

## the Lexington Club



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**Applicant:**

Lexington Homes  
1731 N. Marcey St.  
Suite 200  
Chicago, IL 60614  
773-829-4755 office  
773-360-0301 fax

Contact: Moises Cukierman

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**Attorney:**

Rathje & Woodward, LLC  
300 E. Roosevelt Road  
P.O. Box 786  
Wheaton, IL 60189  
630-668-8500 office  
630-668-7350 fax

Contact: Hank Stillwell

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**Architect and Planner**

BSB Design  
3046 North Kenricott  
Suite 100  
Arlington Heights, Illinois 60004  
847-705-2200 office  
877-283-0404 fax

Contact: Terry Smith

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**Civil Engineer:**

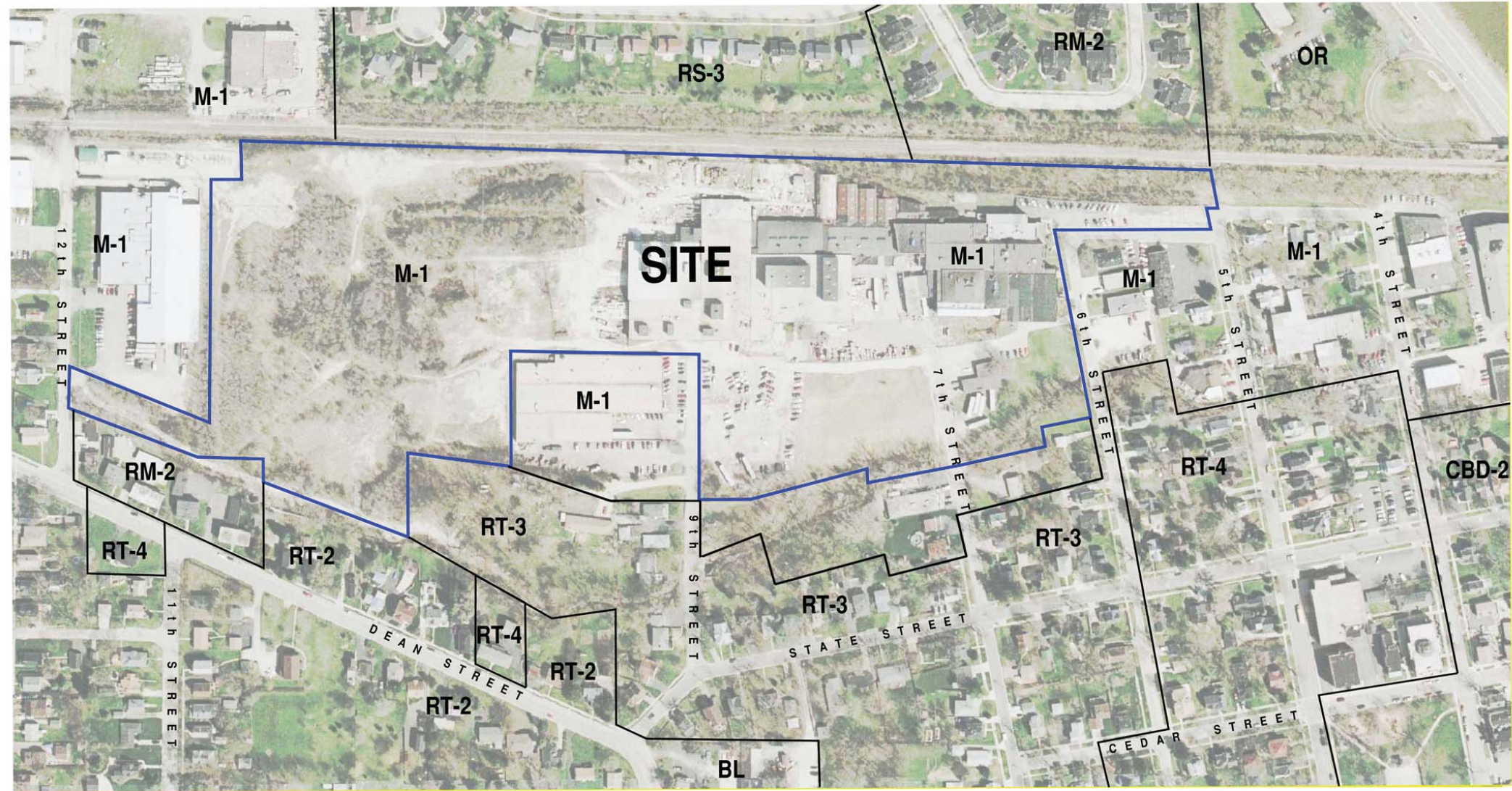
Wills Burke Kelsey Associates, Ltd.  
116 West Main Street,  
Suite 201  
St. Charles, Illinois 60174  
(630) 443-7755 office  
(630) 443-0533 fax

Contact: Chris Lindley

**the Lexington Club**

St. Charles, Illinois

Date: July 21, 2011



## Zoning Exhibit

**The Lexington Club**  
St. Charles, Illinois

Date: July 21, 2011

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Lexington Homes  
1731 North Marcey Suite 200  
Chicago, IL 60614  
312-280-0980

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

Existing Single Family

2049.90'

CHICAGO & NORTH WESTERN TRANSPORTATION COMPANY

Electric Utility

Existing Single Family  
Mixed Commercial

**SITE AREA: 27.8 ACRES**

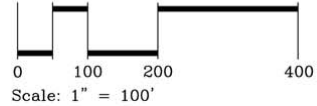
Existing Industrial

Existing Industrial

Existing Single Family

Existing Mixed Residential

North



# Existing Conditions the Lexington Club

St. Charles, Illinois



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**SITE INFORMATION**

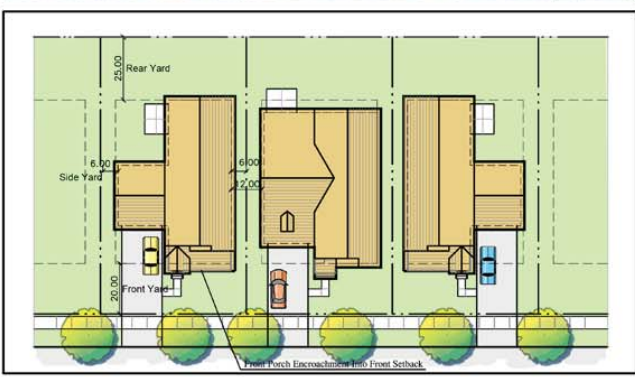
26.95 acres -Gross Total  
 20.05 acres -Net Residential  
 6.90 acres -Storm Water/Open Space

**Residential Data**

28 - Single Family Lots (56', 58' x 110')  
 102 - Townhomes  
 12 - Row Homes  
 142 Total Units

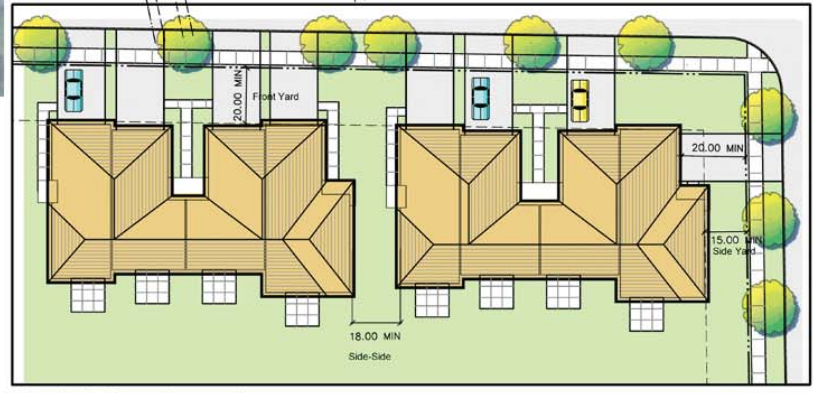
**Total Parking**

260 Off-Street Guest Spaces  
 284 Garage Spaces  
 (2 Garage Spaces per Unit)  
 544 Total Spaces (3.82:1)



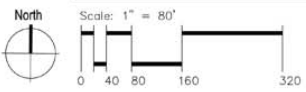
Typical Single Family Lot Layout

Scale: 1"=20'



Typical Townhome Layout

Scale: 1"=20'



**Concept Site Plan**

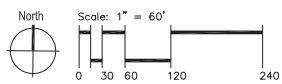
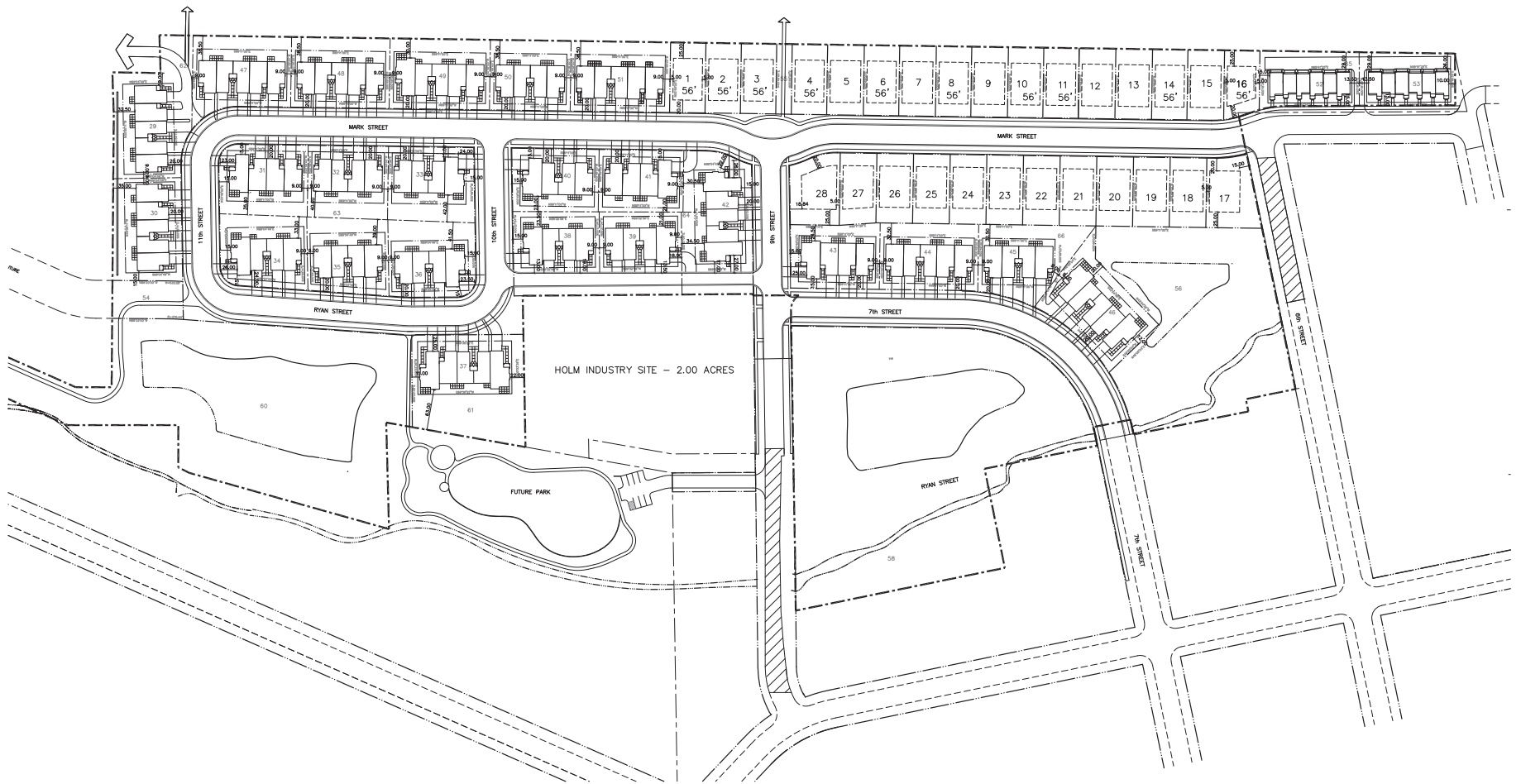
**The Lexington Club**  
 St. Charles, Illinois



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### Building Separation Plan

**The Lexington Club**  
St. Charles, Illinois

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- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim Panels
- Brick Veneer
- Smart Trim
- Designer Series Garage Doors

**Plan 500 & 503: Prairie**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Decorative Brackets
- Vinyl Accent Siding
- Smart Trim
- Aluminum Fascia & Soffit
- Smart Trim Columns
- Stone Veneer
- Designer Series Garage Doors

**Plan 500: Craftsman**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Decorative Louvers
- Vinyl Horizontal Siding
- Smart Trim
- Typical Shutters
- Aluminum Fascia & Soffit
- Smart Trim Columns
- Designer Series Garage Doors

**Plan 501: Farmhouse**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim Panels
- Typical Shutters
- Smart Trim
- Decorative Brackets
- Smart Trim Columns
- Stone Veneer
- Designer Series Garage Doors

**Plan 501: French Country**

scale: 3/16" = 1'-0"

## Character Elevations



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim Panels
- Typical Shutters
- Decorative Brackets
- Smart Trim
- Brick Veneer
- Smart Trim Columns
- Designer Series
- Garage Doors

**Plan 502: Tudor**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Decorative Louver
- Vinyl Accent Siding
- Aluminum Fascia & Soffit
- Typical Shutters
- Vinyl Horizontal Siding
- Smart Trim
- Smart Trim Columns
- Brick Veneer
- Designer Series
- Garage Doors

**Plan 502: Victorian**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Typical Shutters
- Smart Trim
- Vinyl Horizontal Siding
- Aluminum Fascia & Soffit
- Smart Trim Columns
- Brick Veneer
- Designer Series
- Garage Doors

**Plan 503: Four Square**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim Panels
- Typical Shutters
- Brick Veneer
- Smart Trim
- Smart Trim Columns
- Designer Series
- Garage Doors

**Plan 503: Old English**

scale: 3/16" = 1'-0"

## Character Elevations



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Stucco
- Smart Trim
- Vinyl Siding
- Brick Veneer

**Plan 500 & 503: Prairie - Side Elevation**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim
- Vinyl Shake Siding
- Smart Trim
- Stone Veneer

**Plan 500: Craftsman - Side Elevation**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Smart Trim
- Vinyl Siding
- Smart Trim

**Plan 501: Farmhouse - Side Elevation**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Aluminum Fascia & Soffit
- Stucco
- Smart Trim
- Vinyl Siding
- Smart Trim
- Stone Veneer

**Plan 501: French Country - Side Elevation**

scale: 3/16" = 1'-0"

**Character Elevations**





**Typical Streetscapes**

Lexington Homes  
Chicago, IL

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**Lexington Club**  
St. Charles, IL

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- Asphalt Shingles
- Vinyl Horizontal Siding
- Aluminum Fascia & Soffit
- Typical Shutters
- Brick Veneer
- Smart Trim Columns

Designer Series Garage Doors

**Front Elevation - 4 Unit Building**

scale: 3/16" = 1'-0"



- Asphalt Shingles
- Vinyl Vertical Siding
- Aluminum Fascia & Soffit
- Typical Shutters
- Vinyl Horizontal Siding
- Stone Veneer
- Smart Trim Columns

Designer Series Garage Doors

**Front Elevation - 5 Unit Building**

scale: 3/16" = 1'-0"

## Character Elevations



Side Elevation - Unit B

scale: 3/16" = 1'-0"



Side Elevation - Unit C

scale: 3/16" = 1'-0"

Asphalt Shingles

Aluminum Fascia & Soffit  
Typical Shutters

Vinyl Horizontal Siding  
Brick Veneer

Smart Trim Columns

Designer Series Garage Doors



Rear Elevation - 4 Unit Building

scale: 3/16" = 1'-0"

Asphalt Shingles

Aluminum Fascia & Soffit

Vinyl Horizontal Siding  
Brick Veneer

Smart Trim Columns

## Character Elevations



**Rear-Load Row Homes**



- Asphalt Shingles
- Aluminum Soffit & Fascia
- Vinyl Horizontal Siding
- Smart Trim
- Brick Veneer

Unit B  
**Right Side Elevation**  
SCALE: 3/8"=1'-0"



- Asphalt Shingles
- Aluminum Soffit & Fascia
- Typical Shutters
- Accent Vinyl Horizontal Siding
- Smart Trim

Unit B      Unit A      Unit A      Unit B      Unit A      Unit B  
**Rear Elevation**  
SCALE: 3/8"=1'-0"

**Rear-Load Row Homes**

Lexington Homes  
 Chicago, Illinois

**Lexington Club**  
 St. Charles, Illinois

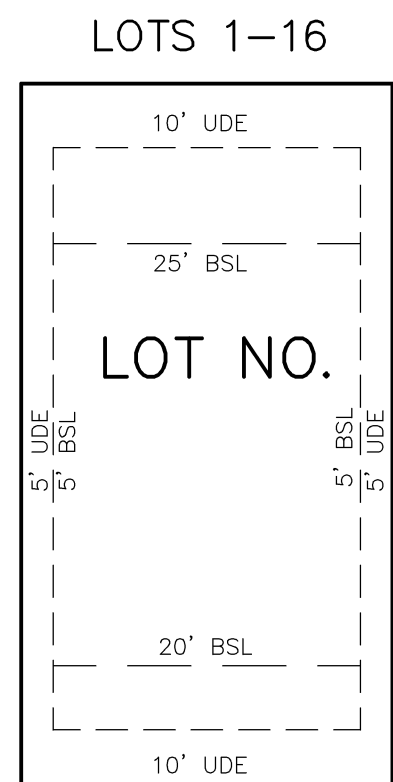


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ARC	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	27.95'	28.00'	26.81'	S27°40'25"W
C2	47.95'	23.00'	39.73'	S60°38'44"E
C3	70.36'	215.00'	70.05'	S69°04'20"W
C4	85.02'	214.00'	84.46'	N47°55'54"E
C5	50.97'	152.00'	50.73'	N68°50'25"E

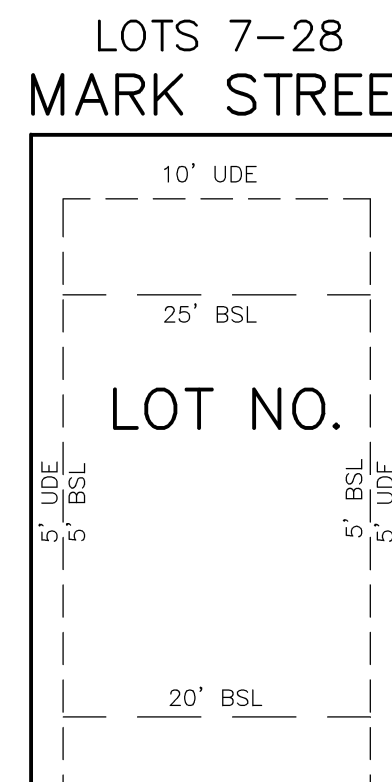
TYPICAL SINGLE FAMILY SETBACK



MARK STREET

BSL = BUILDING SETBACK LINE

TYPICAL SINGLE FAMILY SETBACK



MARK STREET

BSL = BUILDING SETBACK LINE

PROPOSED SETBACK TABLE  
 SINGLE FAMILY ATTACHED  
 MINIMUM LOT AREA  
 MINIMUM LOT WIDTH  
 MAXIMUM BUILDING COVERAGE  
 MAXIMUM BUILDING HEIGHT  
 MINIMUM FRONT YARD  
 3600 SF/DU  
 20'  
 35'  
 20'  
 15' ROWNHOMES  
 20' TOWNHOMES  
 15' TOWNHOME UNIT B  
 18' TOWNHOME TO TOWNHOME  
 20' / 5' TO ALLEY  
 20'  
 20%  
 6'

INTERIOR SIDE YARD  
 EXTERIOR SIDE YARD  
 MINIMUM REAR YARD  
 OVERALL LANDSCAPE AREA  
 LANDSCAPE BUFFER YARDS  
 SINGLE FAMILY  
 MINIMUM LOT AREA  
 MINIMUM LOT WIDTH  
 MAXIMUM BUILDING COVERAGE  
 MAXIMUM BUILDING HEIGHT  
 MINIMUM FRONT YARD  
 5884 SF  
 58'  
 35%  
 20'  
 20' (12' WITH PORCH ENCROACHMENT)  
 5'  
 20' TYPICAL  
 15' FOR LOT 17  
 25'  
 20%  
 6'

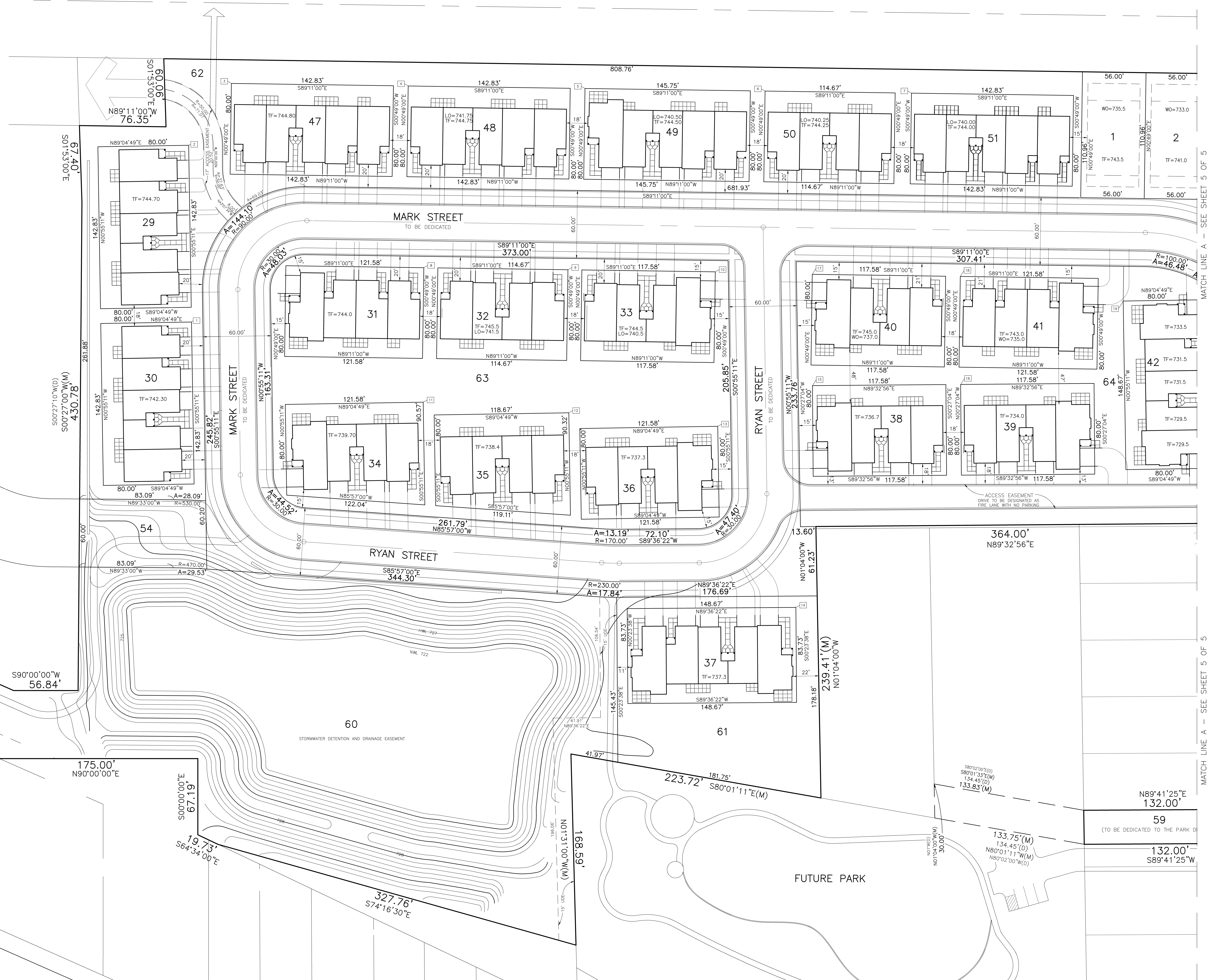
UNDERGROUND STORMWATER DETENTION EASEMENT PROVISIONS  
 A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "UNDERGROUND STORMWATER DETENTION EASEMENT" ON THE PRELIMINARY PLAN OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, MAINTAINING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATIONS, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION, THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES") IS ALSO GRANTED. NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BRUNG ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

ACCESS EASEMENT PROVISIONS  
 A NON-EXCLUSIVE EASEMENT FOR ACCESS AND EGRESS IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OVER THE AREAS DESIGNATED AS ACCESS EASEMENTS. PARKING IN THE ACCESS EASEMENT IS PROHIBITED.

LOT TIE TABLE			
TIE NUMBER	DISTANCE ALONG NORTH LINE FROM NW CORNER OF LOT 62	DISTANCE TO LOT CORNER AT RIGHT ANGLES	
1	23.79'	23.79'	
2	23.00'	76.03'	
3	59.87'	20.96'	
4	215.71'	20.96'	
5	371.54'	20.96'	
6	530.29'	20.96'	
7	659.31'	20.96'	
TIE NUMBER	DISTANCE ALONG NORTH LINE FROM NE CORNER OF LOT 63	DISTANCE TO LOT CORNER AT RIGHT ANGLES	
8	268.06'	10.00'	
9	141.03'	10.00'	
10	11.16'	10.00'	
11	266.92'	128.60'	
12	138.48'	136.11'	
13	7.06'	146.13'	
TIE NUMBER	DISTANCE ALONG NORTH LINE FROM NE CORNER OF LOT 61	DISTANCE TO LOT CORNER AT RIGHT ANGLES	
14	10.00'		
TIE NUMBER	DISTANCE ALONG NORTH LINE FROM NW CORNER OF LOT 64	DISTANCE TO LOT CORNER AT RIGHT ANGLES	
15	15.90'	109.08'	
16	146.53'	106.19'	
17	14.31'	10.99'	
18	144.29'	103.99'	
19	288.66'	30.64'	
TIE NUMBER	DISTANCE ALONG WEST LINE FROM SW CORNER OF LOT 66	DISTANCE TO LOT CORNER AT RIGHT ANGLES	
20	82.74'	14.74'	
21	78.68'	149.26'	
22	73.94'	305.02'	
23	40.04'	462.98'	
TIE NUMBER	DISTANCE ALONG NORTH LINE FROM NE CORNER OF LOT 65	DISTANCE TO LOT CORNER AT RIGHT ANGLES	
24	162.80'	22.71'	
25	6.57'	19.64'	

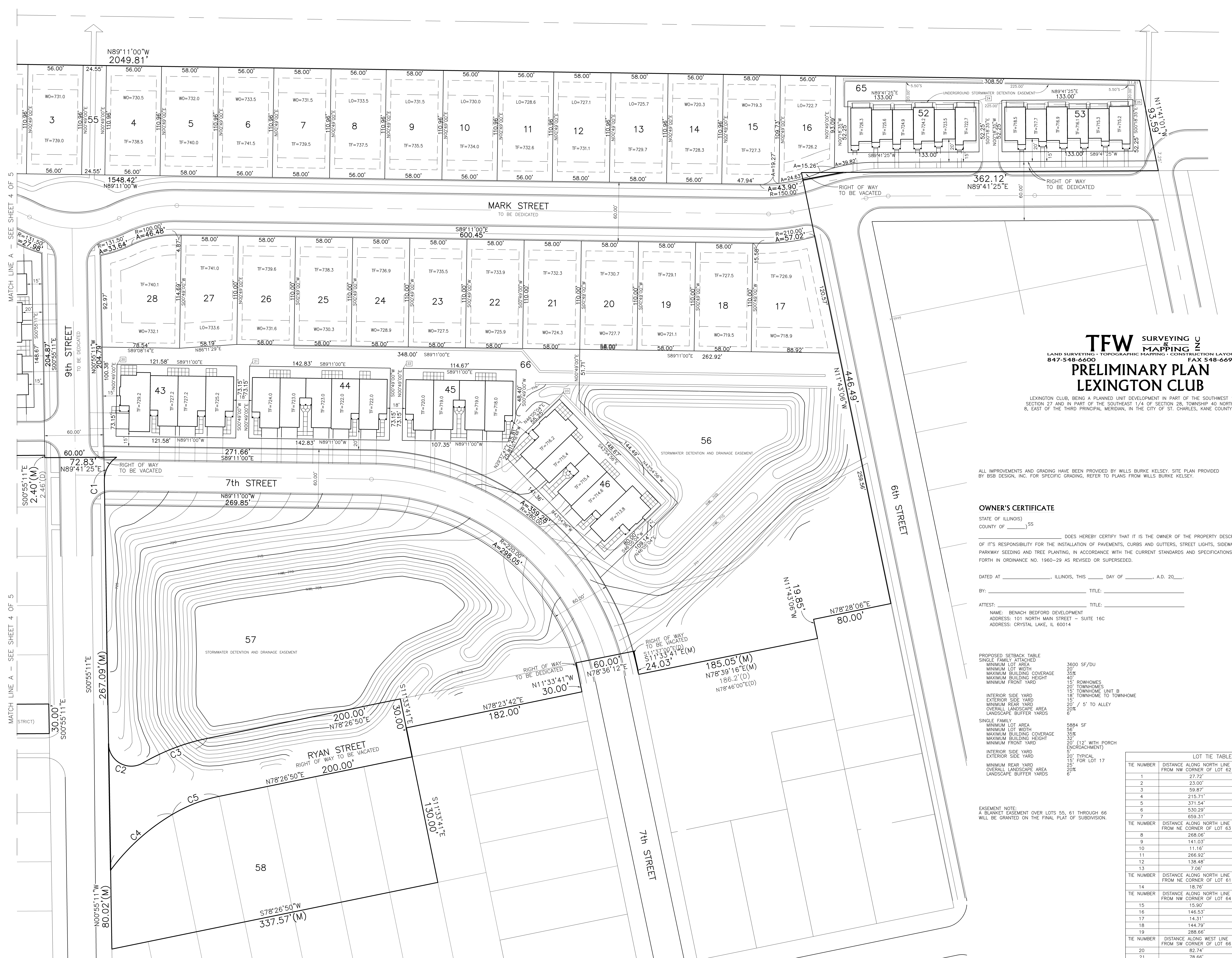
STORMWATER MANAGEMENT EASEMENT PROVISIONS  
 A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER DETENTION AND DRAINAGE EASEMENT" ON THE PRELIMINARY PLAN OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, MAINTAINING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATIONS, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION, THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES") IS ALSO GRANTED. NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BRUNG ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS. NO PERSON SHALL DESTROY OR MODIFY SLOPES OR OTHERWISE AFFECT THE DETENTION VOLUME WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS  
 A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM THE CITY OF ST. CHARLES, ILLINOIS, INCLUDING BUT NOT LIMITED TO SBC, COMCAST AND NUCOR GAS AND TO THEIR SUCCESSORS AND ASSIGNS IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "UTILITY AND DRAINAGE EASEMENT" ON THE PRELIMINARY PLAN OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, MAINTAINING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING AND MAINTAINING ELECTRICAL, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OF APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORMWATER DETENTION AND RETENTION, WATERMANS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES, AND WITHOUT LIMITATION SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS, AND SUCH APPURTENANCES AND ADDITIONS THEREAS AS SAID CITY AND UTILITIES MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREON FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES") IS ALSO GRANTED TO SAID CITY AND UTILITIES TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID SEWERS OR, WITHOUT LIMITATION, UTILITY INSTALLATIONS IN, ON, UPON, OR ACROSS, UNDER OR THROUGH SAID EASEMENTS, NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT, NOW OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHEN AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES, SO AS NOT TO INTERFERE WITH THE FLOW IN SAID SEWER OR SEWERS. FENCES SHALL NOT BE ERRECTED UPON SAID EASEMENT EXCEPT WHERE SPECIFICALLY PERMITTED BY WRITTEN AUTHORITY OF THE CITY OF ST. CHARLES.





1" = 30'



**TFW SURVEYING & MAPPING**  
 LAND SURVEYING • TOPOGRAPHIC MAPPING • CONSTRUCTION LAYOUT  
 847-548-6600 FAX 548-6699

## PRELIMINARY PLAN LEXINGTON CLUB

LEXINGTON CLUB, BEING A PLANNED UNIT DEVELOPMENT IN PART OF THE SOUTHWEST 1/4 OF SECTION 27 AND IN PART OF THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

ALL IMPROVEMENTS AND GRADING HAVE BEEN PROVIDED BY WILLS BURKE KELSEY. SITE PLAN PROVIDED BY BSB DESIGN, INC. FOR SPECIFIC GRADING, REFER TO PLANS FROM WILLS BURKE KELSEY.

**OWNER'S CERTIFICATE**

STATE OF ILLINOIS  
 COUNTY OF \_\_\_\_\_ SS

\_\_\_\_\_ DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED AND THAT IS AWARE OF ITS RESPONSIBILITY FOR THE INSTALLATION OF PAVEMENTS, CURBS AND GUTTERS, STREET LIGHTS, SIDEWALKS, STREET SIGNS, PARKWAY SEEDING AND TREE PLANTING, IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY AS SET FORTH IN ORDINANCE NO. 1960-29 AS REVISED OR SUPERSEDED.

DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

ATTEST: \_\_\_\_\_ TITLE: \_\_\_\_\_

NAME: BENACH BEDFORD DEVELOPMENT  
 ADDRESS: 101 NORTH MAIN STREET - SUITE 16C  
 ADDRESS: CRYSTAL LAKE, IL 60014

PROPOSED SETBACK TABLE

SINGLE FAMILY ATTACHED	3600 SF/DU
MINIMUM LOT AREA	29
MINIMUM LOT WIDTH	29
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM BUILDING HEIGHT	40'
MINIMUM FRONT YARD	15'
MINIMUM REAR YARD	20'
MINIMUM SIDE YARD	15'
OVERALL LANDSCAPE AREA	20' / 5' TO ALLEY
LANDSCAPE BUFFER YARDS	20%
MINIMUM FRONT YARD	6'
MINIMUM REAR YARD	6'
MINIMUM SIDE YARD	6'
OVERALL LANDSCAPE AREA	20%
LANDSCAPE BUFFER YARDS	6'

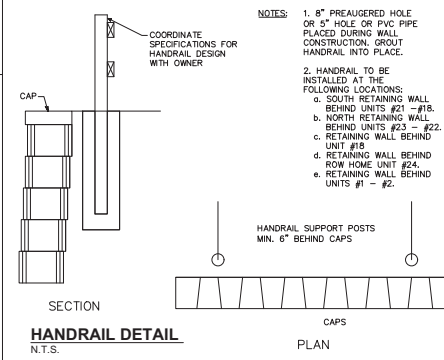
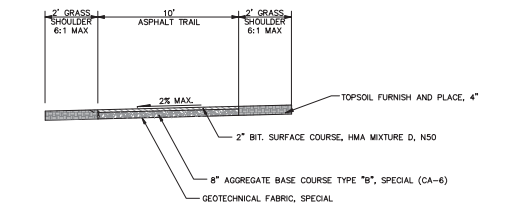
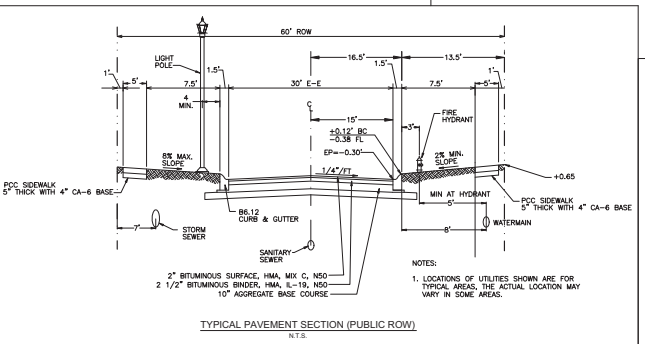
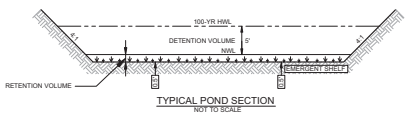
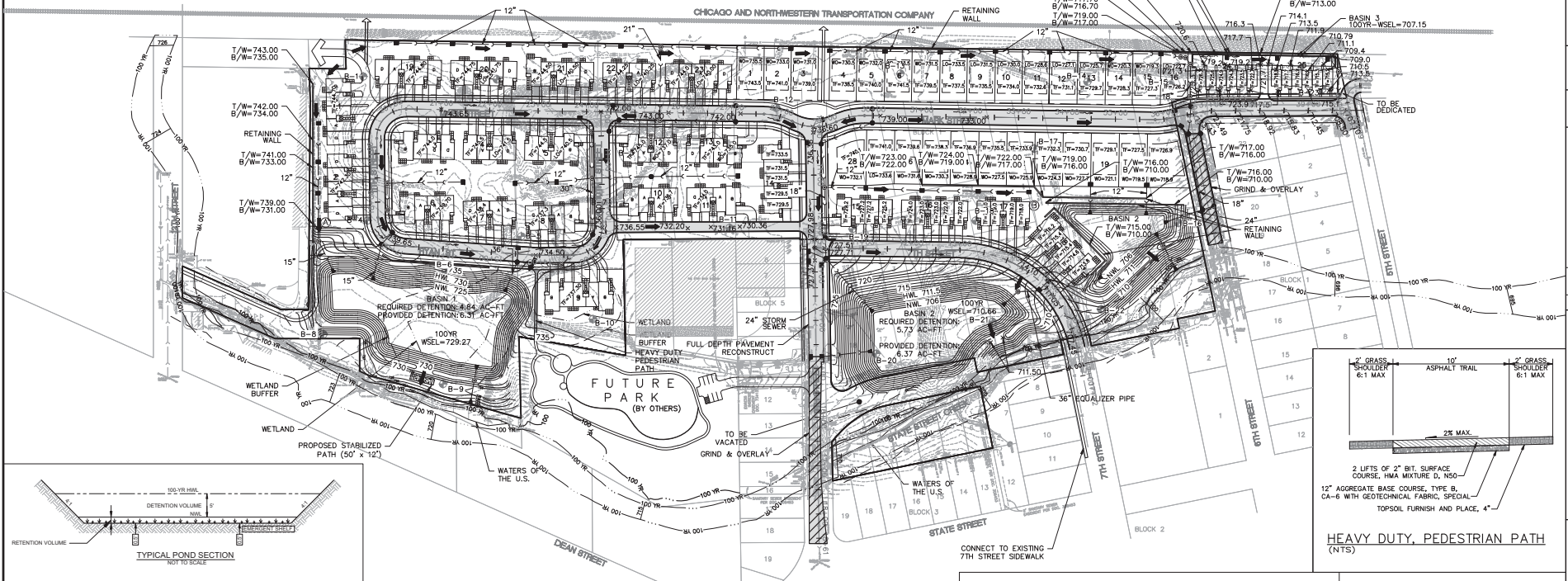
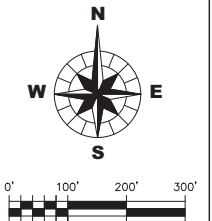
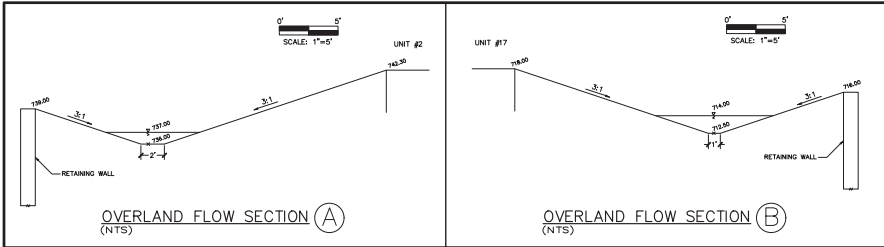
  

SINGLE FAMILY	5884 SF
MINIMUM LOT AREA	56
MINIMUM LOT WIDTH	29
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM BUILDING HEIGHT	32'
MINIMUM FRONT YARD	15'
MINIMUM REAR YARD	20' (12' WITH PORCH ENCROACHMENT)
MINIMUM SIDE YARD	15'
OVERALL LANDSCAPE AREA	20' TYPICAL FOR LOT 17
LANDSCAPE BUFFER YARDS	20%
MINIMUM FRONT YARD	6'
MINIMUM REAR YARD	6'
MINIMUM SIDE YARD	6'
OVERALL LANDSCAPE AREA	20%
LANDSCAPE BUFFER YARDS	6'

EASEMENT NOTE:  
 A BLANKET EASEMENT OVER LOTS 55, 61 THROUGH 66 WILL BE GRANTED ON THE FINAL PLAN OF SUBDIVISION.

LOT TIE TABLE

TIE NUMBER	DISTANCE ALONG NORTH LINE FROM NW CORNER OF LOT 62	DISTANCE TO LOT CORNER AT RIGHT ANGLES
1	27.72'	231.79'
2	23.00'	76.03'
3	59.87'	20.96'
4	215.71'	20.96'
5	371.54'	20.96'
6	530.29'	20.96'
7	659.31'	20.96'
8	268.06'	10.00'
9	141.03'	10.00'
10	11.16'	10.00'
11	266.92'	128.60'
12	138.48'	136.11'
13	7.06'	146.13'
14	18.76'	10.00'
15	15.90'	109.08'
16	146.53'	106.19'
17	14.31'	10.99'
18	144.79'	10.99'
19	288.66'	30.64'
20	82.74'	14.74'
21	78.66'	149.26'
22	73.94'	305.02'
23	40.04'	462.98'
24	162.80'	22.71'
25	6.57'	19.64'



**NOTES:**

1. 8" PREAUGERED HOLE OR 5" HOLE OR PVC PIPE PLACED DURING WALL CONSTRUCTION GROUT HANDRAIL INTO PLACE.
2. HANDRAIL TO BE INSTALLED AT THE FOLLOWING LOCATIONS:
  - a. SOUTH RETAINING WALL BEHIND UNITS #21 - #18.
  - b. NORTH RETAINING WALL BEHIND UNITS #23 - #22.
  - c. RETAINING WALL BEHIND UNIT #18.
  - d. RETAINING WALL BEHIND ROW HOME UNIT #24.
  - e. RETAINING WALL BEHIND UNITS #1 - #2.
3. THE UNDERGROUND DETENTION CHAMBER AND THE EMERGENCY OVERLAND FLOOD ROUTES WILL BE PRIVATELY OWNED AND MAINTAINED. ALL STORM UTILITIES IN AND AROUND THE BASINS SUCH AS UNDERGROUND DETENTION CHAMBER, CONTROL STRUCTURES, EQUALIZER PIPES, AND FLARED-END SECTIONS WILL ALSO BE PRIVATELY OWNED AND MAINTAINED.

**LEGEND**

- 100 YR FIS FLOODPLAIN
- - - 100 YR FLOODPLAIN BY ELEVATION
- OVERLAND FLOW ROUTE
- ROADWAY DRAINAGE ARROWS
- SOIL BORINGS
- ▨ GRIND AND OVERLAY

**NOTES:**

1. OWNER IS AWARE THAT STREET SIGNS SHALL BE REQUIRED PER THE CITY OF ST. CHARLES CODE.
2. ALL PARKWAYS SHALL BE SEEDED AND PARKWAY TREES PLANTED PER CITY OF ST. CHARLES SPECIFICATIONS.
3. THE UNDERGROUND DETENTION CHAMBER AND THE EMERGENCY OVERLAND FLOOD ROUTES WILL BE PRIVATELY OWNED AND MAINTAINED. ALL STORM UTILITIES IN AND AROUND THE BASINS SUCH AS UNDERGROUND DETENTION CHAMBER, CONTROL STRUCTURES, EQUALIZER PIPES, AND FLARED-END SECTIONS WILL ALSO BE PRIVATELY OWNED AND MAINTAINED.

**CLIENT :** WILLS BURKE KELSEY ASSOCIATES LTD.

**PROJECT NO:** 06841D

**DATE:** 12/17/2010

**SHEET** 3 OF 10

**DRAWING NO:** GR1

REVISION	DATE	BY	DESCRIPTION
1	12/20/11	WILLIAM BURKE	PER CITY COMMENTS
2	12/20/11	WILLIAM BURKE	PER CITY COMMENTS

**TITLE:** LEXINGTON CLUB  
 GRADING PLAN

**SCALE:** 1" = 100'

**DATE:** 06-941D-CR-DWG

**CLIENT :** LEXINGTON HOMES  
 1731 N. MARCEY ST., SUITE 200  
 CHICAGO, IL 60614  
 (773) 360-0300

**DATE:** 06/20/11

**DRAWING NO:** GR1



DESIGN	VRD	EAM	ACL
DRAWN	CL	CL	CL
CHECKED	CL	CL	CL
DATE	12/17/2011	SCALE	1" = 80'
PROJECT COMMENTS	PER CITY ORDINANCES		
DATE	12/17/2011	BY	ST. CHARLES ELECTRIC UTILITY
SCALE	1" = 80'	DATE	12/17/2011

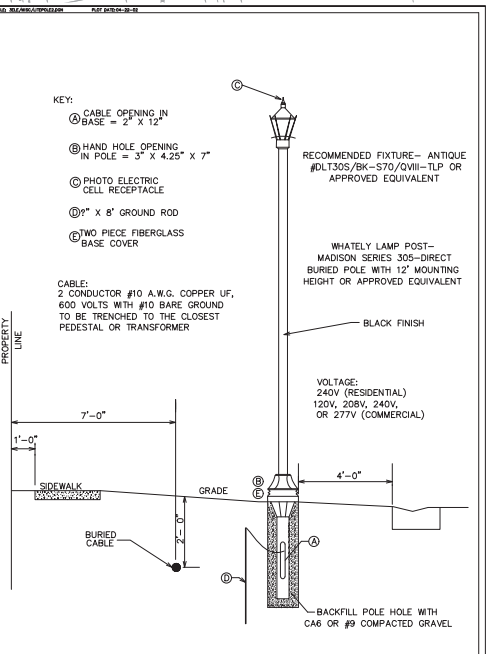
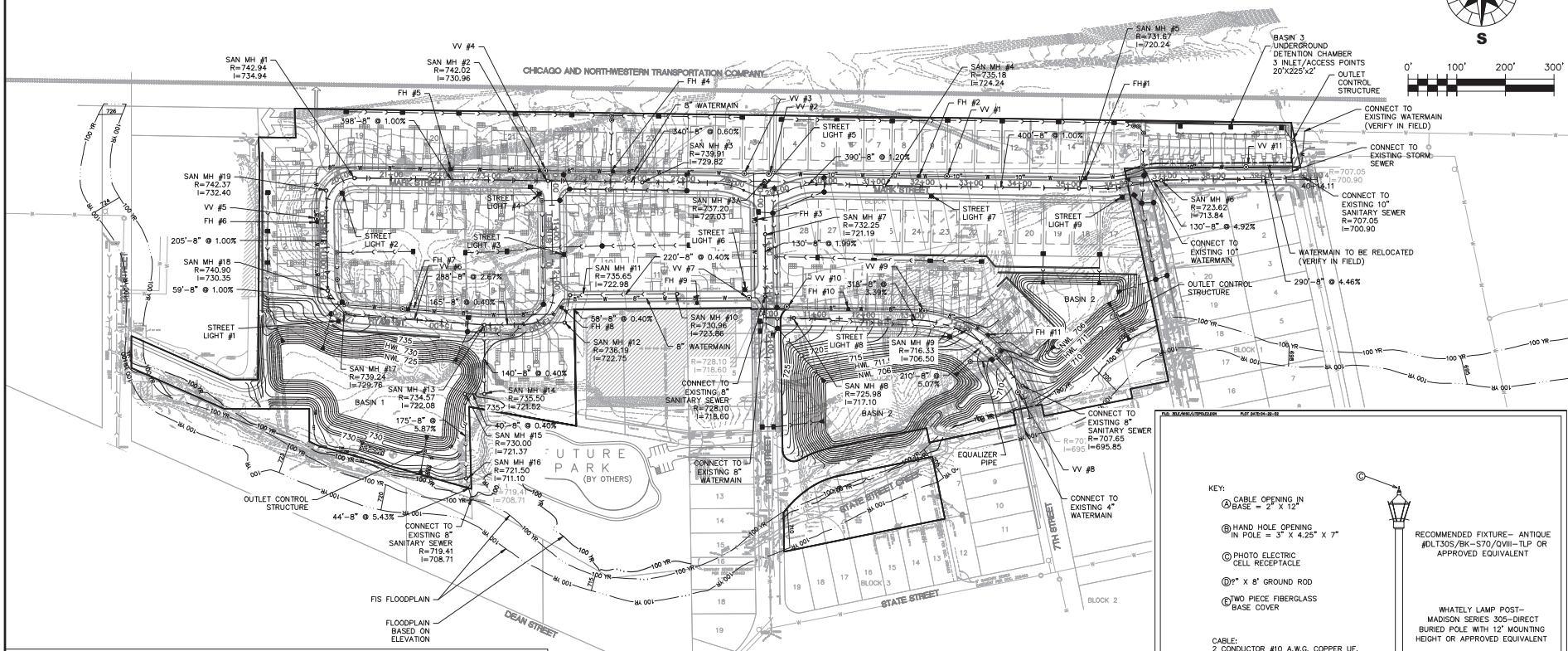
CLIENT :  
**LEXINGTON HOMES**  
1731 N. MARCEY ST., SUITE 200  
CHICAGO, IL 60614  
(773) 360-0300

**WILLS BURKE KELSEY ASSOCIATES LTD.**  
1731 N. MARCEY ST., SUITE 200  
CHICAGO, IL 60614  
(630) 442-7755

PROJECT NO. 064410  
DATE: 12/17/2011  
SHEET 4 OF 10  
DRAWING NO.

UT1

NOTE:  
\* ALL SANITARY SEWER TO BE 8" PVC SDR26.



KEY:  
 (A) CABLE OPENING IN BASE = 2" X 12"  
 (B) HAND HOLE OPENING IN POLE = 3" X 4.25" X 7"  
 (C) PHOTO ELECTRIC CELL RECEPTACLE  
 (D) 4" X 8" GROUND ROD  
 (E) W/ PIECE FIBERGLASS BASE COVER

RECOMMENDED FIXTURE - ANTIQUE #DLT30S/BK-S70/OV/IL-TLP OR APPROVED EQUIVALENT

WHATELY LAMP POST - MADISON SERIES 305-DIRECT BURIED POLE WITH 12" MOUNTING HEIGHT OR APPROVED EQUIVALENT

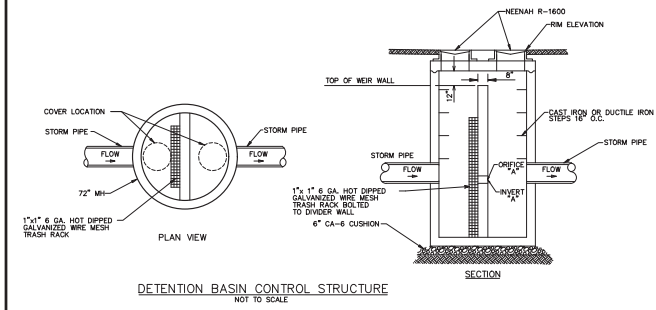
CABLE:  
2 CONDUCTOR #10 A.W.G. COPPER UF, 600 VOLTS WITH #10 BARE GROUND TO BE TRENCHED TO THE CLOSEST PEDESTAL OR TRANSFORMER

VOLTAGE:  
240V (RESIDENTIAL)  
120V, 208V, 240V, OR 277V (COMMERCIAL)

BLACK FINISH

BURIED CABLE

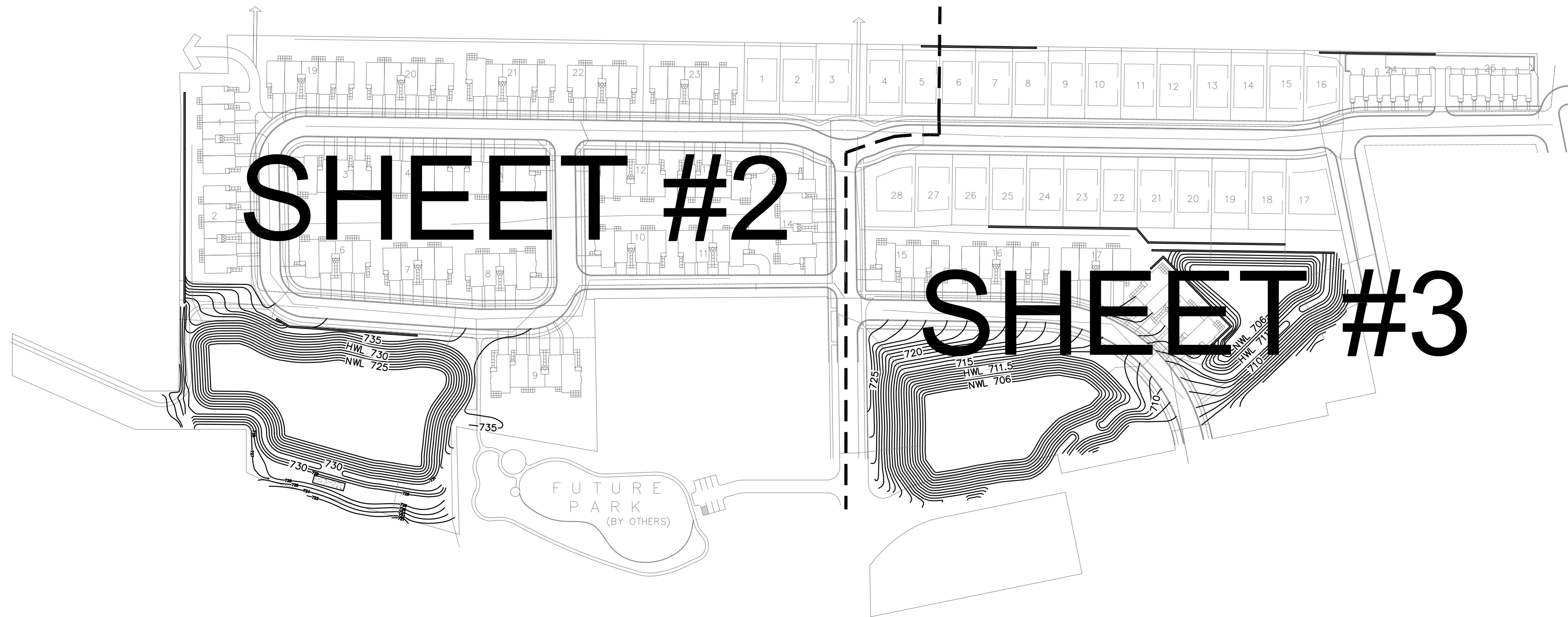
BACKFILL POLE HOLE WITH C6 OR #9 COMPACTED GRAVEL



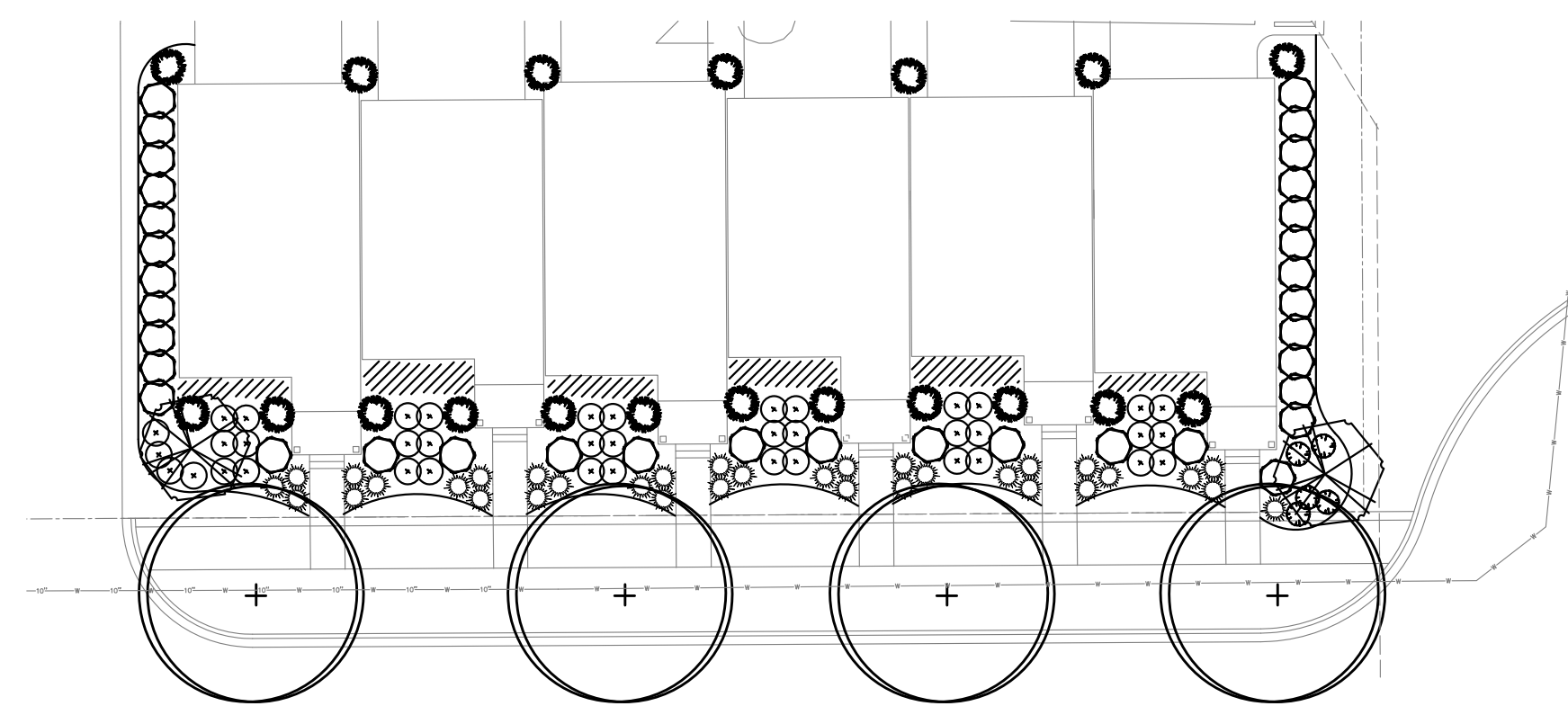
DETENTION BASIN CONTROL STRUCTURE  
NOT TO SCALE

SUMMARY TABLE			
BASIN NUMBER	TOP OF WEIR WALL	INVERT "A"	ORIFICE "A"
#1	730.00	729.90	4.44"
#2	711.00	710.90	4.56"
#3	708.00	705.30	1.2"

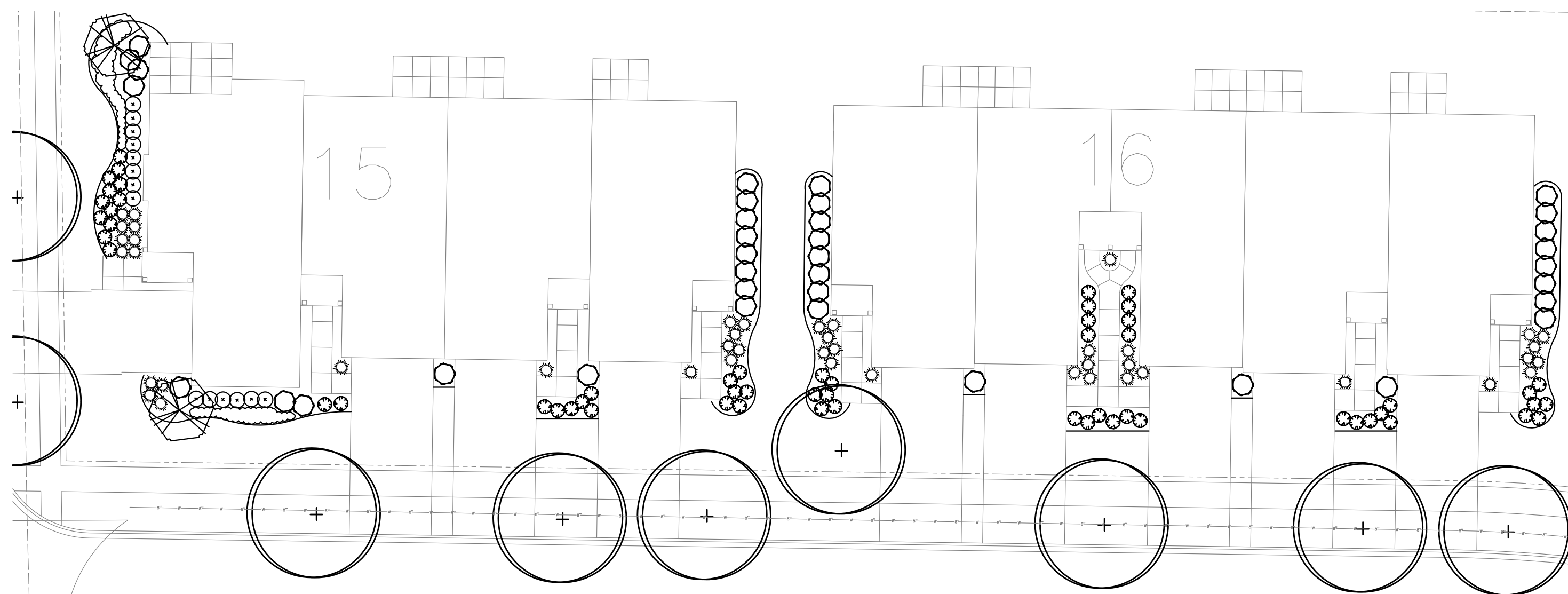
NOTES:  
1. ALL SANITARY SEWER MANHOLES AS POINTS OF CONNECTION SHALL BE REPLACED



OVERALL SHEET KEY  
NOT TO SCALE



TYPICAL FOUNDATION LANDSCAPE PLAN - ROW HOUSES  
SCALE: 1" = 20'-0"



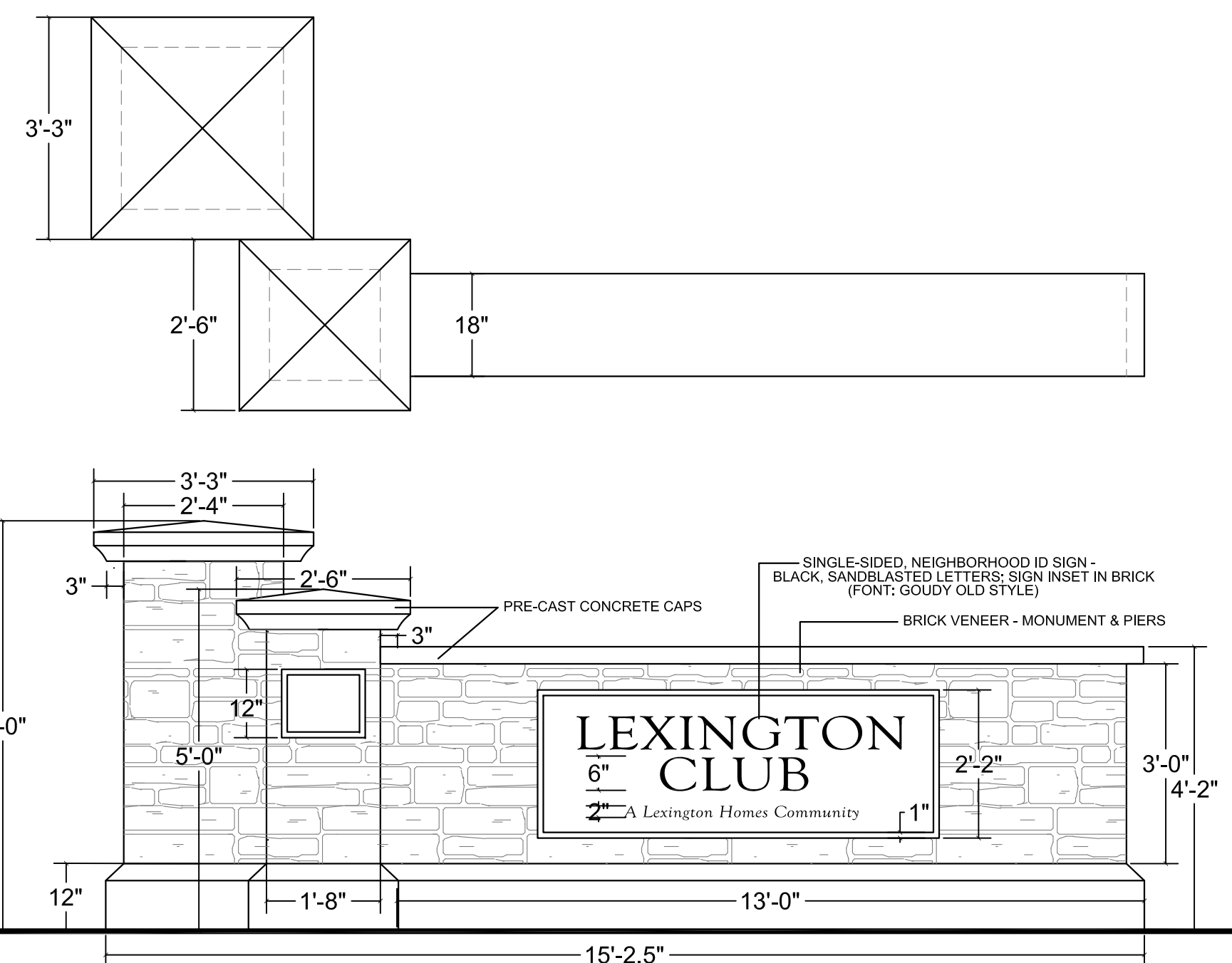
TYPICAL FOUNDATION LANDSCAPE PLAN - TOWN HOUSES  
SCALE: 1" = 20'-0"

NOTES

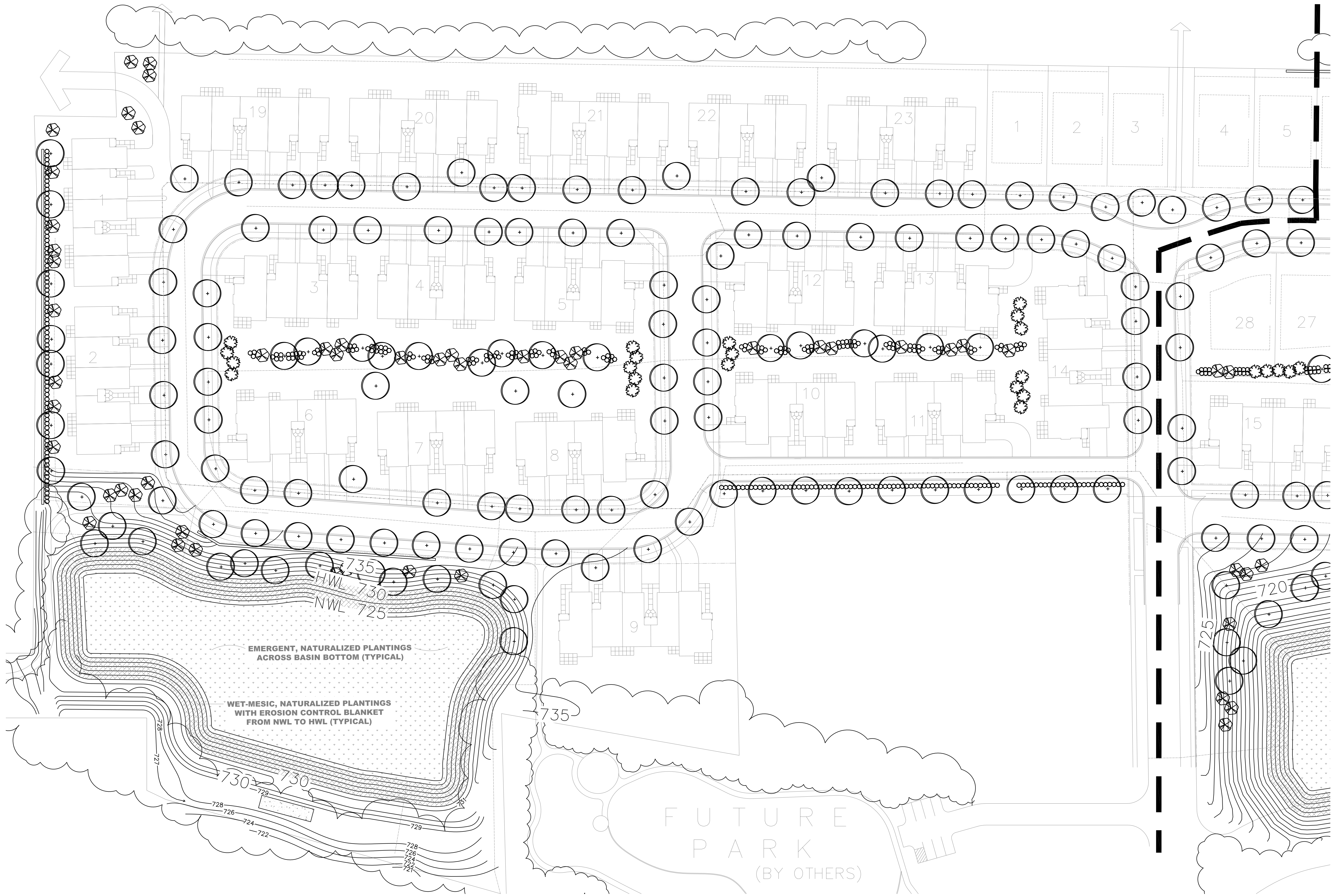
- ALL PLANTING BEDS AND TREE RINGS SHALL:
  - RECEIVE SHREDDED HARDWOOD MULCH AT A DEPTH OF 3"
  - HAVE A SPADED EDGE.
- PLANTS SHALL:
  - BE ALLOWED TO GROW AND BE MAINTAINED IN THEIR NATURAL FORM
  - SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES. ALL DEAD, DISEASED, OR DAMAGED PLANT MATERIAL SHALL BE REPLACED PROMPTLY WITH LIVE MATERIAL IN GOOD CONDITION AND IN QUANTITIES AND SIZES THAT MEET THE REQUIREMENTS OF THE CITY.
  - BE INSTALLED IN ACCORDANCE WITH THE PLANTING PROCEDURES ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL TURF TREATMENT SHALL BE KENTUCKY BLUEGRASS BLEND SOD, UNLESS OTHERWISE NOTED ON PLAN.
  - DETENTION AREA SLOPES SHALL BE TREATED WITH A NATURALIZED SEED MIX AND EROSION CONTROL BLANKET FROM NORMAL WATER LINE (NWL) TO HIGH WATER LINE (HWL); AREAS ABOVE THE HWL SHALL BE SEEDED WITH KENTUCKY BLUEGRASS BLEND SEED AND BLANKET.
  - A THREE-YEAR, MONITORING AND MAINTENANCE PLAN, BY A QUALIFIED PROFESSIONAL, SHALL BE INCORPORATED INTO THE INITIAL CARE OF THE NATURALIZED PLANTING AREAS AROUND ALL DETENTIONS.
  - FRONT YARDS & SIDE YARDS OF SINGLE-FAMILY LOTS SHALL BE KENTUCKY BLUEGRASS BLEND SOD (MINERAL SOD ONLY, NO PEAT); REAR YARDS SHALL BE SEEDED WITH KENTUCKY BLUEGRASS BLEND SEED AND BLANKET.
  - FRONT & SIDE YARDS OF ROW HOUSES SHALL BE KENTUCKY BLUEGRASS BLEND SOD (MINERAL SOD ONLY, NO PEAT.)
- LOCATIONS OF PLANT MATERIAL ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING AND LOCATION OF SITE UTILITIES.
- FOR SYMBOL/PLANT KEY, SEE THIS SHEET.
- FOR TYPICAL FOUNDATION LANDSCAPE PLANS FOR ROW HOUSES AND TOWN HOUSES, SEE THIS SHEET.
  - TYPICAL FOUNDATION LANDSCAPES MAY VARY DUE TO NUMBER OF UNITS PER BUILDING AND/OR ORIENTATION, BUT SHALL REMAIN CONSISTENT IN PLANT MATERIAL TYPES, DESIGN INTENT, & PLANT INTENSITY.
  - TYPICAL FOUNDATIONS FOR SINGLE-FAMILY HOUSES SHALL BE DETERMINED AT TIME OF FINAL LANDSCAPE PLANS.
- FOR ENTRANCE MONUMENT ELEVATION & PLAN VIEW, SEE THIS SHEET. FOR LOCATION, SEE SHEET #3.
- FOR TREE PRESERVATION FENCE DETAIL, SEE SHEET #3.
- FOR TREE PRESERVATION & REMOVAL PLAN, SEE ENGINEERING PLANS.

PLANT KEY

- SHADE TREES, 2.5'-4": AUTUMN BLAZE MAPLE, SUGAR MAPLE, CRIMSON KING NORWAY MAPLE, GINKGO, KENTUCKY COFFEETREE, SWAMP WHITE OAK, ACCOLADE ELM, THORNLESS HONEYLOCUST, LINDEN, & COMMON HACKBERRY  
NOTE! ALL PARKWAY SHADE TREES WILL BE INSTALLED AT 2.5" CALIPER, WHILE COMMON AREA SHADE TREES WILL BE INSTALLED IN A RANGE OF SIZES, VARYING FROM 2.5" CALIPER TO 4" CALIPER.
- EVERGREEN TREE, 6'-10": COLORADO SPRUCE, NORWAY SPRUCE, AUSTRIAN PINE, DOUGLAS FIR, & ARBORVITAE
- ORNAMENTAL TREES, 6'-8": SERVICEBERRY, CORNELIANCHERRY DOGWOOD, FLOWERING CRABAPPLE, RIVER BIRCH, EUROPEAN BLACK ALDER, JAPANESE TREE LILAC, & BLACKHAW VIBURNUM
- EVERGREEN SHRUBS, 24": KALLAY COMPACT JUNIPER, DENSE YEW, EMERALD & GOLD EUONYMUS, & EMERALD ARBORVITAE
- LARGE, DECIDUOUS SHRUBS, 36": VIBURNUM, REDTWIG DOGWOOD, PEKING COTONEASTER, RED CHOKEBERRY, MEADOWLARK FORSYTHIA, LILAC, BURNING BUSH, HYDRANGEA, & WEIGELA
- SMALL, DECIDUOUS SHRUBS, 24": SPIREA, ALPINE CURRANT, CRANBERRY COTONEASTER, CUTLEAF STEPHANANDRA, DIERVILLA, & GRO-LOW SUMAC
- ORNAMENTAL GRASSES, 1 GAL.-3 GAL.: MAIDEN GRASS, KARL FOERSTER FEATHER REED GRASS, SWITCH GRASS, DWARF FOUNTAIN GRASS, & PRAIRIE DROPSEED
- PERENNIALS & GROUNDCOVER, 3" POT-1 GAL.: DAYLILY, ASTER, COREOPSIS, BLACK EYED SUSAN, PURPLE CONEFLOWER, CRANESBILL, HOSTA, SEDUM, BLAZING STAR, & PURPLELEAF WINTERCREEPER
- WET-MESIC NATIVE SEED MIX & EROSION CONTROL BLANKET (DETENTION AREA SLOPES); ACTUAL SPECIES & SIZES TO BE DETERMINED AT TIME OF FINAL PLANS
- EMERGENT PLANTINGS (DETENTION AREA BASIN BOTTOMS); ACTUAL SPECIES & SIZES TO BE DETERMINED AT TIME OF FINAL PLANS
- EXISTING TREES, WITH THE POTENTIAL TO BE PRESERVED  
NOTE! REFER TO CIVIL ENGINEERING PLANS FOR ACTUAL TREE PRESERVATION & REMOVAL PLAN.



ENTRANCE MONUMENT - PLAN & ELEVATION VIEWS (7TH STREET)  
SCALE: 1/2" = 1'-0"



LANDSCAPE PLAN - SHEET #2  
SCALE: 1" = 40'-0"

NOTE! LOCATIONS OF PLANT MATERIAL ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING AND LOCATION OF SITE UTILITIES.

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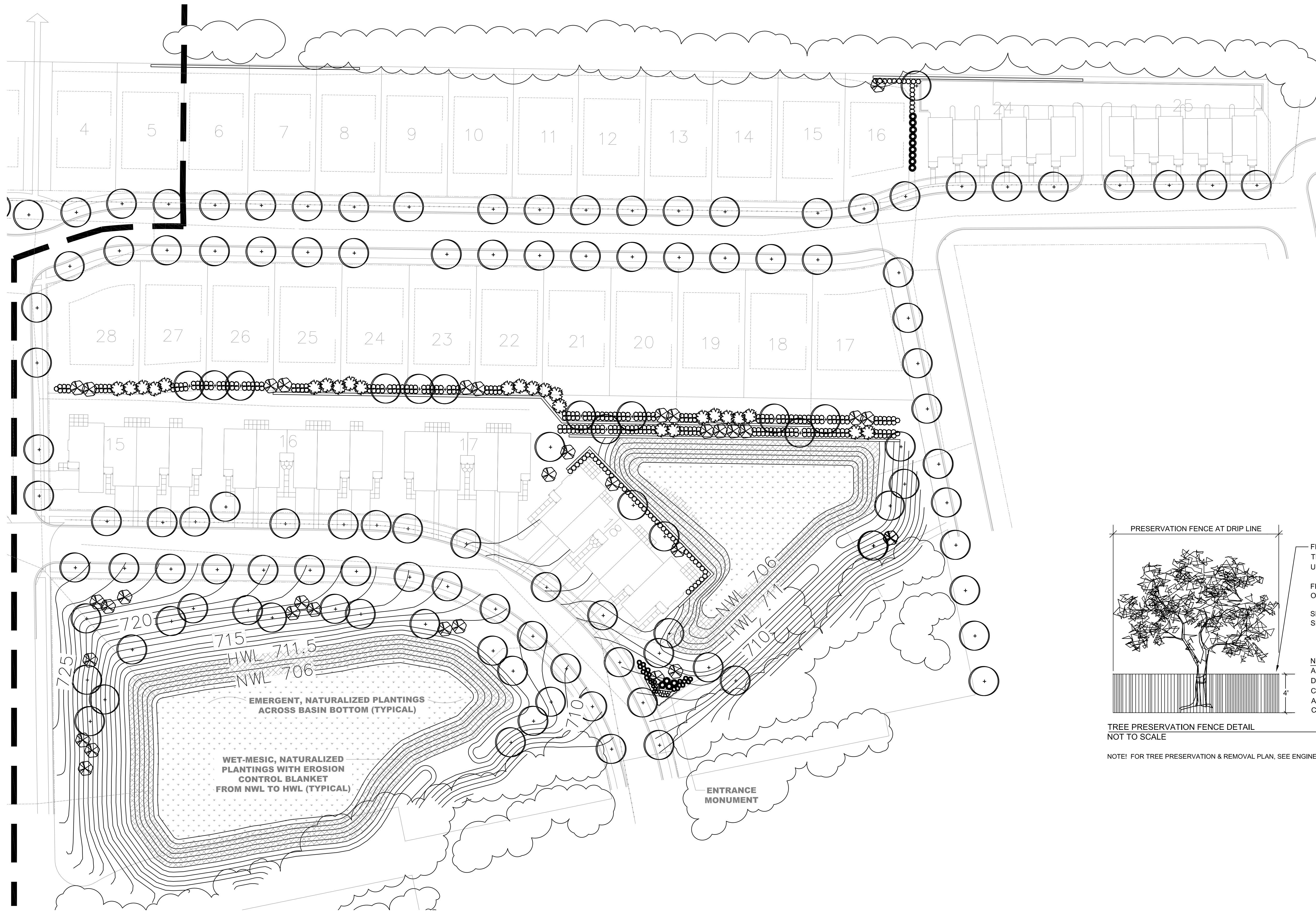
**PUGSLEY & LAHAIE LTD.**  
 LANDSCAPE ARCHITECTS AND CONTRACTORS  
 24414 N. Old McHenry Rd. Lake Zurich, Illinois 60047-8904  
 Ph: 847.438.0013 fax: 847.438.0084 e-mail: general@pugsley.com

11/25/09  
 sheet 2 of 3  
 job no. 093703

1. Per City comments 12/17/10  
 2. Per City comments 05/09/11  
 3. Per City comments 07/22/11

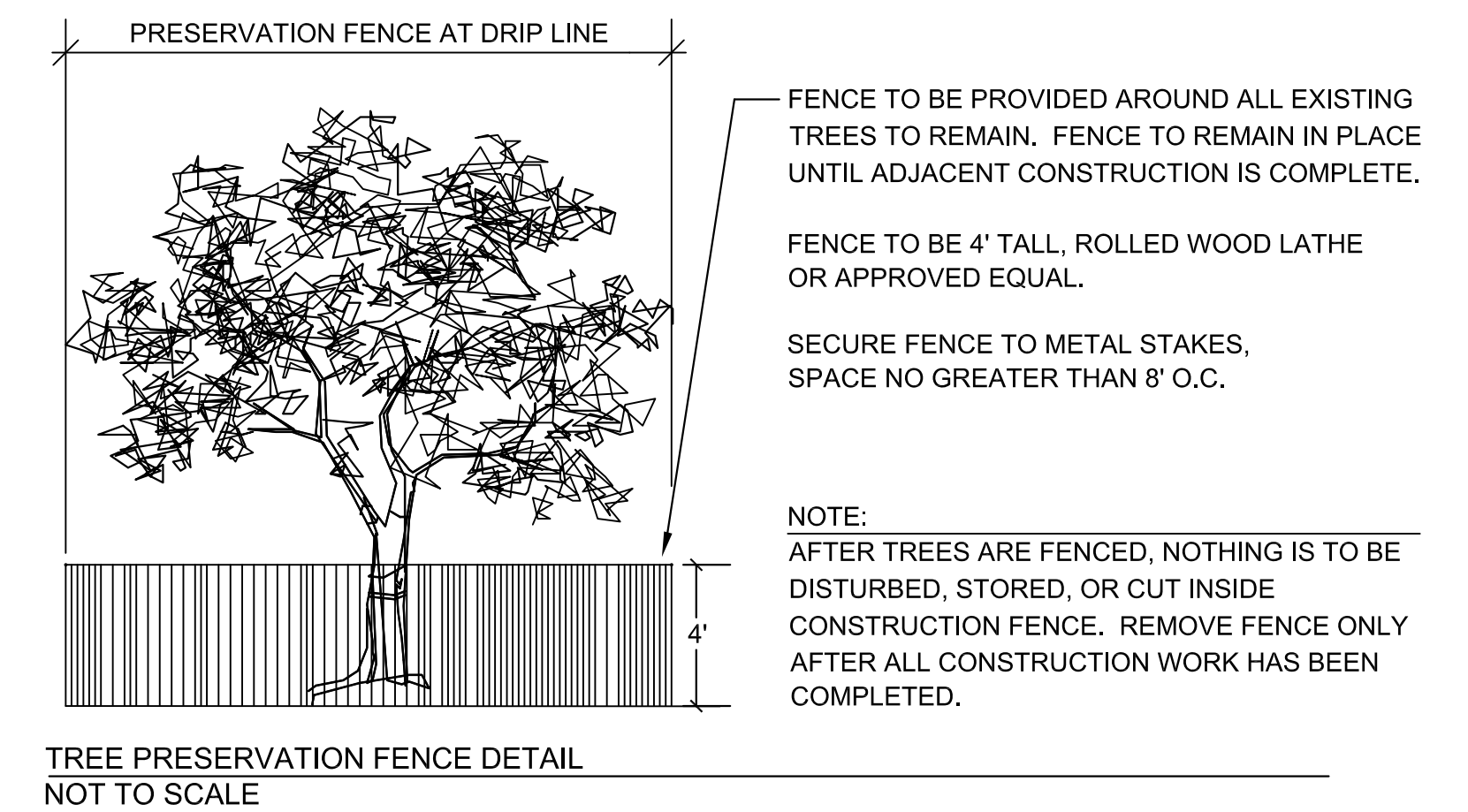
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 north

**LEXINGTON CLUB**  
 Preliminary Landscape Plan  
 LEXINGTON HOMES  
 St. Charles, IL  
 Chicago, IL



LANDSCAPE PLAN - SHEET #3  
SCALE: 1" = 60'-0"

NOTE! LOCATIONS OF PLANT MATERIAL ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING AND LOCATION OF SITE UTILITIES.



NOTE! FOR TREE PRESERVATION & REMOVAL PLAN, SEE ENGINEERING PLANS.

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12/17/10  
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2. Per City comments 07/22/11

north

scale: AS SHOWN

**LEXINGTON CLUB**  
St. Charles, IL  
Preliminary Landscape Plan  
LEXINGTON HOMES  
Chicago, IL

date: 11/25/09

sheet 3 of 3

job no. 093703