

AGENDA
ST. CHARLES CITY COUNCIL MEETING
RAYMOND P. ROGINA, MAYOR

MONDAY, DECEMBER 16, 2019 – 7:00 P.M.
CITY COUNCIL CHAMBERS
2 E. MAIN STREET

- 1. Call to Order.**
- 2. Roll Call.**
- 3. Invocation.**
- 4. Pledge of Allegiance.**
- 5. Presentations**
 - Promotion of Walter (Chip) Voelsch to Fire Captain of the City of St. Charles Fire Department.
 - Promotion of Michael Pyzyna to Fire Lieutenant of the City of St. Charles Fire Department.
 - Recognize local author, Elizabeth Gerlach, for writing Ben's Adventures, a book series to honor her son.
- 6. Omnibus Vote. Items with an asterisk (*) are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.**
- *7. Motion to accept and place on file minutes of the December 2, 2019 Public Hearing concerning the passage of the Proposed 2019 Tax Levy for the City of St. Charles.**
- *8. Motion to accept and place on file minutes of the December 2, 2019 Public Hearing concerning the passage of the Proposed 2019 Special Service Area Property Tax Levies for the City of St. Charles.**
- *9. Motion to accept and place on file minutes of the regular City Council meeting held December 2, 2019.**
- *10. Motion to approve and authorize issuance of vouchers from the Expenditure Approval List for the period of 11/18/2019-12/1/2019 in the amount of \$2,085,349.51.**

I. New Business

- A. Presentation of possible change in 708 Mental Health Board policy, and solicitation of Council Feedback.

II. Committee Reports

A. Government Operations

- *1. Motion to approve an **Ordinance** Adopting an Amended Policy Prohibiting Sexual Harassment.
- *2. Motion to approve a **Resolution** and Amplification Equipment for the 2020 St. Patrick's Day Parade on March 14, 2020.
- *3. Motion to approve a **Resolution** Authorizing the Mayor and City Clerk of the City of St. Charles to approve a Contract with Gartner Consulting for IT research and consulting services for an additional year.
- *4. Motion to accept and place on file minutes from the December 2, 2019 Government Operations Committee meeting.

B. Government Services

- *1. Motion to accept and place on file the Minutes of the November 25, 2019 Government Services Committee Meeting.

C. Planning and Development

- 1. Motion to approve a **Resolution** Authorizing the Mayor and City Council to Enter Into a Certain Annexation Agreement (Brooke Toria Estates).
- 2. Motion to approve an **Ordinance** Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Brooke Toria Estates).
- *3. Motion to accept and place on file Plan Commission Resolution No. 15-2018 A Resolution Recommending Approval of a Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan and Final Plat of Subdivision for Smith Road Estates (V&M Investment and Remodeling Group LLC).
- 4. Motion to approve an **Ordinance** Granting Approval of a Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Brooke Toria Estates.
- *5. Motion to accept and place on file Plan Commission Resolution No. 8-2019 A Resolution Recommending Approval of a Special Use to Amend Ordinance 2006-Z-3 (Legacy Business Center PUD) and PUD Preliminary Plan for East Side Retail Center (J. Trisis Holding, LLC).
- *6. Motion to approve an **Ordinance** Amending Ordinance No. 2006-Z-3 (Legacy Business Center of St. Charles PUD) and Granting Approval of a PUD Preliminary Plan for East Side Retail Center (Legacy Business Center of St. Charles PUD).

- *7. Motion to approve an **Ordinance** Extending the Residential Sprinkler Moratorium until the adoption of the new 2021 codes or December 31, 2021, whichever occurs first.
- *8. Motion to accept and place on file Plan Commission Resolution 24-2019 A Resolution Recommending Approval of an Amendment to Special Use Ordinance No. 2018-Z-34 for Extreme Clean Express Car Wash, 1625 W. Main St. (MKD Enterprises of St. Charles LLC).
- *9. Motion to approve an **Ordinance** Amending Ordinance 2018-Z-34 and Granting Approval of an Amendment to Special use for Car Wash for Extreme Clean Express Carwash, 1625 W. Main St.
- *10. Motion to approve a **Resolution** Authorizing the Mayor and City Clerk of the City of St. Charles to approve a Plat of Abrogation and Plat of Easement for Extreme Clean Express Car Wash (1625 W. Main St.).
- *11. Motion to approve an **Ordinance** granting approval of a Minor Change to PUD Preliminary Plat for Meijer Outlot PUD.
- *12. Motion to accept and place on file minutes of the December 9, 2019 Planning & Development Committee meeting.

11. Additional Items from Mayor, Council, Staff, or Citizens

A. Executive Session

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

12. Adjournment

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

**MINUTES
CITY OF ST. CHARLES
PUBLIC HEARING MEETING
RAYMOND P. ROGINA, MAYOR**

**MONDAY, DECEMBER 2, 2019 – 6:45 P.M.
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. Call to Order by Mayor Rogina at 6:45

2. Roll Call
Present –Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Lewis
Absent – None

3. Public Hearing concerning passage of the proposed 2019 Tax Levy for the City of St. Charles.
Finance Director Chris Minick spoke and reviewed the information that was presented in prior meetings and welcomed questions and comments from the council and the public. No questions were asked and no written messages were sent in through the Clerk's Office.

4. Adjournment at 6:50, Motion by Ald. Lemke and Seconded by Ald. Turner
VOICE VOTE: AYE – UNANIMOUS NAY-NONE

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**MINUTES
CITY OF ST. CHARLES
PUBLIC HEARING MEETING
RAYMOND P. ROGINA, MAYOR**

**MONDAY, DECEMBER 2, 2019 – 6:45 P.M.
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. Call to Order by Mayor Rogina at 6:50
2. Roll Call
Present –Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Lewis
Absent – None
3. Public Hearing to Approve Proposed Property Tax Levies for the City of St. Charles:

Special Service Area 1A;
Special Service Area 1B;
Special Service Area 5;
Special Service Area 6;
Special Service Area 7;
Special Service Area 10;
Special Service Area 13;
Special Service Area 21;
Special Service Area 57

Finance Director Chris Minick spoke and reviewed the information that was presented in prior meetings and welcomed questions and comments from the council and the public. No questions were asked and no written messages were sent in through the Clerk's Office.

4. Adjournment at 6:55, Motion by Ald. Stellato and Seconded by Ald. Bessner
VOICE VOTE: AYE – UNANIMOUS NAY-NONE

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**MINUTES FOR THE MEETING OF THE ST. CHARLES CITY COUNCIL
MONDAY, DECEMBER 2, 2019 – 7:00 P.M.**

**CITY COUNCIL CHAMBER, CITY OF ST. CHARLES
2 E. MAIN STREET, ST. CHARLES, IL 60174**

1. **Call to Order** at 7pm by Mayor Rogina
2. **Roll Call**
Present –Stellato, Silkaitis, Payleitner, Lemke, Bancroft, Vitek, Pietryla, Bessner, Lewis
Absent – Turner
3. **Invocation** by Ald. Payleitner
4. **Pledge of Allegiance** by Ald. Lemke
5. **Presentations**
 - Big Hearts of Fox Valley Proclamation, second week December
 - Recognize Avenue Two Barber Shop on their 50th anniversary
 - Recognize the St. Charles East Boys Cross Country State Champions 2019

6. **Omnibus Vote. Items with an asterisk (*)** are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

- *7. Motion by Ald. Stellato and seconded by Ald. Silkaitis to accept and place on file minutes of the regular City Council meeting held November 18, 2019.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- *8. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve and authorize issuance of vouchers from the Expenditure Approval List for the period of 11/4/2019-11/17/2019 in the amount of \$7,816,948.54.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- *9.** Motion by Ald. Stellato and seconded by Ald. Silkaitis to accept and place on file the Treasurer's Report for period(s) ending August 31, 2019.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis
NAY: NONE
ABSENT: NONE
ABSTAIN: NONE

MOTION CARRIED

- *10.** Motion by Ald. Stellato and seconded by Ald. Silkaitis to accept and place on file the Treasurer's Report for period(s) ending September 30, 2019.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis
NAY: NONE
ABSENT: NONE
ABSTAIN: NONE

MOTION CARRIED

- *11.** Motion by Ald. Stellato and seconded by Ald. Silkaitis to accept and place on file the Treasurer's Report for period(s) ending October 31, 2019.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis
NAY: NONE
ABSENT: NONE
ABSTAIN: NONE

MOTION CARRIED

I. New Business

- A.** Presentation of a Recommendation from Mayor Rogina to appoint Angela Churchill to the Natural Resources Commission, motion by Ald. Pietryla and seconded by Ald. Turner.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis
NAY: NONE
ABSENT: NONE
ABSTAIN: NONE

MOTION CARRIED

- B.** Presentation of a Recommendation from Mayor Rogina to appoint Daniel Stellato to the Liquor Control Commission, motion by Ald. Bessner and seconded by Ald. Turner

ROLL CALL VOTE: AYE: Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: Stellato

ABSTAIN: NONE

MOTION CARRIED

- C. Motion by Ald. Turner and seconded by Ald. Stellato to approve an Amendment to an Intergovernmental Agreement Between Certain Taxing Districts located in St. Charles Township Regarding Property Tax Evaluation Appeals.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- D. Motion by Ald. Stellato and seconded by Ald. Bessner to approve an **Ordinance 2019-M-34** for the Annual Tax Levy.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- E. Motion by Ald. Lewis and seconded by Ald. Bessner to approve an **Ordinance 2019-M-35** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 1A (Central Business District).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- F. Motion by Ald. Bessner and seconded by Ald. Pietryla to approve an **Ordinance 2019-M-36** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 1B (Downtown District).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- G. Motion by Ald .Pietryla and seconded by Ald. Vitek to approve an **Ordinance 2019-M-37** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 5 (Central Manufacturing District).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- H. Motion by Ald. Vitek and seconded by Ald. Bancroft to approve an **Ordinance 2019-M-38** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 6 (Cambridge East).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- I. Motion by Ald. Bancroft and seconded by Ald. Turner to approve an **Ordinance 2019-M-39** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 7 (Central Manufacturing District).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- J. Motion by Ald. Turner and seconded by Ald. Lemke to approve an **Ordinance 2019-M-40** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 10 (Royal Fox I).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- K. Motion by Ald. Lemke and seconded by Ald. Payleitner to approve an **Ordinance 2019-M-41** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 13 (Red Gate).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- L. Motion by Ald. Payleitner and seconded by Ald. Silkaitis to approve an **Ordinance 2019-M-42** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 21.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- M. Motion by Ald. Silkaitis and seconded by Ald. Stellato to approve an **Ordinance 2019-M-43** for the Levy and Assessment of Taxes for the Year 2019 in and for the City of St. Charles Special Service Area Number 57 (Legacy Business Center)

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

II. Committee Reports

- A. **Government Operations**
- *1. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve An **Ordinance 2019-M-44** Amending Title 5 “Business Licenses and Regulations”, Chapter 5.08 “Alcoholic Beverages”; Sections 5.08.090 “License Classifications”; 5.08.100 “License Fees; Late Night Fees; Fees Established”. And 5.08.130 “License – Hours of Sale” of the St. Charles Municipal Code. (D-11 Theater License)

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- *2. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve a Proposal for a new Class D-11 Liquor License Application for the Charlestowne Theatre located at 2740 E Main Street, St. Charles.
- *3. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve a Proposal for a new Class B Liquor License Application for House of Tokyo Two Corporation dba House of Tokyo located at 2762 E Main Street, St. Charles.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- *4. Motion by Ald. Stellato and seconded by Ald. Silkaitis to accept and place on file minutes from the November 18, 2019 Government Operations Committee meeting.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

B. Government Services

- *1. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve an **Ordinance 2019-M-45** Approving an Intergovernmental Agreement Between the County of Kane and City of St. Charles for the Jurisdictional Transfer of Dunham Road (IL 64 to Kirk Road).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- *2. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve a **Resolution 2019-118** Authorizing the Mayor and City Clerk of the City of St. Charles to approve a Professional

Service Agreement for the IL Rt. 31 and Roosevelt Sewer Main Design to Engineering Enterprises Inc.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Lewis
NAY: NONE
ABSENT: NONE
ABSTAIN: NONE

MOTION CARRIED

- *3. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve a **Resolution 2019-119** Authorizing the Mayor and City Clerk of the City of St. Charles to approve a Budget Addition for the Purchase of Bulk Road Salt.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Lewis
NAY: NONE
ABSENT: NONE
ABSTAIN: NONE

MOTION CARRIED

- *4. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve a **Resolution 2019-120** Authorizing the Mayor and City Clerk of the City of St. Charles to authorize the purchase of Untreated Rock Salt from Compass Minerals through the State of Illinois Joint Purchasing Program.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Lewis
NAY: NONE
ABSENT: NONE
ABSTAIN: NONE

MOTION CARRIED

C. Planning and Development

- *1. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve a **Resolution 2019-121** Authorizing the Mayor and City Clerk of the City of St. Charles to Execute a Fourth Amendment to Intergovernmental Agreement by and between the City of St. Charles, Kane and DuPage Counties, Illinois, and the City of Geneva, Kane County, Illinois (Parkside Reserves, 1337 Geneva Road).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Lewis
NAY: NONE
ABSENT: NONE
ABSTAIN: NONE

MOTION CARRIED

- *2. Motion by Ald. Stellato and seconded by Ald. Silkaitis to accept and place on file Plan Commission Resolution No. 18-2019 A Resolution Recommending Approval of a Final Plat of Subdivision for Parkside Reserves, 1337 Geneva Rd.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

- *3. Motion by Ald. Stellato and seconded by Ald. Silkaitis to approve An **Ordinance 2019-Z-23** Granting Approval of a Preliminary/Final Plat of Subdivision for Parkside Reserves, 1337 Geneva Road.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

4. Motion by Ald. Payleitner and seconded by Ald. Stellato to approve An **Ordinance 2019-Z-24** Granting Approval of a Minor Change to PUD Preliminary Plan for Prairie Centre PUD (Residential Buildings D1 and D2 and Clubhouse).

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

Payleitner, Lewis, and Pietryla all thanked the Prairie Center reps for their willingness to listen, adapt, and change as needed.

- *5. Motion by Ald. Stellato and seconded by Ald. Silkaitis to accept and place on file minutes of the November 11, 2019 Planning & Development Committee meeting.

ROLL CALL VOTE: AYE: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla,
Bessner, Lewis

NAY: NONE

ABSENT: NONE

ABSTAIN: NONE

MOTION CARRIED

12. Additional Items from Mayor, Council, Staff, or Citizens

Tracy Edwards – From Rise Against Hunger to introduce the organization, it is new to the area, one of 28 divisions and, the most local to the area. They strive to fight hunger and provide meal packs, the model is somewhat similar to Feed My Starving Children but it is focused to local fight. They do mobile work through meal packing and will work that way. They are working on long-term solutions through agriculture, water, and emergence response. They are located near Routes 64 & 59 and want to introduce themselves to the community.

Mayor Rogina – I would like to have a follow up meeting down the line and discuss further.

A. Executive Session

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

13. Adjournment motion by Ald. Turner and seconded by Ald. Silkaitis at 7:42

VOICE VOTE: AYE – UNANIMOUS NAY-NONE ABSENT: NONE MOTION CARRIED

Charles Amenta, City Clerk

CERTIFIED TO BE A TRUE COPY OF ORIGINAL

Charles Amenta, City Clerk

12/6/2019

**CITY OF ST CHARLES
COMPANY 1000
EXPENDITURE APPROVAL LIST**

11/18/2019 - 12/1/2019

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
109	AREA BLACK SOIL INC	104756	1,632.00	11/21/2019	9208	TOPSOIL
	AREA BLACK SOIL INC Total		1,632.00			
114	DG HARDWARE	104085	53.41	11/21/2019	76673/F	MISC SUPPLIES - FD
		104085	79.06	11/21/2019	76681/F	MISC SUPPLIES - FD
		104085	25.19	11/21/2019	76689/F	MISC SUPPLIES - FD
		104085	77.48	11/21/2019	76697/F	LADDER/HOOK ROPE
		103989	22.78	11/21/2019	76714/F	MISC SUPPLIES
	DG HARDWARE Total		257.92			
139	AFLAC		19.80	11/22/2019	ACAN191122140404FI	AFLAC Cancer Insurance
			38.58	11/22/2019	ACAN191122140404PI	AFLAC Cancer Insurance
			97.37	11/22/2019	ACAN191122140404PI	AFLAC Cancer Insurance
			25.20	11/22/2019	ADIS191122140404FD	AFLAC Disability and STD
			22.85	11/22/2019	ADIS191122140404FN	AFLAC Disability and STD
			92.20	11/22/2019	ADIS191122140404PD	AFLAC Disability and STD
			25.80	11/22/2019	APAC191122140404PI	AFLAC Personal Accident
			17.04	11/22/2019	ASPE191122140404PV	AFLAC Specified Event (PRP)
			77.96	11/22/2019	AVOL191122140404PI	AFLAC Voluntary Indemnity
			63.94	11/22/2019	AVOL191122140404PV	AFLAC Voluntary Indemnity
			75.82	11/22/2019	ADIS191122140404PV	AFLAC Disability and STD
			8.10	11/22/2019	AHIC191122140404FD	AFLAC Hospital Intensive Care
			8.10	11/22/2019	AHIC191122140404PD	AFLAC Hospital Intensive Care
			33.84	11/22/2019	AHIC191122140404PV	AFLAC Hospital Intensive Care
			57.23	11/22/2019	APAC191122140404FI	AFLAC Personal Accident
			55.50	11/22/2019	APAC191122140404PI	AFLAC Personal Accident
	AFLAC Total		719.33			
145	AIR ONE EQUIPMENT INC		18,890.00	11/18/2019	149854	EQUIP FOR NEW E101
		106192	175.41	11/21/2019	149763	SUSPENDERS
		106317	196.18	11/21/2019	149855	TASK FORCE TIPS

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	AIR ONE EQUIPMENT INC Total		<u>19,261.59</u>			
156	A L EQUIPMENT COMPANY INC	105266	13,808.00	11/21/2019	194096	SIMFLO MODEL
	A L EQUIPMENT COMPANY INC Total		<u>13,808.00</u>			
178	ALPHAGRAPHICS	105458	357.23	11/21/2019	102682	FOLDOVER NOTE CARDS - PD
	ALPHAGRAPHICS Total		<u>357.23</u>			
221	ANDERSON PEST CONTROL		630.03	12/01/2019	5427390	MONTHLY CHARGES
	ANDERSON PEST CONTROL Total		<u>630.03</u>			
279	ATLAS CORP & NOTARY SUPPLY CO		39.00	11/21/2019	112019CP	C A PLEMONS
	ATLAS CORP & NOTARY SUPPLY CO Total		<u>39.00</u>			
369	BLUE GOOSE SUPER MARKET INC	106569	79.98	11/26/2019	110819B	FOOD FOR SEMINAR - HR
		106569	279.72	11/26/2019	111819A	LUNCH FOR SEMINAR - HR
	BLUE GOOSE SUPER MARKET INC Total		<u>359.70</u>			
376	INTERNATIONAL CODE COUNCIL INC	106364	133.25	11/21/2019	1001106829	IECC BOOKS
	INTERNATIONAL CODE COUNCIL INC Total		<u>133.25</u>			
382	BOUND TREE MEDICAL LLC	106456	429.20	11/21/2019	83401955	CURAPLEX GLOVES
	BOUND TREE MEDICAL LLC Total		<u>429.20</u>			
393	BRICOR CONSULTING		2,400.00	11/21/2019	FY 2020	FY 2020 PER SIGNED AGREEMI
	BRICOR CONSULTING Total		<u>2,400.00</u>			
480	CERTIFIED AUTO REPAIR INC	104036	220.00	11/21/2019	174536	TOWING PD
		104036	-220.00	11/21/2019	174536	TOWING PD
	CERTIFIED AUTO REPAIR INC Total		<u>0.00</u>			
491	CHADS TOWING & RECOVERY INC					

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		104037	145.00	11/21/2019	66278	TOWING - PD
	CHADS TOWING & RECOVERY INC Total		145.00			
513	CHRISTOPHER B BURKE ENG LTD	105714	6,690.50	11/21/2019	154206	7TH AVE/OAK ST STUDY
	CHRISTOPHER B BURKE ENG LTD Total		6,690.50			
518	CLERK OF THE 18TH		2,500.00	11/21/2019	400758	B BOND = D S USHER
	CLERK OF THE 18TH Total		2,500.00			
564	COMCAST OF CHICAGO INC		709.75	11/21/2019	CW.190912.02	DAMAGE @ 2705 ROYAL ST JAI
	COMCAST OF CHICAGO INC Total		709.75			
579	COMMUNICATIONS DIRECT INC	105545	10,162.24	11/21/2019	SR118252	REMOVE ER EQUIPMENT FROM
		104805	554.70	11/21/2019	SR118253	ELEC EQUIPMENT REPAIR
	COMMUNICATIONS DIRECT INC Total		10,716.94			
590	CONTINENTAL WEATHER SERVICE	106019	750.00	11/21/2019	192618	WINTER WEATHER NOV19-MAF
	CONTINENTAL WEATHER SERVICE Total		750.00			
620	CRAINS CHICAGO BUSINESS		84.00	11/26/2019	R0134804	RENEW SUBSCRIPTION = R TU
	CRAINS CHICAGO BUSINESS Total		84.00			
642	CUSTOM WELDING & FAB INC	106162	1,062.55	11/21/2019	190200	CUSTOM FD EXTINGUISHER TR
		106559	626.85	11/21/2019	190204	FABRICATE TRAILER
		106560	538.60	11/21/2019	190205	REPAIR EXHAUST ENGINE 107
	CUSTOM WELDING & FAB INC Total		2,228.00			
646	PADDOCK PUBLICATIONS INC		42.00	11/21/2019	20228	PUBLIC HEARINGS 6-20-19
	PADDOCK PUBLICATIONS INC Total		42.00			
653	W S DARLEY & CO	104851	1,228.00	11/21/2019	17377084	HELMET FIRE DEPT

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	W S DARLEY & CO Total		<u>1,228.00</u>			
683	DE MAR TREE & LANDSCAPE SVC	104058	11,072.17	11/21/2019	7875	ELEC TREE TRIMMING
	DE MAR TREE & LANDSCAPE SVC Total		<u>11,072.17</u>			
716	DIXON ENGINEERING INC	102776	14,444.20	11/21/2019	19-6027A	300,000 GAL SPHERE 10TH ST
		105517	6,722.10	11/21/2019	19-6027B	300,000 GAL SPHERE 10TH ST
	DIXON ENGINEERING INC Total		<u>21,166.30</u>			
750	DUKANE CONTRACT SERVICES	104049	1,893.66	11/21/2019	128375	MONTHLY BILLING NOVEMBER
		104049	4,848.47	11/21/2019	128376	MONTHLY BILLING NOVEMBER
		104049	9,675.00	11/21/2019	128377	MONTHLY BILLING POLICE DEF
		104049	7,115.84	11/21/2019	128378	MONTHLY BILLING NOVEMBER
		104049	1,748.34	11/21/2019	128384	MONTHLY BILLING NOVEMBER
	DUKANE CONTRACT SERVICES Total		<u>25,281.31</u>			
788	ELECTRIC CONDUIT	104708	80,631.87	11/21/2019	19-4960	AERIAL FIBER PLACEMENT
	ELECTRIC CONDUIT Total		<u>80,631.87</u>			
789	ANIXTER INC	106477	1,337.69	11/21/2019	227280031	INVENTORY ITEMS
		106658	2,371.14	11/26/2019	4441762-01	INVENTORY ITEMS
	ANIXTER INC Total		<u>3,708.83</u>			
870	FIRE PENSION FUND		493.63	11/22/2019	FP1%191122140404FC	Fire Pension 1% Fee
			339.33	11/22/2019	FPND191122140404FC	Fire Pension - non deferred
			4,140.66	11/22/2019	FRP2191122140404FC	Fire Pension Tier 2
			15,117.29	11/22/2019	FRPN191122140404FC	Fire Pension
	FIRE PENSION FUND Total		<u>20,090.91</u>			
892	ENNIS-FLINT TRADING INC	106421	1,129.60	11/21/2019	240994	FLINT PACKS
	ENNIS-FLINT TRADING INC Total		<u>1,129.60</u>			
894	FLOLO CORPORATION	106417	301.00	11/21/2019	442211	SLEEVES

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	FLOLO CORPORATION Total		<u>301.00</u>			
944	GALLS LLC	104041	29.65	11/21/2019	014118704	UNIFORMS - PD
	GALLS LLC Total		<u>29.65</u>			
989	GORDON FLESCH CO INC		1,067.20	11/21/2019	IN12762974	MONTHLY BILLING NOVEMBER
			423.07	11/21/2019	IN12764385	MONTHLY SVC
	GORDON FLESCH CO INC Total		<u>1,490.27</u>			
1031	HAMPTON LENZINI & RENWICK INC	104259	2,100.00	11/21/2019	000020192140	STC NATIVE MANAGEMENT
	HAMPTON LENZINI & RENWICK INC Total		<u>2,100.00</u>			
1036	HARRIS BANK NA		1,599.00	11/22/2019	UNF 191122140404FD	Union Dues - IAFF
	HARRIS BANK NA Total		<u>1,599.00</u>			
1055	HEINZ BROTHERS INC	106533	3,850.00	11/21/2019	188185002	CUSTOM PLANTER IN HOUSE
	HEINZ BROTHERS INC Total		<u>3,850.00</u>			
1083	HITCHCOCK DESIGN GROUP	103398	540.00	11/21/2019	23784	STC SVC FACILITY LANDSCP D
	HITCHCOCK DESIGN GROUP Total		<u>540.00</u>			
1133	IBEW LOCAL 196		152.00	11/22/2019	UNE 191122140404PV	Union Due - IBEW
			820.17	11/22/2019	UNEW191122140404P	Union Due - IBEW - percent
	IBEW LOCAL 196 Total		<u>972.17</u>			
1136	ICMA RETIREMENT CORP		447.01	11/22/2019	112219	PLAN 109830 ICMA
			221.04	11/22/2019	C401191122140404CA	401A Savings Plan Company
			399.97	11/22/2019	C401191122140404CD	401A Savings Plan Company
			224.65	11/22/2019	RTHP191122140404PI	Roth 457 - Percent
			10.00	11/22/2019	RTHA191122140404CI	Roth 457 - Dollar Amount
			50.00	11/22/2019	RTHA191122140404FI	Roth 457 - Dollar Amount
			35.00	11/22/2019	RTHA191122140404HI	Roth 457 - Dollar Amount
			705.00	11/22/2019	RTHA191122140404PI	Roth 457 - Dollar Amount

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			60.00	11/22/2019	RTHA191122140404PV	Roth 457 - Dollar Amount
			269.31	11/22/2019	RTHP191122140404FI	Roth 457 - Percent
			25.00	11/22/2019	ROTH191122140404FI	Roth IRA Deduction
			100.00	11/22/2019	ROTH191122140404FI	Roth IRA Deduction
			211.50	11/22/2019	ROTH191122140404HI	Roth IRA Deduction
			290.00	11/22/2019	ROTH191122140404IS	Roth IRA Deduction
			1,620.76	11/22/2019	ROTH191122140404PI	Roth IRA Deduction
			455.00	11/22/2019	ROTH191122140404PI	Roth IRA Deduction
			3,485.31	11/22/2019	ICMP191122140404FD	ICMA Deductions - Percent
			1,130.43	11/22/2019	ICMP191122140404FN	ICMA Deductions - Percent
			1,141.80	11/22/2019	ICMP191122140404IS	ICMA Deductions - Percent
			2,853.46	11/22/2019	ICMP191122140404PC	ICMA Deductions - Percent
			1,436.07	11/22/2019	ICMP191122140404PV	ICMA Deductions - Percent
			210.00	11/22/2019	ROTH191122140404CI	Roth IRA Deduction
			1,330.77	11/22/2019	ICMA191122140404HF	ICMA Deductions - Dollar Amt
			1,790.00	11/22/2019	ICMA191122140404IS	ICMA Deductions - Dollar Amt
			6,796.27	11/22/2019	ICMA191122140404PC	ICMA Deductions - Dollar Amt
			4,288.77	11/22/2019	ICMA191122140404PV	ICMA Deductions - Dollar Amt
			76.38	11/22/2019	ICMP191122140404CA	ICMA Deductions - Percent
			70.37	11/22/2019	ICMP191122140404CI	ICMA Deductions - Percent
			804.96	11/22/2019	E401191122140404PD	401A Savings Plan Employee
			987.45	11/22/2019	E401191122140404PV	401A Savings Plan Employee
			300.00	11/22/2019	ICMA191122140404CA	ICMA Deductions - Dollar Amt
			3,636.54	11/22/2019	ICMA191122140404CI	ICMA Deductions - Dollar Amt
			2,980.77	11/22/2019	ICMA191122140404FD	ICMA Deductions - Dollar Amt
			1,080.00	11/22/2019	ICMA191122140404FN	ICMA Deductions - Dollar Amt
			221.02	11/22/2019	E401191122140404CA	401A Savings Plan Employee
			399.97	11/22/2019	E401191122140404CD	401A Savings Plan Employee
			474.35	11/22/2019	E401191122140404FD	401A Savings Plan Employee
			550.06	11/22/2019	E401191122140404FN	401A Savings Plan Employee
			254.34	11/22/2019	E401191122140404HR	401A Savings Plan Employee
			299.26	11/22/2019	E401191122140404IS	401A Savings Plan Employee
			474.35	11/22/2019	C401191122140404FD	401A Savings Plan Company
			550.04	11/22/2019	C401191122140404FN	401A Savings Plan Company
			254.34	11/22/2019	C401191122140404HR	401A Savings Plan Company
			299.26	11/22/2019	C401191122140404IS	401A Savings Plan Company
			804.96	11/22/2019	C401191122140404PD	401A Savings Plan Company
			987.45	11/22/2019	C401191122140404PV	401A Savings Plan Company

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	ICMA RETIREMENT CORP Total		<u>45,092.99</u>			
1155	ILLINOIS FIRE CHIEFS ASSOC					
		105416	480.00	11/21/2019	BP-19003	CLASS = S REHAK
		105522	480.00	11/21/2019	BP-19004	CLASSES = C THOMAS
		105672	320.00	11/21/2019	BP-19005	CLASS = C TINSLEY
	ILLINOIS FIRE CHIEFS ASSOC Total		<u>1,280.00</u>			
1179	ILLINOIS ASSOC CHIEF OF POLICE					
			57.00	11/26/2019	5333	CLASS = DC MAHAN
	ILLINOIS ASSOC CHIEF OF POLICE Total		<u>57.00</u>			
1202	ILLINOIS EPA					
			500.00	11/26/2019	FIRST ST LOT#2	SITE REMEDIATION APP 1ST S
	ILLINOIS EPA Total		<u>500.00</u>			
1220	STAN IGLEHART					
			158.96	11/26/2019	112019	REIMB ASE TEST MATERIALS
	STAN IGLEHART Total		<u>158.96</u>			
1223	INITIAL IMPRESSIONS EMBROIDERY					
		106215	110.60	11/21/2019	23532	SHIRTS/EMBROIDERY
		104042	27.80	11/21/2019	23694	EMBROIDERY
		104042	-27.80	11/21/2019	23694	EMBROIDERY
		104340	27.80	11/21/2019	23694R	EMBROIDERY
		106234	86.70	11/21/2019	24323	INVENTORY ITEMS
	INITIAL IMPRESSIONS EMBROIDERY Total		<u>225.10</u>			
1225	INSIGHT PUBLIC SECTOR					
		106393	1,788.00	11/21/2019	1100697721	SINGLEWIRE TECH SUPPORT
	INSIGHT PUBLIC SECTOR Total		<u>1,788.00</u>			
1240	INTERSTATE BATTERY SYSTEM OF					
		106464	337.90	11/21/2019	80012977	INVENTORY ITEMS
	INTERSTATE BATTERY SYSTEM OF Total		<u>337.90</u>			
1247	INTERNATIONAL ECONOMIC					
			435.00	11/26/2019	210661-2020	MBRSHP = R TUNGARE
	INTERNATIONAL ECONOMIC Total		<u>435.00</u>			
1260	ILLINOIS PUBLIC WORKS MUTUAL					

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		106484	250.00	11/21/2019	393	MEMBERSHIP 2020
	ILLINOIS PUBLIC WORKS MUTUAL Total		250.00			
1286	JG UNIFORMS INC					
		104043	215.06	11/21/2019	64313	UNIFORMS - R CLARK
		104043	240.50	11/21/2019	64314	UNIFORMS - MCCOWAN
		104043	240.50	11/21/2019	64315	UNIFORMS - J SCHOMER
		104043	389.45	11/21/2019	64316	UNIFORMS - MAJEWSKI
		104043	240.50	11/21/2019	64317	UNIFORMS - SCHOMER
	JG UNIFORMS INC Total		1,326.01			
1324	KANE MCKENNA & ASSOCIATES					
		102454	1,493.75	11/21/2019	16705	RE: PHEASANT RUN TIF/BD
		98576	75.00	11/21/2019	16706	RE: STC RANDALL ROAD
	KANE MCKENNA & ASSOCIATES Total		1,568.75			
1327	KANE COUNTY FAIR					
			382.13	11/21/2019	FY 2020	MANION PROPERTY DEBT PAY
	KANE COUNTY FAIR Total		382.13			
1482	ARTHUR J LOOTENS & SON INC					
		106280	7,032.98	11/21/2019	33475	ASPHALT PATCH RT25-31-14TH
		106280	6,446.71	11/21/2019	33476	CONCRETE PATCH RT 64 & 3RI
		106280	7,007.71	11/21/2019	33477	CONCRETE PATCH RT64 & 14T
		106280	349.00	11/21/2019	33478	CONCRETE PATCH RT64-14TH
	ARTHUR J LOOTENS & SON INC Total		20,836.40			
1489	LOWES					
		104081	176.84	11/21/2019	01441/11-04-19	MISC SUPPLIES
		106496	248.73	11/21/2019	01472/11-05-19	INVENTORY ITEMS
		103990	13.69	11/21/2019	02276/11-05-19	MISC SUPPLIES - PS
		104081	139.16	11/21/2019	02484/10-30-19	SUPPLIES FOR ENGINE 101
		103990	55.00	11/21/2019	02606/10-31-19	MISC SUPPLIES
		104022	20.92	11/21/2019	02623/10-31-19	MISC SUPPLIES - PD
		104081	64.77	11/21/2019	02712/11-01-19	MISC SUPPLIES-FD
		106480	85.50	11/21/2019	02758/11-01-19	WATER DISPENSER
		106471	13.42	11/21/2019	961746	SHOP VAC CARTRIDGE
	LOWES Total		818.03			
1526	DON MARSCHKE					

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			106.24	11/26/2019	112319	MEN'S WAREHOUSE 11-23-19
	DON MARSCHKE Total		106.24			
1534	MARTIN IMPLEMENT SALES INC					
		105964	2,247.65	11/21/2019	A72320	MISC SUPPLIES
		105964	290.20	11/21/2019	A72494	MISC FLEET SUPPLIES
	MARTIN IMPLEMENT SALES INC Total		2,537.85			
1552	DANIEL MASSA					
			236.96	11/26/2019	110619	BOOTS HAMEL SEED 11-6-19
	DANIEL MASSA Total		236.96			
1556	NIKOS TOOLS LLC					
		106453	11.83	11/21/2019	134836	MIRROR
	NIKOS TOOLS LLC Total		11.83			
1582	MCMASTER CARR SUPPLY CO					
		106630	248.64	11/21/2019	21864719	ANCHORS FOR CONCRETE
	MCMASTER CARR SUPPLY CO Total		248.64			
1585	MEADE ELECTRIC COMPANY INC					
		104048	1,406.34	11/21/2019	690173	TRAFFIC SIGNAL MAINT
		104066	1,960.59	11/21/2019	690301	JULY 2019 SVCS
		104066	1,974.18	11/21/2019	690302	AUGUST 2019 SVCS
		104066	2,059.57	11/21/2019	690303	SEPTEMBER 2019 SVCS
		104068	3,061.68	11/21/2019	690304	LED RETROFIT/REPAIRS
	MEADE ELECTRIC COMPANY INC Total		10,462.36			
1613	METROPOLITAN ALLIANCE OF POL					
			963.50	11/22/2019	UNP 191122140404PD	Union Dues - IMAP
			108.00	11/22/2019	UNPS191122140404PI	Union Dues-Police Sergeants
	METROPOLITAN ALLIANCE OF POL Total		1,071.50			
1651	MNJ TECHNOLOGIES DIRECT INC					
		106015	389.65	11/21/2019	0003696991	WATCHDOG MONITOR
		106357	1,457.64	11/21/2019	0003697195	BARRACUDA
		106358	2,419.56	11/21/2019	0003697196	BARRACUDA
	MNJ TECHNOLOGIES DIRECT INC Total		4,266.85			
1704	NCPERS IL IMRF					
			8.00	11/22/2019	NCP2191122140404FM	NCPERS 2

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			16.00	11/22/2019	NCP2191122140404PV	NCPERS 2
	NCPERS IL IMRF Total		24.00			
1775	RAY O'HERRON CO					
		104044	197.96	11/21/2019	1960330-IN	UNIFORMS - KRUPKE
		104044	109.13	11/21/2019	1960700-IN	UNIFORMS - C GROVE
		104044	909.61	11/21/2019	1960960-IN	UNIFORMS - PD
		104044	44.06	11/21/2019	1961346-IN	UNIFORMS - MCCOWAN
	RAY O'HERRON CO Total		1,260.76			
1797	PACE SUBURBAN BUS					
		104761	4,862.38	11/21/2019	561347	RIDE KANE JULY 2019
	PACE SUBURBAN BUS Total		4,862.38			
1822	PDC LABORATORIES INC					
		104502	40.00	11/21/2019	I9391766	QC PROGRAM
	PDC LABORATORIES INC Total		40.00			
1836	DARIN PETERSON					
			41.21	11/21/2019	111319	BOOT INSOLE REIMB
	DARIN PETERSON Total		41.21			
1851	CHARLES PIERCE					
			19.00	11/21/2019	120419	PER DIEM 12-4-19
	CHARLES PIERCE Total		19.00			
1861	POLICE PENSION FUND					
			8,196.87	11/22/2019	PLP2191122140404PD	Police Pension Tier 2
			13,980.58	11/22/2019	PLPN191122140404PE	Police Pension
			782.90	11/22/2019	PLPR191122140404PE	Police Pens Service Buyback
	POLICE PENSION FUND Total		22,960.35			
1890	LEGAL SHIELD					
			7.36	11/22/2019	PPLS191122140404FD	Pre-Paid Legal Services
			8.75	11/22/2019	PPLS191122140404FN	Pre-Paid Legal Services
			8.74	11/22/2019	PPLS191122140404IS	Pre-Paid Legal Services
			125.06	11/22/2019	PPLS191122140404PE	Pre-Paid Legal Services
	LEGAL SHIELD Total		149.91			
1898	PRIORITY PRODUCTS INC					
		104004	92.00	11/21/2019	943832	MISC FLEET SUPPLIES

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		103992	41.14	11/21/2019	944192	PARTS
	PRIORITY PRODUCTS INC Total		133.14			
1900	PROVIDENT LIFE & ACCIDENT		26.76	11/22/2019	POPT191122140404FI	Provident Optional Life
	PROVIDENT LIFE & ACCIDENT Total		26.76			
1946	RANDALL PRESSURE SYSTEMS INC					
		103987	270.52	11/21/2019	I-30266-0	MISC SUPPLIES - FLEET
		103987	115.70	11/21/2019	I-30344-0	MISC SUPPLIES - FLEET
	RANDALL PRESSURE SYSTEMS INC Total		386.22			
1953	FORT DEARBORN ENTERPRISES					
		106281	141.18	11/21/2019	110700	REPLACEMENT BLADES
	FORT DEARBORN ENTERPRISES Total		141.18			
1998	RURAL ELECTRIC SUPPLY CO OP					
		106418	176.00	11/21/2019	767694-00	INVENTORY ITEMS
		106511	966.12	11/21/2019	768521-00	INVENTORY ITEMS
		106511	483.36	11/21/2019	768522-0	INVENTORY ITEMS
	RURAL ELECTRIC SUPPLY CO OP Total		1,625.48			
2032	POMPS TIRE SERVICE INC					
		106481	60.25	11/21/2019	640076229	INVENTORY ITEMS
		106502	406.50	11/21/2019	640076256	INVENTORY ITEMS
		106491	974.00	11/21/2019	640076257	INVENTORY ITEMS
	POMPS TIRE SERVICE INC Total		1,440.75			
2059	SCOTT R SANDERS		224.52	11/26/2019	932600011607	COFFEE AND KITCHEN SUPPLI
	SCOTT R SANDERS Total		224.52			
2137	SHERWIN WILLIAMS					
		103991	124.62	11/21/2019	5734-3	PAINT SUPPLIES
	SHERWIN WILLIAMS Total		124.62			
2146	PRODUCTION PLUS GRAPHICS INC					
		106325	223.90	11/21/2019	CG-261953	INVENTORY ITEMS
	PRODUCTION PLUS GRAPHICS INC Total		223.90			
2166	SMITTY'S ON THE CORNER					

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			505.75	11/26/2019	100419	BREAKFAST - AIB
	SMITTY'S ON THE CORNER Total		<u><u>505.75</u></u>			
2169	CLARK BAIRD SMITH LLP		2,835.00	11/21/2019	11926	MONTHLY SVCS
	CLARK BAIRD SMITH LLP Total		<u><u>2,835.00</u></u>			
2200	STATE TREASURER	105558	11,852.76	11/21/2019	58089	TRAFFIC SGNL JUL~SEPT 2019
	STATE TREASURER Total		<u><u>11,852.76</u></u>			
2214	ST CHARLES CHAMBER OF COMMERCE		2,500.00	11/26/2019	176302205	SPONSOR CHARLEMAGNE AW.
	ST CHARLES CHAMBER OF COMMERCE Total		<u><u>2,500.00</u></u>			
2219	ST CHARLES EAST HIGH SCHOOL		1,253.73	11/26/2019	112119	OLYMPAID YOUTH COMM
	ST CHARLES EAST HIGH SCHOOL Total		<u><u>1,253.73</u></u>			
2226	ST CHARLES NORTH HIGH SCHOOL		3.00	11/21/2019	IN6995	OVERPAID IN#6995
	ST CHARLES NORTH HIGH SCHOOL Total		<u><u>3.00</u></u>			
2228	CITY OF ST CHARLES		107.82	11/30/2019	3-31-31065-6-1-1119	SVC 9-30 THRU 10-31-19
			116.16	11/30/2019	3-31-31067-2-1-1119	SVC 9-30 THRU 10-31-19
			84.40	11/30/2019	3-31-31068-0-2-1119	SVC 9-30 THRU 10-31-19
	CITY OF ST CHARLES Total		<u><u>308.38</u></u>			
2235	STEINER ELECTRIC COMPANY	106009	4,274.06	11/21/2019	S006473377.002	CUSTOM COLOR ADDER
		106342	141.97	11/21/2019	S006486282.001	MENS JACKETS
		106567	1,125.23	11/21/2019	S006502213.001	TOWER LIGHTING
	STEINER ELECTRIC COMPANY Total		<u><u>5,541.26</u></u>			
2300	TEMCO MACHINERY INC	104078	783.75	11/21/2019	AG72899	AIR TANKS
		104078	216.88	11/21/2019	AG72929	IA-SWITCH
		104078	125.07	11/21/2019	AG73063	CLAMP BAND MOUNT
		106529	823.13	11/21/2019	AGJ14389	CHECK ENGINE LIGHTS/CODES

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	TEMCO MACHINERY INC Total		<u>1,948.83</u>			
2301	GENERAL CHAUFFERS SALES DRIVER		163.50	11/22/2019	UNT 191122140404CD	Union Dues - Teamsters
			2,397.50	11/22/2019	UNT 191122140404PV	Union Dues - Teamsters
	GENERAL CHAUFFERS SALES DRIVER Total		<u>2,561.00</u>			
2314	3M VHS0733	106389	6,770.45	11/21/2019	9405888133	INVENTORY ITEMS
	3M VHS0733 Total		<u>6,770.45</u>			
2316	APC STORE	103995	22.13	11/21/2019	478-505067	CEMENT/BUFF SOLUTION
		103995	110.24	11/21/2019	478-505192	BATTERY
		103995	34.20	11/21/2019	478-505201	HOSE CONNECTORS
			-14.21	11/21/2019	478-505282	CRED IN#505192
		103995	105.78	11/21/2019	478-505522	COIL ON PLUG BOOT
		103995	5.48	11/21/2019	478-505551	THRTL PLT CLNR
	APC STORE Total		<u>263.62</u>			
2373	TYLER MEDICAL SERVICES	106628	500.00	11/21/2019	411988	YEARLY RANDOM FEE
		106628	650.00	11/21/2019	412178	ONSITE SERVICES
	TYLER MEDICAL SERVICES Total		<u>1,150.00</u>			
2401	UNIVERSAL UTILITY SUPPLY INC	105405	299.70	11/21/2019	3030416	STANDOFF BRACKET
		106006	2,475.00	11/21/2019	3030476	INVENTORY ITEMS
	UNIVERSAL UTILITY SUPPLY INC Total		<u>2,774.70</u>			
2403	UNITED PARCEL SERVICE		27.76	11/21/2019	0000650961459	SHIPPING
	UNITED PARCEL SERVICE Total		<u>27.76</u>			
2404	HD SUPPLY FACILITIES MAINT LTD	106501	99.97	11/21/2019	058372	INVENTORY ITEMS
	HD SUPPLY FACILITIES MAINT LTD Total		<u>99.97</u>			
2467	WALKER PARKING CONSULTANTS	103278	720.00	11/21/2019	31849200006	STC MAINTENANCE REPAIR
		105682	1,050.00	11/21/2019	31849210002	WEST PS PERIMETER

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		105444	2,468.95	11/21/2019	31855300003	CITY HALL FACADE AND ROOF
	WALKER PARKING CONSULTANTS Total		4,238.95			
2470	WAREHOUSE DIRECT					
		104033	15.12	11/21/2019	4471021-0	OFFICE SUPPLIES - PD
		104033	62.25	11/21/2019	4474926-0	POLICE DEPT OFFICE SUPPLIE
		104033	49.75	11/21/2019	4477213-0	MISC OFFICE SUPPLIES
	WAREHOUSE DIRECT Total		127.12			
2523	WILTSE GREENHOUSE LANDSCAPING					
		104229	472.00	11/21/2019	1746	MOWING/LEAF CLEAN UP
	WILTSE GREENHOUSE LANDSCAPING Total		472.00			
2527	WILLIAM FRICK & CO					
		106394	107.65	11/21/2019	551508	INVENTORY ITEMS
	WILLIAM FRICK & CO Total		107.65			
2545	GRAINGER INC					
			-82.50	11/21/2019	3018758397	CRED INV 9339689599
		106444	44.22	11/21/2019	9340515148	PRSSURE GAUGE
		106470	26.20	11/21/2019	9342370112	DRUM BUNG WRENCH ALUM
		106498	1,214.44	11/21/2019	9345601794	INVENTORY ITEMS
	GRAINGER INC Total		1,202.36			
2635	CLERK OF THE CIRCUIT COURT					
			36.00	11/22/2019	CFEE191122140404PV	Kane Co Clerk Collection Fee
	CLERK OF THE CIRCUIT COURT Total		36.00			
2637	ILLINOIS DEPT OF REVENUE					
			932.85	11/22/2019	ILST191122140404CA	Illinois State Tax
			2,250.94	11/22/2019	ILST191122140404CD	Illinois State Tax
			10,150.85	11/22/2019	ILST191122140404FD	Illinois State Tax
			1,880.77	11/22/2019	ILST191122140404FN	Illinois State Tax
			868.41	11/22/2019	ILST191122140404HR	Illinois State Tax
			1,537.55	11/22/2019	ILST191122140404IS	Illinois State Tax
			11,521.93	11/22/2019	ILST191122140404PD	Illinois State Tax
			15,057.42	11/22/2019	ILST191122140404PW	Illinois State Tax
	ILLINOIS DEPT OF REVENUE Total		44,200.72			
2638	INTERNAL REVENUE SERVICE					
			798.74	11/22/2019	FICA191122140404CA	FICA Employee

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			2,855.11	11/22/2019	FICA191122140404CD	FICA Employee
			665.86	11/22/2019	FICA191122140404FD	FICA Employee
			2,267.48	11/22/2019	FICA191122140404FN	FICA Employee
			902.31	11/22/2019	FICA191122140404HR	FICA Employee
			1,959.03	11/22/2019	FICA191122140404IS	FICA Employee
			296.15	11/22/2019	MEDR191122140404H	Medicare Employer
			544.43	11/22/2019	MEDR191122140404IS	Medicare Employer
			3,959.80	11/22/2019	MEDR191122140404P	Medicare Employer
			4,840.69	11/22/2019	MEDR191122140404P'	Medicare Employer
			3,959.80	11/22/2019	MEDE191122140404PI	Medicare Employee
			4,840.69	11/22/2019	MEDE191122140404P'	Medicare Employee
			318.69	11/22/2019	MEDR191122140404C	Medicare Employer
			764.41	11/22/2019	MEDR191122140404C	Medicare Employer
			3,431.90	11/22/2019	MEDR191122140404FI	Medicare Employer
			626.37	11/22/2019	MEDR191122140404FI	Medicare Employer
			400.58	11/22/2019	MEDE191122140404C.	Medicare Employee
			764.41	11/22/2019	MEDE191122140404C	Medicare Employee
			3,431.90	11/22/2019	MEDE191122140404FI	Medicare Employee
			626.36	11/22/2019	MEDE191122140404FI	Medicare Employee
			296.15	11/22/2019	MEDE191122140404H	Medicare Employee
			544.43	11/22/2019	MEDE191122140404IS	Medicare Employee
			28,807.05	11/22/2019	FIT 191122140404FD	Federal Withholding Tax
			4,953.61	11/22/2019	FIT 191122140404FN	Federal Withholding Tax
			2,227.22	11/22/2019	FIT 191122140404HR	Federal Withholding Tax
			3,386.78	11/22/2019	FIT 191122140404IS	Federal Withholding Tax
			29,506.78	11/22/2019	FIT 191122140404PD	Federal Withholding Tax
			38,543.68	11/22/2019	FIT 191122140404PW	Federal Withholding Tax
			902.31	11/22/2019	FICE191122140404HR	FICA Employer
			1,959.03	11/22/2019	FICE191122140404IS	FICA Employer
			2,451.43	11/22/2019	FICE191122140404PD	FICA Employer
			18,209.22	11/22/2019	FICE191122140404PV	FICA Employer
			2,772.85	11/22/2019	FIT 191122140404CA	Federal Withholding Tax
			5,670.04	11/22/2019	FIT 191122140404CD	Federal Withholding Tax
			2,451.43	11/22/2019	FICA191122140404PD	FICA Employee
			18,209.22	11/22/2019	FICA191122140404PV	FICA Employee
			798.70	11/22/2019	FICE191122140404CA	FICA Employer
			2,855.11	11/22/2019	FICE191122140404CD	FICA Employer
			665.86	11/22/2019	FICE191122140404FD	FICA Employer
			2,267.52	11/22/2019	FICE191122140404FN	FICA Employer

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	INTERNAL REVENUE SERVICE Total		<u>205,733.13</u>			
2639	STATE DISBURSEMENT UNIT					
			471.13	11/22/2019	0000001911911221404	IL Child Support Amount 1
			545.00	11/22/2019	0000002061911221404	IL Child Support Amount 1
			391.78	11/22/2019	0000002921911221404	IL Child Support Amount 1
			1,555.35	11/22/2019	0000003741911221404	IL Child Support Amount 1
			369.23	11/22/2019	0000004861911221404	IL Child Support Amount 1
			700.15	11/22/2019	0000012251911221404	IL Child Support Amount 1
	STATE DISBURSEMENT UNIT Total		<u>4,032.64</u>			
2643	DELTA DENTAL					
			4,842.61	11/18/2019	111819	DELTA DENTAL CLAIMS
			4,684.82	11/25/2019	112519	DELTA DENTAL CLAIMS
	DELTA DENTAL Total		<u>9,527.43</u>			
2648	HEALTH CARE SERVICE CORP					
			210,938.52	11/19/2019	111519	MEDICAL CLAIMS
	HEALTH CARE SERVICE CORP Total		<u>210,938.52</u>			
2656	DISH DBS CORP					
		104095	102.03	11/21/2019	110519	MONTHLY CHARGES
	DISH DBS CORP Total		<u>102.03</u>			
2666	WINSTON ENGINEERING					
		104261	625.00	11/21/2019	1101CF1053	SOIL TEST @ 1425 SOUTH AVE
	WINSTON ENGINEERING Total		<u>625.00</u>			
2683	CONTINENTAL AMERICAN INSURANCE					
			59.89	11/22/2019	ACCG191122140404FI	AFLAC Accident Plan
			84.84	11/22/2019	ACCG191122140404PI	AFLAC Accident Plan
			78.06	11/22/2019	ACCG191122140404P'	AFLAC Accident Plan
	CONTINENTAL AMERICAN INSURANCE Total		<u>222.79</u>			
2756	RXBENEFITS INC.					
			100,264.56	11/21/2019	INV79577	PRESCRIPTION CLAIMS/FEES
	RXBENEFITS INC. Total		<u>100,264.56</u>			
2766	WAUBONSEE COMMUNITY COLLEGE					
			398.00	11/26/2019	S0026840	B JERALDS = CPR CLASS/CERT

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	WAUBONSEE COMMUNITY COLLEGE Total		<u>398.00</u>			
2778	CLIENT FIRST CONSULTING GROUP	106573	990.00	11/21/2019	10681	SVCS 10-4-19
	CLIENT FIRST CONSULTING GROUP Total		<u>990.00</u>			
2793	4IMPRINT INC	106324	163.72	11/21/2019	7880583	BUSINESS CARD MAGNETS
	4IMPRINT INC Total		<u>163.72</u>			
2894	HAVLICEK ACE HARDWARE LLC	106441	539.92	11/21/2019	76977/1	INVENTORY ITEMS
	HAVLICEK ACE HARDWARE LLC Total		<u>539.92</u>			
2950	MARY PORTER	106409	101.19	11/21/2019	1902686133	INVENTORY ITEMS
	MARY PORTER Total		<u>101.19</u>			
2963	RAYNOR DOOR AUTHORITY	105694	1,667.50	11/21/2019	22433	DOOR SAFETY EDGE
	RAYNOR DOOR AUTHORITY Total		<u>1,667.50</u>			
2968	ROB VICICONDI		19.00	11/21/2019	120419	PER DIEM 12-4-19
	ROB VICICONDI Total		<u>19.00</u>			
2974	HOSCHEIT MCGUIRK MCCracken &		1,000.00	11/21/2019	A25059-1-1019	LEGAL CHARGES FOR OCT 201
			202.50	11/21/2019	A25059-10-1019	LEGAL CHARGES FOR OCT 201
			4,027.50	11/21/2019	A25059-2-1019	LEGAL CHARGES FOR OCT 201
			2,700.00	11/21/2019	A25059-3-1019	LEGAL CHARGES FOR OCT 201
			810.00	11/21/2019	A25059-6-1019	LEGAL CHARGES FOR OCT 201
			360.00	11/21/2019	A25059-7-1019	LEGAL CHARGES FOR OCT 201
			3,476.25	11/21/2019	A25059-8-1019	LEGAL CHARGES FOR OCT 201
	HOSCHEIT MCGUIRK MCCracken & Total		<u>12,576.25</u>			
2990	HAWKINS INC	87	5,345.00	11/21/2019	4601577	CHEMICALS
		87	5,296.25	11/21/2019	4607908	WATER DEPT CHEMICALS
		87	996.17	11/21/2019	4609245	WTR DEPT CHEMICALS

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	HAWKINS INC Total		<u>11,637.42</u>			
3020	TALLMAN EQUIPMENT CO INC	106314	541.99	11/21/2019	3237824	VOLUTE MACHINED
	TALLMAN EQUIPMENT CO INC Total		<u>541.99</u>			
3099	MIDWEST SALT LLC	85	2,408.70	11/21/2019	P448244	INDUSTRIAL SOUTHERN CRS S
	MIDWEST SALT LLC Total		<u>2,408.70</u>			
3102	RUSH PARTS CENTERS OF ILLINOIS	106442	355.35	11/21/2019	3017122646	SWITCH DOOR CONTROL
	RUSH PARTS CENTERS OF ILLINOIS Total		<u>355.35</u>			
3127	SHI INTERNATIONAL CORP	106355	101.18	11/21/2019	B10816206	1 TB ENT SAS 7200 PRM
		106459	8,781.16	11/21/2019	B10838907	MAINTENANCE
	SHI INTERNATIONAL CORP Total		<u>8,882.34</u>			
3148	CORNERSTONE PARTNERS	104343	19,163.32	11/21/2019	CP18340	MOWING SVCS OCT 2019
		104343	798.01	11/21/2019	CP18422	MONTHLY SVCS OCT 2019
		106338	196.62	11/21/2019	CP19199	SVC @ S 2ND ST/MOSEDAL
		106338	2,826.74	11/21/2019	CP19200	SVC @ PRAIRIE ST/WESSEL C1
	CORNERSTONE PARTNERS Total		<u>22,984.69</u>			
3259	ASSURANCE AGENCY LTD		1,730.00	11/26/2019	151675	TRVLS CRIME POLICY ANNUAL
			287,475.00	11/26/2019	151677	PKG = GL-LAW-PO-EPLI
			29,215.00	11/26/2019	151826	CYBER COVERAGE CORVUS
			7,533.00	11/26/2019	151828	19-20 INLAND MARINE/EQMNT
			213,348.00	11/26/2019	151840	CHUBB PROPERTY RENEWAL
	ASSURANCE AGENCY LTD Total		<u>539,301.00</u>			
3268	LAW OFFICES OF GARY M VANEK PC		250.00	11/21/2019	110119	10-24-2019 GMV
	LAW OFFICES OF GARY M VANEK PC Total		<u>250.00</u>			
3289	VISION SERVICE PLAN OF IL NFP		22.52	11/22/2019	VSP 191122140404CA	Vision Plan Pre-tax
			44.46	11/22/2019	VSP 191122140404CD	Vision Plan Pre-tax

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			216.34	11/22/2019	VSP 191122140404FD	Vision Plan Pre-tax
			28.92	11/22/2019	VSP 191122140404FN	Vision Plan Pre-tax
			12.22	11/22/2019	VSP 191122140404HR	Vision Plan Pre-tax
			36.66	11/22/2019	VSP 191122140404IS	Vision Plan Pre-tax
			255.24	11/22/2019	VSP 191122140404PD	Vision Plan Pre-tax
			365.20	11/22/2019	VSP 191122140404PV	Vision Plan Pre-tax
	VISION SERVICE PLAN OF IL NFP Total		981.56			
3298	JENNIFER KUHN					
			1,462.50	11/21/2019	243	LEAD COORD SVCS OCT 2019
			50.05	11/21/2019	243A	LEAD MILES - OCT 2019
			286.20	11/21/2019	244	LEAD EXPENSES
	JENNIFER KUHN Total		1,798.75			
3315	IRON MOUNTAIN INC					
		105425	787.77	11/21/2019	202004262	SVCS FOR OCT 2019
	IRON MOUNTAIN INC Total		787.77			
3336	NETWORKFLEET INC					
		104600	236.60	11/21/2019	OSV000001939217	MONTHLY SVC
	NETWORKFLEET INC Total		236.60			
3450	IAFCI - INTERNATIONAL ASSOC					
			80.00	11/21/2019	3344320	MBRSHP RENEW - KETELSEN
	IAFCI - INTERNATIONAL ASSOC Total		80.00			
3490	HI-LINE UTILITY SUPPLY CO LLC					
		106431	1,075.34	11/21/2019	10142218-10142639	INVENTORY ITEMS
	HI-LINE UTILITY SUPPLY CO LLC Total		1,075.34			
3505	Michael Redmann					
			80.00	11/26/2019	120919	PER DIEM 12-9 THRU 12-13-19
	Michael Redmann Total		80.00			
3597	GEOSTAR MECHANICAL INC					
		106613	1,946.50	11/21/2019	I31646	SVC @ CS
		106613	300.00	11/21/2019	I31994	SVC @ WEST PARK DECK
		106613	900.00	11/21/2019	I31995	NEW PD STATION REPAIR
		106613	400.00	11/21/2019	I31996	CITY HALL REPAIR
		106613	300.00	11/21/2019	I31997	CITY HALL REPAIR
		106613	150.00	11/21/2019	I31998	CENTURY STATIONS REPAIR

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		106613	1,248.60	11/21/2019	I32000	PW REPAIR
	GEOSTAR MECHANICAL INC Total		5,245.10			
3616	SHERWIN INDUSTRIES INC	106002	16,200.00	11/21/2019	SS082158	MESSAGE BOARD
	SHERWIN INDUSTRIES INC Total		16,200.00			
3684	RESPECT TECHNOLOGY INC	106013	3,360.00	11/21/2019	13793	MONTHLY SUPPORT
		106013	150.00	11/21/2019	13806	CONSULTING SERVICES
	RESPECT TECHNOLOGY INC Total		3,510.00			
3699	FRANCE PUBLICATIONS INC	106487	1,650.00	11/21/2019	2019-7554	ADVERTISING
	FRANCE PUBLICATIONS INC Total		1,650.00			
3715	GAS DEPOT INC	106483	18,822.94	11/21/2019	75091-1	INVENTORY ITEMS
	GAS DEPOT INC Total		18,822.94			
3786	EMPLOYEE BENEFITS CORPORATION	104220	309.60	11/21/2019	2713481	ADMIN FEES
	EMPLOYEE BENEFITS CORPORATION Total		309.60			
3798	TRADESHOW NETWORK MARKETING	105792	881.54	11/21/2019	16433-B	FABRIC GRAPHIC
	TRADESHOW NETWORK MARKETING Total		881.54			
3799	LRS HOLDINGS LLC	104285	1,900.44	11/21/2019	0004298539	MONTHLY BILLING NOV 1-30
		104112	10,916.05	11/21/2019	PS298404	MONTHLY SWEEPING SERVICE
	LRS HOLDINGS LLC Total		12,816.49			
3805	EMPLOYEE BENEFITS CORP - ACH		13,009.20	11/30/2019	C98632-201911	FLEXIBLE SPENDING CLAIMS
	EMPLOYEE BENEFITS CORP - ACH Total		13,009.20			
3864	Joshua Rowoldt		80.00	11/26/2019	120919	PER DIEM 12-9 THRU 12-13-19
	Joshua Rowoldt Total		80.00			

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
3882	CORE & MAIN LP	106285	265.00	11/21/2019	L432440	INVENTORY ITEMS
	CORE & MAIN LP Total		<u>265.00</u>			
3885	KIMBERLY G ABATANGELO	104658	206.25	11/21/2019	09262019STC	SVCS 9-26-19
	KIMBERLY G ABATANGELO Total		<u>206.25</u>			
3886	VIA CARLITA LLC	106647	3,919.54	11/21/2019	127459	V#1756 REPAIR
		106590	707.55	11/21/2019	128194	V#1795 REPAIR
		104002	40.06	11/21/2019	21192	SPARK/GASKET
		104002	44.37	11/21/2019	21202	WIRE
	VIA CARLITA LLC Total		<u>4,711.52</u>			
3933	RILEY CONSTRUCTION COMPANY INC	94557	47,529.37	11/21/2019	17	PROJECT BILLING POLICE DEP
		100526	156,507.88	11/21/2019	17A	PROJECT BILLING POLICE STA
	RILEY CONSTRUCTION COMPANY INC Total		<u>204,037.25</u>			
3968	TRANSAMERICA CORPORATION		4,472.33	11/22/2019	RHFP191122140404PI	Retiree Healthcare Funding Pla
	TRANSAMERICA CORPORATION Total		<u>4,472.33</u>			
3973	HSA BANK WIRE ONLY		50.00	11/22/2019	HSAF191122140404C/	Health Savings Plan - Family
			200.00	11/22/2019	HSAF191122140404CI	Health Savings Plan - Family
			1,371.14	11/22/2019	HSAF191122140404FI	Health Savings Plan - Family
			480.76	11/22/2019	HSAF191122140404HF	Health Savings Plan - Family
			484.15	11/22/2019	HSAF191122140404IS	Health Savings Plan - Family
			604.15	11/22/2019	HSAS191122140404PI	Health Savings - Self Only
			290.00	11/22/2019	HSAS191122140404PV	Health Savings - Self Only
			852.18	11/22/2019	HSAF191122140404PI	Health Savings Plan - Family
			300.00	11/22/2019	HSAF191122140404PV	Health Savings Plan - Family
			173.00	11/22/2019	HSAS191122140404C/	Health Savings - Self Only
			801.29	11/22/2019	HSAS191122140404CI	Health Savings - Self Only
			409.62	11/22/2019	HSAS191122140404FI	Health Savings - Self Only
			100.00	11/22/2019	HSAS191122140404FI	Health Savings - Self Only
	HSA BANK WIRE ONLY Total		<u>6,116.29</u>			

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
3990	Richard Jackson		80.00	11/26/2019	120919	PER DIEM 12-9 THRU 12-13-19
	Richard Jackson Total		80.00			
3993	CHARLES EQUIPMENT ENERGY					
		105447	3,400.00	11/21/2019	7778	INSPECT/REPAIR ATS AUX FAL
		105913	4,000.00	11/21/2019	8032	REPLACED ATS
		106619	1,065.00	11/21/2019	8136	GENERATOR MAINT - FACILITIE
		106619	1,460.00	11/21/2019	8139	GENERATOR MAINT - FD
		106619	350.00	11/21/2019	8142	GENERATOR MAINT - PD
		106646	2,380.00	11/21/2019	8143	GENERATOR MAINT - ELEC
	CHARLES EQUIPMENT ENERGY Total		12,655.00			
4017	MARTINEZ CREATIVE GROUP		10.00	11/21/2019	112119	CITY LOGO COPYRIGHT
	MARTINEZ CREATIVE GROUP Total		10.00			
4020	TREES R US INC					
		104114	20,926.08	11/21/2019	23300	OCT BRUSH COLLECTION SVC
	TREES R US INC Total		20,926.08			
4037	SUSAN SPRIET		-88.00	11/21/2019	235576	CRED INV#236213
		106319	308.00	11/21/2019	236213	INVENTORY ITEMS
		106395	68.00	11/21/2019	236214	INVENTORY ITEMS
		106359	456.00	11/21/2019	236215	INVENTORY ITEMS
	SUSAN SPRIET Total		744.00			
4048	ZOLL MEDICAL CORPORATION					
		106445	68.13	11/21/2019	2963326	THERMAL PAPER
	ZOLL MEDICAL CORPORATION Total		68.13			
4071	Mark Chmura		291.72	11/21/2019	111819	REIMB FOR TTxEOC MEETING
	Mark Chmura Total		291.72			
4074	AMAZON CAPITAL SERVICES INC					
		104009	19.97	11/21/2019	13YX-FR31-3PF7	WIRELESS MOUSE
		106639	53.88	11/21/2019	14KK-JYNK-DVHJ	INVENTORY ITEMS
		106609	7.40	11/21/2019	1N44-LJQG-XFLG	INVENTORY ITEMS
		106588	231.07	11/21/2019	1WWF-GTMJ-MDL7	OFFICE SUPPLIES - FD

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
		104009	19.11	11/21/2019	1XKJ-PQH4-VX4T	DRY ERASE MARKERS
		106540	13.00	11/21/2019	1XL1-3MVP-13F9	SWITCH KEY
		104368	117.98	11/21/2019	1XM6-9GYD-479Y	BOOT DRYERS - WATER DEPT
		104009	88.33	11/21/2019	1YNV-G3GM-9NLN	PET DISH/TRUNK
		106600	53.64	11/21/2019	14QG-YWH9-9D77	TURTLE WAX
		106582	39.48	11/21/2019	16DD-HYP6-D3TJ	CELL PHONE CASE FOR SAM
		106534	39.16	11/21/2019	1G36-9QK7-1TJG	VALLEY FORGE FLAGS
		104203	35.70	11/21/2019	1J9L-HHJM-7LY1	FLAGPOLES
		106373	503.52	11/21/2019	1JNNM-7RNQ-CYY7	INVENTORY ITEMS
		104203	15.99	11/21/2019	1KPJ-TCYT-4FWR	KEYCHAIN
	AMAZON CAPITAL SERVICES INC Total		1,238.23			
4139	PETER GUNDRUM					
		105949	800.00	11/21/2019	19704	PARTS FOR TRUCK
	PETER GUNDRUM Total		800.00			
4200	CECCHIN PLUMBING & HEATING INC					
		104306	30,643.75	11/21/2019	68713	RENAUX MANOR STRM SWR - I
	CECCHIN PLUMBING & HEATING INC Total		30,643.75			
4209	AC READY MIX LLC					
		86	712.95	11/21/2019	10377	READY MIX
	AC READY MIX LLC Total		712.95			
4242	MID AMERICA ENERGY SERVICES					
		104852	2,946.60	11/21/2019	20277	VALVE R&R PROGRAM - WATEI
		104852	2,919.80	11/21/2019	20278	VALVE R&R PROGRAM - WATEI
		104852	2,919.80	11/21/2019	20279	VALVE R&R PROGRAM - WATEI
		104852	-2,919.80	11/21/2019	20279	VALVE R&R PROGRAM - WATEI
		104852	2,919.80	11/21/2019	20279-POLINE CORRE	INTERNAL PO LINE CORRECTIO
		104852	2,931.80	11/21/2019	20282	VALVE R&R PROGRAM - WATEI
		104852	-2,219.10	11/21/2019	20288	VALVE R&R PROGRAM - WATEI
		104852	2,219.10	11/21/2019	20288-POLINE CORRE	INTERNAL PO LINE CORRECTIO
		104852	3,112.00	11/21/2019	20314	VALVE PROGRAM
		104852	3,312.00	11/21/2019	20315	VALVE PROGRAM
		104852	6,617.60	11/21/2019	20316	VALVE PROGRAM
		104852	-2,955.80	11/21/2019	20286	VALVE R&R PROGRAM - WATEI
		104852	2,955.80	11/21/2019	20286-POLINE CORRE	INTERNAL PO LINE CORRECTIO
		104852	2,919.80	11/21/2019	20287	VALVE R&R PROGRAM - WATEI
		104852	-2,919.80	11/21/2019	20287	VALVE R&R PROGRAM - WATEI

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
		104852	2,919.80	11/21/2019	20287-POLINE CORRE	INTERNAL PO LINE CORRECTIO
		104852	2,219.10	11/21/2019	20288	VALVE R&R PROGRAM - WATER
		104852	-3,312.00	11/21/2019	20284	VALVE R&R PROGRAM - WATER
		104852	3,312.00	11/21/2019	20284-POLINE CORRE	INTERNAL PO LINE CORRECTIO
		104852	2,919.80	11/21/2019	20285	VALVE R&R PROGRAM - WATER
		104852	-2,919.80	11/21/2019	20285	VALVE R&R PROGRAM - WATER
		104852	2,919.80	11/21/2019	20285-POLINE CORRE	INTERNAL PO LINE CORRECTIO
		104852	2,955.80	11/21/2019	20286	VALVE R&R PROGRAM - WATER
		104852	-2,931.80	11/21/2019	20282	VALVE R&R PROGRAM - WATER
		104852	2,931.80	11/21/2019	20282-POLINE CORRE	INTERNAL PO LINE CORRECTIO
		104852	2,931.80	11/21/2019	20283	VALVE R&R PROGRAM - WATER
		104852	-2,931.80	11/21/2019	20283	VALVE R&R PROGRAM - WATER
		104852	2,931.80	11/21/2019	20283-POLINE CORRE	INTERNAL PO LINE CORRECTIO
		104852	3,312.00	11/21/2019	20284	VALVE R&R PROGRAM - WATER
	MID AMERICA ENERGY SERVICES Total		42,017.90			
4276	COMMERCIAL WINDOW INSTALLERS					
		105448	9,900.00	11/21/2019	2208	PW OFFICE WINDOW INSTALL
	COMMERCIAL WINDOW INSTALLERS Total		9,900.00			
4282	ST CHARLES BUSINESS ALLIANCE					
			21,667.00	11/21/2019	FY 2020	AGREEMENT FY 2020 SSA TAX
			36,633.00	11/21/2019	FY 2020 HTL TAX	AGREEMENT FY 2020 HOTEL T
	ST CHARLES BUSINESS ALLIANCE Total		58,300.00			
4290	SLATEN CONSTRUCTION					
		106089	1,250.00	11/21/2019	201348	DESIGNS=PW WALL RENOVATI
	SLATEN CONSTRUCTION Total		1,250.00			
4320	DALE PENNINGTON III					
		106168	11,260.74	11/21/2019	5742	AMI ASSESSMENT
	DALE PENNINGTON III Total		11,260.74			
4322	NEWMARK KNIGHT FRANK VALUATION					
		106465	2,500.00	11/21/2019	227394-001	APPRAISAL REPORT
	NEWMARK KNIGHT FRANK VALUATION Total		2,500.00			
4323	AFL ACQUISITION LLC					
		106322	419.10	11/21/2019	15685	INVENTORY ITEMS
	AFL ACQUISITION LLC Total		419.10			

<u>VENDOR</u>	<u>VENDOR NAME</u>	<u>PO NUMBER</u>	<u>AMOUNT</u>	<u>DATE</u>	<u>INVOICE</u>	<u>DESCRIPTION</u>
4333	TOTAL FIRE & SAFETY INC	106423	1,482.00	11/21/2019	146871	FIRST AID KITS/BP REFILLS
	TOTAL FIRE & SAFETY INC Total		<u>1,482.00</u>			
4340	KATIE OBRIEN	106556	325.00	11/21/2019	110419	PD RIBBON CUTTING
	KATIE OBRIEN Total		<u>325.00</u>			
9990009	AUDRA DAVEY WILSON		40.00	11/21/2019	1812	NOV CPR REFUND
	AUDRA DAVEY WILSON Total		<u>40.00</u>			
9990009	ALEXANDRA KOSTOS-RASKEY		500.00	11/26/2019	19-24881	RTRN ADMIN PENALTY
	ALEXANDRA KOSTOS-RASKEY Total		<u>500.00</u>			
	Grand Total:		<u>2,085,349.51</u>			

The above expenditures have been approved for payment:

Chairman, Government Operations Committee


Date

Vice Chairman, Government Operations Committee

Date

Finance Director

Date

	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: IA
	Title:	Presentation and solicitation for Council Feedback.	
	Presenter:	Carolyn Waibel, Chairwoman- Community 708 Mental Health Board	
Meeting: City Council		Date: December 16, 2019	
Proposed Cost: \$ NA		Budgeted Amount: \$ NA	Not Budgeted: <input type="checkbox"/>
<p>Executive Summary <i>(if not budgeted please explain):</i></p> <p>The Community 708 Mental Health Board reviews requests for funding and makes annual recommendations distributing funds collected from the Mental Health tax. The 708 tax collection that distributed during the current fiscal year was \$592,000.</p> <p>The Board currently has a practice of not distributing funding to government agencies. This year the Kane County Sheriff's Office and City Police Department have respectively expressed interests to submit applications requesting funding for mental health related initiatives. The 708 Board discussed their practice and the governmental requests at a recent meeting. The Board is offering two alternative proposals with the voting feedback as follows:</p> <p><u>Proposal A</u>- Governments would be considered for funding with other not-for-profit (NFP) agencies and the government applicant may receive 708 Mental Health funding. Board vote- 5 yes and 2 no.</p> <p><u>Proposal B</u>- Governments are considered for funding with other not-for-profit (NFP) agencies, when the application is submitted by a NFP and the NFP may receive 708 Mental Health funding. Board vote- 7 yes and 0 no.</p>			
<p>Attachments <i>(please list):</i></p> <p>Email from Chr. Waibel</p>			
<p>Recommendation/Suggested Action <i>(briefly explain):</i></p> <p>The 708 Mental Health Board is recommending the City fund government applicants. The direction requested comes down to who the applicant is: Proposal A- the government or Proposal B- The NFP on behalf of the government.</p>			

From: Carolyn Waibel [mailto:carolynwaibel1@gmail.com]
Sent: Thursday, December 05, 2019 1:58 PM
To: Koenen, Mark; Rogina, Raymond
Cc: Bringelson, Sharon; Silkaitis, Ron
Subject: 708 MHB Recommendation to City Council

Good day

Monday, December 2, 2019 at noon our 708 MHB met to discuss a policy of funding government agencies that support STC city residents for mental health, developmental disabilities, or substance abuse.

Our board voted on two motions. The first motion allowed government agencies to directly apply. Those monies are to be used for STC residents under the above mentioned parameters. The motion passed 5-2.

The second motion was to fund a government agency, indirectly, meaning through a third-party 501c3 organization, for the same parameters as mentioned. This motion passed 7-0.

I understand this policy will be proposed and discussed at your December 16 Government Operations meeting.

Please let me know what other information you would like me to provide to you before that meeting, as well as how I can help explain it to council in any way.

Best regards
Carolyn Waibel
630.502.8212

**MINUTES
CITY OF ST. CHARLES
GOVERNMENT OPERATIONS COMMITTEE
ALD. MAUREEN LEWIS, CHAIR**

**MONDAY, DECEMBER 2, 2019
IMMEDIATELY FOLLOWING THE CITY COUNCIL MEETING
CITY COUNCIL CHAMBERS – 2 EAST MAIN STREET**

1. Call to Order

2. Roll Call

Chairman Lewis called the meeting to order at 7:43 pm.

Present: Ald. Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner.

Absent: None

3. Administrative

a. Video Gaming Statistics October 2019 – Information Only

Chief Keegan provided information about the distribution taxes gained in the three years this program has existed in St. Charles. For October 2019, the distribution taxes were \$14,108.25. Annualized over a 12 month period that equates to \$169,000 per year. For the last three years, net wagering activity: Oct 2016 - Sept 2017 = \$90,086, Oct 2017 - Sept 2018 = \$147,000, Oct 2018 - Sept 2019 = \$170,314. For the life of the program, \$386,160.

In response to a question from Ald. Payleitner, Chief Keegan said that there are no ramifications for the City of St. Charles for the State identified underage use. He further explained that the violations are not duplicated between the State and the City. St. Charles was made aware of those violations much later and relied on the letters from the State.

Chris Minick shared that the projected income is \$150,000, so the actual numbers exceed the budget. Those monies go into the capital improvement fund, non-utility related improvement funds.

4. Omnibus Vote

Items with an asterisk (*) are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

Motion by Ald. Bancroft, second by Ald. Turner to approve the omnibus vote.

Voice Vote: Ayes: Unanimous; Nays: None; Chairman Lewis did not vote as chair.
Motion Carried

5. City Administrator's Office

- a. Presentation from Jenna Sawicki, Executive Director of the St. Charles Business Alliance, of a Concept idea for a 3D Letter Sculpture at the new East Plaza.

Jenna Sawicki and Alyssa Feulner presented the proposed artwork for the recycled plastic sculpture, "be you", designed by Matthew Hoffman. The intention is to create a positive impact on those who come across it. The artist's work has become destination art, and it is hoped that this sculpture will also have a positive economic impact for St. Charles. The plaza location was selected to facilitate traffic flow and feature the municipal building in the background, for City brand identity. The St. Charles Business Alliance would like to gift the sculpture to the City. Kathy Hill of St. Charles Arts Council also supports the purchase and installation of this artwork.

Motion by Ald. Stellato, second by Ald. Vitek to move forward with the sculpture.

Voice Vote: Ayes: Unanimous; Nays: None; Chairman Lewis did not vote as chair.
Motion Carried

6. Human Resources

- a. Recommendation to approve the Adoption of the Amended Policy Prohibiting Sexual Harassment.

Jenn McMahon described amendments made by the State Legislature to the Employee Ethics Act. IT includes the adoption of a sexual harassment policy regarding the engagement of one elected official to another elected official. Municipalities are required by Ordinance to adopt this policy, which becomes effective on January 1, 2020.

Motion by Ald. Lemke, second by Ald. Payleitner to recommend the revised policy.

Roll Call: Ayes: Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner; Nays: None. **Motion Carried**

7. Police Department

- *a. Recommendation to approve a Resolution and Amplification Equipment for the 2020 St. Patrick's Day Parade.

8. Information Services

- a. Contract with Gartner Consulting for IT research and consulting services for an additional year.

Larry Gunderson explained the Gartner Consulting has provided value over the past year. Gartner is an independent global technology research company. \$800,000 capital costs were saved on one design project, which will be realized in the next couple of months.

Motion by Ald. Lemke, second by Ald. Pietryla to engage Gartner Consulting to provide information technology research in an agreement for \$63,220.

Roll Call: Ayes: Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner; Nays: None. **Motion Carried**

9. Additional Items from Mayor, Council, Staff, or Citizens.

Rita Martin, Jim Martin's wife, passed away and services are scheduled.

Motion by Ald. Lemke, second by Ald. Bessner to move into executive session to discuss Property Acquisition – 5 ILCS 120/2(c)(5).

Roll Call: Ayes: Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Stellato, Silkaitis, Payleitner; Nays: None. **Motion Carried**

10. Executive Session

- Personnel – 5 ILCS 120/2(c)(1)
- Pending Litigation – 5 ILCS 120/2(c)(11)
- Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

11. Adjournment

Motion by Ald. Lemke, second by Ald. Payleitner to adjourn the meeting at 8:23 pm.

Voice Vote: Ayes: Unanimous; Nays: None: Chairman Lewis did not vote as chair.
Motion Carried

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov.

Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

**MINUTES
CITY OF ST. CHARLES, IL
GOVERNMENT SERVICES COMMITTEE MEETING
MONDAY, NOVEMBER 25, 2019, 7:00 P.M.**

Members Present: Aldr. Payleitner, Acting Chairman Lemke, Aldr. Bancroft, Aldr. Vitek, Aldr. Pietryla, Aldr. Bessner

Members Absent: Aldr. Stellato, Aldr. Silkaitis, Aldr. Turner, Aldr. Lewis

Others Present: Mayor Raymond Rogina; City Administrator Mark Koenen; Peter Suhr, Director of Public Works; Chris Adesso, Assistant Director of Public Works; Tom Bruhl, Electric Services Manager; AJ Reineking, Public Works Manager – Public Services; Tim Wilson, Public Works Manager - Environmental Services; Ken Jay, Public Works Manager - Engineering; Jim Keegan, Police Chief; Rich Clark, Commander of Special Services; Kevin Christensen, Assistant Fire Chief

1. Meeting called to order at 7:00 p.m. Aldr. Lemke presiding as Acting Chairman.

2. Roll Call

K. Dobbs:

Stellato: Absent

Silkaitis: Absent

Payleitner: Present

Lemke: Present

Turner: Absent

Bancroft: Present

Vitek: Present

Pietryla: Present

Bessner: Present

Lewis: Absent

3.a. Electric Reliability Report – Information only.

3.b. Natural Resources Commission Minutes – Information only.

4. **OMNIBUS VOTE** – **Items with an asterisk (*)** are considered to be routine matters and will be enacted by one motion.

Items *5.c, *5.d

No further discussion.

Acting Chairman Lemke: Kristi, please call a roll.

K. Dobbs:

Stellato: Absent

Silkaitis: Absent

Payleitner: Yes

Lemke: Acting Chair – No vote

Turner: Absent

Bancroft: Yes

Vitek: Yes

Pietryla: Yes

Bessner: Yes

Lewis: Absent

No further discussion.

Motion by Aldr. Bancroft, seconded by Aldr. Payleitner. No additional discussion.
Approved unanimously by roll call vote. **Motion carried.**

5.a. Presentation of the Kane County Bike Share System.

Chris Adesso presented. I'm here with an informational presentation of the Kane County Bike Share System, which is an initiative of Kane Kendall Council of Mayors and the Kane County Department of Transportation.

Presentation by Chris Adesso.

Aldr. Payleitner: The Divvy bikes in Chicago are not for recreational use; you are allowed at most an hour at a time and then you start getting charged. This Bike Share System sounds like it may be more geared toward recreation, so is this different?

Mr. Adesso: That was certainly one of the county's initiatives that they put forward as one of the things they thought they could leverage and the pricing format for the vendor hasn't been determined yet, so I don't have a great answer, but I do know that recreation was cited as a reason to get it.

Aldr. Vitek: I think this is great and there are opportunities for sponsorship from corporate.

Aldr. Bessner: Is Koloni somewhat self-supportive? There will be revenues that come back through by the use of these bikes, so my question is, how self-supportive are some of these bike companies overall?

Mr. Adesso: I think what you are asking is how will the program be self-supported financially, or will Koloni support the City's initiative in participating?

Aldr. Bessner: It seems like we are allowing them to have the service here to some degree, where there will be revenue that I would assume Koloni will make. Why do we need to support it? Is it self-supportive?

Mr. Adesso: We haven't determined exactly what the financial structure looks like, but the way its set up tentatively is that the City will bear the cost of the capital infrastructure and for that cost Koloni will provide will provide essentially a service to the City. They will provide the bikes, the stations and the pick-up and balancing of the system should it be needed. The City would then be the owners, so Koloni won't actually own the infrastructure or the bikes, therefore, the other member communities can leverage the marketing opportunities. So any marketing revenue that is associated with it won't go to Koloni, it will go to the member community.

Aldr. Bessner: All revenues from the bikes themselves will go to Koloni?

Mr. Adesso: Yes; that is the model as I understand it.

Aldr. Pietryla: Tourism is listed as a "pro"; are there any estimates in terms of users who may be attracted to the area?

Mr. Adesso: The county hasn't shared any estimated users with us as of yet, but I imagine that there is a market. That question would definitely need to be answered to figure out how many stations we have to set up. We are hoping if we get the ok to keep going that the discussions with Koloni might help us understand that. We can add stations, so maybe we take a conservative approach to get started.

Aldr. Pietryla: I support this; I think it's a great idea.

Aldr. Payleitner: I think it's a great idea, I'm just wondering about the practicality for us. How many stations do we need and what other use would we have besides recreation.

Mr. Adesso: Those are good questions; the reason I wanted to make this presentation is because we are not committed at this point; we aren't asking for a Resolution to commit to the program. I think the next step would be to get planners from the County here in front of the Committee and perhaps even the vendor to answer some more of these

detailed questions to see what they have in mind. Before doing that, we felt it would be wise to solicit your feedback. If it was an overwhelming majority that it's not for us, then we would give that feedback to the county. But it sounds like we want to learn more, so we can make that opportunity happen.

Aldr. Bancroft: The reality is how they are used in Chicago is practical, business oriented. If that's one of the objectives here, then one of the things we need to think about is that it doesn't have the same versatility if Geneva didn't commit to having one at the Geneva train station and if Elgin didn't commit to having one at their train station.

Mr. Adesso: Part of the discussion we had with the county was that in order for us to make informed decisions and in order for us to give you the information to make informed decisions, we need to know who else is participating which is why they've asked us to have these meetings so they can get a feel for that.

Aldr. Lemke: Does anyone in the audience want to speak about the Kane County Bike Share System? If not, do you have all the information you need to have?

Mr. Adesso: Yes.

No further discussion.

5.b. Presentation of 7th Avenue Creek Project Update.

Ken Jay presented. It was one year ago when City Council approved the final engineering for Phase 1 of the 7th Avenue Creek Project, so this is an update on the project and a glimpse of our preliminary plan.

Presentation by Ken Jay.

Aldr. Payleitner: I understand we are 100% out to eliminate the floodplain by eliminating the troubled properties, correct?

Mr. Jay: That eliminated many that are frequent fliers, yes.

Aldr. Payleitner: I understand culvert replacement and re-engineering the creek. However, I was under the understanding that all that was going to be done by phases and the beautification part was going to be done all together later down the road. Now I'm hearing you say that the beautification is happening phase by phase.

Mr. Jay: Phase 1 is the primary section of beautification and will be the park-like amenity. Phase 2 is primary engineered solutions; phase 2 is almost all culvert replacements so that won't have any beautification. In Phase 3, there will be options where we could just move forward and replace culverts and solve stabilization issues or

continue forward and do bigger beautification closer to Tyler Road between the railroad tracks, behind the commercial section.

Aldr. Payleitner: I'm not looking for more beautification. I understand Public Works doing the remedy for flooding. However, I have wondered all along if the beautification portion – adding walking parks and the plantings, is our burden to bear; should it be a neighborhood improvement, or the Park District, or as I mentioned before, maybe an SSA? I'm wondering how the budget amount is laid out.

Mr. Jay: The grant is specifically for the water quality improvement portion, so the grant money goes towards the water quality improvements. When the master plan was developed, at that point, the direction was a blended result where we didn't just want to buy all the properties which was the most expensive and leave a blighted area, but also try to improve the area beyond just the flood improvements. That's where the grant opportunities come in for the water quality improvements.

Aldr. Lemke: Unless anyone has other questions, it sounds like this is for information only and you will come back to us with any other plans.

No further discussion.

***5.c. Presentation of Proposed 2020 Street Rehabilitation Program.**

Approved by Omnibus vote.

***5.d. Recommendation to approve an Ordinance Accepting a Jurisdictional Transfer Agreement for Dunham Road.**

Approved by Omnibus vote.

5.e. Recommendation to approve Professional Service Agreement for the IL Route 31 and Roosevelt Sewer Main Replacement.

Tim Wilson presented. This is for design engineering only for a sanitary sewer main that is reaching its end of life that has had several failures, and at the same time we will be designing it for future growth. This trunk main takes a lot of growth from the subdivisions to the west all the way to Randall Road.

The design team will be working on several items such as the sewer main location and will be in the State right-of-way. Once it starts, the overall construction will have a fairly large impact on the City, so we will talk about those items after we are done with the design. The construction bid is not anticipated to go out until the end of 2020. Prior to bid, we will be back to provide you an update on how the project is going to move forward.

On October 21, we received 8 RFQ submittals. Our staff processed the RFQ's and selected and negotiated a fee with Engineering Enterprises. The fees associated with this project are based on a cumulative hourly rate not to exceed the total of the project costs. Based on the complexity and size of the project, the proposed rates are comparable to other sized projects we've done.

It is my recommendation to approve a Professional Services Agreement for the Route 31 and Roosevelt Sewer Main Design to Engineering Enterprises for a cost of \$239,618.

Aldr. Lemke: Please call a roll:

K. Dobbs:

Stellato: Absent

Silkaitis: Absent

Payleitner: Yes

Lemke: Acting Chair – No vote

Turner: Absent

Bancroft: Yes

Vitek: Yes

Pietryla: Yes

Bessner: Yes

Lewis: Absent

No further discussion.

Motion by Aldr. Bessner, seconded by Aldr. Vitek. No additional discussion. Approved unanimously by voice vote. **Motion carried.**

5.f. Recommendation to approve a Budget Addition for Purchase of Bulk Road Salt for Winter Operations.

AJ Reineking presented. The City recently participated in the State of Illinois Joint Purchase Program for our bulk road salt for winter operations. Compass Minerals America of Overland Park, KS was the low bidder for the City's request of 5,000 tons of salt.

Their bid at \$81.25 per ton is 29% higher than we paid in 2018/2019, which is \$55,750 over our budgeted amount. Like any commodity, the price of salt fluctuates based on the availability. Last year our region had a large volume of icing and freezing rain events which required a lot of salt use throughout the Chicagoland area. The 29% is much larger than we would like to see from year to year, but \$81.25 isn't entirely out of left field, either given the winter we had last year.

It is my recommendation to approve a budget addition for the purchase of bulk road salt in the amount of \$55,750.

K. Dobbs:

Stellato: Absent

Silkaitis: Absent

Payleitner: Yes

Lemke: Acting Chair – No vote

Turner: Absent

Bancroft: Yes

Vitek: Yes

Pietryla: Yes

Bessner: Yes

Lewis: Absent

No further discussion.

Motion by Aldr. Pietryla, seconded by Aldr. Payleitner. No additional discussion.
Approved unanimously by voice vote. **Motion carried.**

5.g. Recommendation to authorize the Purchase of Untreated Rock Salt through the State of Illinois Joint Purchasing Program.

Aldr. Lemke: Now that we approved the money, I don't believe we need to have discussion about purchasing the salt. Does anyone have any questions?

K. Dobbs:

Stellato: Absent

Silkaitis: Absent

Payleitner: Yes

Lemke: Acting Chair – No vote

Turner: Absent

Bancroft: Yes

Vitek: Yes

Pietryla: Yes

Bessner: Yes

Lewis: Absent

No discussion.

Motion by Aldr. Pietryla, seconded by Aldr. Payleitner. No additional discussion.
Approved unanimously by roll call vote. **Motion carried.**

6. Executive Session


None.

7. Additional items from Mayor, Council, Staff or Citizens.

None.

8. Move to Adjourn Government Services Committee Meeting at 7:32 p.m.

Motion by Aldr. Bessner, seconded by Aldr. Bancroft. No additional discussion.
Approved unanimously by voice vote. **Motion carried.**

	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: IIC1
	Title:	Motion to approve a Resolution Authorizing the Mayor and City Council to Enter Into a Certain Annexation Agreement (Brooke Toria Estates).	
	Presenter:	Rita Tungare	
Meeting: City Council		Date: December 16, 2019	
Proposed Cost: N/A		Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
Executive Summary <i>(if not budgeted please explain):</i> <u>Background:</u> <p>Brooke Toria Estates (also referred to as Smith Road Estates) is a 4.4-acre, 16-lot single-family subdivision proposed for annexation to St. Charles. The project was reviewed by the Planning & Development Committee on August 13, 2018. The Committee recommended approval of the applications submitted for the project, including Map Amendment, Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision.</p> <p>The subject property is located in unincorporated Wayne Township and is contiguous with the St. Charles city limits. St. Charles has the ability to annex the property per the boundary agreement between the Cities of St. Charles and West Chicago.</p> <p>The developer, V&M Investment and Remodeling Group, LLC, has filed a Petition for Annexation to annex the property to St. Charles.</p> <p>The developer has also submitted an Annexation Agreement, a contractual agreement between the developer and the City, which details zoning and development standards by referencing the PUD Ordinance, specifies requirements for permitting, construction of public improvements, and other required improvements as depicted on the development plans, etc.</p> <p>A public hearing on the Annexation Agreement will be held at 6:45 p.m., prior to the City Council meeting. The relevant taxing bodies were notified of the petition and public hearing as required by State Law.</p> <u>Action Item:</u> <p>The attached resolution authorizes the Mayor and City Council to enter into the proposed Annexation Agreement. The Agreement is attached to the resolution.</p>			
Attachments <i>(please list):</i> Resolution authorizing execution of the Annexation Agreement.			
Recommendation/Suggested Action <i>(briefly explain):</i> Motion to approve a Resolution Authorizing the Mayor and City Council to Enter Into a Certain Annexation Agreement (Brooke Toria Estates).			

City of St. Charles, Illinois
Resolution No. 2019- __

**A Resolution Authorizing the Mayor and City Council to Enter Into a Certain
Annexation Agreement (Brooke Toria Estates)**

**Presented & Passed by the
City Council on _____**

WHEREAS, the Owner of the real estate legally described on Exhibit “A” attached hereto and made a part hereof (the “Subject Property”) is V & M Investment and Remodeling Group, LLC; and,

WHEREAS, the Subject Property is located on the north side of Smith Road within Wayne Township, DuPage County, Illinois; and,

WHEREAS, the Subject Property is contiguous to the City of St. Charles and may be annexed to the City pursuant to the Illinois Code, 65 ILCS 5/7-1-1 *et seq*; and,

WHEREAS, the Owner has filed a Petition for Annexation with the City requesting annexation of the Subject Property to the City of St. Charles; and,

WHEREAS, the Owner has submitted to the City a proposed Annexation Agreement, said Agreement being attached hereto and incorporated herein as Exhibit “B”; and,

WHEREAS, a public hearing on said Annexation Agreement was held on or about December 16, 2019, pursuant to the notice duly published in the Daily Herald, being a newspaper of general circulation, on November 29, 2019 as required by law; and,

WHEREAS, the Mayor and City Council have considered the terms and provisions of the proposed Annexation Agreement.

NOW THEREFORE BE IT RESOLVED by the Mayor and City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, a home rule municipality, in the exercise of its home rule powers as follows:

1. That the Mayor and City Clerk are hereby authorized to execute that certain Annexation Agreement heretofore incorporated herein as Exhibit “B” by and behalf of the City of St. Charles.

2. That all resolutions, or parts thereof, in conflict with the provisions of this Resolution are, to the extent of such conflict, expressly repealed.

3. That this Resolution shall be in full force and effect from and after its adoption, approval and publication in pamphlet form as provided by law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 16th day of December, 2019.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 16th day of December, 2019.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, this 16th day of December, 2019.

Raymond P. Rogina

Attest:

City Clerk/Recording Secretary

Voice Vote:

Ayes:

Nays:

Absent:

Abstain:

Exhibit "A"

Legal Description of Subject Property

LOTS 16, 17 AND 18 IN PETRAUSKAS' SECOND SUBDIVISION OF PART OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 24, 1966 AS DOCUMENT R66-42231, IN DUPAGE COUNTY, ILLINOIS.

Resolution No. _____

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Exhibit “B”

Annexation Agreement – Brooke Toria Estates

ANNEXATION AGREEMENT
BROOKE TORIA ESTATES

THIS ANNEXATION AGREEMENT (hereinafter referred to as “Agreement”), is made and entered into this ____ day of _____, 2020, between the CITY OF ST. CHARLES, a municipal corporation of Kane and DuPage Counties, in the State of Illinois (hereinafter referred to as “City”), and V&M INVESTMENT AND REMODELING GROUP, LLC, an Illinois limited liability company, 0N632 Gables Blvd., Wheaton, Illinois 60187 (hereinafter referred to as “Owner/Developer”). The City and the Owner are hereinafter sometimes referred to individually as a “Party” and collectively as the “Parties.”

WHEREAS, the Owner/Developer is the owner of record of real estate (hereinafter referred to as the “Territory”), comprising approximately 4.38 acres, the legal description of which is attached hereto and made part hereof as **Exhibit A**; and

WHEREAS, the Territory legally described on **Exhibit A** hereof is contiguous to the City, is not annexed to another municipality, and may be annexed to the City pursuant to the Illinois Code, 65 ILCS 5/7-1-1 *et seq.*; and

WHEREAS, the Owner/Developer of Record of the Territory has filed a Petition for Annexation with the City pursuant to 65 ILCS 5/7-1-8 that requested annexation of the Territory subject to execution of an annexation agreement acceptable to the Parties; and

WHEREAS, the Owner/Developer and the City agree that they will be bound by the terms of this Agreement to the extent hereafter provided; and

WHEREAS, pursuant to the provisions of the Illinois Municipal Code, 65 ILCS 5/7-1-1 *et seq.*, the Corporate Authorities of the City have taken all steps legally required, including but not necessarily limited to, providing notice and a public hearing regarding the Agreement; and

WHEREAS, subject to the terms of this Agreement, the City will extend its zoning, building, health, and other municipal regulations and ordinances over the Territory, thereby protecting the City from possible undesirable or in harmonious use and development of unincorporated areas surrounding the City; and

WHEREAS, the Corporate Authorities of the City have considered the annexation of the Territory and have determined that the best interest of the City will be met if the Territory is annexed to the City; and

WHEREAS, by the favorable vote of at least two-thirds (2/3) of the Corporate Authorities of the City then holding office, a Resolution has heretofore been adopted authorizing the execution of this Agreement.

NOW, THEREFORE, in consideration of the foregoing and of the mutual covenants hereinafter contained, the Parties agree as follows:

I

ANNEXATION AGREEMENT

The provisions set forth in the preamble above are incorporated into and made a part of this Agreement. The Parties further acknowledge that the same are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this Article I and the same shall continue for so long as this Agreement is in full force and effect. No portion of the Territory shall be disconnected from the City without the prior written consent of its Corporate Authorities.

Concurrent with the Ordinance authorizing the execution of this Agreement, the City shall pass and appropriately record, at the Owner/Developer's expense, an Ordinance annexing the Territory and if applicable, an Ordinance vacating the City rights on property necessary to facilitate the development of the Territory as contemplated under this Agreement.

The Plat of Annexation of the Territory is attached hereto as **Exhibit B**. The Plat extends the new boundaries of the City to the far side of any adjacent highway not already annexed and includes all of every highway within the Territory so annexed. Upon adoption of an ordinance annexing the Territory to the City, the City Clerk shall cause a copy of said ordinance and said Plat to be duly recorded with the DuPage County Recorder, and duly filed with the DuPage County clerk and send Notices of the Annexation, as required by law at the Owner/Developer's expense.

Should any person having proper standing to do so bring a cause of action before any court of competent jurisdiction challenging the City's lawful authority to annex the Territory or challenge the method or procedures by or through which the Parties purported to cause the Territory to be annexed to the City, the Parties agree that they shall fully cooperate, as provided in Article III hereof, to defend such cause of action.

Should a court of competent jurisdiction finally determine that annexation of the Territory was defective because of the failure of the Parties to follow a procedural requirement constituting a valid precondition to proper annexation of the Territory, the Parties agree to promptly cause the Territory to be re-annexed to the City in a manner which satisfies all procedural requirements.

Should a court of competent jurisdiction finally determine that annexation of the Territory by the City was without lawful authority (*i.e.*, lack of contiguity), the Parties agree that this Agreement shall thereafter be deemed a Pre-Annexation Agreement authorized pursuant to 65 ILCS 5/11-15.1-1, *et seq.*, and shall remain in full force and effect to the extent permitted by law. Thereafter, should the Territory become contiguous to the City, if that was the case, the Parties agree to promptly take all necessary steps as may then be provided by law to perfect the annexation of the Territory to the City.

Upon the annexation of the Territory, all zoning, subdivision, building and development of the Territory shall be undertaken in conformity with the requirements of all applicable City

codes, ordinances, rules, regulations and standards generally in force, from time to time, within the City, except to the extent that the same are superseded by more restrictive standards imposed by other regulatory authorities having jurisdiction, or as the same may be specifically modified or waived by the terms of this Agreement and the PUD Ordinance. Said applicable municipal zoning, ordinances, codes, regulations or standards shall otherwise be referred to herein as the “City Zoning Ordinance” and/or “City Code,” as applicable and as amended.

II

ZONING, LAND USE, AND DEVELOPMENT

Zoning. After passing its Ordinance annexing the Territory, the City shall pass an Ordinance Rezoning the Territory from the RE-1 Single-Family Estate District to the RS-4 Suburban Single-Family Residential District and shall concurrently pass an ordinance granting a Special Use for Planned Unit Development for the Territory, all as set forth herein and in the provisions of **Exhibit C** attached hereto and made a part hereof, entitled “An Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Brooke Toria Estates” (hereinafter the “PUD Ordinance”).

Residential Standards. All single-family detached housing shall be constructed with a minimum of 1,600 square feet, designed in a craftsman and prairie style with architectural shingles, Hardy Board or Smart Siding, stone or brick accents, aluminum soffit and fascia, and oversize gutter and downspouts.

Natural Areas Plan. Detention areas shall be maintained by a homeowner’s association with plantings and vegetation approved by the City of St. Charles.

III

FEES, PERMITS, AND OCCUPANCY

Fees. No new fees or additional fees, contributions, donations, exactions or costs other than those fees in existence and assessed by the City, including but not limited to permit fees, plan review fees, inspection fees, utility fees, application fees, tap-on fees, and user fees, or any amendments to fees, shall be imposed by the City upon the Owner/Developer, or the Territory during the term of this Agreement. All other out of pocket costs imposed upon the City by a third party, including but not limited to, costs from the City Engineer, City Arborist, and City Ecologist; associated with the development of all or any portion of the Territory shall be paid prior to the acceptance of any public improvement or within thirty (30) days after public improvements have been accepted. Furthermore, the Owner/Developer shall provide the City with an escrow amount that shall remain intact and replenished as required by the City until the Territory has been fully developed.

All other applicable fees, bonds and deposits shall be paid at the time the City issues its occupancy permit.

Building Permits. Within fifteen (15) business days after receipt of a complete application by Owner/Developer for a building permit for construction of any buildings or other improvements on the Territory, the City shall either issue a permit authorizing such construction, issue a permit authorizing such construction subject to satisfaction of specified conditions consistent with the terms of this Agreement, or issue notification of denial of such permit specifying the basis of said denial by reference to the provisions of Building Code or any other applicable code, applied in accordance with this Agreement, which the subject construction would allegedly violate. If the City conditionally approves such a permit, the City shall issue the permit unconditionally within five (5) business days after satisfaction by the Owner/Developer of specified conditions. Nothing in this section shall be considered an alteration or waiver of the licensing requirements found in Title 5 and the building and construction requirements found in Title 15 of the St. Charles, Illinois City Code.

Temporary Certificates of Occupancy. Temporary Certificates of Occupancy shall only be issued by the City between November 1st of any year and May 1st of any subsequent year when adverse weather conditions do not permit outside painting, landscaping, driveway construction or final grading of individual homes, appurtenances or lots. Temporary certificates of occupancy will be issued by the City, in its sole reasonable discretion, for any finished home or structure, which is not otherwise completely finished as heretofore provided, provided that: (i) said finished part or portion is designed for or capable of separate use or occupancy; and (ii) such part or portion is safe for the use and occupancy intended; and (iii) sewer, water, and the base course of paving of streets are properly installed in and to the home or structure.

IV

CONSTRUCTION OF PUBLIC IMPROVEMENTS

“As Built” Plans. The Owner/Developer, at the Owner/Developer’s own cost, agrees to provide the City “as built” engineering plans and specifications upon substantial completion of the public improvements or at the request of the City Engineer but in no event later than the time required by the Zoning Ordinance as amended. Said “As Built” plans shall be delivered to the City in paper format as well as electronic format suitable to and approved by the City. If there are any changes after substantial completion, revised “as built” plans addressing those changes shall be provided to the City.

Debris. The Owner/Developer agrees not to let debris or excessive construction waste accumulate on the Territory.

V

REQUIRED IMPROVEMENTS

Water Supply. The Owner/Developer shall construct and install at Owner/Developer’s expense and dedicate, convey and transfer to the City all necessary water mains to service the Territory. All water mains shall be constructed and installed in accordance with the City of St. Charles ordinances and final engineering plans approved by the City.

Sanitary and Storm Sewers. The Owner/Developer shall construct and install at Owner/Developer's expense and dedicate, convey and transfer to the City all necessary sanitary and storm sewers to service the Territory in accordance with the applicable ordinances of the City of St. Charles and final engineering plans approved by the City. The Owner/Developer agrees that no surface water is to be discharged into the sanitary sewerage collection system and will make adequate provisions that this will not occur. Tap-on fees required by the City shall not be waived. All sanitary and storm sewers, except service connections, shall be owned and maintained by the City, with right of access by the City for emergency management purposes.

Detention Areas. The Owner/Developer shall construct and install at Owner/Developer's expense all detention areas, identified on the preliminary and final plans, including drains, inlets, and outlets. Prior to the issuance of a full Site Development permit, and in conjunction with the approval of the PUD Final Plan/Plat, the Owner/Developer shall submit detailed engineering and landscape plans for the detention area. The Owner/Developer shall establish and maintain said detention areas and structures to standards approved by the City.

Sidewalks, Parkway Trees and Other Trees. The Owner/Developer shall construct sidewalks and install parkway trees and other trees in common areas, as identified in the approved plan. Sidewalks and trees at any location to or connected to a lot or unit shall be constructed and installed prior to a certificate of occupancy for the lot. All sidewalks, parkway trees and trees in common in unapproved areas shall be installed by the Owner/Developer, no later than four (4) years after the recording of the final plat of subdivision. The cost of any sidewalk or street trees shall be installed on the public right-of-way shall be included in the Owner/Developer's declared letter of credit or cash escrow or the other public improvements for the Territory.

Street Lights. The Owner/Developer shall be required to install streetlights in accordance with the City of St. Charles and final engineering plans approved by the City.

Other Improvements. The Owner/Developer shall construct and install at Owner/Developer's expense all other improvements in accordance with the requirements of the City of St. Charles and Final Engineering and Final Landscape Plan and other plans approved by the City. The City will cooperate and assist the Owner/Developer in securing any and all off-site easements necessary to enable the Owner/Developer to install and construct the water mains, sanitary and storm sewers and detention areas required to service the Territory.

Mutual Assistance. The Parties hereto agree to do all things necessary and appropriate to carry out the terms and conditions of this Agreement and to aid and assist each other in furthering the intent of the Parties as reflected by the terms of this Agreement, including without limitations, the holding of public hearings, enactment by the City of such resolutions and ordinances as are required herein, the execution of permits, applications and agreements and the taking of such other actions as may be necessary to enable the Parties to comply with the terms and provisions of this Agreement or to perform their obligations hereunder.

VI

DEDICATION AND CONSTRUCTION OF STREETS

Design and Construction of Streets. The Owner/Developer shall design streets within the Territory according to the standards adopted by the City of St. Charles or as otherwise provided for in this Agreement. All interior streets within the Territory shall be dedicated to the City. Said streets shall be constructed in accordance with the Final Engineering Plans approved by the City.

Completion of Street Improvements. The Owner/Developer shall provide access to each residential unit. Any street right-of-way not already dedicated at the time of this Agreement shall be dedicated upon the completion and acceptance of the same by the City. The City shall accept the dedication of all improvements within street right-of-ways and all improvements and facilities associated with its construction and the construction of streets and public sidewalks upon the completion by the Owner/Developer of said improvements in accordance with the City's construction standards adopted by the City of St. Charles, as modified by this Agreement. The acceptance by the City shall be evidenced by a resolution passed by the City's Corporate Authorities. The final wearing surface of streets shall be installed within nine (9) months after the installation of the base course. After completion of the construction and acceptance of any street, and if construction traffic of the Owner/Developer continue to utilize that street, the Owner/Developer shall be responsible for keeping the street free from construction debris and for repair of damages to the street caused by the Owner/Developer's construction traffic. Except as otherwise provided herein, after dedication of any street right-of-way at the time of Final Plat, the City shall enforce traffic and other regulations as to the street right-of-way. All deliveries of construction supplies or materials shall be restricted to certain streets and times as agreed upon by the Owner/Developer and the City.

Debris. The Owner/Developer shall be required to keep all street within and adjoining the Territory free from mud and debris generated by any new construction activity on the Territory.

VII

FINANCIAL ASSURANCES FOR SITE IMPROVEMENTS

Site Development Permit. Except as otherwise provided in this Agreement, prior to any site development work on the Territory, to include but not limited to grading and work done in connection with the extension and establishment of water and sewer systems, the Owners will apply for a full Site Development permit in accordance with standards adopted by the City of St. Charles.

Fee Calculation. The Parties hereto conclusively acknowledge that Site Development fees consist of the City's Engineering Review Fee and Construction Inspection Fee at the time application for the same is made. The Site Development fee described herein shall be in full, complete and final satisfaction of all obligations of the Owners, Developer or the Territory for the City's Engineering Review Fee and Construction Inspection Fee under all applicable City ordinances.

The Site Development Fees applicable to the Territory shall be paid by the Owner/Developer and shall be calculated as referenced in the City's Fee Ordinance in effect at the time application is made based on the Engineer's Estimate provided by the Owner/Developer.

The "Engineer's Estimate" in the above formula shall mean a Professional Engineer's estimate of the cost of construction of all improvements required by the approved development plans. The validity of said estimate shall be approved by the City Engineer. In the event there is a conflict between the City's Engineer's estimate and another Professional Engineer's estimate, the City Engineer's estimate shall prevail.

Improvement Security. The City shall not issue a Site Development permit for any phase of development of the Territory until the Owner/Developer has delivered to the City an irrevocable letter of credit, or cash escrow, in a form satisfactory to, and from a bank or other financial institution approved by the City, in the amount of 115% of the Engineer's Estimate of the cost of construction and installation of all site improvements for the phase as approved by the City Engineer, including all required grading, lighting, natural area establishment, landscaping, curb, gutter (if not included in the security posted to Section VI hereof), streets, sidewalks, sewer and water lines and storm water management facilities. The Owner/Developer may, from time to time, but not more than once every thirty (30) days, as improvements are installed, request from the City Engineer a reduction in the improvement security, who shall in the sole discretion of the City Engineer recommend to the Corporate Authorities, the amount of said letter of credit or cash escrow to be reduced, from time to time, as a major site improvements are completed. Upon request of the Owners or Developer for reduction of such letter of credit or cash escrow or payment out of the escrow, the City Engineer shall, in his/her discretion, but not later than fifteen (15) calendar days after request is made, recommend the amount of said letter of credit or cash escrow to be reduced or payment to be made out of the escrow, from time to time, as improvements are completed, upon approval of the Corporate Authorities of the City. The Owner/Developer hereby waives its option pursuant to 30 ILCS 550/3 and 65 ILCS 5/11-39-3 to utilize any type of security other than a Letter of Credit or cash escrow.

Acceptance. All of the public improvements contemplated herein shall, upon acceptance by the City, become the property of City and be integrated with the municipal facilities now in existence or hereinafter constructed and City thereafter agrees to maintain said public improvements. Acceptance of said public improvements shall be by a duly authorized resolution of the Corporate Authorities of the City only after the City Engineer has issued his Certificate of Inspection affirming the improvements have been constructed in accordance with the approved PUD Final Plan/Plat and the standards adopted by the City of St. Charles. Owner/Developer agrees to convey by appropriate instrument and City agrees to promptly accept, subject to terms hereof, the public improvements constructed in accordance with the approved PUD Final Plan/Plat and the standards adopted by the City of St. Charles.

VIII

MAINTENANCE OF IMPROVEMENTS AND COMMON AREAS

HOA's Maintenance of Private Areas. An HOA shall be established to assume responsibility for any improvements, open space, and/or common areas within the Territory, the HOA shall, at its sole cost and expense, maintain the improvements and areas without any modification, except as specifically approved by the City, in a first-rate condition at all times. In the event the City determines, in the City's sole and absolute discretion, that the HOA is not adequately maintaining, or has not adequately maintained, any improvement or area, the City shall have the right, but not the obligation, after ten (10) business days' prior written notice to the HOA, to enter on any or all of the residential portions of the Territory for the purpose of performing maintenance work on any affected improvement or area. In the event that the City shall cause to be performed any work pursuant to this Section VIII the City shall have the right to: (i) assess the membership of the HOA for that work; and (ii) file a lien against the property of the HOA or the property of any member failing to pay the assessment; (iii) enforce the lien in the manner provided by law for mortgage foreclosure proceedings; (iv) or to activate the dormant special service area. At no point shall the HOA have the right or ability to charge an assessment to the City for City owned property and rights-of-way located within the Territory.

IX

DAMAGE TO PUBLIC IMPROVEMENTS

The Owner/Developer shall replace and repair any damage to public improvements installed within, under or upon the Territory and for any public or private property that was damaged resulting from construction activities by Owner/Developer, Owner/Developer's successors or assigns and their employees, agents, contractors or subcontractors during the term of this Agreement. The Owner/Developer shall have no obligation hereunder with respect to damage resulting from ordinary usage, wear and tear.

X

EASEMENTS AND UTILITIES

The Owner/Developer agrees to grant to the City, and/or obtain grants to the City of all necessary easements on and offsite for the extension of sewer, water, street, or other utilities, including cable television, or for other improvements, subject to the provisions of the standards adopted by the City of St. Charles which may serve not only the Territory, but other real estate in the general area, if requested by the City in the future, in accordance with the Preliminary PUD Plan and Preliminary Engineering Plans. The extension of existing City provided water and sewer services shall be at the sole cost and expense of the Owner/Developer.

All such easements to be granted shall name the City and/or other appropriate entities designated by the City as grantee thereunder. It shall be the responsibility of the Owner/Developer to obtain all easements, both on site and off site, necessary to serve the Territory, in accordance with the Preliminary PUD Plans/Plat. The City agrees to cooperate and provide reasonable assistance to the Owner/Developer in the Owner/Developer's attempt to obtain all easements necessary to serve the Territory, in accordance with the Preliminary PUD

Plans/Plat, except that such reasonable assistance shall not include any financial assistance or require the City to expend any funds.

The Owner/Developer shall provide evidence of easement or right of way necessary for the utility extension to the Territory prior to PUD final plan/plat approval. The Owner/Developer shall submit a title commitment from Chicago Title Insurance Company, or any other licensed title company, naming the City as an additional insured to guarantee an easement for public utilities from the existing point of connection to the Territory.

All electricity, telephone, cable television and gas lines shall be installed underground, the location of which underground utilities shall be at the Owner/Developer's option, upon approval of the respective utility company.

XI

GOVERNMENT INTERESTS SERVED

The Owner/Developer agrees that any and all contributions, dedications, donations, open space and easements provided for in this Agreement substantially advance legitimate governmental interests of the City and other local taxing bodies, including but not limited to, providing its residents, and in particular the future residents of the Territory, with access to and use of public facilities, libraries, schools, parks and recreational facilities, police protection, and emergency services. The Owner/Developer further agrees that the contributions, dedications, donations and easements required by this Agreement are uniquely attributable to, reasonably related to, and made necessary by the development of the Territory.

XII

APPROVAL OF PLATS AND PLANS

The City agrees to expeditiously take action to approve or disapprove all plats, plans, and engineering submitted to City by the Owner/Developer. If the City shall determine that any such submission is not in substantial accordance with this Agreement and applicable ordinances, the City shall promptly notify the Owner/Developer in writing of the specific objection to any such submission so that the Owner/Developer can make any required corrections or revisions.

XIII

CITY REPRESENTATIONS AS TO FURTHER ACTIONS

The City shall take all actions required and necessary to enable the City to fully carry out and perform the terms, covenants, agreements, duties, and obligations created and imposed by the terms and provisions hereof.

XIV

CONTINUITY OF OBLIGATIONS

Notwithstanding any provisions of this Agreement to the contrary including but not limited to the sale and/or conveyance of all or any part of the Territory by the Owner/Developer,

the Owner/Developer shall at all times during the term of this Agreement remain liable to the City for the faithful performance of all obligations imposed upon them by this Agreement until such obligations have been fully performed or until the City has otherwise released the Owner/Developer from any or all of such obligations.

XV

BINDING EFFECT TERM AND COVENANTS RUNNING WITH THE LAND

This Agreement shall remain in effect for a term of twenty (20) years as may be extended by any amendment hereto and shall be binding upon and inure to the benefit of the Parties hereto, successor owners of record of the Territory, and their respective assignees, lessees, and upon any successor municipal authorities of said City and successor municipalities, for a period of twenty (20) years from the date of the execution of this Agreement.

The terms and conditions of this Agreement relative to the payment of monies to the contributions to the City construction and/or dedication of public improvements, granting of easements to the City, dedication of rights-of-way to the City and the development standards established herein shall constitute covenants, which shall run with the land.

It is further agreed that any party to this Agreement, either in law or in equity, by suit, action, mandamus, or other proceeding may enforce or compel the performance of this Agreement, or have other such relief for the breach thereof as may be authorized by law or that by law or in equity is available to them.

XVI

NOTICES

Unless otherwise notified in writing, all notices, requests and demands shall be in writing and shall be personally delivered to or mailed by United States Postal Service certified mail, postage prepaid and return receipt requested, as follows:

For the City:

City of St. Charles
2 East Main Street
St. Charles, Illinois 60174

For Owner/Developer:

V&M Investment and Remodeling Group, LLC
0N632 Gables Blvd.
Wheaton, Illinois 60187

XVII
SECURITY INTERESTS

The Owner/Developer shall provide the City with evidence satisfactory to the City that any mortgage, lien or any security interest, affecting title to the Territory or any part thereof are subject to this Agreement; and

If there are no mortgages, liens, or other security interests affecting title to the Territory or any part thereof, then the Owner/Developer shall affirmatively state so in said Petition(s) for Annexation, or by Affidavit as well as providing a written Title Commitment to the Territory.

XVIII
WARRANTIES AND REPRESENTATION

A. Owners.

The Owner/Developer represents and warrants to the City as follows:

That Owner/Developer is the Owner/Developer as legal title holder of the Territory; and

That the Owner/Developer proposes to develop the Territory in the manner contemplated under this Agreement; and

That other than the Owner/Developer, no other entity or person has any interest in the Territory or its Development as herein proposed; and

The Owner/Developer has done all things necessary and convenient and otherwise has fully complied with all applicable Illinois law in the annexation and rezoning of the property described in this Agreement; and

This Agreement is binding on and enforceable against the Owner/Developer who is signatory to this Agreement according to its terms; and

That the Owner/Developer has provided the legal description of the Territory set forth in this Agreement and the attached exhibits and that said legal description and exhibits are accurate and correct, to the best of the Owner/Developer's knowledge.

B. Developer.

Developer is the Owner of the Territory and plans to develop the Territory in the manner contemplated in this Agreement.

XIX

ENFORCEMENT

It is agreed that the Parties hereto may in law or in equity, by suit, action, mandamus, or any other proceeding, including specific performance, enforce or compel the performance of this Agreement, which shall include the right of the Parties to recover a judgment for monetary damages against each other. Before any failure of any Party to this Agreement to perform its obligations under this Agreement shall be deemed to be a breach of this Agreement, the Party claiming such failure shall notify, in writing, as provided below, the Party alleged to have failed to perform and performance shall be demanded. No breach of this Agreement shall be deemed to have occurred if diligent efforts to perform have commenced and continue to the satisfaction of the complaining Party within twenty-one (21) days of receipt of such notice.

This Agreement shall be enforceable in any court of competent jurisdiction by either of the Parties, or by any successor or successors in title or interest or by the assigns of the Parties. The Parties agree that any such action must be brought in the Circuit Court of DuPage County, Illinois, and that Illinois law will apply thereto.

Failure of any Party to this Agreement to insist upon the strict and prompt performance of the terms covenants, agreements, and conditions herein contained, or any of them, upon any other Party imposed, shall not constitute or be construed as a waiver or relinquishment of any Party's right thereafter to enforce any such term, covenant, agreement or condition, but the same shall continue in full force and effect.

XX

CITY APPROVAL OR DIRECTION

Where City approval or direction is required by this Agreement, such approval or direction means the approval or direction of the Corporate Authorities of the City unless otherwise expressly provided or required by law, and any such approval may be required to be given only after and if all requirements for granting such approval have been met, unless such requirements are inconsistent with this Agreement. No approval sought by Owner/Developer shall be unreasonably withheld or denied.

XXI

SINGULAR AND PLURAL

Wherever appropriate in this Agreement, the singular shall include the plural, and the plural shall include the singular.

XXII

SECTION HEADINGS AND SUB-HEADINGS

All section headings or other headings in this Agreement are for general aid of the reader and shall not limit the plain meaning or application of any of the provisions thereunder whether covered or relevant to such heading or not.

XXIII
RECORDING

A copy of this Agreement and any amendments thereto shall be recorded by the City at the expense of the Owner/Developer within thirty (30) days after the execution hereof.

XXIV
AUTHORIZATION TO EXECUTE

The Mayor and Clerk of the City hereby warrant that they have been lawfully authorized by the Corporate Authorities of City to execute this Agreement. The Owner/Developer and City shall, upon request, deliver to each other at the respective time such entities cause their authorized agents to affix their signatures hereto copies of all bylaws, resolutions, ordinances, partnership agreements, letters of direction or other documents required to legally evidence the authority to so execute this Agreement on behalf of the respective Parties.

XXV
AMENDMENTS

This Agreement sets forth all the promises, inducements, agreements, conditions and understandings between the Parties hereto relative to the subject matter thereof, and there are no promises, agreements, conditions or understandings, either oral or written, express or implied, between them other than are herein set forth. No alteration, amendment, change or addition to this Agreement shall be binding upon the Parties hereto unless in writing and signed by the parties hereto or their successors or assigns. However, this Agreement may be amended as to any portion of the Territory only by an Amendment executed by the City and by the Owner/Developer of record, of such portions of the Territory.

XXVI
COUNTERPARTS

This Agreement may be executed in two or more counterparts, each of which taken together, shall constitute one and the same instrument.

XXVII
CURING DEFAULT

It is understood by the Parties hereto that time is of the essence of this Agreement. The Parties reserve a right to cure any default hereunder within fifteen (15) business days from written notice of such default.

XXVIII
CONFLICT BETWEEN THE TEXT AND EXHIBITS

In the event of a conflict in the provisions of the text of this Agreement and the Exhibits attached hereto, the text of the Agreement shall control and govern.

XXIX
SEVERABILITY

If any provision of this Agreement is held invalid by a court of competent jurisdiction or in the event such court shall determine that the City does not have the power to perform any such provisions, such provision shall be deemed to be excised here from and the invalidity thereof shall not affect any of the other provisions contained herein, and such judgment or decree shall relieve the City from performance under such invalidity thereof shall not affect any of the other provisions contained herein, and such judgment or decree shall relieve the City from performance under such invalid provision of this Agreement.

XXX
REIMBURSEMENT TO CITY FOR LEGAL AND OTHER FEES/EXPENSES

To Effective Date of Agreement. The Owner/Developer shall reimburse the City for the following expenses incurred in the preparation and review of this Agreement, and any ordinances, letters of credit, plats, easements or other documents relating to the Territory.

Miscellaneous City expenses, such as, but not limited to, legal publication costs, recording fees, and copying expenses.

From and After Effective Date of Agreement. Except as provided in the paragraph immediately following this paragraph, upon demand by City made by and through its Mayor, the Owner/Developer from time to time shall promptly reimburse City for all enumerated reasonably attorney's fees and costs incurred by City in the administration of the Agreement and out of pocket expenses involving various and sundry matters such as, but not limited to, preparation and publication, if any, of all notices, resolutions, ordinances, and other documents required hereunder.

Such costs and expenses incurred by the City in the administration of the Agreement shall be evidence to the Owner/Developer upon its request, by a sworn statement of the City; and such costs and expenses may be further confirmed by the Owner/Developer at its option from additional documents relevant to determining such costs and expenses as designated from time to time by the Owner/Developer.

Owner/Developer shall in no event be required to reimburse City or pay for any expenses or costs of City as aforesaid more than once, whether such are reimbursed or paid through special assessment proceedings, through fees established by City ordinances or otherwise.

In the event that any third party or parties institute any legal proceedings against the Owner/Developer and/or the City, which relate to the validity or any terms of this Agreement or the Annexation of the Territory to the City, then, in that event, the Owner/Developer, upon written notice from City, shall assume, fully and vigorously, the entire defense of such lawsuit and the expenses of whatever nature relating thereto, provided, however:

The Owner/Developer shall not make any settlement or compromise of the lawsuit, or fail to pursue any available avenue of appeal of any adverse judgment, without the approval of the City, which approval shall not be unreasonably withheld; and

If the City, in its sole discretion, determines there is or may probably be a conflict of interest between the City and the Owner/Developer, on an issue of importance to the City having a potentially substantial adverse effect on the City, then the City shall have the option of being represented by its own legal counsel. In the event the City exercises such option, then the Owner/Developer shall reimburse the City from time to time on written demand from the President of the City and notice of the amount due for any expenses, including but not limited to court costs, reasonable attorney's fees and witnesses' fees and other expenses of litigation, incurred by the City in connection therewith.

In the event the City institutes legal proceedings against the Owner/Developer for violation of this Agreement, and secured a judgment in its favor, or by settlement, the Owner/Developer shall pay all expenses of such legal proceedings incurred by the City, including but not limited to, the court costs and reasonable attorney's fees, etc., incurred by the City in connection therewith.

XXXI

EFFECTIVENESS OF ANNEXATION AGREEMENT AND ORDINANCES

The parties agree that this Annexation Agreement and the Ordinances enacted by the City, in connection therewith shall not be effective until and unless (i) each of the owners of record of the Territory have conveyed to Owner/Developer those portions of the Territory owned by them and (ii) that the Owner/Developer is the Owner of the Territory and further agree that in the event any of the conveyances have not been made within thirty (30) days after the date hereof, then this Agreement and such Ordinances may be rescinded by the action of the Corporate Authorities, whereupon they shall not be effective and shall be of no further force and effect and shall be null and void.

XXXII

LIABILITY

The Parties acknowledge and agree that the individuals who are members of the group constituting the Corporate Authorities of the City and the Corporate Authorities of the Owner/Developer are entering into this Agreement in their corporate capacities as members of such group and shall have no personal liability in their individual capacities.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed on the day and year first above written.

CITY OF ST. CHARLES
An Illinois Municipal Corporation

By: _____
Mayor Raymond P. Rogina

ATTEST:

By: _____
City Clerk Charles Amenta

STATE OF ILLINOIS)
)SS
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Raymond P. Rogina, personally known to me to be the Mayor of the City of St. Charles, and Charles Amenta, personally known to me to be the City Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such Mayor and City Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed hereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____, 2020.

Notary Public

My commission expires on _____.

Owner/Developer:

V&M INVESTMENT AND REMODELING GROUP, LLC,
An Illinois limited liability company

By _____
VITO MULLI

STATE OF ILLINOIS)
)SS
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Vito Muilli, personally known to me the same person whose name is subscribed to the foregoing instrument appeared before me this day appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____, 2020.

Notary Public

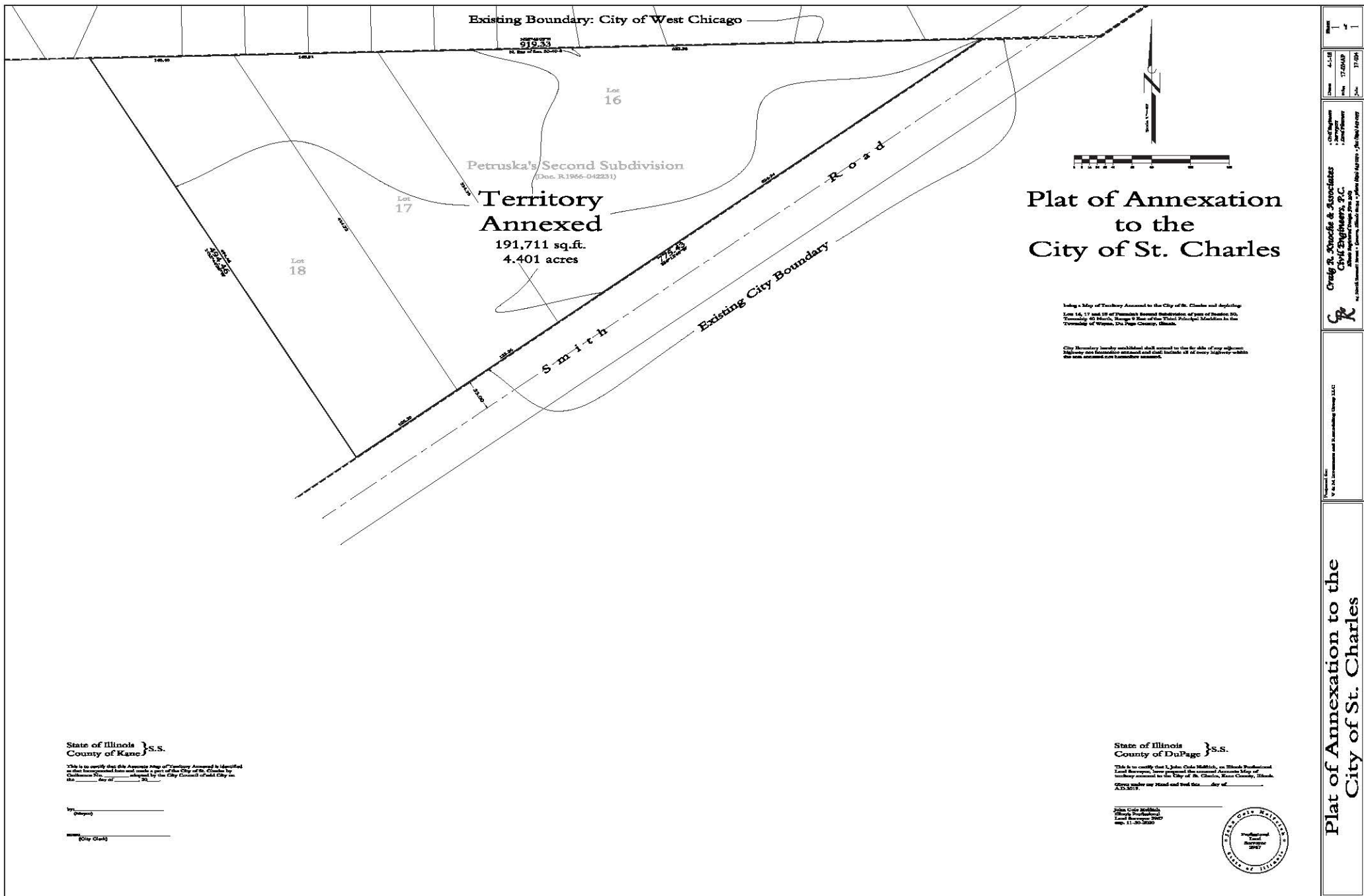
My commission expires on _____.

EXHIBIT A

LEGAL DESCRIPTION

LOTS 16, 17 AND 18 IN PETRAUSKAS' SECOND SUBDIVISION OF PART OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 24, 1966 AS DOCUMENT R66-42231, IN DUPAGE COUNTY, ILLINIOS.

EXHIBIT B
PLAT OF ANNEXATION



Plat of Annexation to the City of St. Charles

Being a Map of Territory Annexed to the City of St. Charles and depicting
Lots 16, 17 and 18 of Petruska's Second Subdivision of part of Section 25,
Township 40 North, Range 9 East of the Third Principal Meridian in the
County of Warren, Du Page County, Illinois.

City Boundary hereby established shall extend to the full of any adjacent
highway now or hereafter established and shall include all of every highway within
the said annexed city territory herein.

State of Illinois } S.S.
County of Kane }

This is to certify that this Annexation Map of Territory Annexed is identical
as then incorporated into and made a part of the City of St. Charles by
Ordinance No. _____ adopted by the City Council of said City on
the _____ day of _____, 2017.

(Signature)

(City Clerk)

State of Illinois } S.S.
County of DuPage }

This is to certify that John Criss Mathis, an Illinois Professional
Land Surveyor, has prepared the annexed Annexation Map of
territory annexed to the City of St. Charles, DuPage County, Illinois.
Given under my Hand and Seal this _____ day of _____
A.D. 2017.

John Criss Mathis
Illinois Professional
Land Surveyor No. 2007
Exp. 11-30-2020



Plat of Annexation to the
City of St. Charles

Prepared for:
City of St. Charles and DuPage County, Illinois

(Signature)

Gregory R. Shofie & Associates
Civil Engineers, P.C.
1400 South Main Street, Suite 100, St. Charles, Illinois 60154
Tel: 630.584.1111 Fax: 630.584.1112

Scale: 1" = 100'
Date: 11/15/2017

EXHIBIT C
PUD ORDINANCE

City of St. Charles, Illinois
Ordinance No. 2019-Z-

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development, PUD Preliminary Plan, and Final Plat of
Subdivision for Brooke Toria Estates**

WHEREAS, on or about June 1, 2018, V&M Investment and Remodeling Group, LLC (the “Applicant”) filed petitions for: 1) Map Amendment from RE-1 Single-Family Estate District to RS-4 Suburban Single-Family Residential District; 2) Special Use for Planned Unit Development; 3) PUD Preliminary Plan; and 4) Final Plat of Subdivision, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of developing a 16-lot residential subdivision; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about June 29, 2018 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 17, 2018 and August 7, 2018 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision petitions on or about August 7, 2018; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about August 13, 2018; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RE-1 Single-Family Estate District to the RS-4 Suburban Single-Family Residential District, and the Findings of Fact for Map Amendment

attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Final Engineering Plans; Craig R. Knoche & Associates; revisions dated 10/28/2019
- Landscape Plan, McCallum Associates; revisions dated 3/11/2019

5. That passage of this Ordinance shall constitute approval of a Final Plat of Subdivision, incorporated herein as Exhibit “E”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Plat of Resubdivision – Brooke Toria Estates of St. Charles; Craig R. Knoche & Associates; dated 10/30/2019

6. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the RS-4 Suburban Single-Family Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “F”.

- b. Landscape Buffers:

1. Northern Landscape Buffer: A 30 foot wide landscape buffer along the northern property lines of Lots 9-16 as identified on the Final Plat of Subdivision shall be provided. The buffer shall consist of vegetation which provides opaque, year-round screening to a height of 6 ft. above the grade of the common property line, in accordance with Section 17.26.070

“Landscape Buffers”. Should existing vegetation be removed within the landscape buffer, plantings shall be added if necessary to provide the required screening. Should the landscape buffer be cleared of vegetation, plantings shall be installed in accordance with the Landscape Plan.

2. Smith Road Landscape Buffer: A 5 foot wide landscape buffer along the rear property lines of lots backing up to Smith Road (Lots 1-5 & 16) shall be provided, as depicted on the PUD Preliminary Plan. This area shall be planted in accordance with the Landscape Plan.
- c. Fence: The fence within the rear yards of lots backing up to Smith Road (Lots 1-5 & 16) shall be of a uniform height and design, as shown on the PUD Preliminary Plan.
- d. Owners’ Association: The Applicant shall create one or more Owners’ Associations and create a Declaration of Covenants, Conditions & Restrictions that clearly identifies all responsibilities of the Owners Associations with respect to the use, maintenance and continued protection of the common open space and improvements in the Subject Property, including, but not limited to, the landscape buffers, stormwater detention facilities, development identification sign, entrance island landscaping, fence along Smith Road, and the private storm sewer. Such Declaration shall be in a form reasonably acceptable to the City and shall be recorded immediately following the recording of the Final Plat of Subdivision for the Subject Property.
- e. Special Service Area: Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities and other facilities serving the Subject Property. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other facilities are not adequately maintained by the Owner or successors.
- f. School and Park Contributions: The Park and School contributions shall be provided by the Applicant as cash in lieu of land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.
- g. Inclusionary Housing: The Inclusionary Housing contribution shall be provided by the Applicant as a cash in lieu of affordable units in accordance with the provisions of Title 19 of the St. Charles Municipal Code, as the same may be amended from time to time.

7. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in

and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date:_____

EXHIBIT "A"

LEGAL DESCRIPTION

LOTS 16, 17 AND 18 IN PETRAUSKAS' SECOND SUBDIVISION OF PART OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 24, 1966 AS DOCUMENT R66-42231, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT “B”

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

Existing R-4 in DuPage County currently vacant. Surrounding use is single-family attached and single-family detached.

2. The extent to which property values are diminished by the existing zoning restrictions.

Proposed use is contiguous to existing single-family.

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

Property is vacant and unable to be used for any productive purpose.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

Property is unable to be developed in the county without utilities provided by St. Charles.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

Property has never been developed and has remained vacant.

6. The evidence, or lack of evidence, of the community’s need for the uses permitted under the proposed district.

Strong need for single-family and is permitted by St. Charles Ordinance 2014-M-31.

7. The consistency of the proposed amendment with the City’s Comprehensive Plan.

Proposed amendment is authorized by St. Charles Ordinance 2014-M-31

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

Property is currently outside the corporate limits of St. Charles.

9. The extent to which the proposed amendment creates nonconformities.

Proposed development is consistent with St. Charles Ordinance 2014-M-31.

10. The trend of development, if any, in the general area of the property in question.

Proposed development will provide access to strong demand for single-family housing.

EXHIBIT “C”

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

Developer intends on constructing single-family homes for an aging population to accommodate current demand.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
 - A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The buildings within the PUD offer high quality architectural design. The PUD provides affordable dwelling units in conformance with or in excess of city policies and ordinances.

iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

There is a strong demand for new construction of single-family homes.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Engineering site plans identify existing utilities.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The development has no effect on nearby property since it adjoins existing single-family.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Proposed use is adjoining existing single-family.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

Proposed subdivision is compatible with adjoining single-family.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

Development will be constructed and designed in accordance with existing codes except for requested lot variances.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

There is a strong demand for single-family homes in St. Charles and will accommodate empty nesters.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD is single-family as authorized by city of St. Charles ordinance 2014-M-31.

EXHIBIT “D”

**PUD PRELIMINARY PLAN
(20 pages)**

RESIDENTIAL DEVELOPMENT

SMITH ROAD ST. CHARLES, ILLINOIS

PREPARED FOR
V&M INVESTMENT & REMODELING GROUP, LLC
ON632 GABLES BLVD
WHEATON, ILLINOIS



DRAWINGS INDEX			
		REV	DATE
CD.1	TITLE & INDEX SHEET	6	10/28/19
CD.2	EXISTING CONDITIONS & DEMOLITION PLAN	2	10/17/19
C1.1	SITE PLAN	4	2/26/19
C1.2	TRUCK TURNING EXHIBIT	4	2/26/19
C2.1	GRADING PLAN	5	5/13/19
C2.2	STORMWATER POLLUTION PREVENTION PLAN	4	2/26/19
C2.3	SWPPP DETAILS	0	4/30/18
C2.4	FAITH LANE PLAN & PROFILE	4	2/26/19
C3.1	UTILITY PLAN	6	10/28/19
C3.2	SANITARY PROFILE	6	10/28/19
C3.3	WATERMAIN PROFILE	6	10/28/19
L1.0	LANDSCAPE PLAN	4	2/26/19
SL3.0	PHOTOMETRIC PLAN	4	2/26/19
SL3.1	SPECIFICATION SHEET	4	2/26/19
CB.1	MAINTENANCE OF TRAFFIC PLAN	0	10/28/19
CB.2	MAINTENANCE OF TRAFFIC PLAN	0	10/28/19
C7.1	GENERAL NOTES & SPECIFICATIONS	3	1/21/19
C7.2	SITE DETAILS	4	2/26/19
C7.3	UTILITY DETAILS	4	2/26/19
C7.4	ROAD DETAILS	0	10/28/19
	LATEST REVISION	6	10/28/19

CONTACTS	
CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL 60174	
COMMUNITY & ECONOMIC DEVELOPMENT MITA THANGAM - DIRECTOR	(630) 377-4443
PLANNING DIVISION RUSSELL COUNTY - COMMUNITY DEVELOPMENT DIVISION MANAGER	(630) 377-0443
PUBLIC WORKS PETER SWAR - DIRECTOR	(630) 377-4405
KAREN YOUNG - ASSISTANT DIRECTOR OF PW-ENGINEERING	(630) 377-4428

BENCHMARKS	
BENCHMARK #1011 OF IOWA THAT IS ON THE SOUTH SIDE OF SMITH ROAD JUST TO THE SOUTHWEST OF PLEASANT TRAIL, APPROX. 300' SOUTHWEST OF THE SITE'S SOUTHWEST PROPERTY CORNER. ELEVATION: 780.85	
BENCHMARK #1012 OF IOWA ON THE SOUTH SIDE OF SMITH ROAD, JUST EAST OF PLEASANT TRAIL, APPROX. 60' SOUTHWEST OF THE SITE'S SOUTHWEST PROPERTY CORNER. ELEVATION: 780.24	
ALL ELEVATIONS ARE MEASURES UNLESS OTHERWISE STATED, REFER TO CDS FOR BENCHMARK LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL BENCHMARKS.	

DRAINAGE OVERLAY CERTIFICATE	
STATE OF ILLINOIS	COUNTY OF DAVENPORT
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATER WILL NOT BE CHANGED BY THE SUBMITTAL OF THIS DRAINAGE OVERLAY CERTIFICATE. WE SHALL BE RESPONSIBLE FOR THE DRAINAGE OF SURFACE WATER TO THE DRAINAGE SYSTEM OF THE CITY OF ST. CHARLES, ILLINOIS.	
DATED: 10/28/19	CITY OF ST. CHARLES
SIGNED: [Signature]	SEAL OF CITY ENGINEER
10/28/19	

WARNING CALL

Call 48 hours
before you dig
including
Sat, Sun &
Holidays



Excavate
at least 2 days
before you dig

BEFORE YOU DIG

CONTRACTORS SHALL CALL JULLIE
BEFORE START OF CONSTRUCTION.
CALL LOCAL AMERITECH OFFICE FOR
LOCATIONS OF FIBEROPTIC CABLES.
JULLIE DOES NOT MARK THESE
LOCATIONS.

REVISIONS		
REV	DATE	DESCRIPTION
1	10/27/19	PRELIMINARY
2	10/27/19	PRELIMINARY
3	10/27/19	PRELIMINARY
4	10/27/19	PRELIMINARY
5	10/27/19	PRELIMINARY
6	10/27/19	PRELIMINARY
7	10/27/19	PRELIMINARY
8	10/27/19	PRELIMINARY
9	10/27/19	PRELIMINARY
10	10/27/19	PRELIMINARY

TITLE & INDEX
SHEET

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

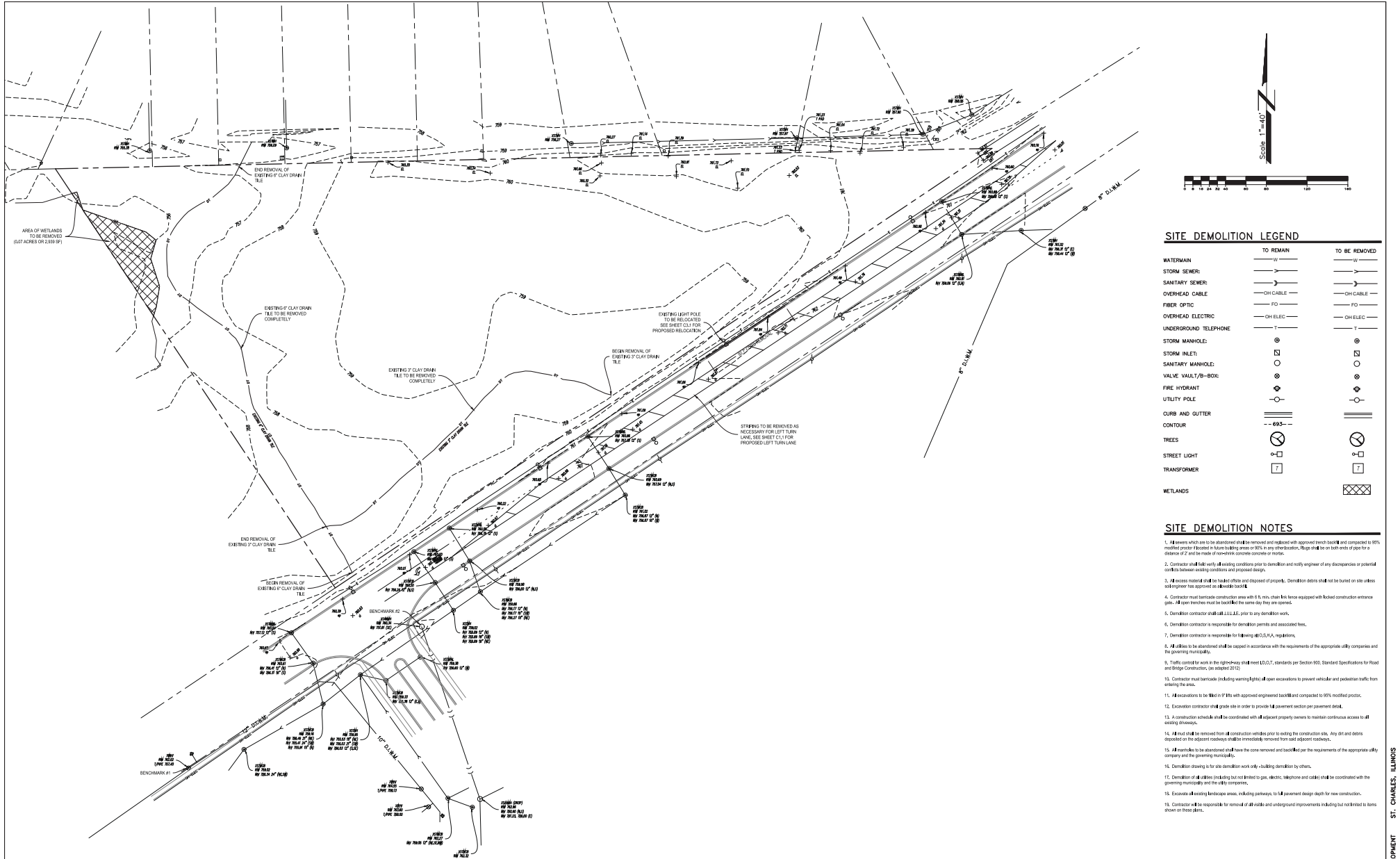
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY
SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH
THE CITY OF ST. CHARLES, ILLINOIS, ORDINANCES AND THE CITY OF ST. CHARLES,
ILLINOIS, RESOLUTIONS AND ORDINANCES.



Craig R. Knoche & Associates
Civil Engineers, P.C.
1000 West 10th Street • St. Charles, IL 60174 • Phone: (630) 377-4443 • Fax: (630) 377-4444

DATE: 4/30/19
FILE: 17-034_001
SHEET NO: 17-034
SHEET 06

RESIDENTIAL DEVELOPMENT ST. CHARLES, ILLINOIS



SITE DEMOLITION LEGEND

	TO REMAIN	TO BE REMOVED
WATERMAIN	—W—	—W—
STORM SEWER	—S—	—S—
SANITARY SEWER	—SS—	—SS—
OVERHEAD CABLE	—OH CABLE—	—OH CABLE—
FIBER OPTIC	—FO—	—FO—
OVERHEAD ELECTRIC	—OH ELEC—	—OH ELEC—
UNDERGROUND TELEPHONE	—T—	—T—
STORM MANHOLE:	⊗	⊗
STORM INLET:	⊙	⊙
SANITARY MANHOLE:	○	○
VALVE VAULT/B-BOX:	⊕	⊕
FIRE HYDRANT	⊙	⊙
UTILITY POLE	⊗	⊗
CURB AND GUTTER	=====	=====
CONTOUR	-- 69.5 --	
TREES	⊗	⊗
STREET LIGHT	□	□
TRANSFORMER	⌈	⌈
WETLANDS		⊗

SITE DEMOLITION NOTES

- All items which are to be abandoned shall be removed and replaced with approved trench backfill and compacted to 95% modified proctor finished in turn of the area or 90% in any other location. Trench shall be on both ends of pipe for a distance of 2' and be made of non-hydrate concrete or mortar.
- Contractor shall notify all existing conditions prior to demolition and notify engineer of any discrepancies or potential conflicts between existing conditions and proposed design.
- All access material shall be hauled offsite and disposed of properly. Demolition debris shall not be buried on site unless sub-engineer has approved an alternate method.
- Contractor must barricade construction area with 6 ft. max. chain-link fence equipped with locked construction entrance gate. All open trenches must be backfilled the same day they are opened.
- Demolition contractor shall follow all LULUE prior to any demolition work.
- Demolition contractor is responsible for obtaining all permits and associated fees.
- Demolition contractor is responsible for following all OSHA regulations.
- All utilities to be abandoned shall be capped in accordance with the requirements of the appropriate utility companies and the governing municipality.
- Traffic control for work in the right-of-way shall meet LULUE standards per Section 900, Standard Specifications for Road and Bridge Construction, (as adopted 2012).
- Contractor must barricade (including warning lights) all open excavations to prevent vehicular and pedestrian traffic from entering the area.
- All excavations to be 18" or less with approved engineered backfill and compacted to 95% modified proctor.
- Excavation contractor shall grade site in order to provide full pavement section per pavement design.
- A construction schedule shall be coordinated with all adjacent property owners to maintain continuous access to all existing driveways.
- All materials shall be removed from all construction vehicles prior to exiting the construction site. Any dirt and debris deposited on the adjacent roadway shall be immediately removed from road adjacent roadway.
- All materials to be abandoned shall have the area removed and backfilled per the requirements of the appropriate utility company and the governing municipality.
- Demolition drawing is for site demolition work only - building demolition by others.
- Demolition of all utilities (including but not limited to gas, electric, telephone and cable) shall be coordinated with the governing municipality and the utility companies.
- Excavate all existing landscape areas, including patios, to full pavement design depth for new construction.
- Contractor shall be responsible for removal of all mobile and underground improvements including but not limited to items shown on these plans.

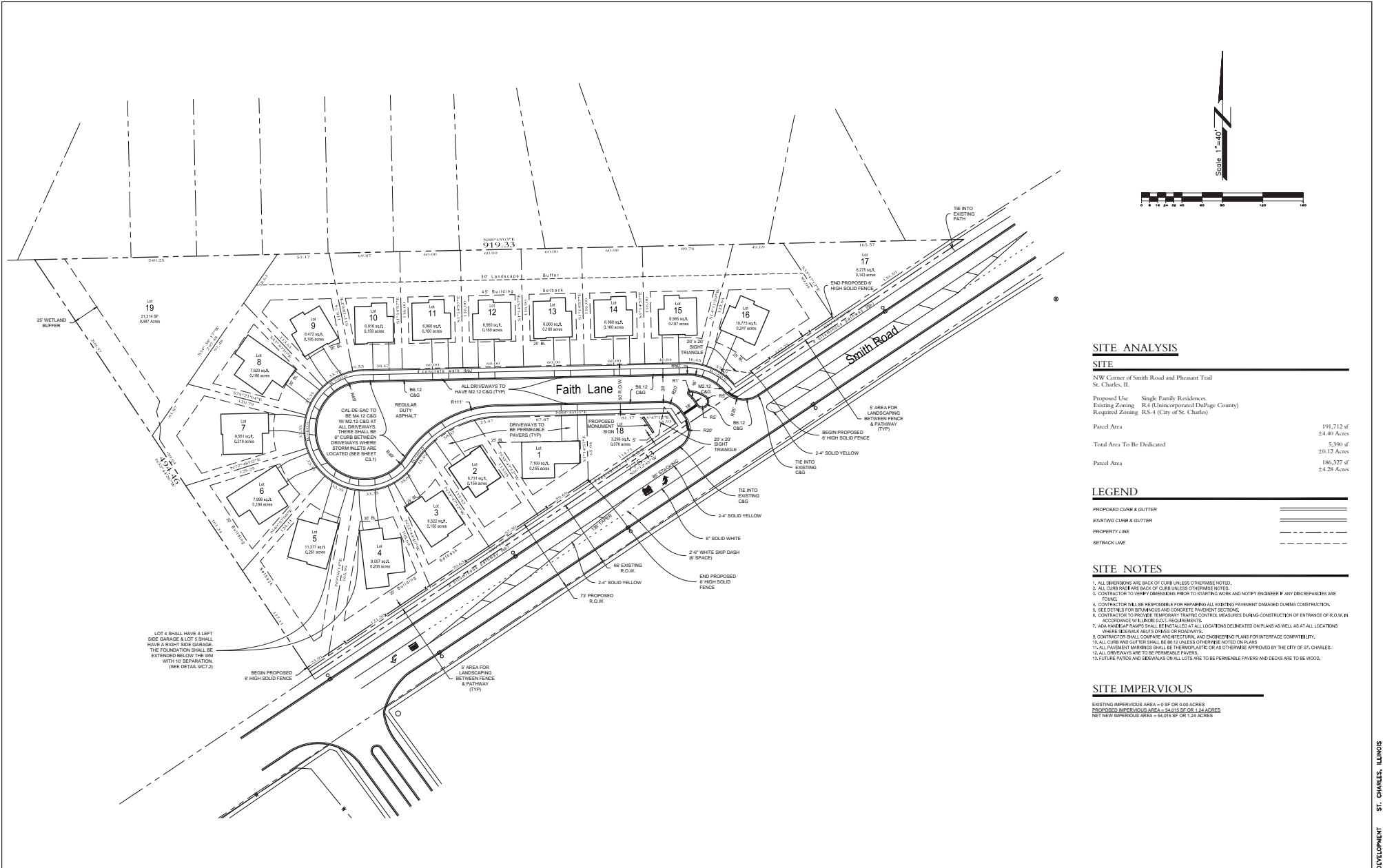
REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
2	10/17/18	PER CITY COMMENTS			
1	8/29/18	PER CITY COMMENTS			

EXISTING CONDITIONS
& DEMOLITION PLAN

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates • Civil Engineers
Civil Engineers, P.C.
1116 Commerce Drive • Geneva, IL 60134 • Phone (630) 449-1270 • Fax (630) 449-1279

DATE: 4/30/18
FILE: 17-034 C02
JOB NO: 17-034
SHEET NO: C0.2



SITE ANALYSIS

SITE

NW Corner of Smith Road and Pleasant Trail
St. Charles, IL

Proposed Use Single Family Residences
Existing Zoning R-4 (Unincorporated DuPage County)
Required Zoning RS-4 (City of St. Charles)

Parcel Area	191,712 sf \$4.40 Acres
Total Area To Be Dedicated	5,390 sf ±0.12 Acres
Parcel Area	186,322 sf \$4.28 Acres

LEGEND

PROPOSED CURB & GUTTER	=====
EXISTING CURB & GUTTER	=====
PROPERTY LINE	-----
SETBACK LINE	-----

SITE NOTES

1. ALL DIMENSIONS ARE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RAMP ARE BACK OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
4. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
5. SEE DETAIL FOR RETAINING AND CONCRETE PAVEMENT SECTIONS.
6. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCE OF FLOOR IN ACCORDANCE TO ILLINOIS DOT'S REQUIREMENTS.
7. ADA HANDICAP RAMPS SHALL BE INSTALLED AT ALL LOCATIONS Delineated ON PLANS AS WELL AS AT ALL LOCATIONS WHERE SIDEWALK ABUTS CORNERS OR ROADWAYS.
8. CONTRACTOR SHALL COMPILE ARCHITECTURAL AND ENGINEERING PLANS FOR INTERFACE COMPATIBILITY.
9. ALL CURB AND GUTTER SHALL BE 36" WIDE UNLESS OTHERWISE NOTED ON PLANS.
11. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC OR AS OTHERWISE APPROVED BY THE CITY OF ST. CHARLES.
12. ALL DRIVEWAYS ARE TO BE PERMEABLE PAVING.
13. FUTURE PATIOS AND SIDEWALKS ON ALL LOTS ARE TO BE PERMEABLE PAVING AND DECKS ARE TO BE WOOD.

SITE IMPERVIOUS

EXISTING IMPERVIOUS AREA = 0 SF OR 0.00 ACRES
PROPOSED IMPERVIOUS AREA = 54,015 SF OR 1.24 ACRES
NET NEW IMPERVIOUS AREA = 54,015 SF OR 1.24 ACRES

REVISIONS			
NO.	DATE	DESCRIPTION	
4	2/28/19	PER CITY COMMENTS	
3	10/17/18	PER CITY COMMENTS	
1	8/29/18	PER CITY COMMENTS	

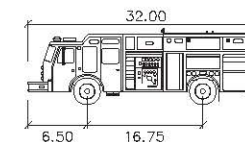
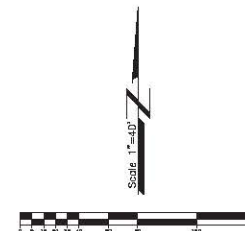
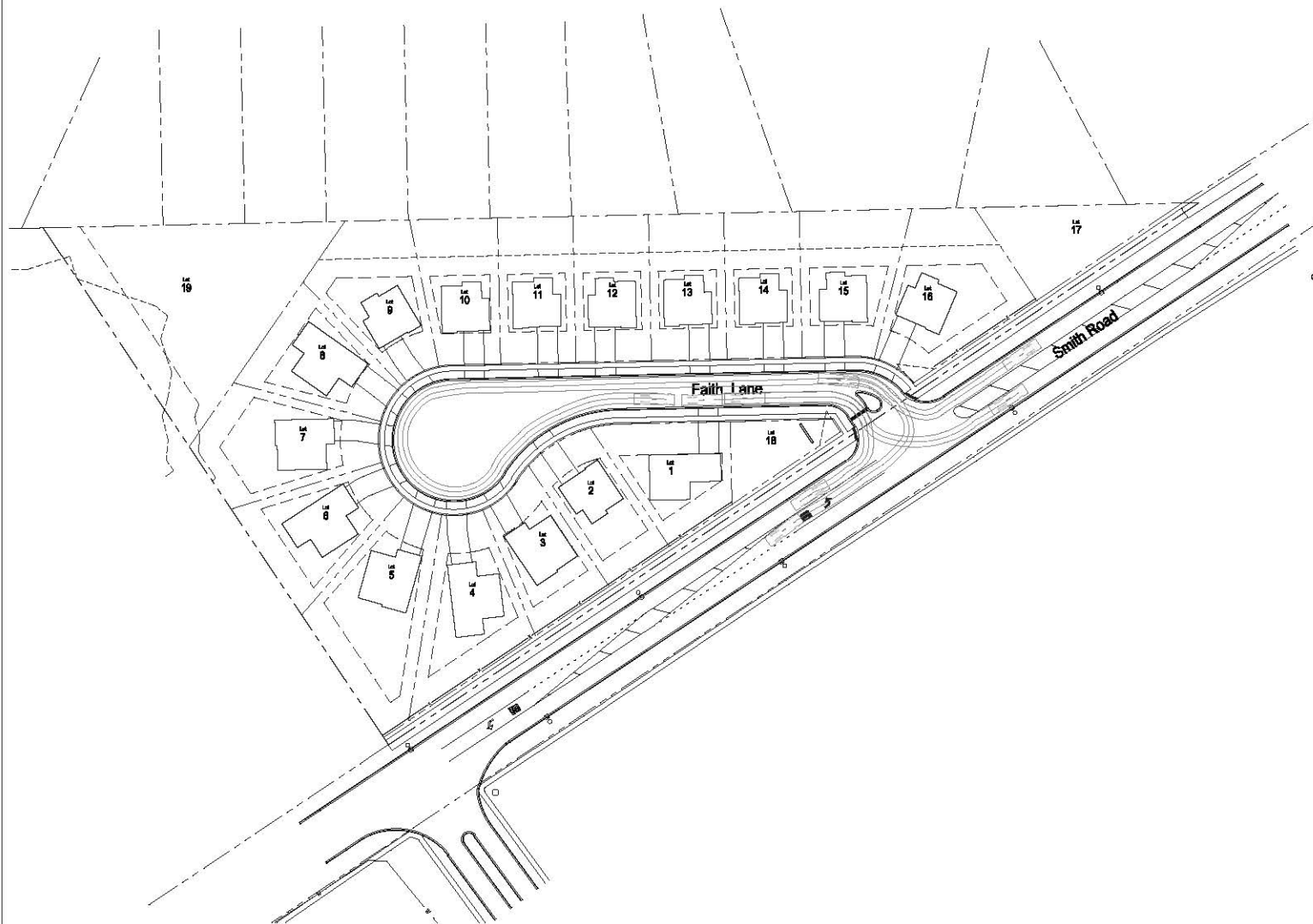
SITE PLAN

**RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS**

11th Commerce Drive • Glenview, IL 60046 • p: 847.440.1234 • f: 847.440.1235

Craig R. Knoche & Associates • Civil Engineers
Civil Engineers, P.C.
11th Commerce Drive • Glenview, IL 60046 • p: 847.440.1234 • f: 847.440.1235

DATE	4/30/18
FILE	17-034 C10
JOB NO.	17-034
SHEET NO.	C1.1



Fire Pumper feet
 Width : 8.50
 Track : 8.50
 Lock to Lock Time : 6.0
 Steering Angle : 45.0

REVISIONS			
NO.	DATE	DESCRIPTION	BY
4	3/28/18	PER CITY COMMENTS	
8	10/17/18	PER CITY COMMENTS	

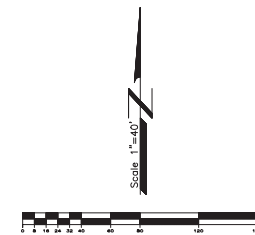
TRUCK TURNING EXHIBIT

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates • Civil Engineers
Civil Engineers, P.C.
 100 COMMUNITY DRIVE • GLENVIEW, IL 60025 • PHONE (847) 843-1270 • FAX (847) 843-1270

DATE: 8/26/18
 FILE: 17-034 C10
 SHEET NO. 17-034

C1.2

[illegible]

<div style="text-align: center;"> <h1>GRADING PLAN</h1> </div>	<div style="text-align: center;"> <h2>RESIDENTIAL DEVELOPMENT</h2> <h3>SMITH ROAD</h3> <h3>ST. CHARLES, ILLINOIS</h3> </div>	<div style="text-align: center;">  <h3>Craig R. Knoche & Associates</h3> <h3>Civil Engineers, P.C.</h3> <p>1116 Commerce Drive • Geneva, IL 60134 • Phone (630) 842-2270 • Fax (630) 842-2272</p> </div>	DATE: 4/30/18 FILE: 17-034 C20 JOB NO: 17-034	C2.1 SHEET NO.



LEGEND	
EXISTING	PROPOSED
PAVEMENT GRADE	+475.0
WALK GRADE	+475.0
BACK OF CURB GRADE	+475.0
GROUND GRADE	+475.0
RAIN GRADE	+475.0
STORM STRUCTURE	⊙
CONTOURS	— 475 —
EMERGENCY OVERFLOW	→
FLOW DIRECTION	→
REDLINES	---
REVERSE CURB	~~~~~

- GRADING NOTES**
1. GENERAL CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 2. THE GENERAL CONTRACTOR SHALL SPREAD SPREAD FROM ANY CONTRACTOR WORK TO BALANCE THE SITE TO THE EXTENT POSSIBLE.
 3. EROSION CONTROL MEASURES SHALL BE PLACED ON ALL EXPOSED SOILS. EROSION CONTROL MEASURES SHALL BE PLACED ON ALL EXPOSED SOILS. EROSION CONTROL MEASURES SHALL BE PLACED ON ALL EXPOSED SOILS. EROSION CONTROL MEASURES SHALL BE PLACED ON ALL EXPOSED SOILS.
 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN SUCH MEASURES UNTIL EROSION CONTROL MEASURES ARE NO LONGER REQUIRED. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL BE PLACED ON ALL EXPOSED SOILS. EROSION CONTROL MEASURES SHALL BE PLACED ON ALL EXPOSED SOILS. EROSION CONTROL MEASURES SHALL BE PLACED ON ALL EXPOSED SOILS.
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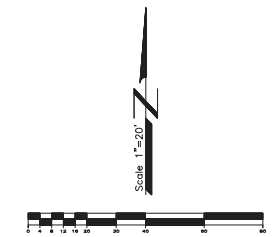
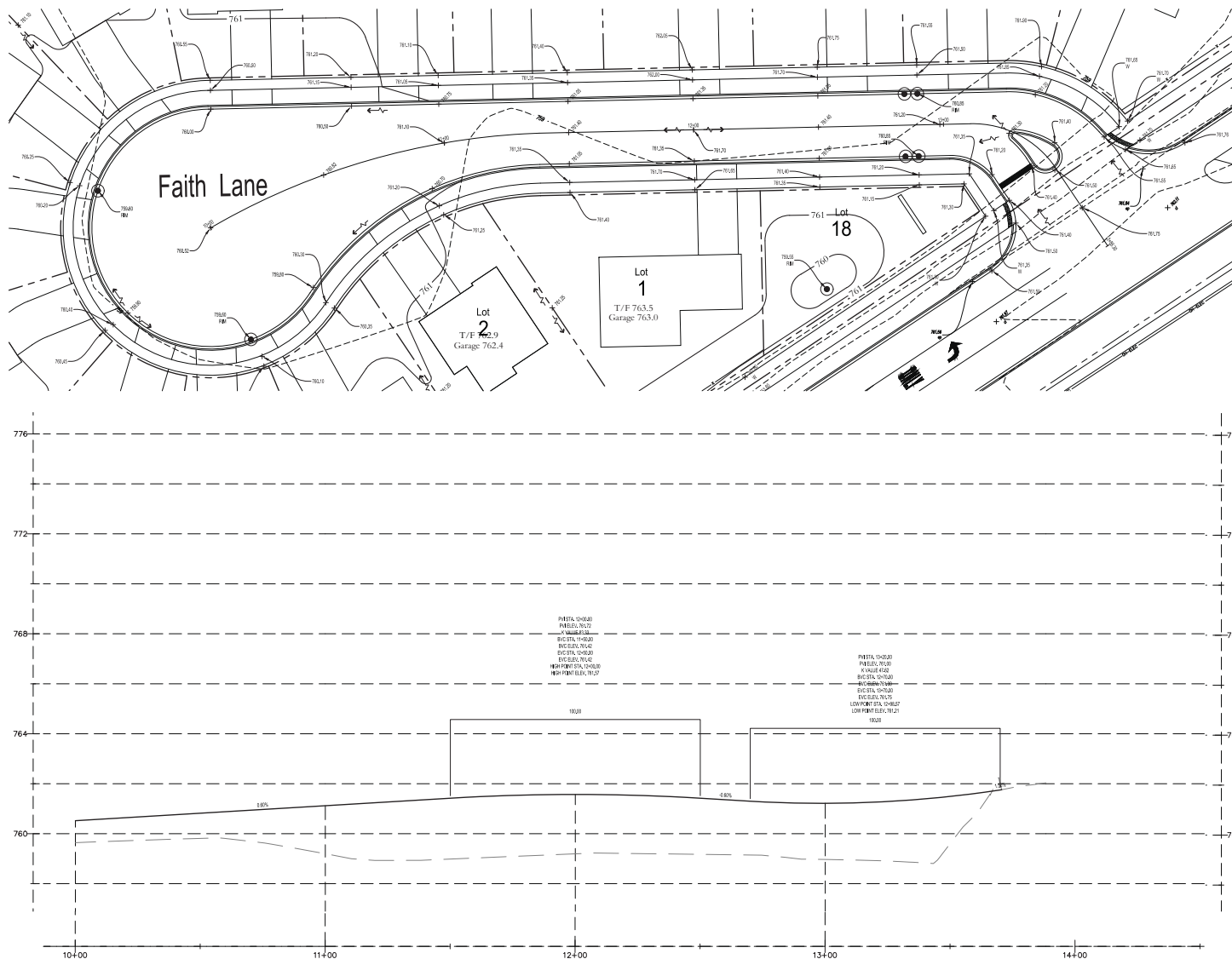
REVISIONS	
NO.	DATE
4	2/26/19
3	1/21/19
2	10/17/18
1	8/29/18

STORMWATER POLLUTION PREVENTION PLAN

RESIDENTIAL DEVELOPMENT SMITH ROAD ST. CHARLES, ILLINOIS

11th Commerce Drive • Geneva, IL 60134 • Phone (630) 449-2270 • Fax (630) 449-2272

Craig Z. Knoche & Associates • Civil Engineers
11th Commerce Drive • Geneva, IL 60134 • Phone (630) 449-2270 • Fax (630) 449-2272



LEGEND		
	EXISTING	PROPOSED
PAVEMENT GRADE	+45.00	+45.00
WALK GRADE	+45.00	+45.00
BACK OF CURB GRADE	+45.00	+45.00
GROUND GRADE	+45.00	+45.00
RAM GRADE	+45.00	+45.00
STORM STRUCTURE	⊙	⊙
CONTOURS	— 475 —	— 475 —
EMERGENCY OVERFLOW		→
FLOW DIRECTION		→
RED LINES		---
REVERSE CURB		~~~~~

- GRADING NOTES**
1. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 2. THE GENERAL CONTRACTOR SHALL SPREAD SPREADS FROM EXISTING CONTRACTOR WORK TO MAINTAIN THE SITE TO THE EXTENT POSSIBLE.
 3. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE.
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 5. THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF EROSION CONTROL MEASURES SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL EROSION CONTROL MEASURES ARE NO LONGER REQUIRED. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL EROSION CONTROL MEASURES ARE NO LONGER REQUIRED.
 6. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED WHERE REQUIRED TO PREVENT EROSION. THE GENERAL CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL EROSION CONTROL MEASURES ARE NO LONGER REQUIRED.
 7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER IN WRITING OF ANY ADDITIONAL SOURCES OF EROSION CONTROL MEASURES. THE GENERAL CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES UNTIL EROSION CONTROL MEASURES ARE NO LONGER REQUIRED.
 8. SEE SOILS REPORTS FOR TESTING REQUIREMENTS. THE FINAL SOILS REPORTS ARE DATED AS FOLLOWS: ONE REPORT AND SOILS REPORTS PREPARED BY TERRACON DATED 08/11/2017.
 9. ALL FILL AND BACKFILL SHALL BE PLACED IN LIFTS OF 4" OR LESS IN EACH THICKNESS.
 10. ALL FILL AREAS SHALL BE PLACED AND COMPACTED AS STRUCTURAL FILL. WHEN TO RECOVER FILL SHALL BE REQUIRED TO A MINIMUM DEPTH OF 12" AND PROTECTIVE FILL TO EXISTING FILL. ALL FILL AREAS SHALL BE PLACED AND COMPACTED AS STRUCTURAL FILL. WHEN TO RECOVER FILL SHALL BE REQUIRED TO A MINIMUM DEPTH OF 12" AND PROTECTIVE FILL TO EXISTING FILL.
 11. FOR FILL AREAS, THE UPPER 12" OF BURIED AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY VARIATION. STANDARD PROVISIONS FOR AVERAGE CONTENT, FILLING, AND VOLUME OF OPTIMUM DRY DENSITY VARIATION SHALL BE PLACED AND COMPACTED AS STRUCTURAL FILL. WHEN TO RECOVER FILL SHALL BE REQUIRED TO A MINIMUM DEPTH OF 12" AND PROTECTIVE FILL TO EXISTING FILL.
 12. FOR BURIED AREAS, THE UPPER 12" OF BURIED AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY VARIATION. STANDARD PROVISIONS FOR AVERAGE CONTENT, FILLING, AND VOLUME OF OPTIMUM DRY DENSITY VARIATION SHALL BE PLACED AND COMPACTED AS STRUCTURAL FILL. WHEN TO RECOVER FILL SHALL BE REQUIRED TO A MINIMUM DEPTH OF 12" AND PROTECTIVE FILL TO EXISTING FILL.
 13. IMPORTED MATERIAL, IF REQUIRED, SHALL BE FREE OF ORGANIC MATERIAL AND DEBRIS, AND SHALL BE A CLEAN, WORKABLE, 3" OR LESS CLAY. ALL FILL SHALL BE PLACED AND COMPACTED AS STRUCTURAL FILL. WHEN TO RECOVER FILL SHALL BE REQUIRED TO A MINIMUM DEPTH OF 12" AND PROTECTIVE FILL TO EXISTING FILL.

REVISIONS		
NO.	DATE	DESCRIPTION
4	2/26/19	PER CITY COMMENTS
3	1/21/19	PER CITY COMMENTS
2	10/17/18	PER CITY COMMENTS
1	8/29/18	PER CITY COMMENTS

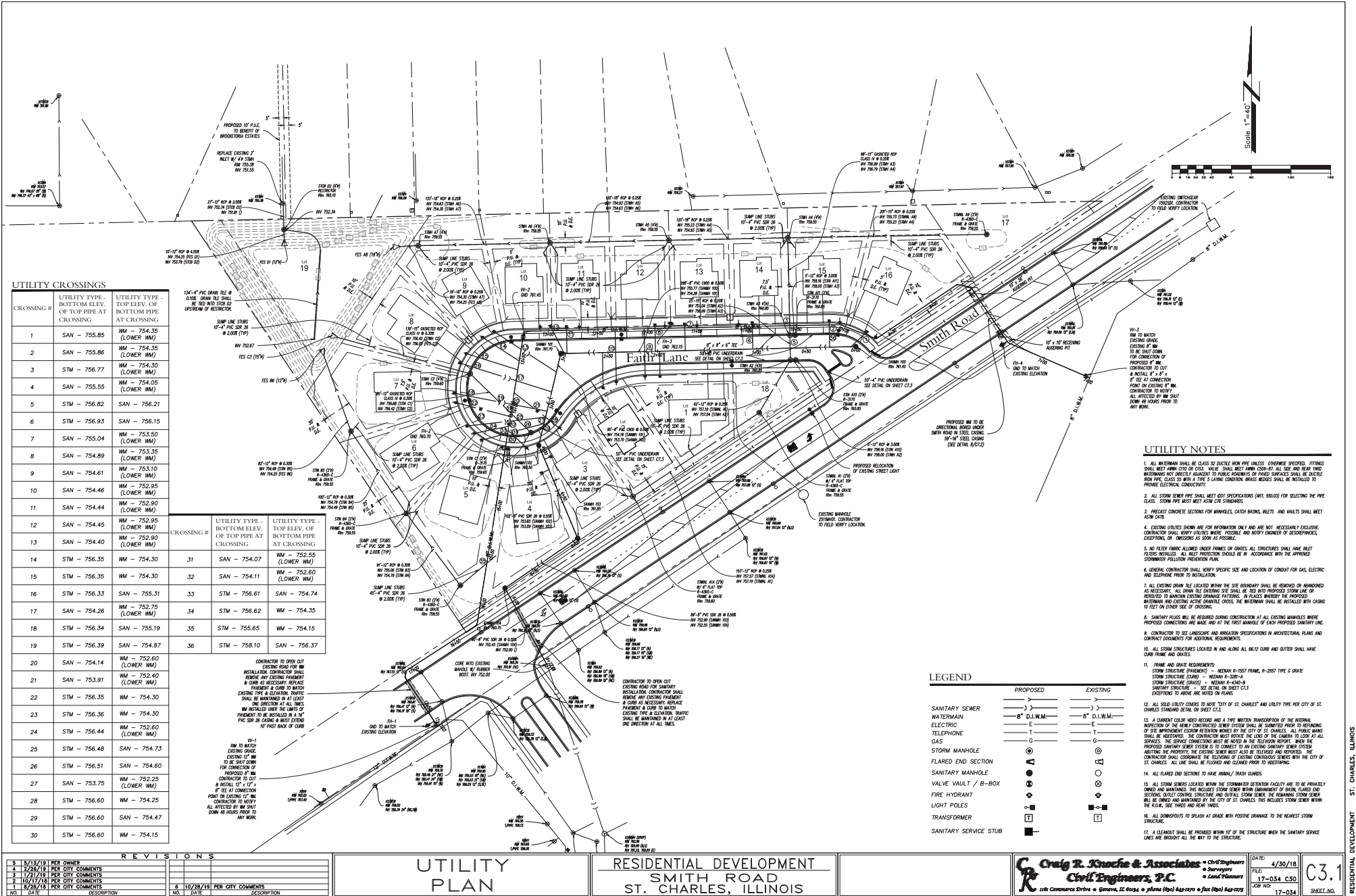
FAITH LANE PLAN & PROFILE

RESIDENTIAL DEVELOPMENT SMITH ROAD ST. CHARLES, ILLINOIS

VERTICAL SCALE: 1"=2'
HORIZONTAL SCALE: 1"=20'

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
Civil Engineers, P.C.
1116 Commerce Drive • Geneva, IL 60134 • Phone (630) 449-2270 • Fax (630) 449-2272

DATE: 4/30/18
FILE: 17-034 C20
JOB NO: 17-034
SHEET NO: C2.4



UTILITY CROSSINGS	
CROSSING #	UTILITY TYPE - BOTTOM ELEV. OF TOP PIPE AT CROSSING
1	SAN - 755.85
2	SAN - 755.86
3	STM - 756.77
4	SAN - 755.55
5	STM - 756.82
6	STM - 756.93
7	SAN - 755.04
8	SAN - 754.89
9	SAN - 754.61
10	SAN - 754.46
11	SAN - 754.44
12	SAN - 754.45
13	SAN - 754.40
14	STM - 756.35
15	STM - 756.35
16	STM - 756.33
17	SAN - 754.26
18	STM - 756.34
19	STM - 756.39
20	SAN - 754.14
21	SAN - 753.91
22	STM - 756.35
23	STM - 756.36
24	STM - 756.44
25	STM - 756.48
26	STM - 756.51
27	SAN - 753.75
28	STM - 756.60
29	STM - 756.60
30	STM - 756.60

CROSSING #	UTILITY TYPE - BOTTOM ELEV. OF TOP PIPE AT CROSSING	UTILITY TYPE - TOP ELEV. OF BOTTOM PIPE AT CROSSING
1	SAN - 754.35 (LOWER WM)	WM - 754.35 (LOWER WM)
2	SAN - 754.35 (LOWER WM)	WM - 754.35 (LOWER WM)
3	STM - 756.77 (LOWER WM)	WM - 754.30 (LOWER WM)
4	SAN - 755.55 (LOWER WM)	WM - 754.05 (LOWER WM)
5	SAN - 756.21 (LOWER WM)	WM - 756.15 (LOWER WM)
6	SAN - 756.93 (LOWER WM)	WM - 756.15 (LOWER WM)
7	SAN - 755.04 (LOWER WM)	WM - 753.50 (LOWER WM)
8	SAN - 754.89 (LOWER WM)	WM - 753.35 (LOWER WM)
9	SAN - 754.61 (LOWER WM)	WM - 753.10 (LOWER WM)
10	SAN - 754.46 (LOWER WM)	WM - 752.95 (LOWER WM)
11	SAN - 754.44 (LOWER WM)	WM - 752.90 (LOWER WM)
12	SAN - 754.45 (LOWER WM)	WM - 752.95 (LOWER WM)
13	SAN - 754.40 (LOWER WM)	WM - 752.90 (LOWER WM)
14	SAN - 754.07 (LOWER WM)	WM - 752.55 (LOWER WM)
15	SAN - 754.11 (LOWER WM)	WM - 752.60 (LOWER WM)
16	STM - 756.61 (LOWER WM)	SAN - 754.74 (LOWER WM)
17	STM - 756.62 (LOWER WM)	SAN - 754.35 (LOWER WM)
18	STM - 756.65 (LOWER WM)	SAN - 754.15 (LOWER WM)
19	STM - 758.10 (LOWER WM)	SAN - 756.37 (LOWER WM)
20	STM - 752.60 (LOWER WM)	SAN - 752.60 (LOWER WM)
21	STM - 752.40 (LOWER WM)	SAN - 752.40 (LOWER WM)
22	STM - 754.30 (LOWER WM)	SAN - 754.30 (LOWER WM)
23	STM - 754.30 (LOWER WM)	SAN - 754.30 (LOWER WM)
24	STM - 752.60 (LOWER WM)	SAN - 752.60 (LOWER WM)
25	SAN - 754.73 (LOWER WM)	SAN - 754.73 (LOWER WM)
26	SAN - 754.60 (LOWER WM)	SAN - 754.60 (LOWER WM)
27	SAN - 752.25 (LOWER WM)	SAN - 752.25 (LOWER WM)
28	SAN - 754.25 (LOWER WM)	SAN - 754.25 (LOWER WM)
29	SAN - 754.47 (LOWER WM)	SAN - 754.47 (LOWER WM)
30	SAN - 754.15 (LOWER WM)	SAN - 754.15 (LOWER WM)

- UTILITY NOTES**
1. ALL WATERMAIN SHALL BE CLASS 50 DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED. FITTINGS SHALL BE APPROPRIATE TO THE PIPE. VALVES SHALL BE APPROPRIATE TO THE PIPE. ALL SIZES AND SPACING SHALL BE AS SHOWN ON THE PLAN. ALL SIZES AND SPACING SHALL BE AS SHOWN ON THE PLAN.
 2. ALL STORM SEWER PIPE SHALL MEET OR EXCEED SPECIFICATIONS (ASTM A900) FOR SELECTING THE PIPE CLASS. STORM PIPE MUST MEET WITH CHAIN OR STANDARDS.
 3. PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS, AND MANHOLE SHALL MEET ASTM C400.
 4. EXISTING UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE NOT NECESSARILY EXCLUSIVE. CONTRACTOR SHALL VERIFY EXISTING MANHOLE POSITIONS AND DEPTHS OF RECORDS. EXISTING UTILITIES SHALL BE AS SHOWN ON THE PLAN.
 5. NO PILE DRIVING ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES SHALL HAVE ELECTRICITY INSTALLED. ALL PILE PROTECTION SHOULD BE IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN.
 6. GENERAL CONTRACTOR SHALL VERIFY SPECIFIC SIZE AND LOCATION OF CONDUIT FOR GAS, ELECTRIC AND TELEPHONE PRIOR TO INSTALLATION.
 7. ALL EXISTING DRAIN TILE LOCATED WITHIN THE SITE BOUNDARY SHALL BE REMOVED OR REARMSHED AS NECESSARY. ALL DRAIN TILE EXISTING WITHIN THE SITE BOUNDARY SHALL BE REMOVED OR REARMSHED AS NECESSARY. ALL DRAIN TILE EXISTING WITHIN THE SITE BOUNDARY SHALL BE REMOVED OR REARMSHED AS NECESSARY.
 8. SANITARY PLACES WILL BE REQUIRED DURING CONSTRUCTION AT ALL EXISTING MANHOLES WHERE PROPOSED CONDUITS ARE MADE AND AT THE FIRST MANHOLE OF EACH PROPOSED SANITARY LINE.
 9. CONTRACTOR TO SEE LANDSCAPE AND IRRIGATION SPECIFICATIONS IN ARCHITECTURAL PLANS AND CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
 10. ALL STORM STRUCTURES LOCATED IN AND ALONG ALL BELT DRAIN AND OUTLET SHALL HAVE CURB FRAME AND GRATES.
 11. FRAME AND GRATE REQUIREMENTS: STORM STRUCTURE (MANHOLE) - NEWMAN R-1007 FRAME, R-2007 TYPE G GRATE. STORM STRUCTURE (CATCH BASIN) - NEWMAN R-430-B. SANITARY STRUCTURE (CATCH BASIN) - NEWMAN R-430-B. EXCEPT AS NOTED ON PLANS.
 12. ALL SLOPE UTILITIES LOCATED WITHIN THE CITY OF ST. CHARLES AND UTILITY TYPE PER CITY OF ST. CHARLES SHALL BE AS SHOWN ON THE PLAN.
 13. A CURRENT COLOR PHOTOGRAPH AND A TRUE WRITTEN TRANSCRIPTION OF THE MATERIAL INSPECTION OF THE NEWLY CONSTRUCTED SEWER SYSTEM SHALL BE SUBMITTED PRIOR TO RETURNING OF THE IMPROVEMENTS TO THE CITY OF ST. CHARLES. THE CITY OF ST. CHARLES SHALL BE NOTIFIED OF THE COMPLETION OF THE SEWER SYSTEM. THE CONTRACTOR MUST NOTIFY THE CITY OF ST. CHARLES TO LOOK AT THE PROPOSED SANITARY SEWER SYSTEM TO CONNECT TO AN EXISTING SANITARY SEWER SYSTEM. THE CONTRACTOR SHALL PROVIDE THE TELEPHONE OF EXISTING CONDUITS SERVED BY THE CITY OF ST. CHARLES. ALL LINE SHALL BE AS SHOWN ON THE PLAN.
 14. ALL PLANS AND SECTIONS TO HAVE MANHOLE/ TRUNK CHANGES.
 15. ALL STORM SEWERS LOCATED WITHIN THE STORMWATER DETENTION FACILITY ARE TO BE PROPERLY OWNED AND MAINTAINED. THIS INCLUDES STORM SEWER WITHIN DETENTION OF MANHOLE, PLANNED DRAIN DETENTION, DETENTION CHANGING, STRUCTURE AND INSTALLATION. THE DETENTION STORM SEWER SHALL BE OWNED AND MAINTAINED BY THE CITY OF ST. CHARLES. THIS INCLUDES STORM SEWER WITHIN THE PLANNED, DETENTION CHANGING, STRUCTURE AND INSTALLATION.
 16. ALL DOWNSPUTS TO SPLASH AT GRADE WITH POSITIVE DRAINAGE TO THE NEAREST STORM STRUCTURE.
 17. A CLEARENC SHALL BE PROVIDED WITHIN 10' OF THE STRUCTURE WHEN THE SANITARY SERVICE LINES ARE BROUGHT ALL THE WAY TO THE STRUCTURE.

LEGEND	
PROPOSED	EXISTING
SANITARY SEWER	8" D.I.W.M.
WATERMAIN	8" D.I.W.M.
ELECTRIC	E
TELEPHONE	T
GAS	G
STORM MANHOLE	SM
FLARED END SECTION	FE
SANITARY MANHOLE	SM
VALVE VAULT / B-BOX	VV
FIRE HYDRANT	FH
LIGHT POLES	LP
TRANSFORMER	TR
SANITARY SERVICE STUB	SS

REVISIONS	
NO.	DATE
5	5/13/19 PER OWNER
4	12/28/18 PER CITY COMMENTS
3	1/7/19 PER CITY COMMENTS
2	10/17/18 PER CITY COMMENTS
1	8/29/18 PER CITY COMMENTS

UTILITY PLAN

RESIDENTIAL DEVELOPMENT

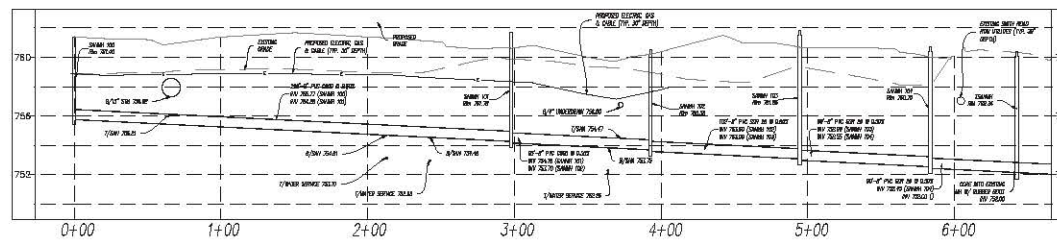
SMITH ROAD

ST. CHARLES, ILLINOIS

CRIG Z. KNOCKE & ASSOCIATES • Civil Engineers
1116 Commerce Drive • Geneva, IL 60136 • Phone (630) 442-2270 • Fax (630) 442-2271

DATE: 4/30/18
FILE: 17-034_C30
JOB NO: 17-034
SHEET NO: C3.1

RESIDENTIAL DEVELOPMENT



R E V I S I O N S		
NO.	DATE	DESCRIPTION
1	10/28/19	PER CITY COMMENTS
4	2/28/19	PER CITY COMMENTS
5	1/21/19	PER CITY COMMENTS

SANITARY
PROFILE

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

VERTICAL SCALE: 1"=4'
HORIZONTAL SCALE: 1"=40'

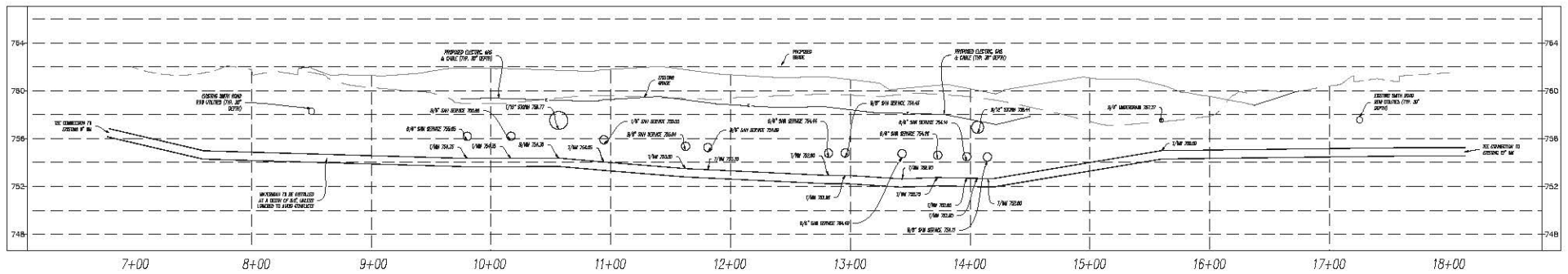
Craig R. Knoch & Associates
Civil Engineers, P.C.

1883 Combsdale Drive • Geneva, IL 60134 • phone (815) 845-1270 • fax (815) 845-1275

• Civil Engineers
• Surveyors
• Land Planners

DATE:	10/17/18
FILE:	17-034 C30
WOB NO:	17-034

C3.2



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	1/21/18	PER CITY COMMENTS			
2	1/21/18	PER CITY COMMENTS			
3	1/21/18	PER CITY COMMENTS			
4	1/21/18	PER CITY COMMENTS			
5	1/21/18	PER CITY COMMENTS			

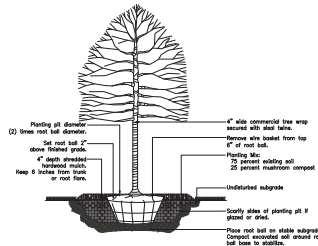
**WATERMAIN
PROFILE**

**RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS**

VERTICAL SCALE: 1"=4'
HORIZONTAL SCALE: 1"=40'

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
100 Commercial Drive • Glenview, IL 60045 • Phone (847) 842-1270 • Fax (847) 842-1279

DATE: 10/17/18
FILE: 17-034 C30
SHEET NO.: 17-034
C3.3
SHEET NO.



2" depth mushroom compost over ericaceae perennial bed.

Perennial plant Spacing as noted on plan.

Undisturbed subgrade

12" depth planting mix:
75 percent clean loessil
25 percent mushroom compost

Diagram illustrating the planting method for the 4-inch depth strawed horizontal mulch over entire planting bed. The diagram shows two plants in a bed covered with a 4-inch depth of strawed horizontal mulch. Labels indicate the following steps and components:

- 4" depth strawed horizontal mulch over entire planting bed.
- Extend planting bed a minimum of 2' beyond root ball or as shown on plan.
- Remove top of burlap.
- Set root ball 2" above finished grade.
- Planting Mix:
 - 25 percent working soil
 - 25 percent mushroom compost
- Score sides of planting pit if glazed or dried.
- Undisturbed subgrade.
- Place root ball on stable subgrade.

[illegible]

6	Detention Basin Modifications	03/19/98
5	Site Plan Modifications	01/16/98
4	Site Plan Modifications	01/16/98
3	City Review Comments	08/03/98
2	For Review	04/23/98
1	For Review	04/19/98
Mark	Description	Date
Issuance		
Number		
478218		
Scale		
1" = 30'		
File		
478218P8A		

1

L1.0

On-Site Lighting
& Survey, LLC

1111 HIGHWAY 25 NORTH
SUITE 201
BUFFALO MN 55313
PH:763.684.1548
FAX:763.682.9848

KNOCH &
ASSOCIATES PC

24 NORTH BENNETT STREET
GENEVA, IL 60134
PH:630.845.1270

BROOKE TORIA
ESTATES
ST. CHARLES, IL

PROJECT INFO

ENGINEER INFO

ENGINEER SEAL

REVISIONS

SHEET DESCRIPTION

PROJECT #

DATE

DESIGN LEVEL

ASU

COA

SHEET

LED
PHOTOMETRIC
PLAN

KE181016

10.16.2018

NA

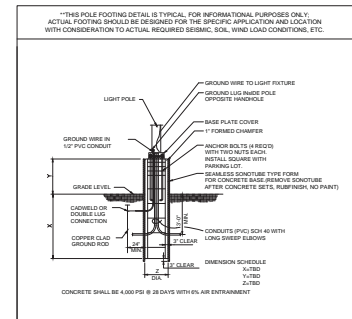
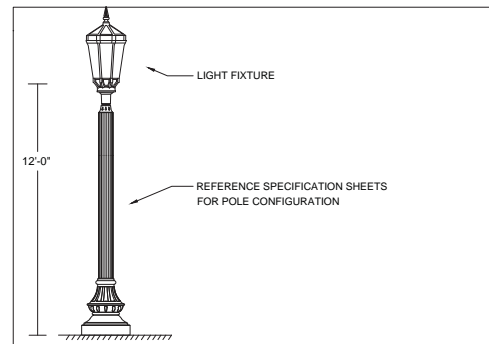
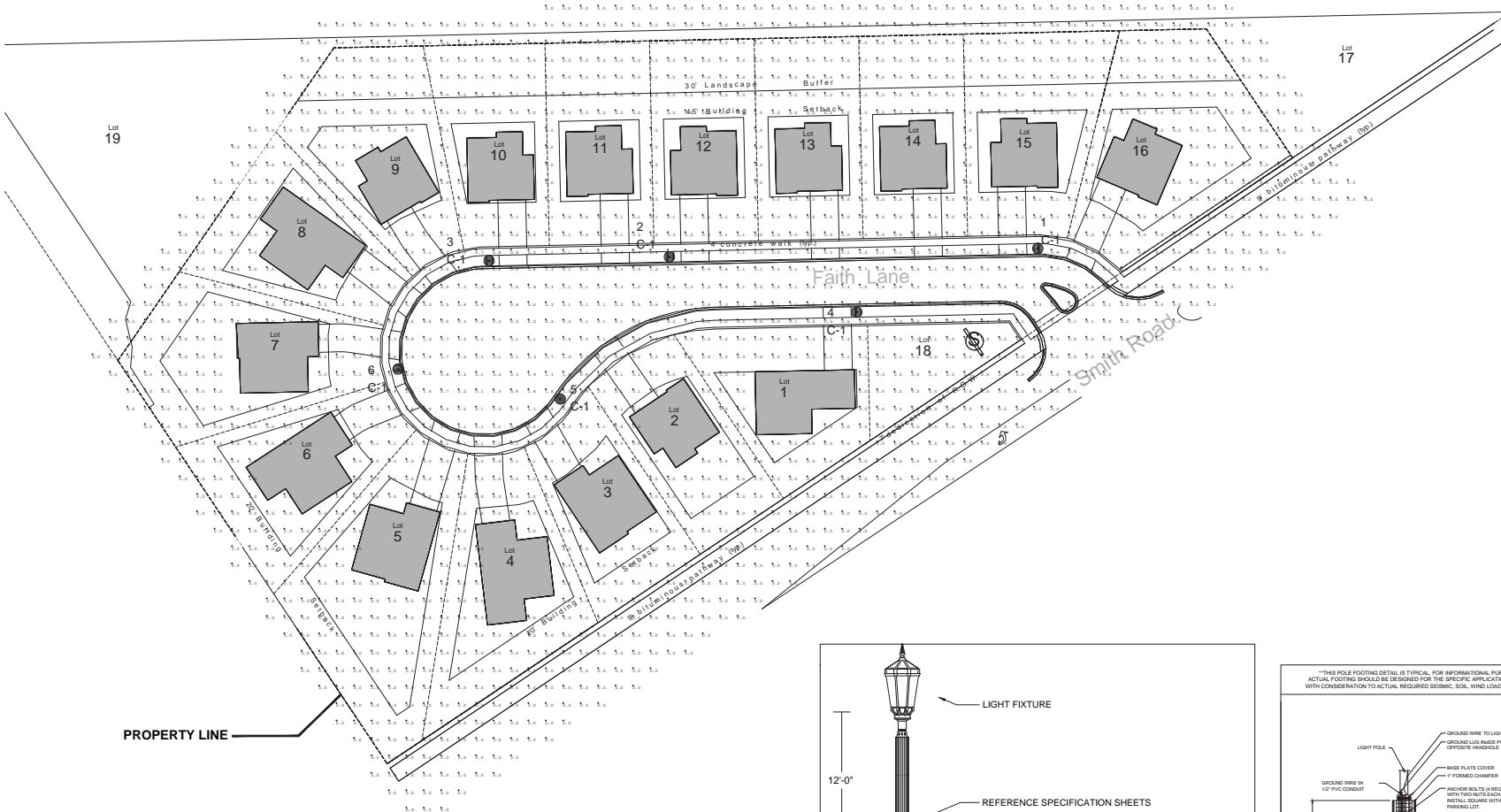
N.MOLENDA

N.MOLENDA

SL3.0

REV #

2



1 LED PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

2 POLE DETAIL (TYP)
SCALE: NTS

3 POLE BASE DETAIL (TYP)
SCALE: NTS

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	TLL	LLF
	6	C-1	SINGLE	N/A	0.90
New Base, Pole, Flat 32W LED T4 12' Hg Ht (4500K/2500lm) Starling Lighting, MS805LED-190K4074-MELUS-CTA					BUG Rating
					B1-L2-D1

Calculation Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	
Footcandle	0.8	1.8	0.0	N/A	N/A	

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINANCE DATA ARE APPROXIMATE REPRESENTATIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LIGHTING TO EXISTING OR FUTURE CONDITIONS.

THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER THE CONTROLS AND CONDITIONS OF THE CURRENTLY AVAILABLE LUMINAIRE DATA. ACTUAL PERFORMANCE OF ANY LUMINAIRE PRODUCT MAY VARY DUE TO MANUFACTURING TOLERANCES, VOLTAGE TOLERANCE, AND/OR OTHER FACTORS. FOR ADDITIONAL LIGHTING INFORMATION CONTACT:

On-Site Lighting
& Survey, LLC
PH: 763.684.1548

1 POLE TYPE C-1
SPECIFICATION SHEETS

2 POLE MOUNT FIXTURE TYPE C-1 SPECIFICATION SHEETS

EEEA:	SL3.1	IV #:	2
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FIG. 203.004.15.40

Diagram illustrating a road construction site on Smith Road, showing traffic control measures. The diagram includes the following elements:

- Signs:**
 - W20-1(0)-48 (Road Work Ahead)
 - W21-1(0)-48 (Lane Closure)
 - W1-4L(0)-48 (Left Lane Closed)
 - W20-1(0)-48 (Road Work Ahead)
 - W21-1(0)-48 (Lane Closure)
 - W1-4L(0)-48 (Left Lane Closed)
 - W20-1(0)-48 (Road Work Ahead)
- Drum or Type II Barricade:** A drum or type II barricade is shown at the construction site.
- Scale:** A scale bar is provided, indicating distances of 0, 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000 feet.

This aerial photograph shows a road construction site with various traffic control equipment and signage. The equipment includes drums of Type II and Type I, end construction signs, and road work ahead signs. The signs are labeled with codes such as W20-1(O)-4B, W21-1(O)-4B, and W20-1(O)-48. The road is labeled 'Smith Road' and 'Fath Lane'. The construction area is marked with a 'PROPOSED PLANE WORK ZONE 111'.

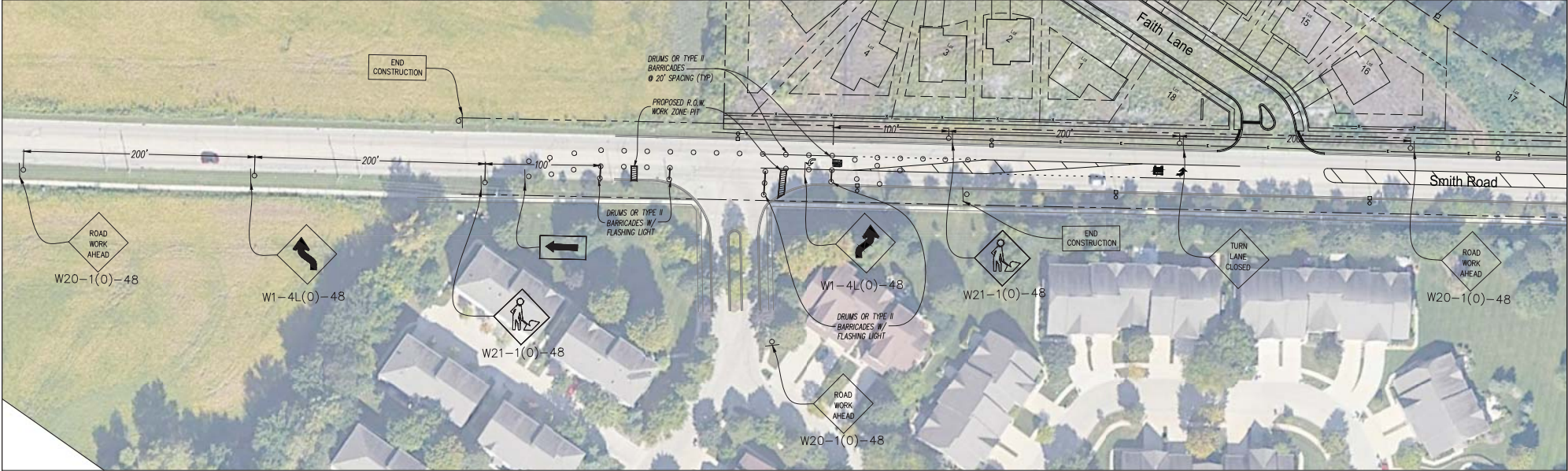
Craig R. Knoch & Associates • Civil Engineers, P.C. • 1400 West 10th Street • Suite 100 • Grand Rapids, MI 49503 • Phone: (616) 941-1111 • Fax: (616) 941-1112

DATE: 10/28/10
 FILE: 17-024 CED
 JOB NO: 17-004

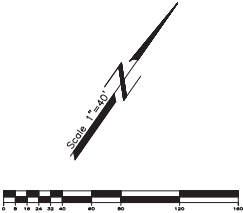
C6.1

SHEET 611

PHASE 3



- NOTES:
1. ALL SIGNAGE AS REQUIRED BY IDOT STANDARD 701502 SHALL BE INSTALLED
 2. CONTRACTOR SHALL SCHEDULE MEETING WITH CITY AT LEAST FIVE (5) WORKING DAYS IN ADVANCE OF THE CONTRACTORS ANTICIPATED CLOSURE TO DISCUSS SEQUENCE OF OPERATIONS AND EMERGENCY VEHICLE NOTIFICATIONS.
 3. WORK SHALL BE COMPLETED IN FIVE (5) CONSECUTIVE DAYS OR LESS.
 4. CHANGEABLE MESSAGE BOARDS ARE REQUIRED SEVEN (7) DAYS IN ADVANCE OF THE LANE CLOSURES TO NOTIFY THE MOTORING PUBLIC. MESSAGES TO BE APPROVED BY THE COUNTY.



REVISIONS			
NO.	DATE	DESCRIPTION	

MAINTENANCE OF TRAFFIC
PLAN

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

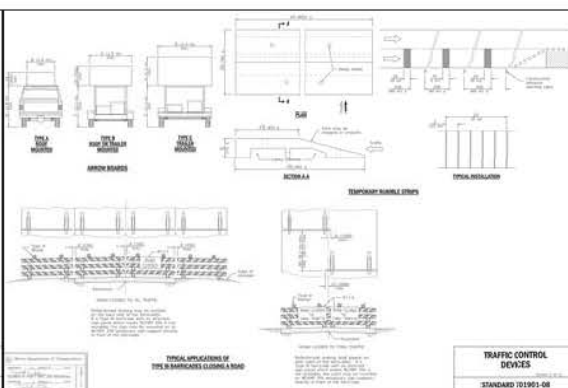
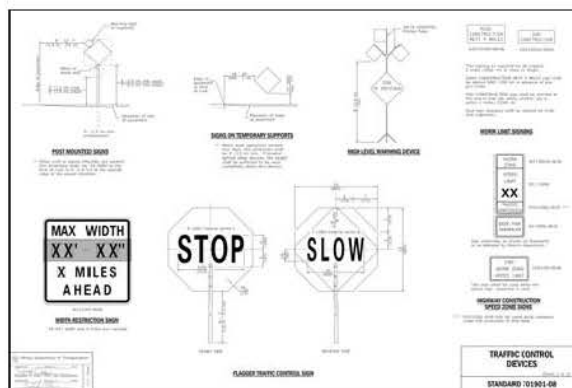
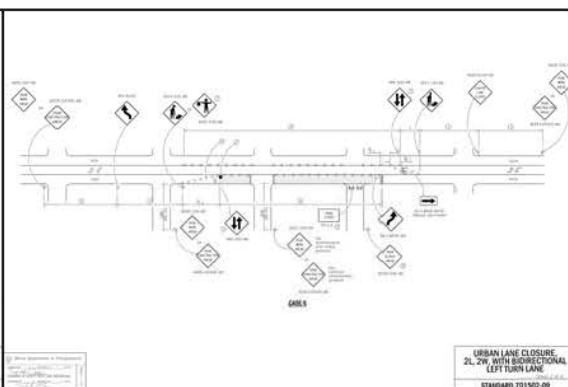
DATE: 10/28/19

FILE: 17-034 C60

JOB NO: 17-034

C6.2

SHEET NO.



REVISIONS		
NO.	DATE	DESCRIPTION

IDOT
DETAILS

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

Craig R. Knochle & Associates
Civil Engineers, P.C.

1400 N. Broadway Street • Greenville, SC 29615 • phone (803) 622-4200 • fax (803) 622-4202

• Civil Engineering
• Surveying
• Landfill Remediation

DATE:	10/28/19	C7.4
FILE:	17-034 C70	
JOB NO:	17-034	

SHOOT NO.

EXHIBIT “E”

FINAL PLAT OF SUBDIVISION

Plat of Resubdivision

Brooke Toria Estates
of St. Charles

Owner's Certificate

State of Illinois }
County of DuPage } S.S.

This is to certify that V&M Investment and Remodeling Group, LLC is the owner of the lands shown and described on the annexed plat and by its duly authorized Manager has as such owner caused said lands to be surveyed, resubdivided and platted as shown thereon for the uses and purposes therein set forth and does hereby acknowledge and adopt the same under the style and title thereon shown. It is further certified that the lands platted hereby fall within the boundaries of St. Charles Community Unit School District 303.

Dated this ____ day of _____, A.D. 2019.

by: _____
Manager
for: V&M Investment and Remodeling Group, LLC

Notary's Certificate

State of Illinois }
County of DuPage } S.S.

I, _____, a notary public in and for the County and State aforesaid do hereby certify that _____ as Manager of V&M Investment and Remodeling Group, LLC, who is personally known to me to be the same person whose name is subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as being pursuant to authority given and as their free and voluntary act and as the free and voluntary act of V&M Investment and Remodeling Group, LLC.

Given under my hand and material seal this ____ day of _____, A.D. 2019.

notary public

Certificate as to Special Assessments

State of Illinois }
County of Kane } S.S.
County of DuPage }

I do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have not been apportioned against the tract of land included in the annexed plat.

Dated at _____, Illinois, this ____ day of _____, A.D. 2019.

Collector of Special Assessments

Plan Commission Certificate

State of Illinois }
County of Kane } S.S.
County of DuPage }

Approved this ____ day of _____, A.D. 2019.

Chairman, Plan Commission

Director of Community Development Certificate

State of Illinois }
County of Kane } S.S.
County of DuPage }

I, _____, do hereby certify that the required improvements have been installed or the required guarantee bond has been posted for the completion of all required land improvements.

Dated at St. Charles, Illinois this ____ day of _____, A.D. 2019.

Director of Community Development

City Council Certificate

State of Illinois }
County of Kane } S.S.
County of DuPage }

Approved this ____ day of _____, A.D. 2019.

City Council of the City of St. Charles, Illinois

by: _____ attest: _____
Mayor City Clerk

PUBLIC UTILITY AND DRAINAGE EASEMENT DECLARATION

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR, AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREBIN DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREBIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS, WHEREAN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWERS OR SEWERS, UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES. FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREBIN, THE GRANTEE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO MAINTAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

Surveyor's Certificate

State of Illinois }
County of DuPage } S.S.

This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have surveyed, recombined and platted the lands described as follows:

Lots 16, 17 and 18 of Petruska's Second Subdivision of part of Section 30, Township 40 North, Range 9 East of the Third Principal Meridian in the Township of Wayne, Du Page County, Illinois.

I further certify that the lands described above are located in zone "X" (determined to be outside the 0.2% annual chance floodplain) pursuant to Flood Insurance Rate Map 17043C0107H (effective 12-6-2004) issued by the Federal Emergency Management Agency.

All dimensions are given in feet and decimal parts thereof and are correct at 62° Fahrenheit.

Given under my Hand and Seal at Wheaton, Illinois this ____ day of _____, A.D. 2019.

Illinois Professional Land Surveyor 2967
exp 11-30-18

This professional service complies with the current Illinois Standards for a Boundary Survey

County Clerk's Certificate

State of Illinois }
County of DuPage } S.S.

I, Jean Kacmarek, County Clerk of Du Page County, Illinois, do hereby certify that there are no delinquent general taxes, no unpaid forfeited taxes and no redeemable tax sales against any of the land included in the annexed plat.

I further certify that I have received all statutory fees in connection with the annexed plat.

Given under my hand and seal at _____, Illinois, this ____ day of _____, A.D. 2019.

Du Page County Clerk

County Recorder's Certificate

State of Illinois }
County of DuPage }

I, Fred Bucholz, Recorder of Du Page County, Illinois, do hereby certify that this instrument was filed for record on the ____ day of _____, A.D. 2019 and was placed of record as Document _____.

Given under my hand at Wheaton, Illinois, this ____ day of _____, A.D. 2019.

Du Page County Recorder

Plat of Resubdivision

Notary Public
V & M Investment and Remodeling Group, LLC

John Cole Helfrich
Illinois Professional Land Surveyor
2967
exp 11-30-18

Notary Public
State of Illinois
Notary Public

EXHIBIT “F”

PUD DEVIATIONS

Table 17.12-2 Residential District Bulk Requirements – RS-4 District	
Minimum Lot Area	6,522 sq. ft. (Lot 3) and as shown on the Final Plat of Subdivision
Minimum Lot Width	44 ft. and as shown on the Final Plat of Subdivision
Minimum Rear Yard	25 ft. (Lots 5-6) 20 ft. (Lots 1-4, 8)
Table 17.28-1 Permitted Signs for Residential Districts (RE, RS, RT, RM)	
Entryway Signs for Residential Development	5 ft. Minimum ROW setback

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: IIC2

Title:

Motion to approve an Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Brooke Toria Estates).

Presenter:

Rita Tungare

Meeting: City Council

Date: December 16, 2019

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted: ☐**Executive Summary** *(if not budgeted please explain):***Background:**

Brooke Toria Estates (also referred to as Smith Road Estates) is a 4.4-acre, 16-lot single-family subdivision proposed for annexation to St. Charles. The project was reviewed by the Planning & Development Committee on August 13, 2018. The Committee recommended approval of the applications submitted for the project, including Map Amendment, Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision.

The subject property is located in unincorporated Wayne Township and is contiguous with the St. Charles city limits. St. Charles has the ability to annex the property per the boundary agreement between the Cities of St. Charles and West Chicago.

The developer, V&M Investment and Remodeling Group, LLC, has filed a Petition for Annexation to annex the property to St. Charles. The developer has also submitted an Annexation Agreement.

A public hearing on the Annexation Agreement will be held at 6:45 p.m., prior to the City Council meeting. The relevant taxing bodies were notified of the petition and public hearing as required by State Law.

Action Item:

The attached ordinance will annex the subject property to the City of St. Charles.

Attachments *(please list):*

Annexation Ordinance for Brooke Toria Estates.

Recommendation/Suggested Action *(briefly explain):*

Motion to approve an Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois (Brooke Toria Estates).

City of St. Charles, Illinois
Ordinance No. 2019-M-

An Ordinance Annexing Certain Unincorporated Territory to the City of St. Charles, Illinois
(Brooke Toria Estates)

WHEREAS, V&M Investment and Remodeling Group, LLC (the “Owner”) is the Owner of record of the territory legally described in Exhibit “A” (the “Territory”) and has filed with the City Clerk a written petition, under oath, attached hereto as Exhibit “B” (the “Annexation Petition”) requesting that the Territory therein legally described be annexed into the City of St. Charles, Kane and DuPage Counties, Illinois; said Exhibits “A” and “B” are attached hereto and incorporated herein; and

WHEREAS, said Annexation Petition has been signed by all of the owners of record of the Territory and was signed by at least fifty-one percent (51%) of the electors residing on such Territory; and

WHEREAS, the statutes of the State of Illinois provide that upon the filing of such an Annexation Petition, the corporate authorities of the City may pass an ordinance annexing said Territory to the City, if said ordinance is passed by a majority vote of the corporate authorities; and,

WHEREAS, the Territory is not within the corporate limits of any municipality, but is contiguous to the corporate limits of the City of St. Charles and eligible for annexation thereto; and

WHEREAS, the City and the Owner have entered into a certain Annexation Agreement, consisting of approximately 17 pages, in addition to Exhibits “A” through “C”, which were attached thereto (“Annexation Agreement”); and

WHEREAS, said Annexation Agreement requires the City to annex the Territory; and

WHEREAS, the requirements of the laws of the State of Illinois, specifically 65 ILCS 5/7-1-1 and 5/7-1-8 of the Illinois Municipal Code, as amended, have been satisfied.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That the Territory be and the same is hereby annexed to the City of St. Charles, Kane and DuPage Counties, Illinois, together with all adjacent streets and highways contiguous to said Territory, so that the new boundaries of the Territory annexed shall extend to the far side of said adjacent streets and highways not within the corporate limits of any other municipality.

3. That the Mayor, City Clerk and any other necessary officers of the City are hereby authorized to execute the Plat of Annexation.

4. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be recorded with the Office of the Recorder Deeds, DuPage County, Illinois, and filed with the County Clerk of DuPage County.

5. That the City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance, together with an accurate map of the Territory annexed appended thereto, to be filed with the postal service branch serving the Territory.

6. That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

7. This Ordinance shall be in full force and effect upon its passage and approval according to law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

Raymond P. Rogina, Mayor

ATTEST:

City Clerk

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

EXHIBIT A

LEGAL DESCRIPTION

LOTS 16, 17 AND 18 IN PETRAUSKAS' SECOND SUBDIVISION OF PART OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 24, 1966 AS DOCUMENT R66-42231, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT B

PETITION FOR ANNEXATION

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PETITION FOR ANNEXATION APPLICATION



For City Use

Project Name: Smith Road Estates
Project Number: 2017 -PR- 015
Application Number: 2018 -AP- 015

Instructions:

To request annexation of property, complete this application and submit it with all required attachments to the Planning Division.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: <u>32 W 510 Smith Road</u>	
	Parcel Number (s): <u>01-30-100-002, 003 and 004</u>	
	Proposed Subdivision Name: <u>BROOKE TORIA ESTATES</u>	
2. Applicant Information:	Name: <u>VIM INVESTMENT AND REMODELING</u>	Phone: <u>630-674-7103</u>
	Address: <u>0 N 632 GABLES BLVD</u>	Fax:
	<u>WHEATON IL 60157</u>	Email: <u>CHBVITO@XOMCAST.NET</u>
3. Record Owner Information:	Name: <u>Same as applicant</u>	Phone:
	Address:	Fax:
		Email:

Application Checklist

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

- ☐ **APPLICATION:** Completed application form signed by the applicant
- ☐ **APPLICATION FEE:** Refer to attached Schedule of Application Fees (\$500, plus an additional \$500 when an annexation agreement is proposed).
- ☐ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City.
- ☐ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- ☐ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

- ☐ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper
- ☐ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

- ☐ **ANNEXATION PETITION (Complete either Form #1 for Electors, or Form #2 for No Electors).**

Petition to include the following information:

- Addressed to: Mayor and Members of the City Council, City of St. Charles, 2 E. Main Street, St. Charles, Illinois 60174
- A common address of the property and tax parcel number are included in the petition
- Signatures of all of the owners of record of the territory to be annexed and also by the majority of electors, if any, residing in the territory. Petition shall be signed under oath.

❑ **ONE MYLAR PRINT OF THE PLAT OF ANNEXATION.**


The Plat shall contain the following information:

- Survey of property to be annexed
- Legal description of property to be annexed
- Present corporate limits
- Number of acres to be annexed
- Name and address of person who prepared plat
- Indicate that the new boundary shall extend to the far side of any adjacent highway and shall include all of every highway within the area annexed.
- Certificate for signature by Mayor and the City Clerk as follows:

This is to certify that this Accurate Map of Territory Annexed is identified as that incorporated into and made a part of the City of St. Charles Ordinance No. _____ adopted by the City Council of said City on the _____ day of _____, 20____.

By: _____ Attest: _____
Mayor City Clerk

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 5-25-18

Record Owner Date

Applicant or Authorized Agent Date

PETITION FOR ANNEXATION

Parcel Number(s):

"OFFICIAL SEAL"
John P. Antonopoulos
Notary Public, State of Illinois
My Commission Expires November 29, 2021

NO ELECTORS

STATE OF ILLINOIS)
) ss:
COUNTY OF DUPAGE)

BEFORE THE MAYOR AND MEMBERS OF THE CITY COUNCIL
OF THE CITY OF ST. CHARLES, ILLINOIS

PETITION FOR ANNEXATION

The undersigned Petitioner, V & M INVESTMENT AND REMODELING GROUP, LLC, hereby respectfully petitions to annex to the City of St. Charles, DuPage County, Illinois, the territory described in Exhibit "A" attached hereto and made a part hereof as though fully set forth and under oath state as follows:

1. The Petitioner is the Owner of Record of all the territory hereinbefore described.
2. There are no electors residing in the hereinabove described territory.
3. The territory as described herein is not within the corporate limits of any municipality.
4. All the territory then hereinbefore described will be contiguous to the City of St. Charles, DuPage County, Illinois, or contiguous to other parcels which will be contiguous to the City of St. Charles at the time of annexation.

WHEREFORE, Petitioner makes the following requests:

1. That the corporate authorities of the City of St. Charles, DuPage County, Illinois, annex the territory hereinbefore described to said City.
2. That the annexation requested herein be contingent upon the execution of an Annexation Agreement by and between Petitioner and the City of St. Charles.

The undersigned being first duly sworn on oath, certify and state that the statements set forth in the Petition for Annexation above are true and correct.

Dated as of the 19 day of December, 2017.

Respectfully submitted,

V & M Investment and Remodeling Group, LLC

By:

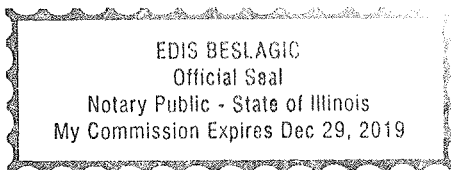

VITO MIULLI, SOLE MEMBER


vsm:Annexation/Petition/V & M Investment and Remodeling

STATE OF ILLINOIS)
) SS:
COUNTY OF De Pege)

I, EDIS BESLAGIC, a Notary Public in and for said County, in the State aforesaid, do hereby certify that V & M INVESTMENT AND REMODELING GROUP, LLC, By: VITO MIULLI, SOLE MEMBER, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledge that he signed and delivered the said instrument as his/her own free and voluntary act.

Given under my hand and notarial seal this 19th day of December, 2017.





Notary Public

EXHIBIT "A"

COMMON ADDRESS: 32 W 510 Smith Road, West Chicago, Illinois 60185

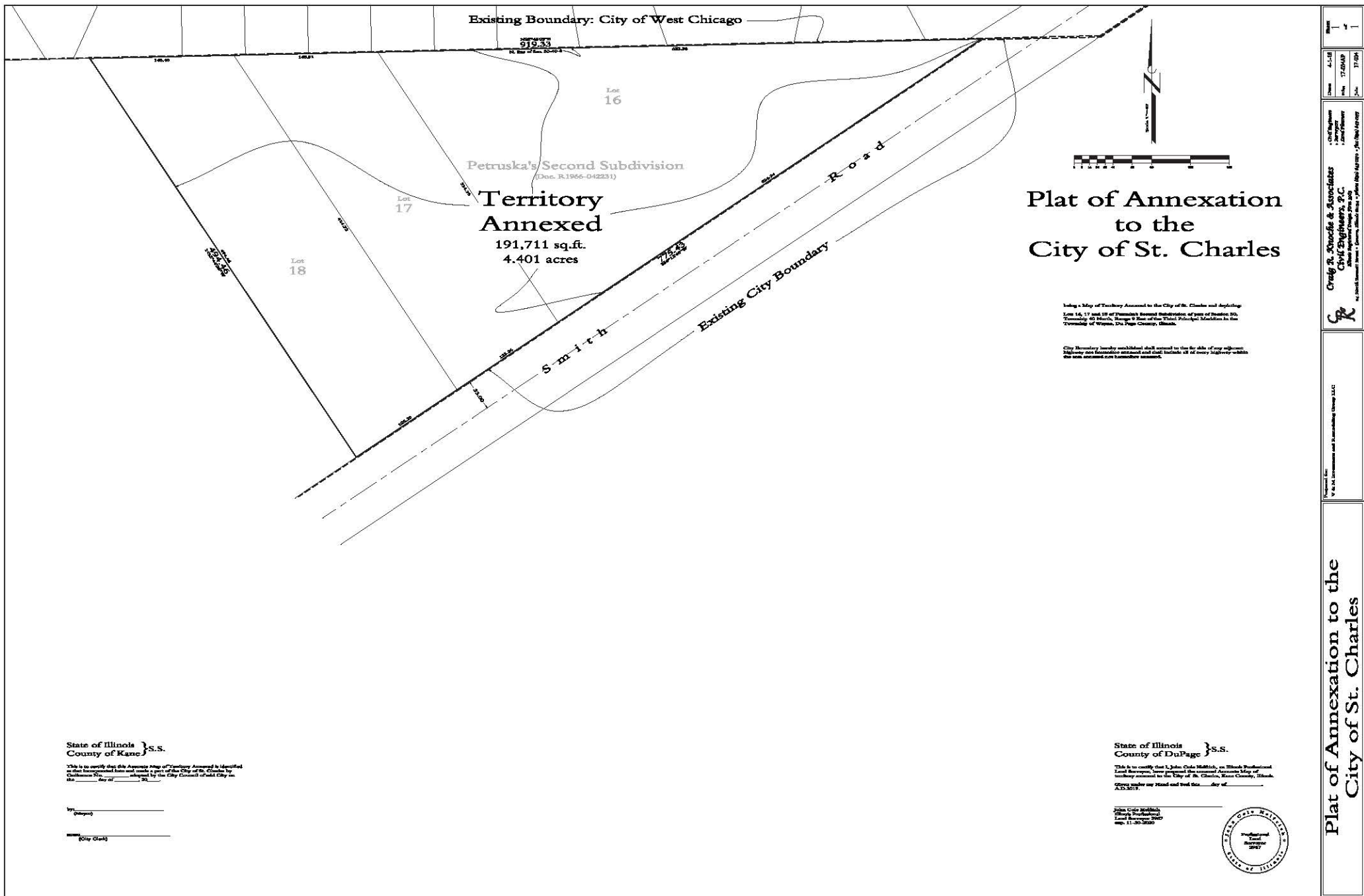
PERMANENT INDEX NUMBER: 01-30-100-002, 01-30-100-003 and 01-30-100-004

LEGAL DESCRIPTION:

Lots 16, 17 and 18 in Petrauskas' Second Subdivision of part of Section 30, Township 40 North, Range 9, East of the Third Principal Meridian, according to the Plat thereof recorded October 24, 1966 as Document R66-42231, in DuPage County, Illinois.

CONTACT PERSON

John P. Antonopoulos
Antonopoulos & Virtel, P.C.
15419 127th Street – Suite 100
Lemont, IL 60439
(630) 257-5816
john@avlawoffice.net



State of Illinois } S.S.
County of Kane }

This is to certify that the Assessor's Map of Territory Annexed is identical
to that incorporated into and made a part of the City of St. Charles by
Ordinance No. 17,000, adopted by the City Council of said City on
the _____ day of _____, 2017.

(Signature)

(City Clerk)

State of Illinois } S.S.
County of DuPage }

This is to certify that I, John C. H. H. H., as Illinois Professional
Land Surveyor, have prepared the attached Assessor's Map of
territory annexed to the City of St. Charles, Kane County, Illinois.
Given under my Hand and Seal this _____ day of _____
A.D. 2017.

John C. H. H.
Illinois Professional
Land Surveyor, No. 2007
Exp. 11-30-2020



Plat of Annexation to the
City of St. Charles


Prepared for:
City of St. Charles and DuPage County, Illinois

(Signature)

City of St. Charles & Associates
Civil Engineers, P.C.
10000 S. Main Street, Suite 100, St. Charles, Illinois 60154
Tel: 630.584.1100 Fax: 630.584.1101
www.cityofstcharles.org

Sheet
1 of 1

Date
11/30/2017

	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: IIC4
	Title:	Motion to approve an Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Brooke Toria Estates.	
	Presenter:	Rita Tungare	
Meeting: City Council		Date: December 16, 2019	
Proposed Cost: N/A		Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
Executive Summary <i>(if not budgeted please explain):</i> <u>Background:</u> <p>Brooke Toria Estates (also referred to as Smith Road Estates) is a 4.4-acre, 16-lot single-family subdivision proposed for annexation to St. Charles. The project was reviewed by the Planning & Development Committee on August 13, 2018. The Committee recommended approval of the applications submitted for the project, including Map Amendment, Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision.</p> <p>The subject property is located in unincorporated Wayne Township and is contiguous with the St. Charles city limits. St. Charles has the ability to annex the property per the boundary agreement between the Cities of St. Charles and West Chicago.</p> <p>The developer, V&M Investment and Remodeling Group, LLC, has filed a Petition for Annexation to annex the property to St. Charles. The developer has also submitted an Annexation Agreement.</p> <p>A public hearing on the Annexation Agreement will be held at 6:45 p.m., prior to the City Council meeting. The relevant taxing bodies were notified of the petition and public hearing as required by State Law.</p> <u>Action Item:</u> <p>The attached ordinance will approve the zoning and subdivision applications for this project: Map Amendment to the RS-4 District; Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision.</p>			
Attachments <i>(please list):</i> Ordinance Approving Zoning/Subdivision Applications			
Recommendation/Suggested Action <i>(briefly explain):</i> Motion to approve an Ordinance Granting Approval of a Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision for Brooke Toria Estates.			

City of St. Charles, Illinois
Ordinance No. 2019-Z-

**An Ordinance Granting Approval of a Map Amendment, Special Use for
Planned Unit Development, PUD Preliminary Plan, and Final Plat of
Subdivision for Brooke Toria Estates**

WHEREAS, on or about June 1, 2018, V&M Investment and Remodeling Group, LLC (the “Applicant”) filed petitions for: 1) Map Amendment from RE-1 Single-Family Estate District to RS-4 Suburban Single-Family Residential District; 2) Special Use for Planned Unit Development; 3) PUD Preliminary Plan; and 4) Final Plat of Subdivision, all for the real estate legally described on Exhibit “A” attached hereto and incorporated herein (the “Subject Property”), for the purpose of developing a 16-lot residential subdivision; and,

WHEREAS, Notice of Public Hearing on said petitions for Map Amendment and Special Use for Planned Unit Development was published on or about June 29, 2018 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on or about July 17, 2018 and August 7, 2018 on said petitions in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petitions and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said Map Amendment, Special Use for Planned Unit Development, PUD Preliminary Plan, and Final Plat of Subdivision petitions on or about August 7, 2018; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petitions on or about August 13, 2018; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the petition for a Map Amendment for the Subject Property from the RE-1 Single-Family Estate District to the RS-4 Suburban Single-Family Residential District, and the Findings of Fact for Map Amendment

attached hereto and incorporated herein as Exhibit “B” are expressly adopted by the corporate authorities of the City.

3. That passage of this Ordinance shall constitute approval of a Special Use for Planned Unit Development pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant’s petitions and the evidence presented at the Public Hearing, the City Council hereby finds that the Special Use for Planned Unit Development is in the public interest and adopts the Criteria for Planned Unit Developments, set forth on Exhibit “C”, which is attached hereto and incorporated herein.

4. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit “D”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Final Engineering Plans; Craig R. Knoche & Associates; revisions dated 10/28/2019
- Landscape Plan, McCallum Associates; revisions dated 3/11/2019

5. That passage of this Ordinance shall constitute approval of a Final Plat of Subdivision, incorporated herein as Exhibit “E”, such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Plat of Resubdivision – Brooke Toria Estates of St. Charles; Craig R. Knoche & Associates; dated 10/30/2019

6. The Subject Property shall be developed only in accordance with all ordinances of the City as now in effect and as hereafter amended (except as specifically varied herein), and subject to the terms, conditions and restrictions set forth herein, as follows:

- a. Zoning: The Subject Property shall be subject to the requirements of the RS-4 Suburban Single-Family Residential District, as amended, and all other applicable requirements of the St. Charles Zoning Ordinance, as amended, except as specifically varied in the “PUD Deviations” attached hereto and incorporated herein as Exhibit “F”.

- b. Landscape Buffers:

1. Northern Landscape Buffer: A 30 foot wide landscape buffer along the northern property lines of Lots 9-16 as identified on the Final Plat of Subdivision shall be provided. The buffer shall consist of vegetation which provides opaque, year-round screening to a height of 6 ft. above the grade of the common property line, in accordance with Section 17.26.070

“Landscape Buffers”. Should existing vegetation be removed within the landscape buffer, plantings shall be added if necessary to provide the required screening. Should the landscape buffer be cleared of vegetation, plantings shall be installed in accordance with the Landscape Plan.

2. Smith Road Landscape Buffer: A 5 foot wide landscape buffer along the rear property lines of lots backing up to Smith Road (Lots 1-5 & 16) shall be provided, as depicted on the PUD Preliminary Plan. This area shall be planted in accordance with the Landscape Plan.
- c. Fence: The fence within the rear yards of lots backing up to Smith Road (Lots 1-5 & 16) shall be of a uniform height and design, as shown on the PUD Preliminary Plan.
- d. Owners’ Association: The Applicant shall create one or more Owners’ Associations and create a Declaration of Covenants, Conditions & Restrictions that clearly identifies all responsibilities of the Owners Associations with respect to the use, maintenance and continued protection of the common open space and improvements in the Subject Property, including, but not limited to, the landscape buffers, stormwater detention facilities, development identification sign, entrance island landscaping, fence along Smith Road, and the private storm sewer. Such Declaration shall be in a form reasonably acceptable to the City and shall be recorded immediately following the recording of the Final Plat of Subdivision for the Subject Property.
- e. Special Service Area: Following a recording of the Final Plat of Subdivision, the City shall initiate the formation of a Special Service Area for the purpose of maintaining and repairing stormwater management facilities and other facilities serving the Subject Property. Such Special Service Area shall be of perpetual duration with a maximum rate sufficient to provide for maintenance, repair, and reconstruction of such facilities. Such Special Service Area may provide for maintenance by the City in the event that stormwater management facilities or other facilities are not adequately maintained by the Owner or successors.
- f. School and Park Contributions: The Park and School contributions shall be provided by the Applicant as cash in lieu of land contribution in accordance with the provisions of Title 16 of the St. Charles Municipal Code, as the same may be amended from time to time.
- g. Inclusionary Housing: The Inclusionary Housing contribution shall be provided by the Applicant as a cash in lieu of affordable units in accordance with the provisions of Title 19 of the St. Charles Municipal Code, as the same may be amended from time to time.

7. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in

and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date:_____

EXHIBIT "A"

LEGAL DESCRIPTION

LOTS 16, 17 AND 18 IN PETRAUSKAS' SECOND SUBDIVISION OF PART OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 24, 1966 AS DOCUMENT R66-42231, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT “B”

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

Existing R-4 in DuPage County currently vacant. Surrounding use is single-family attached and single-family detached.

2. The extent to which property values are diminished by the existing zoning restrictions.

Proposed use is contiguous to existing single-family.

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

Property is vacant and unable to be used for any productive purpose.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

Property is unable to be developed in the county without utilities provided by St. Charles.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

Property has never been developed and has remained vacant.

6. The evidence, or lack of evidence, of the community’s need for the uses permitted under the proposed district.

Strong need for single-family and is permitted by St. Charles Ordinance 2014-M-31.

7. The consistency of the proposed amendment with the City’s Comprehensive Plan.

Proposed amendment is authorized by St. Charles Ordinance 2014-M-31

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

Property is currently outside the corporate limits of St. Charles.

9. The extent to which the proposed amendment creates nonconformities.

Proposed development is consistent with St. Charles Ordinance 2014-M-31.

10. The trend of development, if any, in the general area of the property in question.

Proposed development will provide access to strong demand for single-family housing.

EXHIBIT “C”

CRITERIA FOR PLANNED UNIT DEVELOPMENTS

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.**

Developer intends on constructing single-family homes for an aging population to accommodate current demand.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
 - A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- 1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.**
- 2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
- 3. The PUD will provide superior landscaping, buffering or screening.**
- 4. The buildings within the PUD offer high quality architectural design.**
- 5. The PUD provides for energy efficient building and site design.**
- 6. The PUD provides for the use of innovative stormwater management techniques.**
- 7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
- 8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
- 9. The PUD preserves historic buildings, sites or neighborhoods.**

The buildings within the PUD offer high quality architectural design. The PUD provides affordable dwelling units in conformance with or in excess of city policies and ordinances.

iii. The proposed PUD conforms with the standards applicable to Special uses (section 17.04.330.C.0):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

There is a strong demand for new construction of single-family homes.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Engineering site plans identify existing utilities.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The development has no effect on nearby property since it adjoins existing single-family.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Proposed use is adjoining existing single-family.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

Proposed subdivision is compatible with adjoining single-family.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

Development will be constructed and designed in accordance with existing codes except for requested lot variances.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

There is a strong demand for single-family homes in St. Charles and will accommodate empty nesters.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The proposed PUD is single-family as authorized by city of St. Charles ordinance 2014-M-31.

EXHIBIT “D”

**PUD PRELIMINARY PLAN
(20 pages)**

RESIDENTIAL DEVELOPMENT

SMITH ROAD ST. CHARLES, ILLINOIS

PREPARED FOR
V&M INVESTMENT & REMODELING GROUP, LLC
ON632 GABLES BLVD
WHEATON, ILLINOIS



DRAWINGS INDEX			
		REV	DATE
CD.1	TITLE & INDEX SHEET	6	10/28/19
CD.2	EXISTING CONDITIONS & DEMOLITION PLAN	2	10/17/19
C1.1	SITE PLAN	4	2/26/19
C1.2	TRUCK TURNING EXHIBIT	4	2/26/19
C2.1	GRADING PLAN	5	5/13/19
C2.2	STORMWATER POLLUTION PREVENTION PLAN	4	2/26/19
C2.3	SWPPP DETAILS	0	4/30/18
C2.4	FAITH LANE PLAN & PROFILE	4	2/26/19
C3.1	UTILITY PLAN	6	10/28/19
C3.2	SANITARY PROFILE	6	10/28/19
C3.3	WATERMAIN PROFILE	6	10/28/19
L1.0	LANDSCAPE PLAN	4	2/26/19
SL3.0	PHOTOMETRIC PLAN	4	2/26/19
SL3.1	SPECIFICATION SHEET	4	2/26/19
CB.1	MAINTENANCE OF TRAFFIC PLAN	0	10/28/19
CB.2	MAINTENANCE OF TRAFFIC PLAN	0	10/28/19
C7.1	GENERAL NOTES & SPECIFICATIONS	3	1/21/19
C7.2	SITE DETAILS	4	2/26/19
C7.3	UTILITY DETAILS	4	2/26/19
C7.4	ROAD DETAILS	0	10/28/19
	LATEST REVISION	6	10/28/19

CONTACTS	
CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL 60174	
COMMUNITY & ECONOMIC DEVELOPMENT MITA THANGAM - DIRECTOR	(630) 377-4443
PLANNING DIVISION RUSSELL COUNTY - COMMUNITY DEVELOPMENT DIVISION MANAGER	(630) 377-0443
PUBLIC WORKS PETER SWAR - DIRECTOR	(630) 377-4405
KAREN YOUNG - ASSISTANT DIRECTOR OF PW-ENGINEERING	(630) 377-4428

BENCHMARKS	
BENCHMARK #1014 OF IOWA THAT IS ON THE SOUTH SIDE OF SMITH ROAD JUST TO THE SOUTHWEST OF PLEASANT TRAIL, APPROX. 300' SOUTHWEST OF THE SITE'S SOUTHWEST PROPERTY CORNER. ELEVATION: 780.85	
BENCHMARK #1015 OF IOWA ON THE SOUTH SIDE OF SMITH ROAD, JUST EAST OF PLEASANT TRAIL, APPROX. 60' SOUTHWEST OF THE SITE'S SOUTHWEST PROPERTY CORNER. ELEVATION: 780.24	
ALL ELEVATIONS ARE MEASURES UNLESS OTHERWISE STATED, REFER TO CDS FOR BENCHMARK LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL BENCHMARKS.	

DRAINAGE OVERLAY CERTIFICATE	
STATE OF ILLINOIS	COUNTY OF DAVENPORT
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATER WILL NOT BE CHANGED BY THE SUBMITTAL OF THIS DRAINAGE PLAN. WE HAVE CONDUCTED A VISUAL INSPECTION OF THE SITE AND THE DRAINAGE PLAN IS BASED ON THE INFORMATION PROVIDED TO US BY THE SUBMITTER. WE HAVE CONDUCTED A VISUAL INSPECTION OF THE SITE AND THE DRAINAGE PLAN IS BASED ON THE INFORMATION PROVIDED TO US BY THE SUBMITTER.	
DATED: 10/28/19	CITY OF ST. CHARLES
DESIGNED BY: [Signature]	SEAL OF CITY ENGINEER
DATE: 10/28/19	

WARNING CALL

Call 48 hours
before you dig
including
Sat, Sun &
Holidays



Excavate
at least 2 days
before you dig

BEFORE YOU DIG

CONTRACTORS SHALL CALL JULLIE
BEFORE START OF CONSTRUCTION.
CALL LOCAL AMERITECH OFFICE FOR
LOCATIONS OF FIBEROPTIC CABLES.
JULLIE DOES NOT MARK THESE
LOCATIONS.

REVISIONS		
REV	DATE	DESCRIPTION
1	10/27/19	PRELIMINARY
2	10/27/19	PRELIMINARY
3	10/27/19	PRELIMINARY
4	10/27/19	PRELIMINARY
5	10/27/19	PRELIMINARY
6	10/27/19	PRELIMINARY

TITLE & INDEX
SHEET

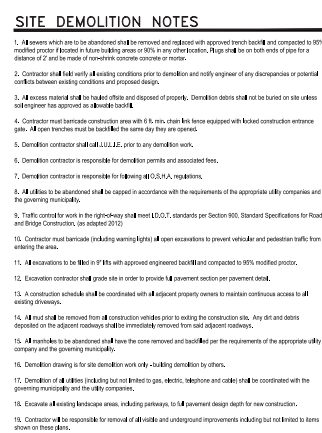
RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY
SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY
COMPLY WITH ALL CITY ORDINANCES AND THE CODES OF THE CITY OF ST. CHARLES.
DATE: 10/28/19

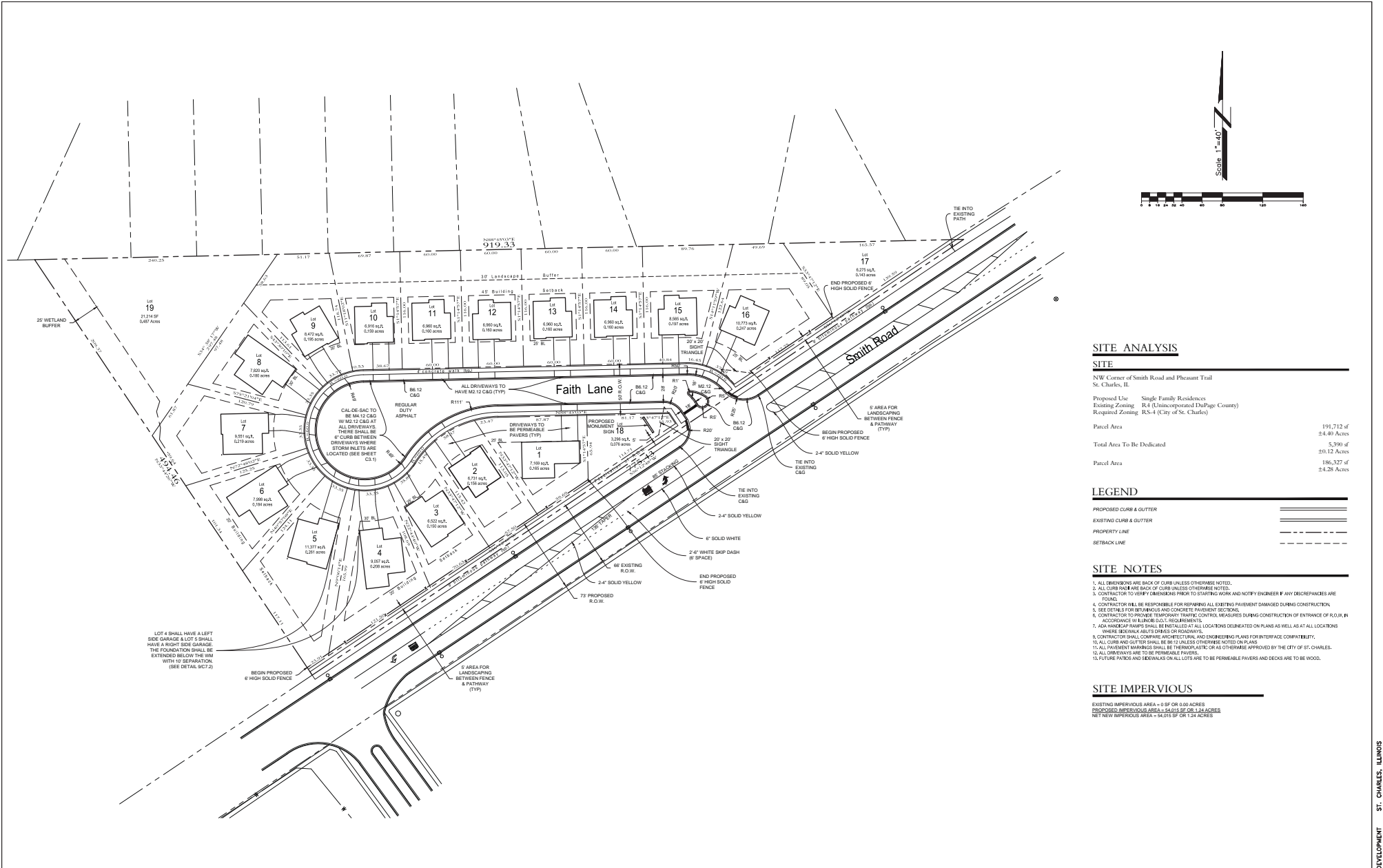
Craig R. Knoche & Associates
Civil Engineers, P.C.
1000 West 10th Street • St. Charles, IL 60174 • Phone: (630) 377-4443 • Fax: (630) 377-4444

DATE: 4/30/19
FILE: 17-034_001
SHEET NO: 17-034
SHEET 06

RESIDENTIAL DEVELOPMENT ST. CHARLES, ILLINOIS



 Craig R. Knoche & Associates Civil Engineers, P.C. 1181 Commerce Drive • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275	• Civil Engineers • Surveyors • Land Planners	DATE: 4/30/18 FILE: 17-034 C02 JOB NO: 17-034	C0.2 SHEET NO.



SITE ANALYSIS

SITE

NW Corner of Smith Road and Pleasant Trail
St. Charles, IL

Proposed Use Single Family Residences
Existing Zoning R-4 (Unincorporated DuPage County)
Required Zoning RS-4 (City of St. Charles)

Parcel Area	191,712 sf \$4.40 Acres
Total Area To Be Dedicated	5,390 sf \$0.12 Acres
Parcel Area	186,322 sf \$4.28 Acres

LEGEND

PROPOSED CURB & GUTTER	=====
EXISTING CURB & GUTTER	=====
PROPERTY LINE	-----
SETBACK LINE	-----

SITE NOTES

1. ALL DIMENSIONS ARE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB R.O.W. ARE BACK OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
4. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
5. SEE DETAIL FOR RETAINING AND CONCRETE PAVEMENT SECTIONS.
6. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCE OF FLOOR IN ACCORDANCE TO ILLINOIS DOT'S REQUIREMENTS.
7. ADA HANDICAP RAMPS SHALL BE INSTALLED AT ALL LOCATIONS Delineated ON PLANS AS WELL AS AT ALL LOCATIONS WHERE SIDEWALK ABUTS CORNERS OR ROADWAYS.
8. CONTRACTOR SHALL COMPILE ARCHITECTURAL AND ENGINEERING PLANS FOR INTERFACE COMPATIBILITY.
9. ALL CURB AND GUTTER SHALL BE 36" WIDE UNLESS OTHERWISE NOTED ON PLANS.
11. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC OR AS OTHERWISE APPROVED BY THE CITY OF ST. CHARLES.
12. ALL DRIVEWAYS ARE TO BE PERMEABLE PAVING.
13. FUTURE PATIOS AND SIDEWALKS ON ALL LOTS ARE TO BE PERMEABLE PAVING AND DECKS ARE TO BE WOOD.

SITE IMPERVIOUS

EXISTING IMPERVIOUS AREA = 0 SF OR 0.00 ACRES
PROPOSED IMPERVIOUS AREA = 54,015 SF OR 1.24 ACRES
NET NEW IMPERVIOUS AREA = 54,015 SF OR 1.24 ACRES

REVISIONS			
NO.	DATE	DESCRIPTION	
4	2/28/19	PER CITY COMMENTS	
3	10/17/18	PER CITY COMMENTS	
1	8/29/18	PER CITY COMMENTS	

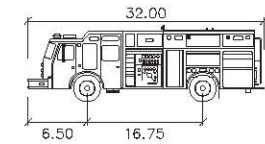
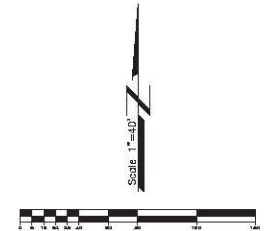
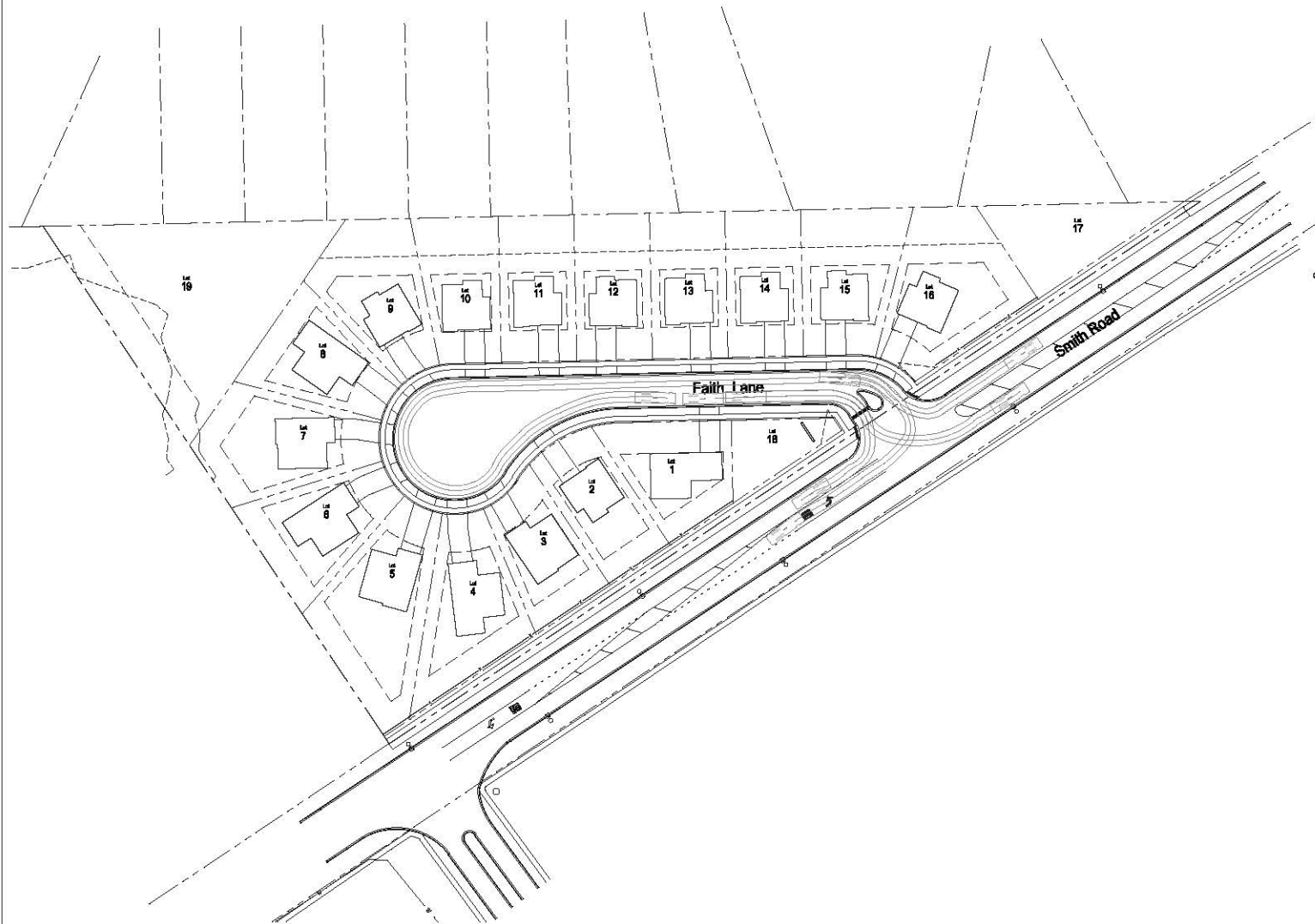
SITE PLAN

**RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS**

11th Commerce Drive • Glenview, IL 60024 • phone (847) 449-2270 • fax (847) 449-2272

Craig R. Knoche & Associates • Civil Engineers
Civil Engineers, P.C.
11th Commerce Drive • Glenview, IL 60024 • phone (847) 449-2270 • fax (847) 449-2272

DATE	4/30/18
FILE	17-034 C10
JOB NO.	17-034
SHEET NO.	C1.1



Fire Pumper feet
 Width : 8.50
 Track : 8.50
 Lock to Lock Time : 6.0
 Steering Angle : 45.0

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12/26/18	PER CITY COMMENTS	
2	01/17/19	PER CITY COMMENTS	

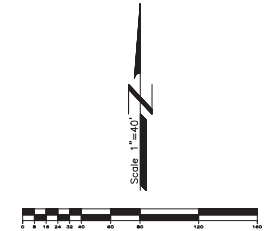
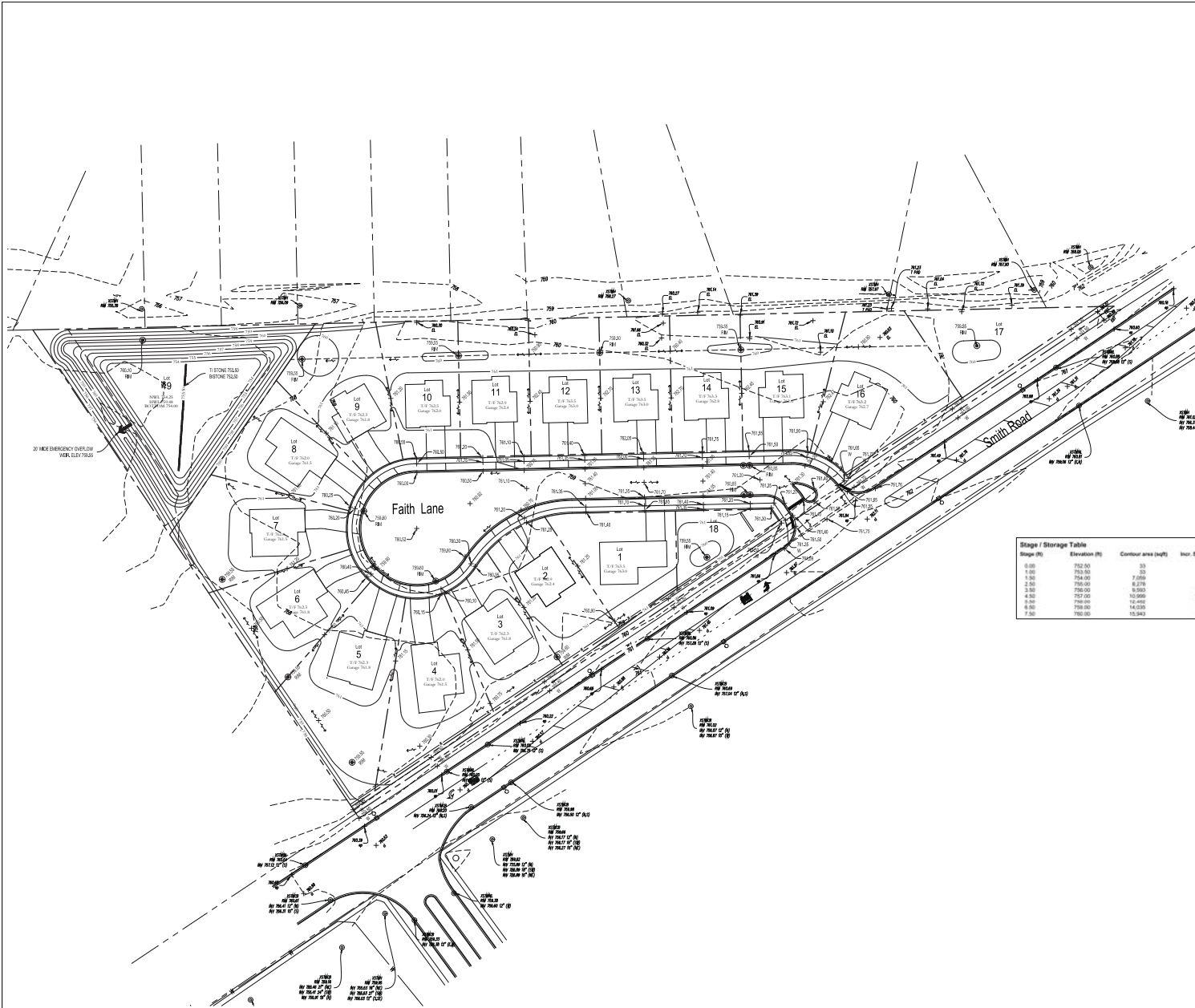
TRUCK TURNING EXHIBIT

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

Craig R. Knoche & Associates • Civil Engineers
 Civil Engineers, P.C.
 100 COMMERCIAL DRIVE • GLENVIEW, IL 60025 • PHONE (847) 843-1270 • FAX (847) 843-1271

DATE: 6/26/18
 FILE: 17-034 C10
 SHEET NO. 17-034

C1.2



LEGEND

	EXISTING	PROPOSED
PAVEMENT GRADE	+475.00	+475.00
WALK GRADE	+475.00	+475.00
BACK OF CURB GRADE	+475.00	+475.00
GROUND GRADE	+475.00	+475.00
RAM GRADE	+475.00	+475.00
STORM STRUCTURE	⊙	⊙
CONTOURS	— 475 —	— 475 —
EMERGENCY OVERTURN	→	→
FLOW DIRECTION	→	→
PROFILES	—	—
REVERSE CURVE	~	~

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	752.00	33	0	0
0.50	752.50	33	33	33
1.00	753.00	7,059	1,773	1,806
1.50	753.50	8,276	7,668	9,474
2.00	754.00	9,593	8,336	17,810
2.50	754.50	10,965	10,256	28,066
3.00	755.00	12,400	11,741	39,807
3.50	755.50	14,000	13,288	53,095
4.00	756.00	15,543	14,969	68,064

- GRADING NOTES**
1. GENERAL CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 2. THE GENERAL CONTRACTOR SHALL SPREAD SPREADS FROM THE CONTRACTOR'S WORK TO MAINTAIN THE SITE TO THE EXTENT POSSIBLE.
 3. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH SLOPE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH SLOPE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH SLOPE.
 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
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REVISIONS

NO.	DATE	DESCRIPTION
1	4/30/18	PER CITY COMMENTS
2	5/17/18	PER CITY COMMENTS
3	5/17/18	PER CITY COMMENTS

GRADING PLAN

RESIDENTIAL DEVELOPMENT

SMITH ROAD

ST. CHARLES, ILLINOIS

CREIG Z. KNOCKE & ASSOCIATES • Civil Engineers

1116 Commerce Drive • Geneva, IL 60134 • Phone (630) 449-2270 • Fax (630) 449-2272

DATE: 4/30/18

FILE: 17-034 C20

JOB NO: 17-034

C2.1

SHEET NO.



LEGEND	
EXISTING	PROPOSED
PAVEMENT GRADE	+475.0
WALK GRADE	+475.0
BACK OF CURB GRADE	+475.0
GROUND GRADE	+475.0
RAIN GRADE	+475.0
STORM STRUCTURE	⊙
CONTOURS	— 475 —
EMERGENCY OVERFLOW	→
FLOW DIRECTION	→
REDLINES	---
REVERSE CURB	~~~~~

- GRADING NOTES**
1. GENERAL CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 2. THE GENERAL CONTRACTOR SHALL SPREAD SPREAD FROM ANY CONTRACTOR WORK TO BALANCE THE SITE TO THE EXTENT POSSIBLE.
 3. EROSION CONTROL MEASURES SHALL BE PLACED BUT ARE NOT LIMITED TO THE FOLLOWING: EROSION CONTROL SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL SHALL BE PLACED ON EACH EXISTING STRUCTURE.
 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN SUCH MEASURES UNTIL EROSION CONTROL MEASURES ARE NO LONGER REQUIRED. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE.
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 7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE. EROSION CONTROL MEASURES SHALL BE PLACED ON EACH EXISTING STRUCTURE.
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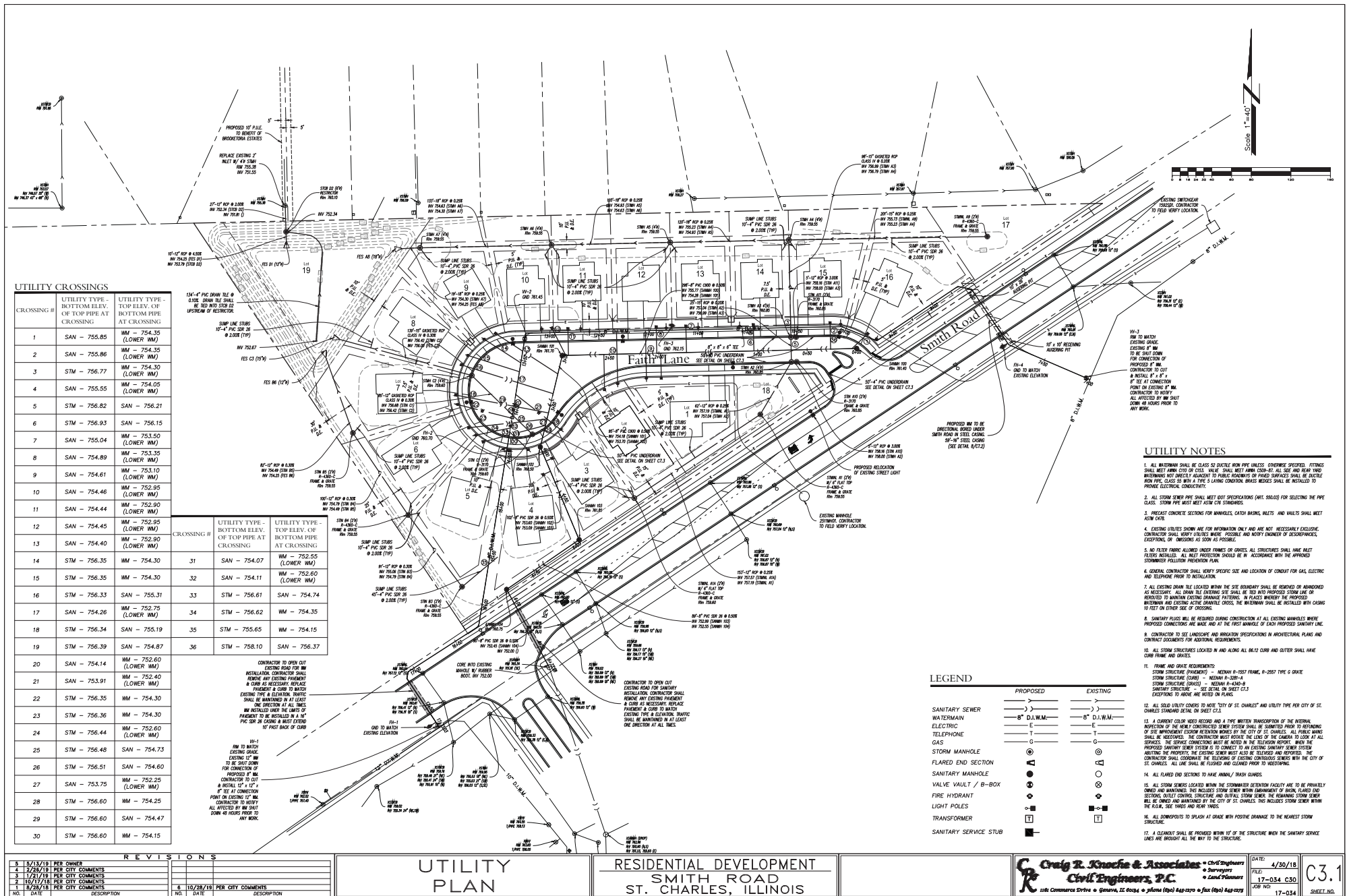
REVISIONS	
NO.	DATE
4	2/26/19
3	1/21/19
2	10/17/18
1	8/29/18

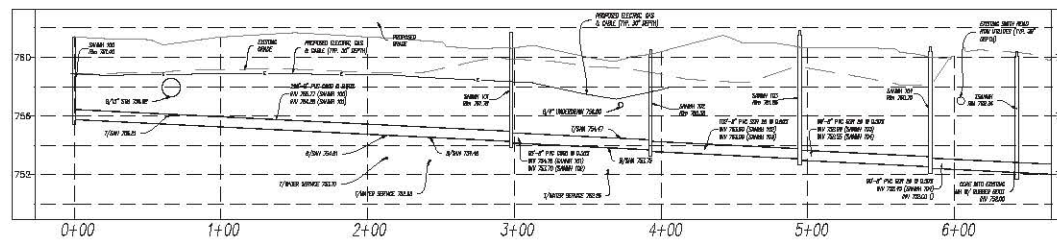
STORMWATER POLLUTION PREVENTION PLAN

RESIDENTIAL DEVELOPMENT SMITH ROAD ST. CHARLES, ILLINOIS

11th Commerce Drive • Geneva, IL 60134 • Phone (630) 449-2270 • Fax (630) 449-2272

Craig Z. Knoche & Associates • Civil Engineers • Surveyors • Land Planners • 17-034 C20





R E V I S I O N S		
NO.	DATE	DESCRIPTION
1	10/28/19	PER CITY COMMENTS
4	2/28/19	PER CITY COMMENTS
5	1/21/19	PER CITY COMMENTS

SANITARY
PROFILE

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

VERTICAL SCALE: 1"=4'
HORIZONTAL SCALE: 1"=40'

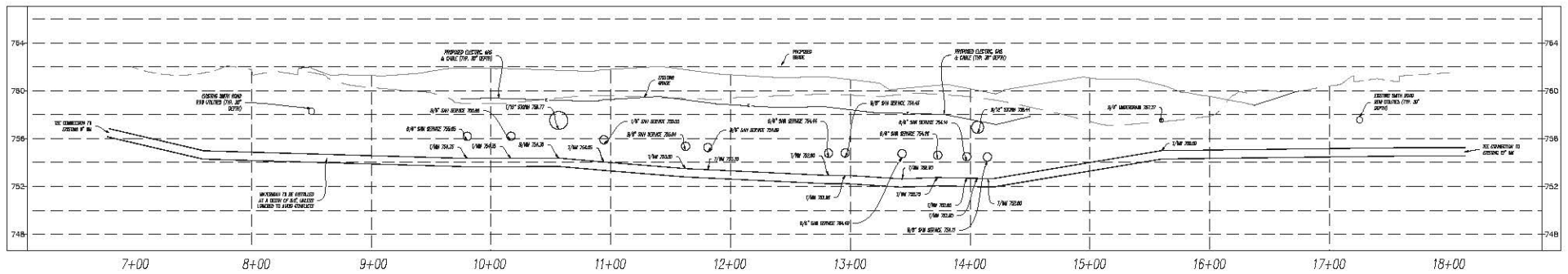
Craig R. Knoch & Associates
Civil Engineers, P.C.

1883 Combsdale Drive • Geneva, IL 60134 • phone (815) 845-1270 • fax (815) 845-1275

• Civil Engineers
• Surveyors
• Land Planners

DATE:	10/17/18
FILE:	17-034 C30
WOB NO:	17-034

C3.2



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	1/21/18	PER CITY COMMENTS			
2	1/21/18	PER CITY COMMENTS			
3	1/21/18	PER CITY COMMENTS			
4	1/21/18	PER CITY COMMENTS			
5	1/21/18	PER CITY COMMENTS			

**WATERMAIN
PROFILE**

**RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS**

VERTICAL SCALE: 1"=4'
HORIZONTAL SCALE: 1"=40'

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
100 Commercial Drive • Glenview, IL 60024 • Phone (847) 842-1270 • Fax (847) 842-1271

DATE: 10/17/18
FILE: 17-034 C30
SHEET NO.: 17-034
C3.3
SHEET NO.

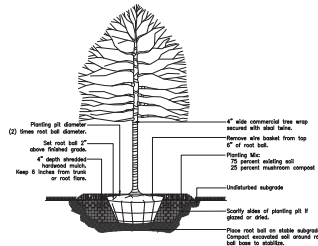



Diagram illustrating a 2' depth mushroom compost over ericaceae perennials bed. The diagram shows a cross-section of the bed structure with the following components labeled:

- 2' depth mushroom compost over ericaceae perennials bed.
- Perennial plant Spacing as noted on plan.
- Undisturbed subgrade.
- 12" depth planting mix: 75 percent clean loessil, 25 percent mushroom compost.

Diagram illustrating the planting method for the 4-inch depth strawed horizontal mulch over entire planting bed. The diagram shows two plants in a bed covered with a 4-inch depth of strawed horizontal mulch. Labels indicate the following steps and components:

- 4" depth strawed horizontal mulch over entire planting bed.
- Extend planting bed a minimum of 2' beyond root ball or as shown on plan.
- Remove top of burlap.
- Set root ball 2" above finished grade.
- Planting Mix:
 - 25 percent working soil
 - 25 percent mushroom compost
- Score sides of planting pit if glazed or dried.
- Undisturbed subgrade.
- Place root ball on stable subgrade.

[illegible]

6	Detention Basin Modifications	03/19/98
5	Site Plan Modifications	01/16/98
4	Site Plan Modifications	01/16/98
3	City Review Comments	08/03/98
2	For Review	04/23/98
1	For Review	04/19/98
Mark	Description	Date
Issuance		
Number 478218		
Scale 1" = 30'		North 
File 478218P8A		

1

L1.0

24 NORTH BENNETT STREET
GENEVA, IL. 60134
PH:630.845.1270

BROOKE TORIA
ESTATES
ST.CHARLES, IL

#	DATE	INIT	DESCRIPTION
1	01.21.2019	NM	SITE UPDATE
2	06.17.2019	NM	NEW FEATURE PER CITY COMMENTS

LED PHOTOMETRIC PLAN

KE181016

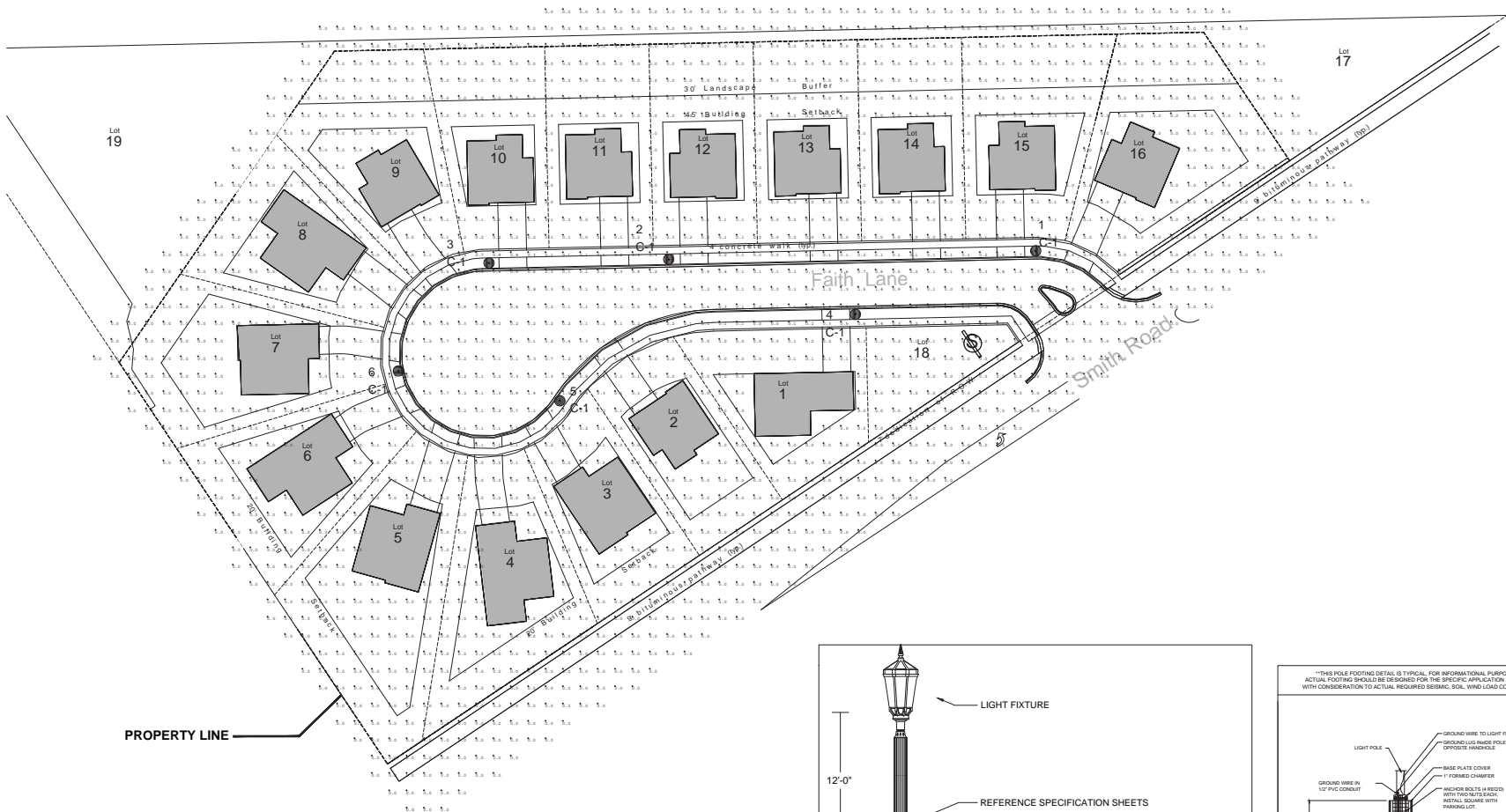
16.2018

NA

N.MOLENDA

N.MOLENDA

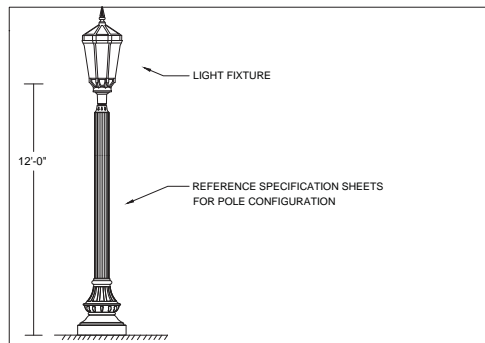
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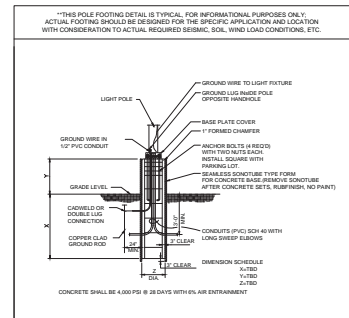
1 LED PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"



2 POLE DETAIL (TYP)
SCALE: NTS



3 POLE BASE DETAIL (TYP)
SCALE: NTS



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER THE CONTROLLED CONDITIONS USING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINANCE RECOMMENDATIONS AND ASSUMED ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

FOR ADDITIONAL LIGHTING INFORMATION CONTACT:

On-Site Lighting
& Supply, LLC

DOI: 10.1002/anie.201208415

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	TLL	LLF	Description	BUG Rating
	6	C-1	SINGLE	N/A	0.90	New Base, Pole, Flat 32W LED T4 12 Mhp Ht (4500K/2956 Lumens/250mA) Sternberg Lighting, M5805LED-1RND45T4-MDL03-CTA	B1-U2-G1

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Handscape	0.6	1.8	0.0	N/A	N/A

1 POLE TYPE C-1 SPECIFICATION SHEETS

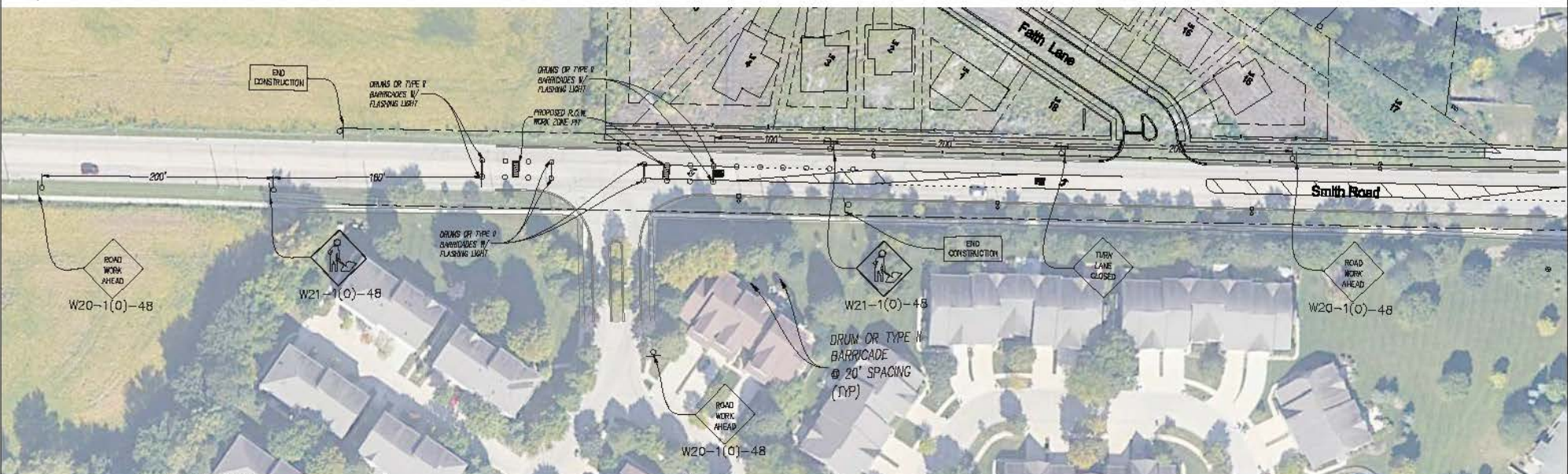
2 POLE MOUNT FIXTURE TYPE C-1
SPECIFICATION SHEETS

FIG. 203.004.15.40

PHASE 1



PHASE 2



REVISIONS			
NO.	DATE	DESCRIPTION	BY

MAINTENANCE OF TRAFFIC
PLAN

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS



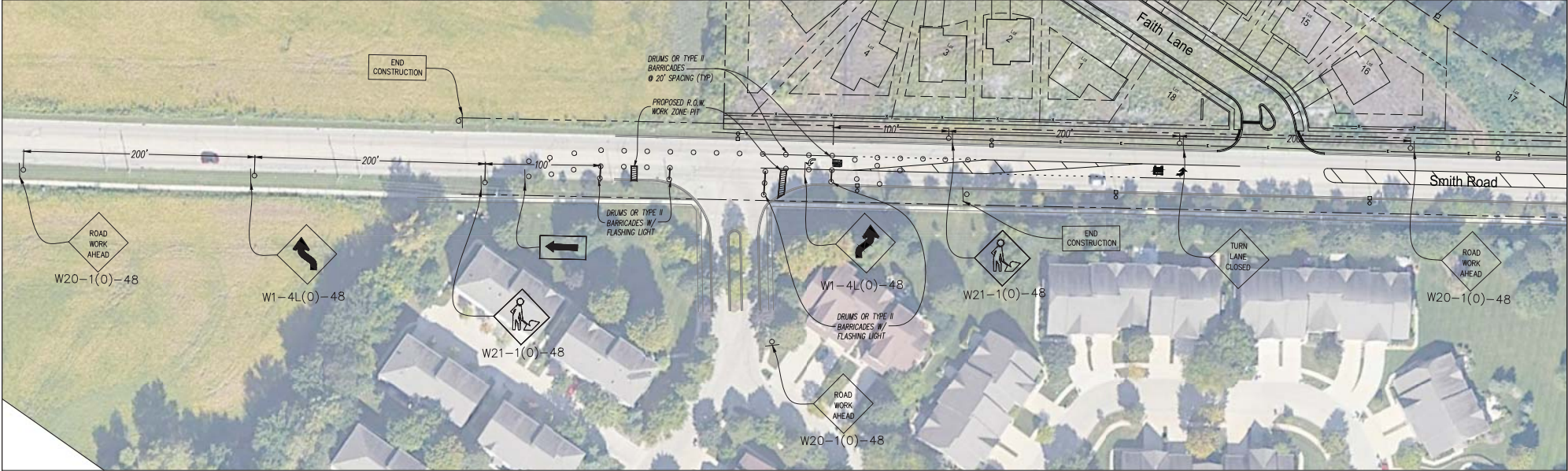
Craig R. Knoche & Associates
Civil Engineers, P.C.

1401 Westwood Street • St. Charles, IL 60154 • Phone (618) 594-1000 • Fax (618) 594-1001

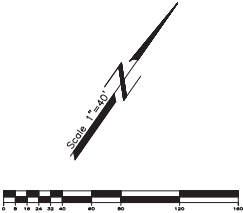
DATE: 10/28/18
FILE: 17-034_CSD
JOB NO: 17-034
SHEET NO: C6.1

RESIDENTIAL DEVELOPMENT ST. CHARLES, ILLINOIS

PHASE 3



- NOTES:
1. ALL SIGNAGE AS REQUIRED BY IDOT STANDARD 701502 SHALL BE INSTALLED
 2. CONTRACTOR SHALL SCHEDULE MEETING WITH CITY AT LEAST FIVE (5) WORKING DAYS IN ADVANCE OF THE CONTRACTORS ANTICIPATED CLOSURE TO DISCUSS SEQUENCE OF OPERATIONS AND EMERGENCY VEHICLE NOTIFICATIONS.
 3. WORK SHALL BE COMPLETED IN FIVE (5) CONSECUTIVE DAYS OR LESS.
 4. CHANGEABLE MESSAGE BOARDS ARE REQUIRED SEVEN (7) DAYS IN ADVANCE OF THE LANE CLOSURES TO NOTIFY THE MOTORING PUBLIC. MESSAGES TO BE APPROVED BY THE COUNTY.



REVISIONS			
NO.	DATE	DESCRIPTION	

MAINTENANCE OF TRAFFIC
PLAN

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

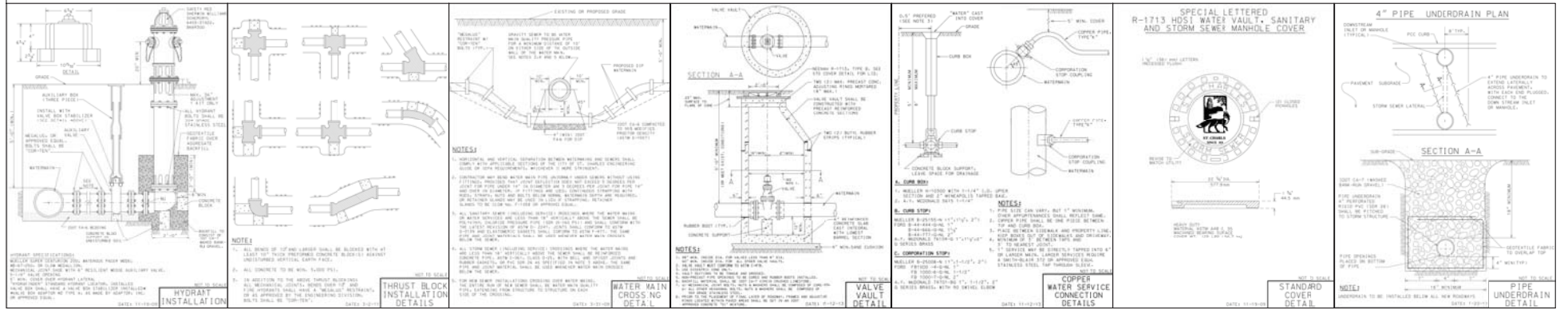
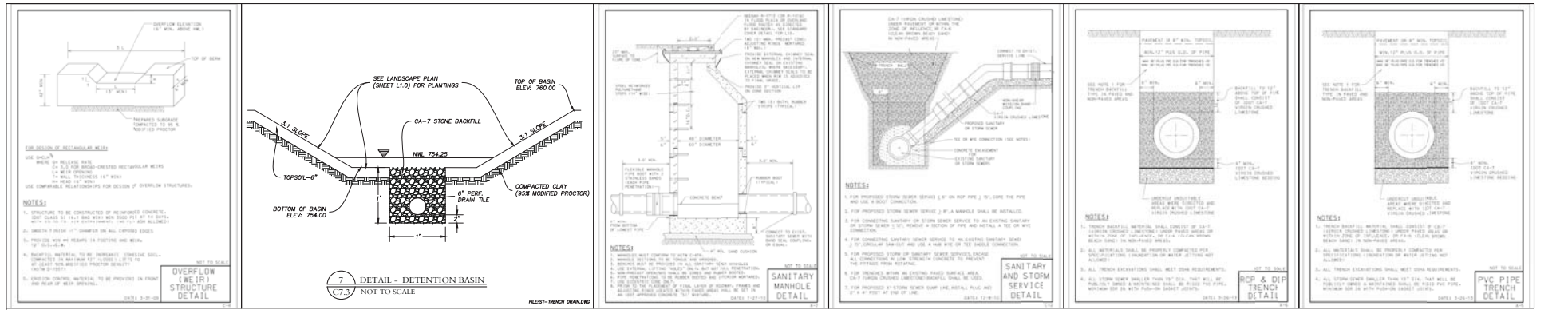
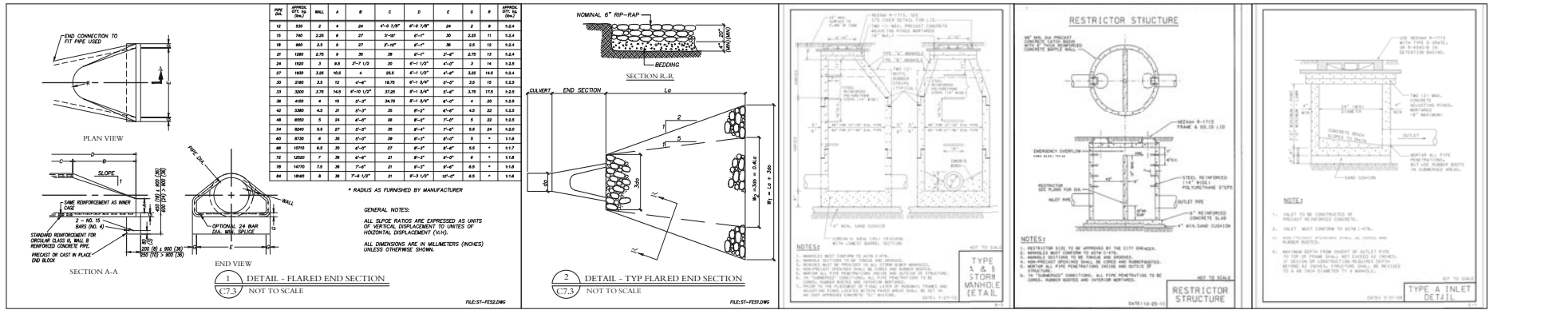
DATE: 10/28/19

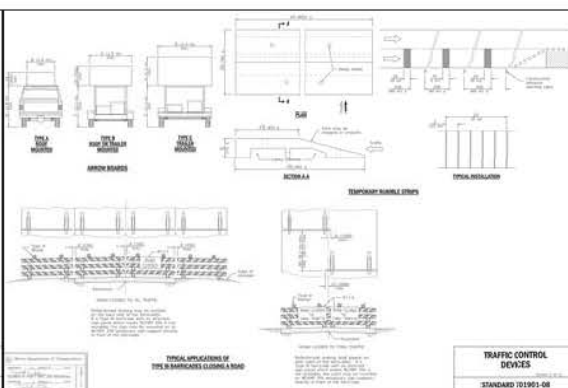
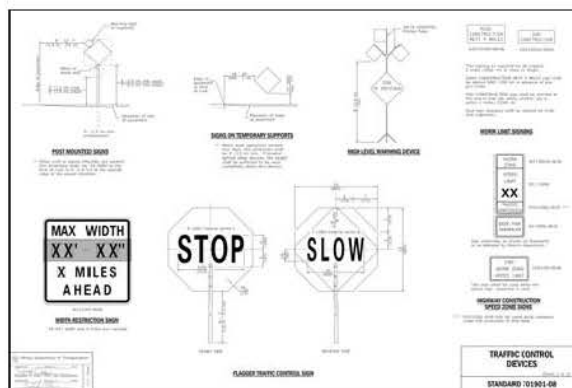
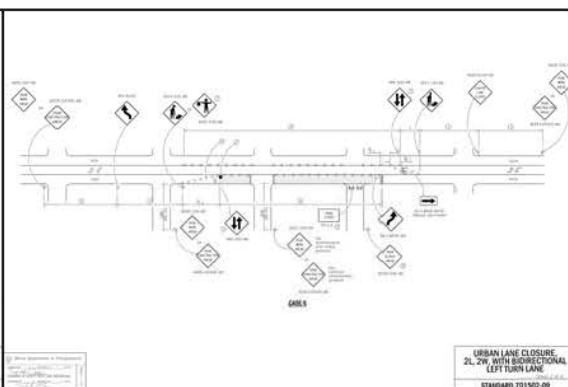
FILE: 17-034 C60

JOB NO: 17-034

C6.2

SHEET NO.





REVISIONS		
NO.	DATE	DESCRIPTION

IDOT
DETAILS

RESIDENTIAL DEVELOPMENT
SMITH ROAD
ST. CHARLES, ILLINOIS

Craig R. Knochle & Associates
Civil Engineers, P.C.

1400 N. Broadway Street • Greenville, SC 29615 • phone (803) 242-2222 • fax (803) 242-2222

• Civil Engineering
• Surveying
• Land Planning

DATE:	10/28/19	C7.4
FILE:	17-034 C70	
JOB NO:	17-034	

SHOOT NO.

EXHIBIT “E”

FINAL PLAT OF SUBDIVISION

Plat of Resubdivision

Brooke Toria Estates
of St. Charles

Owner's Certificate

State of Illinois }
County of DuPage } S.S.

This is to certify that V&M Investment and Remodeling Group, LLC is the owner of the lands shown and described on the annexed plat and by its duly authorized Manager has as such owner caused said lands to be surveyed, re subdivided and platted as shown thereon for the uses and purposes therein set forth and does hereby acknowledge and adopt the same under the style and title thereon shown. It is further certified that the lands platted hereby fall within the boundaries of St. Charles Community Unit School District 303.

Dated this ____ day of _____, A.D. 2019.

by: _____
Manager
for: V&M Investment and Remodeling Group, LLC

Notary's Certificate

State of Illinois }
County of DuPage } S.S.

I, _____, a notary public in and for the County and State aforesaid do hereby certify that _____ as Manager of V&M Investment and Remodeling Group, LLC, who is personally known to me to be the same person whose name is subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as being pursuant to authority given and as their free and voluntary act and as the free and voluntary act of V&M Investment and Remodeling Group, LLC.

Given under my hand and material seal this ____ day of _____, A.D. 2019.

notary public

Certificate as to Special Assessments

State of Illinois }
County of Kane } S.S.
County of DuPage }

I do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have not been apportioned against the tract of land included in the annexed plat.

Dated at _____, Illinois, this ____ day of _____, A.D. 2019.

Collector of Special Assessments

Plan Commission Certificate

State of Illinois }
County of Kane } S.S.
County of DuPage }

Approved this ____ day of _____, A.D. 2019.

Chairman, Plan Commission

Director of Community Development Certificate

State of Illinois }
County of Kane } S.S.
County of DuPage }

I, _____, do hereby certify that the required improvements have been installed or the required guarantee bond has been posted for the completion of all required land improvements.

Dated at St. Charles, Illinois this ____ day of _____, A.D. 2019.

Director of Community Development

City Council Certificate

State of Illinois }
County of Kane } S.S.
County of DuPage }

Approved this ____ day of _____, A.D. 2019.

City Council of the City of St. Charles, Illinois

by: _____ attest: _____
Mayor City Clerk

PUBLIC UTILITY AND DRAINAGE EASEMENT DECLARATION

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR, AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREBY DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREBY FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS, WHEREAN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWERS OR SEWERS, UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES. FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREBY, THE GRANTEE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEE SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO MAINTAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

Surveyor's Certificate

State of Illinois }
County of DuPage } S.S.

This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have surveyed, re subdivided and platted the lands described as follows:

Lot 16, 17 and 18 of Petruska's Second Subdivision of part of Section 30, Township 40 North, Range 9 East of the Third Principal Meridian in the Township of Wayne, Du Page County, Illinois.

I further certify that the lands described above are located in zone "X" (determined to be outside the 0.2% annual chance floodplain) pursuant to Flood Insurance Rate Map 17043C0107H (effective 12-6-2004) issued by the Federal Emergency Management Agency.

All dimensions are given in feet and decimal parts thereof and are correct at 62° Fahrenheit.

Given under my Hand and Seal at Wheaton, Illinois this ____ day of _____, A.D. 2019.

Illinois Professional Land Surveyor 2967
exp 11-30-18

This professional service complies with the current Illinois Standards for a Boundary Survey

County Clerk's Certificate

State of Illinois }
County of DuPage } S.S.

I, Jean Kacmarek, County Clerk of Du Page County, Illinois, do hereby certify that there are no delinquent general taxes, no unpaid forfeited taxes and no redeemable tax sales against any of the land included in the annexed plat.

I further certify that I have received all statutory fees in connection with the annexed plat.

Given under my hand and seal at _____, Illinois, this ____ day of _____, A.D. 2019.

Du Page County Clerk

County Recorder's Certificate

State of Illinois }
County of DuPage }

I, Fred Bucholz, Recorder of Du Page County, Illinois, do hereby certify that this instrument was filed for record on the ____ day of _____, A.D. 2019 and was placed of record as Document _____.

Given under my hand at Wheaton, Illinois, this ____ day of _____, A.D. 2019.

Du Page County Recorder

Plat of Resubdivision

Notary Public
V & M Investment and Remodeling Group, LLC

Notary Public

Notary Public

Notary Public

Notary Public

Notary Public

EXHIBIT “F”

PUD DEVIATIONS

Table 17.12-2 Residential District Bulk Requirements – RS-4 District	
Minimum Lot Area	6,522 sq. ft. (Lot 3) and as shown on the Final Plat of Subdivision
Minimum Lot Width	44 ft. and as shown on the Final Plat of Subdivision
Minimum Rear Yard	25 ft. (Lots 5-6) 20 ft. (Lots 1-4, 8)
Table 17.28-1 Permitted Signs for Residential Districts (RE, RS, RT, RM)	
Entryway Signs for Residential Development	5 ft. Minimum ROW setback

**AGENDA ITEM EXECUTIVE SUMMARY**

Agenda Item number: IIC9

Title:

Motion to approve An Ordinance Amending Ordinance 2018-Z-34 and Granting Approval of an Amendment to Special use for Car Wash for Extreme Clean Express Carwash, 1625 W. Main St.

Presenter:

Rita Tungare

Meeting: City Council

Date: December 16, 2019

Proposed Cost:

Budgeted Amount: N/A

Not Budgeted: ☐**Executive Summary** (*if not budgeted please explain*):

On December 9, 2019, the Planning & Development Committee recommended approval of a Special Use Amendment to modify the Main St. access to Extreme Clean Express Car Wash from a right-in/right-out to a full-in/right-out configuration.

The Committee voted unanimously to recommend approval, with a condition that operation of the access be reviewed after one year.

This stipulation is included as a condition in the prepared Ordinance, as follows:

“That after the car wash has operated for a period of approximately one (1) year, the Planning & Development Committee of the City Council shall review the operations of the full-in/right-out access to W. Main St./Rt. 64 and shall have the ability to require modifications to the access as deemed necessary during said review.”

Attachments (*please list*):

Ordinance

Recommendation/Suggested Action (*briefly explain*):

Vote on ordinance.

City of St. Charles
Ordinance No. 2019-Z-_____

**An Ordinance Amending Ordinance 2018-Z-34 and Granting Approval of an
Amendment to Special Use for Car Wash for Extreme Clean Express
Carwash, 1625 W. Main St.**

WHEREAS, on or about September 30, 2019, MKD Enterprise of St. Charles LLC (“the Applicant”) filed a petition for Amendment to Special Use Ordinance 2018-Z-34, “An Ordinance Amending Ordinance 1995-Z-3 and Granting Approval of a Special Use for Car Wash for Extreme Clean Express Carwash, 1625 W. Main St.”, for the Subject Property which is commonly known as 1625 W. Main St. and legally described in Exhibit “A”, attached hereto and incorporated herein, for the purpose of modifying the site’s W. Main St./Rt. 64 access; and,

WHEREAS, Notice of Public Hearing on said petition for Amendment to Special Use was published on or about October 18, 2019 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted a public hearing on November 5, 2019 on said petition in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said petition and all interested parties were afforded an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended denial of said petition, which requested approval of a full, two-way access to W. Main St./Rt. 64, on or about November 5, 2019; and,

WHEREAS, the Planning & Development Committee of the City Council reviewed said petition and the recommendation of the Plan Commission and referred the petition back to the Plan Commission for an additional public hearing and recommendation on or about November 11, 2019; and,

WHEREAS, Notice of Additional Public Hearing on said petition for Amendment to Special Use was published on or about November 15, 2019 in a newspaper having general circulation within the City, to-wit, the Daily Herald newspaper, as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission conducted an additional public hearing on December 3, 2019 on said petition in accordance with the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, at said additional Public Hearing, the Applicant presented testimony in support of said petition and all interested parties were afforded an opportunity to be heard; and,

WHEREAS, the Plan Commission recommended approval of said petition, which requested approval of a full-in/right-out access to W. Main St./Rt. 64, on or about December 3, 2019; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of said petition, which requested approval of a full-in/right-out access to W. Main St./Rt. 64, on or about December 9, 2019; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of an Amendment to Special Use for Car Wash granted under Ordinance 2018-Z-34 by permitting a full-in/right-out driveway configuration for access to W. Main St./Rt. 64, with respect to the Subject Property pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, and based upon the Applicant's petition and the evidence presented at the Public Hearing, the City Council hereby adopts the Findings of Fact for Special Use, set forth in Exhibit "B", which is attached hereto and incorporated herein.

3. That approval of said Amendment to Special Use for Car Wash is subject to substantial compliance with the Main St./Rt. 64 driveway configuration as depicted on the Site Plan prepared by Webster, McGrath & Ahlberg, Ltd., a reduced copy of which is attached hereto and incorporated herein as Exhibit "B".

4. That after the car wash has operated for a period of approximately one (1) year, the Planning & Development Committee of the City Council shall review the operations of the full-in/right-out access to W. Main St./Rt. 64 and shall have the ability to require modifications to the access as deemed necessary during said review.

5. The Subject Property shall be developed and used only in accordance with all ordinances of the City as now in effect and as hereafter amended.

6. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within

thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 16th day of December, 2019.

Raymond P. Rogina, Mayor

Attest:

Charles Amenta, City Clerk

Vote:

Ayes:

Nays:

Absent:

Abstain:

Date: _____

EXHIBIT “A”

LEGAL DESCRIPTION

LOT 1 IN VALLEY SHOPPING CENTER RESUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 28 AND PART OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 11, 2018 AS DOCUMENT NUMBER 2018K016459, IN KANE COUNTY, ILLINOIS.

EXHIBIT “B”

FINDINGS OF FACT FOR SPECIAL USE

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

Retaining full access into the site and right-out access exiting the site will allow for better traffic flow.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Sufficient as being built.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The change to the Special Use allowing us to leave the full access in and right-out only access out will not negatively impact any businesses or vehicle traffic along Rt. 64. The access as it currently sits is a full access and we feel this will keep the traffic and circulation on site moving better. This amendment will help nearby businesses (Rookies and Olympia Chiropractic) by allowing them to maintain a similar flow that their customers are currently using off Rt. 64 (Main St.).

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Existing development, but the full access into the site and right-out only access exiting the site will maintain cross access between businesses.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

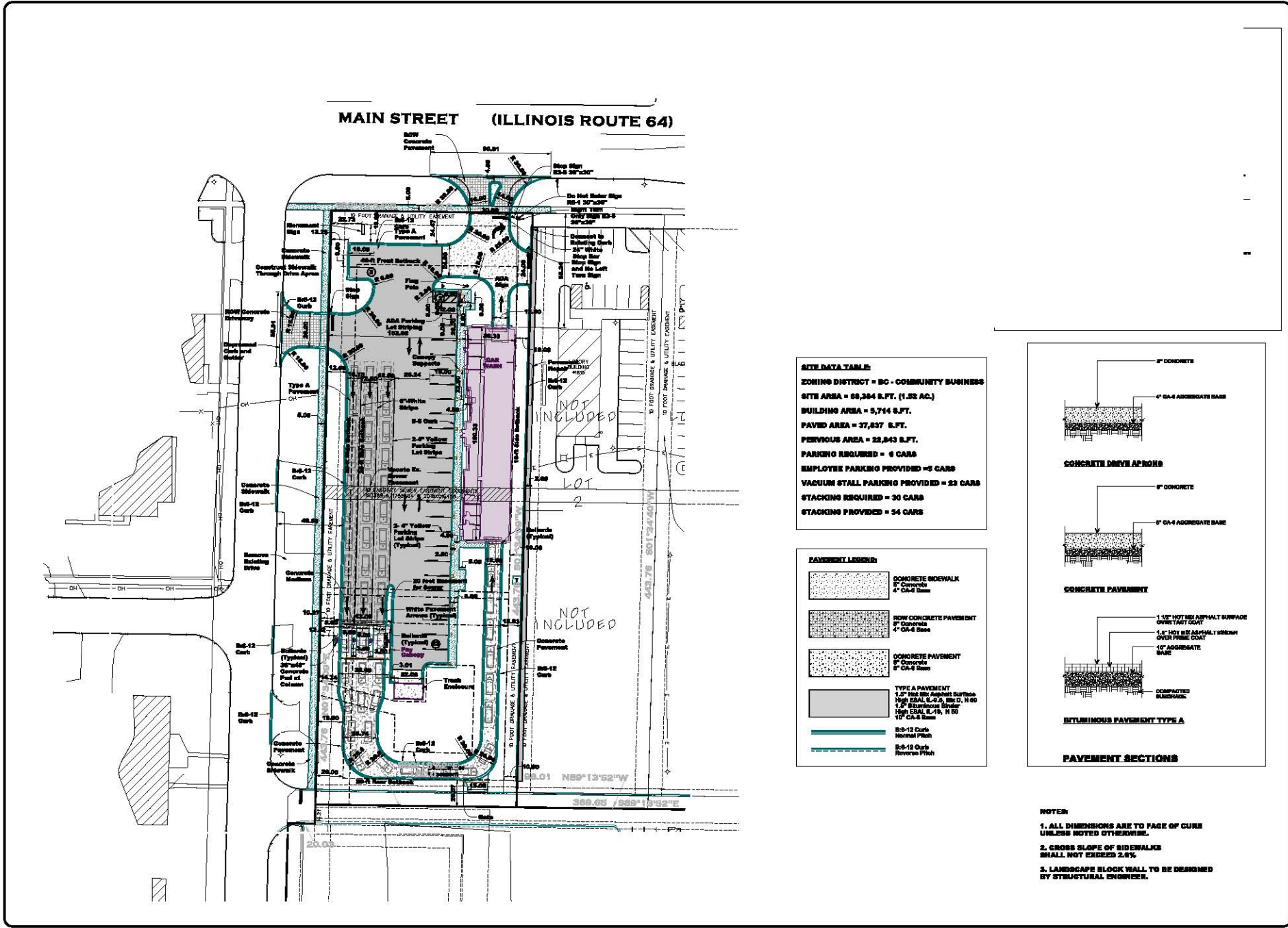
Traffic study determined no negative impacts.

- F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

Yes, conforms.

EXHIBIT “C”

SITE PLAN

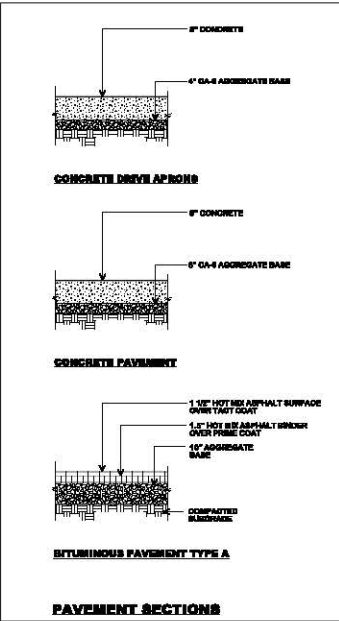


SITE DATA TABLE

ZONING DISTRICT - BC - COMMUNITY BUSINESS
SITE AREA = 68,384 S.F. (1.52 AC.)
BUILDING AREA = 5,714 S.F.T.
PAVED AREA = 37,837 S.F.T.
PERVIOUS AREA = 22,843 S.F.T.
PARKING REQUIRED = 6 CARS
EMPLOYEE PARKING PROVIDED = 5 CARS
VACUUM STALL PARKING PROVIDED = 23 CARS
STACKING REQUIRED = 30 CARS
STACKING PROVIDED = 34 CARS

PAVEMENT LEGEND

	CONCRETE SIDEWALK 8" Concrete 4" CA-4 Base
	SEWER CONCRETE PAVEMENT 8" Concrete 4" CA-4 Base
	CONCRETE PAVEMENT 8" Concrete 8" CA-4 Base
	TYPE A PAVEMENT 1.5" Hot Mix Asphalt Surface High EAL 8-4-A, Mix D, N 60 1" 8" Bituminous Binder High EAL 8-1-A, N 60 10" CA-4 Base
	S-8-12 Curb Normal Finish
	S-8-12 Curb Reverse Pitch



- NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 2. CROSS SLOPE OF SIDEWALKS SHALL NOT EXCEED 2.5%.
 3. LANDSCAPE BLOCK WALL TO BE DESIGNED BY STRUCTURAL ENGINEER.

1" = 50'-0" (VERTICAL)

EXTREME CLEAN CAR WASH
ST. CHARLES

Project No. 11-08-10
EXTREME CAR WASH, INC.
444 S. Main St. Suite 200
St. Charles, MO 63301

WESTERN, MCGRAW-HILL & ASSOCIATES, LTD.
WMA
Local Representative: Chris West
Over 100 Years of Service to Clients
300 West 10th Street, Suite 1000, St. Louis, MO 63102
Phone: (314) 436-1000 Fax: (314) 436-1001

NO.	DATE	DESCRIPTION	BY	CHKD.
1	04-04-2010	Prepared for City review	WMA	WMA
2	02-02-2010	Revised per City review	WMA	WMA
3	02-02-2010	Revised per City review	WMA	WMA
4	01-12-2010	Revised per City review	WMA	WMA
5	04-04-2010	Revised per City review	WMA	WMA
6	05-02-2010	Revised per City review	WMA	WMA
7	05-02-2010	Revised per City review	WMA	WMA
8	05-02-2010	Revised per City review	WMA	WMA
9	05-02-2010	Revised per City review	WMA	WMA
10	05-02-2010	Revised per City review	WMA	WMA
11	05-02-2010	Revised per City review	WMA	WMA
12	05-02-2010	Revised per City review	WMA	WMA
13	05-02-2010	Revised per City review	WMA	WMA
14	05-02-2010	Revised per City review	WMA	WMA
15	05-02-2010	Revised per City review	WMA	WMA
16	05-02-2010	Revised per City review	WMA	WMA
17	05-02-2010	Revised per City review	WMA	WMA
18	05-02-2010	Revised per City review	WMA	WMA
19	05-02-2010	Revised per City review	WMA	WMA
20	05-02-2010	Revised per City review	WMA	WMA
21	05-02-2010	Revised per City review	WMA	WMA
22	05-02-2010	Revised per City review	WMA	WMA
23	05-02-2010	Revised per City review	WMA	WMA
24	05-02-2010	Revised per City review	WMA	WMA
25	05-02-2010	Revised per City review	WMA	WMA
26	05-02-2010	Revised per City review	WMA	WMA
27	05-02-2010	Revised per City review	WMA	WMA
28	05-02-2010	Revised per City review	WMA	WMA
29	05-02-2010	Revised per City review	WMA	WMA
30	05-02-2010	Revised per City review	WMA	WMA
31	05-02-2010	Revised per City review	WMA	WMA
32	05-02-2010	Revised per City review	WMA	WMA
33	05-02-2010	Revised per City review	WMA	WMA
34	05-02-2010	Revised per City review	WMA	WMA
35	05-02-2010	Revised per City review	WMA	WMA
36	05-02-2010	Revised per City review	WMA	WMA
37	05-02-2010	Revised per City review	WMA	WMA
38	05-02-2010	Revised per City review	WMA	WMA
39	05-02-2010	Revised per City review	WMA	WMA
40	05-02-2010	Revised per City review	WMA	WMA
41	05-02-2010	Revised per City review	WMA	WMA
42	05-02-2010	Revised per City review	WMA	WMA
43	05-02-2010	Revised per City review	WMA	WMA
44	05-02-2010	Revised per City review	WMA	WMA
45	05-02-2010	Revised per City review	WMA	WMA
46	05-02-2010	Revised per City review	WMA	WMA
47	05-02-2010	Revised per City review	WMA	WMA
48	05-02-2010	Revised per City review	WMA	WMA
49	05-02-2010	Revised per City review	WMA	WMA
50	05-02-2010	Revised per City review	WMA	WMA

SITE PLAN

SP-1

**MINUTES
CITY OF ST. CHARLES, IL
PLANNING AND DEVELOPMENT COMMITTEE
MONDAY, DECEMBER 9, 2019 7:00 P.M.**

Members Present: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Lewis

Members Absent: None

Others Present: Mayor Rogina, Rita Tungare; Director of Community & Economic Development, Russell Colby; Community Development Division Manager, Ellen Johnson; City Planner, Monica Hawk; Development Engineer, Rachel Hitzemann; Planner, Ciara Miller; Econ. Dev. Planner, Mark LaChappell; Building & Code Enforcement Division Supervisor, Bob Vann; Building & Code Enforcement Manager, Fire Chief Swanson, Asst. Fire Chief Christensen

1. CALL TO ORDER

The meeting was convened by Chair Payleitner at 7:00 P.M.

2. ROLL CALLED

Roll was called:

Present: Stellato, Silkaitis, Payleitner, Lemke, Turner, Bancroft, Vitek, Pietryla, Bessner, Lewis

Absent: None.

3. OMNIBUS VOTE

*5d. Recommendation to approve a Plat of Abrogation and Plat of Easement for Extreme Clean Car Wash, 1625 W. Main St.

*5e. Recommendation to approve a Minor Change to PUD for Meijer Outlot – Building Elevations, Building C Patio.

Aldr. Bessner made a motion to approve omnibus items *5d and *5e on the Agenda. Seconded by Aldr. Bancroft. Approved unanimously by voice vote. Motion carried 9-0.

4. FIRE DEPARTMENT

- a. Recommendation to approve an Ordinance Extending the Residential Sprinkler Moratorium until the adoption of the new 2021 codes or December 31, 2021, whichever occurs first.

Chief Swanson presented the Executive Summary posted in the meeting packet.

Aldr. Lemke made a motion to to approve a an Ordinance Extending the Residential Sprinkler Moratorium until the adoption of the new 2021 codes or December 31,2021, whichever occurs first. Seconded by Aldr. Turner. Approved unanimously by voice vote. Motion carried 9-0.

5. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Plan Commission recommendation regarding a Special Use (Amendment to Special Use) for Extreme Clean Express Car Wash, 1625 W. Main St.

Ms. Johnson presented the Executive Summary posted in the meeting packet.

Aldr. Lewis said she's not opposed but she does have concerns regarding the left turn-in involving the light, the cut and the street in regard to safety. She'd like to revisit this in a year for any major issues. Ms. Tungare said this stipulation could be added to the motion to evaluate this within 1 year with a report for the Committee. Chair Payleitner clarified that the applicant understood the condition. Mr Gunsteen said he did. Ms. Tungare said since the use has already been established all we could do is request modifications to the terms and improvements at that time.

Aldr. Lewis made a motion to to approve a Special Use (Amendment to Special Use) for Extreme Clean Express Car Wash, 1625 W. Main St.; with the right-out only and right-in left-in to be revisited in 1 year from the start of operation. Seconded by Aldr. Turner. Approved unanimously by voice vote. Motion carried 9-0.

Roll was called:

Ayes: Pietryla, Bessner, Lewis, Stellato, Silkaitis, Lemke, Turner, Bancroft, Vitek

Absent:

Recused:

Nays:

Motion passed 9-0

- b. Plan Commission recommendation to approve a General Amendment to Title 17 of the St. Charles Municipal Code (Zoning Ordinance) pertaining to Pet Care Facilities in the CBD-1 District.
- c. Plan Commission recommendation to approve a Special Use for a Pet Care Facility for K-9 Country Club of St. Charles, 305 N. 2nd St.

Chair Payleitner noted that the applicant for items 5b and 5c had requested a postponement; she then read the email request submitted by the applicant- John Karatheodore; dated 12/9/19, sent to Russell Colby.

Chair Payleitner read additional written correspondence submitted after the meeting packet posting, all objecting to the Special Use: Brent & Jaci Lindberg, 309 N. 2nd St. & 220 N. 4th St., dated 12/8/19; Terry Grove, 311 N. 2nd St., dated 12/9/19; Neil Johnson-SVN Landmark Commercial Real Estate dated 12/7/19; Jim Coleman-Coleman Land Company dated 12/8/19; as well as a petition to the Planning & Development Committee signed by 44 people comprised of VFW members and tenants at the Charleston Center at 311 N. 2nd St. Chair Payleitner noted that the VFW representative may have an additional signed petition.

Ms. Johnson presented the Executive Summary for items 5b and 5c posted in the meeting packet.

Terry Grove-311 N. 2nd St., Suite 304-owner of the building, as well as other properties in the downtown area, said he knows all about the uses in downtown. Under findings of fact and recommendation it states that "Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood". He's spoken to over 60 people and none feel this is a good idea; there will be barking dogs and all the surrounding properties will be affected; it's a small space. In 40 years he's never objected to anything in downtown St. Charles, but this is such a misuse that affects 52,000 sq. ft. of commercial space.

Vanessa Bell-Lasota-1610 Howard St.-representing the Veterans of St. Charles and the St. Charles Veteran Center-comprised of the American Legion, the VFW, Amvets and The Vietnam Veterans of America; as well as other organizations that use the facility at no charge. She addressed the impact this use would have on the Veterans, which most are senior, retired and disabled, and they need to have access to the parking lot and need to have a peaceable time at the facility. She noted that the proposed use would open at 6am which would interfere with their fellowship with the Veterans (7-11am Saturdays and 8-10am Wednesdays) of all ages. In regard to overall improvements in the surrounding area in the findings of fact, the proposed use will definitely affect, and is incongruous with, the use of our Veteran center. In regard to “effect on development of surrounding properties that it will not impede the normal and orderly improvement of the surrounding property for use permitted”; this will most certainly affect the surrounding property because of the size and the scale of it. As to the noise and effect on general welfare and this business having to comply with the standards would be impossible. She’s a dog owner/lover and supports the industry but the location is incongruous with current use and the future of our Veterans Center and our Veterans.

Jacqueline Lindberg-owner of 309 N. 2nd St. & 220 N. 4th St.-noted the mention of the special use of Fydoland and that there were no significant issues raised during the public hearing, as shown in the executive summary, however as you can see/hear tonight there is significant issue being raised regarding this pet care facility. Fydoland is located in M-1 and is far removed from the downtown area; the area proposed tonight is CBD-1 which is extremely close to the overlay area downtown which was determined to not be acceptable for a dog daycare. This location is part of the future plans of development and is this part of the face of St. Charles we want our visitors to see; barking dogs? Pet care facilities standards state that outdoor exercise areas shall not be located on a property that abuts a residentially zoned property and her property is permitted for residential use; that alone should disregard the ability to use this as a pet care facility. The noise ordinance will be monitored by her building if this goes through and she will be a squeaky wheel.

Tom Anderson-712 Horne St.-adjacent property owner to the site-said he doesn’t feel this is a positive use of this facility and he agrees with all the others that have spoken this evening.

Aldr. Turner said as a matter of fairness he suggests a postponement for the applicant as Committee allowed for the Extreme Clean Express car wash at a prior meeting.

Aldr. Turner made a motion to allow the postponement for items 5b & 5c until the January 13, 2020 Planning & Development Committee meeting. Seconded by Aldr. Stellato.

Roll was called:

Ayes: Pietryla, Bessner, Stellato, Silkaitis, Turner

Absent:

Recused:

Nays: Lewis, Lemke, Bancroft, Vitek

Motion passed 5-4

Chair Payleitner clarified with the petitioner that he has 1 month to come back and address the concerns/desires mentioned this evening by Committee.

6. ADDITIONAL BUSINESS - None

7. EXECUTIVE SESSION - None

8. **ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS-None.**
9. **ADJOURNMENT - Aldr. Stellato made a motion to adjourn at 7:30pm. Seconded by Aldr. Lemke. Approved unanimously by voice vote. Motion Carried.**