UTILITIES.
9. ALL SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF DIVISION II, SECTION 52 OF THE 'STANDARD SPECIFICATIONS' AND THE DETAILS IN THE PLANS.
10. A FLEXIBLE TIE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO EXISTING TRENCH MANHOLES FROM THE WATER MAIN. ALL SEWERS BY MEANS APPROVED BY THE ENGINEER PRIOR TO INSTALLATION, THIS FLEXIBLE TIE JOINTS SHALL BE A MINIMUM OF TWO (2) ADJUSTING RINGS AS ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE WATER MAIN AND SEWER. THE WATER MAIN SHALL BE CONNECTED TO THE SEWER BY MEANS OTHER THAN AN EXISTING NYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
 - 10.1. CIRCULAR SPLIT-GUT SEWER MAIN BY PROPER TOOLS (SEWER-TAP MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-TIE SADDLE OR HUB-TIE SADDLE.
11. ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER. ALL FOOTING DRAINS AND DOWNPOUTS SHALL DISCHARGE OUTSIDE TO THE GROUND OR INTO THE STORM SEWER SYSTEM AS INDICATED ON THE DRAWINGS.
12. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS 31-12 AND 31-13 OF THE 'STANDARD SPECIFICATIONS' AND INTERFERED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.

WATER MAINS

1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MOST STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS.'
3. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C-151, C-111 AND C-141, UNLESS OTHERWISE NOTED ON THE PLANS. ALL WATER MAIN PIPE SHALL BE LAID WITH A MINIMUM COVER OR PROPOSED DRAIN OR SEWER, SANITARY SEWER, GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE, UNLESS OTHERWISE NOTED ON THE PLANS. NO BERMS ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF OBTAINING ACQUATE STAKING.
4. ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034 WITH THE FINISHED GRADE AND 12" OVER THE CRUSHED GRAVEL OR STONE MEETING IDOT GRADATION CA-11 OR CA-13.
5. ALL WATER MAINS SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3032, UNLESS OTHERWISE NOTED.
- 6.1. ALL WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034 WITH THE FINISHED GRADE AND 12" OVER THE CRUSHED GRAVEL OR STONE MEETING IDOT GRADATION CA-1, CA-11 OR CA-13.
- 6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
7. A WATER TIGHT PLUS SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.
8. UPON COMPLETION OF THE WATER MAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
 - 8.1. DISINFECTATION IN ACCORDANCE WITH SECTION 41-214 OF THE 'STANDARD SPECIFICATIONS' AND INTERFERED BY THE LOCAL GOVERNING AUTHORITY.
 - 8.2. DISINFECTATION IN ACCORDANCE WITH SECTION 41-215 OF THE 'STANDARD SPECIFICATIONS' AND INTERFERED BY THE LOCAL GOVERNING AUTHORITY.

WATER SERVICES AND CONNECTIONS

1. ALL WATER SERVICE PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS.'
2. ALL WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B-88-89. NO COUPLERS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOP OR BETWEEN THE CURB STOP AND THE BUILDING.
3. ALL WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE AS MANUFACTURED BY THE MUELLER COMPANY OR APPROVED EQUAL.
4. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD 'WATER' CAST IN THE TOP.
5. ALL VALVES, VALVE BOXES OR VALVS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF DIVISION IV, SECTION 44 OF THE 'STANDARD SPECIFICATIONS.'
6. VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 DUCTILE IRON RESILIENT SEAT EPOXY COATED FLEXION JOINTS CONFORMING TO AWWA C900.
7. ALL PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 46 OF THE 'STANDARD SPECIFICATIONS' AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
8. ALL VALVES SHALL BE INSTALLED IN VALVE VAULTS HAVING A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE GROUND SECTION. THE VALVS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.
9. ALL REQUIRED RIP-UP ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES ABOVE OVERALL HEIGHT, A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

**WATER MAINS AND SEWERS
VERTICAL SEPARATION
REQUIREMENTS**

1. WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER INVERT. WHEN THE INVERTS OF THE WATER MAIN AND SEWER ARE NOTED TO BE HORIZONTAL OR ANY SEWER IS LOCATED AT AN OVERTOPPED POSITION, WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIVALENT FROM THE SEWER OR DRAIN.
2. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRE-STRESSED CONCRETE PIPE OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION WHEN:
 - 2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 1. ABOVE; OR
 - 2.2. THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.
3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER, THE SEWER OR DRAIN SHALL BE SUPPORTED TO PREVENT SETTLEING AND BREAKING OF THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

STORM SEWERS

1. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS,' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
2. ALL STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS' AND INTERFERED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.
3. ALL RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS V, PER ASTM C-448 AND SECTION 31-102 OF THE 'STANDARD SPECIFICATIONS.' ALL 12" DIAMETER RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS V.
4. ALL HDPE STORM SEWER PIPE SHALL BE RIGID HIGH DENSITY POLYETHYLENE PIPE WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR MEETING AWWA M-204. TYPE 5, PIPE SECTIONS SHALL BE JOINED WITH PVC DOUBLE RIB COUPLERS INSTALLED ON THE PIPE WITH GRIND GRANITE GARDEN GRADATION CONFORMING TO ASTM D-3032, EXCEPT THAT OF PVC SDR 26 WITH PUSH-ON JOINTS. ALL HDPE STORM SEWER PIPE SHALL ONLY BE FOR PRIVATE USE.
5. ALL PVC STORM SEWER PIPE SHALL BE POLY(VINYL CHLORIDE (PVC)) SDR 26 PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3032, UNLESS OTHERWISE NOTED.
6. ALL STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND BEDDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
- 6.1. ALL STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE MATERIAL, SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3032.
- 6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
7. ALL REQUIRED STORM STRUCTURE RIP ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT, A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
8. ALL FIELD TIE BE INSTALLED DURING CONSTRUCTION OPERATIONS SHALL BE PROVIDED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE CAN. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE AND REPAIRED TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TIE OR DRAIN TIE SHALL BE INTERFERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.

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WT GROUP
NAVY Group
C-7.0 PROJECT SPECIFICATIONS

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	11/13/20
REV. SITE	2/4/20
REV. SITE	3/18/20
REV. SITE	6/10/20
REV. SITE	6/16/20

CHECK/DOA
DRAWN/TPE
JOB:1901003C
C-7.0
PROJECT SPECIFICATIONS

STORMWATER POLLUTION PREVENTION NOTES

1. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH THE PERMIT, INCIDENT OF NON-COMPLIANCE (I/CN) FORM AND INSPECTION FORMS.
2. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CITY ENGINEER. CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE PROJECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- 3.1. ILLINOIS QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 3.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTORS WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
5. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.
6. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
8. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION POLLUTION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
9. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION, SHALL BE APPLIED.
10. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TEMPORARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
11. ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
12. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
13. ALL DISTURBED AREAS SHOULD BE SEEDED OR SOODED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
14. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOE OF DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED IMMEDIATELY.
15. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
16. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A MANNER AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, MASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
17. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSSES IS PROHIBITED.
18. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SHALL, DEWATERING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.
19. ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
20. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6:1 SLOPE OR STEEPER AND AS SHOWN ON THE PLANS.
22. ALL DISTURBED GREEN SPACES WITHIN THE R.O.W. SHALL BE RESTORED WITH 6" OF TOPSOIL AND CLASS 2A SEEDING.
23. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SAFTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER. EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEFORE THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT INCLUDE VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
24. ONCE ALL DISTURBED AREAS WITHIN THE R.O.W. SHALL BE RESTORED WITH SEED AND BLANKET OR SOIL AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE FRESH SHALL BE RESTORED WITH TOPSOIL, SEED FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL, AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
25. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

1. OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SHEETS THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTORS.
- 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
6. PERFORM SITE CLEANING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SWALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL, BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
10. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
11. INSTALL DETENTION SYSTEMS, STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
12. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
13. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
14. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
15. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
16. SUBMIT A NOTICE OF TERMINATION (N.O.T.) TO THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY UPON COMPLETION OF ALL SITE CONSTRUCTION AND FINAL SITE STABILIZATION (I.E. OVER 70% VEGETATIVE COVER).

WT GROUP
 1224 S. 103RD ST. #200
 WARRENVILLE, IL 60555
 TEL: 630.399.1100
 FAX: 630.399.1101
 WWW.WTGROUP.COM
 *A CORPORATE FIRM OF WT GROUP, LLC

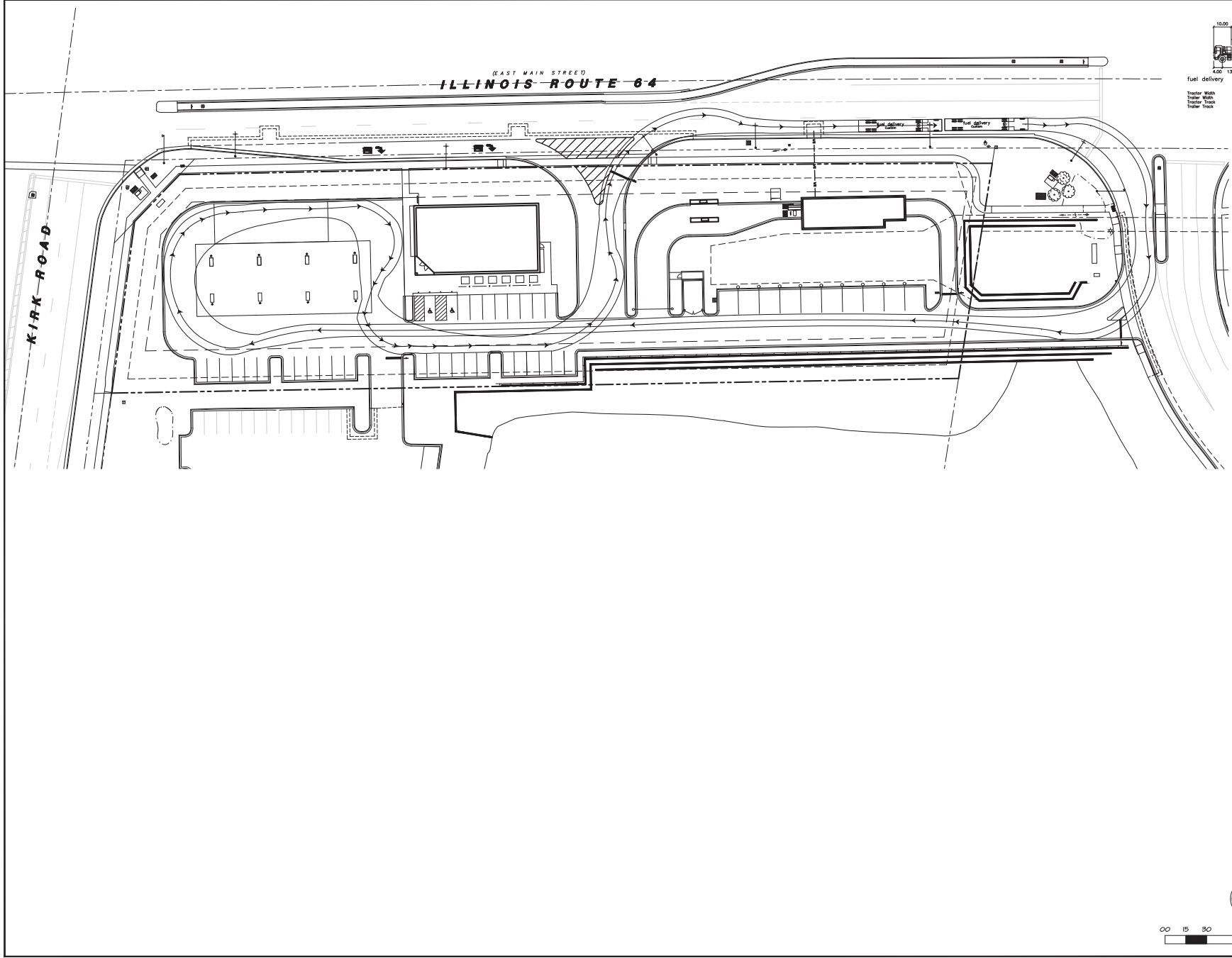
THE PRIDE OF KANE COUNTY
 3301/573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS
 3001/180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/10/20
REV. SITE	6/30/20

CHECK/TO
 DRAWN/TEP
 JOB:1910803C



Tractor Width	feet	Load to Lock Time	ft.
Tractor Width	8.50	Steering Angle	30.0
Trailer Width	8.50	Articulating Angle	75.0
Trailer Track	8.50		

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY
WT GROUP
 ENGINEERING AND PLUMBING TRUCK CIRCULATION
 124.234.203.0333 FAX 224.203.0444 E 0202
 www.wtgroup.com
 10000 WOODBURN AVENUE, SUITE 1000, WARRENVILLE, ILLINOIS 60090
 *A COMPANY OF THE WT GROUP, LLC

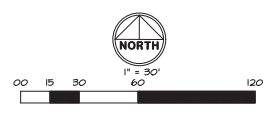
WT Group
 Engineering • Design • Consulting

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS
 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

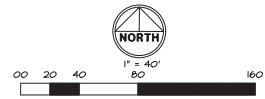
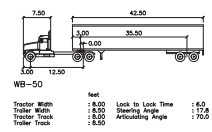
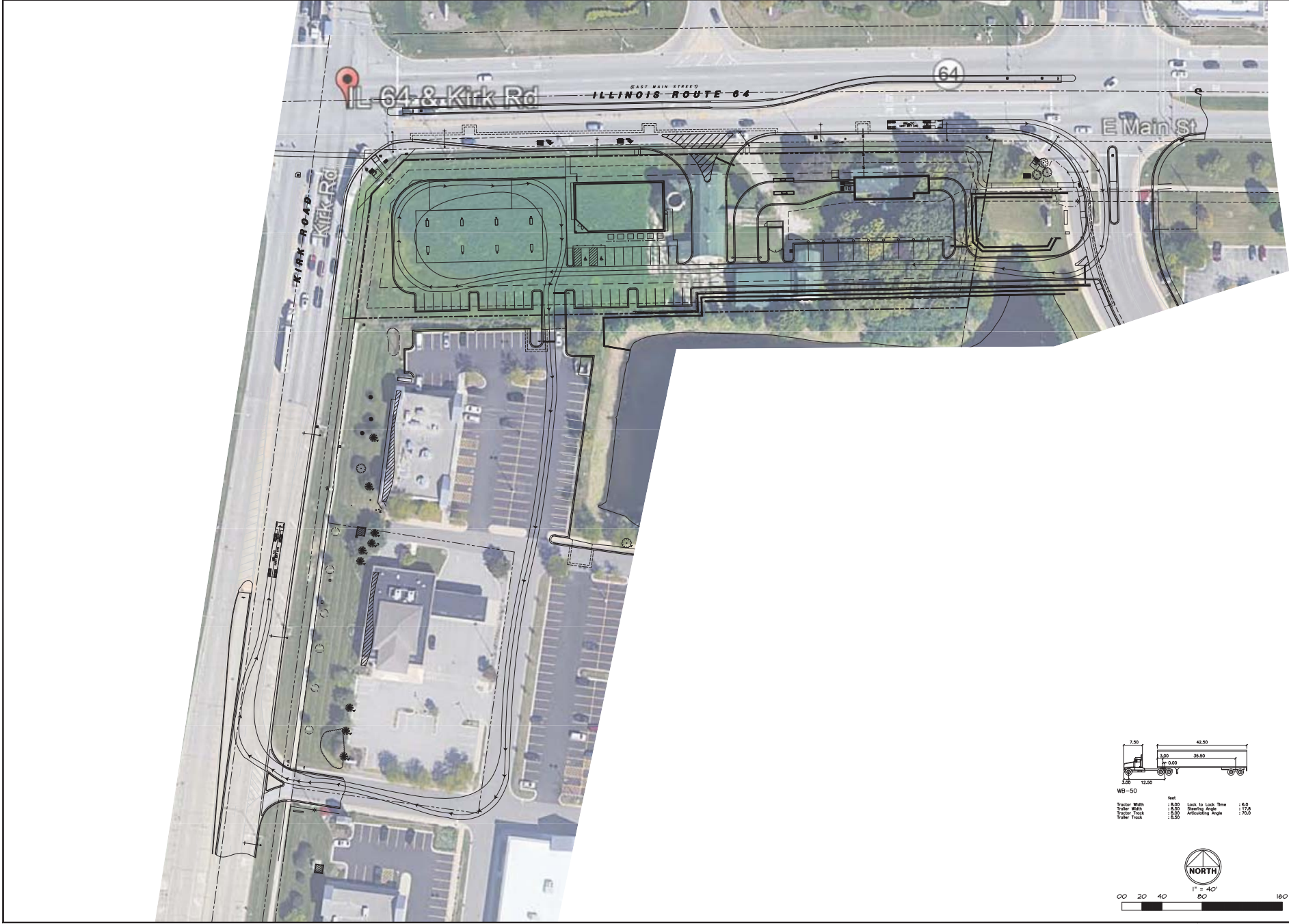
TO	DATE
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

ISSUE



CHECKED: TGA
 DRAWN: TEP
 JOB: 1910803C

C-8.0
 TRUCK CIRCULATION PLAN



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

WT GROUP
 ENGINEERING AND PROJECT MANAGEMENT
 224.293.0333 | 224.293.0444 | E 0702
 www.wtgroup.com | 1000 W. Wacker Drive, Suite 4000
 Chicago, IL 60601

WV Group
 Engineering & Design Consulting

CIMA DEVELOPERS
 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

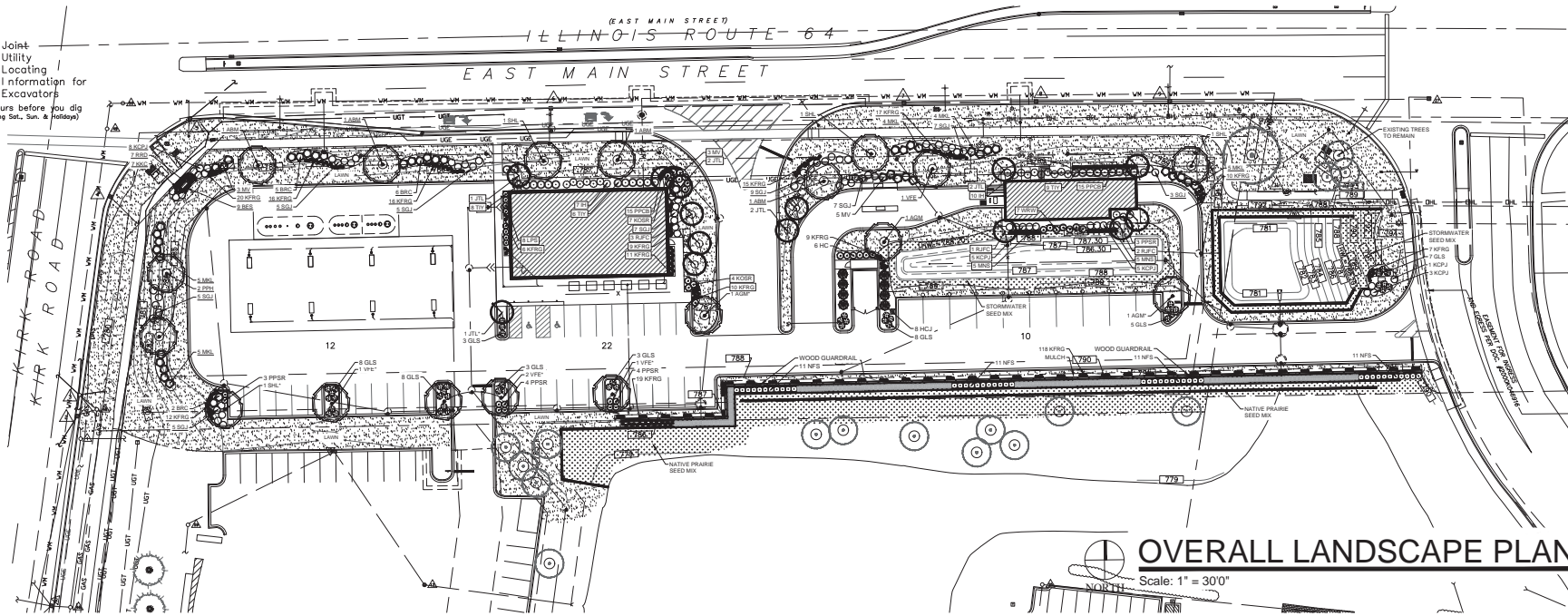
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REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

CHECK: TOA
 DRAWN: TEP
 JOB: 1910803C

C-9.0
 FIRE APPARATUS
 CIRCULATION PLAN

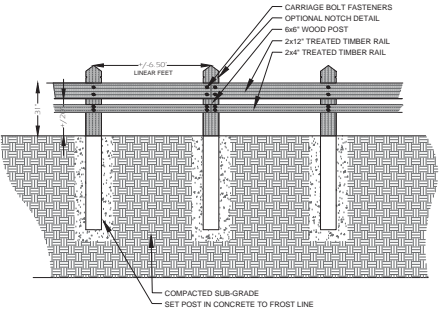


Joint Utility Locating Information for Excavators
Call 48 hours before you dig (excluding Sat., Sun. & Holidays)



OVERALL LANDSCAPE PLAN

Scale: 1" = 30'0"

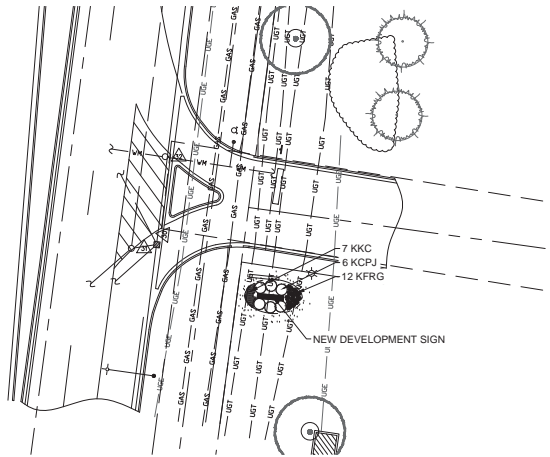


WOOD GUARDRAIL SECTION

1 DETAIL N.T.S.



EXAMPLE OF WOOD GUARDRAIL



KIRK ROAD MONUMENT SIGN LANDSCAPE

Scale: 1" = 10'0"



- SHADE TREES (DECIDUOUS)**
 - ABM Autumn Blaze Maple
 - BRM Prairie Tree Hackberry
 - DHL Skyline Honeylocust
 - ADAM Autumn Gold Kalmianeb
 - VEE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
 - BRM King Pine American Hornbeam
 - RFC Red Jewel Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
 - HCJ Hartz Columnar Juniper (upright)
- EVERGREEN SHRUBS**
 - SGJ Sea Green Juniper
 - KCPJ Kinky Compact Effort Juniper
 - TIV Tautou Intermediate Yew
- DECIDUOUS SHRUBS**
 - BAC Brilliant Red Chokeberry
 - HC Pinking (Hedge) Coleonaster
 - HC Incrediball Hydrangea
 - GLS Gra Low Fragrant Sumac
 - KDOR Knock Out Double Rose
 - PPSR Pink Pavement Series Rose
 - NS Neon Flash Spirea
 - MK Mexican Dwarf Elm
 - MV Mexican Viburnum
 - WVW White & Rose Compact Weigela
- ORNAMENTAL GRASSES**
 - KFRG Karl Foerster Feather Reed Grass
- HERBACEOUS PERENNIALS**
 - RSD Roy Roberson Daylily
 - PPCR Pinkie Purple Coreopsis
 - KCC Dwarf Catmint
 - RES Black-eyed Susan
 - NYS May Night Salvia

Cardno Native Plant Nursery
www.cardnonativeplantnursery.com
128 Sunset Drive
Waukegan, Indiana 46574
Ph: 373-586-2412

Stormwater Seed Mix
For Use on Stormwater Management Ponds (SWMP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS	Dances/Acre
Permanent Grasses/Sedges/Rushes:			
Carex crinitata	Crested Oval Sedge		1.00
Carex frankii	Bristly Cattail Sedge		1.00
Carex lasiocoma	Buttonbush Sedge		2.00
Carex (sparganoides v. cephaloides)	Rough Clustered Sedge		2.00
Carex vulpinoidea	Brown Fox Sedge		6.00
Eriochloa ovata	Blunt Spike Rush		0.50
Elymus virginicus	Virginia Wild Rye		12.00
Glyceria striata	Fowl Manna Grass		1.25
Aeluropus effusus	Common Rush		1.00
Aeluropus lamiifolius	Torney's Rush		0.25
Lernaeus arvensis	Rice Cut Grass		1.00
Panicum strigosum	Switch Grass		2.00
Scirpus atrovirens	Dark Green Rush		1.00
Scirpus cyperinus	Wood Grass		45.50
Scirpus (Buxifolia)	River Bulrush		0.25
Scirpus validus	Great Bulrush		6.00
Total			45.75
Temporary Cover:			
Avena sativa	Common Oat		360.00
Lolium multiflorum	Annual Rye		135.00
Total			495.00

Forbs:	Water Plantain (Various Mix)	4.25
Alisma spp.	Swamp Milkweed	1.50
Asclepias incarnata	Bidens (Various Mix)	2.00
Bidens spp.	Sneezeweed	3.00
Helianthus autumnalis	Monkey Flower	1.00
Mimulus ringens	Disc Starwort	0.50
Pentstemon axillaris	Pinkweed	4.00
Polygonum pennsylvanicum	Sweet Black-eyed Susan	1.00
Rudbeckia subtomentosa	Broad Leaf Arrowweed	1.00
Sagittaria arifolia	Wild Senna	1.00
Senecio hebecarpa	Purple Meadow Rue	2.00
Thalictrum dasycarpum		
Total		23.25

Approximate area of coverage:
Total area (SF) of coverage surrounding SWM ponds: 2,690
Total area (acres) of coverage surrounding SWM ponds: 0.06

PLANT ABBREVIATIONS
[BUILDING FOUNDATION]
[STREET FRONTAGE]
[PARKING ISLAND TREE]

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
dave@vdayviller.com
www.vdayviller.com

CIMA DEVELOPERS
THE PRIDE OF KANE COUNTY

Southeast Corner of Main St. & Kirk Rd.
St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

SHEET TITLE
OVERALL LANDSCAPE PLAN

PROJECT MANAGER WDH
PROJECT NUMBER 19-066
DATE 08.03.20
SHEET NUMBER

L 1.0

Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)
 ABM Autumn Blaze Maple
 PPM Prairie Pride Hackberry
 SHL Skyline Honeylocust
 AGM Autumn Gold Maidenhair
 VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)
 RFH Rising Fire American Hornbeam
 RJFC Red Jewel Flowering Crabapple
 JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES
 HCl Metal Columnar Juniper (upright)

EVERGREEN SHRUBS
 SGJ Sea Green Juniper
 KCPJ Kallay Compact Pfitzer Juniper
 TTY Taunton Intermediate Yew

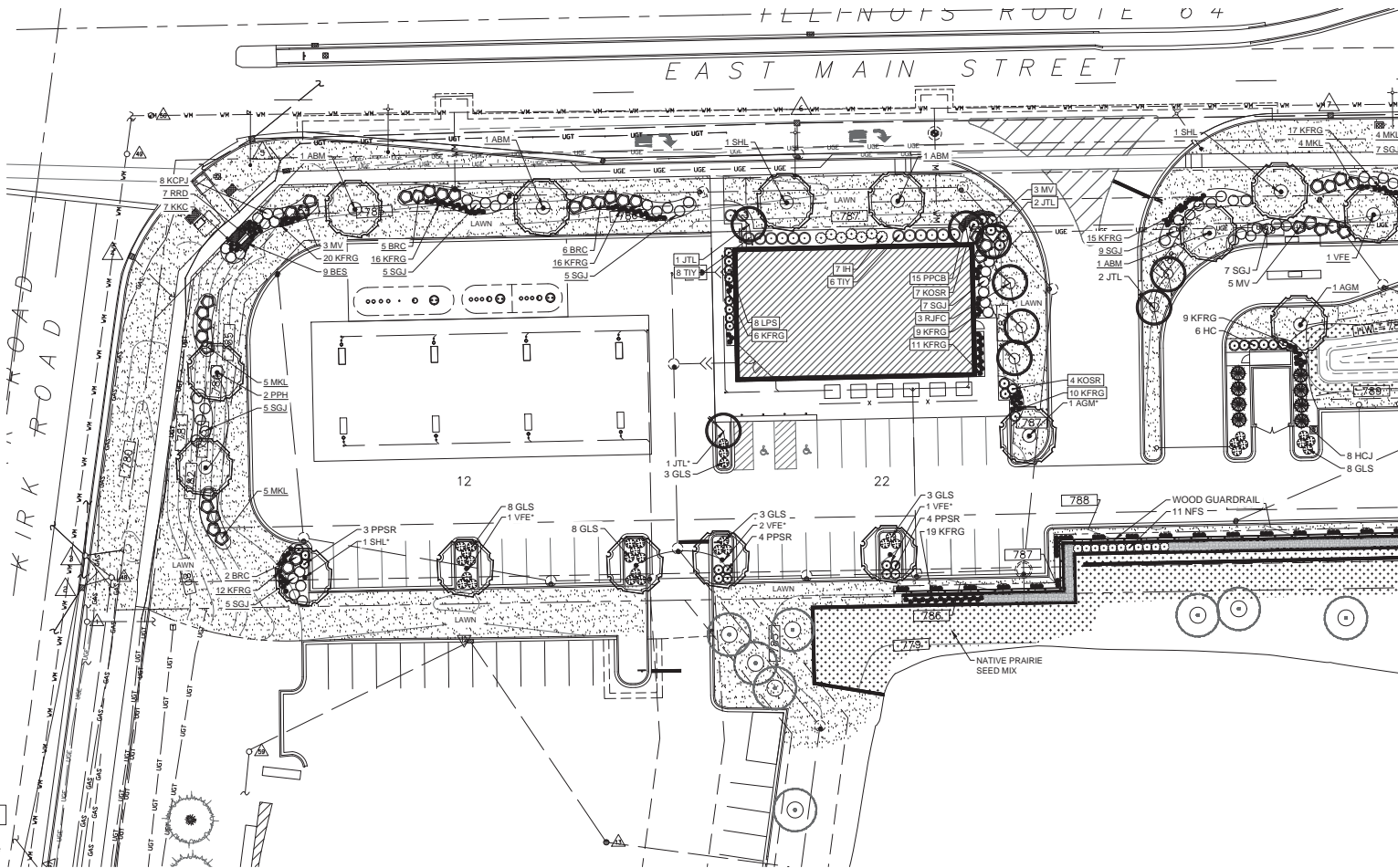
DECIDUOUS SHRUBS
 BRC Brilliant Red Chokeberry
 HC Peking (Hedge) Cotoneaster
 IH Incredible Hydrangea
 GLS Gro Low Fragrant Sumac
 KOSR Knock Out Shrub Rose
 PPSR Pink Pavement Series Rose
 NPS Neon Flash Spirea
 NKL Niles Kim Dwarf Lilac
 MV Mohican Viburnum
 WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES
 KFRG Karl Foerster Feather Reed Grass

HERBACEOUS PERENNIALS
 RRD Rosy Returns Daylily
 PPCB Palace Purple Coralbells
 KKC Dwarf Catmint
 BES Black-eyed Susan
 MNS May Night Salvia

PLANT ABBREVIATIONS

BUILDING FOUNDATION
STREET FRONTAGE
PARKING ISLAND TREE*



ENLARGED LANDSCAPE PLAN

Scale: 1" = 20'0"

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
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 david@vdayheller.com
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ENLARGED LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
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L 1.1



Joint Utility Locating Information for Excavators

Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)

- ABM Autumn Blaze Maple
- PPH Prairie Pride Hackberry
- SHL Skyline Honeylocust
- AGM Autumn Gold Maidenhair
- VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)

- RFH Rising Fire American Hornbeam
- RJFC Red Jewel Flowering Crabapple
- JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

- HCI Hetzi Columnar Juniper (upright)

EVERGREEN SHRUBS

- SGJ Sea Green Juniper
- KCPJ Kallay Compact Pfitzer Juniper
- TYT Taunton Intermediate Yew

DECIDUOUS SHRUBS

- BRC Brilliant Red Chokeberry
- HC Peking (Hedge) Cotoneaster
- IH Incrediball Hydrangea
- GLS Gro Low Fragrant Sumac
- KOSR Knock Out Shrub Rose
- PPSR Pink Pavement Series Rose
- NFS Neon Flash Spirea
- MKL Miss Kim Dwarf Lilac
- MV Mohican Viburnum
- WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES

- KFRG Karl Foerster Feather Reed Grass

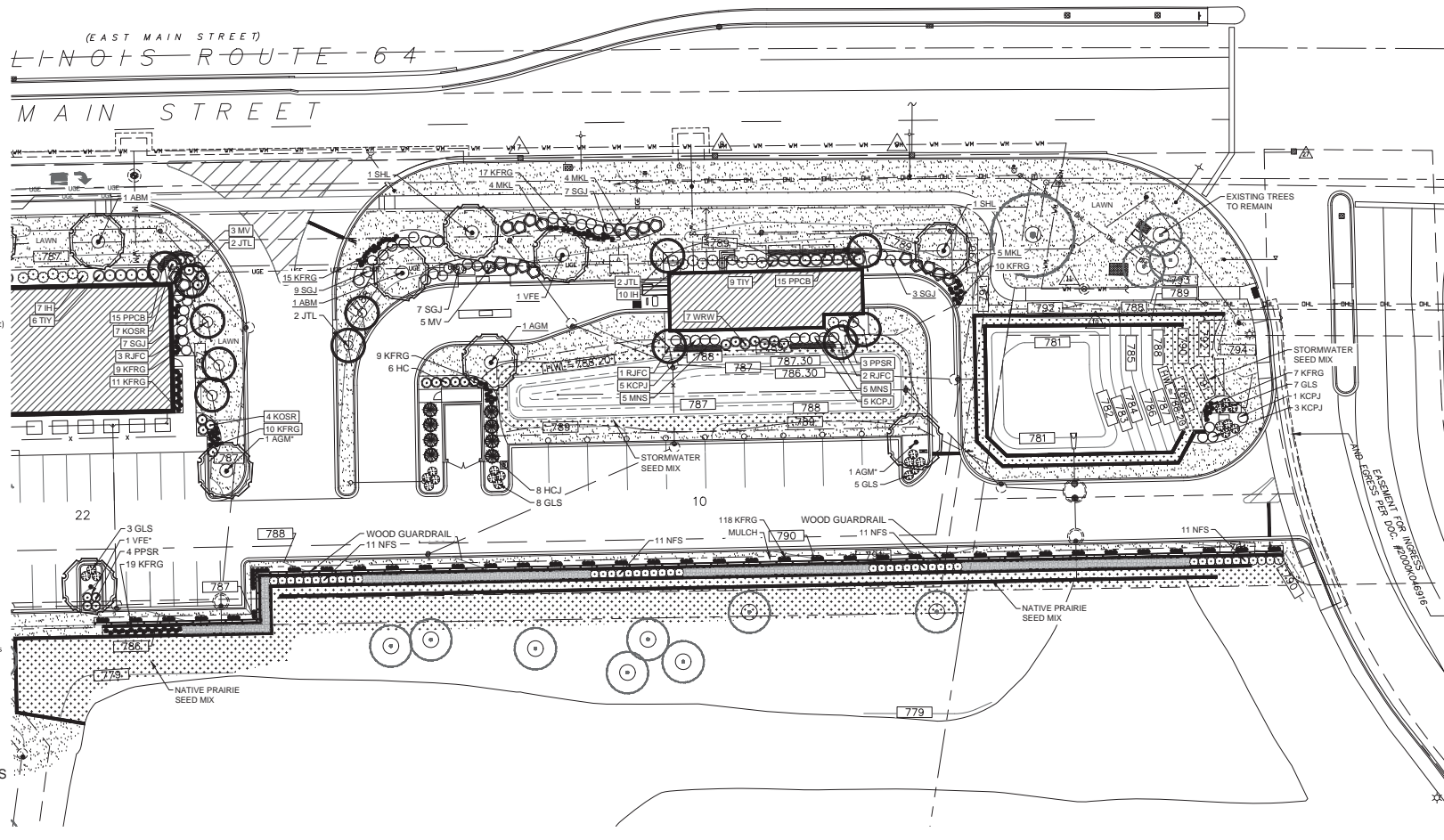
HERBACEOUS PERENNIALS

- BRD Rosy Returns Daylily
- PPCB Palace Purple Coralbells
- KKC Dwarf Catmint
- BES Black-eyed Susan
- MNS May Night Salvia

PLANT ABBREVIATIONS

- BUILDING FOUNDATION
- STREET FRONTAGE
- PARKING ISLAND TREE*

(EAST MAIN STREET)
ILLINOIS ROUTE 64
MAIN STREET



ENLARGED LANDSCAPE PLAN

Scale: 1" = 20'0"

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
dave@vdayheller.com
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Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE
ENLARGED LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
DATE	08.03.20
SHEET NUMBER	

L 1.2

- Contractor responsible for contacting JULIE - Utility Locators (811 or 800-892-0123) to have sites marked prior to excavation or planting.
 - Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
 - All plantings shall comply with standards as described in American Standard of Nursery Stock - Z50.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, understated, diseased, improperly transported, installed incorrectly or damaged. No substitutions "B Grade" or "Tank Grade" plant material shall be accepted. Plant material shall originate from nurseries using a similar climate as the planting site.
 - Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
 - Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 7' of shrub plants by General Contractor (if grading operations/contractor). The Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, understated, diseased, improperly transported, installed incorrectly or damaged. No substitutions "B Grade" or "Tank Grade" plant material shall be accepted. Plant material shall originate from nurseries using a similar climate as the planting site. Topsoil shall be responsible for the fine grading of all disturbed areas, parking bed areas, and lawn areas. Cover all parking lot islands a minimum of 0.75' to provide proper drainage, unless otherwise specified.
 - Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball. If needed, remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable turps and wire cage (if present) from the top 2' of the rootball and carefully band remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 0.75' of the ballp and remove the turps. Provide slow release fertilizer for each tree planting.
 - Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy duty, or concrete pieces. When hole is 1/2 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soil in the new planting. Each tree shall receive a 3" deep, 4:6:6 fertilizer (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
 - Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 3/4" mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and drainage from plant beds prior to planting. When holes are 1/2 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
 - Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1.2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
 - Edging: All planting beds shall be edged with a 4" deep spa edge using a flat landscape spade or a mechanical edger. Bedlines are to be out crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Patch mulch against lawn edges or hold in place.
 - Plant bed preparation: All perennial, groundcover and annual areas (if applicable) are required to receive a layer of organic soil (Soil Amendment) amendments prior to installation. Rates of the following materials at the following ratio, mix using soil against beds or installed topsoil beds to a depth of approximately 8" - 10":
 - 1/2 CY Plant Moss or Mushroom Compost
 - 1/4 CY Bioactivated Topsoil
 - 2 pounds starter fertilizer
 - 1/4 CY composted manure
 - Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and soil bed, removing all debris and stones 3/4" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod brand according to TPI (contact TPI) and ASP's standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all waste applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
 - Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #18 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly to the specified site, and provide much covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Control materials are to be used in lawns and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor or his/her representative to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of finished, topsoil and composted material is required for all lawn areas. If more mulch is used as a much covering, a tackifier may be necessary to avoid wind dispersal of much covering. Marsh hay containing red canopy grass is NOT acceptable as a much covering.
- An acceptable quality seed installation is defined as having:
 No bare spots larger than one (1) square foot.
 No more than 10% of the total area with bare areas larger than one (1) square foot.
 A uniform coverage through all turf areas.
- No-Mow seed areas: No-Mow/No-Fertilize seed mix with annual ryegrass crop (available at Cedar Creek Seed Farm 888-313-6887 or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre at site recommendation by supplier. Prepare seed bed and soil as specified in item #13 above.
 - Native Prairie Seed Mix/ Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-846-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
- Warranty and Replacements:** All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, non-mow grass, and native prairie seed mix/ stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
 - Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect. Client or Owner's Change Requests and the General Contractor to answer questions, provide written case instructions for new plantings and turf, and ensure that all specifications have been met.

LANDSCAPE GENERAL NOTES

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CALIPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
Proposed Landscape Materials							
TREES (DECIDUOUS)							
ASB	4	Aster 'Fremontii' Autumn Star®	Autumn Blaze Maple	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
PPH	2	Callis cordocentra Prairie Pride®	Prairie Pride Hickory	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
SHL	4	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
AGM	3	Gringolobus Autumn Gold®	Autumn Gold Linden*	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
VTE	5	Ulmus americana Valley Forge®	Valley Forge American Elm	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
ORNAMENTAL TREES (DECIDUOUS)							
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CALIPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
RIFC	6	Malus 'Jewelbrite'	Red Jewel Flowering Crabapple	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
JTL	4	Syringa reticulata 'Hony Lily'	Hony Lily Japanese Tree Lilac	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
EVERGREEN TREES							
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
HCJ	6	Juniperus chinensis 'Yetti's Columnar™'	Yetti's Columnar Juniper (upright)	5'	B&B	Evenly shaped tree with branching to the ground	42"
EVERGREEN SHRUBS							
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
SQ	53	Juniperus chinensis 'Sea Green'	Sea Green Juniper	45"	Cont.	Full rounded well branched shrub	54"
KCF	28	Juniperus chinensis 'Savoy'	Kelly Compact Foliage Juniper	45"	Cont.	Full rounded well branched shrub	46"
TYJ	23	Taxus media 'Taxion™'	Taxion Intermediate Yew	24"	B&B	Full rounded well branched shrub	42"
SHRUBS							
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
BRC	33	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	42"	Cont.	Full, well rounded plant, evenly shaped	46"
CS	48	Colubocera acutiloba	Pecking Hedges Colubocera	42"	B&B	Full, well rounded plant with nice rootball and healthy appearance	30-42"
HM	37	Hedera helix 'Aristocrates 'Abletoe''	Iceberg Ball Hedera	45"	Cont.	Full, well rounded plant, evenly shaped	46"
OCJ	46	Rhus typhina 'Jim Low'	Jim Low Hairy Thorned	45"	Cont.	Full, well rounded plant, evenly shaped	42"
KORJ	11	Rosa 'Knock Out'	Rose Knock Out	45"	Cont.	Full, well rounded plant, evenly shaped	42"
PPR	34	Rosa rugosa 'Pink Parfait™'	Pink Parfait Series Rose	24"	Cont.	Full, well rounded plant, evenly shaped	46"
NSR	31	Syringa reticulata 'New Dawn™'	New Dawn Syringa	24"	Cont.	Full, well rounded plant, evenly shaped	46"
MWJ	23	Syringa reticulata 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rounded plant, evenly shaped	60"
ML	31	Viburnum coccineum 'Satan's Blood™'	Mohican Viburnum	24"	B&B	Full, well rounded plant with nice rootball and healthy appearance	60"
WXL	7	Wrightia florinda 'Wine & Roses'	Wrightia Florinda	24"	Cont.	Full, well rounded plant, evenly shaped	42"
ORNAMENTAL GRASSES							
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	PLANT SPACING
FRTS	409	Chamaerops acutifolia 'Carl Foerster'	Carl Foerster Feather Reed Grass	41"	Cont.	Full, well rounded plant	15-18"
PERENNIALS							
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	PLANT SPACING
REJ	7	Hemerocallis 'Rosa Returns'	Rose Returns Daylily	41"	Cont.	Full, well rounded plant, evenly shaped	18"
PCS	30	Heuchera micrantha 'Palace Purple'	Palace Purple Coralbells	41"	Cont.	Full, well rounded plant, evenly shaped	18"
KCC	34	Hyacinthus 'Grand Rapids'	Grand Rapids Iris	41"	Cont.	Full, well rounded plant, evenly shaped	24"
BB	9	Rubus idaeus 'Goldflame'	Black-eyed Susan	41"	Cont.	Full, well rounded plant, evenly shaped	36"
NRS	50	Salvia x superba 'May Night'	May Night Salvia	41"	Cont.	Full, well rounded plant, evenly shaped	36"
PLANTING & HARDSCAPE SCHEDULE							
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	PLANT SPACING
LAWN	3495	Lawn Establishment Area / Grading Area	Reider's Deluxe 50 Seed Mix (800-785-3303)	5Y			
4830		Erosion Matting for sloped seeded areas	see plan for area delineation				
300		Stormwater Seed Mix	see plan for area delineation				
775		Native Prairie Seed Mix	see plan for area delineation				
Hardscape Materials							
67		Shredded Hardwood Mulch (1/2" depth)	Area: 10,802 SF	CY		Bank Mulch; apply Pre-emergent after installation of much	
67		Soil Amendments (1" depth)	Area: 10,802 SF	CY			
67		Pulverized Topsoil (2" over bed areas)	Area: 42,262 SF	CY			
67		Pulverized Topsoil (1" over bed areas)	Area: 10,802 SF	CY			
<div style="border: 1px solid black; padding: 5px; font-size: 0.8em;">*Landscape Contractor quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for working these counts and quantities in order to provide a complete landscape installation as outlined in this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notation depicted therein, shall govern.</div>							
Seed Compositions:							
Reider's Deluxe 50 Seed Mix (800-785-3303)	15%	Quackberry Perennial Ryegrass	Seed at rate of 350-2000 per acre				
20% Kentucky Bluegrass (Sod Quality)							
20% Western Kentucky Bluegrass		10% Kentucky Perennial Ryegrass					
10% Can Blue Kentucky Bluegrass		10% Heavy Pennine Ryegrass					
20% Creeping Red Fescue							

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph: 262.639.9733
dave@heller.com
www.heller.com

PROJECT



CIMA
DEVELOPERS

THE PRIDE OF KANE COUNTY

SE Southeast Corner of
Main St. & Kirk Rd.
St. Charles, IL

ISSUANCE AND REVISIONS

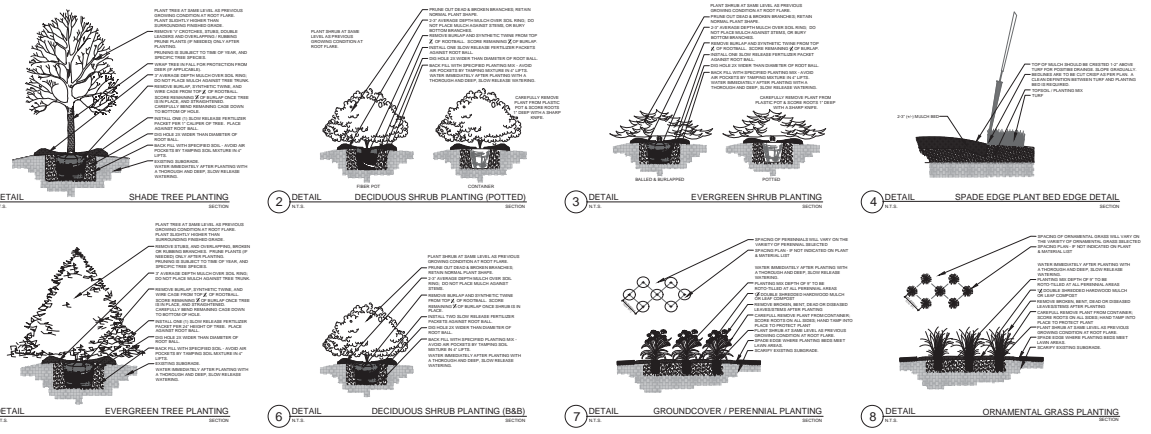
DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

Cardinal Native Plant Nursery
www.cardinalnativeplantnursery.com
128 Sunset Drive
Walkerton, Indiana 46574
Ph: 317-546-2412

Economy Prairie Seed Mix

Botanical Name	Common Name	PLS Ounces/Acre
Perennial Grasses:		
<i>Andropogon gerardii</i>	Big Bluestem	16.00
<i>Desmodium illinoense</i>	Side-Oats Gramma	18.00
<i>Carex bicknellii</i> / <i>Carex brevior</i>	Prairie Sedge Mix	1.00
<i>Elymus canadensis</i>	Canada Wild Ryegrass	16.00
<i>Panicum capillare</i>	Switch Grass	3.50
<i>Schizochyrium scoparium</i>	Little Bluestem	24.00
<i>Sorghastrum nutans</i>	Indian Grass	18.00
Total		95.50
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	300.00
<i>Lolium multiflorum</i>	Annual Ryegrass	100.00
Total		400.00
Forbs:		
<i>Asclepias speciosa</i>	Common Milkweed	0.50
<i>Asclepias tuberosa</i>	Butterfly Milkweed	1.00
<i>Aster latifolius</i>	Smooth Blue Aster	0.25
<i>Aster nemorosus</i>	New England Aster	0.75
<i>Chamaecrista fasciculata</i>	Partridge Pea	12.00
<i>Centaurea jacea</i>	Sand Centaury	5.00
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	2.50
<i>Heritages helianthus</i>	Falsie Sunflower	0.25
<i>Lupinus perennis</i>	Wild Lupine	0.50
<i>Monoena fistulosa</i>	Wild Bergamot	0.25
<i>Pycnanthemum leucifolium</i>	Common Mountain Mint	0.50
<i>Rudbeckia hirta</i>	Yellow Coneflower	3.50
<i>Rudbeckia hirta</i>	Black Eyed Susan	8.00
Total		40.00

NATIVE PRAIRIE SEED MIX



Information contained herein is based on current information, field inspection, and believed to be accurate.

SHEET TITLE

LANDSCAPE

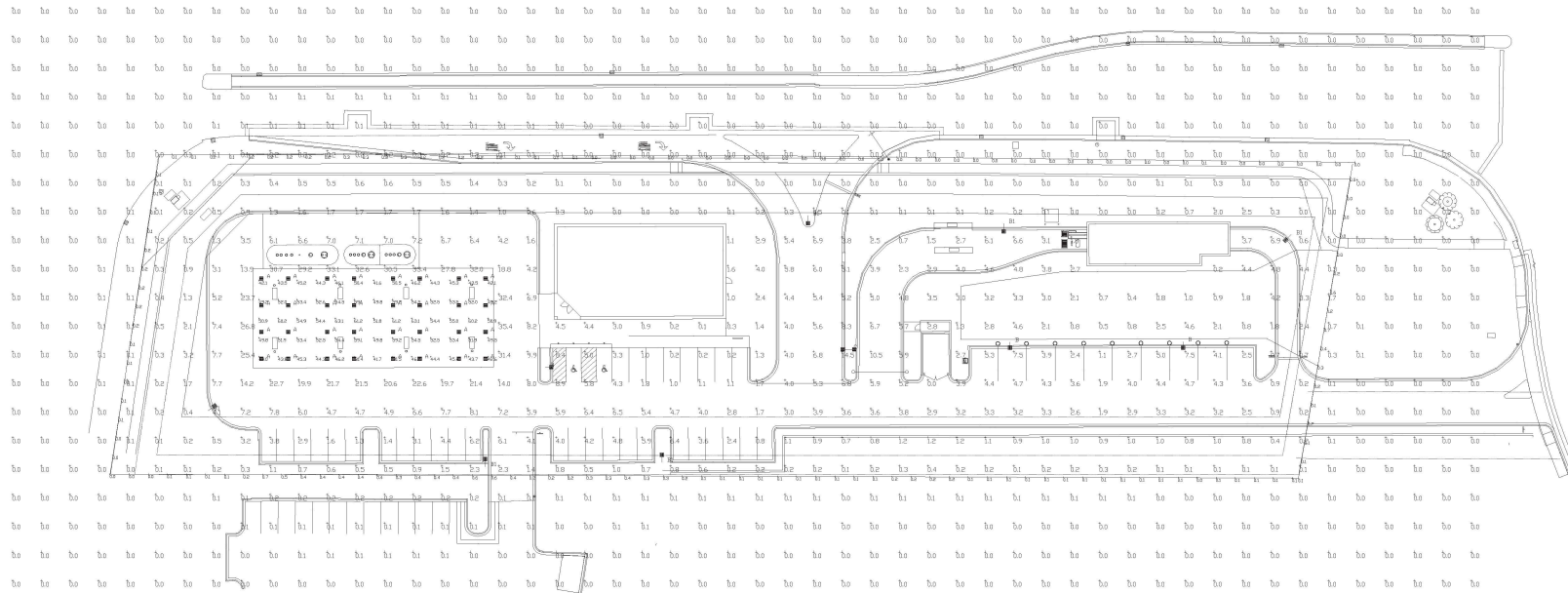
DETAILS, NOTES, & SCHEDULES

PROJECT MANAGER: WDH
PROJECT NUMBER: 19-066

DATE: 08.03.20

SHEET NUMBER

L 1.3



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
	32	A	SINGLE	SCV-LED-15L-SC-50 MTD @ 15'	1,000	1,000	1,000	15410	103
	3	B	SINGLE	SLM-LED-18L-SIL-FT-50-78CRI-SINGLE-16'POLE+2'BASE	1,000	1,000	1,000	19664	148.5
	6	BI	SINGLE	SLM-LED-18L-SIL-FT-50-78CRI-DI80-SINGLE-16'POLE+2'BASE	1,000	1,000	1,000	12568	148.5
	1	C	DI80	SLM-LED-18L-SIL-FT-50-78CRI-DI80-16'POLE+2'BASE	1,000	1,000	1,000	39328	297

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FULL CALC POINTS	Illuminance	Fc	1.52	35.4	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	50.74	631	41.6	1.22	1.52
EAST PROPERTY LINE	Illuminance	Fc	0.31	1.6	0.0	N.A.	N.A.
NORTH PROPERTY LINE	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.
SOUTH PROPERTY LINE	Illuminance	Fc	0.20	0.7	0.0	N.A.	N.A.
WEST PROPERTY LINE	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	7.21	35.4	0.0	N.A.	N.A.



Click image to open Product Page

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamp/LEDs and other variable field conditions. Calculations do not include obstructions such as eutings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 4992.5

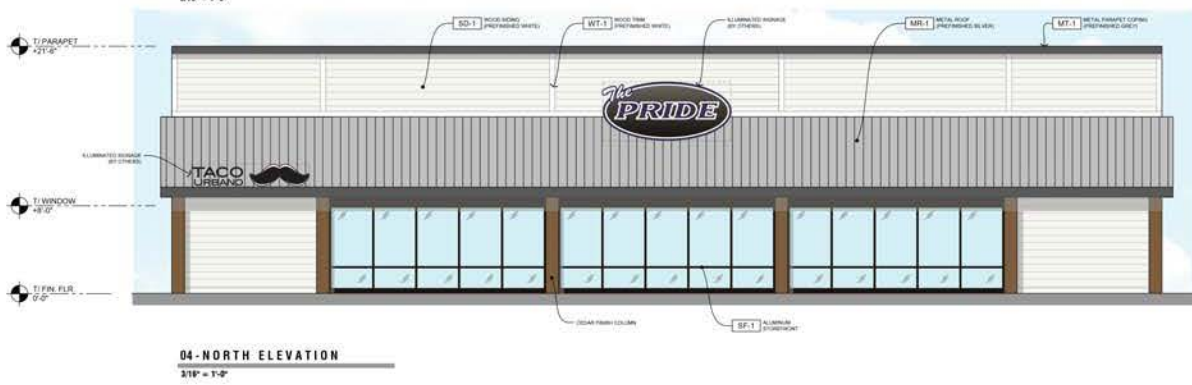
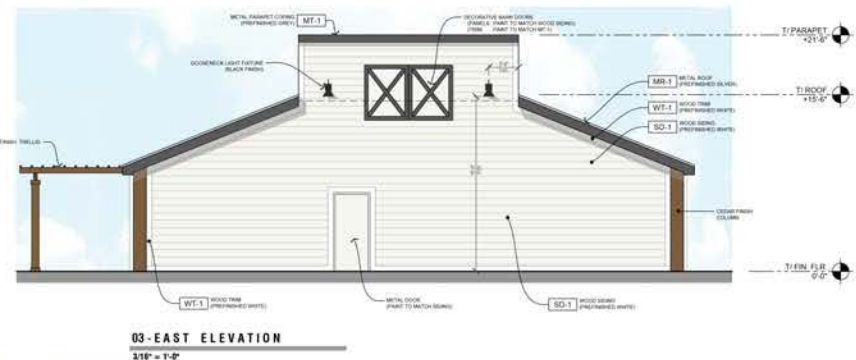
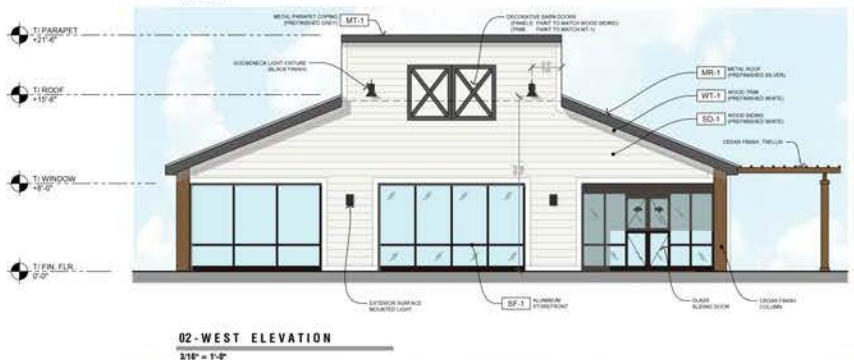
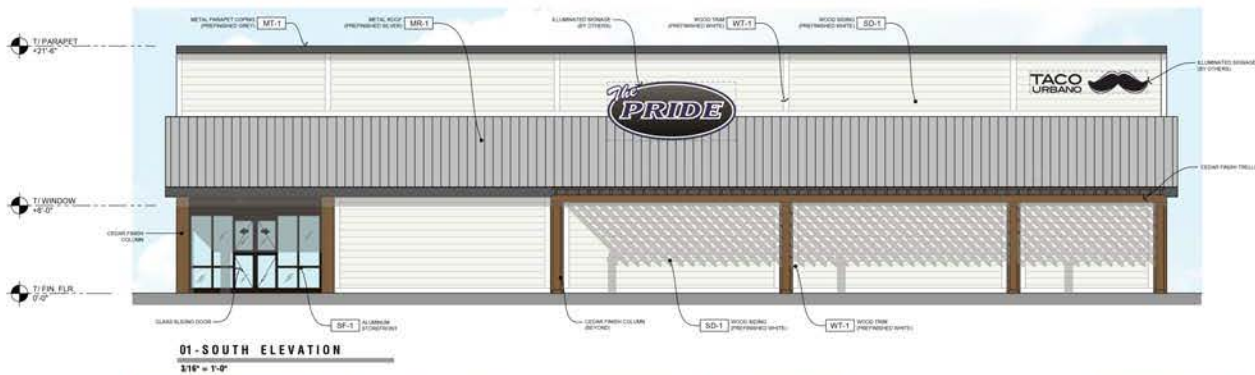


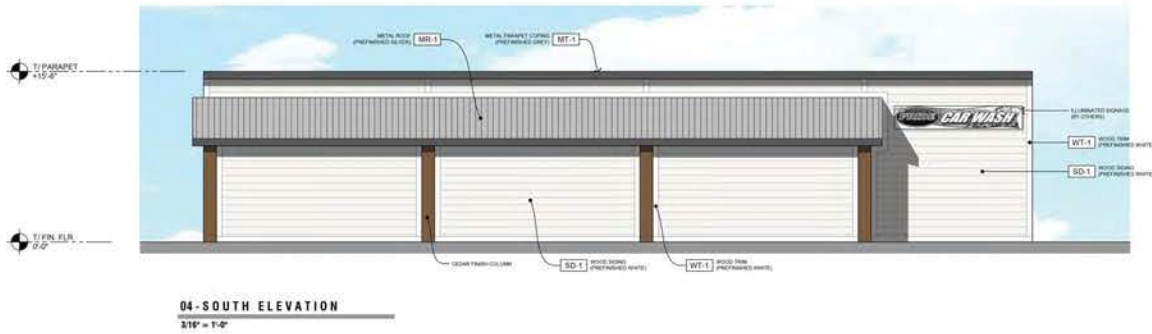
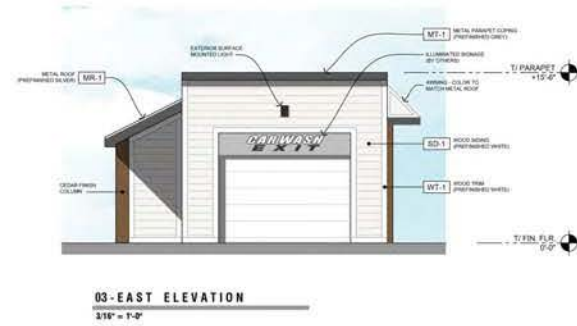
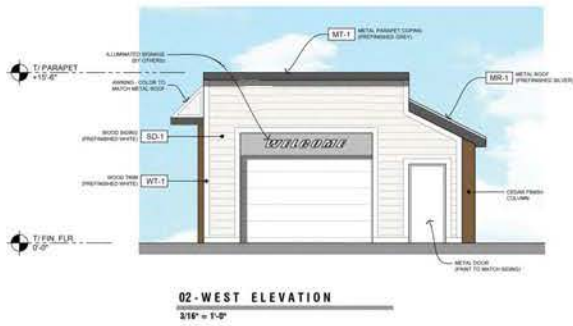
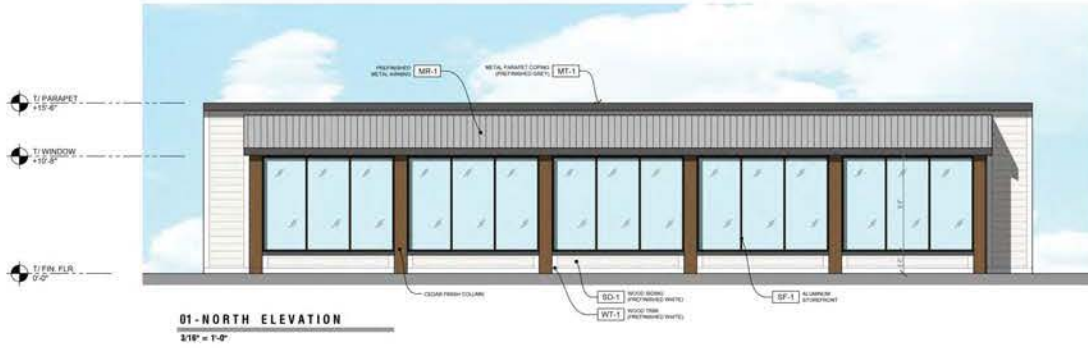
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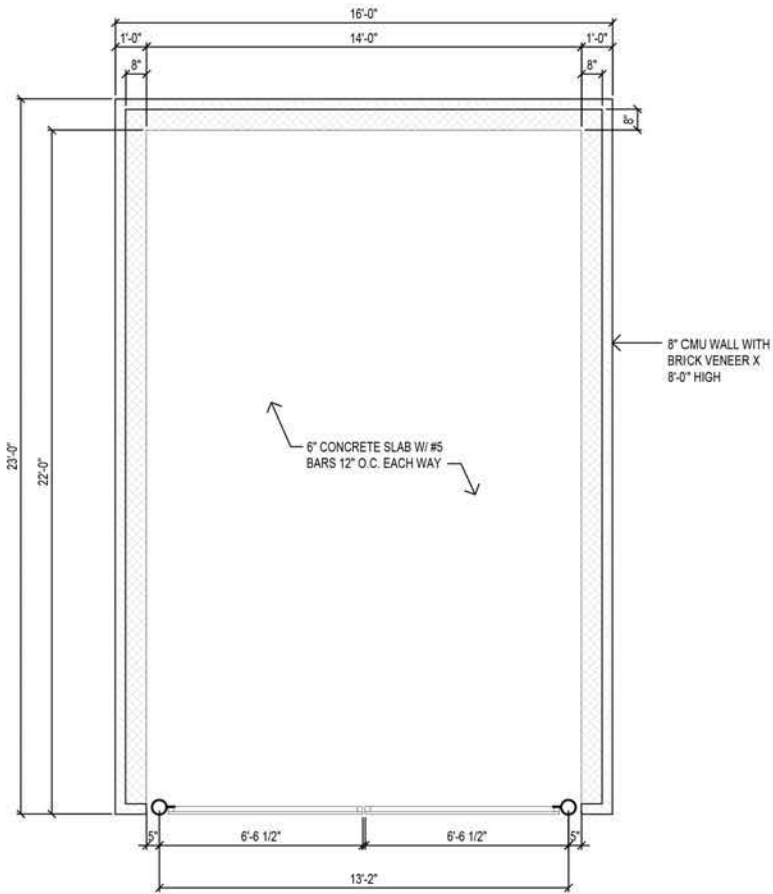
PROJECT
NEW ROAD & I.L. RTE. 64
ST CHARLES, IL

DATE: 08/26/19 REV: 03-20 SHEET 1 OF 1

SCALE: 1/4"=30' 0 30

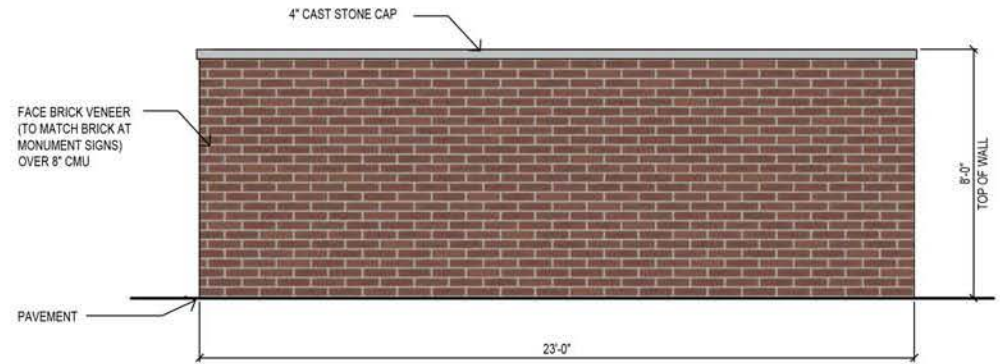






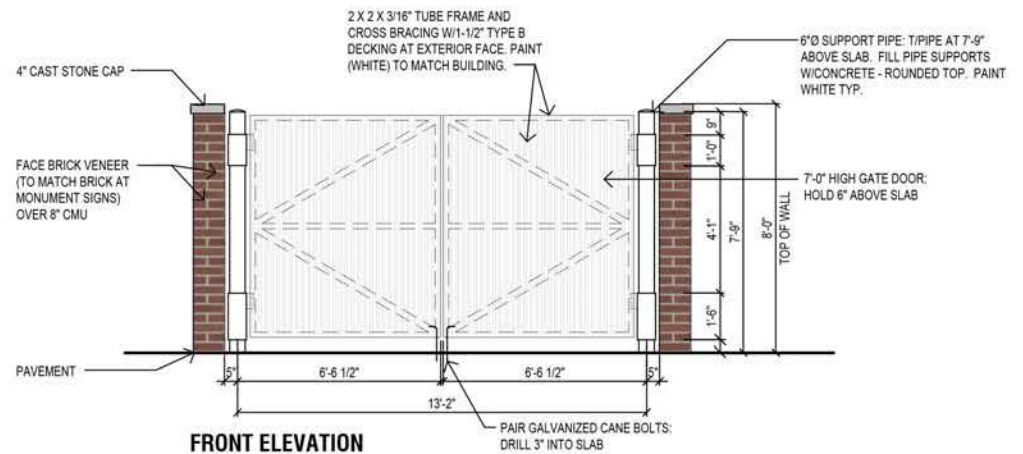
DUMPSTER PLAN

SCALE: 1/4" = 1'-0"



TYPICAL ELEVATION

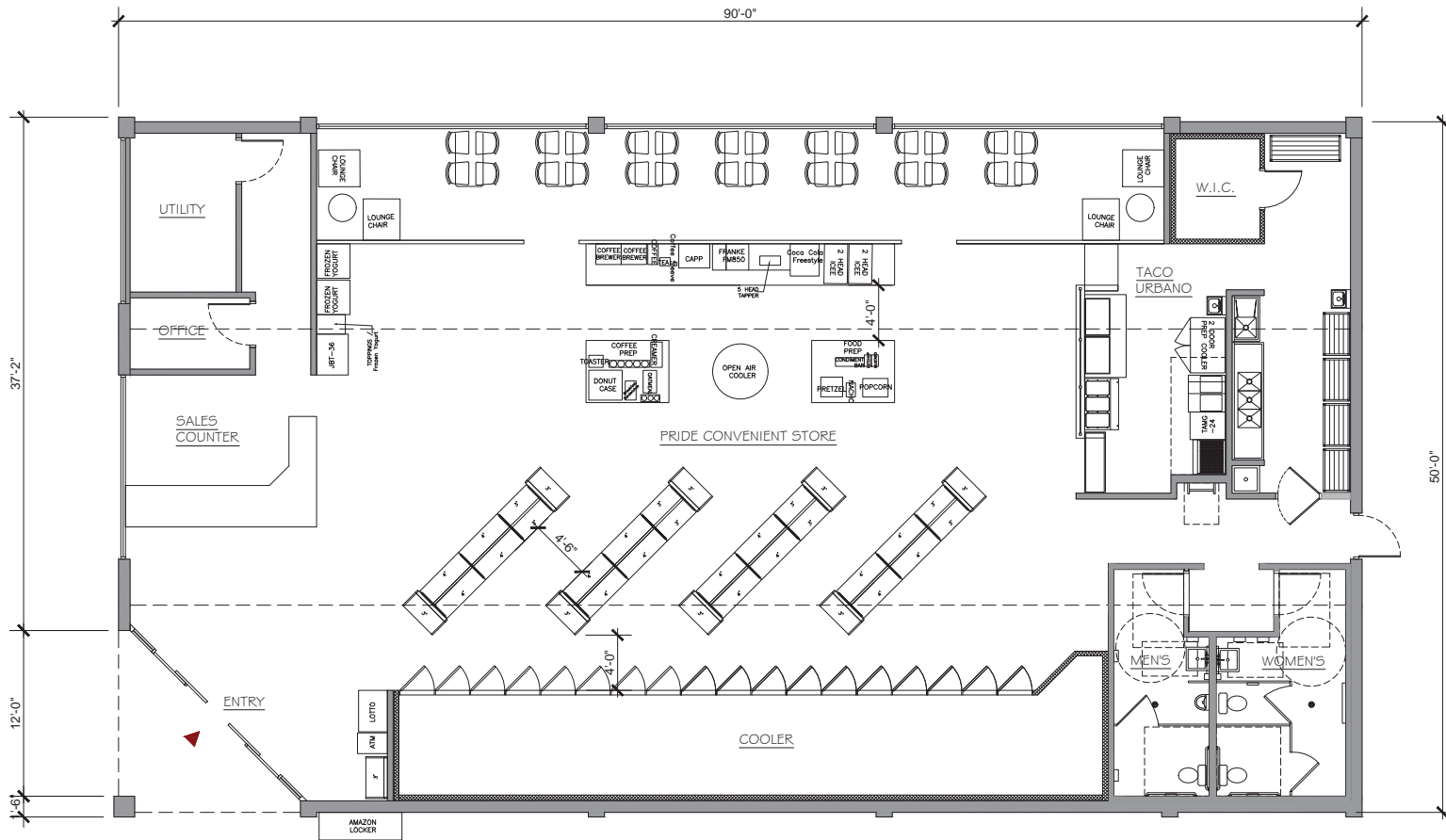
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



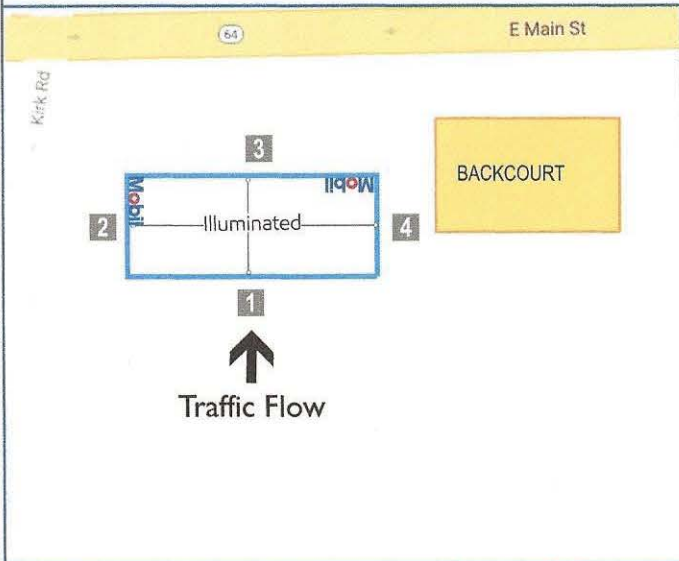


C-STORE PLAN
1/4" = 1'-0"

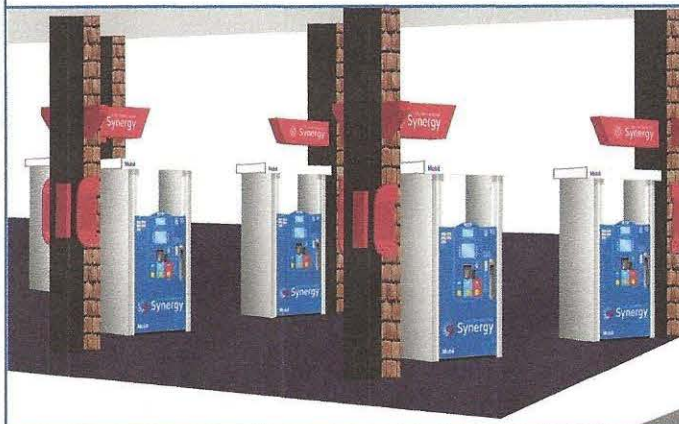


B SITE CONFIGURATIONS

Canopy fascia artwork for visualization purposes only

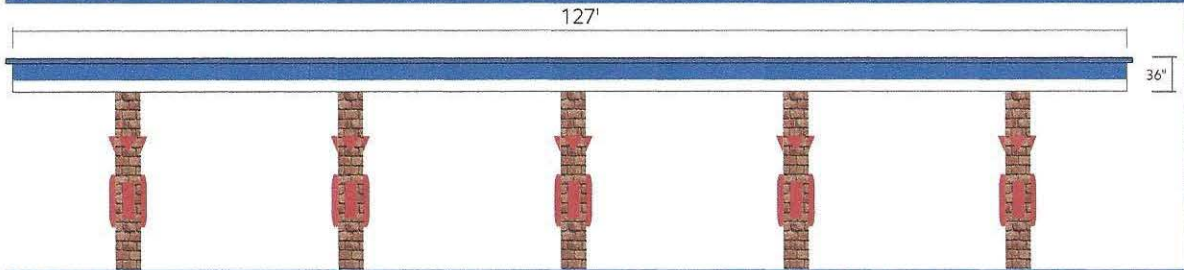


Overhead Map

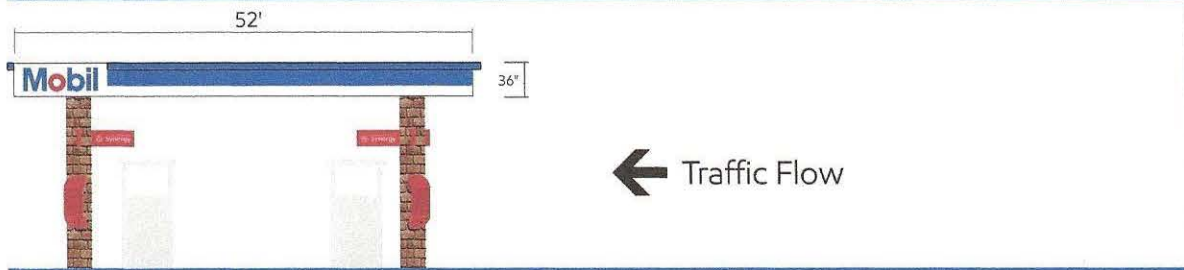


Canopy Perspective

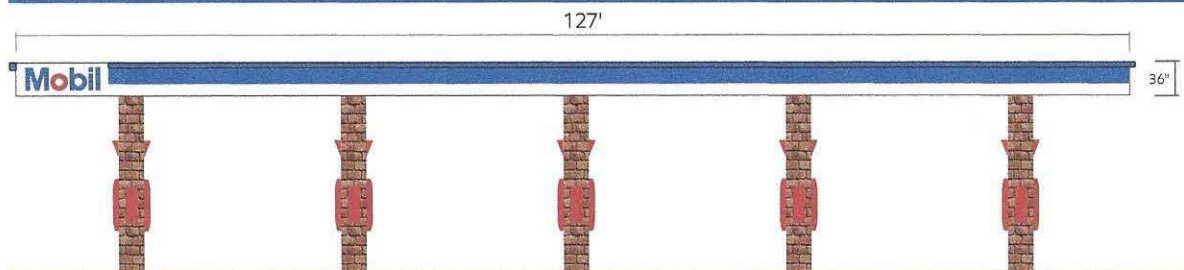
1 | BACK ELEVATION



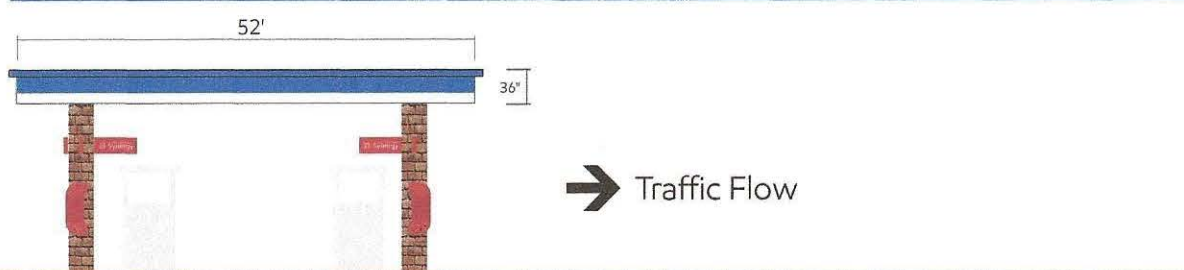
2 | RIGHT ELEVATION



3 | FRONT ELEVATION



4 | LEFT ELEVATION



Project Name

ExxonMobil

Revision #

R3

PBL #

-

Date

06_18_2020

Customer

ExxonMobil

Scale

NA

Created by

B.Dighero

Page #

4 OF 13

Brand Book

Site Image Materials Maintenance

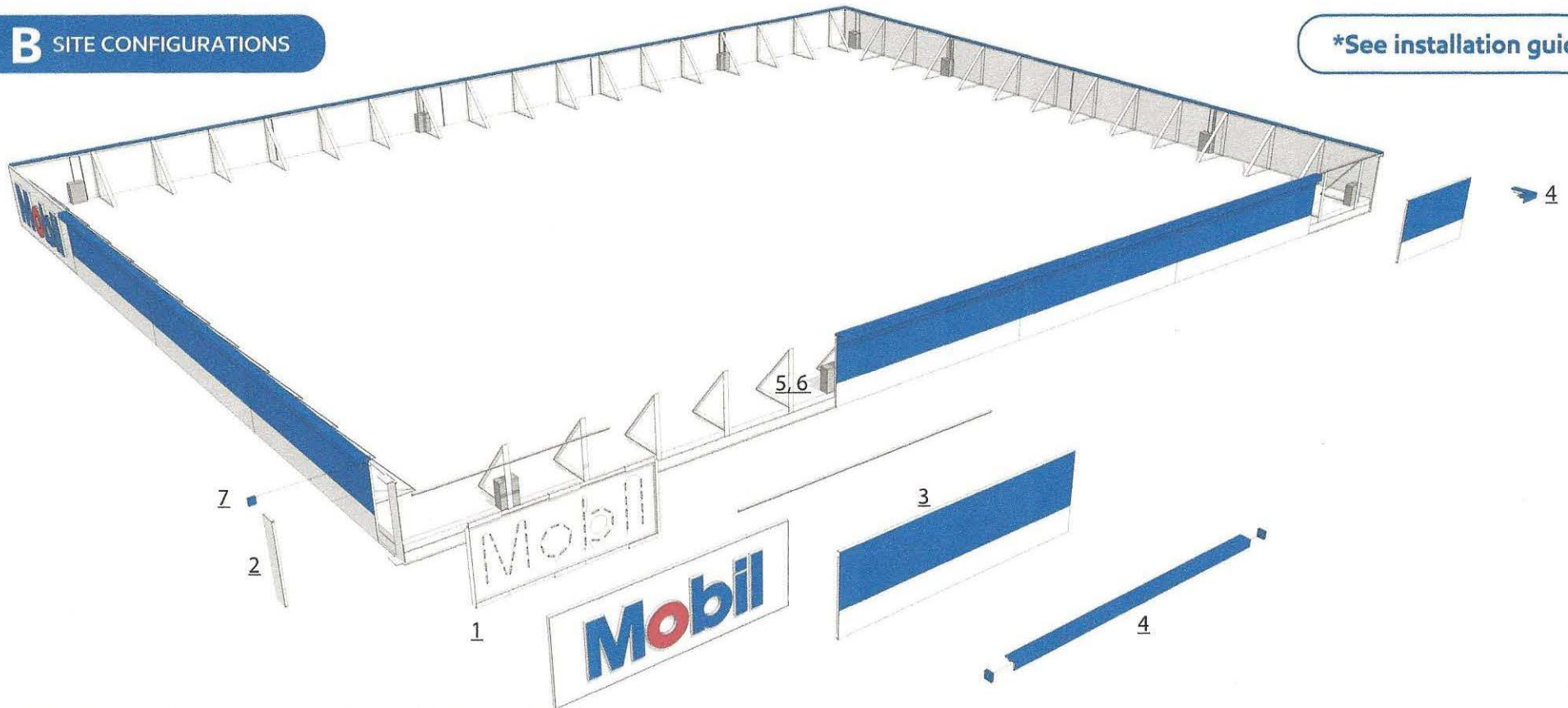
2 Northfield Plaza, Ste 250

Northfield, IL 60093

P. (847) 441-1818 F. (847) 592-9564

B SITE CONFIGURATIONS

*See installation guide



- Step 1. Begin with installing any logos (left or right Exxon or Mobil): back skin, side return, LED tray, power supplies and face.
- Step 2. Install logo corner panels on either side of the logo and the ends of each run.
- Step 3. Install mounting brackets and 120" ACM panels, cutting one panel per side to fit.
- Step 4. Install LED corners first, then install 118" LED downlight starting with ACM panel next to the logo. Install short downlight, cut to length or overlap as required on each side for site conditions.
- Step 5. Install (1) power supplies every other panel and connect to LEDs. Each corner downlight comes with their own power supply.
- Step 6. Install junction box power circuits every 200 feet for each side as required by site layout. Electrician to connect to 120VAC.
- Step 7. Install end caps.

Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	9 OF 16	

B SITE CONFIGURATIONS

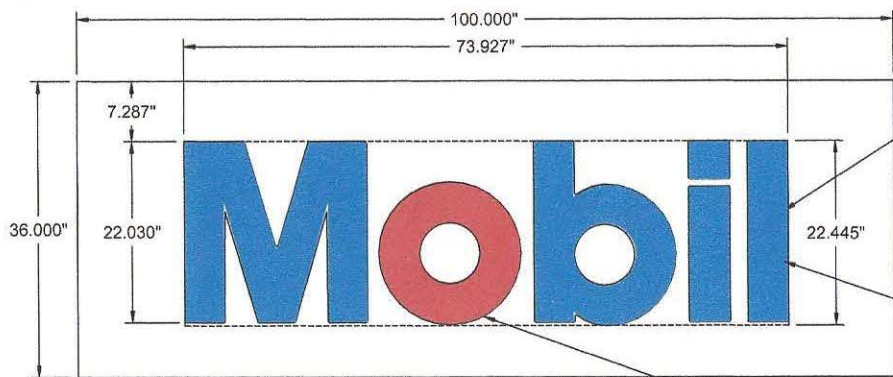
***See installation guide**

SINGLE LETTER SPECS:
 "M" = 2.88 sq ft
 "o" = 1.44 sq ft
 "b" = 1.83 sq ft
 "i" = .80 sq ft
 "l" = .83 sq ft
 TOTAL = 7.78 sq ft

LETTER SPECS:
 22.445" X 73.927" = 11.5 SF

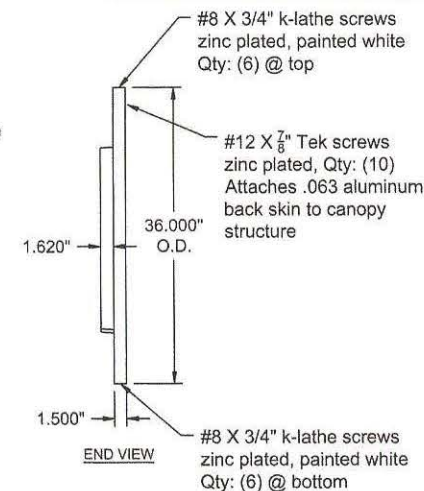
SIGN SPECS:
 36" X 100" = 25 SF

UL NUMBER:
 E84811

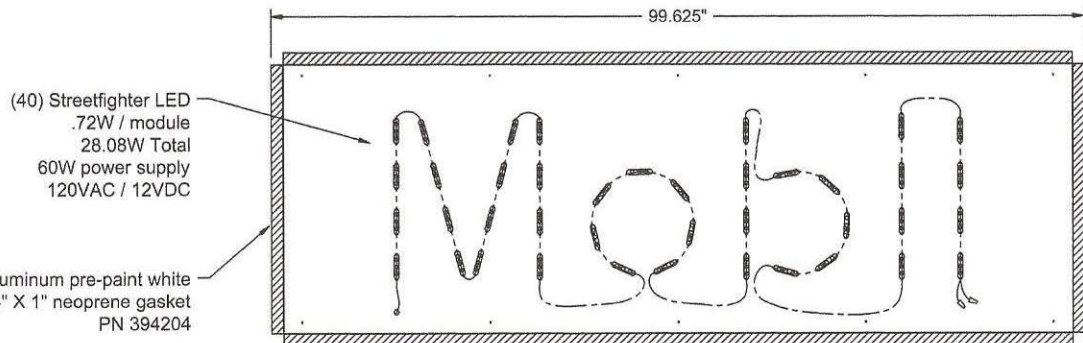


FRONT VIEW - PUSH THRU LETTERS IN FACE

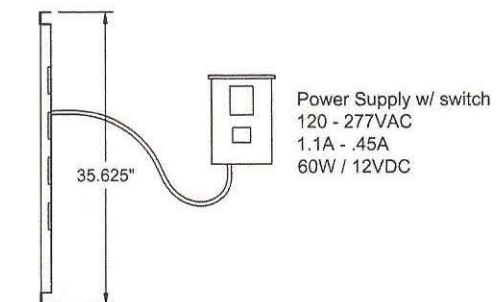
Appx weight of sign = 75lbs



END VIEW



INTERNAL DETAILS



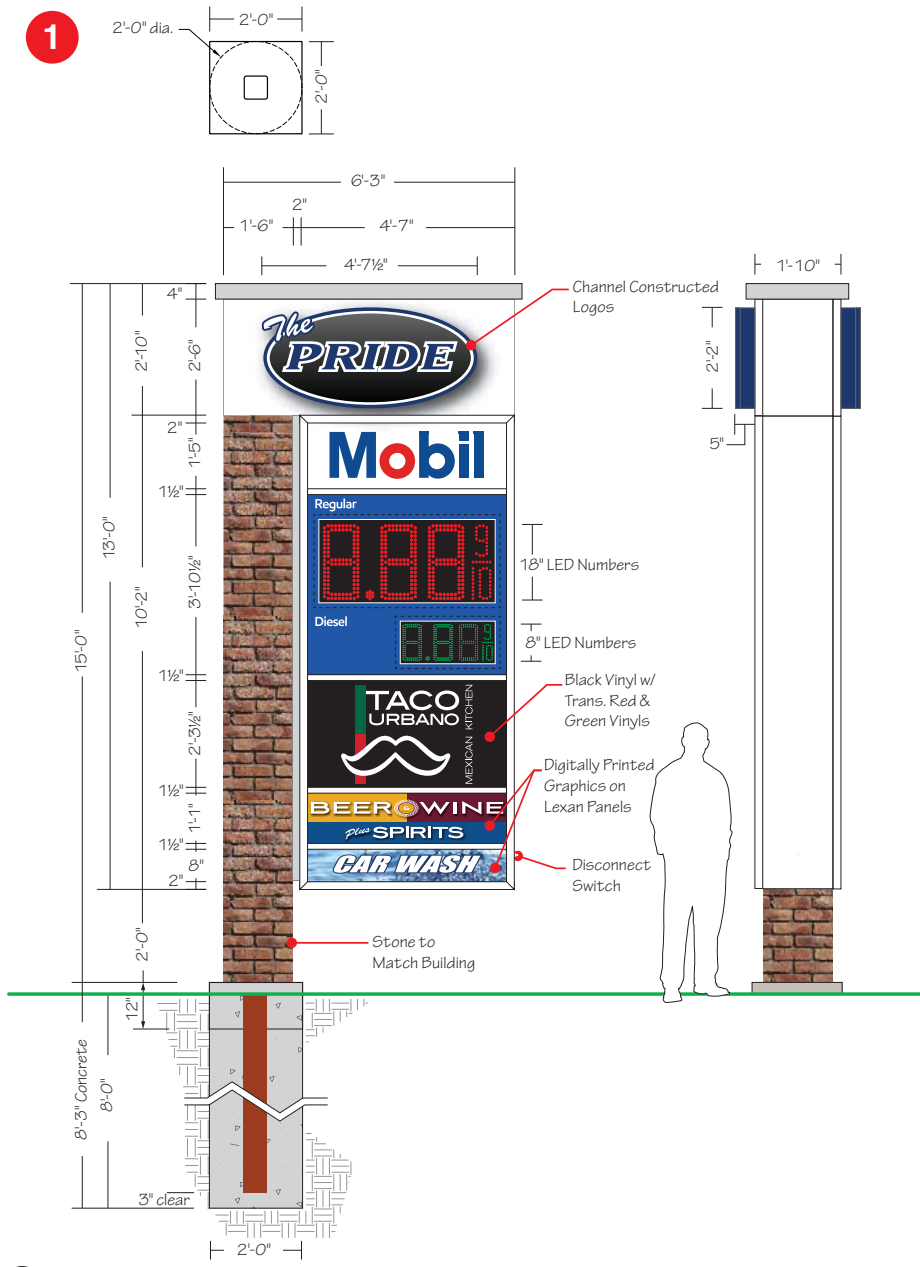
END VIEW



NIGHT VIEW

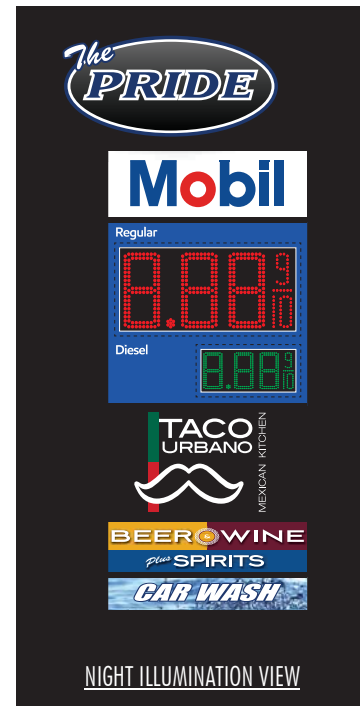
Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/26/2020	NA	8 OF 16	

1



(1) 13'-0" x 6'-3" Double Face Illuminated Flag Mounted Sign - 81.25 SF

- Cabinet:** Fabricated Aluminum Painted White - Satin Finish
- Pride Logos:** 5" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Mobile Logos:** 3M 3630-97 Bristol Blue & 143 Poppy Red Translucent Vinyls
- Pricer Panel:** 3M 3630-97 Bristol Blue Translucent Vinyl - Copy Reversed Out White
- Pricer Units: 16" LED & 12" LED
- Tenant Panels:** White Polycarbonate
- "Taco Urbano" Graphics:** 3M 7725-12 Black / 3630-76 Holly Green / 3630-33 Red Vinyls
- "Beer Wine Liquor" & Car Wash Panels:** White Polycarbonate w/ Digitally Printed Graphics
- Illumination:** White LEDs
- Power:** (2) 20Amp @ 120Volts Electrical Circuits Run to Site by Others
- Column:** CMU Block w/ Brick to Match Building
- Mounting:** (1) HSS 6" x 6" x 3/8" ASTM A-500 Gr. B with
(3) 4" x 4" x 3/16" ASTM A-500 Gr. B Steel Mounting Plates
- (1) 2'-0" dia. x 8'-0" deep Concrete Foundation w/
2'-0" W x 2'-0" L x 12" D Square Concrete Pad for Masonry



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www.parvinclauss.com

PROJECT:


SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

1 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 1 11.04.19 - center sundry cab.
- 2 5.18.20 - new layout
- 3 5.19.20 - size adjustments
- 4 5.26.20 - Taco Urbano Logo
- 5 6.19.20
- 6
- 7
- 8

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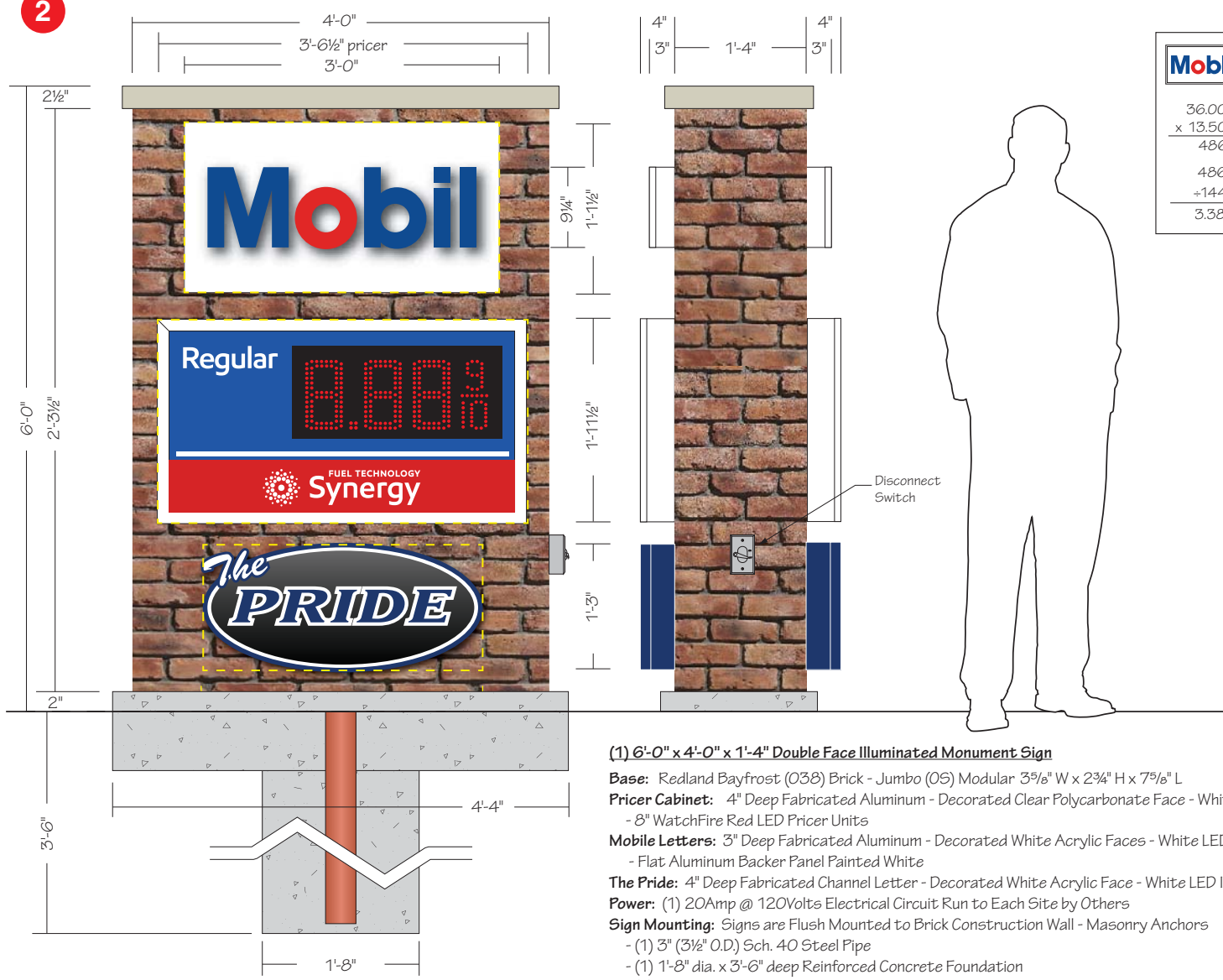


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2



36.00" x 13.50" 486"
486" +144" 3.38 SF

42.50" x 23.50" 998.75"
998.75" + 144" 7 SF

32.50" x 15.00" 487.50"
487.50" +144.00" 3.38 SF

3.38 SF 7.00 SF + 3.38 SF 13.76 SF
Signs

72.00" x 48.00" 3456"
3456" +144" 24 SF
Base

(1) 6'-0" x 4'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Redland Bayfrost (038) Brick - Jumbo (05) Modular 3⁵/₈" W x 2³/₄" H x 7⁵/₈" L
- Pricer Cabinet:** 4" Deep Fabricated Aluminum - Decorated Clear Polycarbonate Face - White LED Illumination
- 8" WatchFire Red LED Pricer Units
- Mobile Letters:** 3" Deep Fabricated Aluminum - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3¹/₂" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 4'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

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www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

2 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

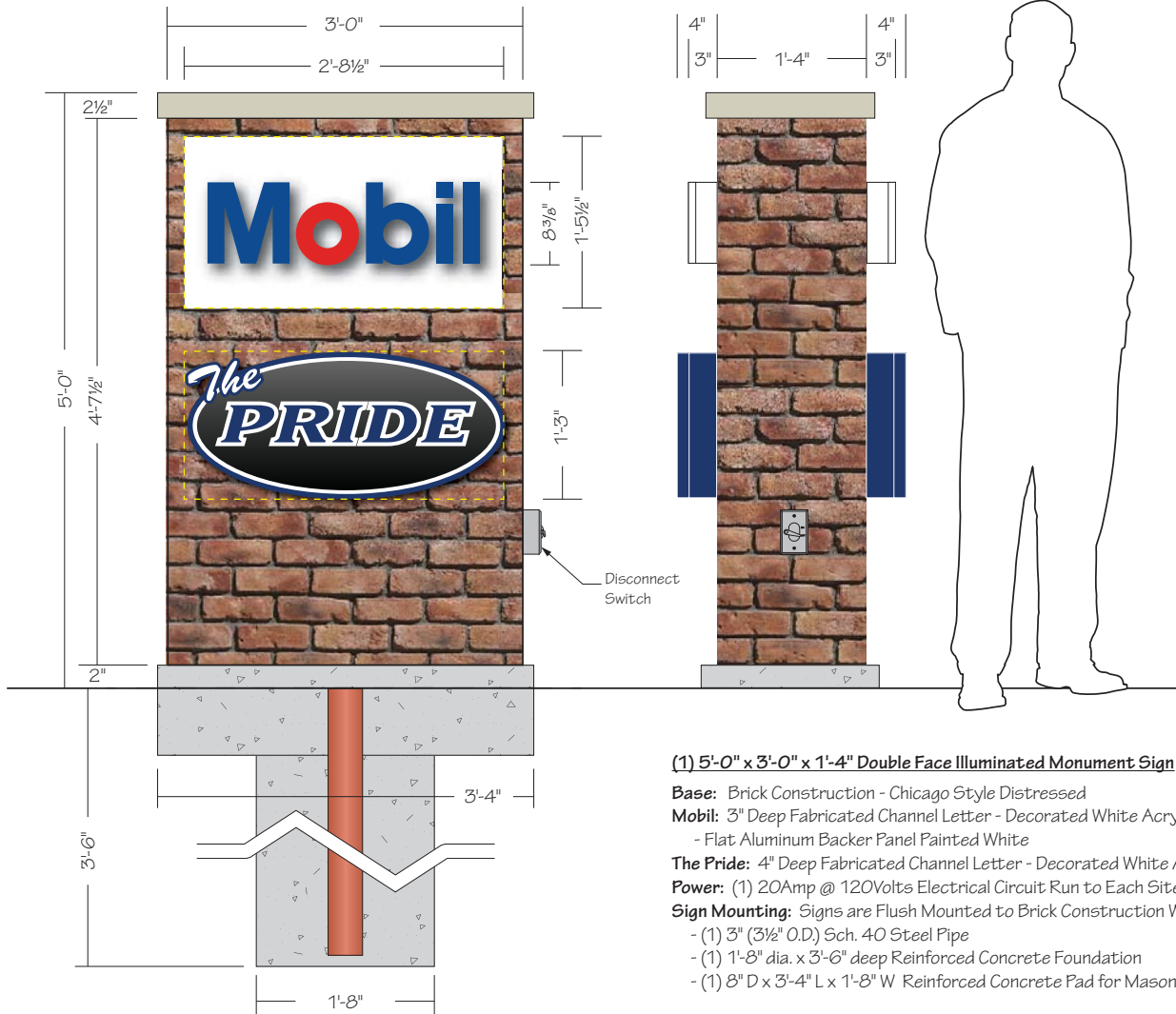
- 11.04.19 - all cabs. on brick area
- 5.18.20
- 5.19.20
- 5.26.20 - Mobil letters / cab. depth
- 6.19.20
-
-
-

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(1) 5'-0" x 3'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Brick Construction - Chicago Style Distressed
- Mobil:** 3" Deep Fabricated Channel Letter - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3 1/2" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 3'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

$\begin{array}{r} 32.50'' \\ \times 17.50'' \\ \hline 568.75'' \\ +144'' \\ \hline 4\text{ SF} \end{array}$	 $\begin{array}{r} 32.50'' \\ \times 15.00'' \\ \hline 487.50'' \\ +144'' \\ \hline 3.38\text{ SF} \end{array}$
-------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

$\begin{array}{r} 4.00\text{ SF} \\ + 3.38\text{ SF} \\ \hline 7.38\text{ SF} \end{array}$ <p>Signs</p>	$\begin{array}{r} 60'' \\ \times 36'' \\ \hline 2160'' \\ + 144'' \\ \hline 15\text{ SF} \end{array}$ <p>Base</p>
---------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------

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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

3 of 12

WORK ORDER

82989

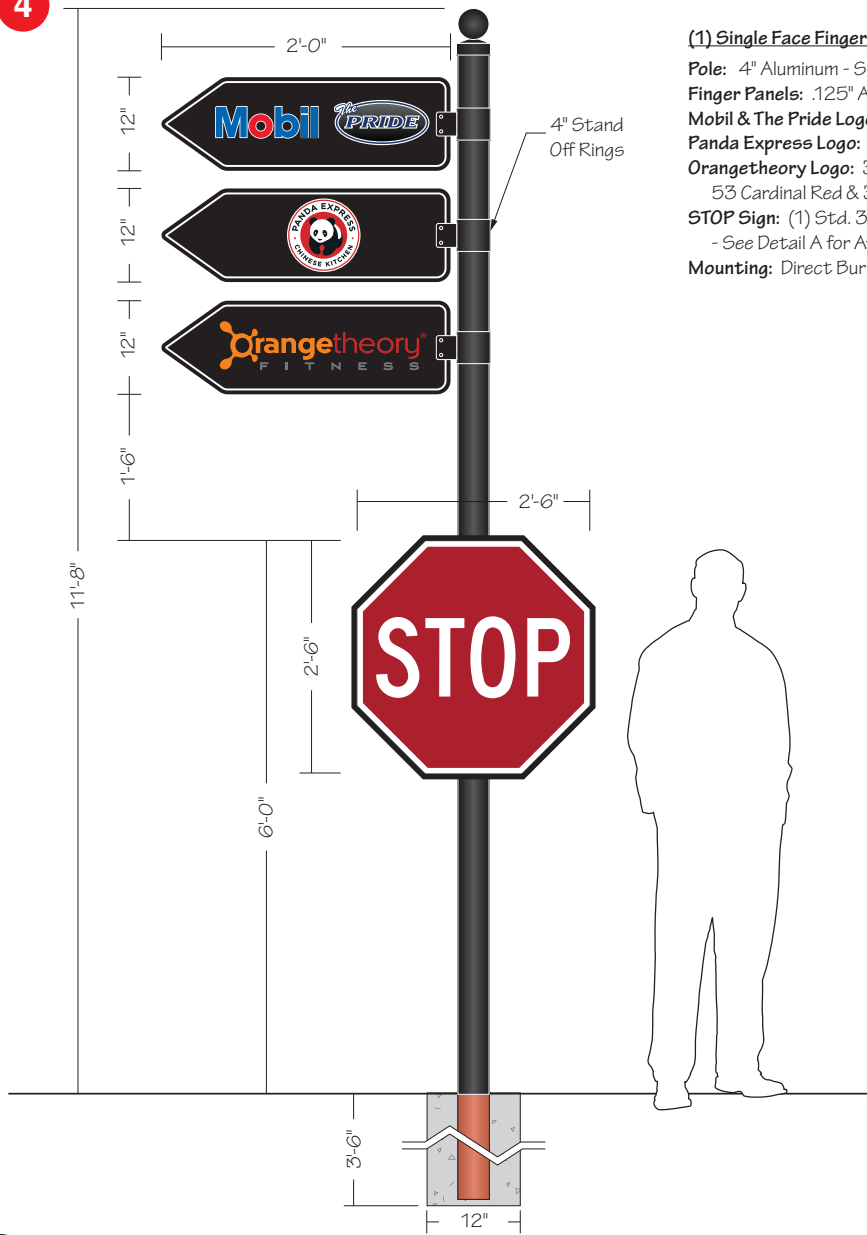
FILE NAME

PRD82989

REVISIONS:

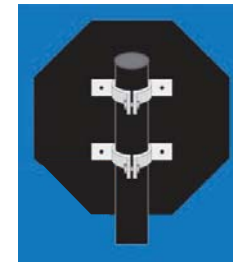
- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20 - Mobil letters / cab. depth
- 5 6.19.20
- 6
- 7
- 8

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(1) Single Face Fingerpost Directional Sign

Pole: 4" Aluminum - Smooth - Painted Black - Ball Cap
Finger Panels: .125" Aluminum Painted Black w/ Reflective White Vinyl In-line Border
Mobil & The Pride Logos: Digitally Printed on White Vinyl Applied
Panda Express Logo: Digitally Printed on White Vinyl Applied
Orangetheory Logo: 3M 7725-14 Bright Orange, 53 Cardinal Red & 31 Medium Gray Vinyls Applied
STOP Sign: (1) Std. 30" x 30" Applied to .125" thick Black Aluminum Backer Panel
 - See Detail A for Attachment Hardware
Mounting: Direct Burial in 1'-0" dia. x 3'-6" deep Concrete Foundation



DETAIL A - Post Brackets



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PROJECT:



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 St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
 House / RM / KZ

DRAWN BY
 Bill Marlow

DATE
 10.23.19

SCALE
 3/4" = 1'

SHEET NO.
 4 of 12

WORK ORDER
 82989

FILE NAME
 PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20
6	
7	
8	

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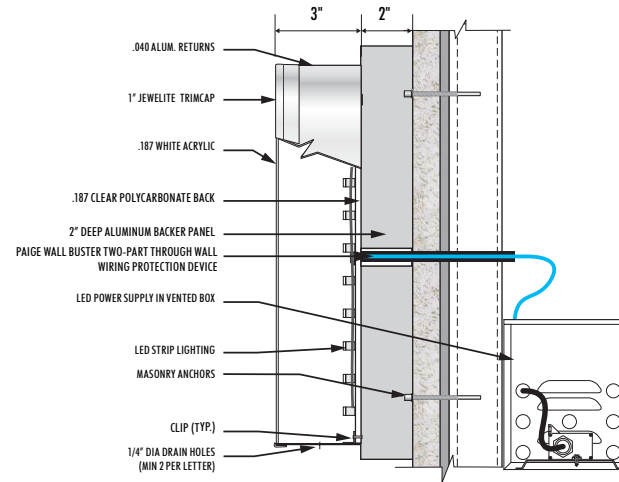
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5



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

- Panel:** 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** .125" Aluminum Painted PMS 288 Blue
- Inline Strip:** 3M 7725-10 White Vinyl
- Black/Grey Gradient:** Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face
- Letters & White In-line:** Fabricated 3" Deep Channel Letters
- "The" Returns:** .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap
- "PRIDE" & In-line Returns:** .040" Pre-finished White Aluminum - 1" White Trimcap
- Faces:** 732B White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces
- Illumination:** White LEDs with Remote 60Watt Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



01-SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

5 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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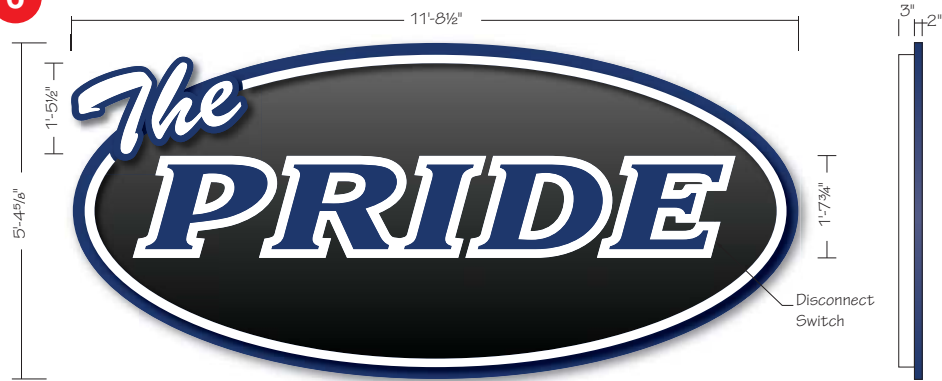


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6



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

Panel: 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish

Faces: .125" Aluminum Painted PMS 288 Blue

Inline Strip: 3M 7725-10 White Vinyl

Black/Grey Gradient: Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face

Letters & White In-line: Fabricated 3" Deep Channel Letters

"The" Returns: .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap

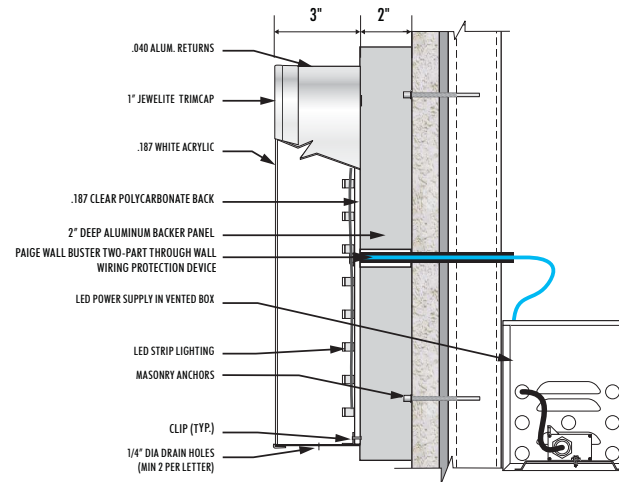
"PRIDE" & In-line Returns: .040" Pre-finished White Aluminum - 1" White Trimcap

Faces: 7328 White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces

Illumination: White LEDs with Remote 60Watt Power Supplies

Power: Use Existing at Site

Mounting: Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

6 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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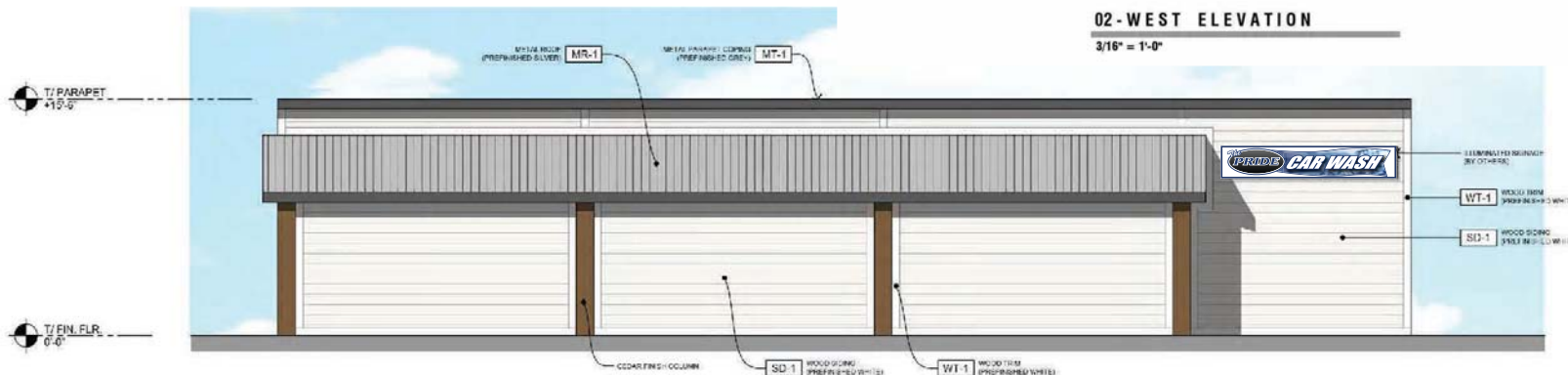
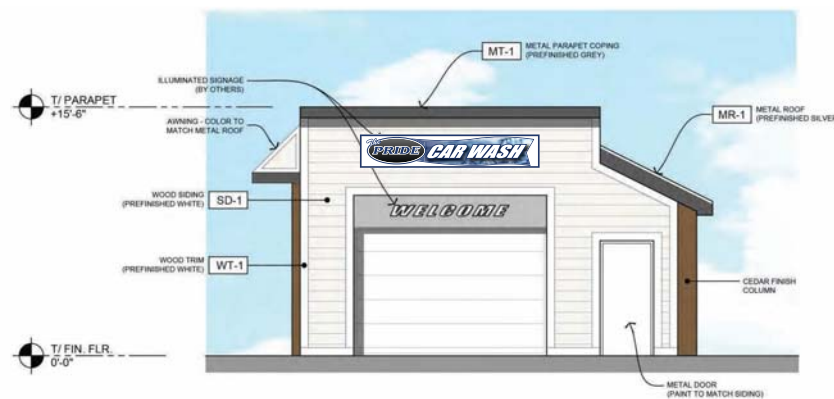
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(2) 2'-1 1/2" x 11'-6" x 5" Deep SF Wall Sign

- Cabinet:** 5" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** 3/16" White Polycarbonate
- Graphics:** Digitally Printed on Translucent White Vinyl
- Illumination:** White LEDs with 12V GOW 120/277V Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



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www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

7 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 11.04.19
- 5.18.20
- 5.19.20
- 5.26.20
- 6.19.20 - New Sign
-
-
-

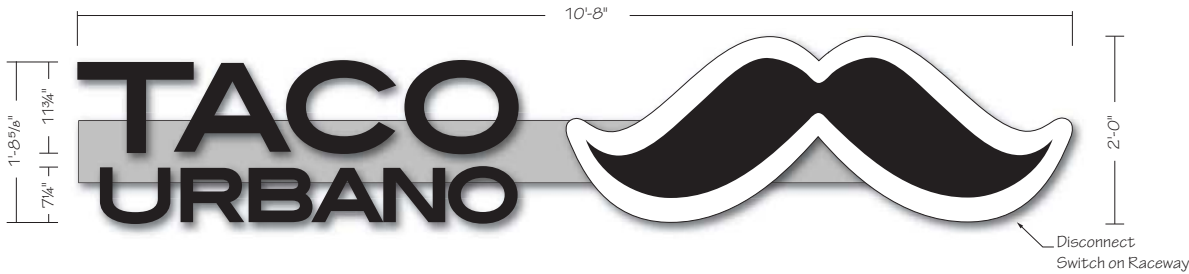
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



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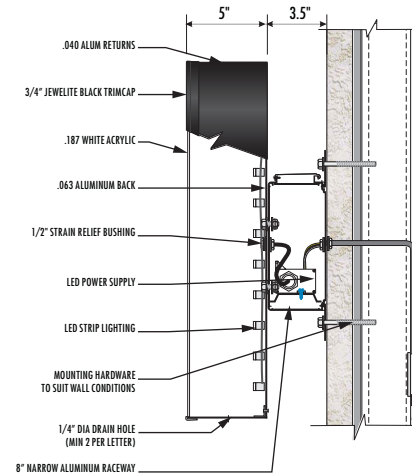
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(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway

Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction



01 - SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

8 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

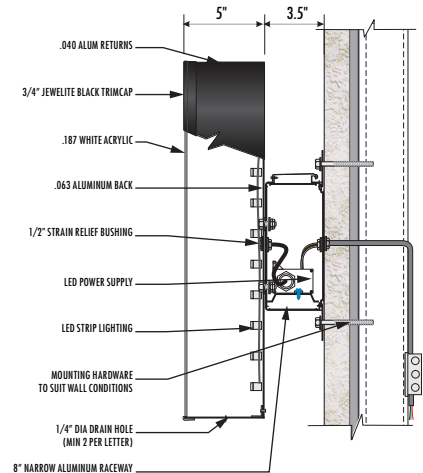
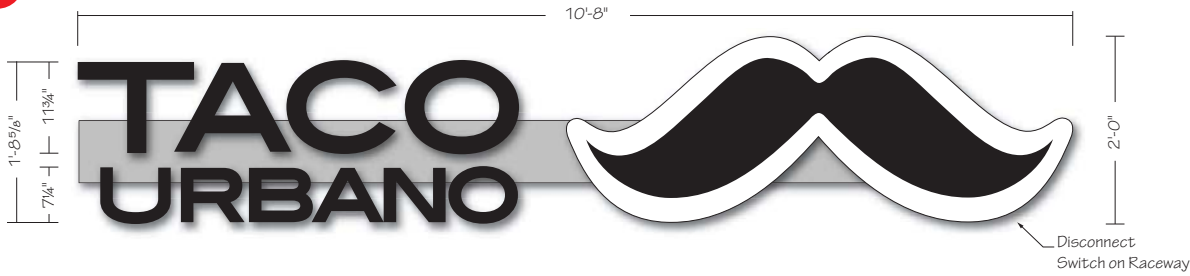


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9



(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway
Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction

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DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

9 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20
- 5 6.19.20 - New Elevation
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



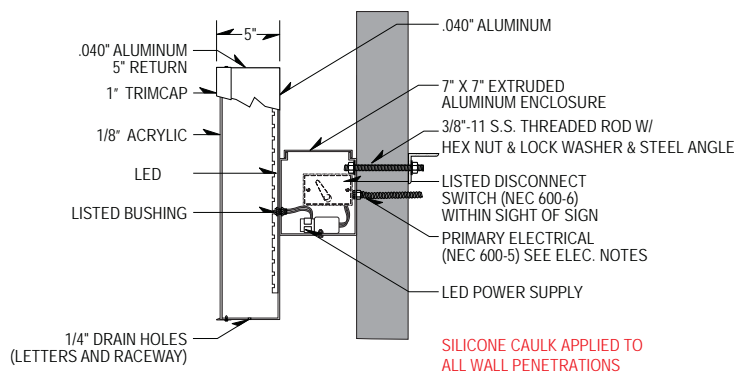
04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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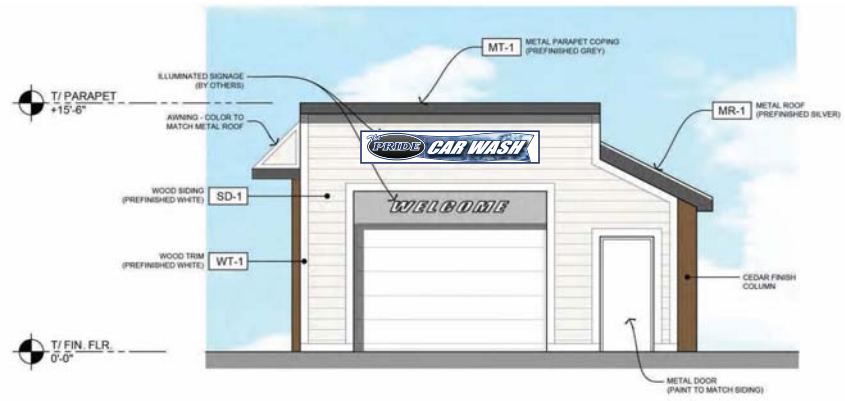


(1 set each) 5" Deep Illuminated Channel Letters on Raceways - 8.45 SF / 14.40 SF

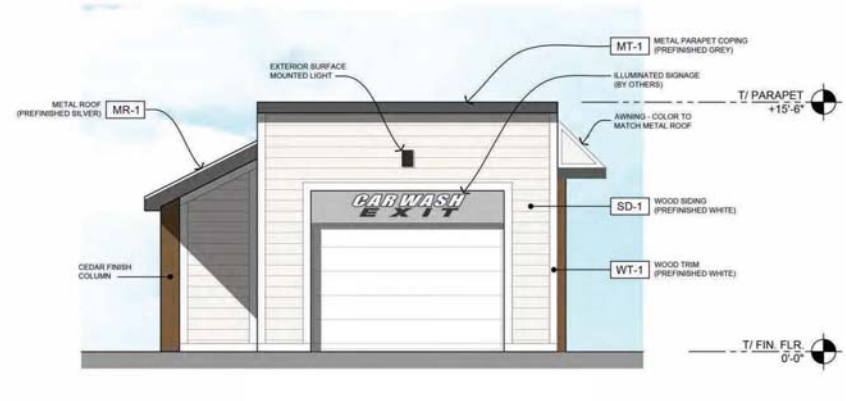
Returns: Fabricated Aluminum Painted PMS 288 Blue
Faces: #7328 White Acrylic w/ 1" Jewelite White trimcap
Vinyl: 3M 3630-157 Sultan Blue Translucent Vinyl
Raceways: Std. 7" x 7" Aluminum Painted to Match Wall Color - SW 7063 Nebulous White
Illumination: White LED
Power: (1) 20Amp @ 120Volts Electrical Circuit Run to Site by Others
Mounting: Raceways Flush Mounted to Building - Appropriate Hardware for Wall Construction

*Bottom Raceway Mount
Upside Down*

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION



02 - WEST ELEVATION
Scale: 1/8" = 1'-0"



03 - EAST ELEVATION
Scale: 1/8" = 1'-0"

Parvin-Clauss
SIGN COMPANY

Design • Fabrication • Installation • Maintenance
 165TubewayDrive • CarolStream • Illinois 60188
 Tel/630-510-2020 • Fax/630-510-2074
 e-mail/signs@parvinclauss.com
 www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

10 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
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7	
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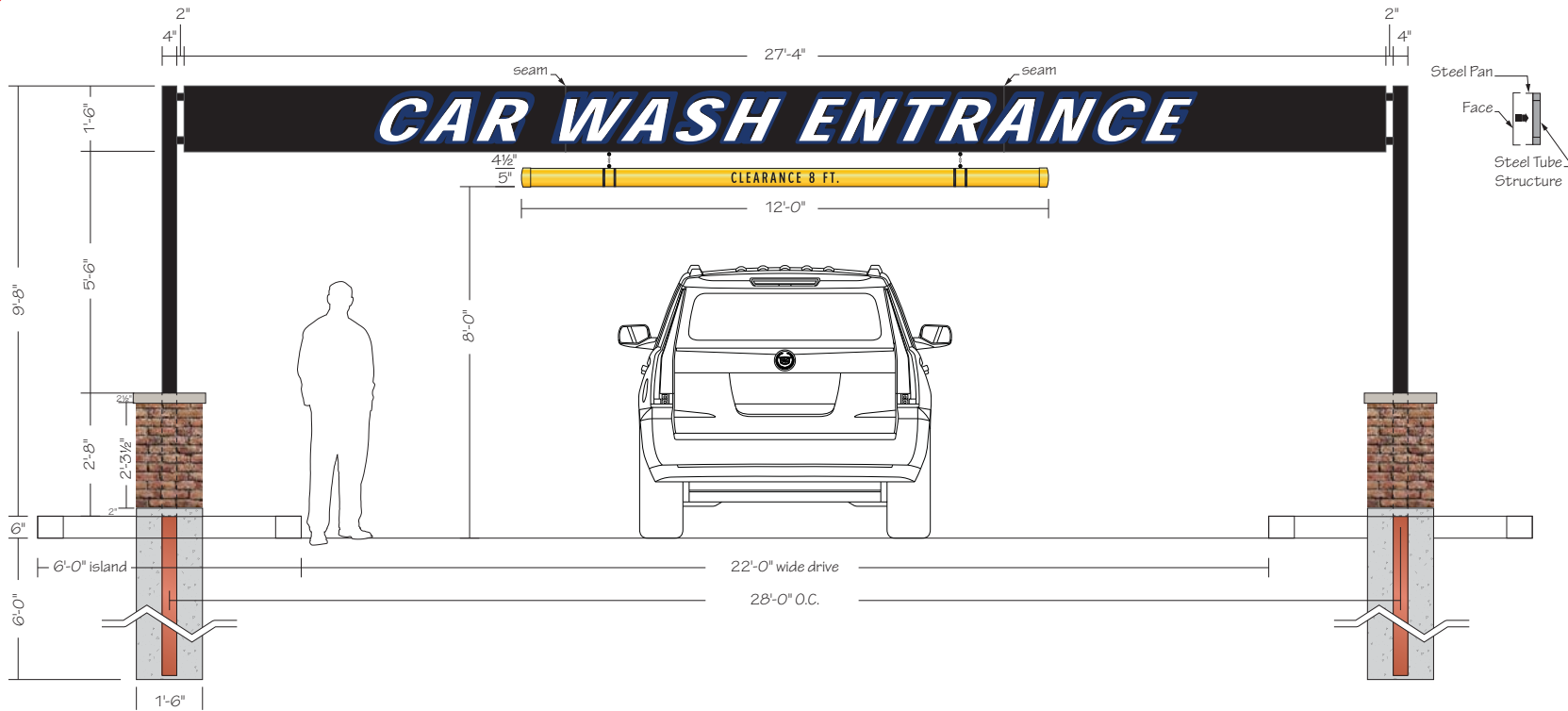
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



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(1) 1'-6" x 27'-4" x 2" Single Face Non-Illuminated Entrance Gateway

Cabinet: Fabricated Aluminum Painted Black - Suede Satin Finish
 - 2" x 2" Tube Internal Structure

Graphics: 3M 7725-37 Sapphire Blue & 7725-10 White Vinyls

Clearance Bar: 5" PVC Pipe w/ Caps Painted MAP 42248 Sundance Yellow

Clearance Ht. Copy & Stripes: 3M 680-85 Black Reflective Vinyl

Bases: Masonry to Match Building - Redland Bayfrost (038) Brick

- Jumbo (05) Modular: 35/8" W x 2 3/4" H x 75/8" L

Mounting: (2) 4" x 4" Tube Steel set into (2) 1'-6" dia. x 6'-0" deep Concrete Foundations

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
 St. Charles, IL

CUSTOMER APPROVAL:

DATE _____

AUTHORIZED SIGNATURE _____

REPRESENTATIVE _____

House / RM / KZ

DRAWN BY _____

Bill Marlow

DATE _____

10.23.19

SCALE _____

3/8" = 1'

SHEET NO. _____

11 of 12

WORK ORDER _____

82989

FILE NAME _____

PRD82989

REVISIONS:

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3	5.19.20
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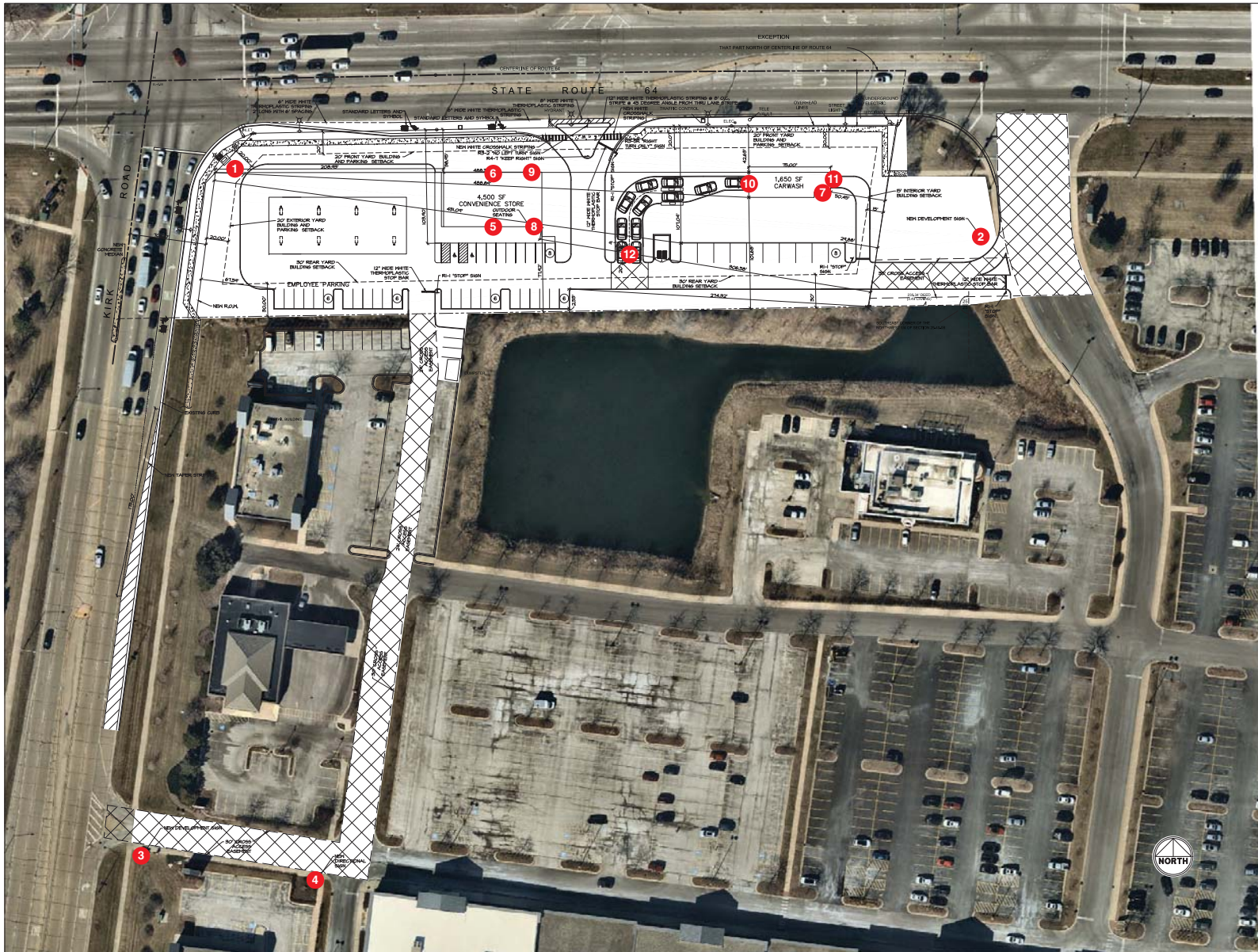
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e-mail/signs@parvinclauss.com
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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

nts

SHEET NO.

12 of 12

WORK ORDER

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FILE NAME

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EXHIBIT “E”

PUD DEVIATIONS

Section 17.24.100 Drive-Through Facilities	
Stacking Lane Configuration	Two lanes of car wash vehicle stacking, as shown on the PUD Preliminary Plan.
Section 17.26.080 Building Foundation Landscaping	
Foundation Landscape Planting Beds	3 ft. along west side of convenience store building, as shown on the PUD Preliminary Plan.
Foundation Landscape Trees	3 trees along the north wall of the convenience store building and 2 trees along the north wall of the car wash building, as shown on the PUD Preliminary Plan.
Section 17.26.090 Public Street Frontage Landscaping	
Street Frontage Plantings	Less than 75% of the Main St. frontage may be landscaped, as shown on the PUD Preliminary Plan.
Table 17.28-2 Permitted Signs for Business & Mixed-Use Districts – BL, BC and BR Districts	
Freestanding Signs	3 ft. setback for monument sign at the corner of Main St. and Kirk Rd., as shown on the PUD Preliminary Plan.
Wall Signs	Four wall signs on the convenience store building, as shown on the PUD Preliminary Plan.
Section 17.28.080 Prohibited Signs	
Off-Premise Signs	Three off-premise signs to be placed in the Main Street Commons PUD: one monument sign at the Main St. entrance of Main Street Commons; one monument sign at the Kirk Rd. entrance of Main Street Commons; one directional sign within Main Street Commons; all as shown on the PUD Preliminary Plan

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: IIC2

Title:

Motion to approve an Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Pride of Kane County).

Presenter:

Rita Tungare

Meeting: City Council

Date: December 7, 2020

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: **Executive Summary** *(if not budgeted please explain):*

The attached ordinance will annex the Pride of Kane County property to the City of St. Charles.

CIMA Developers, LP, the developer and property owner, has filed the Petition for Annexation.

The relevant taxing bodies have been notified of the proposed annexation per State statute.

Upon annexation, property is automatically zoned to the RE-1 Estate Residential Zoning District. (Listed next on the agenda is an ordinance rezoning the property to BR Regional Business District and approving the PUD.)

Per State statute, an ordinance annexing territory must be passed by a majority vote of the Corporate Authorities (City Council plus the Mayor), therefore at least 6 yes votes are required.

Attachments *(please list):*

Annexation Ordinance for Pride of Kane County

Recommendation/Suggested Action *(briefly explain):*

Motion to approve an Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Pride of Kane County).

City of St. Charles, Illinois
Ordinance No. 2020-M-

An Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois
(Pride of Kane County)

WHEREAS, CIMA Developers, LP (the “Owner”) is the Owner of record of the territory legally described in Exhibit “A” (the “Territory”) and has filed with the City Clerk a written petition, under oath, attached hereto as Exhibit “B” (the “Annexation Petition”) requesting that the Territory therein legally described be annexed into the City of St. Charles, Kane and DuPage Counties, Illinois; said Exhibits “A” and “B” are attached hereto and incorporated herein; and

WHEREAS, said Annexation Petition has been signed by all of the owners of record of the Territory and was signed by at least fifty-one percent (51%) of the electors residing on such Territory; and

WHEREAS, the statutes of the State of Illinois provide that upon the filing of such an Annexation Petition, the corporate authorities of the City may pass an ordinance annexing said Territory to the City, if said ordinance is passed by a majority vote of the corporate authorities; and,

WHEREAS, the Territory is not within the corporate limits of any municipality, but is contiguous to the corporate limits of the City of St. Charles and eligible for annexation thereto; and

WHEREAS, the requirements of the laws of the State of Illinois, specifically 65 ILCS 5/7-1-1 and 5/7-1-8 of the Illinois Municipal Code, as amended, have been satisfied.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That the Territory be and the same is hereby annexed to the City of St. Charles, Kane and DuPage Counties, Illinois, together with all adjacent streets and highways contiguous to said Territory, so that the new boundaries of the Territory annexed shall extend to the far side of said adjacent streets and highways not within the corporate limits of any other municipality.

3. That the Mayor, City Clerk and any other necessary officers of the City are hereby authorized to execute the Plat of Annexation.

4. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be recorded with the Office of the Recorder Deeds, Kane County, Illinois, and filed with the County Clerk of Kane County.

5. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be filed with the postal service branch serving the Territory.

6. That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

7. This Ordinance shall be in full force and effect upon its passage and approval according to law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

ATTEST:

City Clerk

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

EXHIBIT A

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST

Ordinance No. 2020-M-_____

Page 4

DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP
AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT B

PETITION FOR ANNEXATION

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT DIVISION

PHONE: (630) 377-4443 EMAIL: cd@stcharlesil.gov

PETITION FOR ANNEXATION APPLICATION

Received Date
RECEIVED
St. Charles, IL
APR 07 2020
CDD
Planning Division

For City Use	
Project Name:	<u>Pride of Kane County</u>
Project Number:	<u>2019 -PR- 007</u>
Cityview Project Number:	<u>PLA 202000018</u>

Instructions:

To request annexation of property, complete this application and submit it with all required attachments to the Planning Division.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	<u>SEC KIRK RD AND MAIN ST. (IL STATE ROUTE 64)</u>	
	Parcel Number (s):	<u>09-25-100-036</u>	
	Proposed Subdivision Name:	<u>THE PRIDE OF KANE COUNTY</u>	
2. Applicant Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>630.653.1700</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax <u>630.791.8283</u>
			Email <u>dsoltis@cimadevelopers.org</u>
3. Record Owner Information:	Name	<u>CIMA DEVELOPERS, LP</u>	Phone <u>- SAME -</u>
	Address	<u>30W180 BUTTERFIELD RD WARRENVILLE, IL 60555</u>	Fax
			Email

Application Checklist

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Refer to attached Schedule of Application Fees (\$500, plus an additional \$500 when an annexation agreement is proposed).
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

LEGAL DESCRIPTION: For entire subject property, on 8 ½ x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

ANNEXATION PETITION (Complete either Form #1 for Electors, or Form #2 for No Electors).

Petition to include the following information:

- Addressed to: Mayor and Members of the City Council, City of St. Charles, 2 E. Main Street, St. Charles, Illinois 60174
- A common address of the property and tax parcel number are included in the petition
- Signatures of all of the owners of record of the territory to be annexed and also by the majority of electors, if any, residing in the territory. Petition shall be signed under oath.

□ ONE MYLAR PRINT OF THE PLAT OF ANNEXATION.

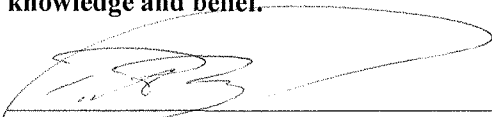

The Plat shall contain the following information:

- Survey of property to be annexed
- Legal description of property to be annexed
- Present corporate limits
- Number of acres to be annexed
- Name and address of person who prepared plat
- Indicate that the new boundary shall extend to the far side of any adjacent highway and shall include all of every highway within the area annexed.
- Certificate for signature by Mayor and the City Clerk as follows:

This is to certify that this Accurate Map of Territory Annexed is identified as that incorporated into and made a part of the City of St. Charles Ordinance No. _____ adopted by the City Council of said City on the _____ day of _____, 20_____.

By: _____ Attest: _____
Mayor City Clerk

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 _____ Record Owner	 _____ Applicant or Authorized Agent	4/1/20 _____ Date	3-29-20 _____ Date
-------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------	-------------------------	--------------------------



CIMA DEVELOPERS, LP

30W180 Butterfield Road
Warrenville, IL 60555
O: (630) 653-1700
F: (630) 791-8283

October 22, 2019

City of St. Charles
Community and Economic Development/Planning Division
Two East Main Street
St. Charles, IL 60174-1984

RE: The PRIDES Stores- SEC Kirk Road & E. Main Street (IL Rt 64) – Consent Authorization
to proceed with Zoning Application

To Whom It May Concern:

I, Peter M. Spina, authorized agent of CIMA Developers, LP, the Owner of the subject property, approximately 2.38 acres located at the Southeast Corner of Kirk Road and E. Main Street (IL RT 64), St. Charles, IL give my consent to Dan Soltis of CIMA Developers, LP to apply and proceed with any City zoning proceedings necessary in relation to the accompanying Zoning Applications.

Regards,

Peter M. Spina
Authorized Agent
CIMA Developers, LP

OWNERSHIP DISCLOSURE FORM

OWNER: CIMA Developers Limited Partnership

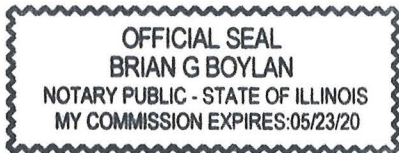


By: Peter M. Spina, sole managing member of
Angel Associates LLC, general partner

STATE OF ILLINOIS)
)SS
COUNTY OF DuPage)

I, Brian G. Boylan, a Notary Public in and for the County and State aforesaid, DO
HEREBY CERTIFY that Peter M. Spina, personally known to me to be the managing member of Angel
Associates LLC, the general partner of Cima Developers Limited Partnership, and personally known to
me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this
day in person and acknowledged that as such managing member, he signed and delivered such
instrument, as his free and voluntary act and deed, and as the free and voluntary act and deed of Angel
Associates LLC, the general partner of such Limited Partnership, for the uses and purposes therein set
forth.

Given under my hand and official seal this 1 day of April, 2020



Brian G. Boylan
Notary Public

My Commission Expires: _____

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

BEFORE THE MAYOR AND CITY COUNCIL
OF THE CITY OF ST. CHARLES, ILLINOIS

PETITION FOR ANNEXATION

The undersigned Petitioners hereby respectfully petition to annex to the City of St. Charles, Kane and DuPage Counties, Illinois, the territory described as follows:

See Exhibit "A" attached hereto and made a part hereof

Commonly know as: SEE ATTACHED LEGAL DESCRIPTION

Parcel Number(s): 09-25-100-036

And under oath state (s) as follows:


1. Your undersigned Petitioner (s) is (are) the sole owner (s) of record of the territory hereinbefore described, and *have) (has) also executed this Petition as such owner.
2. The territory hereinbefore described is not within the corporate limits of any municipality.
3. The territory hereinbefore described is contiguous to the City of St. Charles, Kane and DuPage Counties, Illinois.
4. There are no electors residing within the territory hereinbefore described.

WHEREFORE, Petitioner(s) respectfully request(s) that the corporate authorities of the City of St. Charles, Kane and DuPage Counties, Illinois, annex the territory hereinbefore described to said City in accordance with the provisions of the Petition and in accordance with law.

The undersigned petitioner(s) and elector(s), being first duly sworn on oath, state(s) that the statements set forth in the petition for annexation above are true and correct.

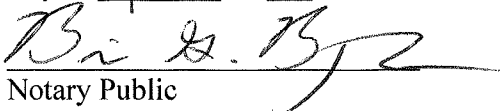
Dated this 14 day of April, 2020.

OWNER(S)

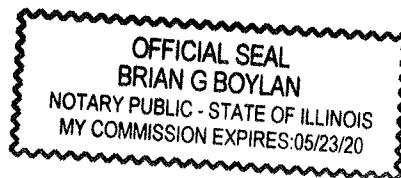


PETER M. SPINA

Subscribed and sworn to
Before me this 14th
Day of April, 2020



Notary Public



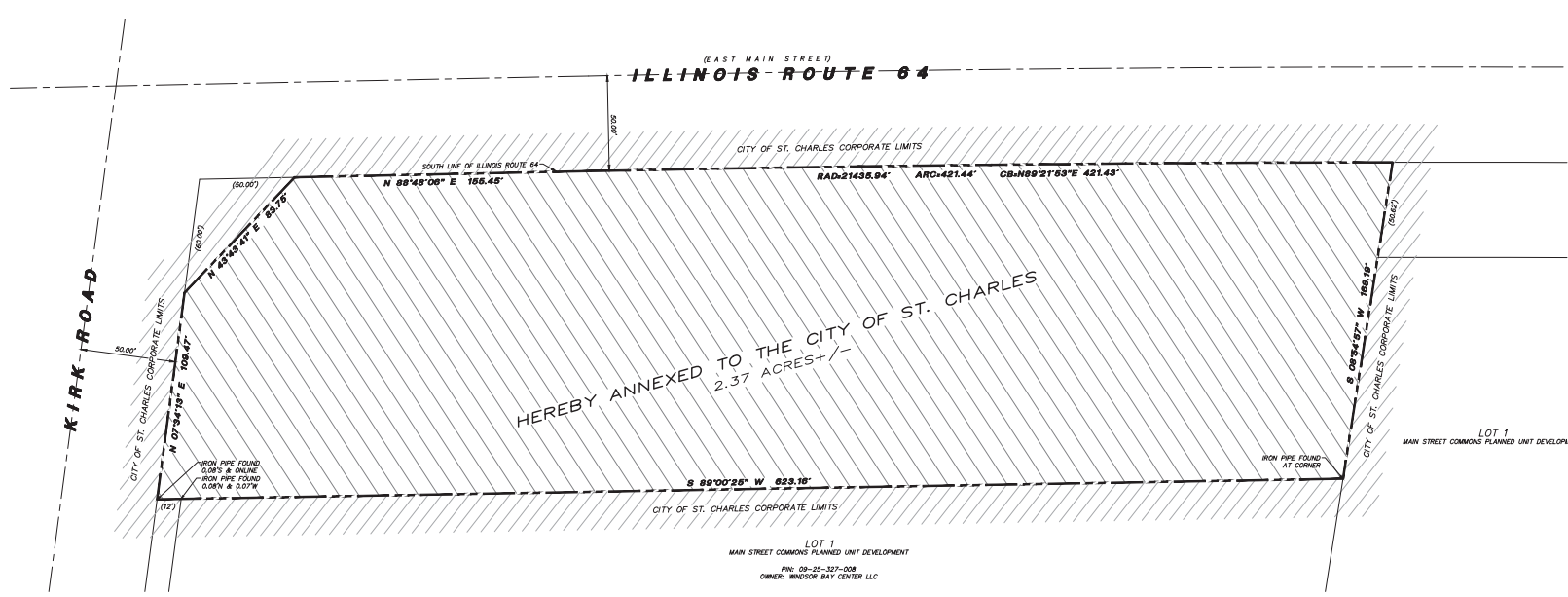
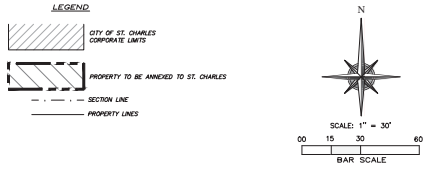
Legal Description
SEC Kirk Road & Main St. (IL State Route 64)

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

Permanent Tax No: 09-25-100-036

PLAT OF ANNEXATION TO THE CITY OF ST. CHARLES

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 16 DEGREES EAST 20.84 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.38 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES HERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.78 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 10.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 48 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.28 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE 'ST. CHARLES' ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5, 100.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN INTERIOR ANGLE OF 216 DEGREES, 01 MINUTES, 59 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES, 09 MINUTES, 25 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.



HEREBY ANNEXED TO THE CITY OF ST. CHARLES
2.37 ACRES +/-

LOT 1
MAIN STREET COMMONS PLANNED UNIT DEVELOPMENT
PIN: 09-25-327-008
OWNER: WINDSOR BAY CENTER LLC

CITY COUNCIL CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF KANE)
THIS IS TO CERTIFY THAT THIS ACCURATE MAP OF TERRITORY ANNEXED IS IDENTIFIED AS THAT INCORPORATED INTO AND MADE PART OF THE CITY OF ST. CHARLES ORDINANCE NO. _____, ADOPTED BY THE CITY COUNCIL OF SAID CITY ON THE DAY OF _____, A.D., 20____.

BY: _____ ATTEST: _____
MAYOR CITY CLERK

KANE COUNTY CLERK'S CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.
I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THIS PLAT.
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF KANE COUNTY, ILLINOIS,
THIS _____ DAY OF _____, A.D., 20____.

COUNTY CLERK

OWNER'S CERTIFICATE
STATE OF _____)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT CIMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.

DATED THIS _____ DAY OF _____, A.D. _____
BY: _____
PRINT NAME: _____
ADDRESS: _____

NOTARY CERTIFICATE
STATE OF _____)
) SS
COUNTY OF _____)

I HEREBY CERTIFY THAT THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE ARE KNOWN TO ME AS SUCH OWNERS.
GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D. _____

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

- NOTES:
1. PERMANENT INDEX NUMBER (P.I.N.) #J:09-25-100-038
 2. PROPERTY AREA: 103,407 SQUARE FEET / 2.37 ACRES MORE OR LESS.
 3. BASE OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 100 ZONE.
 4. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

SURVEYORS CERTIFICATE
STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

THIS IS TO CERTIFY THAT I, FRANJO L. MATIQC, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3256, HAVE PREPARED THIS PLAT FROM EXISTING PLATS AND RECORDS FOR THE PURPOSE OF ANNEXATION TO THE CITY OF ST. CHARLES, ILLINOIS, AS SHOWN BY THE PLAT HEREON DRAWN. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
GIVEN UNDER OUR HAND AND SEAL THIS _____ DAY OF _____, A.D., _____ AT HOFFMAN ESTATES, ILLINOIS

THE W-T GROUP, LLC
FOR REVIEW 06/02/20

FRANJO L. MATIQC - PLS #035-003556 EXPIRES 11/30/2016
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-004587

WT GROUP
EXPERIENCE WITH PROJECTS, DESIGN AND FINANCING.
2022 Franklin Avenue, Naperville, Illinois, IL 60563
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WWW.WTGROUP.COM | E: SALES@WTGROUP.COM
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WT Group
Engineering, Design, Construction

PLAT OF ANNEXATION
PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
CLIENT	1/13/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	6/02/20

CHECKFIRM
DRAWN/KCH
JOB: 1910803C

ANNEX-1
SHEET 1 OF 1
PLAT OF ANNEXATION



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: IIC4

Title:	Motion to approve an Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan for Pride of Kane County.
Presenter:	Rita Tungare

Meeting: City Council Date: December 7, 2020

Proposed Cost: N/A	Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
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Executive Summary *(if not budgeted please explain):*

Note: The Council can only take action on this item if the Ordinance Annexing the Territory (previous item) has been approved.

The attached ordinance will approve the zoning and subdivision applications for the Pride of Kane County project: Map Amendment to the BR- Regional Business District; Special Use for Planned Unit Development, and PUD Preliminary Plan.

On November 9, 2020 the Planning & Development Committee voted on the zoning applications submitted for the project (Map Amendment, Special Use for PUD and PUD Preliminary Plan). The motion to approve failed to pass in a 4-5 vote.

Approval of this Ordinance requires a simple majority.

Attachments *(please list):*

Ordinance Approving Zoning Applications.

Recommendation/Suggested Action *(briefly explain):*

Motion to approve an Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan for Pride of Kane County.

City of St. Charles, Illinois
Ordinance No. 2020-Z-

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development and PUD Preliminary Plan for
Pride of Kane County**

WHEREAS, on or about April 7, 2020, CIMA Developers, LP (the “Applicant”) filed petitions for: 1) Map Amendment from RE-1 Single-Family Estate District to BR Regional Business District; 2) Special Use for Planned Unit Development; and 3) PUD Preliminary Plan, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of developing a gas fueling facility, convenience store, and car wash; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about June 18, 2020 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 7, 2020, July 21, 2020 and August 4, 2020 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development and PUD Preliminary Plan petitions on or about August 4, 2020; and,

WHEREAS, the Planning & Development Committee of the City Council reviewed said petitions on or about August 10, 2020 and September 14, 2020, and, on or about November 9, 2020, voted on a motion to recommend approval of said petitions, and said motion to recommend approval failed; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RE-1 Single-Family Estate District to the BR Regional Business District, and the Findings of Fact for Map Amendment attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Preliminary Plat of Subdivision; WT Group; revisions dated 6/3/2020
- Preliminary Engineering Plans; WT Groups; revisions dated 6/8/2020 [Sheets C-2.0, C-8.0, C-9.0 revised 6/29/2020]
- Landscape Plan; Heller & Associates; revisions dated 8/3/2020
- Lighting Plan; LSI; revisions dated 6/16/2020
- Building Elevations; Arch7; not dated
- Canopy Elevations; dated 6/18/2020
- Signage Plan; Parvin-Clauss Sign Company; revisions dated 6/19/2020

5. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the BR Regional Business District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “E”.
- b. Stormwater Management: Per Title 18 of the St. Charles Municipal Code, “Stormwater”, Section 18.04.010 – Stormwater Management Ordinance - Adopted – Modifications, Subsection P’, the Subject Property was exempted from the 2019 revisions to the Kane County Stormwater Ordinance. The Subject Property may be developed in conformance with the approved PUD Preliminary Plan irrespective of the expiration of said exemption.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties,
Illinois this 7th day of December 2020.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTH LINE OF SAID QUARTER SECTION, 3.49 CHAINS WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER THEREOF; THENCE NORTH 8 DEGREES EAST 20.94 CHAINS; THENCE NORTH 77 DEGREES WEST 14.23 CHAINS; THENCE SOUTH 8 DEGREES WEST 20.58 CHAINS; THENCE NORTH 89 DEGREES EAST 3.35 CHAINS; THENCE SOUTH 3.66 CHAINS TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 25; THENCE EAST ON SAID SOUTH LINE 10.52 CHAINS TO THE POINT OF BEGINNING (EXCEPT THAT PART NORTH OF THE CENTER LINE OF ROUTE 64 AND EXCEPT THAT PART WEST OF THE EAST LINE OF KIRK ROAD AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERLY LINE OF KIRK ROAD (COUNTY HIGHWAY NO. 77) AS DESCRIBED IN DOCUMENT 1107922 WITH A LINE DRAWN PARALLEL WITH AND 50.0 FEET SOUTHERLY OF THE CENTER LINE OF ILLINOIS STATE ROUTE NO. 64 (MEASURED AT RIGHT ANGLES THERETO); THENCE ON AN ASSUMED BEARING OF SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE 60.0 FEET; THENCE NORTH 43 DEGREES, 53 MINUTES, 42 SECONDS EAST 83.76 FEET TO SAID PARALLEL LINE; THENCE NORTH 1 DEGREE, 01 MINUTES, 58 SECONDS WEST 50.0 FEET TO SAID CENTER LINE; THENCE SOUTH 88 DEGREES, 58 MINUTES, 02 SECONDS WEST ALONG SAID CENTER LINE 42.29 FEET TO SAID EASTERLY LINE EXTENDED; THENCE SOUTH 7 DEGREES, 44 MINUTES, 17 SECONDS WEST ALONG SAID EASTERLY LINE EXTENDED 50.59 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 25 TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 5, UNIT 1, THE "ST. CHARLES" ILLINOIS INDUSTRIAL DEVELOPMENT OF THE CENTRAL MANUFACTURING DISTRICT; PROCEED NORTHERLY ON THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5, 109.41 FEET, TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH AVENUE (RT. 64); THENCE NORTHEASTERLY ON SAID RIGHT OF WAY LINE WHICH FORMS AN EXTERIOR ANGLE OF 216 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 21.19 FEET TO A POINT ON A LINE 12.50 FEET EASTERLY OF AND PARALLEL WITH THE NORTHERLY EXTENTION OF THE WEST LINE OF SAID LOT 5; THENCE SOUTHERLY ON SAID PARALLEL LINE WHICH FORMS AN INTERIOR ANGLE OF 36 DEGREES 09 MINUTES 25 SECONDS WITH THE LAST DESCRIBED LINE, 124.63 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 5; THENCE WESTERLY ON SAID NORTH LINE, WHICH FORMS AN INTERIOR ANGLE OF 98 DEGREES 33 MINUTE 48 SECONDS WITH THE LAST DESCRIBED LINE, 12.64 FEET, TO THE POINT OF BEGINNING), IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT “B”

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The intended use is consistent with the other retail business uses along Kirk Rd. and along E. Main St.

2. The extent to which property values are diminished by the existing zoning restrictions.

Property values will not be affected. The intended use is consistent with all nearby uses.

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The property value will not be diminished, and in fact will provide an added amenity and convenience to the surrounding city and community.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The subject property’s current zoning does not allow for our intended use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

This property has been vacant for a substantial amount of time.

6. The evidence, or lack of evidence, of the community’s need for the uses permitted under the proposed district.

The intended use is consistent with development trends and all neighboring uses.

7. The consistency of the proposed amendment with the City’s Comprehensive Plan.

Our intended use is consistent with the Comprehensive Plan.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

Per Title 17 of the City Code, unless otherwise requested, land being annexed is automatically zoned RE-1 Single-Family Estates District. BR zoning is requested to accommodate the proposed commercial development.

9. The extent to which the proposed amendment creates nonconformities.

The proposed development will only require paving setback and off-site sign deviations. Other than that, the development will comply with zoning requirements.

10. The trend of development, if any, in the general area of the property in question.

The intended use is consistent with the other retail business uses.

EXHIBIT "C"

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. **The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

We believe that the proposed development advances many of the purposes of the Planned Unit Development as outlined and stated in Section 17.04.400.A.

The architectural building design will provide a unique and distinctive look that will include "barn" like features that will capture the historic essence of the property.

New sidewalks are proposed along the entire west and north property lines to connect existing sidewalk structures along Kirk Rd. and Main St. to help promote pedestrian traffic and physical activity.

This property has remained undeveloped for a very long time and the proposed development allows for and encourages and promotes economic growth and efficient land use.

This development includes a reciprocal easement agreement with the neighboring property owner (Main Street Commons) which allows for cross-access service roads and shared stormwater detention.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

The following factors below per Section 17.04.400.B are highlighted to justify relief from certain zoning requirements:

- The PUD will provide superior landscaping and buffering as allowed by the site parameters.
- The buildings within the PUD will be unique and distinctive in nature, capturing historic features.
- The buildings will be built with energy efficiency guidelines and site design.
- The development will be designed with shared detention with Main Street Commons.

Zoning deviations for the following are being requested: paving setbacks, off-site signage, convenience store building signage, freestanding sign setback, building foundation landscape, carwash stacking requirement.

iii. **The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Yes. The proposed development will serve as a public convenience and an added amenity. The development will offer fueling, convenience store, quick service restaurant and carwash.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Yes. The proposed development has sufficient infrastructure required to develop. Utilities, added service roads, and adequate on-site and off-site detention are being provided.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The development is consistent and compatible with surrounding land uses and will not affect nearby property in any way.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The development will not impede the normal and orderly development and improvement of the surrounding property and will complete the needed development at that particular property location in a manner that is consistent and compatible with surrounding and neighboring property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

No. The proposed development will not pose any detriment to or endanger the public health, safety, comfort or general welfare.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Yes. The development will be built to conform to all applicable codes and ordinances and meets all applicable provisions, except as may be varied pursuant to a Special Use for PUD.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Yes. The proposed development will provide an added and substantial tax base to the City, improving the overall economic well-being of the City.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

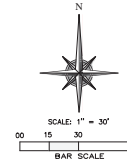
Yes. The proposed development is in conformance with the goals, objectives and policies of the adopted City of St. Charles Comprehensive Plan.

EXHIBIT "D"

**PUD PRELIMINARY PLAN
(45 pages)**

PRELIMINARY PLAT OF SUBDIVISION PRIDE OF KANE COUNTY

BEING A SUBDIVISION IN THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP AND CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.



PIN NUMBER:
09-25-100-036

AFTER RECORDING RETURN TO:
CITY OF ST. CHARLES
2 E. MAIN STREET
ST. CHARLES, IL 60174

PROPERTY OWNER:
CIMA DEVELOPERS, LP
30480 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

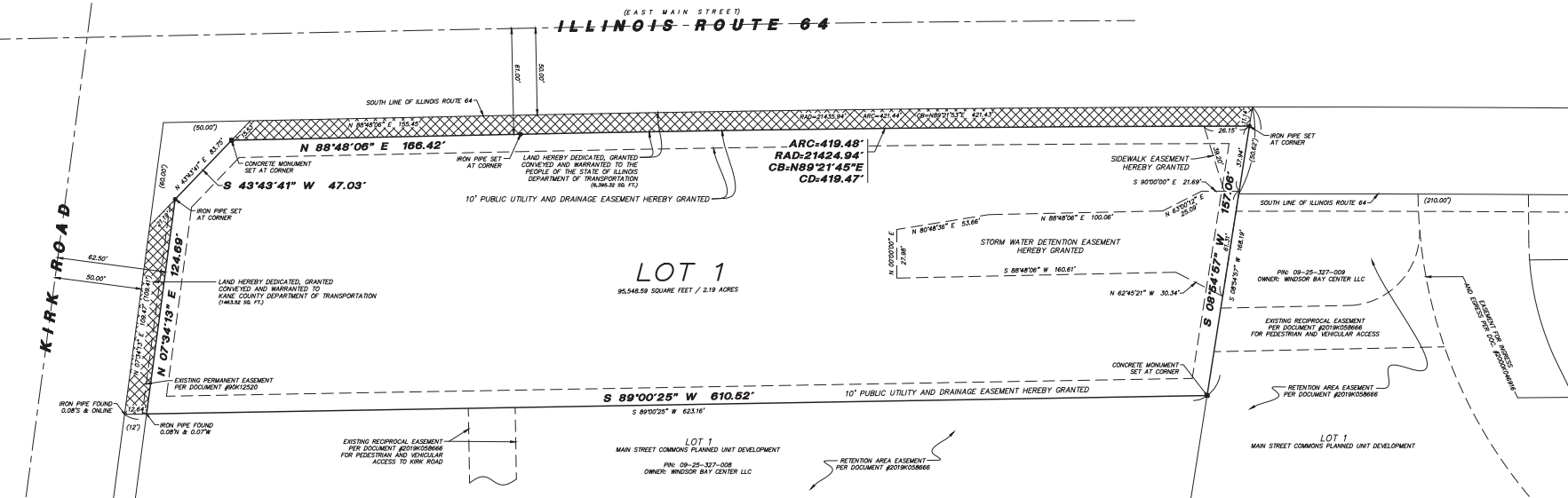
SUBDIVIDER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-224-6333

DESIGNER/ENGINEER:
THE W-T GROUP, LLC
2675 PRATIUM AVE.
HOFFMAN EST., IL 60192
224-224-6333

- LEGEND**
- PROPERTY LINE
 - UNDERLINE OF RIGHT OF WAY
 - UNDERLYING PROPERTY LINES
 - SET CONCRETE MONUMENT / SET IRON PIPE
 - RECORD PROPERTY DIMENSIONS
 - RIGHT OF WAY (HEREBY DEDICATED)

NOTES:

1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
2. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.



OWNER'S CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT CIMA DEVELOPERS, LP IS THE OWNER OF THE LAND SHOWN AND DESCRIBED ON THE ANNEXED PLAT AND BY ITS DULY AUTHORIZED MANAGER HAS AS SUCH OWNER CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED AND PLATTED AS SHOWN THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON SHOWN.

THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, TO THE BEST OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

DATED THIS _____ DAY OF _____ A.D. _____

BY: _____

PRINT NAME: _____

ADDRESS: _____

NOTARY CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. _____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED THIS _____ DAY OF _____ A.D. _____ BY THE COUNCIL OF THE CITY OF ST. CHARLES.

MAYOR _____

CITY CLERK _____

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT _____

DATED AT _____ ILLINOIS, THIS _____ DAY OF _____, D. 20____

SPECIAL ASSESSMENT CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, DO HEREBY CERTIFY THAT THERE ARE NO SELIGNMENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS _____

DATED AT ST. CHARLES, ILLINOIS, THIS _____ DAY OF _____ A.D. _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED BY THE PLAN COMMISSION OF THE CITY OF ST. CHARLES.

THIS _____ DAY OF _____ A.D. _____

CHAIRMAN _____

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO §2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

ANTHONY J. QUIGLEY P.E.
REGION ONE ENGINEER

ILLINOIS DEPARTMENT OF TRANSPORTATION DEDICATION DESCRIPTION

TO BE CREATED AFTER REVIEW

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THE PROPOSED DEDICATION TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION IS HEREBY ACCEPTED.

BY: ANTHONY J. QUIGLEY P.E. DATE: _____ 20____
REGION ONE ENGINEER

WT GROUP
Engineering and Planning, Public Works and Planning
2875 Prairie Avenue (Hoffman Estates, IL 60192)
Tel: 224-224-6333 Fax: 224-224-6344
www.wtgroup.com

WT Group
Engineering & Design Community

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

PLAT OF SUBDIVISION
PRIDE OF KANE COUNTY
330573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS

CIMA DEVELOPERS
30480 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
CLIENT	1/10/20
CLIENT	2/11/20
CLIENT	2/14/20
CLIENT	3/9/20
CLIENT	3/16/20
CLIENT	6/30/20

CHECK/FIRM
DRAWN/KCH
JOB: 1910803C

SUB-1
SHEET 1 OF 2
PLAT OF SUBDIVISION

THE PRIDE OF KANE COUNTY 33W573 EAST MAIN STREET SAINT CHARLES, ILLINOIS 60174

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	06-08-20
C-1.0	SITE DEMOLITION PLAN	06-08-20
C-2.0	SITE GEOMETRIC PLAN	06-08-20
C-3.0	SITE DEVELOPMENT PLAN	06-08-20
C-3.1 - C-3.3	SITE DEVELOPMENT DETAILS	06-08-20
C-4.0 - C-4.1	SITE GRADING PLAN	06-08-20
C-5.0	SITE UTILITY PLAN	06-08-20
C-5.1 - C-5.3	SITE UTILITY DETAILS	06-08-20
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	06-08-20
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	06-08-20
C-7.0 - C-7.1	PROJECT SPECIFICATIONS	06-08-20
C-8.0	FIRE APPARATUS CIRCULATION PLAN	06-08-20

SURVEY DRAWING INDEX		
SHEET	DESCRIPTION	DATE
SUR-1	TOPOGRAPHIC SURVEY (PREPARED BY THE W-T GROUP)	03-12-19

BENCHMARKS:
 SITE BENCHMARK #1 - SET CROSS ON SSE BOLT OF HYDRANT LOCATED IN GRASS APPROXIMATELY 6.8' S OF EAST MAIN STREET AND 76.4' E OF MH #6, AS SHOWN ON SHEET SUR-2. ELEVATION=104.79' (NAVD88)
 SITE BENCHMARK #2 - SET CROSS ON CONCRETE SIDEWALK LOCATED APPROXIMATELY 25.3' ESE OF KIRK ROAD AND 22.8' SWH OF ENTRANCE, AS SHOWN ON SHEET SUR-2. ELEVATION=104.23' (NAVD88)
 SITE BENCHMARK #3 - SET CROSS IN WALK LOCATED 39' EAST OF FOND AND 200 FEET SOUTH OF ROUTE 64 ON WEST SIDE OF DRIVE, AS SHOWN ON SHEET SUR-3. ELEVATION=104.12' (NAVD88)



SCALE 1"=1000'
 SECTION 25
 TOWNSHIP 40N
 RANGE 8E
 MAP DATA © 2019 6006LE

CIVIL ENGINEERING STATEMENT AND SEAL

I, TODD ABRAMS, P.E. DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF TRANSPORTATION AND PROFESSIONAL REGULATION DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (IAC 140-1.0-2) AND THE ILLINOIS ACCESSIBILITY CODE (11 ILL. ADM. CODE 400).

DATE: 6-8-20

TODD ABRAMS
 TODD ABRAMS - ILLINOIS P.E. # 062-066600
 DATE OF EXPIRATION - NOVEMBER 30, 2021
 NOTE: SIGNED AND SEALED FOR SHEETS T-1.0 THROUGH C-7.1

CALL JULIE TOLL FREE
 1(800)842-0123
 OPERATES 24 HOURS A
 DAY 365 DAYS A YEAR



CALL
 1(800)842-0123
 48 HOURS BEFORE
 YOU DIG

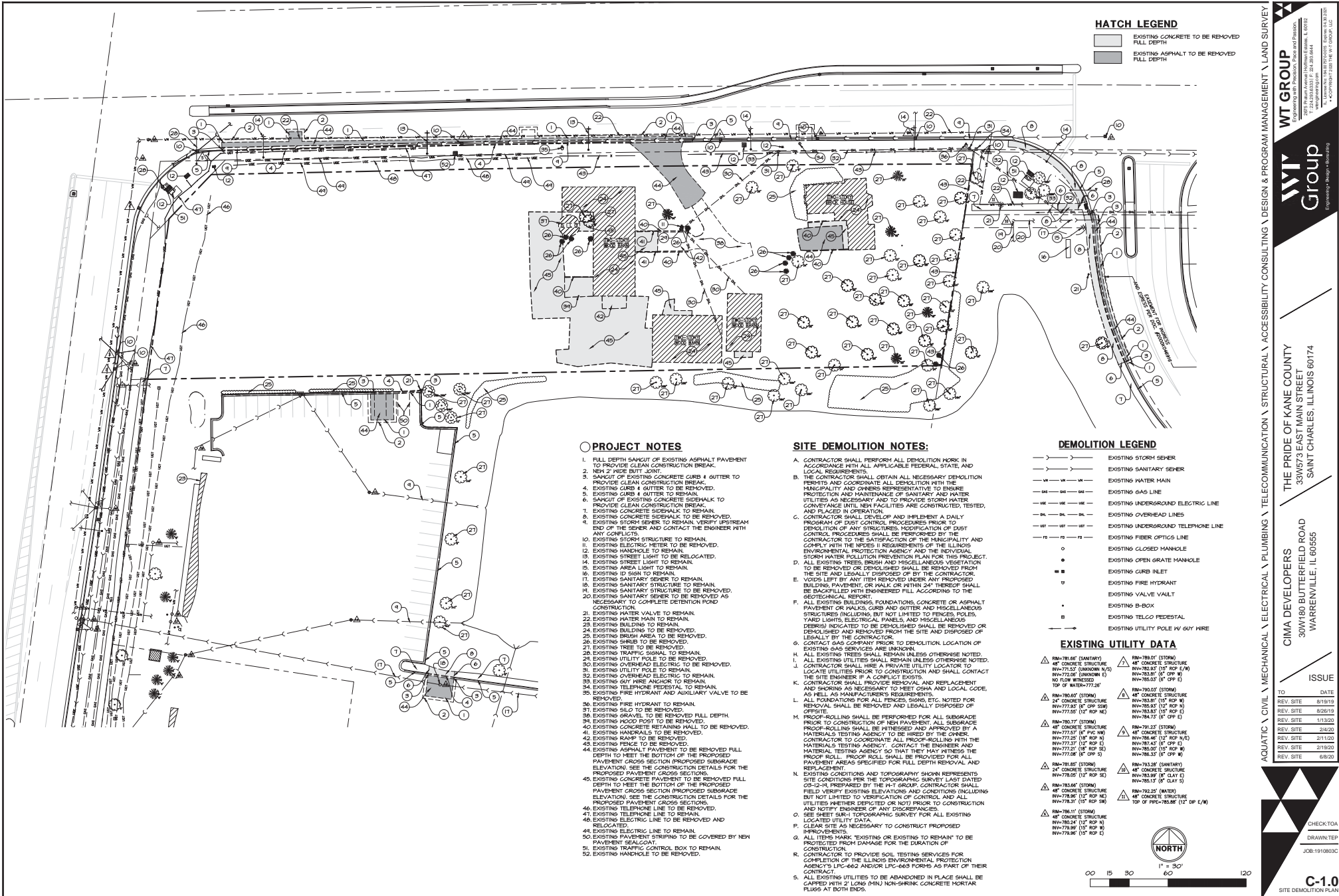
CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.

NOTE: TOTAL PROPERTY AREA: 2.31 ACRES
 NOTE: TOTAL DISTURBED AREA: 2.69 ACRES
 NOTE: ALL SURROUNDING PROPERTIES ARE COMMERCIAL LAND USE

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/13/20
REV. SITE	6/9/20

CHECKED: TAD
 DRAWN: TEP
 JOB: 1910803C



HATCH LEGEND

[Hatched Box]	EXISTING CONCRETE TO BE REMOVED FULL DEPTH
[Hatched Box]	EXISTING ASPHALT TO BE REMOVED FULL DEPTH

PROJECT NOTES

- FULL DEPTH SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
- NEW 2" WIDE BUTT JOINT.
- SAWCUT OF EXISTING CONCRETE CURB & GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
- EXISTING CURB & GUTTER TO BE REMOVED.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- SAWCUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- EXISTING STORM SEWER TO REMAIN. VERIFY UPSTREAM END OF THE SEWER AND CONTACT THE ENGINEER WITH ANY CONFLICTS.
- EXISTING STORM STRUCTURE TO REMAIN.
- EXISTING ELECTRIC METER TO BE REMOVED.
- EXISTING HANDHOLE TO REMAIN.
- EXISTING STREET LIGHT TO BE RELOCATED.
- EXISTING AREA LIGHT TO REMAIN.
- EXISTING ID SIGN TO REMAIN.
- EXISTING SANITARY SEWER TO REMAIN.
- EXISTING SANITARY STRUCTURE TO BE REMOVED.
- EXISTING SANITARY SEWER TO BE REMOVED AS NECESSARY TO COMPLETE DETENTION POND CONSTRUCTION.
- EXISTING WATER VALVE TO REMAIN.
- EXISTING WATER MAIN TO REMAIN.
- EXISTING BUILDING TO REMAIN.
- EXISTING BRUSH AREA TO BE REMOVED.
- EXISTING BRUSH AREA TO BE REMOVED.
- EXISTING TREE TO BE REMOVED.
- EXISTING TRAFFIC SIGNAL TO REMAIN.
- EXISTING UTILITY POLE TO BE REMOVED.
- EXISTING OVERHEAD ELECTRIC TO BE REMOVED.
- EXISTING UTILITY POLE TO REMAIN.
- EXISTING GUY WIRE ANCHOR TO REMAIN.
- EXISTING OVERHEAD ELECTRIC TO REMAIN.
- EXISTING FIRE HYDRANT AND AUXILIARY VALVE TO BE REMOVED.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING 5/8" SILD TO BE REMOVED.
- EXISTING GRAVEL TO BE REMOVED FULL DEPTH.
- EXISTING WOOD POST TO BE REMOVED.
- EXISTING HANDRAIL TO BE REMOVED.
- EXISTING FENCE TO BE REMOVED.
- EXISTING FENCE TO BE REMOVED.
- EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF PROPOSED PAVEMENT CROSS SECTION PROPOSED SUBGRADE ELEVATION. SEE THE CONSTRUCTION DETAILS FOR THE PROPOSED PAVEMENT CROSS SECTIONS.
- EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTION. PROPOSED SUBGRADE ELEVATION. SEE THE CONSTRUCTION DETAILS FOR THE PROPOSED PAVEMENT CROSS SECTIONS.
- EXISTING TELEPHONE LINE TO BE REMOVED.
- EXISTING TELEPHONE LINE TO REMAIN.
- EXISTING ELECTRIC LINE TO BE REMOVED AND RELOCATED.
- EXISTING ELECTRIC LINE TO REMAIN.
- EXISTING PAVEMENT STRIPINGS TO BE COVERED BY NEW PAVEMENT SEALCOAT FOR THE DURATION OF CONSTRUCTION.
- EXISTING TRAFFIC CONTROL BOX TO REMAIN.
- EXISTING HANDHOLE TO BE REMOVED.

SITE DEMOLITION NOTES:

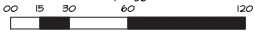
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR PRESERVED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORTS.
- ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURBS AND GUTTERS AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- CONTACT GAO COMPANY PRIOR TO DEMOLITION LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- CONTRACTOR SHALL PROTECT, REPAIR, AND REPLACE AS NECESSARY AS MANHOLE AND REQUIREMENTS.
- ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF-ROLLING SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND RECONSTRUCTION.
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS FROM THE TOPOGRAPHIC SURVEY LAST DATED 03-12-14, PREPARED BY THE W-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SEE SHEET SURV. TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY LOCATIONS.
- CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFC-662 AND/OR LFC-669 FORMS AS PART OF THEIR CONTRACT.
- ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2" LONG MIN. NON-SINKING CONCRETE PORTLAND PLUGS AT BOTH ENDS.

DEMOLITION LEGEND

- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- GAS LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD LINES
- UNDERGROUND TELEPHONE LINE
- FIBER OPTIC LINE
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING TELCO PEDESTAL
- EXISTING UTILITY POLE W/ GUY WIRE

EXISTING UTILITY DATA

- | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> △ RW-78165 (SANITARY) 48" CONCRETE STRUCTURE NW-77157 (UNKNOWN N/S) NW-77156 (15' ROP N) NO FLOW WITNESSED TOP OF MANHOLE 777.26 | <ul style="list-style-type: none"> △ RW-78167 (STORM) 48" CONCRETE STRUCTURE NW-78137 (15' ROP E) NW-78138 (15' ROP E) NW-78133 (15' ROP E) NW-78134 (15' ROP E) |
| <ul style="list-style-type: none"> △ RW-78166 (STORM) 48" CONCRETE STRUCTURE NW-77757 (PVC NW) NW-77756 (15' ROP N) NW-77757 (15' ROP E) NW-77758 (15' ROP SE) NW-77756 (15' ROP SE) | <ul style="list-style-type: none"> △ RW-78168 (STORM) 48" CONCRETE STRUCTURE NW-78137 (15' ROP E) NW-78138 (15' ROP E) NW-78133 (15' ROP E) NW-78134 (15' ROP E) |
| <ul style="list-style-type: none"> △ RW-78169 (STORM) 24" CONCRETE STRUCTURE NW-77805 (15' ROP SE) | <ul style="list-style-type: none"> △ RW-78169 (SANITARY) 48" CONCRETE STRUCTURE NW-78139 (15' CLAY S) NW-78137 (15' CLAY S) |
| <ul style="list-style-type: none"> △ RW-78166 (STORM) 48" CONCRETE STRUCTURE NW-77806 (15' ROP SE) NW-77807 (15' ROP SE) | <ul style="list-style-type: none"> △ RW-78165 (STORM) 48" CONCRETE STRUCTURE NW-78134 (15' ROP N) NW-77809 (15' ROP W) NW-77808 (15' ROP E) |
| <ul style="list-style-type: none"> △ RW-78167 (STORM) 48" CONCRETE STRUCTURE NW-77811 (15' ROP N) NW-77809 (15' ROP W) NW-77808 (15' ROP E) | <ul style="list-style-type: none"> △ RW-78165 (STORM) 48" CONCRETE STRUCTURE TOP OF PPE-78058 (15' D/P N) |



WT GROUP
 3300 W. STATE STREET, SUITE 200
 CHICAGO, IL 60612
 TEL: 312.333.3333 FAX: 312.261.8444
 WWW.WTGROUP.COM

WT Group
 Engineering & Design Consulting

THE PRIDE OF KANE COUNTY
 330W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

CIMA DEVELOPERS
 330W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

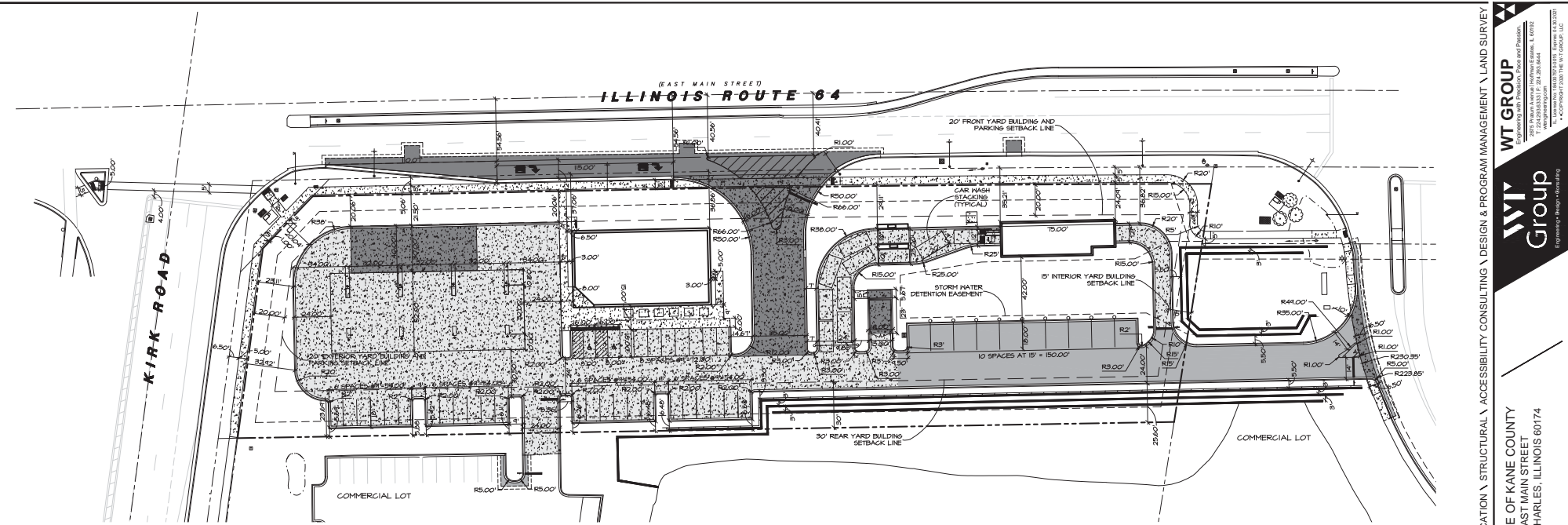
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

ISSUE

TO	DATE
REV. SITE	6/19/19
REV. SITE	6/26/19
REV. SITE	11/3/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/15/20
REV. SITE	6/3/20

CHECK/TOA
 DRAWN/TEP
 JOB:1910803C

C-1.0
 SITE DEMOLITION PLAN



HATCH LEGEND

- NEW ASPHALT PAVEMENT
- NEW ILL. ROUTE 64 ASPHALT PAVEMENT
- NEW 5" CONCRETE SIDEWALK
- NEW 6" CONCRETE PAVEMENT
- NEW 8" CONCRETE PAVEMENT

NONRESIDENTIAL ZONING COMPLIANCE TABLE
Name of Developer: PRIDE OF KANE COUNTY

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR-REGIONAL BUSINESS	Ordinance #:	
Minimum Lot Area	1 ACRE		2.37 ACRES
Minimum Lot Width	NONE		NONE
Maximum Building Coverage	50%		17%
Maximum Gross Floor Area per Building	NONE	BUILDING 1-4,500 SF. BUILDING 2-1,650 SF.	
Maximum Building Height	40 FEET		20 FEET
Front Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1-25.86 FT, BLDG 2-23.09 FT PARKING 30.81 FEET, 37.86 FEET
Interior Side Yard	BUILDING-15 FEET PARKING-NONE		BLDG 1-39.03 FT, BLDG 2-55.13 FT PARKING-27.09 FT, PARKING-30.93 FT
Exterior Side Yard	BUILDING-20 FEET PARKING-20 FEET		BLDG 1-205.66 FT, BLDG 2-481.28 FT PARKING-61.96 FEET, 42.51 FEET
Minimum Rear Yard	BUILDING-30 FEET PARKING-0 FEET		BLDG 1-41.28 FT, BLDG 2-109.27 FT PARKING-57.1 FT
Landscape Buffer Yard ²	NOT REQUIRED		NOT REQUIRED
% Overall Landscaped Area	20% WITH ON SITE STORM		17% WITH ON SITE STORM
Building Foundation Landscaping	50% HORIZONTAL DIMENSIONS OF BUILDING		BUILDING 1-50% BUILDING 2-100%
% Interior Parking Lot Landscaping	NOT AVAILABLE		NOT AVAILABLE
Interior Parking Lot Shade Trees	NOT AVAILABLE		NOT AVAILABLE
# of Parking spaces	CARWASH-7 PER PER Y-10 RETAIL BUILDING-4 PER 1,000 SF-17 SPACES		CARWASH-10 SPACES + 10 STACKING RETAIL BUILDING-34

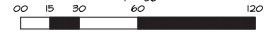
- SITE GEOMETRIC NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 12-26-14, PREPARED BY THE H-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
 - ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
 - SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
 - CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
 - CONTRACTOR SHALL CONTACT JULIE (811 OR 1-800-842-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
 - ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
 - ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

CALL JULIE
SIMPLY 811 OR TOLL FREE (800)842-0123 OPERATES
24 HOURS A DAY 365 DAYS A YEAR



CALL JULIE
48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.



WT GROUP
ENGINEERING AND PLUMBING CONSULTANTS
1224 S. 33RD ST. SUITE 200
MILWAUKEE, WI 53211
TEL: 414.353.1000 FAX: 414.353.1001
WWW.WTGROUP.COM

WT Group
Engineering • Design • Consulting

THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174

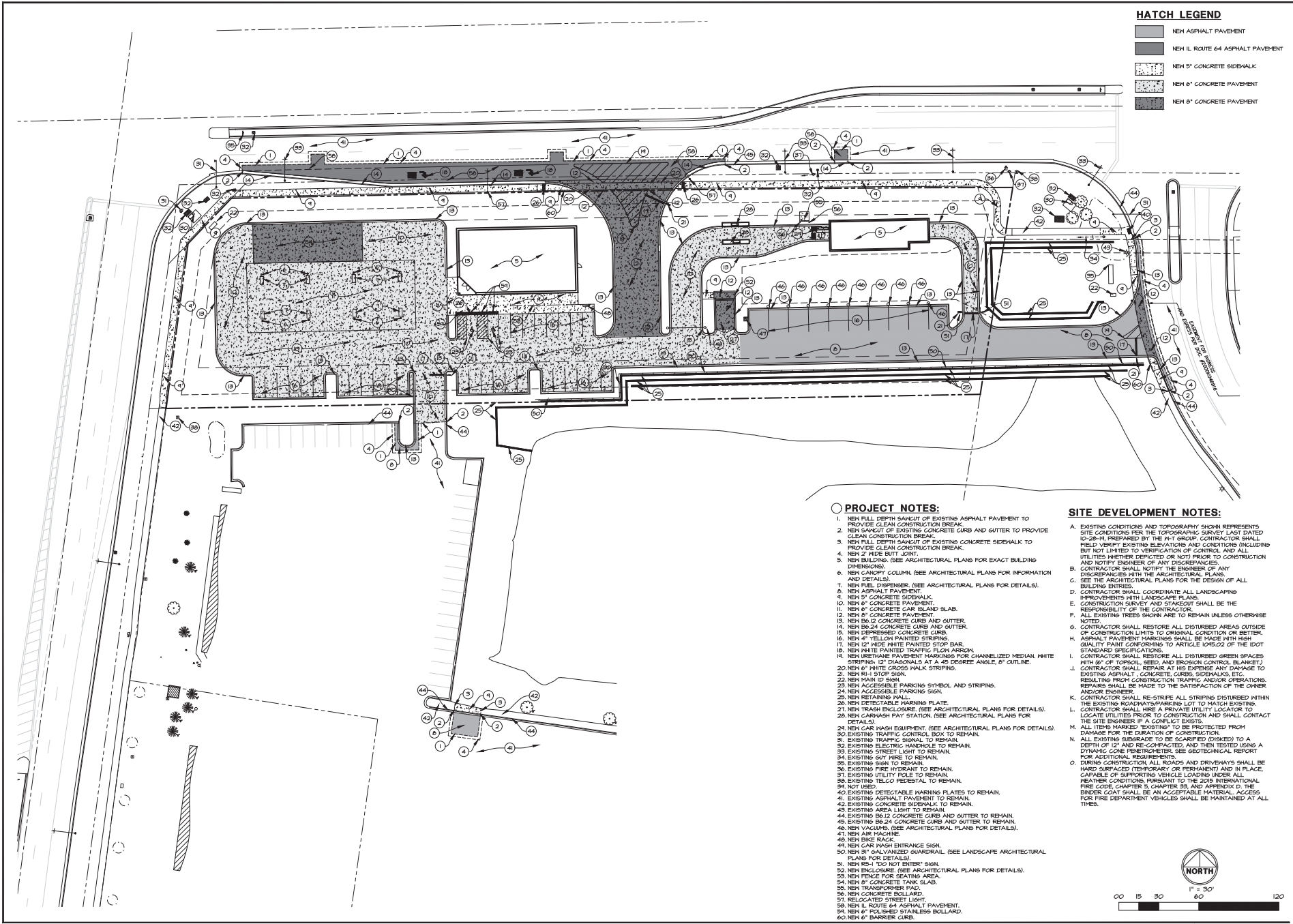
CIMA DEVELOPERS
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE






TO	DATE
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

CHECK/TO
DRAWN/TEP
JOB:1910803C

C-2.0
SITE GEOMETRIC PLAN



HATCH LEGEND

-  NEW ASPHALT PAVEMENT
-  NEW IL ROUTE 64 ASPHALT PAVEMENT
-  NEW 5' CONCRETE SIDEWALK
-  NEW 6' CONCRETE PAVEMENT
-  NEW 8' CONCRETE PAVEMENT

PROJECT NOTES:

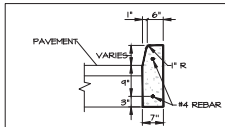
1. NEW FULL DEPTH SANICUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW SANICUT OF EXISTING CONCRETE CURB AND GUTTER TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW FULL DEPTH SANICUT OF EXISTING CONCRETE SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. NEW 2" WIDE BUTT JOINT.
5. NEW BUILDING (SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS).
6. NEW CANOPY COLUMN (SEE ARCHITECTURAL PLANS FOR INFORMATION AND DETAILS).
7. NEW FUEL DISPENSER (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. NEW ASPHALT PAVEMENT.
9. NEW 5' CONCRETE SIDEWALK.
10. NEW 4' CONCRETE PAVEMENT.
11. NEW 6' CONCRETE CAR ISLAND SLAB.
12. NEW 8' CONCRETE PAVEMENT.
13. NEW B6/2 CONCRETE CURB AND GUTTER.
14. NEW B6/24 CONCRETE CURB AND GUTTER.
15. NEW DEPRESSED CONCRETE CURB.
16. NEW 4" YELLOW PAINTED STRIPING.
17. NEW 12" WIDE WHITE PAINTED STOP BAR.
18. NEW URETHANE PAVEMENT MARKINGS FOR CHANNELIZED MEDIAN WHITE STRIPING, 12" DIAGONALS AT A 45 DEGREE ANGLE, 8" OUTLINE.
20. NEW 4" WHITE CROSS WALK STRIPING.
21. NEW R-1 STOP SIGN.
22. NEW H-1 SIGN.
23. NEW ACCESSIBLE PARKING SYMBOL AND STRIPING.
24. NEW ACCESSIBLE PARKING SIGN.
25. NEW RETAINING WALL.
26. NEW DETECTABLE WARNING PLATE.
27. NEW TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
28. NEW CARWASH PAY STATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
29. NEW CAR WASH EQUIPMENT (SEE ARCHITECTURAL PLANS FOR DETAILS).
30. EXISTING TRAFFIC CONTROL BOX TO REMAIN.
31. EXISTING TRAFFIC SIGNAL TO REMAIN.
32. EXISTING ELECTRIC HANDLES TO REMAIN.
33. EXISTING STREET LIGHT TO REMAIN.
34. EXISTING WIRE TO REMAIN.
35. EXISTING SIGN TO REMAIN.
36. EXISTING HYDRANT TO REMAIN.
37. EXISTING UTILITY POLE TO REMAIN.
38. EXISTING TELCO PEDestal TO REMAIN.
39. NOT USED.
40. EXISTING DETECTABLE WARNING PLATES TO REMAIN.
41. EXISTING ASPHALT PAVEMENT TO REMAIN.
42. EXISTING CONCRETE SIDEWALK TO REMAIN.
43. EXISTING AREA LIGHT TO REMAIN.
44. EXISTING B6/2 CONCRETE CURB AND GUTTER TO REMAIN.
45. EXISTING B6/24 CONCRETE CURB AND GUTTER TO REMAIN.
46. NEW VAGUIMS (SEE ARCHITECTURAL PLANS FOR DETAILS).
47. NEW AIR MACHINE.
48. NEW BIKE RACK.
49. NEW CAR WASH ENTRANCE SIGN.
50. NEW 31" GALVANIZED GUARDRAIL (SEE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS).
51. NEW R-1 "DO NOT ENTER" SIGN.
52. NEW ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
53. NEW FENCE FOR SEEING AREA.
54. NEW 8' CONCRETE TANK SLAB.
55. NEW TRANSFORMER AREA.
56. NEW CONCRETE BOLLARD.
57. RELOCATED STREET LIGHT.
58. NEW IL ROUTE 64 ASPHALT PAVEMENT.
59. NEW 6' POLISHED STAINLESS BOLLARD.
60. NEW 6' BARRIER CURB.

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10/28/14 PREPARED BY THE HY GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 106.02 OF THE DOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL (BLANKET).
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAY/PARKING LOT TO MATCH EXISTING DAMAGE FOR THE DURATION OF CONSTRUCTION.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RECOMPACTED AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- O. DURING CONSTRUCTION ALL ROADS AND DRIVEWAYS SHALL BE HAND SURFACED TEMPORARILY OR PERMANENTLY AND IN PLACE, CAPABLE OF SUPPORTING VEHICLE LOADINGS UNDER ALL WEATHER CONDITIONS. PURSUANT TO THE 2015 INTERNATIONAL FIRE CODE, CHAPTER 5, CHAPTER 55, AND APPENDIX D, THE BINDER COAT SHALL BE AN ACCEPTABLE MATERIAL. ACCESS FOR FIRE DEPARTMENT VEHICLES SHALL BE MAINTAINED AT ALL TIMES.

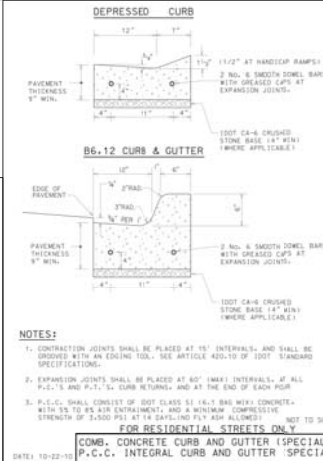
ISSUE

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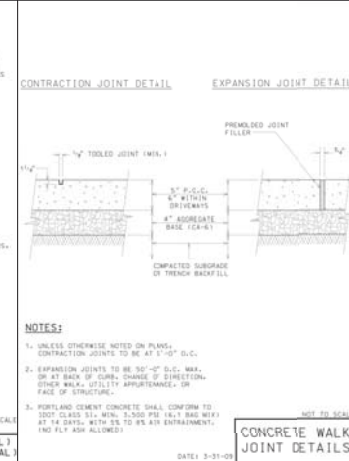


- NOTES:**
1. BARRIER CURB SHALL BE CONCRETE.
 2. CONTRACTION JOINTS, 1/4" WIDE X 1" DEEP, SHALL BE LOCATED AT RADIUS TANGENTS.
 3. BASE MATERIAL SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.

DETAIL - BARRIER CURB
NOT TO SCALE

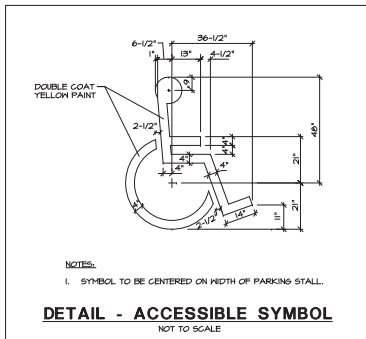


- NOTES:**
1. CONTRACTION JOINTS SHALL BE PLACED AT 15' INTERVALS AND SHALL BE FINISHED WITH AN EDGING TOOL. SEE ARTICLE 405.02 OF 2007 STANDARD SPECIFICATIONS.
 2. EXPANSION JOINTS SHALL BE PLACED AT 60' INTERVALS, IF ALL P.C.C.'S AND P.T.C. CURB RETURN, AND AT THE END OF EACH POLE.
 3. P.C.C. SHALL CONSIST OF 100% CLASS II 1/2" MAX SIZE CONCRETE WITH 1% TO 1.5% AIR ENTRAINMENT, AND A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 14 DAYS, NO P.C. IS ALLOWED. NOT TO SCALE.
- FOR RESIDENTIAL STREETS ONLY**
- COMB. CONCRETE CURB AND GUTTER (SPECIAL)
P.C.C. INTEGRAL CURB AND GUTTER (SPECIAL)



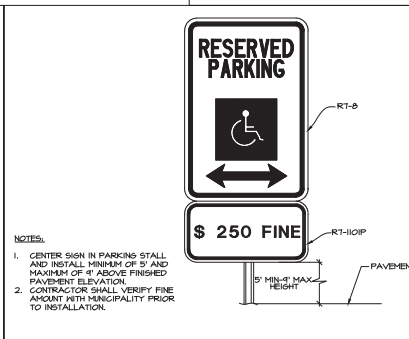
- NOTES:**
1. UNLESS OTHERWISE NOTED ON PLANS, CONTRACTION JOINTS TO BE AT 15'-0" O.C.
 2. EXPANSION JOINTS TO BE 50'-0" O.C. MAX. OR AT BACK OF CURB, CHANGE OF DIRECTION, OTHER NEAR UTILITY APERTURES, OR FACE OF STRUCTURE.
 3. PORTLAND CEMENT CONCRETE SHALL CONFORM TO 100% CLASS III MIN. 3,000 PSI (4.1 MAX W/C) AT 14 DAYS, WITH 1% TO 1.5% AIR ENTRAINMENT, AND 4.1 MAX ALLOWED.

CONCRETE WALK JOINT DETAILS
NOT TO SCALE



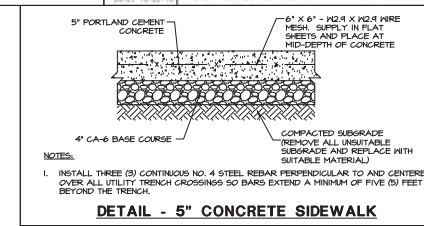
- NOTES:**
1. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.

DETAIL - ACCESSIBLE SYMBOL
NOT TO SCALE



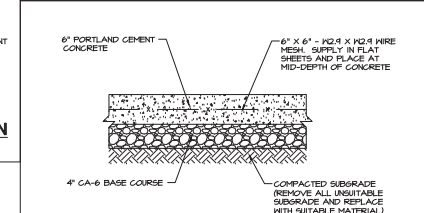
- NOTES:**
1. CENTER SIGN IN PARKING STALL AND INSTALL MINIMUM OF 5' AND MAXIMUM OF 6' ABOVE FINISHED PAVEMENT ELEVATION.
 2. CONTRACTOR SHALL VERIFY FINE AMOUNT WITH JURISDICTIONALITY PRIOR TO INSTALLATION.

DETAIL - ACCESSIBLE PARKING SIGN
NOT TO SCALE



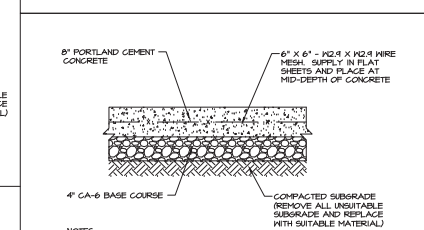
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 5" CONCRETE SIDEWALK



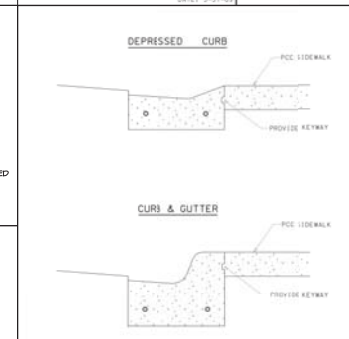
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 6" CONCRETE PAVEMENT
NOT TO SCALE



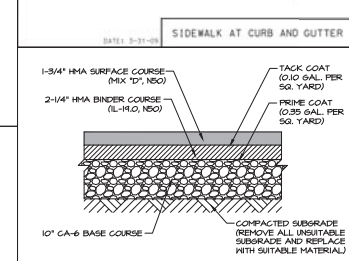
- NOTES:**
1. INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - 8" CONCRETE PAVEMENT
NOT TO SCALE

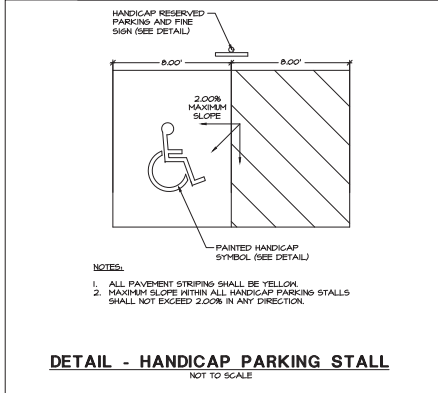


- NOTES:**
1. SEE TYPICAL DETAIL FOR CURB AND GUTTER FOR CURB DIMENSIONS AND SPECIFICATIONS.

DETAIL - CURB AND GUTTER
NOT TO SCALE

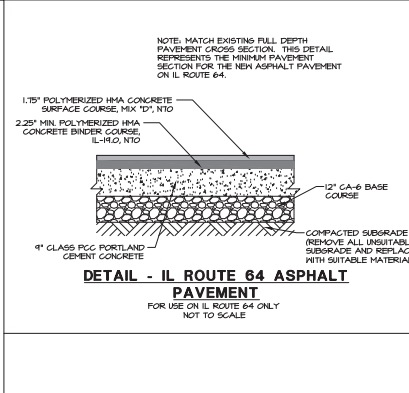


DETAIL - ASPHALT PAVEMENT
NOT TO SCALE

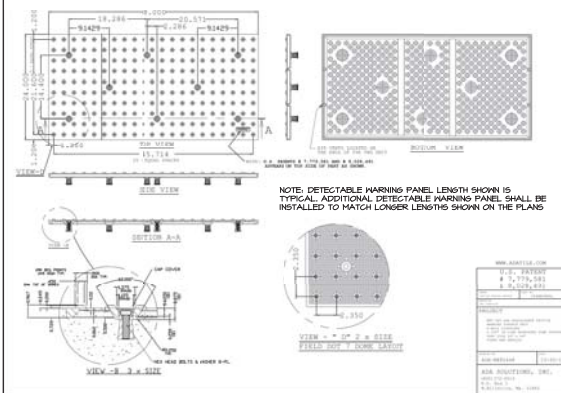
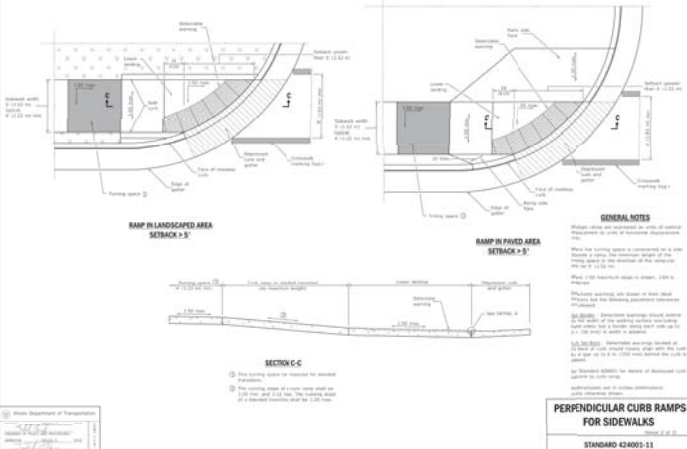
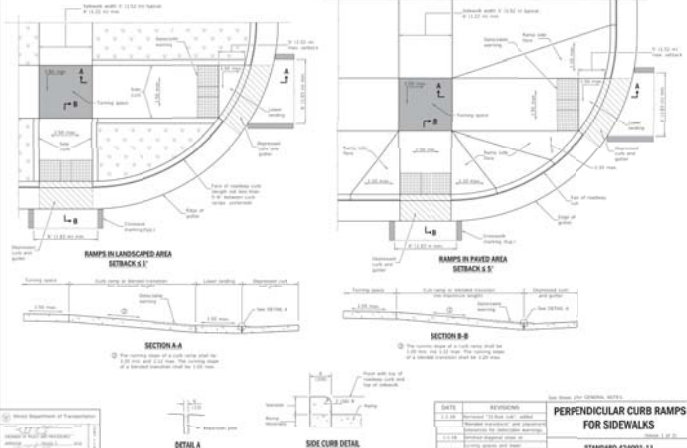
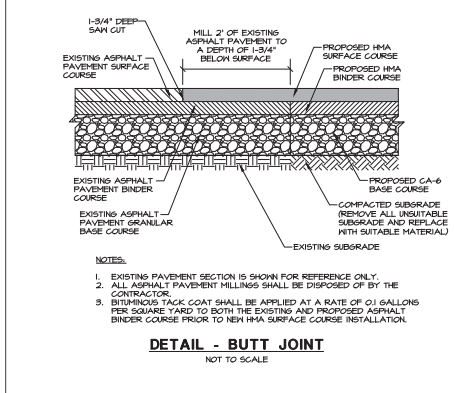
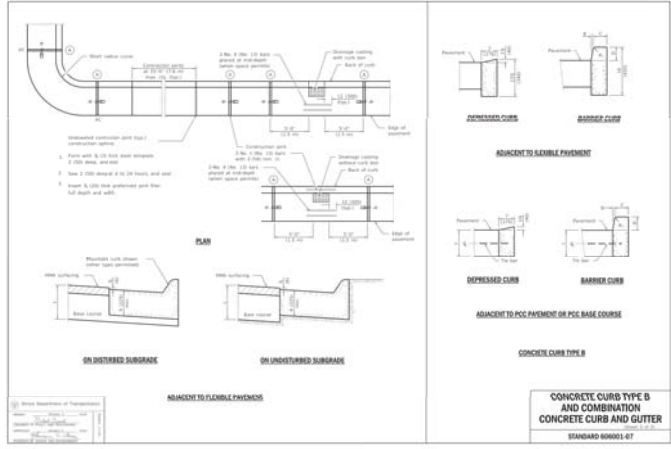
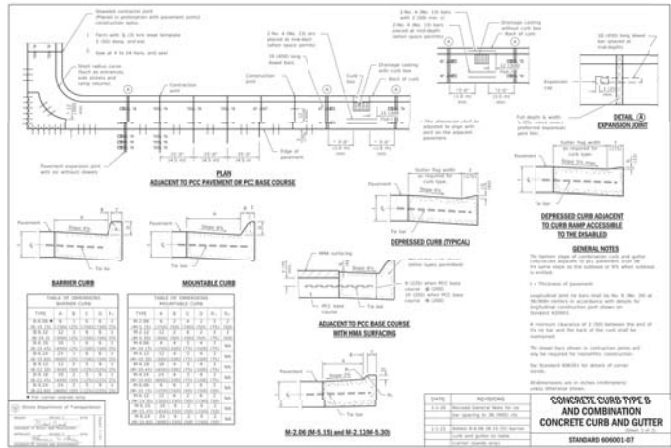


- NOTES:**
1. ALL PAVEMENT STRIPING SHALL BE YELLOW.
 2. MAXIMUM SLOPE WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

DETAIL - HANDICAP PARKING STALL
NOT TO SCALE



DETAIL - IL ROUTE 64 ASPHALT PAVEMENT
FOR USE ON IL ROUTE 64 ONLY
NOT TO SCALE



POST MOUNTED SIGNS

When work operations exceed flow depth, this dimension shall be 5 (7.5) m. If installed beyond other devices, the height shall be sufficient to be seen unobscured by devices.

SIGNS ON TEMPORARY SUPPORTS

When work operations exceed flow depth, this dimension shall be 5 (7.5) m. If installed beyond other devices, the height shall be sufficient to be seen unobscured by devices.

HIGH LEVEL WARNING DEVICE

18x18 (450x450) Orange flag

TRAFFIC CONTROL DEVICES

Sheet 2 of 2
STANDARD 701901-08

Illinois Department of Transportation

DAYTIME USE

COLES

DAY OR NIGHTTIME USE

TUBULAR MARKER

VERTICAL PANEL

DRUM

TYPE I BARRICADE

TYPE II BARRICADE

TYPE III BARRICADE

DIRECTION INDICATOR BARRICADE

VERTICAL BARRICADE

DETECTABLE PEDESTRIAN CHANNELIZING BARRICADE

GENERAL NOTES

All heights shown shall be measured above the pavement surface.

All dimensions are to center (indicated) unless otherwise shown.

TRAFFIC CONTROL DEVICES

Sheet 2 of 2
STANDARD 701901-08

Illinois Department of Transportation

DETAIL - PIPE OPENING IN RETAINING WALL

NOTE: DETAIL IS FOR REFERENCE ONLY. CONTRACTOR SHALL FOLLOW WALL MANUFACTURER'S GUIDELINES FOR OPENINGS.

WALL W/ PIPE PENETRATION

WALL W/ PIPE PENETRATION

SECTION SCALE: NONE

PROFILE SCALE: NONE

Illinois Department of Transportation

ARROW BOARDS

TEMPORARY RUMBLE STRIPS

TYPICAL APPLICATIONS OF TYPE III BARRICADES CLOSING A ROAD

TRAFFIC CONTROL DEVICES

Sheet 2 of 2
STANDARD 701901-08

Illinois Department of Transportation

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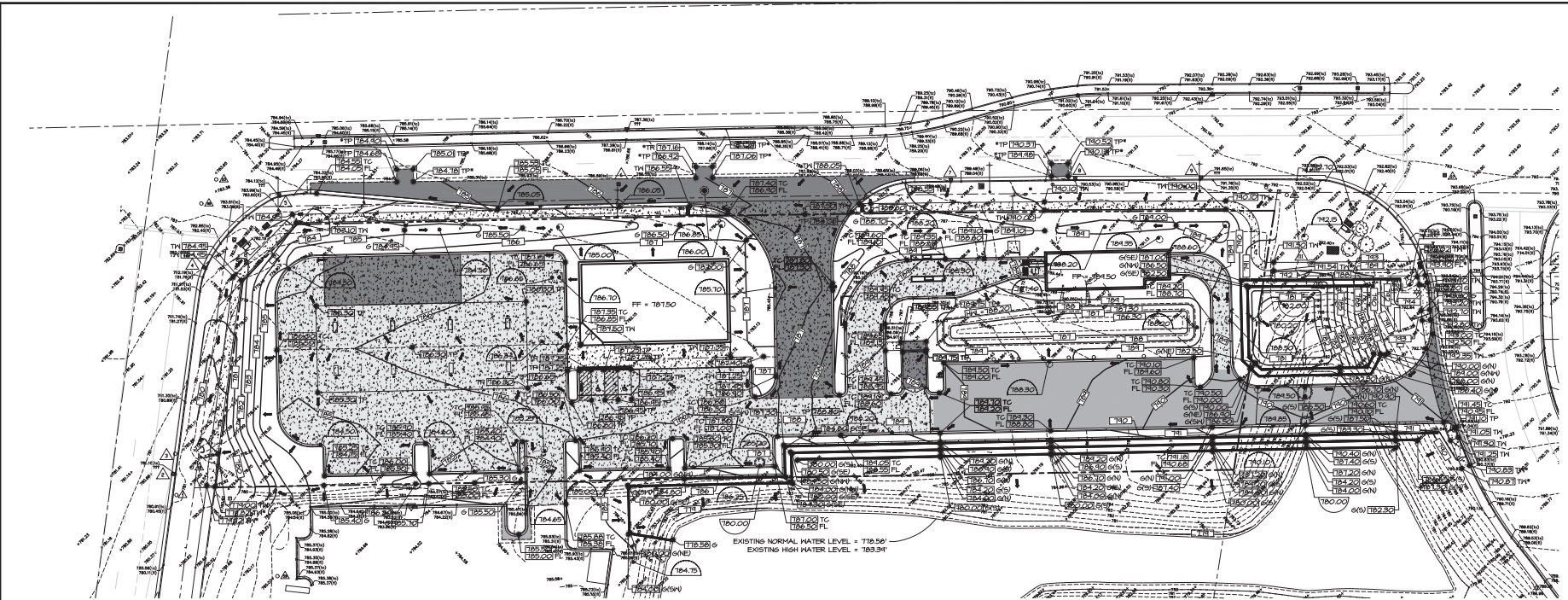
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CHECK/TO
DRAWN/TEP
JOB:19108/03C

C-3.3
SITE DEVELOPMENT
DETAILS



EXISTING NORMAL WATER LEVEL = 778.56'
 EXISTING HIGH WATER LEVEL = 783.24'

EXISTING UTILITY DATA

<p>RM-781.66' (SANITARY) 48" CONCRETE STRUCTURE INV-771.53' (CONCREOM N/S) INV-772.50' (12" RCP N/E) INV-781.00' (12" RCP W) INV-783.33' (8" DP N/E) TOP OF WATER-777.26'</p> <p>RM-780.60' (STORM) 24" CONCRETE STRUCTURE INV-777.53' (8" DP S/S) INV-777.55' (12" RCP N/E)</p> <p>RM-780.77' (STORM) 48" CONCRETE STRUCTURE INV-777.25' (8" PVC N/E) INV-777.25' (10" RCP N/E) INV-777.37' (12" RCP S/E) INV-777.21' (12" RCP S/E) INV-777.08' (8" DP S)</p> <p>RM-781.85' (STORM) 24" CONCRETE STRUCTURE INV-778.05' (12" RCP S/E)</p> <p>RM-783.66' (STORM) 48" CONCRETE STRUCTURE INV-778.96' (12" RCP N/E) INV-778.33' (15" RCP S/W)</p> <p>RM-780.01' (STORM) 48" CONCRETE STRUCTURE INV-782.83' (15" RCP E/W) INV-782.81' (8" DP N/E) INV-785.03' (8" DP N/E)</p> <p>RM-780.03' (STORM) 48" CONCRETE STRUCTURE INV-782.79' (15" RCP W) INV-782.83' (15" RCP S) INV-783.83' (15" RCP E) INV-784.37' (8" DP N/E)</p>	<p>RM-791.23' (STORM) 48" CONCRETE STRUCTURE INV-781.46' (12" RCP N/E) INV-781.45' (8" DP N/E) INV-781.00' (15" RCP W) INV-783.33' (8" DP N/E) TOP OF WATER-777.26'</p> <p>RM-781.28' (SANITARY) 48" CONCRETE STRUCTURE INV-781.90' (8" CLAY E) INV-781.53' (12" RCP N/E)</p> <p>RM-792.25' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE-785.88' (12" DP E/W) INV-777.25' (10" RCP N/E) INV-777.37' (12" RCP S/E) INV-777.21' (12" RCP S/E) INV-777.08' (8" DP S)</p> <p>RM-783.64' (STORM) 48" CONCRETE STRUCTURE INV-780.33' (12" RCP N/E/S)</p> <p>RM-783.70' (STORM) 48" CONCRETE STRUCTURE INV-778.16' (24" RCP E) INV-778.05' (24" RCP N/W)</p> <p>RM-780.87' (SANITARY) 48" CONCRETE STRUCTURE INV-781.47' (8" PVC L/W) INV-780.87' (STORM) 48" CONCRETE STRUCTURE INV-779.96' (15" RCP E)</p> <p>RM-780.11' (STORM) 48" CONCRETE STRUCTURE INV-779.96' (15" RCP E)</p> <p>RM-780.03' (STORM) 48" CONCRETE STRUCTURE INV-782.83' (15" RCP E/W) INV-782.81' (8" DP N/E) INV-785.03' (8" DP N/E)</p> <p>RM-781.57' (STORM) 48" CONCRETE STRUCTURE INV-782.74' (12" RCP S/W)</p> <p>RM-782.75' (STORM) 48" CONCRETE STRUCTURE INV-782.75' (12" RCP W)</p>	<p>RM-783.61' (STORM) 48" CONCRETE STRUCTURE INV-775.02' (8" DP S/W/D/E)</p> <p>RM-780.46' (STORM) 48" CONCRETE STRUCTURE INV-778.61' (12" RCP N/E) INV-780.81' (12" RCP S/W)</p> <p>RM-779.04' (STORM) 48" CONCRETE STRUCTURE INV-780.46' (12" RCP N/E)</p> <p>RM-779.28' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE-784.67' (E/W) UNABLE TO MEASURE PPE STRUCTURE FILLED WITH WATER</p> <p>RM-783.70' (STORM) 48" CONCRETE STRUCTURE INV-778.16' (24" RCP E) INV-778.05' (24" RCP N/W)</p> <p>RM-780.87' (SANITARY) 48" CONCRETE STRUCTURE INV-781.47' (8" PVC L/W) INV-780.87' (STORM) 48" CONCRETE STRUCTURE INV-779.96' (15" RCP E)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-781.47' (8" PVC L/W) INV-780.87' (STORM) 48" CONCRETE STRUCTURE INV-779.96' (15" RCP E)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-781.47' (8" PVC L/W) INV-780.87' (STORM) 48" CONCRETE STRUCTURE INV-779.96' (15" RCP E)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-781.47' (8" PVC L/W) INV-780.87' (STORM) 48" CONCRETE STRUCTURE INV-779.96' (15" RCP E)</p> <p>RM-780.87' (STORM) 48" CONCRETE STRUCTURE INV-781.47' (8" PVC L/W) INV-780.87' (STORM) 48" CONCRETE STRUCTURE INV-779.96' (15" RCP E)</p>	<p>RM-783.18' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE-777.36' (12" DP N/S) NO LINES FOUND</p> <p>RM-783.57' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE-778.39' (8" DP N/S)</p> <p>RM-785.23' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE-778.39' (8" DP N/S)</p> <p>RM-785.28' (WATER) 48" CONCRETE STRUCTURE TOP OF PPE-778.39' (8" DP N/S)</p> <p>RM-783.91' (SANITARY) 48" CONCRETE STRUCTURE INV-774.71' (8" PVC E/S)</p> <p>RM-780.04' (STORM) 48" CONCRETE STRUCTURE INV-780.84' (12" RCP N/E/S)</p> <p>RM (NORTH)-784.90' (STORM) 24" CONCRETE STRUCTURE INV-777.09' (12" RCP S/W) INV-777.09' (12" RCP S/W) INV-782.91' TOP OF SPILLWAY WALL</p>
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HATCH LEGEND

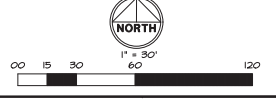
	NEW ASPHALT PAVEMENT
	NEW IL ROUTE 64 ASPHALT PAVEMENT
	NEW 5' CONCRETE SIDEWALK
	NEW 6' CONCRETE PAVEMENT
	NEW 8' CONCRETE PAVEMENT

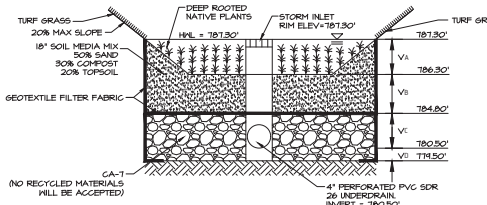
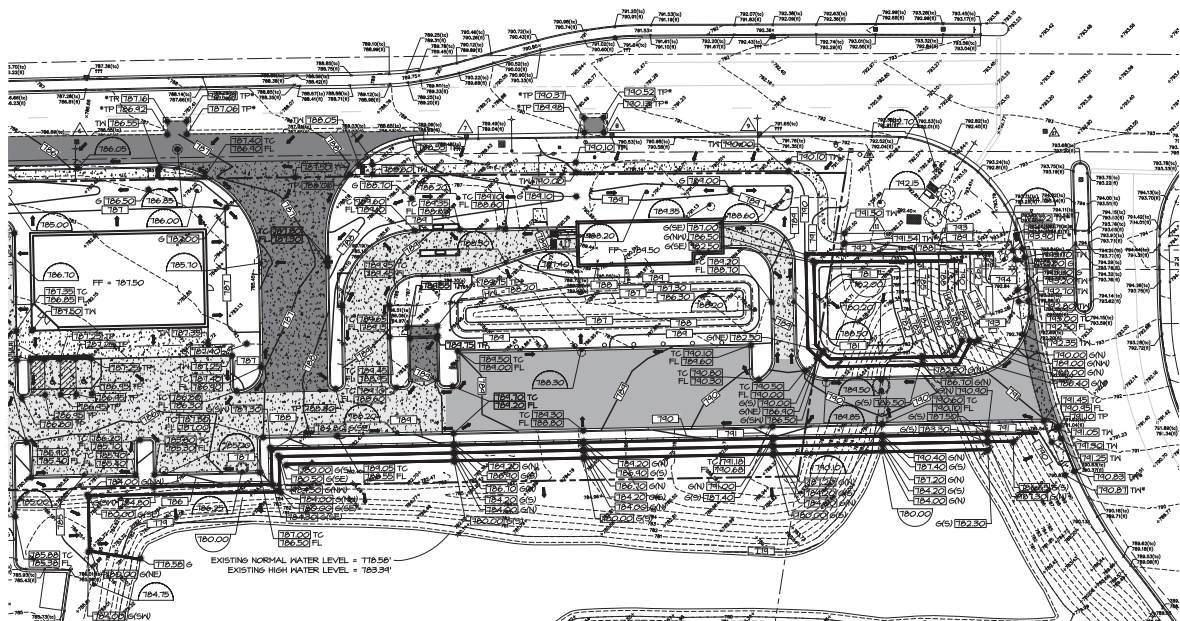
GRADING LEGEND

	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	INTERPOLATED SPOT GRADE
	PROPOSED RIM ELEVATION
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	OVERLAND FLOOD ARROW
	100 YEAR OVERLAND FLOOD ROUTE
	EMERGENCY EVACUATION ARROW
	TOP OF PAVEMENT ELEVATION
	TOP OF SIDEWALK ELEVATION
	FINISHED GRADE ELEVATION
	FINISHED FLOOR ELEVATION
	TOP OF CURB ELEVATION
	FLOOR LINE ELEVATION
	ADJUST EXISTING RIM ELEVATION
	EXISTING CLOSED MANHOLE
	EXISTING OPEN GRATE MANHOLE
	EXISTING GURB INLET
	EXISTING FIRE HYDRANT
	EXISTING VALVE VAULT
	EXISTING B-BOX
	EXISTING TELCO PEDESTAL
	EXISTING UTILITY POLE W/ 6/11 WIRE
	PROPOSED FIRE HYDRANT
	PROPOSED VALVE WITH VAULT
	PROPOSED B-BOX
	PROPOSED INLET
	PROPOSED OPEN LID MANHOLE / CATCH BASIN
	PROPOSED CLOSED LID MANHOLE
	PROPOSED RESTRICTOR STRUCTURE
	PROPOSED NYLOPLAST DRAIN BASIN
	PROPOSED FLARED END SECTION
	PROPOSED GREASE TRAP

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 09-12-18. PREPARED BY THE WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTOUR AND ALL UTILITIES WHETHER DEPICTED OR NOT PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES).
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE. THE TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS AND ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- C. CONTRACTOR SHALL CONTACT JULLIE (81) OR 1-800-892-0283 AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY EXCAVATION AND/OR ELEVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSATISFACTORY MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OTHER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, PARKWAYS, DRIVEWAYS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE ROUTES SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- I. VOIDS LEFT BY ANY TREES REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- J. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- K. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO ADJACENT THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- L. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- M. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- N. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFP-662 AND/OR LFP-663 FORMS AS PART OF THEIR CONTRACT.
- O. PREPARE SUBGRADE AS SPECIFIED IN THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER.
- P. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED MONTH DAY, YEAR PREPARED BY GEOTECHNICAL ENGINEER FOR EXISTING TOPSOIL DEPTHS.





VOLUME TYPE	POROSITY	MEDIA VOLUME	STORAGE VOLUME	VOLUME PROVIDED
SURFACE STORAGE	1.00	VA = 1489 C.F.	1.00 X VA	1489 C.F.
SOIL MEDIA MIX	0.25	VB = 3162 C.F.	0.5 X 0.25 X VB	395 C.F.
COARSE AGG. (ABOVE INVERT)	0.36	VC = 6034 C.F.	0.5 X 0.36 X VC	1026 C.F.
COARSE AGG. (BELOW INVERT)	0.36	VD = 2101 C.F.	0.36 X VD	756 C.F.
			WEST RAIN GARDEN TOTAL	4899 C.F.

INFILTRATION VOLUME REQUIRED = 1.416 AC. X 0.75' = 0.0895 ACRE - FEET
 INFILTRATION VOLUME PROVIDED = 0.098 AC-FT X 0.0895 AC-FT

WEST POND INFILTRATION VOLUME
 NOT TO SCALE

EXISTING POND - DETENTION STORAGE VOLUME ADDED			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	8,235 SQ. FT.		
783.75	8,505 SQ. FT.	1,674 CU. FT.	48,440 CU. FT. OR 1,1120 AC-FT
783.50	8,832 SQ. FT.	2,167 CU. FT.	46,766 CU. FT. OR 1,0736 AC-FT
783.39 HWL	8,974 SQ. FT.	979 CU. FT.	44,599 CU. FT. OR 1,0238 AC-FT
783.20	9,220 SQ. FT.	1,728 CU. FT.	43,619 CU. FT. OR 1,0014 AC-FT
783.00	9,220 SQ. FT.	2,726 CU. FT.	41,891 CU. FT. OR 0,9617 AC-FT
782.91 WEIR	9,582 SQ. FT.	9,172 CU. FT.	39,165 CU. FT. OR 0,8991 AC-FT
782.00	10,576 SQ. FT.	11,116 CU. FT.	29,993 CU. FT. OR 0,6885 AC-FT
781.00	11,855 SQ. FT.	12,234 CU. FT.	18,877 CU. FT. OR 0,4334 AC-FT
780.00	12,812 SQ. FT.	6,574 CU. FT.	6,644 CU. FT. OR 0,1525 AC-FT
779.00	335 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT
778.58	0 SQ. FT.	70 CU. FT.	70 CU. FT. OR 0,0016 AC-FT

TOTAL POND V_{783.39} = 43,619 CU. FT.
 OR 1,001 AC-FT

EXISTING POND - DETENTION STORAGE VOLUME LOST			
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME
783.95	3,231 SQ. FT.		
783.75	3,137 SQ. FT.	637 CU. FT.	11,630 CU. FT. OR 0,2670 AC-FT
783.50	3,022 SQ. FT.	770 CU. FT.	10,993 CU. FT. OR 0,2524 AC-FT
783.39 HWL	2,972 SQ. FT.	330 CU. FT.	10,223 CU. FT. OR 0,2347 AC-FT
783.20	2,887 SQ. FT.	557 CU. FT.	9,893 CU. FT. OR 0,2271 AC-FT
782.91 WEIR	2,761 SQ. FT.	819 CU. FT.	9,336 CU. FT. OR 0,2143 AC-FT
782.00	2,400 SQ. FT.	2,348 CU. FT.	8,518 CU. FT. OR 0,1955 AC-FT
781.00	2,020 SQ. FT.	2,210 CU. FT.	6,169 CU. FT. OR 0,1416 AC-FT
780.00	1,712 SQ. FT.	1,866 CU. FT.	3,959 CU. FT. OR 0,0909 AC-FT
779.00	1,375 SQ. FT.	1,544 CU. FT.	2,093 CU. FT. OR 0,0481 AC-FT
778.58	1,243 SQ. FT.	550 CU. FT.	550 CU. FT. OR 0,0126 AC-FT

TOTAL POND V_{783.39} = 9,893 CU. FT.
 OR 0,227 AC-FT

PROPOSED DETENTION POND VOLUME - EAST POND				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL	4,231 SQ. FT.	842 CU. FT.	20,626 CU. FT. OR	0,4735 AC-FT
788.00	4,191 SQ. FT.	4,085 CU. FT.	19,784 CU. FT. OR	0,4542 AC-FT
787.00	3,978 SQ. FT.	3,490 CU. FT.	15,699 CU. FT. OR	0,3604 AC-FT
786.00	3,002 SQ. FT.	2,904 CU. FT.	12,209 CU. FT. OR	0,2803 AC-FT
785.00	2,805 SQ. FT.	2,707 CU. FT.	9,306 CU. FT. OR	0,2136 AC-FT
784.00	2,608 SQ. FT.	2,509 CU. FT.	6,599 CU. FT. OR	0,1515 AC-FT
783.00	2,410 SQ. FT.	2,166 CU. FT.	4,090 CU. FT. OR	0,0939 AC-FT
782.00	1,921 SQ. FT.	1,590 CU. FT.	1,925 CU. FT. OR	0,0442 AC-FT
781.00	1,258 SQ. FT.	335 CU. FT.	335 CU. FT. OR	0,0077 AC-FT
780.20	0 SQ. FT.			

TOTAL POND V_{788.20} = 20,626 CU. FT.
 OR 0,474 AC-FT

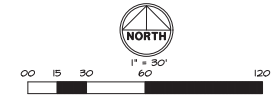
PROPOSED DETENTION POND VOLUME - WEST POND				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL	3,403 SQ. FT.	663 CU. FT.	2,527 CU. FT. OR	0,0580 AC-FT
788.00	3,226 SQ. FT.	1,864 CU. FT.	1,864 CU. FT. OR	0,0428 AC-FT
787.30 OUTLET ELEV.	2,101 SQ. FT.	1,493 CU. FT.	1,493 CU. FT. OR	0,0343 AC-FT
786.30	885 SQ. FT.			

TOTAL POND V_{788.20} = 2,527 CU. FT.
 OR 0,058 AC-FT

PROPOSED DETENTION POND VOLUME - WEST & EAST PONDS				
ELEVATION	AREA	INCR. STORAGE VOLUME	CUMULATIVE STORAGE VOLUME	
788.20 HWL			23,154 CU. FT. OR	0,5315 AC-FT
788.00			21,648 CU. FT. OR	0,4970 AC-FT
787.00			17,192 CU. FT. OR	0,3947 AC-FT
786.00			12,209 CU. FT. OR	0,2803 AC-FT
785.00			9,306 CU. FT. OR	0,2136 AC-FT
784.00			6,599 CU. FT. OR	0,1515 AC-FT
783.00			4,090 CU. FT. OR	0,0939 AC-FT
782.00			1,925 CU. FT. OR	0,0442 AC-FT
781.00			335 CU. FT. OR	0,0077 AC-FT
780.20				

TOTAL POND V_{788.20} = 23,154 CU. FT.
 OR 0,532 AC-FT

VOLUME REQUIRED = 1,200 ACRE - FEET
 VOLUME ADDED EXISTING POND = 1,001 ACRE - FEET
 VOLUME LOST EXISTING POND = 0,227 ACRE - FEET
 VOLUME PROVIDED NEW PONDS = 0,532 ACRE - FEET
 VOLUME PROVIDED = 1,306 ACRE - FEET



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 WARRENVILLE, IL 60555

THE PRIDE OF KANE COUNTY
 330W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

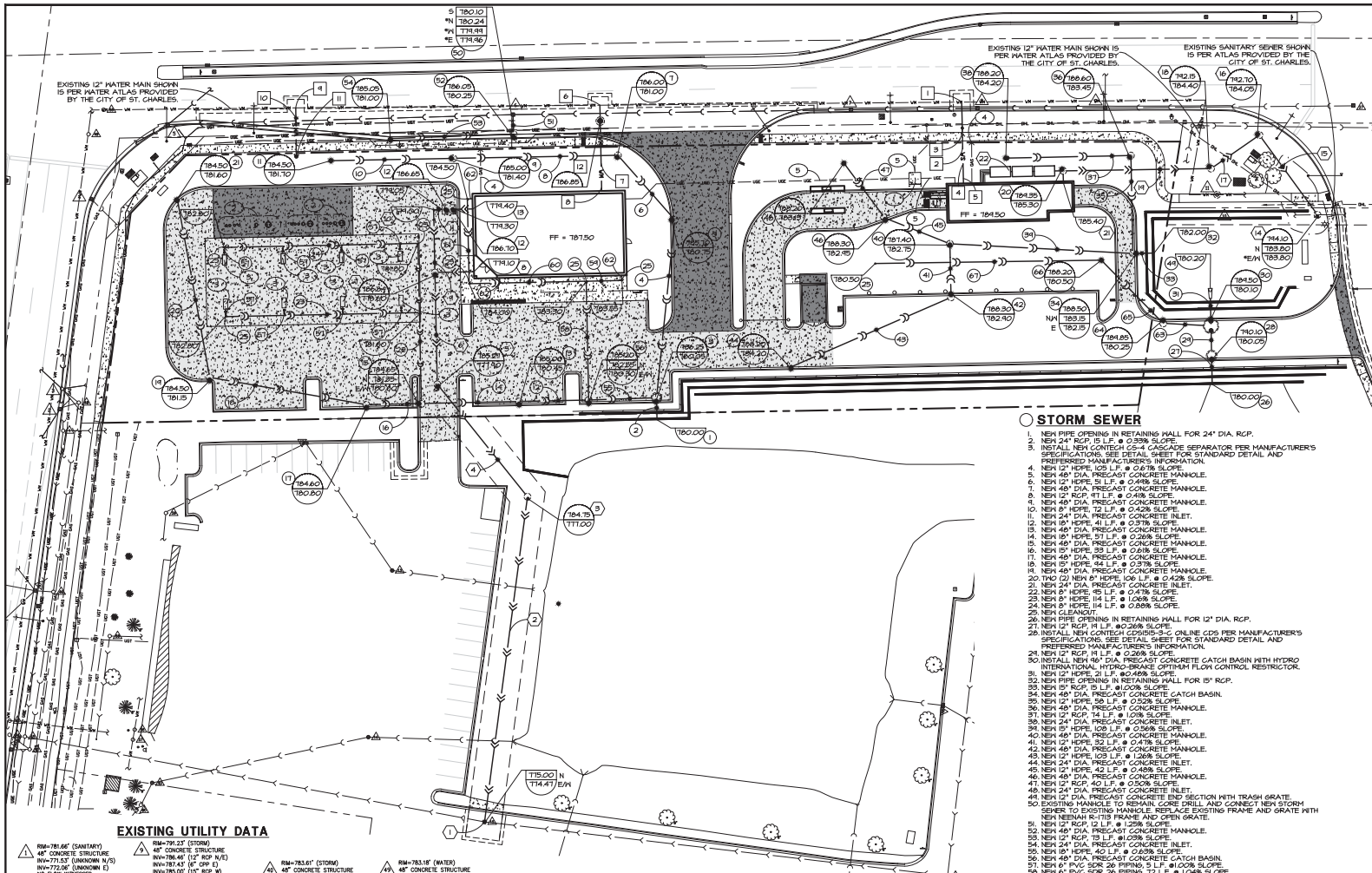
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/13/20
REV. SITE	2/13/20
REV. SITE	6/9/20

CHECK/DO
 DRAWN/TEP
 JOB:1910803C

C-4.1
 SITE GRADING PLAN



SITE UTILITY NOTES:

- A. CONTRACTOR SHALL CONTACT ILLINOIS (BI) OR (H000-842-0229) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY EXCAVATION AND/OR EXCAVATION EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE INDICATED BY THE CITY OF ST. CHARLES.
- B. CONTRACTOR TO NOTIFY CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN ANY DAMAGE TO EXISTING UTILITIES NOT NOTICED TO BE REMOVED SHALL BE KEPT AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- C. CONTRACTOR SHALL EXCAVATE IN FIELD TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- D. REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS EXCEPTED TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL VERIFY IN FIELD TO EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- G. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN CONFORMANCE WITH LOCAL AND STATE CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- H. ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CLASS IV (20' MIN) WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-445 AND SECTION 31-1.03 OF THE "STANDARD SPECIFICATIONS".
- I. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 18" OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- J. ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
- K. CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- L. CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
- M. ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.
- N. ALL EXISTING UTILITIES TO BE ABANDONED IN-PLACE SHALL BE CARRIED WITH 12" LONG AND 1/2" THICK CONCRETE PORTLAND PLUGS AT BOTH ENDS.
- O. ALL NEW STORM SEWERS WITHIN DOT RIGHT-OF-WAY TO BE PUBLIC. ALL OTHER NEW STORM SEWERS TO BE PRIVATE.
- P. ALL NEW SANITARY SEWERS WITHIN DOT RIGHT-OF-WAY TO BE PUBLIC. ALL OTHER SANITARY SEWERS TO BE PRIVATE.
- Q. ALL STORM SEWERS AND INLETS HAVE BEEN DESIGNED TO PASS THE 100-YEAR STORM EVENT.

STORM SEWER

1. NEW PIPE OPENING IN RETAINING WALL FOR 24" DIA. RCP.
2. NEW 24" RCP, 15 L.F. @ 0.26% SLOPE.
3. INSTALL NEW CAST-IRON MANHOLE SEPARATOR PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL SHEET FOR STANDARD DETAIL AND REFERENCED MANUFACTURER'S INFORMATION.
4. NEW 12" HOPE, 105 L.F. @ 0.26% SLOPE.
5. NEW 48" DIA. PRECAST CONCRETE MANHOLE.
6. NEW 12" HOPE, 51 L.F. @ 0.48% SLOPE.
7. NEW 48" DIA. PRECAST CONCRETE MANHOLE.
8. NEW 12" RCP, 41 L.F. @ 0.48% SLOPE.
9. NEW 48" DIA. PRECAST CONCRETE MANHOLE.
10. NEW 8" DIA. PRECAST CONCRETE INLET.
11. NEW 48" DIA. PRECAST CONCRETE MANHOLE.
12. NEW 8" DIA. PRECAST CONCRETE INLET.
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96. NEW 8" DIA. PRECAST CONCRETE INLET.
97. NEW 48" DIA. PRECAST CONCRETE MANHOLE.
98. NEW 8" DIA. PRECAST CONCRETE INLET.
99. NEW 48" DIA. PRECAST CONCRETE MANHOLE.
100. NEW 8" DIA. PRECAST CONCRETE INLET.

EXISTING UTILITY DATA

RM-781.66 (SANITARY) 48" CONCRETE STRUCTURE INV=771.53 (UNKNOWN N/S) NO FLOW WINDICED TOP OF MANHOLE=777.28 (12' RCP SE)	RM-792.25 (STORM) 48" CONCRETE STRUCTURE INV=784.45 (12' RCP N/S) NO FLOW WINDICED TOP OF MANHOLE=777.28 (12' RCP SE)	RM-783.07 (SANITARY) 48" CONCRETE STRUCTURE INV=773.87 (12' RCP E) NO FLOW WINDICED TOP OF MANHOLE=777.28 (12' RCP SE)	RM-792.25 (WATER) 48" CONCRETE STRUCTURE TOP OF PIPE=785.85 (12' DP E/W) NO FLOW WINDICED TOP OF MANHOLE=777.28 (12' RCP SE)	RM-783.07 (SANITARY) 48" CONCRETE STRUCTURE INV=773.87 (12' RCP E) NO FLOW WINDICED TOP OF MANHOLE=777.28 (12' RCP SE)	RM-792.25 (STORM) 48" CONCRETE STRUCTURE INV=784.45 (12' RCP N/S) NO FLOW WINDICED TOP OF MANHOLE=777.28 (12' RCP SE)
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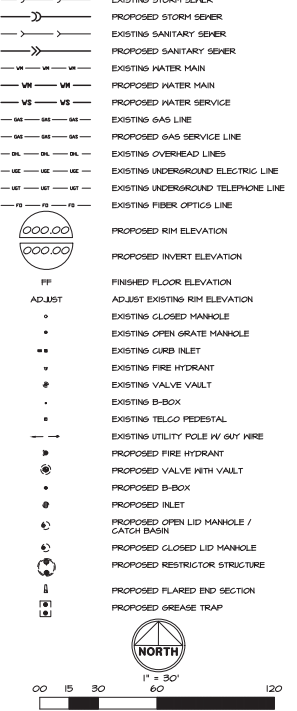
WATER:

1. CONNECT NEW 2" WATER SERVICE TO EXISTING 12" WATER MAIN. METHOD OF CONNECTION SHALL BE BY CUT-IN TEE.
2. NEW 2" COPPER WATER SERVICE LINE, 26' L.F.
3. NEW WATER SERVICE TO BE EXTENDED INTO NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS AND CONTINUATION)
4. CONNECT NEW 6" WATER SERVICE TO EXISTING 12" WATER MAIN. METHOD OF CONNECTION SHALL BE BY CUT-IN TEE.
5. NEW WATER SERVICE TO BE EXTENDED INTO NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS AND CONTINUATION)
6. CONNECT NEW 6" WATER SERVICE TO EXISTING 12" WATER MAIN. METHOD OF CONNECTION SHALL BE BY CUT-IN TEE.
7. NEW 6" CLASS 50 D.I.P. WATER SERVICE WITH FITTINGS, 5' L.F.
8. NEW WATER SERVICE TO BE EXTENDED INTO NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS AND CONTINUATION)
9. CONNECT NEW 6" WATER SERVICE TO EXISTING 12" WATER MAIN. METHOD OF CONNECTION SHALL BE BY CUT-IN TEE.
10. NEW 6" CLASS 50 D.I.P. WATER LINE WITH FITTINGS, 24' L.F.
11. NEW FIRE HYDRANT.
12. NEW 48" DIA. PRECAST CONCRETE VALVE VAULT.

MISCELLANEOUS NOTES

1. NEW TRANSFORMER PAD. COORDINATE WITH LOCAL UTILITY PROVIDER FOR LOCATION AND UNDERGROUND SERVICE LOCATION.
2. NEW FUEL TANKS. (SEE ARCHITECTURAL PLANS FOR DETAILS AND PRODUCT PIPING)
3. NEW FUEL DISPENSER. (SEE ARCHITECTURAL PLANS FOR MORE INFORMATION)
4. CONTRACTOR SHALL LOCATE GAS MAIN AND COORDINATE NEW GAS HOUPUP WITH GAS COMPANY.
5. NEW ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE INSTALLATION WITH ELECTRIC COMPANY.

UTILITY LEGEND



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 WARRENVILLE, IL 60057
 (630) 261-1111
 WWW.WTGROUP.COM

WT Group
 Engineering & Design Consulting

THE PRIDE OF KANE COUNTY
 330573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

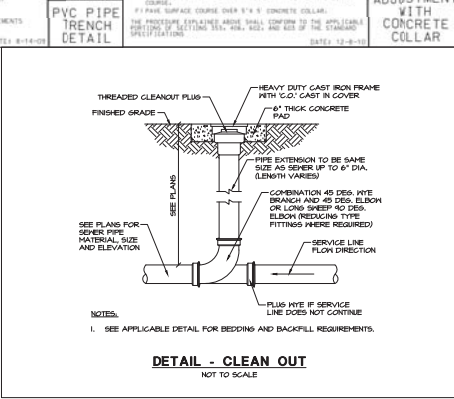
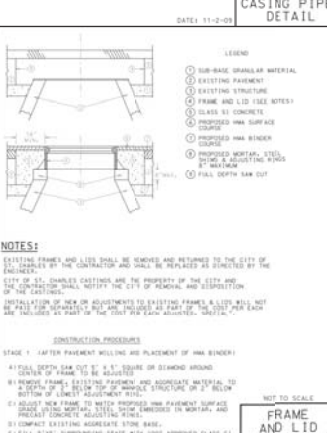
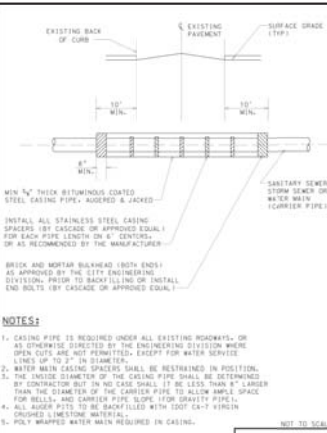
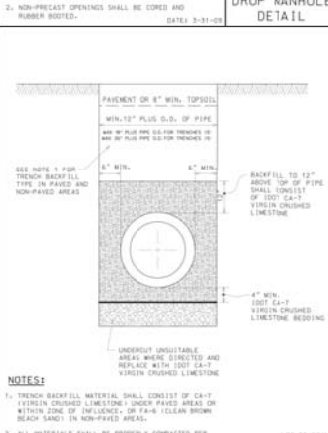
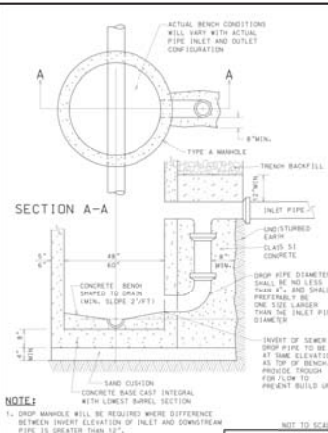
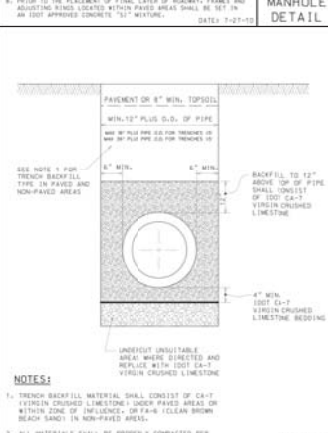
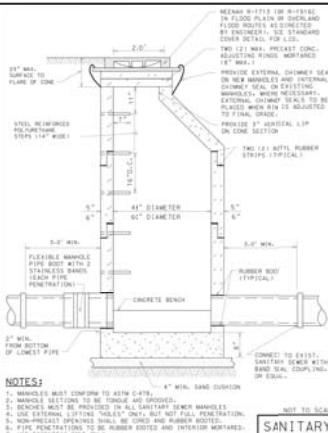
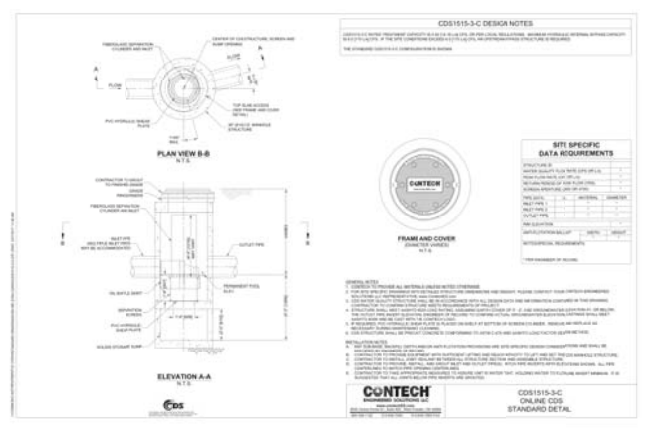
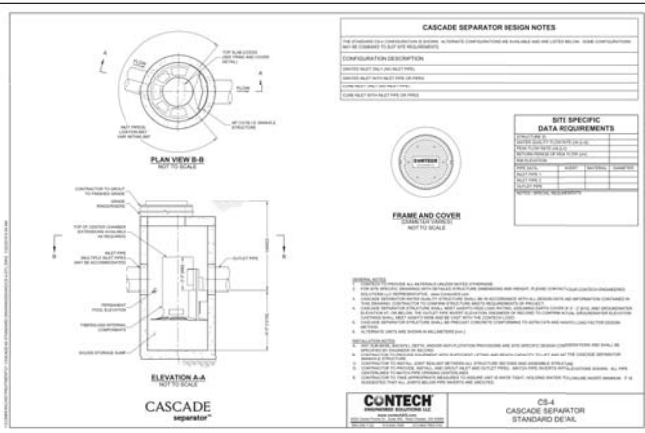
CIMA DEVELOPERS
 300180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60055

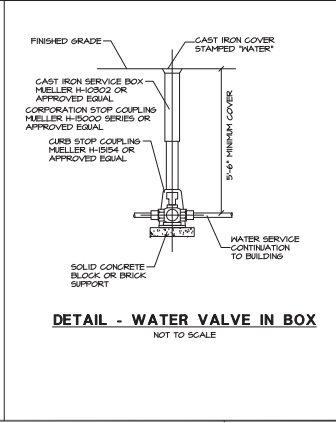
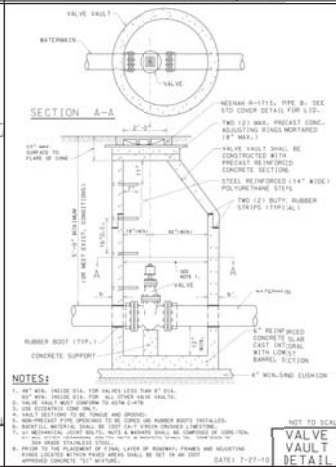
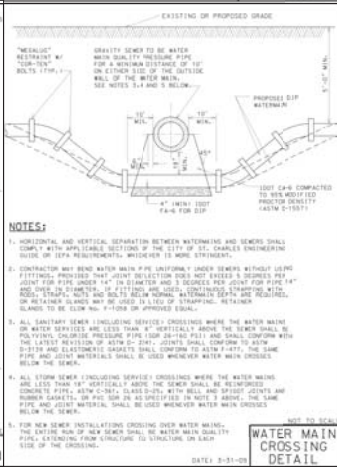
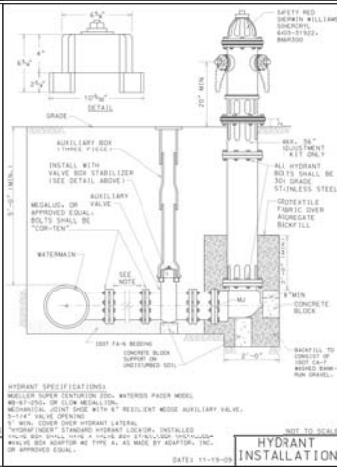
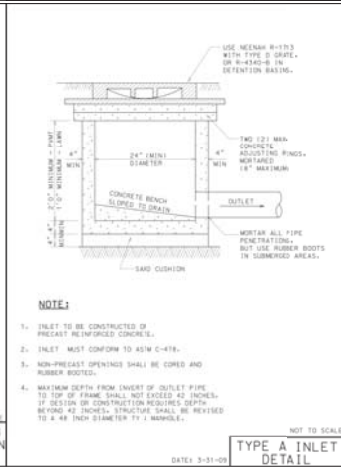
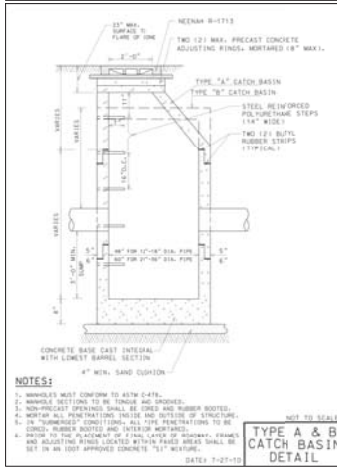
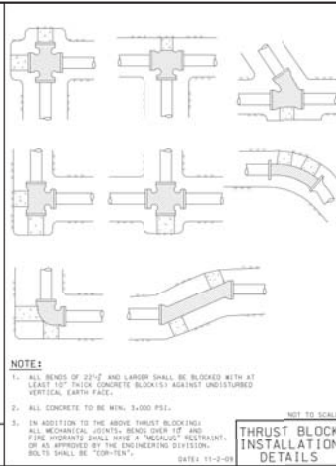
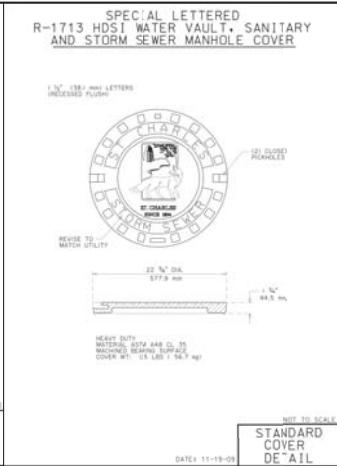
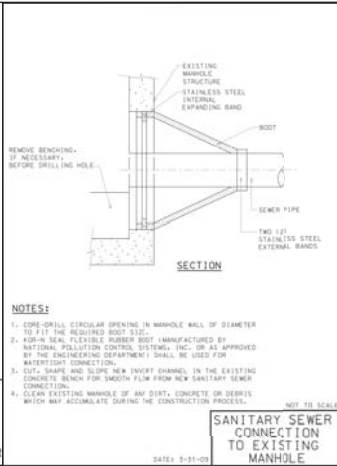
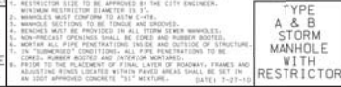
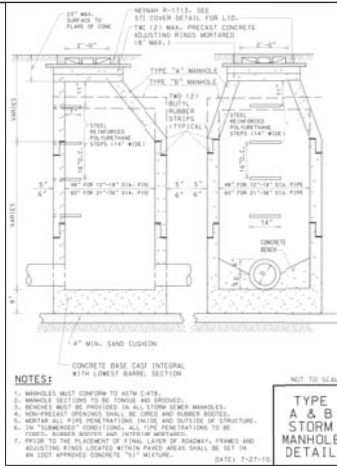
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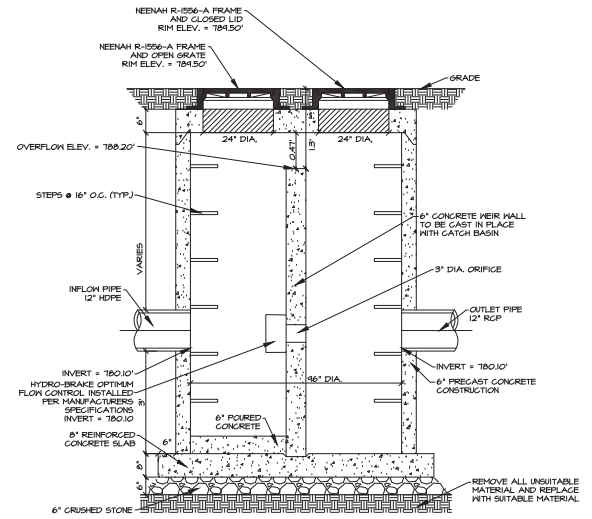
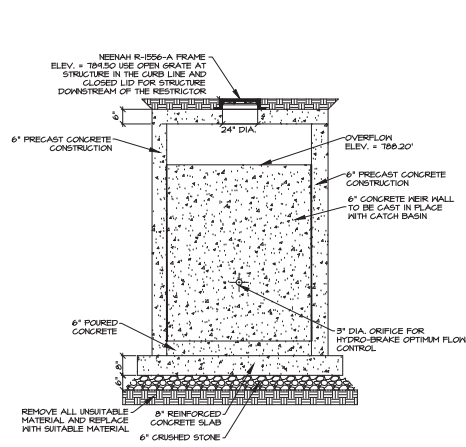
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REV. SITE	11/30/20
REV. SITE	2/4/20
REV. SITE	2/19/20
REV. SITE	6/30/20

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 JOB:1910803C

C-5.0
 SITE UTILITY PLAN







DETAIL - 96" CATCH BASIN #30 WITH RESTRICTOR

Technical Specification			
Control Point	Head (ft)		Flow (cfs)
Primary Design	5.100	0.096	<ul style="list-style-type: none"> • 8.118 gpm 30" stainless steel • Integral stainless steel weir plate • 3" stainless steel line of sight through to outlet for accurate flow monitoring • Best tested design to maximize capacity • Manufactured in USA • Rust free galvalume steel
Flash-Flow*	3.800	0.061	
Kick-Flow*	1.850	0.049	
Mass Flow		0.070	

Hydro-Brake Optimum Flow Control

SECTION A-A **SECTION B-B**

IMPORTANT: Check for correct installation details. The correct area is provided to meet flow conditions. All flow rates are based on 1.5 ft head and maximum capacity. Always refer to the Hydro-Brake Optimum Flow Control manual for details.

DESIGN: The headflow characteristics of the BPE-0063-2710-2469-2710 Hydro-Brake Optimum Flow Control are unique. Customized headflow including includes the full headflow characteristics curve.

ADVICE: The use of an outlet flow control will inevitably vary design based on this data.

THIS DESIGN LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE.

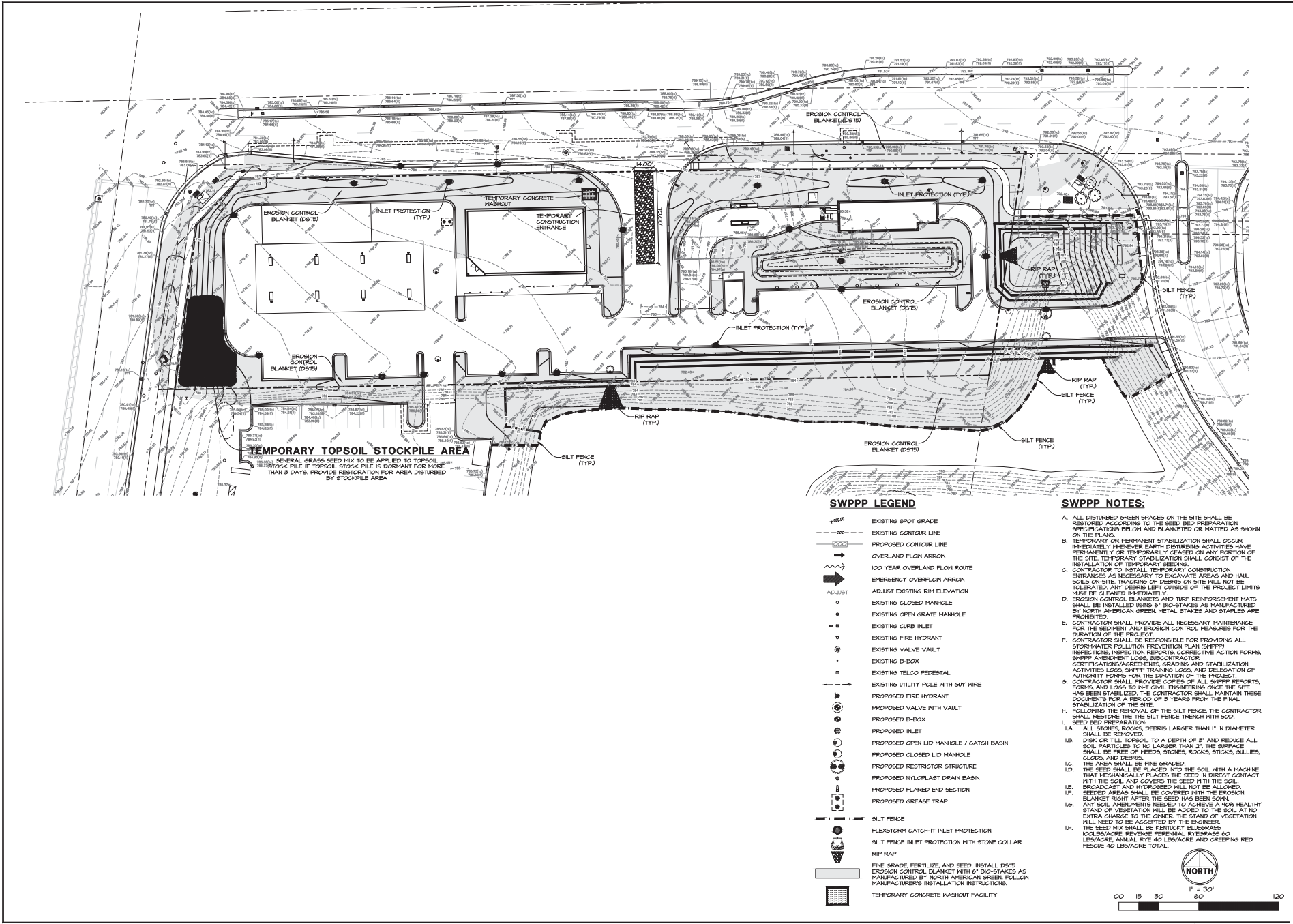
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SITE: Pride of Kane County
PROJECT: Main Pipe
REF: New Pond

Hydro International
 SHE-0063-2710-2469-2710
 Hydro-Brake Optimum
 hydro@hydrointernational.com

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
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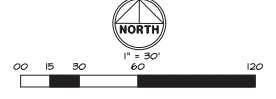
TEMPORARY TOPSOIL STOCKPILE AREA
 GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 30 DAYS. PROVIDE RESTORATION FOR AREA DISTURBED BY STOCKPILE AREA

SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- EXISTING TELCO PEDESTAL
- EXISTING UTILITY POLE WITH GUY WIRE
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE VAULT
- PROPOSED B-BOX
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLON LAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- PROPOSED GREASE TRAP
- SILT FENCE
- FLEXSTORM CATCH-INLET PROTECTION
- SILT FENCE INLET PROTECTION WITH STONE COLLAR
- RIP RAP
- FINE GRADE, FERTILIZE AND SEED. INSTALL DISTS EROSION CONTROL BLANKET WITH 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY

SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO ELEVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIG-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CIVIL ENGINEERING ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOIL.
- I. ALL STORED ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
- IA. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF NEEDS, STONES, ROCKS, STICKS, GULLIES, CLOS, AND DEBRIS.
- IB. THE AREA SHALL BE FINE GRADED.
- IC. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
- ID. BROADCAST AND HYDROPOSED WILL NOT BE ALLOWED.
- IE. SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
- IF. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 40% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
- IG. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 10 LBS/ACRE, REVERSE PERENNIAL RYEGRASS 40 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE, AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



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THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
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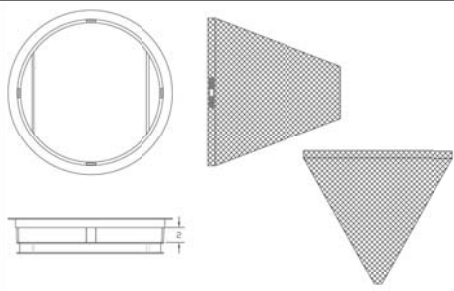
CIMA DEVELOPERS
 300180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

ISSUE
 TO: DATE
 REV. SITE 8/19/19
 REV. SITE 8/26/19
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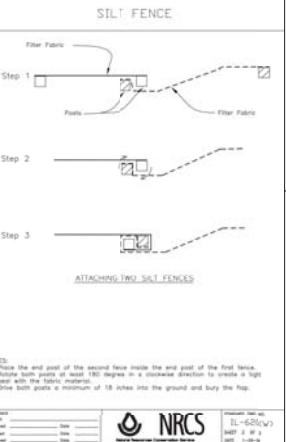
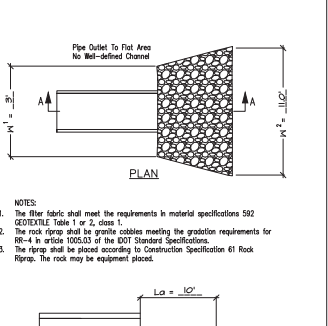
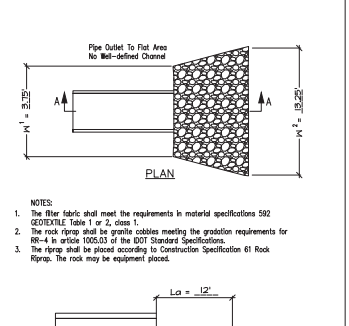
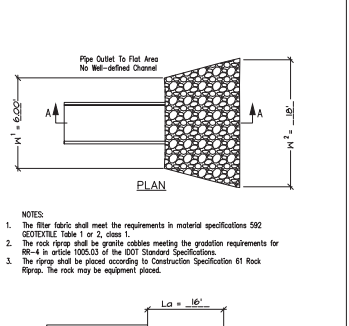
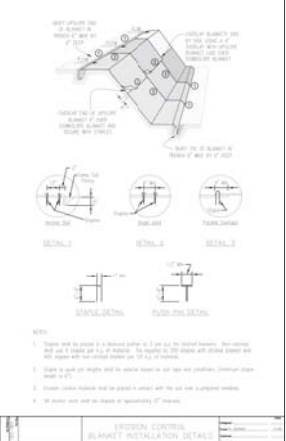
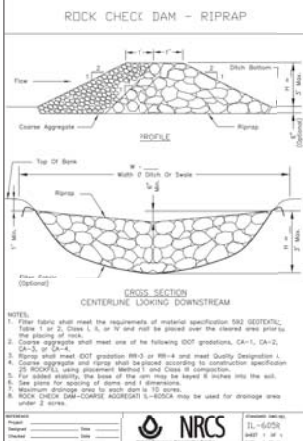
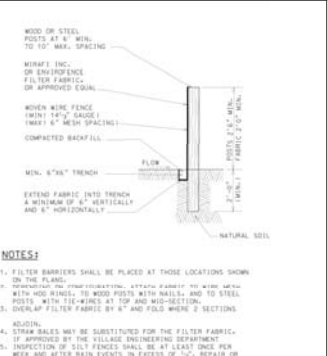
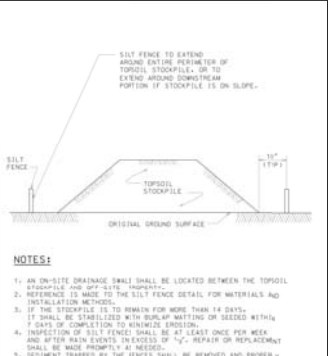
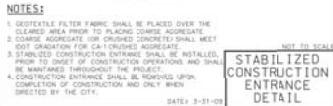
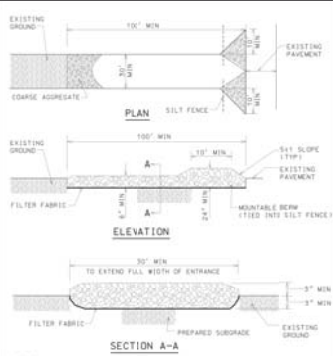
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 STORMWATER
 POLLUTION PREVENTION
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Typical Round Catch-All
 Marathon Materials, Inc.



GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING:
 - ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION.
 - 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN URBANS' LATEST EDITION.
 - 'ILLINOIS URBAN MANUAL,' LATEST EDITION.
 - BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES.
 - UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, 'SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.'
 - ILLINOIS DRAINAGE LAW.
 - ILLINOIS ENVIRONMENTAL BARRIERS ACT.
 - ILLINOIS ACCESSIBILITY CODE.
 - ILLINOIS ENVIRONMENTAL PROTECTION AGENCY REQUIREMENTS.
 - TITLE 35 OF THE ILLINOIS ADMINISTRATIVE CODE.
- ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S) SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHEETING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE AND TO THE SATISFACTION OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNAGE AND TRAFFIC CONTROL DEVICES TO FORM AND PROTECT THE WORK AREA.
- CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERS OR PUBLIC WORKS DEPARTMENT AND/OR OTHER GOVERNING AUTHORITY(S) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON EACH MAJOR CATEGORY OF WORK, INCLUDING BUT NOT LIMITED TO, ANY EXISTING UTILITIES, PARKING LOTS, SIDEWALKS OR UTILITY INSTALLATIONS. 12 HOUR NOTICE SHALL BE GIVEN FOR ANY WORK ITEM THAT REQUIRES INSPECTION AND TESTING, SUCH AS SANITARY SEWER OR WATER MAIN INSTALLATION.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. THE CONTRACTOR SHALL CALL THE JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS (JULIE) AT 1-800-323-2023 OR BY DIALING 811. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND MARKERS INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
- ALL EXISTING OR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE CONTRACTOR TO PROVIDE PROTECTION. COPIES OF THESE PLANS SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED IN CONFLICT WITH THE LOCATION OF THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
- ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNERS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
- ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN ATTENDED TO OTHERWISE TIED BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
- THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED THROUGH CONSTRUCTION OPERATIONS ABOUT PUBLIC THROUGH-PASSES AND ADJACENT PROPERTY.
- ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITIONS OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS LOCATED ON THE PLANS.
- NO BURNING OR INCINERATION OF RUBBISH SHALL BE PERMITTED ON SITE.
- PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 18 (EIGHTEEN) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
- ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THREE (3) ORIGINAL COPIES OF ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:
 - ASPHALT PAVEMENT MIX DESIGN
 - CONCRETE MIX DESIGN
 - GRANULAR MATERIAL GRADATION
 - PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VALVS, ETC.)
 - WATER MAIN MATERIALS (VALVES, FIRE HYDRANTS, ETC.)
- AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AN AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM THEREIN: A PARTIAL COPY OF THE FOLLOWING ITEMS:
 - TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
 - HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDING OR OTHER PERMANENT SITE FEATURES.
 - RIN AND INVERT AND/OR INVERT ELEVATION FOR ALL PROPOSED UTILITIES.
 - AS-BUILT AND/OR RECORD DRAWINGS INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION, ANY AND ALL LOCATION AND/OR ELEVATION INFORMATION SHALL BE PROVIDED FOR ALL MODIFICATIONS TO EXISTING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

SITE GRADING AND PAVING

- ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES IN THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EXISTING NON-CONFORMING GRADING AND OTHER SOLLS RELATED OPERATIONS TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS,' ALL UNSUITABLE OR EXISTING MATERIALS SHALL BE REMOVED FROM THE OFF-SITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
- EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING, UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-Spread AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
- THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL APPENDIX THEREIN ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EXISTING OR BUILDING PADS, BY A SOILS ENGINEER OR HIS REPRESENTATIVE. FINISHED CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
- ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND RE-PLACEMENT AND OTHER SOLLS RELATED OPERATIONS SHALL BE THE ENTIRE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
- THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING TRENCH WHICH ARE NOT INDICATED TO BE REMOVED. IF DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
- REMOVED DRIVEWAY PAVEMENT, SIDEWALKS, CURBS, TRENCHES AND STUMPS SHALL BE REPAIRED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S SPECIFICATIONS.
- ON AND OFF SITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF SHALL BE REPAIRED IN ACCORDANCE WITH 'BEST STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS' AND
- PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC.) SECTION OR TOPSOIL AS INDICATED ON THE PLANS.
- CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADING PLANS.
- ALL EXISTING AND PROPOSED TOP OF FINISH ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- ALL CONCRETE POURED SHALL BE:
 - MINIMUM COMPRESSIVE STRENGTH:
 - 3500 P.S.I. AT 28 DAYS PER 10.7.1
 - 4500 P.S.I. AT 28 DAYS PER A.C.J.
 - MAX WATER-CEMENTIOUS MATERIALS RATIO, 0.44 (AIR-ENTRAINED)
 - AIR CONTENT, 6% +/- 1.5% AT POINT OF DELIVERY FOR EXPOSED CONCRETE
- WHEN FIBER MESH REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF FIBERGLASS FIBER MESH OR PROPOSED DRAGON STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
- THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE POONDING OF STORM WATER, ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPERE THE SURFACE DRAINAGE SYSTEM.
- TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET READ, APPLICABLE OR OTHERWISE INDICATED ON THE PLANS. THIS SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.

WATER MAINS AND SEWERS

HORIZONTAL SEPARATION REQUIREMENTS

- WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
- WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
 - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND
 - THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; AND
 - THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
- WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED AS A MINIMUM OF FOUR (4) INCHES THICK DOUBLE RING CAST IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO THE MAIN STANDARD OF CONSTRUCTION WITH A MINIMUM OF 150 PSI WORKING PRESSURE TESTED FOR THE MAXIMUM EXPECTED SURCHARGE HEAD PRIOR TO BACKFILLING.

SANITARY SEWERS

- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN URBANS' LATEST EDITION AND ALL SUBSEQUENT REVISIONS THEREOF ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
- ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3322, UNLESS OTHERWISE NOTED.
- WHERE SANITARY SEWER PIPE IS NOTED AS PVC C-400, THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATERWORKS ASSOCIATION (AWWA) STANDARDS C-400 WITH HATERIGHT, PRESSURE RATED JOINTS CONFORMING TO ASTM D-3194.
- SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLES AND/or CONNECTION POINTS INDICATED ON THE PLANS.
 - A WATERTIGHT PLUS SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.
 - ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND HANGINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
 - ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE, MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING DOT GRADATION CA-11 OR CA-15.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1587, OVER ALL SANITARY SEWERS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
 - THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ALL SEWERS BY MEANS OF MEASUREMENTS TO LOT CORNERS OR OTHER PERMANENT SITE FEATURE AND SHALL FURNISH A COPY OF THE RECORD TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS INFORMATION SHALL BE USED TO CORRECT ANY ERRORS. IF THE CONTRACTOR FAILS TO PROPERLY LOCATE ANY SEWER, HE SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED AS A RESULT OF THE IMPROPERLY LOCATED UTILITIES.
 - ALL SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF DIVISION II, SECTION 52 OF THE 'STANDARD SPECIFICATIONS' AND THE DETAILS IN THE PLANS.
 - A FLEXIBLE TIE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO EXISTING FROM MANHOLES AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THIS FLEXIBLE TIE JOINT SHALL BE A MAXIMUM OF TWO (2) ADJUSTING RINGS AND SHALL BE A SUBSTANTIAL SERRATED FLANGE WHICH IS CAST DIRECTLY INTO THE WALL OF THE MANHOLE BASE TO FORM A WATER-TIGHT SEAL AND PROTRUDES OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/TITING THE MANHOLE. THE TIE JOINT IS TO BE A MINIMUM OF 1/2" OVER THE MANHOLE BASE AND SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP AND SHALL NOT BE USED ON A 24" MANHOLE.
 - ALL REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE SEWER AND MANHOLES.
 - AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY WEIGHTS AND SHALL BE THOROUGHLY VETTERED BEFORE LAYING.
 - WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING NYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
 - CIRCULAR SAG-OUT OF SEWER MAIN BY PROPER TRENCH (SEWER-TAP) MACHINE OR SIMILAR AND PROPER INSTALLATION OF H-B-YE SADDLE OR H-B-YE SADDLE.
- ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER. ALL FOOTING DRAINS AND DOWNSPOUTS SHALL DISCHARGE OUTTO THE GROUND OR INTO THE STORM SEWER SYSTEM AS INDICATED ON THE DRAWINGS.
- UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH DIVISION II, SECTIONS 51 AND 51.03 OF THE 'STANDARD SPECIFICATIONS' AND INTENSIFIED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.

WATER MAINS

- ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN URBANS' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
- ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 IN ACCORDANCE WITH AMERICAN WATERWORKS ASSOCIATION (AWWA) STANDARDS C-151, C-111 AND C-104, UNLESS OTHERWISE NOTED ON THE PLANS. ALL WATER MAIN PIPE SHALL BE LAD WITH A MINIMUM COVER OF FOUR (4) FEET FROM THE PROPOSED FINISH GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE, UNLESS OTHERWISE NOTED ON THE PLANS. NO BERMS ARE ALLOWED OVER WATER MAIN EXCLUSIVELY FOR THE PURPOSE OF OBTAINING NEGATIVE GRADE.
- ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE, MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING DOT GRADATION CA-11, CA-11 OR CA-15.
 - ALL WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE, MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING DOT GRADATION CA-11, CA-11 OR CA-15.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1587, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
 - A WATER TIGHT PLUS SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.
 - UPON COMPLETION OF THE WATER MAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
 - DISINFECTATION AND PRESSURE TESTING IN ACCORDANCE WITH SECTION 41-2.14 OF THE 'STANDARD SPECIFICATIONS' AND INTENSIFIED 9.1.
 - DISINFECTATION IN ACCORDANCE WITH SECTION 41-2.10 OF THE 'STANDARD SPECIFICATIONS' AND INTENSIFIED 9.2. THE WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH SECTION 41-2.14 OF THE 'STANDARD SPECIFICATIONS' AND INTENSIFIED 9.1.

WATER SERVICES AND CONNECTIONS

- ALL WATER SERVICE PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS.'
- ALL WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE 'K' COPPER TUBING CONFORMING TO ASTM B-88-88. NO COUPLERS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOP OR BETWEEN THE CURB STOP AND THE BUILDING.
- ALL WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE AS MANUFACTURED BY THE HELLER COMPANY OR APPROVED EQUAL.
- SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD 'WATER' CAST IN THE TOP.
- ALL VALVES, VALVE BOXES OR VALVS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF DIVISION IV, SECTION 44 OF THE 'STANDARD SPECIFICATIONS.'
- VALVES SHALL BE AMERICAN FLOOD CONTROL SERIES 2500 DUCTILE IRON RESILIENT SEAT EPOXY COATED FLEXION VALVES OR APPROVED EQUAL.
- ALL PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 46 OF THE 'STANDARD SPECIFICATIONS' AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
- ALL VALVES SHALL BE INSTALLED IN VALVE VAULTS HAVING A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE GROUND SECTION. THE VALVS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.
- ALL REQUIRED TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND HANGINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS' AND THE DETAILS IN THE PLANS.
 - ALL REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE SEWER AND MANHOLES.
- THE WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER. THE WATER MAIN SHALL BE MAINTAINED HORIZONTAL AND AT THE SAME ELEVATION AS THE SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET OF THE SEWER SERVICE CONNECTION. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET OF THE SEWER SERVICE CONNECTION. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET OF THE SEWER SERVICE CONNECTION. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET OF THE SEWER SERVICE CONNECTION.
- BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO THE MAIN STANDARD OF CONSTRUCTION WHEN:
 - IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN A ABOVE; OR
 - THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.
- A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. THE SEWER OR DRAIN SHALL BE SUPPORTED TO PREVENT SETTLING AND BREAKING OF THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
- CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.

STORM SEWERS

- ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN URBANS' LATEST EDITION ('STANDARD SPECIFICATIONS'), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- ALL STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE 'STANDARD SPECIFICATIONS' AND INTENSIFIED 9.1.
- ALL RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS V, PER ASTM C-445 AND SECTION 31-102 OF THE 'STANDARD SPECIFICATIONS.' ALL 10" DIAMETER RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS V.
- ALL HDPE STORM SEWER PIPE SHALL BE RIGID HIGH DENSITY POLYETHYLENE PIPE WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR MEETING AWWA M-204, TYPE 5, PIPE SECTIONS SHALL BE JOINED WITH PVC DOUBLE RING COUPLERS INSTALLED ON THE PIPE WITH GRIND SANDWICH GRADATION CA-11 OR CA-15. MATERIAL SHALL EXCEED THAT OF PVC SDR 26 WITH PUSH-ON JOINTS. ALL HDPE STORM SEWER PIPE SHALL ONLY BE FOR PRIVATE USE.
- ALL PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D-3034 WITH HATERIGHT JOINTS CONFORMING TO ASTM D-3322, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION BEDDING AND HANGINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE 'STANDARD SPECIFICATIONS.'
- ALL STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-3034. UNDER THE BARREL OF THE PIPE, MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING DOT GRADATION CA-11, CA-11 OR CA-15.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1587, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER OR WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR DRIVEWAYS.
- ALL REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- ALL FIELD TIE JOINTS ESTABLISHED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE AND MANHOLE. THE REPAIR SHALL BE TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION AND ALL FIELD TIE OR DRAIN FIELD TIE JOINTS SHALL BE SUBMITTED TO THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.

WT GROUP
CIMA DEVELOPERS
THE PRIDE OF KANE COUNTY
33W573 EAST MAIN STREET
SAINT CHARLES, ILLINOIS 60174
30W180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
REV. SITE	6/11/19
REV. SITE	6/26/19
REV. SITE	11/30/20
REV. SITE	2/4/20
REV. SITE	2/10/20
REV. SITE	3/10/20
REV. SITE	6/19/20

CHECKLIST
DRAWN: TEP
JOB: 19109303C

C-7.0
PROJECT SPECIFICATIONS

STORMWATER POLLUTION PREVENTION NOTES

1. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH THE PERMIT, INCIDENT OF NON-COMPLIANCE (I/CN) FORM AND INSPECTION FORMS.
2. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE CITY ENGINEER. CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE PROJECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- 3.1. ILLINOIS QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 3.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTORS WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
5. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.
6. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
8. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION POLLUTION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
9. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASUREMENTS SHALL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
10. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TEMPORARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
11. ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
12. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
13. ALL DISTURBED AREAS SHOULD BE SEEDED OR SOODED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
14. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOE OF DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED IMMEDIATELY.
15. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
16. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A MANNER AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, MASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
17. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSSES IS PROHIBITED.
18. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SHALL, DEWATERING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.
19. ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
20. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - 20.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6:1 SLOPE OR STEEPER AND AS SHOWN ON THE PLANS.
22. ALL DISTURBED GREEN SPACES WITHIN THE R.O.W. SHALL BE RESTORED WITH 6" OF TOPSOIL AND CLASS 2A SEEDING.
23. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SAFTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER. EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEFORE THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT INCLUDE VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
24. ONCE ALL DISTURBED AREAS WITHIN THE R.O.W. SHALL BE RESTORED WITH SEED AND BLANKET OR SOIL AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE FENCE SHALL BE RESTORED WITH TOPSOIL, SEED FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL, AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
25. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

1. OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SHEETS THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTORS.
- 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
6. PERFORM SITE CLEANING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SWALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL, BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
10. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
11. INSTALL DETENTION SYSTEMS, STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
12. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
13. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
14. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
15. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
16. SUBMIT A NOTICE OF TERMINATION (N.O.T.) TO THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY UPON COMPLETION OF ALL SITE CONSTRUCTION AND FINAL SITE STABILIZATION (I.E. OVER 70% VEGETATIVE COVER).



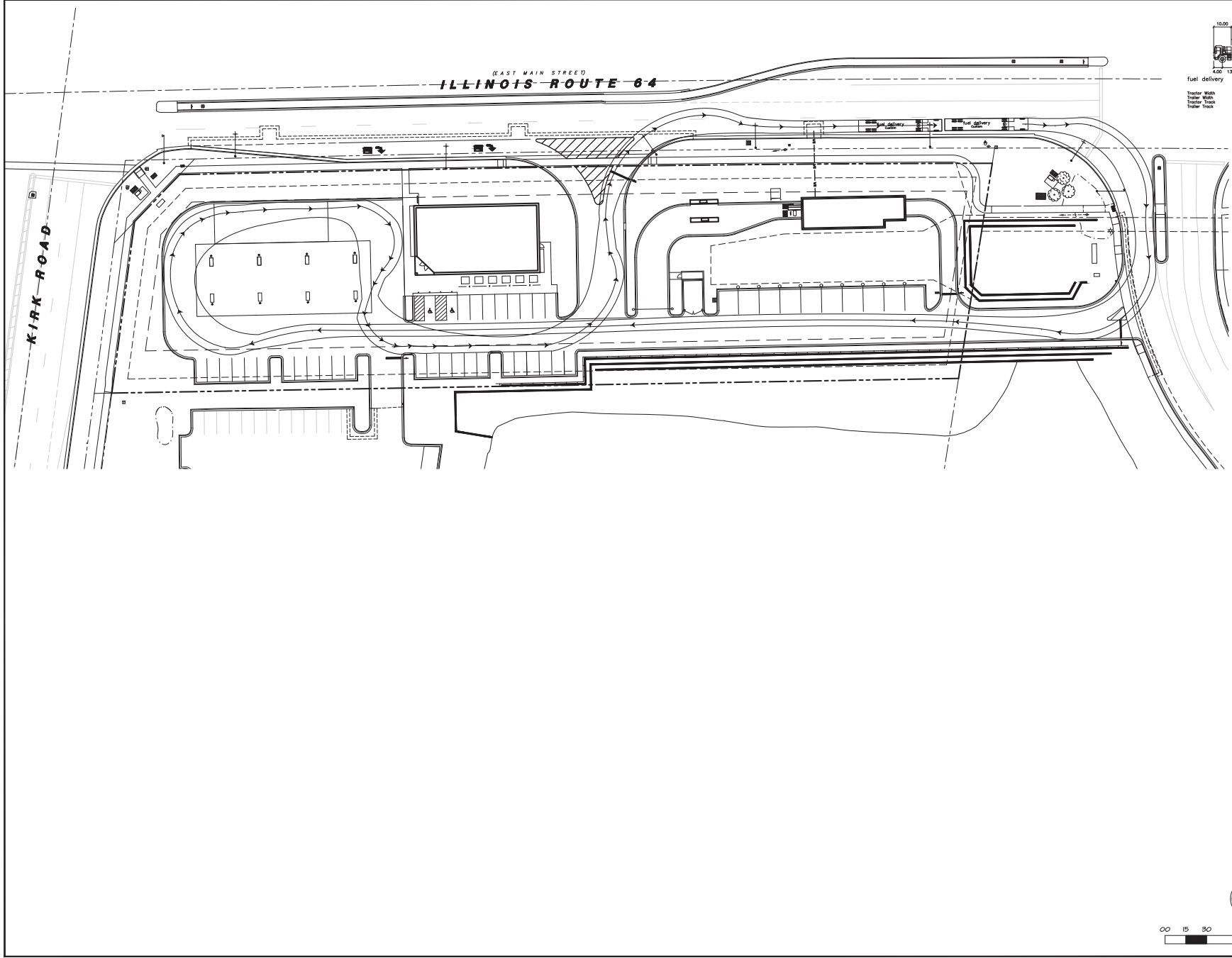
THE PRIDE OF KANE COUNTY
3301/180 BUTTERFIELD ROAD
SAINT CHARLES, ILLINOIS 60174

CIMA DEVELOPERS
3301/180 BUTTERFIELD ROAD
WARRENVILLE, IL 60555

ISSUE

TO	DATE
REV. SITE	8/19/19
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	3/10/20
REV. SITE	6/30/20

CHECK/TO
DRAWN/TEP
JOB:1910803C



	feet
Tractor Width	8.50
Trailer Width	8.50
Tractor Track	1.50
Trailer Track	8.50
Load to Lock Time	1.00
Steering Angle	30.0
Articulating Angle	75.0

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 WWW.WTGROUP.COM

WJ Group
 Engineering & Design Consulting

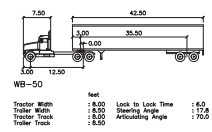
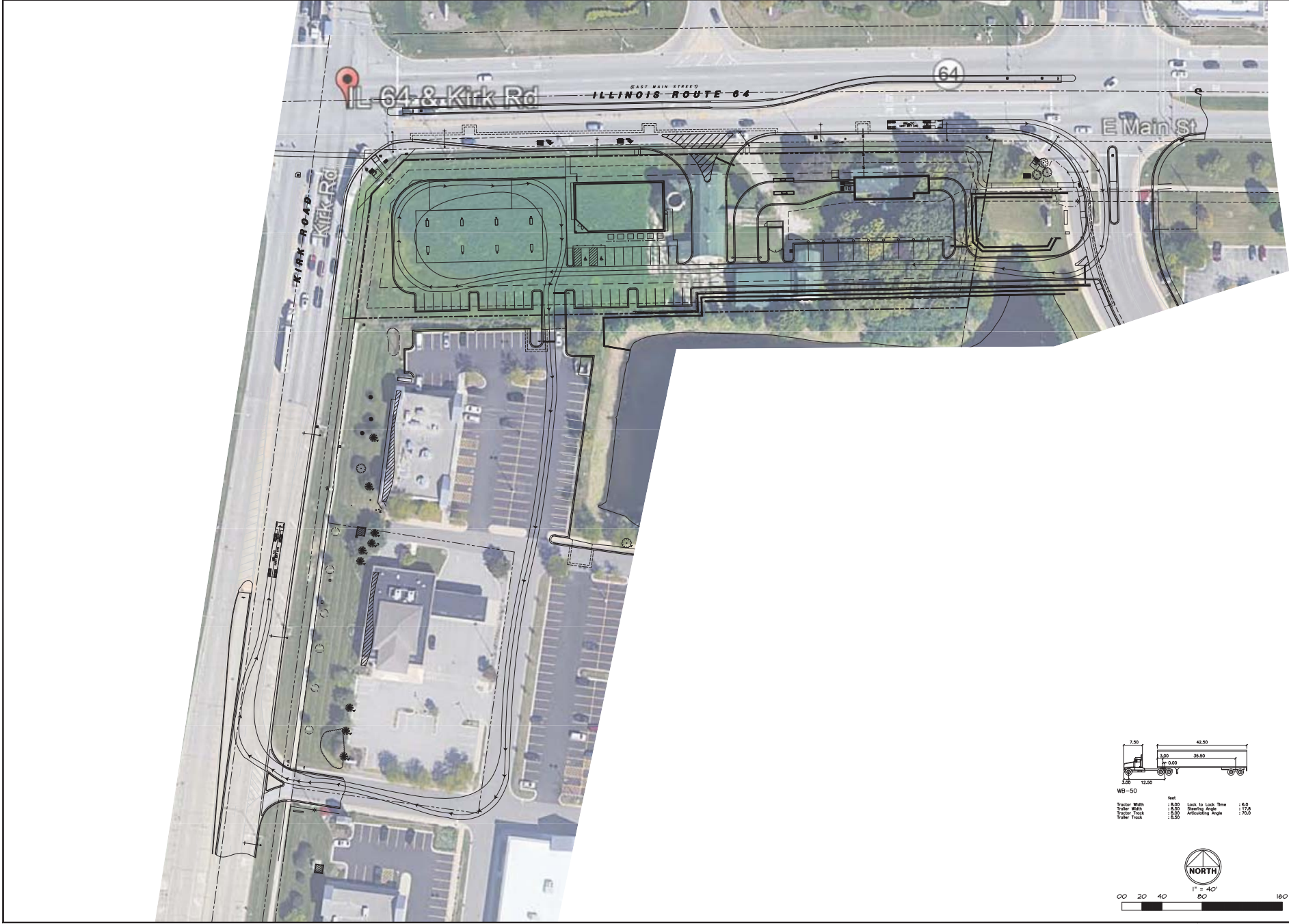
CIMA DEVELOPERS
 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

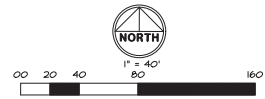
TO	DATE
REV. SITE	8/26/19
REV. SITE	1/13/20
REV. SITE	2/4/20
REV. SITE	2/11/20
REV. SITE	2/18/20
REV. SITE	4/8/20
REV. SITE	6/29/20

CHECKED: TGA
 DRAWN: TEP
 JOB: 1910803C

C-8.0
 TRUCK CIRCULATION PLAN



WB-50		feet	
Tractor Width	8.00	Lock to Lock Time	14.0
Tractor Height	18.00	Steering Angle	17.8
Trailer Width	8.00	Articulating Angle	70.0
Trailer Height	8.00		



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 30W180 BUTTERFIELD ROAD
 WARRENVILLE, IL 60555

THE PRIDE OF KANE COUNTY
 33W573 EAST MAIN STREET
 SAINT CHARLES, ILLINOIS 60174

TO	DATE
REV. SITE	8/26/19
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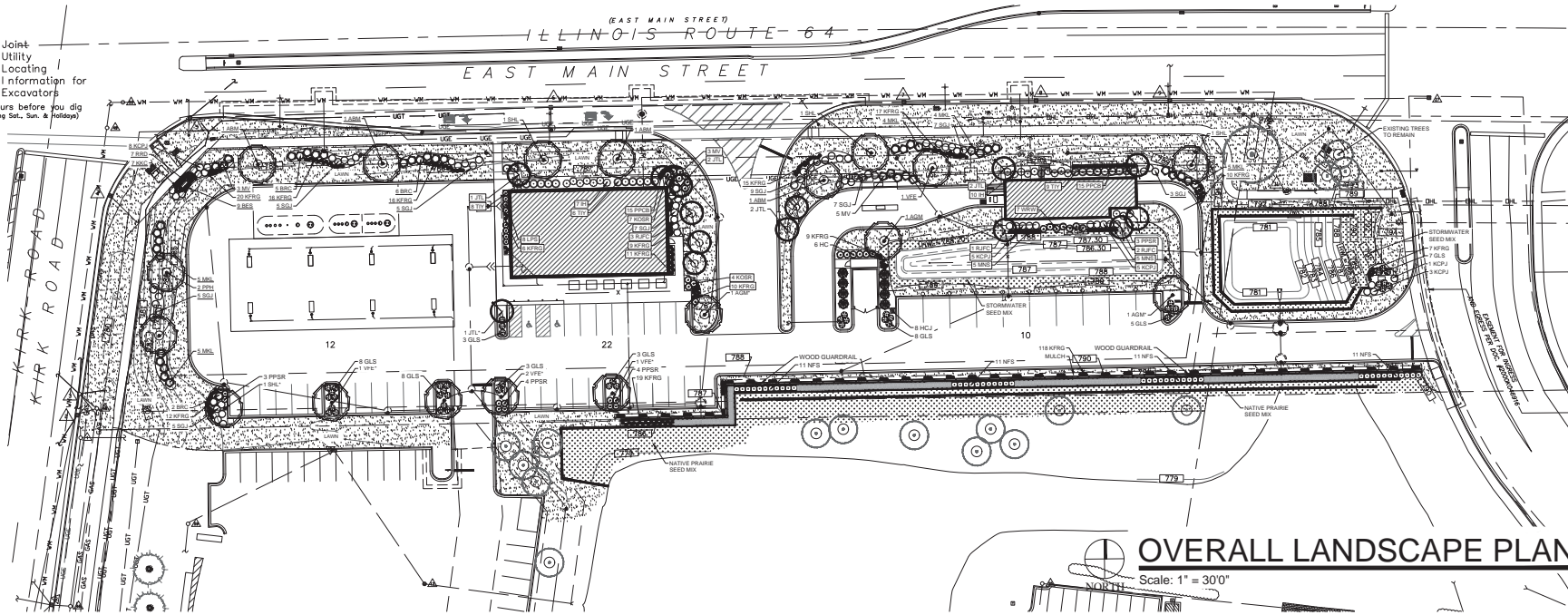
ISSUE

CHECK/TOA
 DRAWN/TEP
 JOB:1910803C

C-9.0
 FIRE APPARATUS
 CIRCULATION PLAN

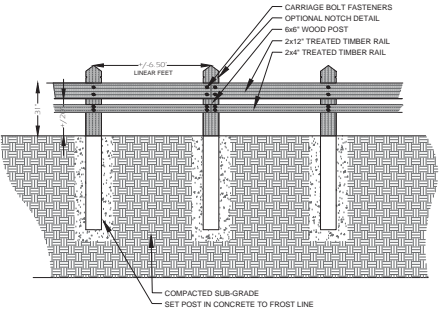


Joint Utility Locating Information for Excavators
Call 48 hours before you dig (excluding Sat., Sun. & Holidays)



OVERALL LANDSCAPE PLAN

Scale: 1" = 30'0"

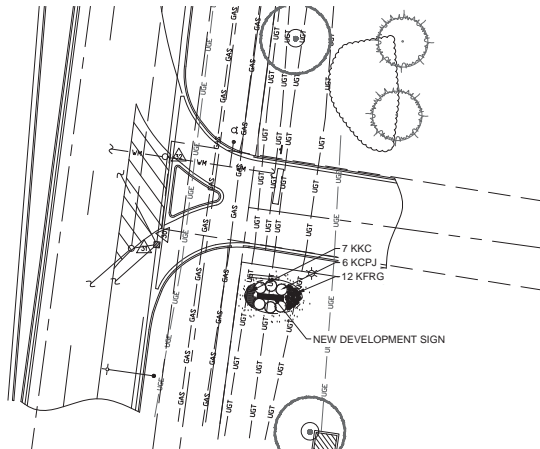


WOOD GUARDRAIL SECTION

1 DETAIL N.T.S.



EXAMPLE OF WOOD GUARDRAIL



KIRK ROAD MONUMENT SIGN LANDSCAPE

Scale: 1" = 10'0"



- SHADE TREES (DECIDUOUS)**
 - ABM Autumn Blaze Maple
 - BRM Prairie Tree Hackberry
 - DHL Skyline Honeylocust
 - ADAM Autumn Gold Kalmian
 - VEE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
 - BRM King Pine American Hornbeam
 - RFC Red Jewel Flowering Crabapple
 - JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
 - HCJ Hartz Columnar Juniper (upright)
- EVERGREEN SHRUBS**
 - SGJ Sea Green Juniper
 - KCPJ Kalm's Compact Effort Juniper
 - TIV Tautou Intermediate Yew
- DECIDUOUS SHRUBS**
 - BAC Brilliant Red Chokeberry
 - HC Pink (Hedge) Coleonaster
 - HC Incrediball Hydrangea
 - GLS Gra Low Fragrant Sumac
 - KDOR Knock Out Double Rose
 - PPSR Pink Pavement Series Rose
 - NS Neon Flash Spirea
 - MK Michigan Dwarf Dog
 - MV Mexican Viburnum
 - WVW White & Rose Compact Weigela
- ORNAMENTAL GRASSES**
 - KFRG Karl Foerster Feather Reed Grass
- HERBACEOUS PERENNIALS**
 - RSD Royal Romance Daylily
 - PPSR Pink Purple Coreopsis
 - KCC Dwarf Catmint
 - RES Black-eyed Susan
 - NYS May Night Salvia

Cardno Native Plant Nursery
www.cardnonativeplantnursery.com
128 Sunset Drive
Waukegan, Indiana 46574
Ph: 574-586-2412

Stormwater Seed Mix
For Use on Stormwater Management Ponds (SWMP) side slopes to Normal Water Line (NWL)

Botanical Name	Common Name	PLS	Dances/Acre
Permanent Grasses/Sedges/Rushes:			
Carex crinitata	Crested Owl Sedge		1.00
Carex frankii	Bristly Cattail Sedge		1.00
Carex lasiocoma	Buttonbush Sedge		2.00
Carex (sparganoides v. cephaloides)	Rough Clustered Sedge		2.00
Carex vulpinoidea	Brown Fox Sedge		6.00
Eriochloa ovata	Blunt Spike Rush		0.50
Elymus virginicus	Virginia Wild Rye		12.00
Glyceria striata	Fowl Manna Grass		1.25
Aeluropus effusus	Common Rush		1.00
Aeluropus lamiifolius	Torney's Rush		0.25
Lernaea arvensis	Rice Cut Grass		1.00
Panicum strigosum	Switch Grass		2.00
Scirpus atrovirens	Dark Green Rush		1.00
Scirpus cyperinus	Wood Grass		45.50
Scirpus (Buxifolia)	River Bulrush		0.25
Scirpus validus	Great Bulrush		6.00
Total			45.75
Temporary Cover:			
Avena sativa	Common Oat		360.00
Lolium multiflorum	Annual Rye		135.00
Total			495.00

Forbs:	Water Plantain (Various Mix)	4.25
Alisma spp.	Swamp Milkweed	1.50
Asclepias incarnata	Bidens (Various Mix)	2.00
Bidens spp.	Sneezeweed	3.00
Helianthus autumnalis	Monkey Flower	1.00
Mimulus ringens	Diach Stachys	0.50
Pentstemon axillaris	Pinkweed	4.00
Polygonum pennsylvanicum	Sweet Black-eyed Susan	1.00
Rudbeckia subtomentosa	Broad Leaf Arrowweed	1.00
Sagittaria arifolia	Wild Senna	1.00
Senecio hebecarpa	Purple Meadow Rue	2.00
Thalictrum dasycarpum		
Total		23.25

Approximate area of coverage:
Total area (SF) of coverage surrounding SWM ponds: 2,690
Total area (acres) of coverage surrounding SWM ponds: 0.06

PLANT ABBREVIATIONS

- BUILDING FOUNDATION
- STREET FRONTAGE
- PARKING ISLAND TREE*

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
dave@vhavaheller.com
www.vhavaheller.com



THE PRIDE OF KANE COUNTY

Southeast Corner of Main St. & Kirk Rd. St. Charles, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.3.19	ISSUE TO OWNER
10.25.19	REVISIONS
03.03.20	REVISIONS
05.15.20	CITY COMMENTS
05.20.20	CITY COMMENTS
05.28.20	REV. MONUMENT SIGN
06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 19-066

DATE 08.03.20

SHEET NUMBER

L 1.0

Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)
 ABM Autumn Blaze Maple
 PPM Prairie Pride Hackberry
 SHL Skyline Honeylocust
 AGM Autumn Gold Maidenhair
 VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)
 RFH Rising Fire American Hornbeam
 RJFC Red Jewel Flowering Crabapple
 JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES
 HCl Metal Columnar Juniper (upright)

EVERGREEN SHRUBS
 SGJ Sea Green Juniper
 KCPJ Kallay Compact Pfitzer Juniper
 TTY Taunton Intermediate Yew

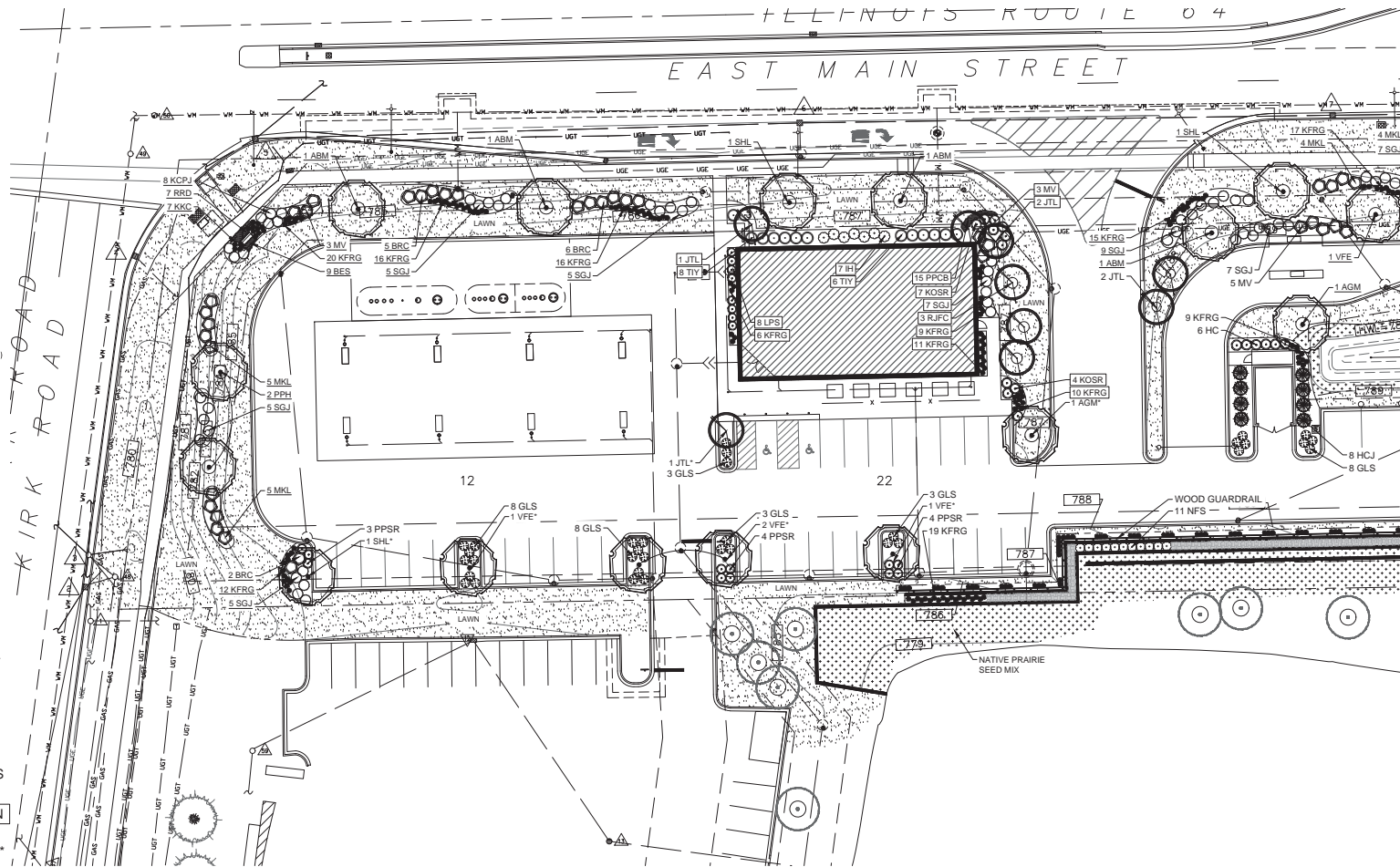
DECIDUOUS SHRUBS
 BRC Brilliant Red Chokeberry
 HC Peking (Hedge) Cotoneaster
 IH Incredible Hydrangea
 GLS Gro Low Fragrant Sumac
 KOSR Knock Out Shrub Rose
 PPSR Pink Pavement Series Rose
 NPS Neon Flash Spirea
 NKL Niles Kim Dwarf Lilac
 MV Mohican Viburnum
 WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES
 KFRG Karl Foerster Feather Reed Grass

HERBACEOUS PERENNIALS
 RRD Rosy Returns Daylily
 PPCB Palace Purple Coralbells
 KKC Dwarf Catmint
 BES Black-eyed Susan
 MNS May Night Salvia

PLANT ABBREVIATIONS

BUILDING FOUNDATION
STREET FRONTAGE
PARKING ISLAND TREE*



ENLARGED LANDSCAPE PLAN

Scale: 1" = 20'0"

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SHEET TITLE
ENLARGED LANDSCAPE PLAN

PROJECT MANAGER WDH
 PROJECT NUMBER 19-066
 DATE 08.03.20
 SHEET NUMBER

L 1.1



Joint Utility Locating Information for Excavators

Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

SHADE TREES (DECIDUOUS)

- ABM Autumn Blaze Maple
- PPH Prairie Pride Hackberry
- SHL Skyline Honeylocust
- AGM Autumn Gold Maidenhair
- VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)

- RFH Rising Fire American Hornbeam
- RJFC Red Jewel Flowering Crabapple
- JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

- HCI Hetzi Columnar Juniper (upright)

EVERGREEN SHRUBS

- SGJ Sea Green Juniper
- KCPJ Kallay Compact Pfitzer Juniper
- TYT Taunton Intermediate Yew

DECIDUOUS SHRUBS

- BRC Brilliant Red Chokeberry
- HC Peking (Hedge) Cotoneaster
- IH Incrediball Hydrangea
- GLS Gro Low Fragrant Sumac
- KOSR Knock Out Shrub Rose
- PPSR Pink Pavement Series Rose
- NFS Neon Flash Spirea
- MKL Miss Kim Dwarf Lilac
- MV Mohican Viburnum
- WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES

- KFRG Karl Foerster Feather Reed Grass

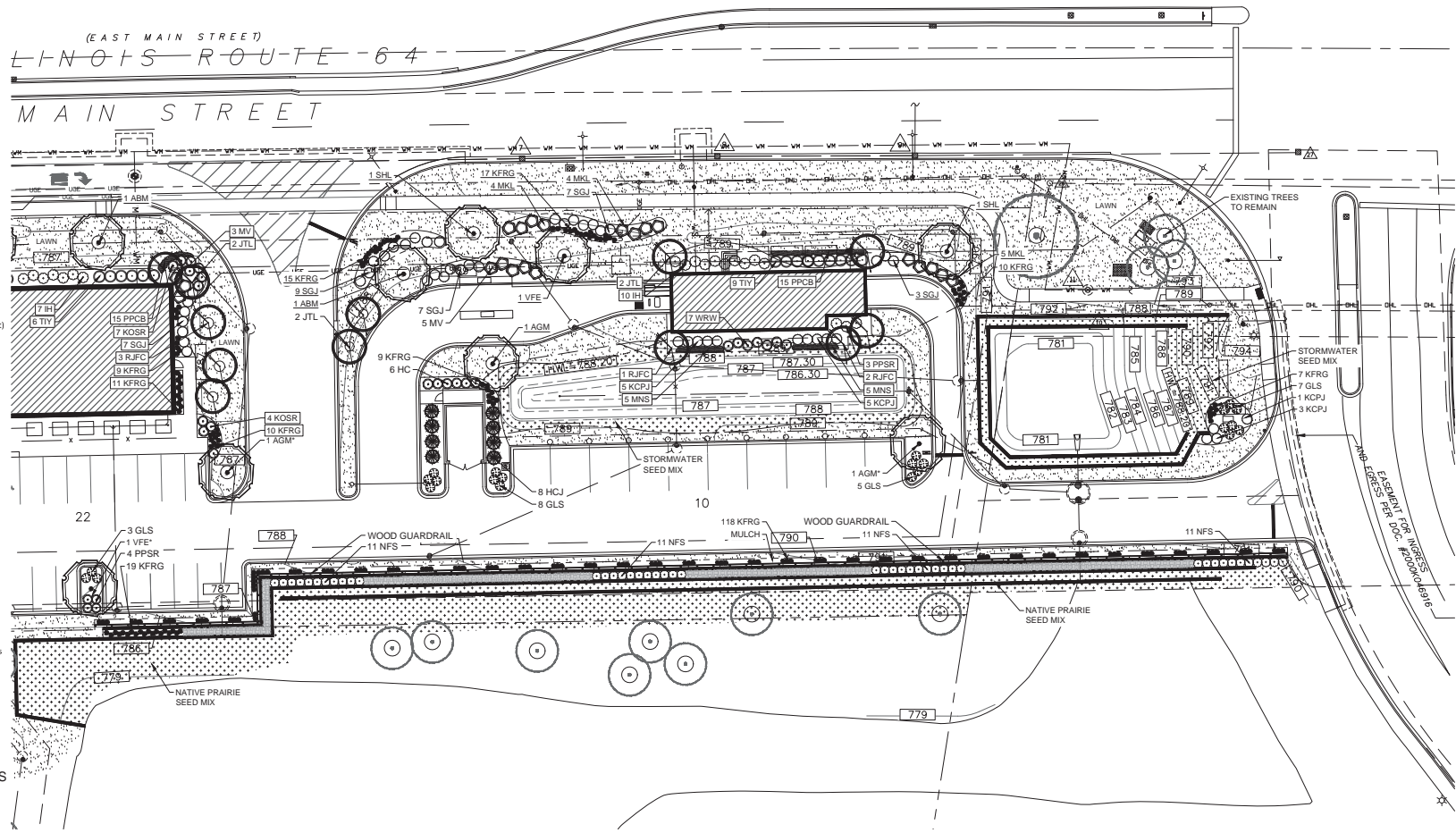
HERBACEOUS PERENNIALS

- BRD Rosy Returns Daylily
- PPCB Palace Purple Coralbells
- KKC Dwarf Catmint
- BES Black-eyed Susan
- MNS May Night Salvia

PLANT ABBREVIATIONS

- BUILDING FOUNDATION
- STREET FRONTAGE
- PARKING ISLAND TREE*

(EAST MAIN STREET)
ILLINOIS ROUTE 64
MAIN STREET



ENLARGED LANDSCAPE PLAN

Scale: 1" = 200'

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
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THE PRIDE OF KANE COUNTY

Southeast Corner of Main St. & Kirk Rd. St. Charles, IL

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SHEET TITLE
ENLARGED LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	19-066
DATE	08.03.20
SHEET NUMBER	

L 1.2

- Contractor responsible for contacting JULIE - Utility Locators (811 or 800-892-0123) to have sites marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to specify, and potentially reject any plants that are inferior, compromised, understated, diseased, improperly transported, installed incorrectly or damaged. No substitutions "B Grade" or "Tank Good" plant material shall be accepted. Plant material shall originate from nurseries with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 7' of shrub plants by General Contractor (if grading operations/contractor). The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Cover all parking lot islands a minimum of 0.5" to provide proper drainage, unless otherwise indicated.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball. If removed, and discard non-biodegradable ball wrapping and support wire. Removed biodegradable turps and wire cage (if present) from the top 1/2 of the rootball and carefully band remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 0.5" of the ballup and remove the turps. Provide slow release fertilizer for each tree plant.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy duty, or concrete pieces. When hole is 1/2 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4:8 diameter cone planting detail or planting plan) shrubbed hardwood bank much ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 1/2" mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and drainage from plant beds prior to planting. When holes are 1/2 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" diameter shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or erleno-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1/2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spa edge using a flat landscape spa or a mechanical edger. Bedlines are to be out crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Patch mulch against lawn edge of hole in place.
- Plant bed preparation: All perennial, groundcover and annual areas (if applicable) are required to receive a layer of organic soil (Soil Amendment) amendments prior to installation. Rotate all following materials at the following ratio, mix through soil beds or installed topsoil beds to a depth of approximately 8" - 10":
 - 1/3 CY Plant Moss or Mushroom Compost
 - 1/3 CY Bioactivated Topsoil
 - 2 pounds starter fertilizer
 - 1/3 CY composted manure.
- Lawn installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod based according to TPI (tested 1995) and ASPG standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all waste applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #13 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide much covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. erosion control materials are to be used in grades and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor or his/her representative to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of finished, graded and compacted topsoil is required for all lawn areas. If more mulch is used as a much covering, a tackifier may be necessary to avoid wind dispersal of much covering. Marsh hay containing red canopy grass is NOT acceptable as a much covering.

An acceptable quality seed installation is defined as having:

 - No bare spots larger than one (1) square foot.
 - No more than 10% of the total area with bare areas larger than one (1) square foot.
 - A uniform coverage through all turf areas.
- No-Mow seed areas: No-Mow/No-Mow seed mix with annual ryegrass crop (available at Cedar Creek Seed Farm 888-315-6887 or Prairie Nursery 608-286-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre at site recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
- Native Prairie Seed Mix: Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-286-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix or stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner's Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

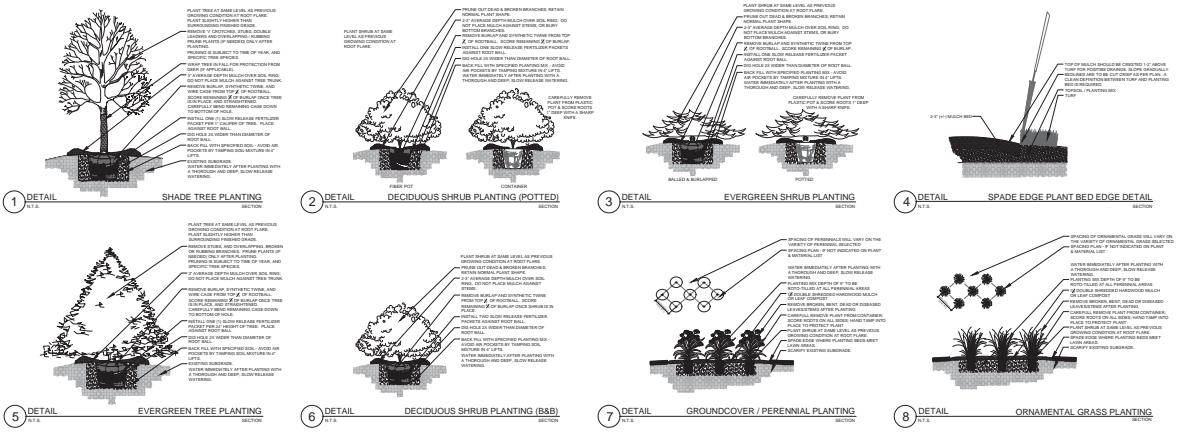
LANDSCAPE GENERAL NOTES

Botanical Name	Common Name	PLS Quants/Acre
Cardinal Native Plant Nursery		
www.cardinalnativeplantnursery.com		
128 Sunset Drive Walker, Indiana 46574 Ph: 317-546-2412		
Economy Prairie Seed Mix		
Permanent Grasses:		
<i>Andropogon gerardii</i>	Big Bluestem	16.00
<i>Bouteloua curtipendula</i>	Sideoats Gramma	16.00
<i>Carex jacksonii / Carex brevior</i>	Prairie Sedge Mix	1.00
<i>Flynum canadense</i>	Canada Wild Ryegrass	16.00
<i>Panicum scoparium</i>	Switch Grass	3.50
<i>Schizochyrium scoparium</i>	Little Bluestem	24.00
<i>Sorghastrum nutans</i>	Indian Grass	18.00
Total		95.50
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	300.00
<i>Lolium multiflorum</i>	Annual Ryegrass	100.00
Total		400.00
Forbs:		
<i>Asclepias speciosa</i>	Common Milkweed	0.50
<i>Asclepias tuberosa</i>	Butterfly Milkweed	1.00
<i>Aster laevis</i>	Smooth Blue Aster	0.25
<i>Aster novae-angliae</i>	New England Aster	0.75
<i>Chamaecrista fasciculata</i>	Partridge Pea	12.00
<i>Centaurea jacobina</i>	Sand Centaury	5.00
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	3.50
<i>Heritages helianthus</i>	False Sunflower	0.25
<i>Lupinus perennis</i>	Wild Lupine	0.50
<i>Monochoa fistulosa</i>	Wild Bergamot	0.25
<i>Pycnanthemum terrefolium</i>	Common Mountain Mint	0.50
<i>Rudbeckia hirta</i>	Yellow Coneflower	3.50
<i>Rudbeckia hirta</i>	Black Eyed Susan	40.00
Total		40.00

NATIVE PRAIRIE SEED MIX

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CALIPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
ASH	4	Aster 'Fremontii' Autumn-Bloss'	Autumn Blaze Maple	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
PPH	2	Callis coccinellae 'Prairie Pride'	Prairie Pride Hickory	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
SML	4	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
AGM	3	Gingko biloba 'Autumn Gold'	Autumn Gold Maidenhair	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
VTE	5	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
ORNAMENTAL TREES (DECIDUOUS)							
RFC	6	Malus 'Jewelrite'	Red Jewel Flowering Crabapple	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
JTL	8	Syringa reticulata 'Honey Silk'	Honey Silk Japanese Tree Lilac	2 1/2"	B&B	Straight central leader, full and even crown. Prune only after planting	
EVERGREEN TREES							
KEY <th>QUANTITY</th> <th>PLANT MATERIAL PROPOSED</th> <th>COMMON NAME</th> <th>HEIGHT SIZE</th> <th>ROOT</th> <th>SPECIFICATION / NOTES</th> <th>PLANT SPACING</th>	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
HCJ	6	Juniperus chinensis 'Yetti's Columnar'	Yetti's Columnar Juniper (upright)	5'	B&B	Evenly shaped tree with branching to the ground	42"
EVERGREEN SHRUBS							
SD	53	Juniperus chinensis 'Sea Dawn'	Sea Dawn Juniper	45"	Cont.	Full rounded well branched shrub	54"
KCP	28	Juniperus chinensis 'Skyline Juniper'	Kelly Compact Foliage Juniper	45"	Cont.	Full rounded well branched shrub	48"
TYJ	23	Taxus media 'Taxus'	Taxus Intermediate Tree	24"	B&B	Full rounded well branched shrub	42"
SHRUBS							
KEY <th>QUANTITY</th> <th>PLANT MATERIAL PROPOSED</th> <th>COMMON NAME</th> <th>SHRUB SIZE (HEIGHT)</th> <th>ROOT/CONT.</th> <th>SPECIFICATION / NOTES</th> <th>PLANT SPACING</th>	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
BRC	33	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	42"	Cont.	Full, well rounded plant, evenly shaped	48"
CCS	45	Cotoneaster acutifolia	Peeking Hedge Cotoneaster	42"	B&B	Full, well rounded plant with nice rootball and healthy appearance	30-42"
HM	37	Hydrangea arborescens 'Abelwee'	Incorbell Red Hydrangea	45"	Cont.	Full, well rounded plant, evenly shaped	48"
OSL	45	Rhus glabra 'Fire Glow'	Fire Glow Fragrant Sumac	45"	Cont.	Full, well rounded plant, evenly shaped	42"
KCR	31	Rosa 'Knock Out'	Knock Out Rose	24"	Cont.	Full, well rounded plant, evenly shaped	42"
PPR	34	Rosa rugosa 'Pink Fragrance'	Pink Fragrance Series Rose	24"	Cont.	Full, well rounded plant, evenly shaped	42"
NRK	31	Syringa reticulata 'New Dawn'	New Dawn Syringa	24"	Cont.	Full, well rounded plant, evenly shaped	42"
MW	33	Spring japonica 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rounded plant, evenly shaped	42"
ML	31	Wibornia 'Arana Nobilis'	Mobian Viburnum	24"	B&B	Full, well rounded plant with nice rootball and healthy appearance	48"
WXL	7	Wrightia florinda 'Wine & Roses'	Wrightia Florida Wine & Roses	24"	Cont.	Full, well rounded plant, evenly shaped	42"
CONTAINERS							
KEY <th>QUANTITY</th> <th>PLANT MATERIAL PROPOSED</th> <th>COMMON NAME</th> <th>CONTAINER SIZE</th> <th>CONT.</th> <th>SPECIFICATION / NOTES</th> <th>PLANT SPACING</th>	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	PLANT SPACING
CFES	409	Calluna vulgaris acutifolia 'Karl Foerster'	Karl Foerster Feather-Red Grass	41"	Cont.	Full, well rounded plant	15-18"
PERENNIALS							
KEY <th>QUANTITY</th> <th>PLANT MATERIAL PROPOSED</th> <th>COMMON NAME</th> <th>CONTAINER SIZE</th> <th>CONT.</th> <th>SPECIFICATION / NOTES</th> <th>PLANT SPACING</th>	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	PLANT SPACING
RRD	7	Hemerocallis 'Rosa Returns'	Rose Returns Daylily	41"	Cont.	Full, well rounded plant, evenly shaped	18"
PPC	30	Hemerocallis 'Palace Purple'	Palace Purple Corbellis	41"	Cont.	Full, well rounded plant, evenly shaped	18"
KCC	34	Hesperis matronalis 'Karl Foerster'	Dwarf Carpet	41"	Cont.	Full, well rounded plant, evenly shaped	24"
BES	9	Rubus idaeus 'Goldflame'	Black-eyed Susan	41"	Cont.	Full, well rounded plant, evenly shaped	18"
NRS	50	Salvia nemoralis 'May Night'	May Night Salvia	41"	Cont.	Full, well rounded plant, evenly shaped	18"
PLANTING & HARDSCAPE DETAILS							
KEY <th>QUANTITY</th> <th>PLANT MATERIAL PROPOSED</th> <th>COMMON NAME</th> <th>CONTAINER SIZE</th> <th>CONT.</th> <th>SPECIFICATION / NOTES</th> <th>PLANT SPACING</th>	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	PLANT SPACING
LAWN	4895	Lawn Establishment Area / Grading Area		5'	RY	Reider's Deluxe 50 Seed Mix (800-785-3303)	
3930		Erosion Matting for sloped seeded areas	see plan for area delineation		SY	EcoTurf 1975 Erosion Control Blanket (or approved equiv)	
395		Stormwater Seed Mix	see plan for area delineation		SY	Cardinal/JF New Stormwater Seed Mix	
770		Native Prairie Seed Mix	see plan for area delineation		SY	Cardinal/JF New Native Prairie Seed Mix	
Hardscape Materials							
67		Shredded Hardwood Mulch (3" depth)	Area: 10,802 SF		CY	Bank Mulch, apply Pre-emergent after installation of much	
67		Soil Amendments (2" depth)	Area: 10,802 SF		CY		
67		Pulverized Topsoil (2" over bed areas)	Area: 42,262 SF		CY		
67		Pulverized Topsoil (2" over bed areas)	Area: 10,802 SF		CY		
*Landscape Quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined in this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, including the graphics and notations depicted therein, the Master Plan shall govern.							
Seed Compositions:							
Reider's Deluxe 50 Seed Mix (800-785-3303)		15% Quebec Perennial Ryegrass		Seed at rate of 150-200# per acre			
39% Kentucky Bluegrass (Sod Quality)		15% Western Kentucky Bluegrass					
15% Blue Kentucky Bluegrass							
20% Creeping Red Fescue							

PLANT & MATERIAL SCHEDULE



PLANTING & HARDSCAPE DETAILS

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
dave@heller.com
www.heller.com

CIMA DEVELOPERS

THE PRIDE OF KANE COUNTY
Southeast Corner of Main St. & Kirk Rd. St. Charles, IL

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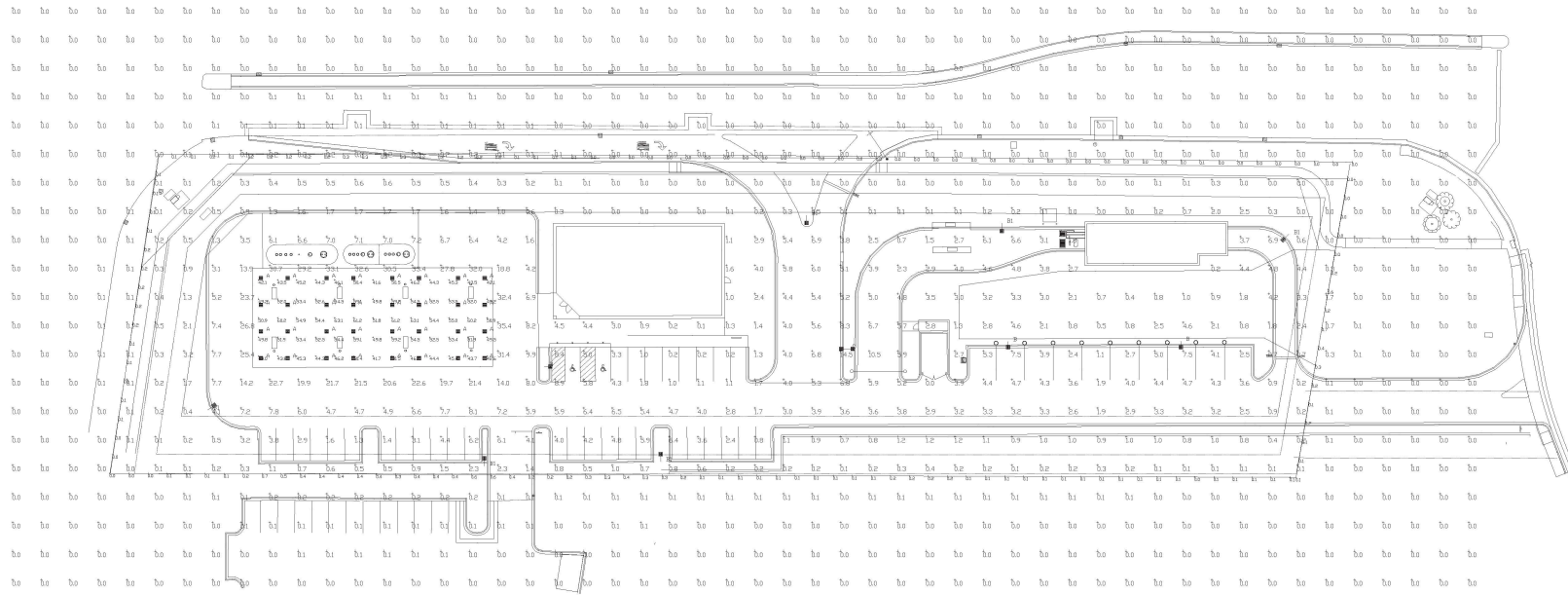
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06.22.20	REVISED CIVIL
07.21.20	REVISED CIVIL
08.03.20	REVISED CIVIL

Information contained herein is based on source information, field inspection, and believed to be accurate.

SHEET TITLE
LANDSCAPE
DETAILS, NOTES, & SCHEDULES

PROJECT MANAGER WDH
PROJECT NUMBER 19-066
DATE 08.03.20
SHEET NUMBER

L 1.3



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	UBF	LLF	Arr. Lum. Lumens	Arr. Watts
	32	A	SINGLE	SCV-LED-15L-SC-50 MTD @ 15'	1.000	1.000	1.000	15410	103
	3	B	SINGLE	SLM-LED-18L-SIL-FT-50-78CRI-SINGLE-16'POLE+2'BASE	1.000	1.000	1.000	19664	148.5
	6	BI	SINGLE	SLM-LED-18L-SIL-FT-50-78CRI-1L-SINGLE-16'POLE+2'BASE	1.000	1.000	1.000	12568	148.5
	1	C	DI80	SLM-LED-18L-SIL-FT-50-78CRI-DI80-16'POLE+2'BASE	1.000	1.000	1.000	39328	297

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.52	35.4	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	50.74	631	41.6	1.22	1.52
EAST PROPERTY LINE	Illuminance	Fc	0.31	1.6	0.0	N.A.	N.A.
NORTH PROPERTY LINE	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.
SOUTH PROPERTY LINE	Illuminance	Fc	0.20	0.7	0.0	N.A.	N.A.
WEST PROPERTY LINE	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	7.21	35.4	0.0	N.A.	N.A.



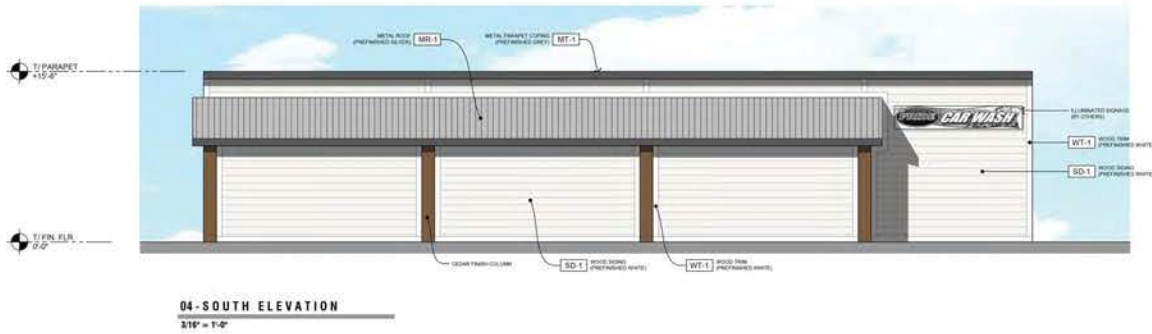
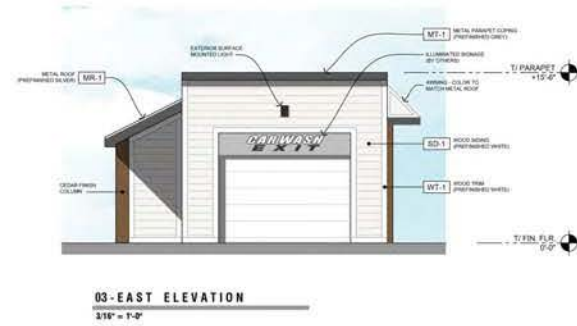
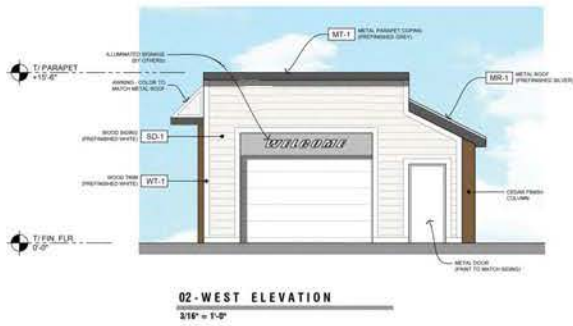
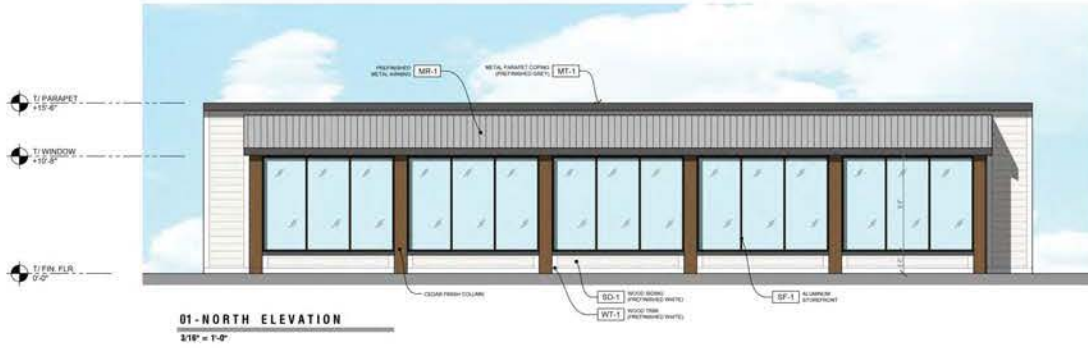
[Click image to open Product Page](#)

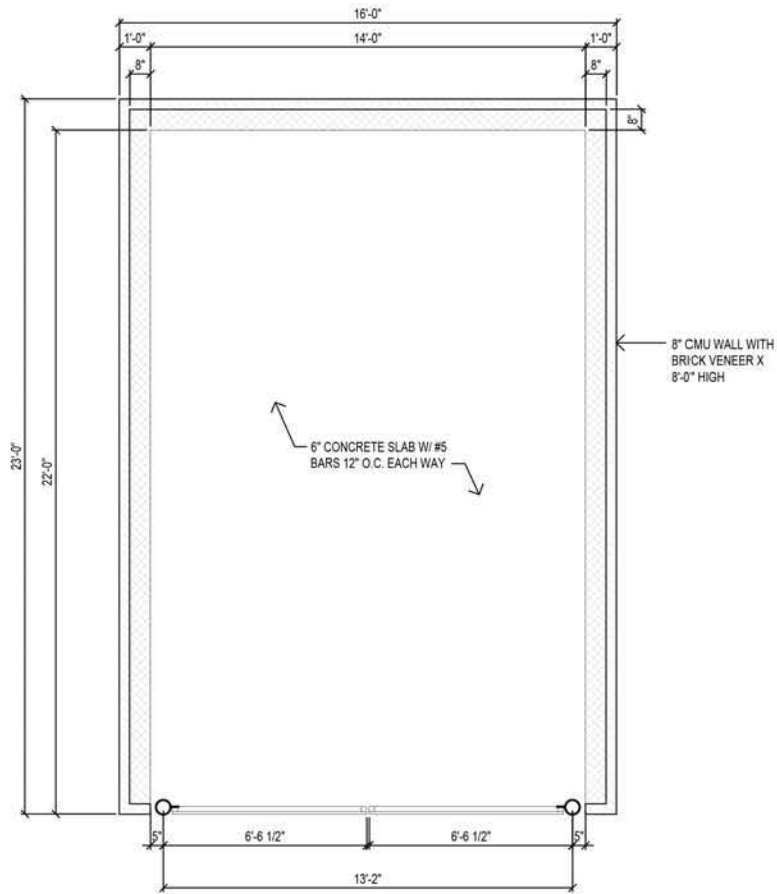
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamp/LEDs and other variable field conditions. Calculations do not include obstructions such as eutings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 4992.5

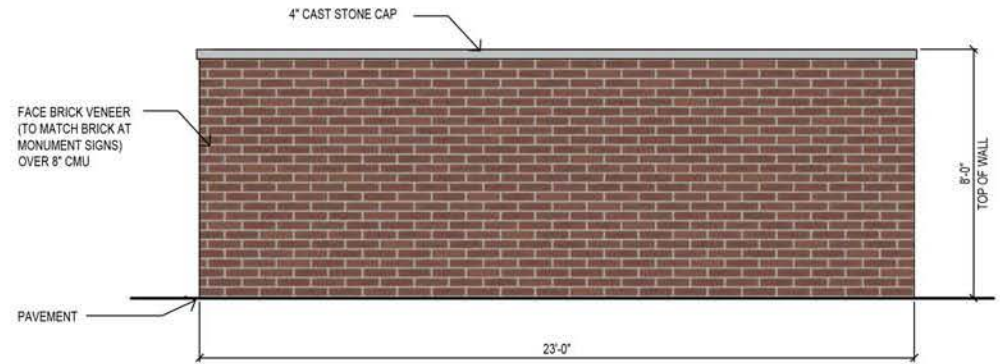
LIGHTING PROPOSAL LD-148828-3
 PREP: KERRY ROAD & I.L. RTE. 64 ST CHARLES, IL
 DRAWN: DATE: 06-19 REV: 06-20 SHEET 1 OF 1
 SCALE: 1"=30' 0 30





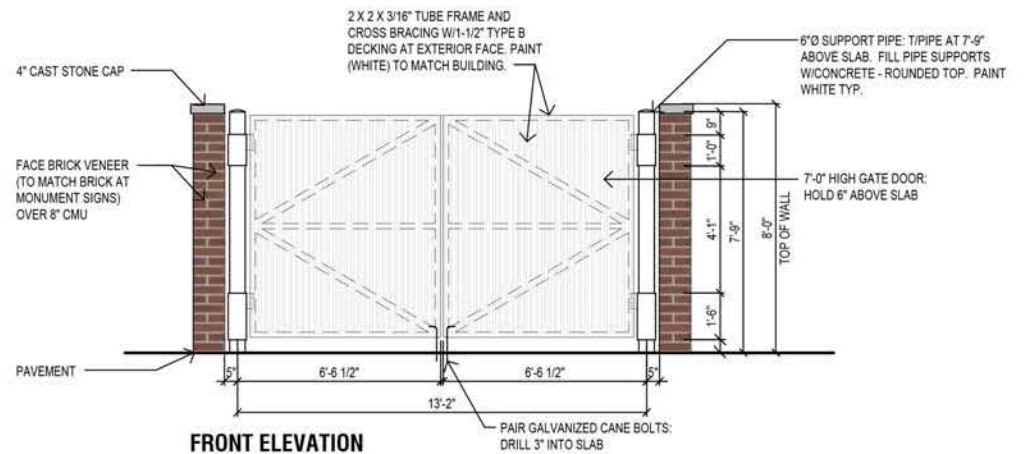
DUMPSTER PLAN

SCALE: 1/4" = 1'-0"



TYPICAL ELEVATION

SCALE: 1/4" = 1'-0"

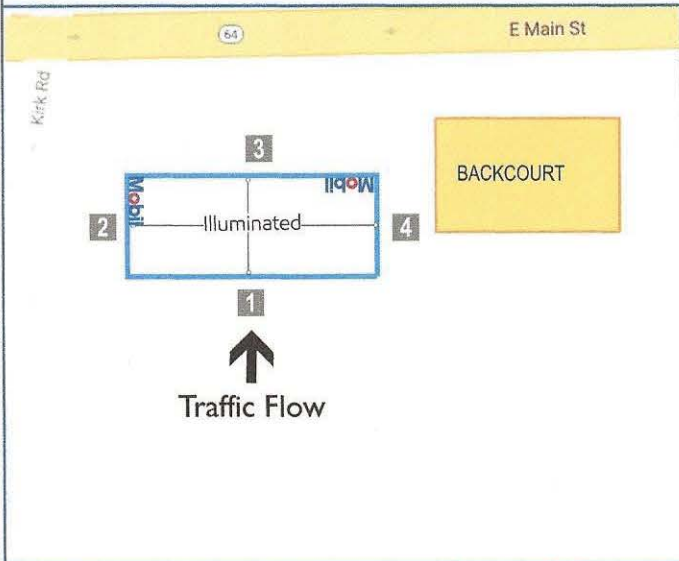


FRONT ELEVATION

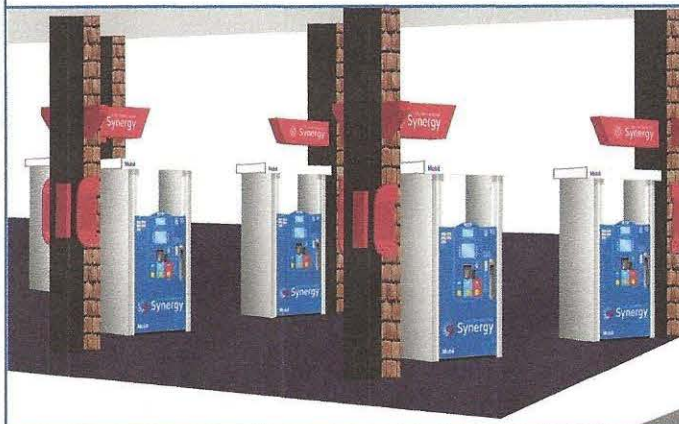
SCALE: 1/4" = 1'-0"

B SITE CONFIGURATIONS

Canopy fascia artwork for visualization purposes only

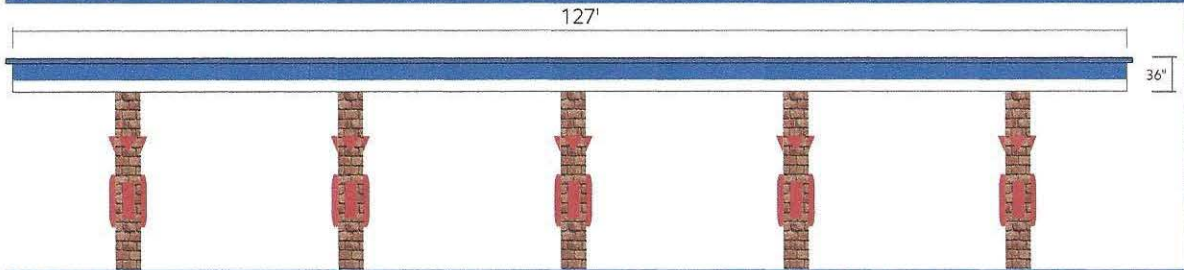


Overhead Map

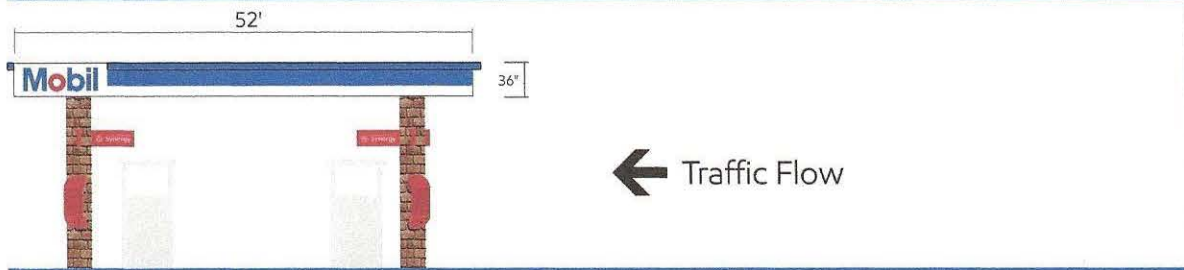


Canopy Perspective

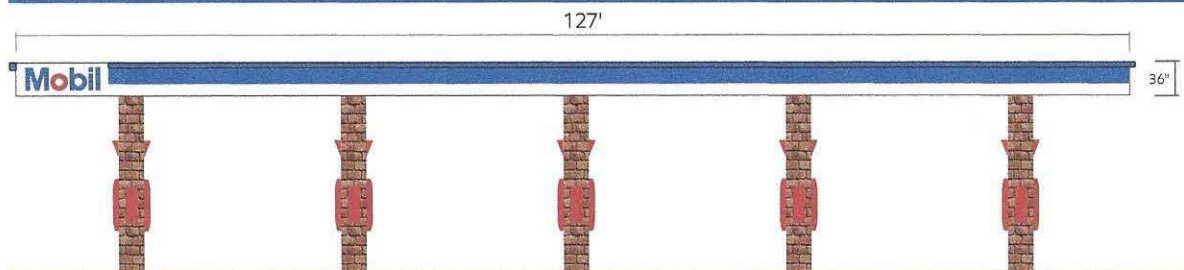
1 | BACK ELEVATION



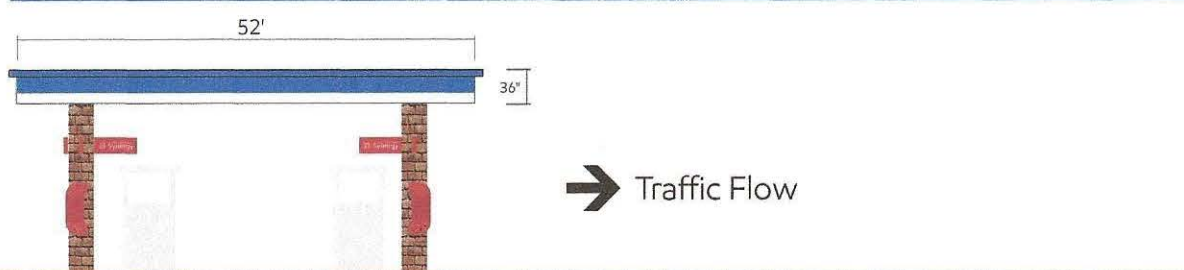
2 | RIGHT ELEVATION



3 | FRONT ELEVATION



4 | LEFT ELEVATION



Project Name

ExxonMobil

Revision #

R3

PBL #

-

Date

06_18_2020

Customer

ExxonMobil

Scale

NA

Created by

B.Dighero

Page #

4 OF 13

Brand Book

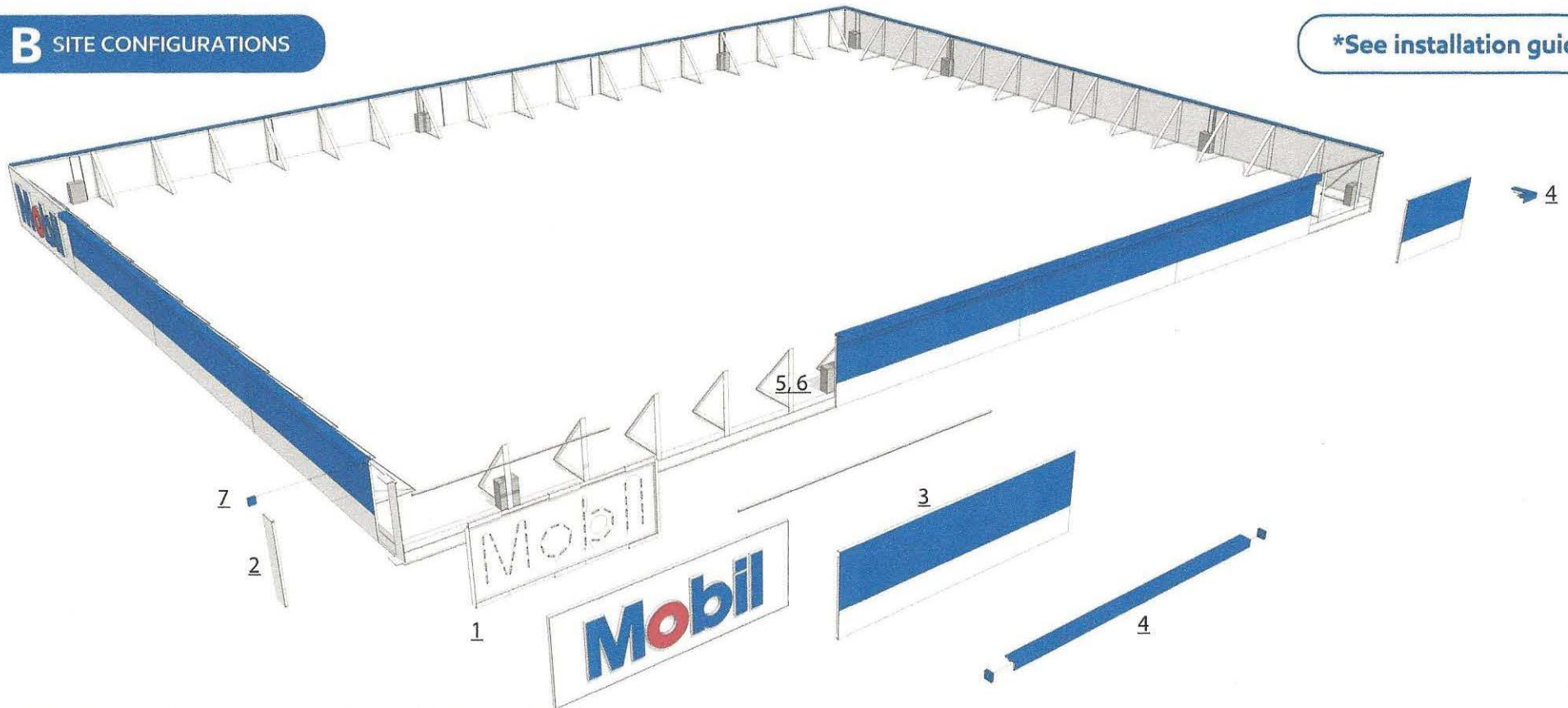
Site Image Materials Maintenance

2 Northfield Plaza, Ste 250
Northfield, IL 60093

P. (847) 441-1818 F. (847) 592-9564

B SITE CONFIGURATIONS

*See installation guide



Step 1. Begin with installing any logos (left or right Exxon or Mobil):
back skin, side return, LED tray, power supplies and face.

Step 2. Install logo corner panels on either side of the logo and the ends of each run.

Step 3. Install mounting brackets and 120" ACM panels, cutting one panel per side to fit.

Step 4. Install LED corners first, then install 118" LED downlight starting with ACM panel next to the logo. Install short downlight, cut to length or overlap as required on each side for site conditions.

Step 5. Install (1) power supplies every other panel and connect to LEDs. Each corner downlight comes with their own power supply.

Step 6. Install junction box power circuits every 200 feet for each side as required by site layout. Electrician to connect to 120VAC.

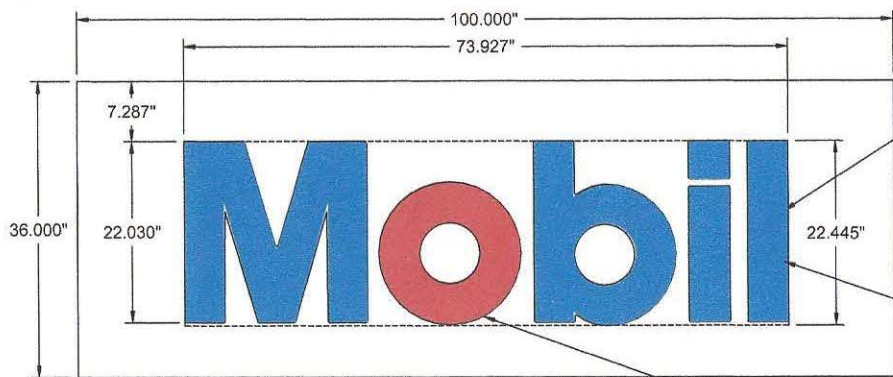
Step 7. Install end caps.

Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/ 26/ 2020	NA	9 OF 16	

B SITE CONFIGURATIONS

***See installation guide**

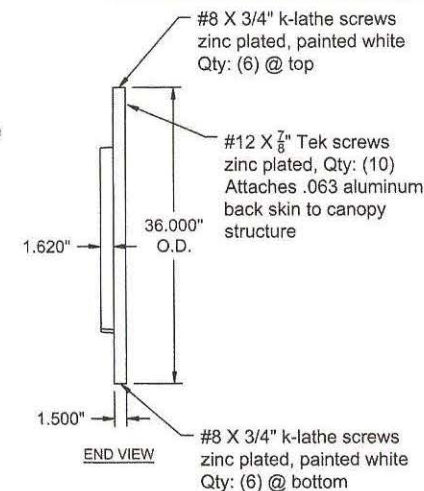
SINGLE LETTER SPECS:
 "M" = 2.88 sq ft
 "o" = 1.44 sq ft
 "b" = 1.83 sq ft
 "i" = .80 sq ft
 "l" = .83 sq ft
 TOTAL = 7.78 sq ft
LETTER SPECS:
 22.445" X 73.927" = 11.5 SF
SIGN SPECS:
 36" X 100" = 25 SF
UL NUMBER:
 E84811



Translucent white sign grade polycarbonate (2447) with 50% transmission

Translucent Mobil Blue vinyl applied to front face: 3M 3630-8248, PMS 293C

Translucent Mobil Red vinyl applied to front face: 3M 3630-2590, PMS 485C



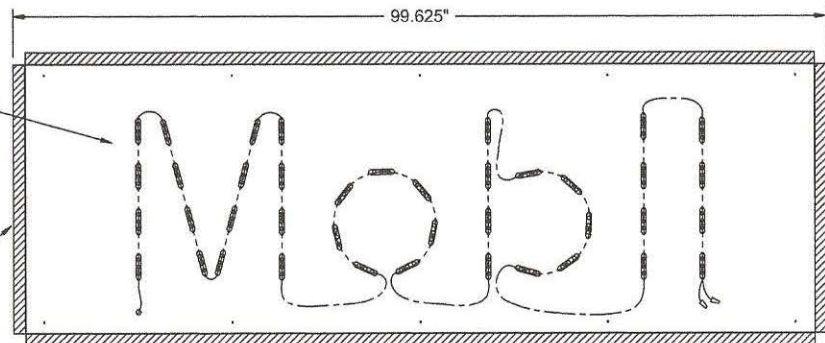
Appx weight of sign = 75lbs

FRONT VIEW - PUSH THRU LETTERS IN FACE

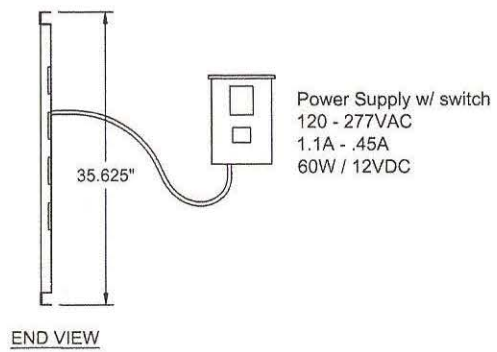
END VIEW

(40) Streetfighter LED
 .72W / module
 28.08W Total
 60W power supply
 120VAC / 12VDC

.063" aluminum pre-paint white with 1/4" X 1" neoprene gasket PN 394204



INTERNAL DETAILS



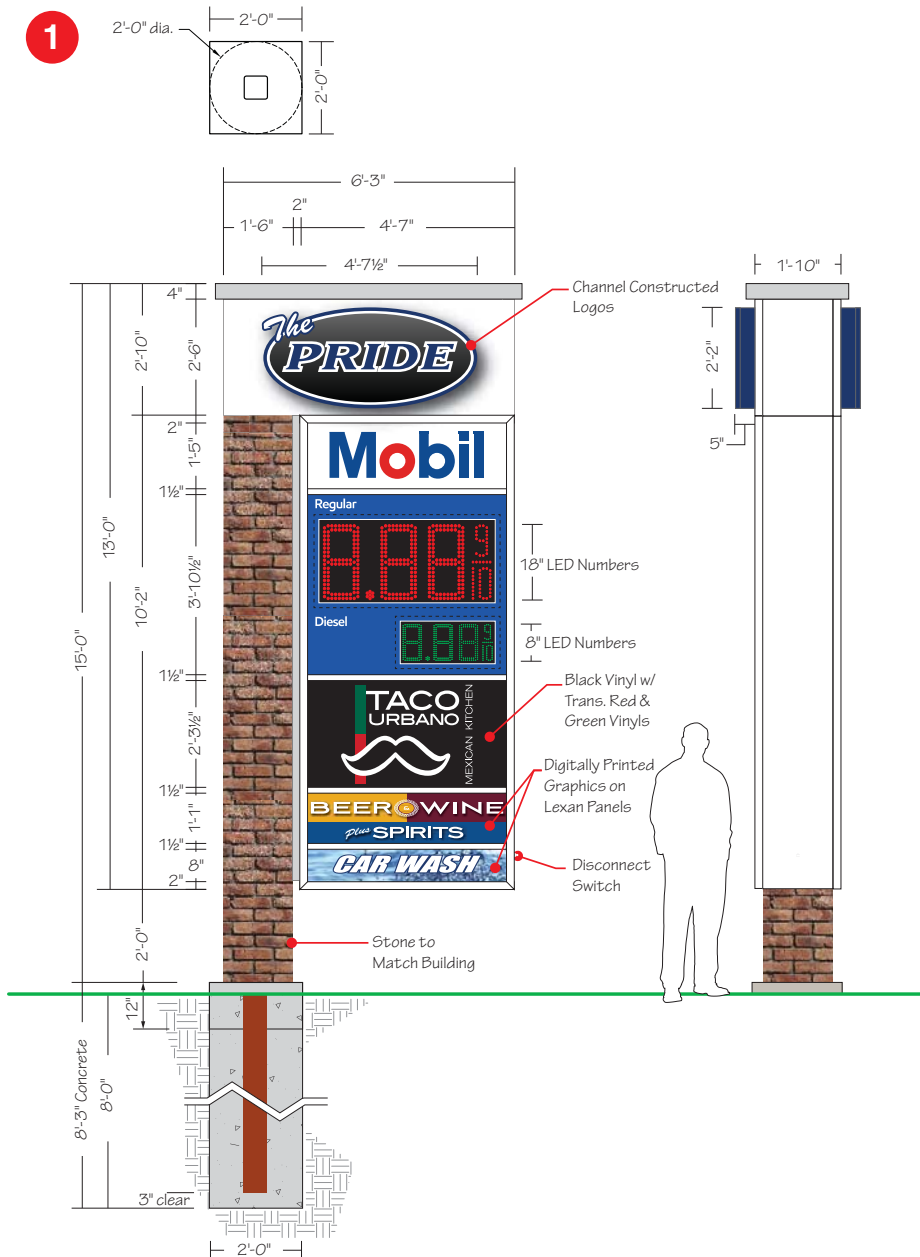
END VIEW



NIGHT VIEW

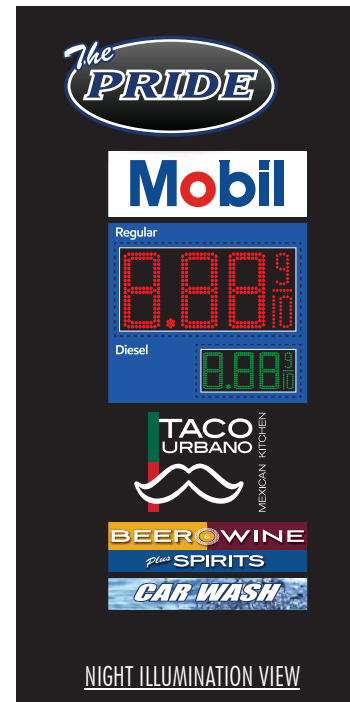
Project Name	PBL #	Customer	Created by	Brand Book Site Image Materials Maintenance 2 Northfield Plaza, Ste 250 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
ExxonMobil	-	ExxonMobil	B.Dighero	
Revision #	Date	Scale	Page #	
R2	05/26/2020	NA	8 OF 16	

1



(1) 13'-0" x 6'-3" Double Face Illuminated Flag Mounted Sign - 81.25 SF

- Cabinet:** Fabricated Aluminum Painted White - Satin Finish
- Pride Logos:** 5" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Mobile Logos:** 3M 3630-97 Bristol Blue & 143 Poppy Red Translucent Vinyls
- Pricer Panel:** 3M 3630-97 Bristol Blue Translucent Vinyl - Copy Reversed Out White
- Pricer Units: 16" LED & 12" LED
- Tenant Panels:** White Polycarbonate
- "Taco Urbano" Graphics:** 3M 7725-12 Black / 3630-76 Holly Green / 3630-33 Red Vinyls
- "Beer Wine Liquor" & Car Wash Panels:** White Polycarbonate w/ Digitally Printed Graphics
- Illumination:** White LEDs
- Power:** (2) 20Amp @ 120Volts Electrical Circuits Run to Site by Others
- Column:** CMU Block w/ Brick to Match Building
- Mounting:** (1) HSS 6" x 6" x 3/8" ASTM A-500 Gr. B with
(3) 4" x 4" x 3/16" ASTM A-500 Gr. B Steel Mounting Plates
- (1) 2'-0" dia. x 8'-0" deep Concrete Foundation w/
2'-0" W x 2'-0" L x 12" D Square Concrete Pad for Masonry



Parvin-Clauss
SIGN COMPANY

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165TubewayDrive • Carol Stream • Illinois 60188
Tel/630-510-2020 • Fax/630-510-2074
e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

1 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 11.04.19 - center sundry cab.
- 5.18.20 - new layout
- 5.19.20 - size adjustments
- 5.26.20 - Taco Urbano Logo
- 6.19.20
-
-
-

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

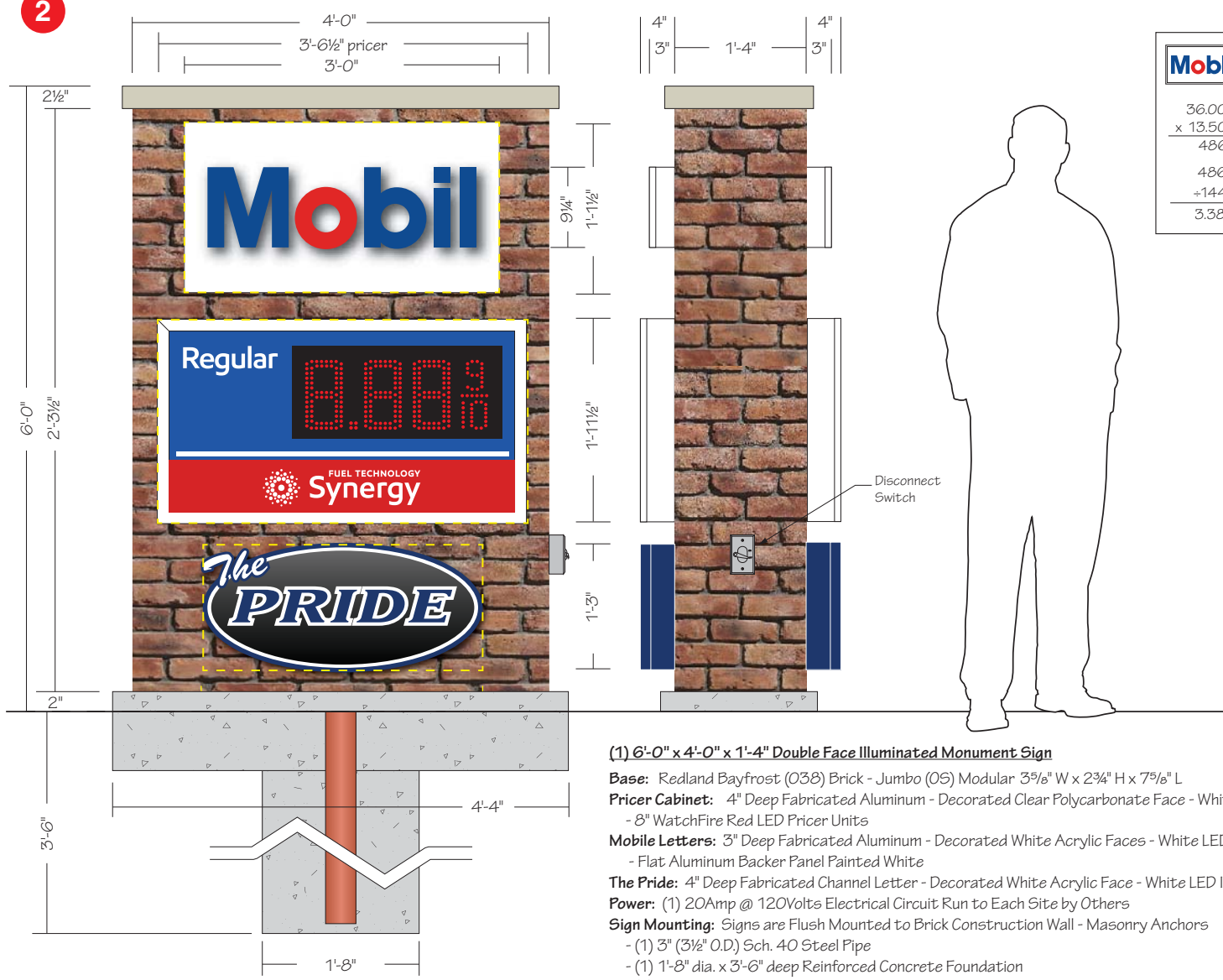


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2



36.00" x 13.50" 486"
486" +144" 3.38 SF

42.50" x 23.50" 998.75"
998.75" + 144" 7 SF

32.50" x 15.00" 487.50"
487.50" +144.00" 3.38 SF

3.38 SF 7.00 SF + 3.38 SF 13.76 SF
Signs

72.00" x 48.00" 3456"
3456" +144" 24 SF
Base

(1) 6'-0" x 4'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Redland Bayfrost (038) Brick - Jumbo (05) Modular 3⁵/₈" W x 2³/₄" H x 7⁵/₈" L
- Pricer Cabinet:** 4" Deep Fabricated Aluminum - Decorated Clear Polycarbonate Face - White LED Illumination
- 8" WatchFire Red LED Pricer Units
- Mobile Letters:** 3" Deep Fabricated Aluminum - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3¹/₂" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 4'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

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e-mail/signs@parvinclauss.com
www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

2 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

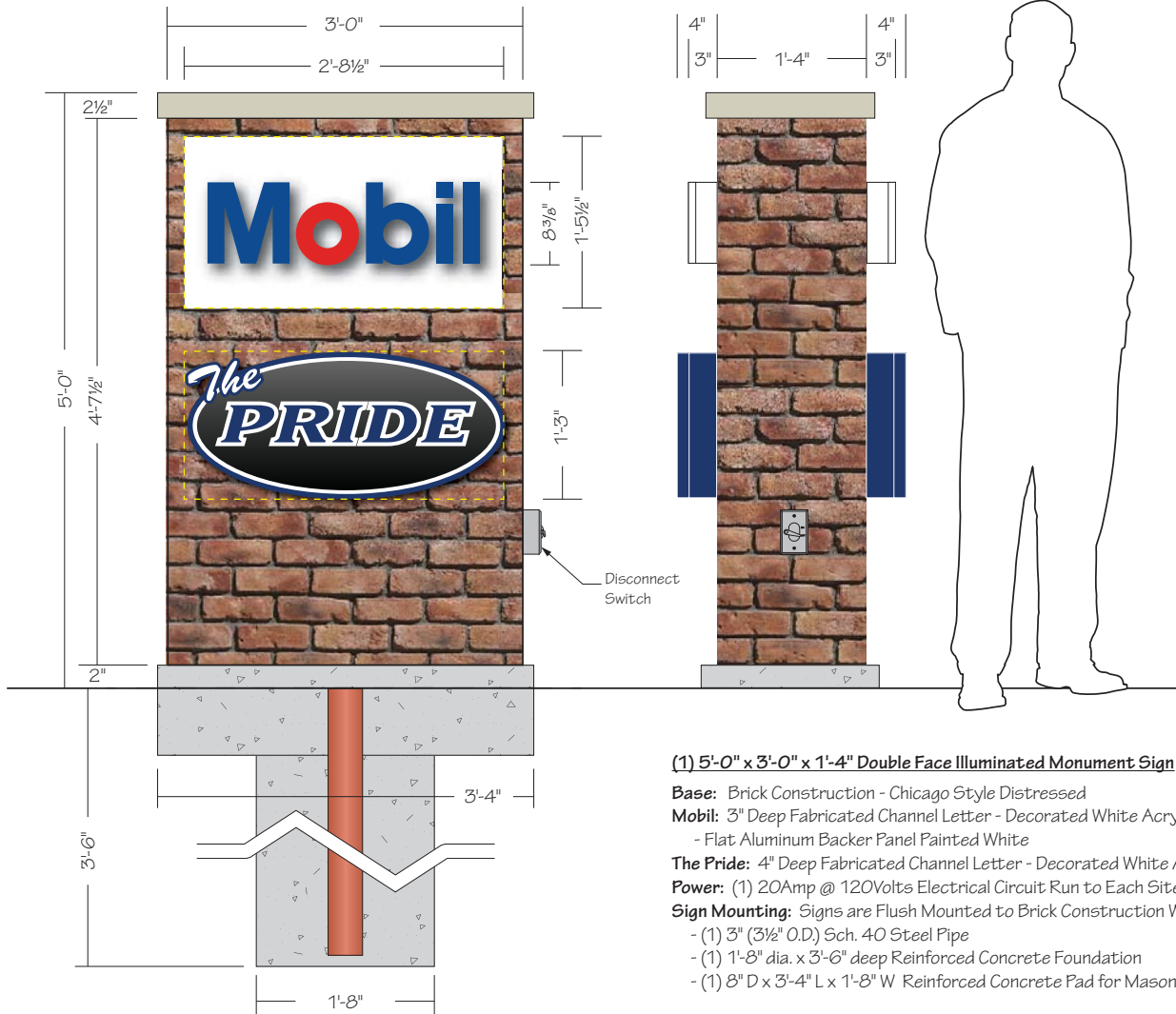
- 11.04.19 - all cabs. on brick area
- 5.18.20
- 5.19.20
- 5.26.20 - Mobil letters / cab. depth
- 6.19.20
-
-
-

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

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(1) 5'-0" x 3'-0" x 1'-4" Double Face Illuminated Monument Sign

- Base:** Brick Construction - Chicago Style Distressed
- Mobil:** 3" Deep Fabricated Channel Letter - Decorated White Acrylic Faces - White LED Illumination
- Flat Aluminum Backer Panel Painted White
- The Pride:** 4" Deep Fabricated Channel Letter - Decorated White Acrylic Face - White LED Illumination
- Power:** (1) 20Amp @ 120Volts Electrical Circuit Run to Each Site by Others
- Sign Mounting:** Signs are Flush Mounted to Brick Construction Wall - Masonry Anchors
 - (1) 3" (3 1/2" O.D.) Sch. 40 Steel Pipe
 - (1) 1'-8" dia. x 3'-6" deep Reinforced Concrete Foundation
 - (1) 8" D x 3'-4" L x 1'-8" W Reinforced Concrete Pad for Masonry

$\begin{array}{r} 32.50'' \\ \times 17.50'' \\ \hline 568.75'' \\ +144'' \\ \hline 4\text{ SF} \end{array}$	 $\begin{array}{r} 32.50'' \\ \times 15.00'' \\ \hline 487.50'' \\ +144'' \\ \hline 3.38\text{ SF} \end{array}$
-------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

$\begin{array}{r} 4.00\text{ SF} \\ + 3.38\text{ SF} \\ \hline 7.38\text{ SF} \end{array}$ <p>Signs</p>	$\begin{array}{r} 60'' \\ \times 36'' \\ \hline 2160'' \\ + 144'' \\ \hline 15\text{ SF} \end{array}$ <p>Base</p>
---------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------

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www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

3 of 12

WORK ORDER

82989

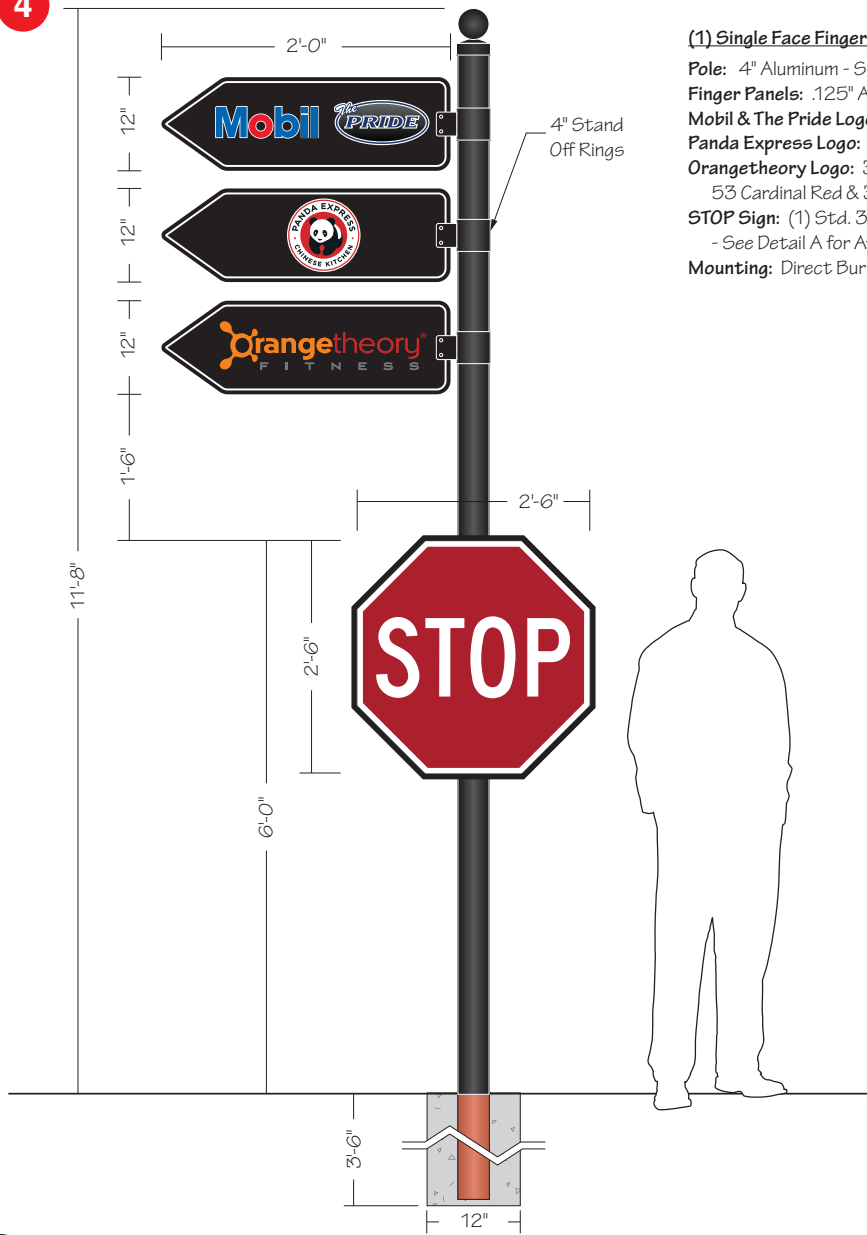
FILE NAME

PRD82989

REVISIONS:

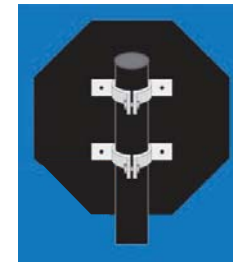
- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20 - Mobil letters / cab. depth
- 5 6.19.20
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



(1) Single Face Fingerpost Directional Sign

Pole: 4" Aluminum - Smooth - Painted Black - Ball Cap
Finger Panels: .125" Aluminum Painted Black w/ Reflective White Vinyl In-line Border
Mobil & The Pride Logos: Digitally Printed on White Vinyl Applied
Panda Express Logo: Digitally Printed on White Vinyl Applied
Orangetheory Logo: 3M 7725-14 Bright Orange, 53 Cardinal Red & 31 Medium Gray Vinyls Applied
STOP Sign: (1) Std. 30" x 30" Applied to .125" thick Black Aluminum Backer Panel
 - See Detail A for Attachment Hardware
Mounting: Direct Burial in 1'-0" dia. x 3'-6" deep Concrete Foundation



DETAIL A - Post Brackets



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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
 St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
 House / RM / KZ

DRAWN BY
 Bill Marlow

DATE
 10.23.19

SCALE
 3/4" = 1'

SHEET NO.
 4 of 12

WORK ORDER
 82989

FILE NAME
 PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20
6	
7	
8	

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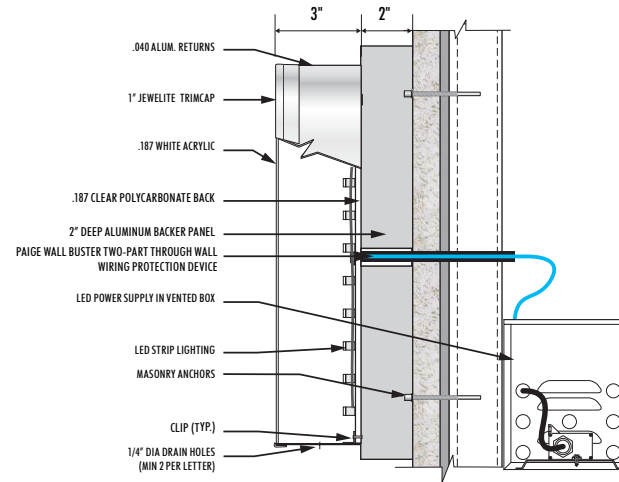
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5



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

- Panel:** 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** .125" Aluminum Painted PMS 288 Blue
- Inline Strip:** 3M 7725-10 White Vinyl
- Black/Grey Gradient:** Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face
- Letters & White In-line:** Fabricated 3" Deep Channel Letters
- "The" Returns:** .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap
- "PRIDE" & In-line Returns:** .040" Pre-finished White Aluminum - 1" White Trimcap
- Faces:** 732B White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces
- Illumination:** White LEDs with Remote 60Watt Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



01-SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

5 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

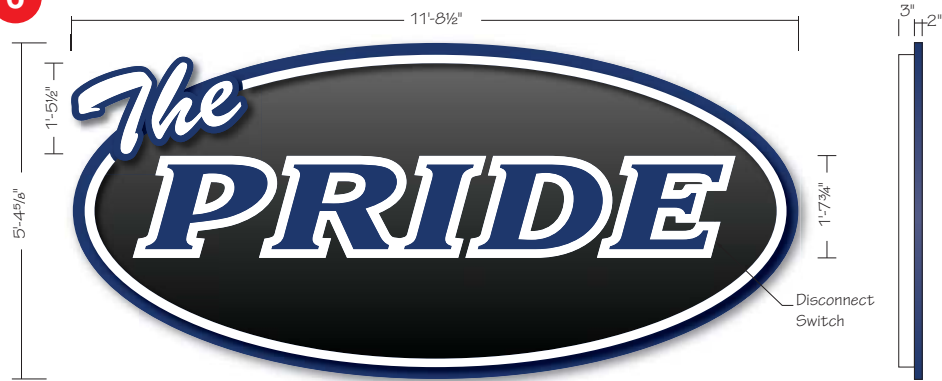


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6



(1) 5'-4 5/8" x 11'-8 1/2" x 2" Deep SF Wall Sign w/ Illuminated Channel Letters

Panel: 2" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish

Faces: .125" Aluminum Painted PMS 288 Blue

Inline Strip: 3M 7725-10 White Vinyl

Black/Grey Gradient: Digitally Printed on Orajet 3751 RA White Vinyl Applied to Face

Letters & White In-line: Fabricated 3" Deep Channel Letters

"The" Returns: .040" Aluminum Painted PMS 288 Blue- 1" White Trimcap

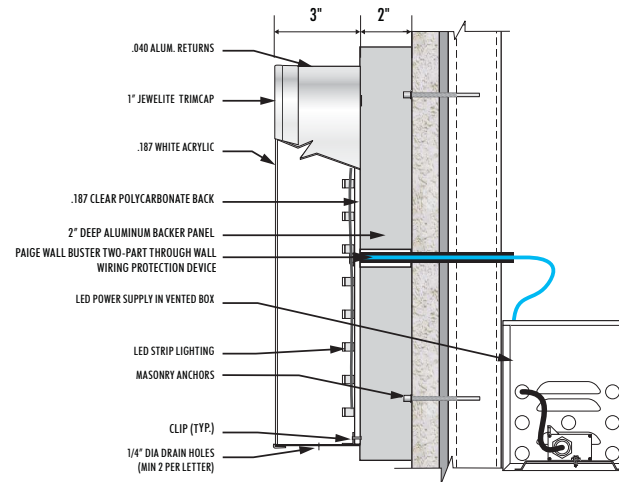
"PRIDE" & In-line Returns: .040" Pre-finished White Aluminum - 1" White Trimcap

Faces: 7328 White Acrylic w/ Avery UC 900-684T PMS 288 Blue Translucent Vinyl Applied to Faces

Illumination: White LEDs with Remote 60Watt Power Supplies

Power: Use Existing at Site

Mounting: Flush to Building with Anchors Appropriate for Wall Construction



3" DEEP U/L APPROVED LED-ILLUMINATED CHANNEL LETTER - WIREWAY MOUNT



04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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www.parvinclauss.com

PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

6 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
6	
7	
8	

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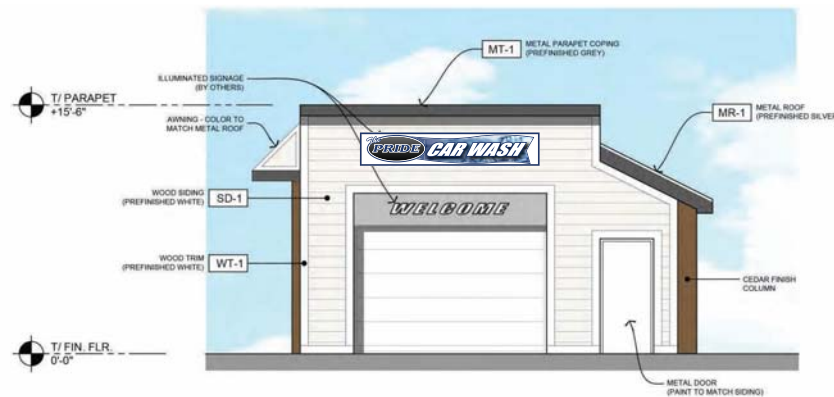
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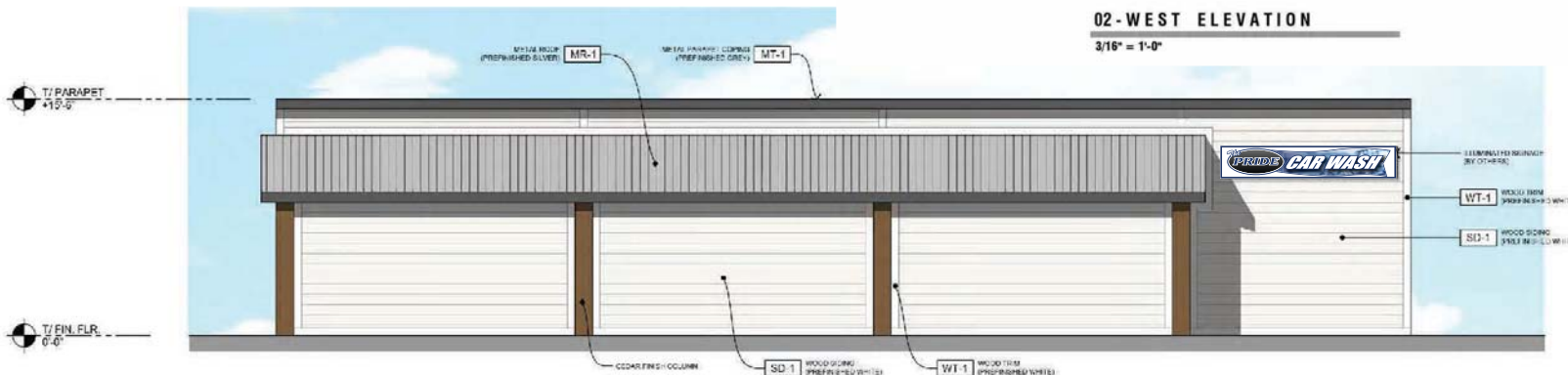
(2) 2'-1 1/2" x 11'-6" x 5" Deep SF Wall Sign

- Cabinet:** 5" Deep Fabricated Aluminum Painted PMS 288 Blue - Smooth Satin Finish
- Faces:** 3/16" White Polycarbonate
- Graphics:** Digitally Printed on Translucent White Vinyl
- Illumination:** White LEDs with 12V GOW 120/277V Power Supplies
- Power:** Use Existing at Site
- Mounting:** Flush to Building with Anchors Appropriate for Wall Construction



02 - WEST ELEVATION

3/16" = 1'-0"



04 - SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:

DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1" = 1'

SHEET NO.

7 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Sign
6	
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8	

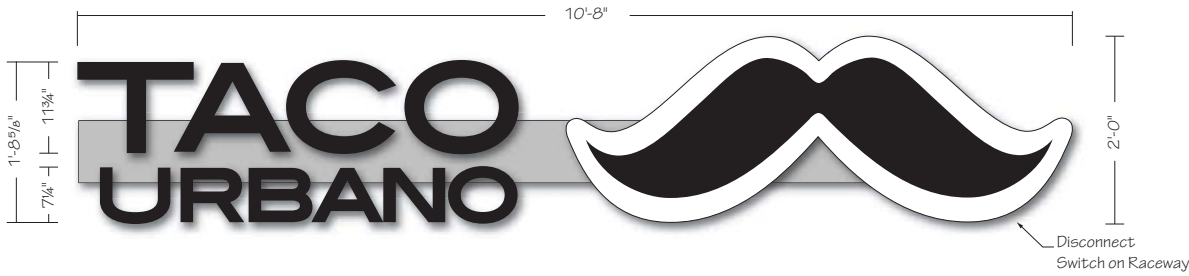
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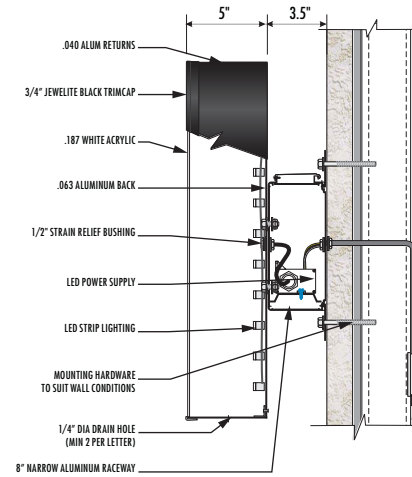
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(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway

Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction



01 - SOUTH ELEVATION

Scale: 1/8" = 1'-0"

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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:
DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/4" = 1'

SHEET NO.

8 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

1	11.04.19
2	5.18.20
3	5.19.20
4	5.26.20
5	6.19.20 - New Elevation
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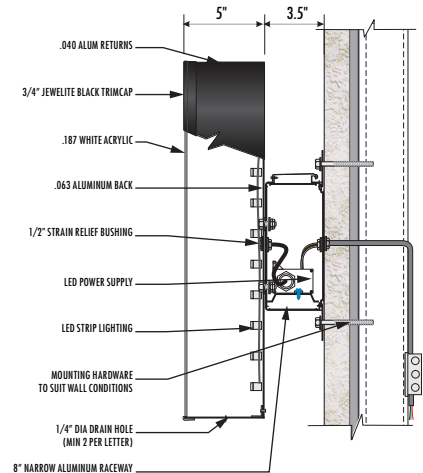
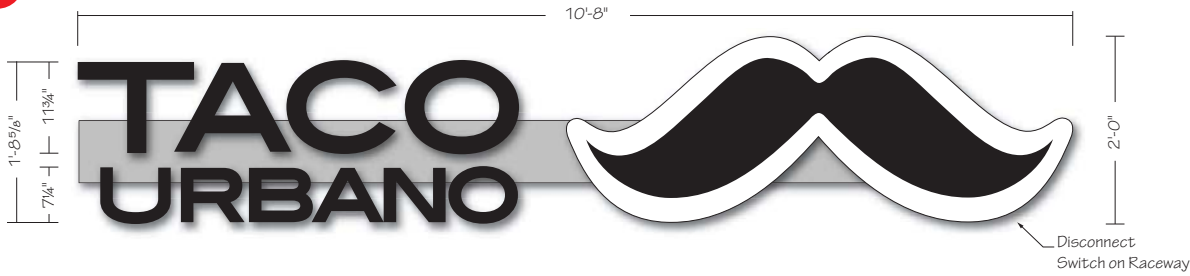


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9



(1 set) 5" Deep Illuminated Channel Letters & Logo on Raceway
Letter & Logo Returns: .040" Fabricated Aluminum Prefinished Black
Letter Faces: White Acrylic w/ 3M 3635-222 Black Perforated Vinyl Applied - 3/4" Black Trimcap
Logo Face: White Acrylic w/ 3M 7725-12 Black Vinyl Applied - 3/4" Black Trimcap
Raceway: Std. 8" Narrow - Extruded Aluminum Painted to Match Wall Color
Illumination: White LEDs with 60Watt Power Supplies in Raceway
Power: (1) 20Amp @ 120Volt Electrical Circuit Run to Site by Others
Mounting: Flush to Building with Anchors Appropriate for Wall Construction



04 - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

1/2" = 1'

SHEET NO.

9 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

- 1 11.04.19
- 2 5.18.20
- 3 5.19.20
- 4 5.26.20
- 5 6.19.20 - New Elevation
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- 8

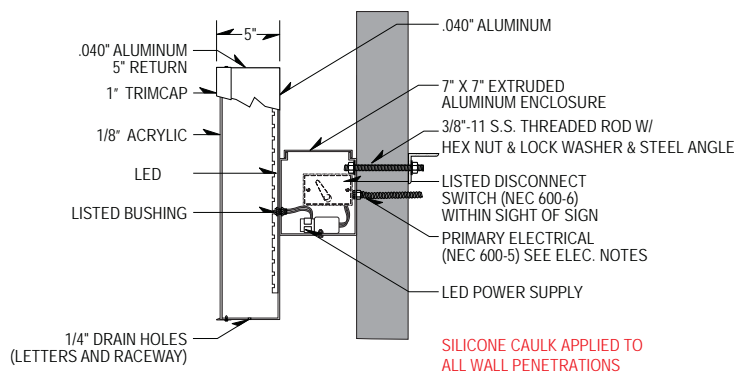
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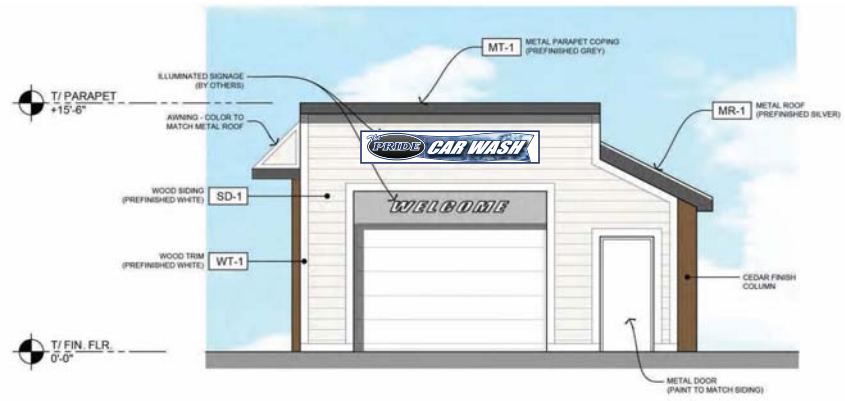


(1 set each) 5" Deep Illuminated Channel Letters on Raceways - 8.45 SF / 14.40 SF

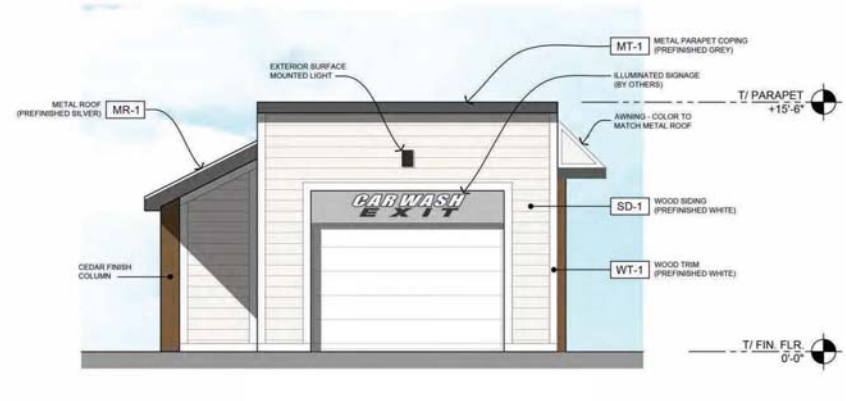
Returns: Fabricated Aluminum Painted PMS 288 Blue
Faces: #7328 White Acrylic w/ 1" Jewelite White trimcap
Vinyl: 3M 3630-157 Sultan Blue Translucent Vinyl
Raceways: Std. 7" x 7" Aluminum Painted to Match Wall Color - SW 7063 Nebulous White
Illumination: White LED
Power: (1) 20Amp @ 120Volts Electrical Circuit Run to Site by Others
Mounting: Raceways Flush Mounted to Building - Appropriate Hardware for Wall Construction

*Bottom Raceway Mount
Upside Down*

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION



02 - WEST ELEVATION
Scale: 1/8" = 1'-0"



03 - EAST ELEVATION
Scale: 1/8" = 1'-0"

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St. Charles, IL

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DATE

AUTHORIZED SIGNATURE

REPRESENTATIVE
House / RM / KZ

DRAWN BY Bill Marlow

DATE 10.23.19

SCALE 3/4" = 1'

SHEET NO. 10 of 12

WORK ORDER 82989

FILE NAME PRD82989

REVISIONS:

1	11.04.19
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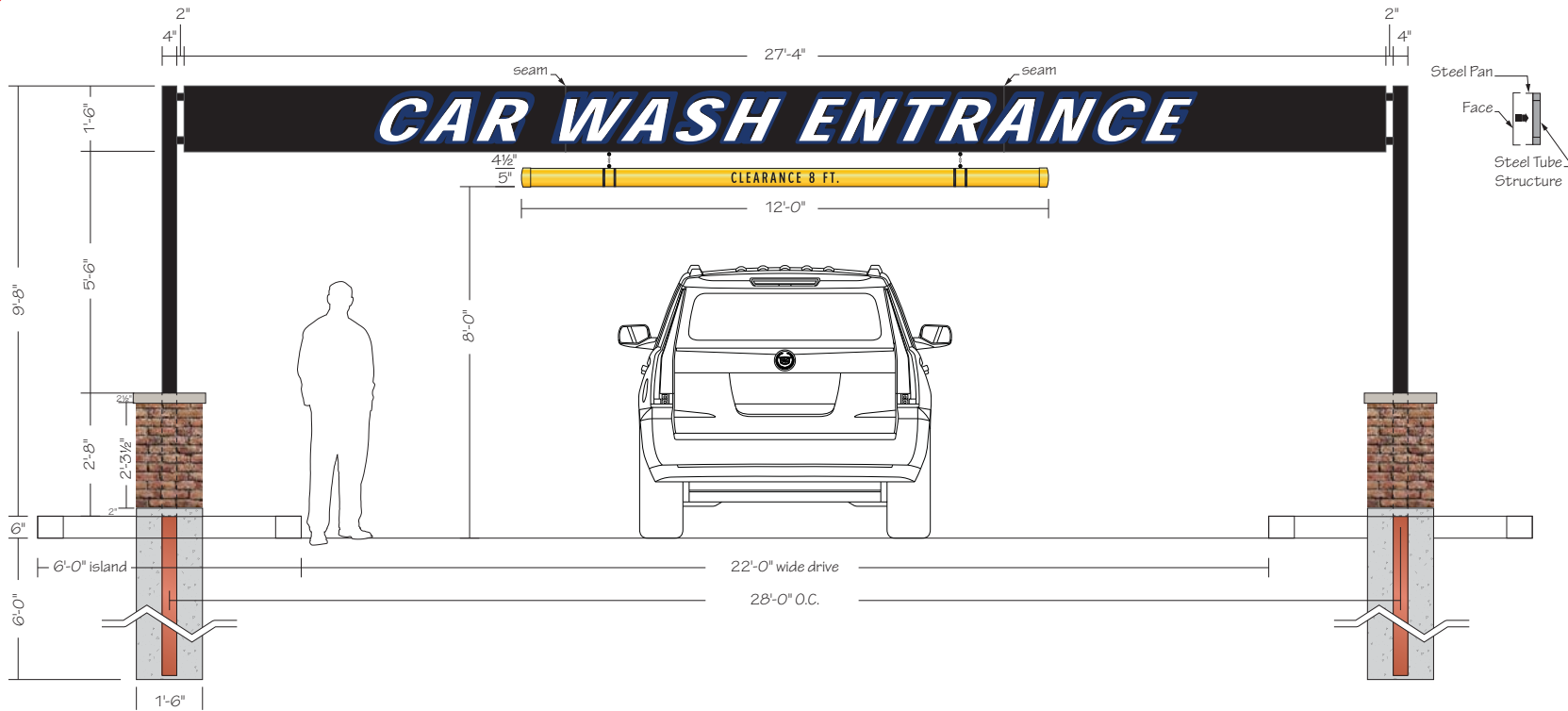
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(1) 1'-6" x 27'-4" x 2" Single Face Non-Illuminated Entrance Gateway

Cabinet: Fabricated Aluminum Painted Black - Suede Satin Finish
 - 2" x 2" Tube Internal Structure

Graphics: 3M 7725-37 Sapphire Blue & 7725-10 White Vinyls

Clearance Bar: 5" PVC Pipe w/ Caps Painted MAP 42248 Sundance Yellow

Clearance Ht. Copy & Stripes: 3M 680-85 Black Reflective Vinyl

Bases: Masonry to Match Building - Redland Bayfrost (038) Brick

- Jumbo (05) Modular: 35/8" W x 2 3/4" H x 75/8" L

Mounting: (2) 4" x 4" Tube Steel set into (2) 1'-6" dia. x 6'-0" deep Concrete Foundations

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION

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REPRESENTATIVE

House / RM / KZ

DRAWN BY

Bill Marlow

DATE

10.23.19

SCALE

3/8" = 1'

SHEET NO.

11 of 12

WORK ORDER

82989

FILE NAME

PRD82989

REVISIONS:

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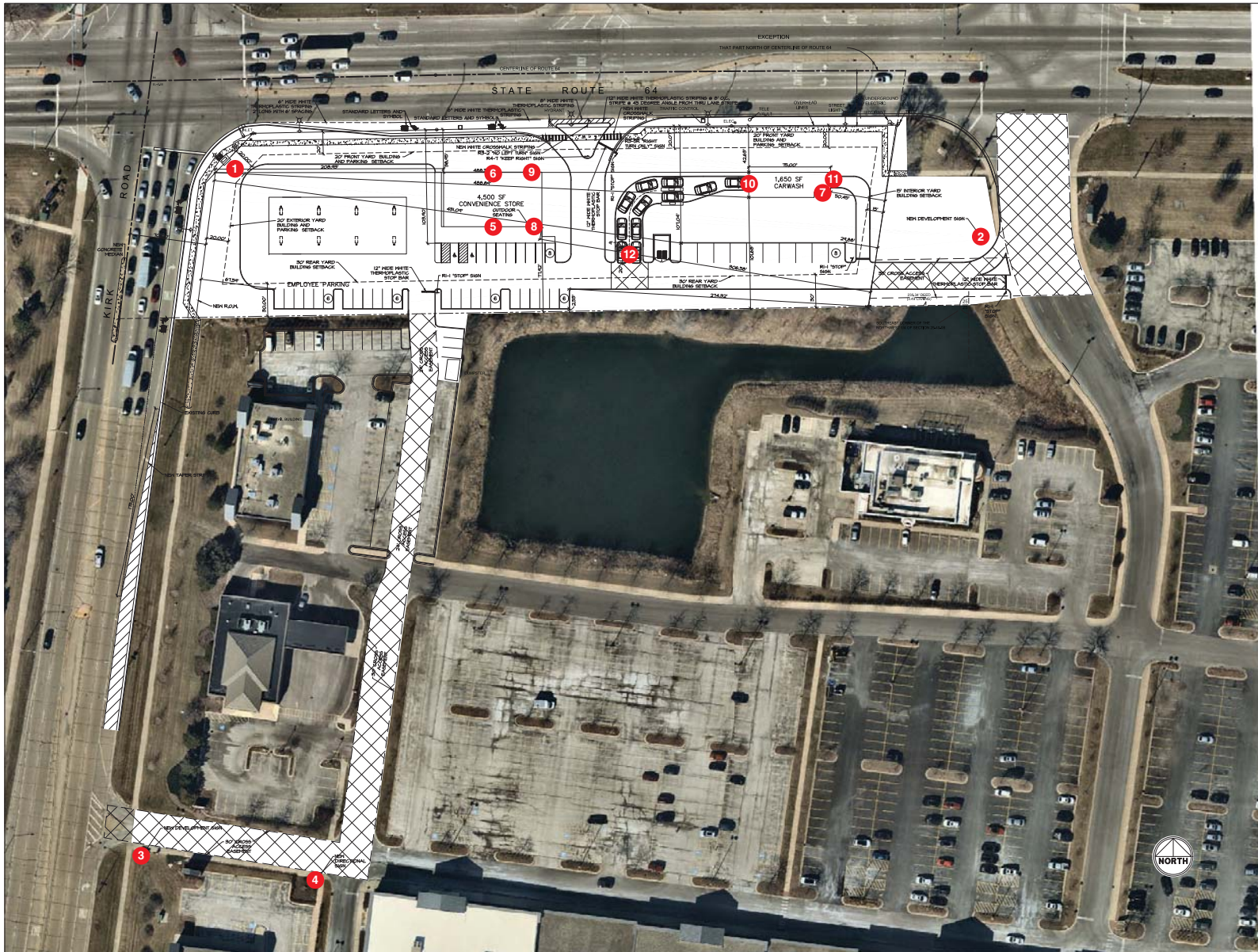
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PROJECT:



SEC Kirk Road & Main Street (Rt. 64)
St. Charles, IL

CUSTOMER APPROVAL:

DATE _____

AUTHORIZED SIGNATURE _____

REPRESENTATIVE _____

House / RM / KZ

DRAWN BY _____

Bill Marlow

DATE _____

10.23.19

SCALE _____

nts

SHEET NO. _____

12 of 12

WORK ORDER _____

82989

FILE NAME _____

PRD82989

REVISIONS:

- | | |
|---|----------|
| 1 | 11.04.19 |
| 2 | 5.18.20 |
| 3 | 5.19.20 |
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| 6 | |
| 7 | |
| 8 | |

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EXHIBIT “E”

PUD DEVIATIONS

Section 17.24.100 Drive-Through Facilities	
Stacking Lane Configuration	Two lanes of car wash vehicle stacking, as shown on the PUD Preliminary Plan.
Section 17.26.080 Building Foundation Landscaping	
Foundation Landscape Planting Beds	3 ft. along west side of convenience store building, as shown on the PUD Preliminary Plan.
Foundation Landscape Trees	3 trees along the north wall of the convenience store building and 2 trees along the north wall of the car wash building, as shown on the PUD Preliminary Plan.
Section 17.26.090 Public Street Frontage Landscaping	
Street Frontage Plantings	Less than 75% of the Main St. frontage may be landscaped, as shown on the PUD Preliminary Plan.
Table 17.28-2 Permitted Signs for Business & Mixed-Use Districts – BL, BC and BR Districts	
Freestanding Signs	3 ft. setback for monument sign at the corner of Main St. and Kirk Rd., as shown on the PUD Preliminary Plan.
Wall Signs	Four wall signs on the convenience store building, as shown on the PUD Preliminary Plan.
Section 17.28.080 Prohibited Signs	
Off-Premise Signs	Three off-premise signs to be placed in the Main Street Commons PUD: one monument sign at the Main St. entrance of Main Street Commons; one monument sign at the Kirk Rd. entrance of Main Street Commons; one directional sign within Main Street Commons; all as shown on the PUD Preliminary Plan

**MINUTES
CITY OF ST. CHARLES, IL
PLANNING AND DEVELOPMENT COMMITTEE
MONDAY, NOVEMBER 9, 2020 7:00 P.M.**

Members Present: Stellato (via Zoom), Silkaitis, Payleitner, Lemke, Gruber, Vitek, Pietryla, Bessner, Lewis (via Zoom)

Members Absent: Bancroft

Others Present: Mayor Rogina, Mark Koenen; City Administrator, Rita Tungare; Director of Community & Economic Development, Russell Colby; Assistant Director of Community & Economic Development, Ellen Johnson; City Planner, Rachel Hitzemann; City Planner, Ciara Miller; Econ. Dev. Planner, Fire Chief Swanson

1. CALL TO ORDER

The meeting was convened by Chair Payleitner at 7:00 p.m.

2. ROLL CALLED

Roll was called:

Present: Stellato, Silkaitis, Payleitner, Lemke, Gruber, Vitek, Pietryla, Bessner, Lewis

Absent: Bancroft

3. OMNIBUS VOTE

*4e. Recommendation to Approve and Execute an Acceptance Resolution for Public Utilities for Baker Field Subdivision (912 S. 5th St.)

Ald. Pietryla made a motion to approve omnibus item *4e on the Agenda. Seconded by Ald. Lemke.

Roll was called:

Ayes: Lewis, Stellato, Silkaitis, Lemke, Gruber, Vitek, Pietryla, Bessner

Absent: Bancroft

Recused:

Nays:

Motion passed 8-0

4. COMMUNITY & ECONOMIC DEVELOPMENT

a. Presentation of a Concept Plan for 1401 Prairie St., Mr. A's Prairie Drive-Thru

Mr. Johnson presented the Executive Summary posted in the meeting packet.

Kate McCracken, representative for Andy Patel (applicant), explained the intended use of the property and the request for a drive-thru. She noted it is currently a non-conforming use.

Ald. Silkaitis stated he would not be in favor of the drive-thru because he can't see adding something to a non-conforming property.

Ald. Lemke noted he was not comfortable adding Prairie Street to the ordinance.

Ald. Gruber was fine with the drive-thru and would be open to having a discussion on changing the ordinance.

Ald. Vitek said she was okay with the drive-thru and changing the ordinance. She did not think it would have a negative impact on the area in terms of increased traffic or crime.

Ald. Pietryla was not against the concept of a drive-thru, but he expressed concern over the expansion of an existing non-conformity. He asked if the applicant would still be open to making improvements if the drive-thru was not approved. Ms. McCracken stated it would be a function of cost and benefits. She would not expect the same level of improvements to be done without the drive-thru.

Ald. Bessner said he was in favor of changing the ordinance. He suggested improving the direction of the spotlights on a nearby pole. Ms. McCracken noted a lighting plan would be part of the improvements if the drive-thru were approved.

Ald. Stellato said he would not be in favor of the drive-thru in the proposed area.

Ald. Lewis was opposed to the drive-thru and amending the ordinance.

Chair Payleitner noted 6 aldermen were against changing the ordinance, 2 are fine with changing it, and one that is neutral.

- b. Consideration of a request for City support to amend an Intergovernmental Agreement (IGA) with Kane County regarding Randall Road

Mr. Colby presented the Executive Summary posted in the meeting packet.

Jack Frigo, 1559 Wincanton Dr., Deerfield, real estate advisor for Semersky Enterprises, and representing owner 2202 W. Main Street, LLC, gave a presentation explaining the proposed right in/out access on Randall Road.

Andrew Goodman, GMX Real Estate Group, 3000 Dundee Road, Northbrook, representing Thorntons, provided information regarding their plans to open a location at the northwest corner of Randall Rd. and Main St.

Ald. Silkaitis preferred to get the County to agree before the City grants approval. Mr. Frigo noted the County requested the opposite.

Ald. Lemke was not opposed to revising the agreement. He said this is already being done at other sites that are much smaller. Ald. Gruber agreed.

Ald. Lewis asked if there was any liability or risk to the City and expressed concern as to why the County wanted the City's view first. Mr. Frigo thought the County views the City as the more significant beneficiary.

Ald. Lemke made a motion to recommend City support to amend the Intergovernmental Agreement with Kane County regarding Randall Road, and direct staff to present a resolution for City Council action. Seconded by Ald. Pietryla.

Roll was called:

Ayes: Lewis, Stellato, Lemke, Gruber, Vitek, Pietryla, Bessner

Absent: Bancroft

Recused:

Nays: Silkaitis

Motion passed 7-1

- c. Plan Commission recommendation to approve a Map Amendment, Special Use for Planned Unit Development, and PUD Preliminary Plan for Pride of Kane County, southeast corner of Kirk Rd. and E. Main St.

Mr. Colby presented the Executive Summary posted in the meeting packet.

Dan Soltis, CIMA Developers, stated they are ready to move forward and they agree with the language in the draft agreement.

Ald. Vitek made a motion to recommend approval of the zoning applications. Seconded by Ald. Gruber.

Roll was called:

Ayes: Stellato, Gruber, Vitek, Bessner

Absent: Bancroft

Recused:

Nays: Lewis, Silkaitis, Lemke, Pietryla, Payleitner

Motion failed 4-5

Staff will proceed with scheduling the City Council public hearing for the Annexation Agreement.

- d. Plan Commission recommendation to approve a PUD Amendment for Kirk Trace PUD (Cumberland Green Electronic Changeable Copy Sign)

Ms. Hitzemann presented the Executive Summary posted in the meeting packet.

Ald. Stellato made a motion to approve a PUD Amendment for Kirk Trace PUD (Cumberland Green Electronic Changeable Copy Sign). Seconded by Ald. Bessner.

Roll was called:

Ayes: Lewis, Stellato, Silkaitis, Lemke, Gruber, Vitek, Pietryla, Bessner

Absent: Bancroft

Recused:

Nays:

Motion passed 8-0

5. ADDITIONAL BUSINESS – None.

6. EXECUTIVE SESSION – None.

7. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS - None.

8. ADJOURNMENT - Ald. Bessner made a motion to adjourn at 7:57 p.m. Seconded by Ald. Pietryla. Approved unanimously by voice vote. Motion Carried.



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 9.1

Title:

City of St. Charles Fuel Tax Receipts September, 2020 – Information Only

Presenter:

Chris Minick, Director of Finance

Meeting: City Council

Date: December 7, 2020

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Attachments *(please list):*

FY 20/21 City of St. Charles Local Fuel Tax Receipts – September, 2020

Recommendation/Suggested Action *(briefly explain):*

None – For Information Only

**City of St. Charles
Local Fuel Tax Receipts
Fiscal Year 2020-2021**

LIABILITY PERIOD	PAYMENT RECEIVED	TOTAL REVENUE RECEIVED
May-20	June-20	\$ 27,659.79
June-20	July-20	\$ 36,576.69
July-20	August-20	\$ 39,361.18
August-20	September-20	\$ 39,209.55
September-20	October-20	\$ 35,045.64
October-20	November-20	\$ -
November-20	December-20	\$ -
December-20	January-21	\$ -
January-21	February-21	\$ -
February-21	March-21	\$ -
March-21	April-21	\$ -
April-21	May-21	\$ -
TOTALS		\$ 177,852.85

The local fuel tax rate is two cents per gallon (\$0.02/gallon) and applies to motor fuel retail purchases within the City of St. Charles.



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 9.2

Title: Video Gaming Statistics – Information Only
Presenter: Jim Keegan, Chief of Police

Meeting: City Council

Date: December 7, 2020

Proposed Cost: \$

Budgeted Amount: \$

Not Budgeted:

Executive Summary *(if not budgeted please explain):*

Latest statistics on video gaming and what businesses have been approved by the state and city staff of the St. Charles Police Department, pending applications into the state for approval, and January, 2012 – October, 2020 report for St. Charles Video Gaming Revenue as of October, 2020.

Attachments *(please list):*

Table – Current Licensed Video Gaming Establishments/Pending Applicants
Illinois Gaming Board Video Gaming Report – January, 2012 – October, 2020
Illinois Gaming Board Video Gaming Report - October, 2020

Recommendation/Suggested Action *(briefly explain):*

None – For Information Only

City of St. Charles
Video Gaming Statistics
October, 2020

LICENSED ESTABLISHMENTS	CORPORATION NAME	ADDRESS	
Alexanders Café	Alexanders Café, Inc.	1650 W. Main St.	St. Charles
Alibi Bar & Grill	Alibi Bar & Grill, Ltd.	12 N. 3rd St.	St. Charles
Alley 64	Alley 64, Inc.	212 W. Main St.	St. Charles
Arcada Theatre	Onesti Entertainment Corp.	105 E Main St.	St. Charles
Rookies 1, All American Pub	BK & MM Ventures, LLC	1545 W. Main St.	St. Charles
The Crazy Fox Bar & Grille	Crazy Fox, LLC	104 E Main St	St. Charles
Dawn's Beach Hut	Dawn's Café, LTD	8 N Third St.	St. Charles
Main Street Pub	Main Street Pub	204 W Main St	St. Charles
The Filling Station	Health Nuts, Ltd.	300 W Main St.	St. Charles
St. Charles Bowl	LA Manson Corp.	2520 W Main St	St. Charles
Second Street Tavern	Mark VII Hospitality, Ltd.	221 S. 2nd Street	St. Charles
Brown's Chicken	NLHM, Inc.	1910 Lincoln Highway	St. Charles
The Evergreen Pub & Grill	Northwoods Pub and Grill, LLC	1400 W Main St	St. Charles
R House	SCMC Enterprises, Inc.	214 W Main Street	St. Charles
Riverside Pizza & Pub	Riverside Pizza, Inc.	102 E Main St	St. Charles
Spotted Fox Ale House	St. Charles Sports LLC	3615 E. Main St.	St. Charles
Tap House Grill	Tap House Grill St. Charles, LLC	3341 W Main St.	St. Charles
St. Charles Moose Lodge 1368	St Charles Moose Lodge 1368	2250 W Rt. 38	St. Charles

PENDING ESTABLISHMENTS	CORPORATION NAME	ADDRESS	
Charlie Fox's Pizzeria & Eatery	Charlie Fox's Pizzeria & Eatery, LLC	3341 W Main Street, #7	St. Charles
Salerno's on the Fox	Salerno and Sons, Inc.	320 N 2 nd Street	St. Charles
Throwbacks Sports Bar	Jay's & N Inc.	1890 W Main Street	St. Charles
Yummy Place	Yummy Place Burrito Los Asaderos, Inc.	2400 E. Main Street	St. Charles

**ILLINOIS GAMING BOARD
VIDEO GAMING REPORT**

St. Charles

October 2020

11/16/2020

11:22 am

Municipality	Establishment	License Number	VGT Count	VGT Wagering Activity			VGT Income			VGT Tax Distribution			
				Amount Played	Amount Won	Net Wagering Activity	Funds In	Funds Out	Net Terminal Income	NTI Tax	State Share	Municipality Share	
St. Charles	Alley 64, INC.	160702383	5	\$528,081.05	\$480,647.20	\$47,433.85	\$173,729.00	\$126,295.15	\$47,433.85	\$16,127.51	\$13,755.82	\$2,371.69	
St. Charles	BK & MM VENTURES LLC	160702415	5	\$470,926.54	\$435,943.64	\$34,982.90	\$127,626.00	\$92,643.10	\$34,982.90	\$11,894.23	\$10,145.08	\$1,749.15	
St. Charles	CRAZY FOX, LLC	170701805	5	\$177,907.32	\$168,542.16	\$9,365.16	\$55,131.00	\$45,765.95	\$9,365.05	\$3,184.17	\$2,715.91	\$468.26	
St. Charles	DAWN'S CAFE, LTD.	160702454	2	\$2,490.24	\$2,178.42	\$311.82	\$1,149.00	\$837.18	\$311.82	\$106.03	\$90.44	\$15.59	
St. Charles	HDF Entertainment, LLC	180702511	5	\$150,542.47	\$132,289.14	\$18,253.33	\$51,777.00	\$33,523.67	\$18,253.33	\$6,206.13	\$5,293.46	\$912.67	
St. Charles	HEALTH NUTS, LTD.	180702391	5	\$125,615.81	\$118,534.46	\$7,081.35	\$43,465.00	\$36,383.65	\$7,081.35	\$2,407.63	\$2,053.57	\$354.06	
St. Charles	L. A. MANSON CORPORATION	160703156	5	\$182,037.63	\$166,480.62	\$15,557.01	\$60,215.00	\$44,657.99	\$15,557.01	\$5,289.41	\$4,511.55	\$777.86	
St. Charles	MARK VII HOSPITALITY LIMITED	170702225	5	\$424,511.92	\$394,997.95	\$29,513.97	\$119,298.00	\$89,784.03	\$29,513.97	\$10,034.81	\$8,559.11	\$1,475.70	
St. Charles	NLHM Inc.	160702847	4	\$117,122.24	\$103,738.25	\$13,383.99	\$34,474.00	\$21,090.01	\$13,383.99	\$4,550.54	\$3,881.34	\$669.20	
St. Charles	Northwoods Pub & Grill Inc.	160702493	5	\$617,843.34	\$545,361.73	\$72,481.61	\$206,468.00	\$133,986.39	\$72,481.61	\$24,643.71	\$21,019.63	\$3,624.08	
St. Charles	Riverside Pizza, Inc.	160702553	5	\$213,768.29	\$195,313.69	\$18,454.60	\$68,922.00	\$50,467.40	\$18,454.60	\$6,274.52	\$5,351.80	\$922.72	
St. Charles	SAINT CHARLES SPORTS, LLC	160702605	5	\$302,936.49	\$279,735.65	\$23,200.84	\$83,553.00	\$60,352.16	\$23,200.84	\$7,888.28	\$6,728.24	\$1,160.04	
St. Charles	SCMC ENTERPRISES, INC.	190702660	5	\$15,794.69	\$14,338.64	\$1,456.05	\$7,466.00	\$6,010.90	\$1,455.10	\$494.75	\$421.99	\$72.76	
St. Charles	St. Charles Lodge No. 1368, Loyal Order of Moose	160802392	5	\$76,681.01	\$71,599.27	\$5,081.74	\$24,496.00	\$19,414.26	\$5,081.74	\$1,727.81	\$1,473.72	\$254.09	
St. Charles	TAP HOUSE GRILL ST. CHARLES, LLC	170702248	5	\$210,080.38	\$196,726.42	\$13,353.96	\$63,201.00	\$49,846.99	\$13,354.01	\$4,540.44	\$3,872.73	\$667.71	
REPORT TOTAL:			15 Establishments	71	\$3,616,339.42	\$3,306,427.24	\$309,912.18	\$1,120,970.00	\$811,058.83	\$309,911.17	\$105,369.97	\$89,874.39	\$15,495.58

**ILLINOIS GAMING BOARD
VIDEO GAMING REPORT**

St. Charles

January 2012 - October 2020

11/16/2020

11:22 am

Municipality	Establishment	License Number	VGT Count	VGT Wagering Activity			VGT Income			VGT Tax Distribution		
				Amount Played	Amount Won	Net Wagering Activity	Funds In	Funds Out	Net Terminal Income	NTI Tax	State Share	Municipality Share
St. Charles	A'Salute' Inc.	160702452	2	\$2,091,601.88	\$1,923,949.67	\$167,652.21	\$577,279.00	\$409,626.79	\$167,652.21	\$50,296.35	\$41,913.65	\$8,382.70
St. Charles	ALIBI BAR & GRILL LTD.	150704430	5	\$448,186.83	\$410,300.14	\$37,886.69	\$160,719.00	\$122,831.26	\$37,887.74	\$11,705.71	\$9,819.24	\$1,886.47
St. Charles	Alley 64, INC.	160702383	5	\$23,934,886.84	\$22,218,423.33	\$1,716,463.51	\$8,273,538.00	\$6,557,000.24	\$1,716,537.76	\$531,578.76	\$445,751.64	\$85,827.12
St. Charles	BK & MM VENTURES LLC	160702415	5	\$18,286,390.01	\$16,854,207.74	\$1,432,182.27	\$5,502,257.00	\$4,069,993.49	\$1,432,263.51	\$443,272.71	\$371,659.33	\$71,613.38
St. Charles	CRAZY FOX, LLC	170701805	5	\$3,026,076.32	\$2,735,083.73	\$290,992.59	\$913,354.00	\$622,361.41	\$290,992.59	\$93,389.21	\$78,839.51	\$14,549.70
St. Charles	DAWN'S CAFE, LTD.	160702454	2	\$971,673.92	\$891,880.95	\$79,792.97	\$314,384.00	\$234,589.68	\$79,794.32	\$24,302.84	\$20,313.09	\$3,989.75
St. Charles	DAWN'S VOODOO ROOM, LTD.	170702226	3	\$131,639.05	\$114,092.97	\$17,546.08	\$48,098.00	\$30,551.92	\$17,546.08	\$5,263.94	\$4,386.62	\$877.32
St. Charles	GOLREN ENTERPRISES, INC.	160703386	5	\$2,363,441.27	\$2,169,177.13	\$194,264.14	\$822,559.00	\$628,294.86	\$194,264.14	\$58,279.92	\$48,566.66	\$9,713.26
St. Charles	HDF Entertainment, LLC	180702511	5	\$1,674,678.38	\$1,520,696.57	\$153,981.81	\$589,626.00	\$435,644.19	\$153,981.81	\$50,791.83	\$43,092.76	\$7,699.07
St. Charles	HEALTH NUTS, LTD.	180702391	5	\$2,208,276.54	\$2,025,470.42	\$182,806.12	\$823,971.00	\$641,164.88	\$182,806.12	\$58,350.47	\$49,210.06	\$9,140.41
St. Charles	KILLOUGH LLC	160702650	4	\$323,128.13	\$297,527.05	\$25,601.08	\$127,669.00	\$102,067.92	\$25,601.08	\$7,680.48	\$6,400.40	\$1,280.08
St. Charles	L. A. MANSON CORPORATION	160703156	5	\$5,358,720.42	\$4,897,258.24	\$461,462.18	\$1,642,966.00	\$1,181,503.82	\$461,462.18	\$142,515.73	\$119,442.39	\$23,073.34
St. Charles	MARK VII HOSPITALITY LIMITED	170702225	5	\$14,912,155.09	\$13,776,918.34	\$1,135,236.75	\$4,360,650.00	\$3,225,386.75	\$1,135,263.25	\$357,695.32	\$300,932.05	\$56,763.27
St. Charles	NLHM Inc.	160702847	4	\$4,099,855.78	\$3,759,398.31	\$340,457.47	\$1,098,239.00	\$757,781.53	\$340,457.47	\$107,237.42	\$90,214.40	\$17,023.02
St. Charles	Northwoods Pub & Grill Inc.	160702493	5	\$15,237,882.07	\$13,914,964.13	\$1,322,917.94	\$5,093,785.00	\$3,770,867.06	\$1,322,917.94	\$411,692.49	\$345,546.41	\$66,146.08
St. Charles	Panman, LLC	160703257	5	\$20,167.79	\$17,246.68	\$2,921.11	\$8,129.00	\$5,207.89	\$2,921.11	\$876.43	\$730.36	\$146.07
St. Charles	Pub 47 St Charles Inc.	180700422	5	\$451,127.23	\$407,893.79	\$43,233.44	\$150,077.00	\$106,843.56	\$43,233.44	\$12,970.29	\$10,808.58	\$2,161.71
St. Charles	Ram Restaurant Group Inc.,	180700820	5	\$332,529.45	\$302,216.78	\$30,312.67	\$121,311.00	\$90,998.02	\$30,312.98	\$9,094.21	\$7,578.51	\$1,515.70
St. Charles	Riverside Pizza, Inc.	160702553	5	\$7,947,168.24	\$7,292,684.56	\$654,483.68	\$2,657,015.00	\$2,002,302.26	\$654,712.74	\$204,807.35	\$172,071.65	\$32,735.70
St. Charles	SAINT CHARLES SPORTS, LLC	160702605	5	\$11,808,141.04	\$10,876,457.03	\$931,684.01	\$3,427,362.00	\$2,495,676.93	\$931,685.07	\$291,844.30	\$245,259.91	\$46,584.39
St. Charles	SCMC ENTERPRISES, INC.	190702660	5	\$75,045.68	\$68,948.63	\$6,097.05	\$32,573.00	\$26,475.75	\$6,097.25	\$2,062.35	\$1,757.49	\$304.86
St. Charles	St. Charles Lodge No. 1368, Loyal Order of Moose	160802392	5	\$6,502,429.94	\$5,910,394.77	\$592,035.17	\$2,201,210.00	\$1,609,174.83	\$592,035.17	\$181,578.77	\$151,976.75	\$29,602.02
St. Charles	TAP HOUSE GRILL ST. CHARLES, LLC	170702248	5	\$5,517,728.56	\$5,105,613.42	\$412,115.14	\$1,714,507.00	\$1,302,389.65	\$412,117.35	\$130,972.29	\$110,366.23	\$20,606.06
REPORT TOTAL:				\$127,722,930.46	\$117,490,804.38	\$10,232,126.08	\$40,661,278.00	\$30,428,734.69	\$10,232,543.31	\$3,188,259.17	\$2,676,637.69	\$511,621.48