



AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommendation to Approve an Amendment to Special Use for a Planned Unit Development and PUD Preliminary Plan – Tyler and Rt. 64 Business Park (St. Charles Chrysler, Jeep and Dodge)
Presenter:	Matthew O'Rourke

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (4/8/13)		City Council
	Public Hearing		

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

Executive Summary:

The applicant, Joseph Conti, has submitted an application for an Amendment to the Special Use for a Planned Unit Development (Tyler and Rt. 64 PUD) and for a revised PUD Preliminary Plan. The details of the proposal are as follows:

- Reduce the required front yard setback from 40 feet to 20 feet.
 - This change is consistent with the required front yard setback of 20 feet in the underlying BC-Community Business Zoning District.
- Enlarge the vehicle display area along Rt. 64.
- Replace required landscaping along Rt. 64.

Plan Commission Review

The Plan Commission held a public hearing on 4/2/2013. The Plan Commission recommended approval of the petitions contingent upon resolution of any outstanding staff comments. The vote was 5-aye to 0-nay. No significant comments were stated during the public hearing.

Attachments: *(please list)*

Applications for: Special Use (Planned Unit Development) and PUD Preliminary Plan; Staff Report dated 3/27/2013; Ordinance 2004-Z-14; Preliminary and Final Engineering Plans, County Engineers Inc., dated 10/19/2012

Recommendation / Suggested Action *(briefly explain):*

Recommendation to approve an amendment to Special Use for a Planned Unit Development and PUD Preliminary Plan – Tyler and Rt. 64 Business Park (St. Charles Chrysler, Jeep and Dodge)

<i>For office use only:</i>	<i>Agenda Item Number: 4f</i>
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CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

CITYVIEW
Project Name: <u>Tyler & Rt. 64 - Chrysler of St. Charles</u>
Project Number: <u>2010 -PR- 011</u>
Application Number: <u>2013 -AP- 010</u>

Received Date
RECEIVED
St. Charles, IL
MAY 15 2013
CDD
Planning Division

To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Parcel Number (s): <u>09-26-328-049</u>	
	Street Address (or common location if no address is assigned): <u>1611 E MAIN</u>	
2. Applicant Information:	Name <u>JOE CONTI</u>	Phone <u>847-878-3568</u>
	Address <u>1611 E. MAIN ST ST CHARLES, IL 60174</u>	Fax
		Email
3. Record Owner Information:	Name <u>CADILLAC BUILDING OF ST CHARLES</u>	Phone <u>847-878-3568</u>
	Address <u>2500 W. NORTH AVE MELROSE PARK IL</u>	Fax
		Email
4. Billing: <i>To whom should costs for this application be billed?</i>	Name <u>CHRYSLER OF ST CHARLES</u>	Phone <u>847-878-3568</u>
	Address <u>1611 E. MAIN ST ST CHARLES, IL 60174</u>	Fax
		Email

Information Regarding Proposed Special Use:

Comprehensive Plan designation of the property: RETAIN in SERVICE

Is the property a designated Landmark or in a Historic District? NO

What is the property's current zoning? BC

What is the property currently used for? AUTO DRINKER SHOP

What Special Use(s) are you applying for? Please select from the list of Special Uses in the Zoning Ordinance for the appropriate zoning district.

NA

If the proposed Special Use is approved, what improvements or construction are planned?

EXPAND Display AREA

For Special Use Amendments only:

What Special Use ordinance do you want to amend? Ordinance No. _____

Why is the proposed change necessary?

EXPAND Display AREA + CONFORM WITH underlying zoning

What are the proposed amendments? (Attach proposed language if necessary)

FRONT YARD SETBACK

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- PROOF OF OWNERSHIP and DISCLOSURE:**
 - a) A current title policy report; or
 - b) A deed and a current title search.

Handwritten initials/signature

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

□ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

□ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

□ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

□ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

□ **TRAFFIC STUDY:** If requested by the Director of Community Development.

□ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

- Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.
- Revision Submittal for Plan Commission - Twenty-Two (22) full size copies, Three (3) 11" by 17" and a PDF electronic file on a CD-ROM.

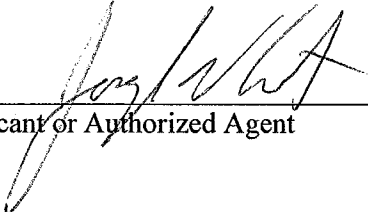
□ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance

- 17. Angle of parking spaces
- 18. Parking space dimensions and aisle widths
- 19. Driveway radii at the street curb line
- 20. Width of driveways at sidewalk and street curb line
- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner	Date
	3/1/12
Applicant or Authorized Agent	Date



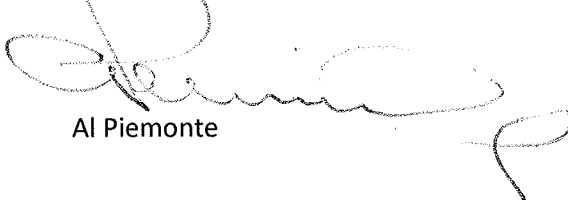
March 1, 2013

To Whom It May Concern:

I, Al Piemonte, as manager of the Cadillac Building of St. Charles, LLC, hereby authorize Joe Conti to act as the applicant/agent in dealing with the city of St. Charles for any building or zoning issues regarding the property at 1611 E. Main Street St. Charles, IL 60174.

Thank you for your attention to this matter. If you require any additional information, I may be reached at 708-345-9300.

Respectfully,



Al Piemonte

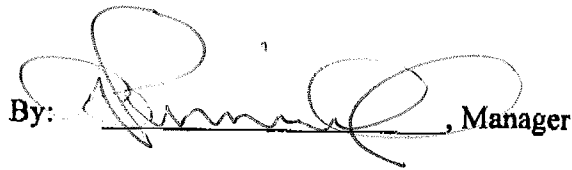
AP:nd

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**


STATE OF ILLINOIS)
) SS.
KANE COUNTY)

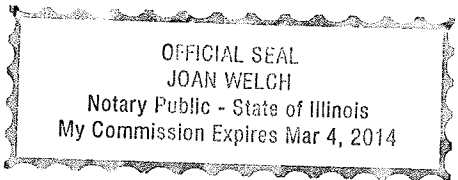
I, Al Piemonte, being first duly sworn on oath depose and say that I am
Manager of Cadillac Building of St. Charles, LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>Al Piemonte</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this 7th day of
March, 20 13.


Notary Public



CITY OF ST. CHARLES
 TWO EAST MAIN STREET
 ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

Received Date
RECEIVED
 St. Charles, IL
 APR 04 2013
CDD
 Planning Division

CITYVIEW
Project Name: <u>Tyler & Rt. 64 - Chrysler of St. Charles</u>
Project Number: <u>2010 -PR- 011</u>
Application Number: <u>2013 -AP- 011</u>

Instructions:

To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Parcel Number (s): <u>09-26-328-049</u>	
	Proposed Name of PUD: <u>Chrysler of St. Charles</u>	
2. Applicant:	Name <u>Joe Conti</u>	Phone <u>847-878-3568</u>
	Address <u>1611 E. Main St. St. Charles, IL 60174</u>	Fax
		Email
3. Record Owner:	Name <u>Cadillac Building of St. Charles</u>	Phone <u>847-878-3568</u>
	Address <u>Joe Conti 2500 W. North Ave Melrose Park, IL</u>	Fax
		Email
4. Billing: <i>Who is responsible for paying application fees and reimbursements?</i>	Name <u>Joe Conti</u>	Phone
	Address <u>Chrysler of St. Charles 1611 E. Main St. St. Charles, IL 60174</u>	Fax
		Email

Attachment Checklist

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

- ❑ **APPLICATION:** Completed application form signed by the applicant
- ❑ **APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance.
- ❑ **REIMBURSEMENT OF FEES AGREEMENT:**
An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

- ❑ **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

- ❑ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

- ❑ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

- ❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:** *NA - Not charging land use.*
Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

- ❑ **ENDANGERED SPECIES REPORT:** *NA*

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

- ❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

- Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.
- Revision Submittal for Plan Commission - Twenty-Two (22) full size copies, Three (3) 11" by 17" and a PDF electronic file on a CD-ROM.

- ❑ **SITE/ENGINEERING PLAN:**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose

3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with the proposal indicated
11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting

- Photometric information pertaining to locations of proposed lighting fixtures

37. Typical construction details and specifications

38. Certification of site engineering plans by a registered professional engineer

39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:** *NA*

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

□ **ARCHITECTURAL PLANS:** *NA*

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

□ **TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set.

□ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

❑ PUBLIC BENEFITS, DEPARTURES FROM CODE:

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

❑ SCHEDULE: Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

❑ INCLUSIONARY HOUSING SUMMARY: For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

❑ SUBDIVISION PRELIMINARY PLAN CHECKLIST:

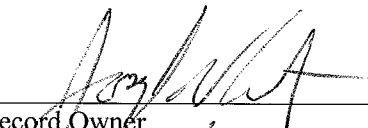
If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Preliminary Plan Checklist must be submitted. This Subdivision Checklist may reference the same set(s) of plans as the preceding checklists for Site/Engineering, Sketch Plan, Tree Preservation, and Landscape Plans, but the additional information required by the Subdivision Preliminary Plan Checklist must be included, where applicable.

❑ APPLICATION FOR SPECIAL USE FOR A PUD:

The application for PUD Preliminary Plan must be accompanied by an application for a Special Use for a PUD, unless the Special Use was previously granted and no amendment is needed. Documentation required for both applications need not be duplicated.

❑ HISTORIC DESIGNATION: Is the property a designated Landmark or in a Historic District? _____

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


 _____ 3/1/13
 Record Owner Date


 _____ 3/1/13
 Applicant of Authorized Agent Date

Community Development
 Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



Staff Report

TO: Chairman Cliff Carrignan
 And Member of the Planning & Development Committee

FROM: Matthew O'Rourke, AICP
 Planner

RE: Amendment to Special Use for a Planned Unit Development and PUD Preliminary Plan –
 Tyler and Rt.64 Business Park (St. Charles Chrysler, Jeep, and Dodge)

DATE: March 27, 2013

I. APPLICATION INFORMATION:

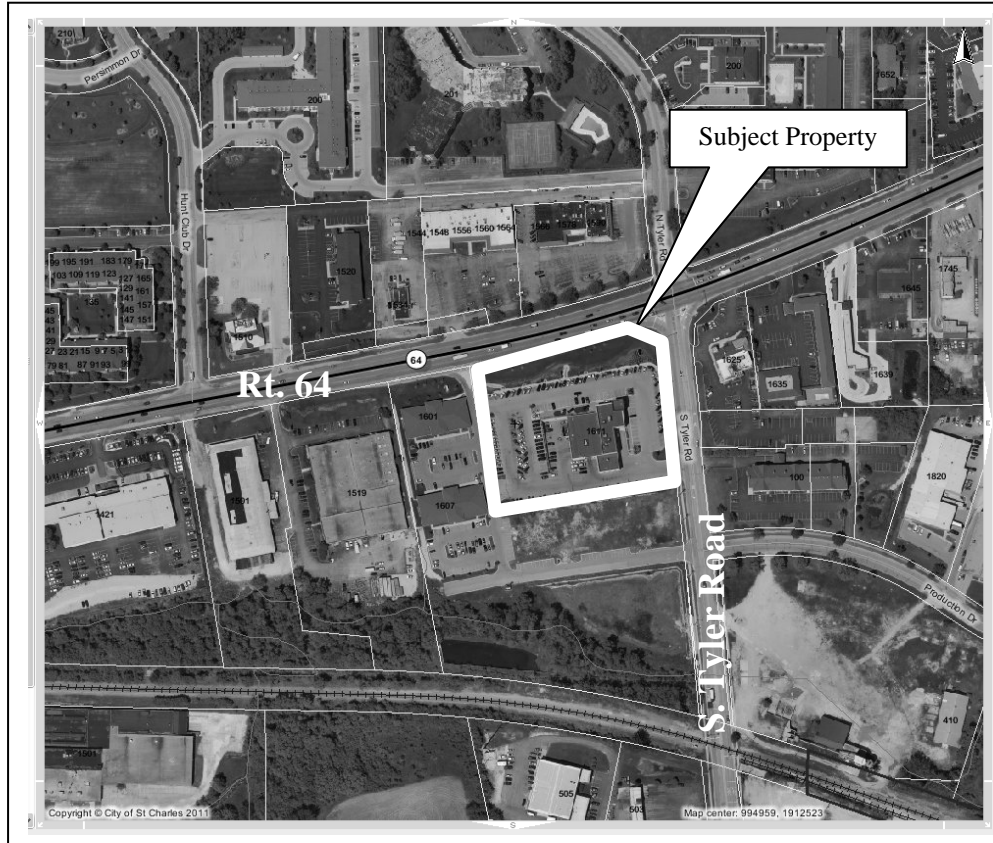
Project Name: Tyler and Rt. 64 PUD Amendment (St. Charles Chrysler, Jeep, and Dodge)

Applicant: Joseph Conti (St. Charles Chrysler, Jeep, and Dodge)

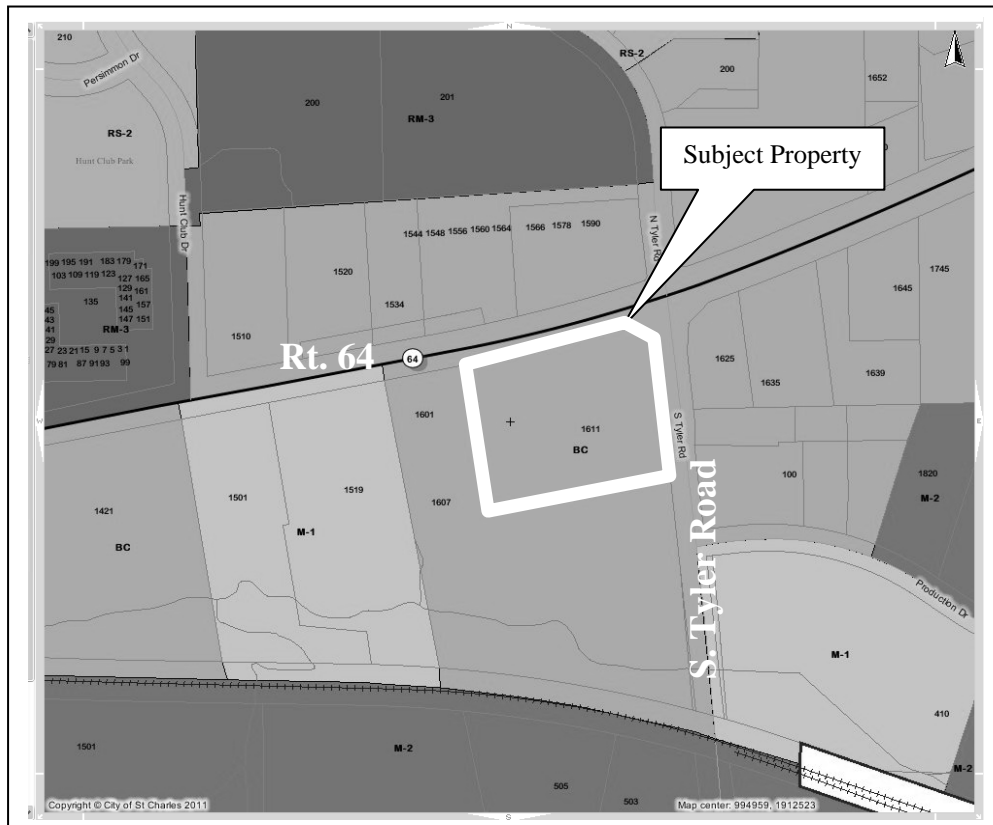
Purpose: Reduce the required front yard setback from 40 feet to 20 feet to enlarge vehicle display area

General Information:		
Site Information		
Location	1611 E. Main Street	
Acres	4.185	
Applications	1) Special Use 2) PUD Preliminary Plan	
Applicable Zoning Code Sections/ Ordinances	17.04.430 Changes in Planned Unit Development Table 17.14-2 Business and Mixed-Use Districts Bulk Regulations Ordinance 2004-Z-14 An Ordinance Granting a Special Use as a Planned Unit Development (Tyler & Rt. 64 Business Park)	
Existing Conditions		
Land Use	Car Dealership	
Zoning	BC – Community Business (PUD)	
Zoning Summary		
North	BC-Community Business	Current Land Uses Shopping Center
East	BC-Community Business	Hotel/Restaurant
South	BC- Community Business (PUD)	Children of America/Daycare
West	BC- Community Business (PUD)	Office Buildings
Comprehensive Plan Designation		
Manufacturing		

Aerial Photo



Zoning Map



II. BACKGROUND:

In 2004, the City approved Ordinance 2004-Z-14 “An Ordinance Granting a Special Use as a Planned Unit Development (Tyler & Rt. 64 Business Park)”. This approval included the dealership use on lot 1 (St. Charles Chrysler, Jeep, and Dodge).

At that time, the property was zoned M-1 Limited Manufacturing under the City’s previous Zoning Ordinance and the setback requirements from that zoning district were incorporated into the PUD as an exhibit. The old M-1 Zoning District required a front yard setback of 40 feet. When this PUD was approved the City required a 50 foot setback along E. Main Street from 13th Avenue to Smith Road. This requirement no longer exists.

The underlying zoning designation was changed to BC-Community Business as part of 2006 Zoning Ordinance and Zoning Map overhaul. The front yard setback in the BC district is 20 feet.

III. PROPOSAL:

The applicant, Joseph Conti, has submitted an application for an Amendment to the Special Use for a Planned Unit Development (Tyler and Rt. 64 PUD) and for a revised PUD Preliminary Plan. The details of the proposal are as follows:

- Reduce the required front yard setback from 40 feet to 20 feet.
- Enlarge the vehicle display area along Rt. 64.
- Replace required landscaping along Rt. 64.

IV. ANALYSIS:

Staff has reviewed the proposal for compliance with the standards established in the Zoning Ordinance and Ordinance 2004-Z-14. The following is a summary of that review:

1. PUD MAJOR CHANGE

Section 17.04.430 Changes in Planned Unit Developments states the following:

“The Planned Unit Development shall be developed only in conformance with the ordinance granting a Special Use for a PUD and the PUD Preliminary Plans as approved by the City Council. PUD Final Engineering Plans, PUD Final Plans, and PUD Final Plats contain additional detail to facilitate construction of the development. Recognizing that there may be a need for changes during review or following approval of these final plans, changes to any approved PUD plans shall be handled as follows:

A. Major Changes.

- 1. Changes which would require an amendment to the ordinance granting a Special Use for the PUD may only be approved after submittal of an application to amend the Special Use for the PUD, together with applications to amend any previously approved plans.*
- 2. Changes determined by the City Council to invalidate or contradict any of the Findings of Fact for Special Use for PUD or elements of the Preliminary Plans which were used as a factor in establishing said Findings of Fact shall only be approved after submittal of an application to amend the Special Use for the PUD, together with applications to amend any previously approved plans.*

3. *Changes to the approved PUD Preliminary Plan determined to be major by the City Council may be approved only by submission and reconsideration of a new PUD Preliminary Plan, and, if necessary, an application to amend the Special Use ordinance. Depending on the scope of the Major Change, a new Concept Plan Review may be required prior to submittal of the application for PUD Preliminary Plan. Factors listed in Table 17.04-2 shall be considered in determining whether a proposed change from the approved PUD Preliminary Plan constitutes a Major Change, and whether a new Concept Plan Review will be required.”*

Since the provisions of the old M-1 District were incorporated into the PUD Ordinance as an exhibit, and the approved PUD Preliminary Plan show a required 40 foot front yard setback. Therefore, a major change to the PUD is required.

2. SETBACKS

The applicant is proposing to reduce the required front yard setback from 40 feet to 20 feet. This change is consistent with the required front yard setback of 20 feet in the underlying BC-Community Business Zoning District.

3. REQUIRED OFF-STREET PARKING

Per the approved PUD Preliminary Plan, 71 off-street parking spaces are required on lot 1 of the Tyler & Rt. 64 PUD. The expansion of the vehicle display area will not result in the reduction of required off-street parking spaces. The 71 designated off-street parking spaces will remain.

4. LANDSCAPING

There was a landscape plan approved as part of the PUD Preliminary Plan. In 2005, the property owner received a Corridor Improvement Grant for enhanced landscape features. The applicant is proposing to replant the same or similar landscape materials in the front of the new vehicle display area.

Staff Comment:

The approved landscape plan included 10 shade trees. These trees have not been shown on the new landscape plan. The applicant will need to provide these trees on the revised plans.

V. PLAN COMMISSION

The Plan Commission held a public hearing on 4/2/2013. The Plan Commission recommended approval of the petitions contingent upon resolution of any outstanding staff comments. The vote was 5-aye to 0-nay.

VI. RECOMMENDATION

Staff recommends approval of the Application for an Amendment to and existing Special Use for a Planned Unit Development to the Tyler & Rt. 64 PUD and revised PUD Preliminary Plan and has provided draft findings of fact in support of that recommendation.

VII. ATTACHMENTS

- Application for Special Use, received 03/04/2013
- Application for PUD Preliminary Plan, received 03/04/2013
- Ordinance 2004-Z-14
- Preliminary and Final Engineering Plans, County Engineers Inc., dated 10/19/2012

Cc: Russell Colby, Planning Division Manager
Joseph Conti, Applicant

**AMENDMENT TO A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT TYLER &
RT. 64 PUD
(ST CHARLES CHRYSLER, JEEP, AND DODGE)**

From the St. Charles Zoning Ordinance, Section 17.04.410.D.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated Section 17.04.400.A.

This property is located in an existing PUD. The proposed amendment does not alter the purpose of the PUD as approved in 2004.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

The proposed amendment will reduce the required front yard setback from 40 feet to 20 feet. This amendment to the PUD will align the front yard setback in the PUD with the requirements of the underlying BC-Community Business District which is 20 feet. Therefore, there is no relief from the Zoning Ordinance requested.

- a) **Conforming to the requirements would inhibit creative design that serves community goals, or**
- b) **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements.

iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2).

a. Public Convenience: The Special Use will serve the public convenience at the proposed location.

This amendment does not alter the intent or scope of the approved PUD. The existing business will continue to exist on lot 1 where it is currently located.

b. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The use is already constructed. The utilities and infrastructure already exist on and around the site. The applicant will provide adequate stormwater facilities to accommodate the proposed increase in impervious surface.

- c. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed amendment will permit the applicant to construct an extended vehicle display area next to its current location.

- d. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The surrounding properties are already developed.

- e. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The property is already in use by this specific business. Since this use is already established there will not be any new impacts created by this PUD amendment.

- f. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed amendment will reduce the required front yard setback to 20 feet. This setback conforms to the standards established in the underlying BC-Community Business Zoning District. This 20 foot wide setback area will provide an adequate buffer from E. Main Street and sufficient greenspace for the required landscaping.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

This amendment will not affect the scope, intent, or existing businesses already located within the PUD.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The Comprehensive Plan land use designation for this property is manufacturing. The uses permitted in the Rt. 64 and Tyler PUD would be considered Retail and Service. These uses were determined to be appropriate in 2004 as evidenced by the approval of the Tyler & Rt. 64 PUD.

City of St. Charles, Illinois

Ordinance No. 2004-Z-14

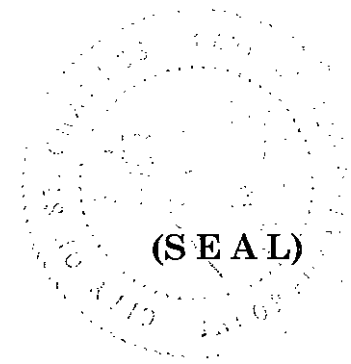
**An Ordinance Granting a Special Use as a
Planned Unit Development
(Tyler and 64 Business Park)**

**Adopted by the
City Council
of the
City of St. Charles
July 6, 2004**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, July 9, 2004**



City Clerk



DATE OF PUBLICATION 7/19/04
NEWSPAPER Pamphlet Form

REFER TO:
MINUTES 7/6/04
PAGE _____

ORDINANCE NO. 2004-Z-14

PRESENTED AND PASSED BY CITY COUNCIL ON
July 6, 2004

AN ORDINANCE GRANTING A SPECIAL USE
AS A PLANNED UNIT DEVELOPMENT
(TYLER AND 64 BUSINESS PARK)

WHEREAS, a petition for granting a Special Use as a Planned Unit Development for the real estate described in "Exhibit I" attached hereto and made a part hereof (hereinafter sometimes referred to as the "Subject Realty") has been filed by Tyler and 64 LLC, an Illinois Limited Liability Company, record owner of the Subject Realty, hereinafter sometimes referred to as "Owner";

WHEREAS, the Plan Commission has held a public hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered the same; and

WHEREAS, the City Council of the City of St. Charles hereby makes the following findings of fact regarding the granting of a Special Use as a Planned Unit Development for the Subject Realty:

FINDINGS OF FACT FOR SPECIAL USE FOR A PUD:

1. **That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The proposed redevelopment of the subject property will be a tremendous improvement to the area. The subject property was previously used as an obsolete

manufacturing facility, which had been vacant for several years. It lacked maintenance and was an eyesore from Route 64. The current owner has entered into a redevelopment agreement with the City to ensure that redevelopment of the site will promote and foster public health, safety and general welfare. The proposed development of the auto dealership and the office buildings through the special use for the PUD will therefore not be detrimental to or endanger the public health, safety or general welfare.

2. **That the special use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purpose already permitted, nor substantially diminish or impair property values within the neighborhood.**

The redevelopment will enhance the subject property. The surrounding properties are commercial uses, which are compatible with the proposed uses. The special use for the PUD will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purpose already permitted, nor substantially diminish or impair property values within the neighborhood.

3. **That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The surrounding properties are already developed.

4. **That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The PUD process requires a complete review of engineering plans to ensure that adequate utilities are provided on the site. The access points off of Route 64 and Tyler Road as shown on the plans are acceptable. The IEPA designated area on the southwest side of the property is to remain capped and will not be disturbed due to the development.

5. **That adequate measures have been made, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in public streets.**

The curb cut off of Route 64 is being restricted to a right-in, right-out only. The applicant has taken into consideration IDOT's future plans for Route 64 road improvements in designing access to the site.

6. **That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission.**

The Special Use conforms to the applicable regulations of the M-1 zoning districts in which it is proposed to be located, with the exception of the requested variations.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. That Section 17.02.180 of Title 17 of the St. Charles Municipal Code, as amended, and as set forth in the Zoning District Map as described therein and on file in the Office of the City Clerk, is hereby amended by granting of a Special Use as a Planned Unit Development for the entire Subject Realty, pursuant to the provisions of Title 17 of the St. Charles Municipal Code, as amended, all of the Subject Realty being subject to the additional conditions, variations, and restrictions hereinafter set forth.

SECTION 2. That the Subject Realty may be developed only in accordance with all ordinances of the City as now in effect or hereafter amended (except as specifically varied herein), and in accordance with the following additional definitions, uses, procedures, and restrictions contained herein.

A. PRELIMINARY PLAN APPROVAL

The Preliminary Plan for the Subject Realty, consisting of a plan set entitled "Preliminary/Final Engineering Plan Tyler and 64 Business Park" prepared by Robert H. Anderson & Associates dated June 18, 2004; building elevations for Al Piemonte Cadillac dated February 27, 2004; building elevations for office buildings "Building One" and "Building Two" prepared by Marshall Architects dated May 4, 2004; landscape plans prepared by Gary Weber Associates Inc. dated 1/26/04, revised 6/3/04, received June 7, 2004; signage for Al Piemonte prepared by Image Point dated March 8, 2004; a reduced copy of which is attached hereto as Exhibit "II", is hereby approved.

Building elevations for Office Buildings Three and Four on Lot 2 must be approved by the City Council, upon recommendation by the Plan Commission, prior to issuance of any building permits for these buildings.

Changes to the Preliminary Plan may be approved by resolution of the City Council without amending this Ordinance, if such changes conform to the provisions hereof and do not constitute a Major Change as defined in Section 17.42.080 C of the St. Charles Municipal Code, as determined by the City Council.

B. ZONING REQUIREMENTS AND STANDARDS

1. The provisions set forth in the St. Charles Zoning Ordinance for property in the M-1 Limited Manufacturing District in effect as of the date of this agreement shall apply to the Subject Realty, except as specifically provided in this Section.
2. **Permitted Uses:** Motor vehicle sales shall be allowed as an additional permitted use.
3. **Maximum net floor area for office use on Lot 2:**

On the attached preliminary plan, 188 parking spaces have been shown on Lot 2. This parking would accommodate 45,560 square feet total net floor area of professional/business office use on Lot 2. Out of the 45,560 square feet, only 37,600 square feet net floor area can be used for medical/dental office use, in order to comply with the parking requirement.

If additional parking is provided to comply with the City's zoning ordinance, then additional floor area may be used for medical/dental offices.

“Net floor area” shall be as defined in Section 17.04.210 A and B of Title 17 of the St. Charles Municipal Code.

4. **Parking setback:** The northeast corner of the parking lot on Lot 1, as measured at a distance of approximately 60 feet from the proposed ROW intersection at Route 64 and Tyler Road shall be setback 3 feet from the proposed ROW line. A fifteen foot parking setback shall be provided along the northernmost 240 feet of the Tyler Road frontage, as shown generally on the attached preliminary plan.
5. **Building setback for office buildings “D” and “E”:** A ten foot side yard setback shall be provided for office buildings “D” and “E”, as measured from the northern property line between Lots 1 and 2 (as shown on the preliminary plan).

C. PRELIMINARY PLAN, ENGINEERING PLANS & FINAL PLAT

No final engineering plans or final plat for any part of the Subject Realty shall be approved prior to City Council approval of a preliminary plan for the entire Subject Realty conforming to the provisions hereof and the applicable provisions of the St. Charles Municipal Code. The foregoing notwithstanding, Owner may submit revised preliminary plans and final plat, provided that such submittal shall include a revised preliminary plan for the entire Subject Realty conforming to the provisions hereof and the St. Charles Municipal Code, and may include final plans and plat for all or any part thereof. Review of final plans and plat shall not be required if the revised preliminary plan fails to conform with the City ordinances (except as varied herein). Such determination shall be first made by

the Director of Public Works and the Director of Community Development, subject to confirmation by the City Council. Final development plans and plats which are hereafter submitted by Owner shall be approved by the City Council provided same conform with the applicable provisions, of the St. Charles Municipal Code and the provisions hereof, and substantially conform with the approved Preliminary Plan, and practices and policies of the City, all as determined by the City Council.

No final plat for any part of the Subject Realty shall be approved prior to approval of engineering plans for the unit or phase being developed and it's related offsite improvements as reasonably determined by the City. No final plat for any part of the Subject Realty shall be recorded prior to issuance of all third party approvals including but not limited to IDOT, IEPA, United States Army Corps of Engineers and prior to City Council approval and receipt of the guarantee for completion of the Land Improvements (as defined in Title 16 of the St. Charles Municipal Code). Such guarantee shall be in the form of a financial guarantee conforming with the provisions of Paragraph 16.12.220 (C) of the St. Charles Municipal Code.

D. BUILDING PERMIT TIMING

No building permit shall be issued for construction of any structure on the Subject Realty until after the engineering plans and a final plat have been approved and a final plat has been recorded for all of the Subject Realty.

E. COMPLETION OF LAND IMPROVEMENTS PRIOR TO OCCUPANCY

No occupancy permit shall be issued for any building until the Land Improvements for the Subject Realty have been accepted by the City Council; however, the following need not be completed prior to issuance of an occupancy permit: a) public sidewalks, street trees and parkway seeding. At all times during construction the Owner shall be responsible for removal of construction debris and waste related to the Subject Realty.

F. SOIL EROSION CONTROL

Upon five (5) days notice to Owner, the City shall have the right to stop any construction of Land Improvements, buildings and other structures if the City Engineer determines that the erosion control measures shown on the approved erosion control plan and as field modified are not being adequately maintained. A stop work order may be issued on these grounds against the then-owner of the property on which the violation occurs and will not be lifted until all violations are corrected. The then-owner shall indemnify and hold harmless the City from any and all losses, claims, expenses and penalties, including attorneys' fees, arising out of the City's issuance of a stop work order on these grounds.

G. SPECIAL SERVICE AREAS

Any stormwater management facilities, retaining walls and pump stations related to stormwater management facilities, wetlands, which are not accepted by the CITY shall be owned and maintained by the landowner. Developer and Owner

shall not object to the formation of an amendment to one or more Special Service Areas, encompassing all or part of the Subject Realty for the purpose of maintaining and repairing drainage facilities and other facilities. Such Special Service Area shall be of perpetual duration with a maximum rate per State statute. Such Special Service Area or Areas may provide for maintenance by the City in the event that drainage facilities are not adequately maintained by the Owner or successors.

H. LANDSCAPING

The Subject Realty shall be landscaped in substantial conformance with the approved Preliminary Plan and the approved Landscape Plan. Landscaping for a building or phase shall be completed prior to occupancy of that building.

However, if conditions beyond the control of the Developer prohibit the installation of the landscaping prior to a request for occupancy of a structure, a temporary certificate of occupancy may be issued for a period not to exceed six months, subject to posting of a letter of credit or cash for 115% of a registered landscape architect's estimate for incomplete landscape work. If the landscaping is not completed as of the expiration of the temporary certificate of occupancy, the Building Commissioner shall not be required to issue a final certificate of occupancy or any additional temporary certificates of occupancy, but may do so in his discretion as governed by the St. Charles Municipal Code, and the City may utilize funds to complete said landscape work.

I. FACILITIES TO BE UNDERGROUND

All utility and communication facilities to be installed within the Subject Realty, including, but not limited to, telephone, electric, and cable television, shall be underground. Utilities to be installed by the City within the Subject Realty, if any, shall be installed underground. This does not include facilities installed in and along the rights-of-way of Main Street, Tyler Road and the existing UPRR railroad tracks.

J. ELECTRIC UTILITY SERVICE

The Owner may connect to the existing municipal electrical distribution system which adjoins the property line of the Subject Realty, and such connection shall be permitted upon payment of the City's normal connection fees consistent with the City's ordinances and policy in effect at the time of final plat approval.

K. NATIONAL ELECTRIC SAFETY CODE

The existing site structures and the proposed site structures must comply with the 2002 National Electric Safety Code. Further, all construction activities must adhere to the safety guidelines and clearances within the 2002 National Electric Safety Code.

L. EASEMENTS

An easement or easements over, under and upon that portion of the Subject Realty reasonably determined by the City to be necessary for the benefit of the Subject Realty for access by emergency vehicles or for access for maintenance, repair, replacement and customary servicing of all electricity lines, sanitary sewer, storm drainage, storm water detention and retention, water main systems, telephone lines, natural gas supply systems, communication facilities and other utilities, shall be provided at the City's request on all

final plats in favor of the City. Such easements shall also be provided for all of the involved utility and communications companies, now or in the future receiving a City franchise, their respective officers, employees, and agents, together with related emergency and service vehicles and equipment, in locations consistent with the location of said utilities as identified on the final engineering plans and electric utility plans for the Subject Realty.

SECTION 3. HOLD HARMLESS AND INDEMNIFICATION

In the event a claim is made against the City, its officers, other officials, agents and employees or any of them, or if any is made a party-defendant in any proceeding arising out of or in connection with the approval and issuance of a Special Use Permit for a Planned Unit Development for the Subject Realty, or the development of the Subject Realty, including matters pertaining to hazardous materials and other environmental matters, the Developer and Owner shall defend and hold the City and such officers, other officials, agents and employees harmless from all claims, liabilities, losses, taxes, judgements, costs and fees, including expenses and reasonable attorney's fees, in connection therewith. The City and such officers, other officials, agents and employees shall reasonably cooperate in the defense of such proceedings.

SECTION 4. That this ordinance shall become effective from and after its passage and approval in accordance with law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 6th day of July, 2004

PASSED by the City Council of the City of St. Charles, Kane and DuPage
Counties, Illinois this 6th day of July, 2004

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage
Counties, Illinois this 6th day of July, 2004

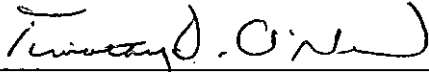

Susan L. Klinkhamer, Mayor

Attest:


City Clerk/Recording Secretary

Voice Vote:
Ayes: 9
Nays: 0
Absent: 1
Abstain: 0

Approved as to form:


City Attorney

Date: 7/6/04

EXHIBIT "I"
LEGAL DESCRIPTION OF PROPERTY

**Legal Description for
Tyler & 64 Business Park**

THAT PART OF THE SOUTHWEST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST $\frac{1}{4}$; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID SOUTHWEST $\frac{1}{4}$ 749.80 FEET; THENCE NORTH 61 DEGREES, 45 MINUTES, 0 SECONDS EAST 75.40 FEET TO THE SOUTHEAST CORNER OF W.H. WILCOX'S SECOND ADDITION TO THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE NORTH 27 DEGREES, 20 MINUTES, 0 SECONDS WEST ALONG THE EAST LINE OF SAID SECOND ADDITION 800.00 FEET TO THE NORTHEAST CORNER OF BLOCK 3 OF SAID SECOND ADDITION; THENCE NORTH 62 DEGREES, 08 MINUTES, 0 SECONDS EAST ALONG THE SOUTHERLY LINE OF INDIANA AVENUE EXTENDED 71.60 FEET; THENCE NORTH 17 DEGREES, 09 MINUTES, 0 SECONDS WEST ALONG AN OLD CLAIM LINE 683.38 FEET TO THE SOUTHERLY LINE OF EAST MAIN STREET; THENCE EASTERLY ALONG SAID SOUTHERLY LINE 658.50 FEET TO A POINT OF CURVATURE; THENCE NORTH 78 DEGREES, 18 MINUTES, 0 SECONDS EAST ALONG SAID SOUTHERLY LINE 676.50 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 11 DEGREES, 42 MINUTES, 0 SECONDS EAST 706.33 FEET TO THE NORTHERLY LINE OF THE CHICAGO AND NORTHWESTERN TRANSPORTATION COMPANY; THENCE EASTERLY ALONG SAID NORTHERLY LINE 634.10 FEET TO THE WESTERLY LINE OF TYLER ROAD AS ESTABLISHED BY DOCUMENT 1651703; THENCE NORTH 05 DEGREES, 44 MINUTES, 36 SECONDS WEST ALONG SAID WESTERLY LINE 105.21 FEET TO A POINT OF CURVATURE IN SAID WESTERLY LINE; THENCE NORTHERLY ALONG SAID WESTERLY LINE, BEING A CURVE TO THE LEFT HAVING A RADIUS OF 7960.0 FEET TANGENT TO THE LAST DESCRIBED COURSE, 243.12 FEET; THENCE NORTH 82 DEGREES, 30 MINUTES, 24 SECONDS EAST RADIAL TO THE LAST DESCRIBED CURVE AT THE LAST DESCRIBED POINT 33.0 FEET TO THE ORIGINAL CENTER LINE OF SAID TYLER ROAD; THENCE NORTH 7 DEGREES, 29 MINUTES, 36 SECONDS WEST ALONG SAID ORIGINAL CENTER LINE 530.24 FEET TO THE MOST SOUTHERLY CORNER OF A TRACT OF LAND DESCRIBED IN DOCUMENT 1541226; THENCE NORTH 62 DEGREES, 58 MINUTES, 42 SECONDS WEST ALONG THE SOUTHWESTERLY LINE OF SAID TRACT 117.56 FEET TO THE MOST WESTERLY CORNER OF SAID TRACT; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID EAST MAIN STREET 607.14 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

EXHIBIT "II"
PRELIMINARY PLAN

PRELIMINARY / FINAL ENGINEERING PLANS FOR
TYLER & 64 BUSINESS PARK
 CIVIL / SITE WORK IMPROVEMENTS

RECEIVED
 JUN 21 2004
 PLANNING OFFICE

City of St. Charles Kane County Illinois

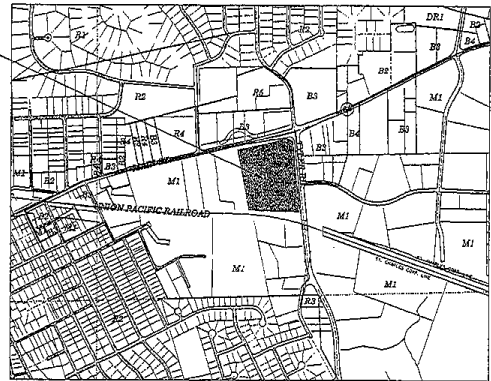
2003

INDEX OF SHEETS

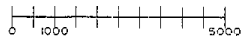
1. TITLE SHEET
2. GENERAL NOTES
3. DEMOLITION PLAN
4. TREE SURVEY & TREE REMOVAL PLAN
5. OVERALL SITE PLAN
6. LOT #1 GEOMETRIC PLAN
7. LOT #2 GEOMETRIC PLAN
8. REGIONAL STORMWATER MANAGEMENT FACILITY PLAN
9. STORMWATER LIFT STATION PLAN & DETAILS
10. STORMWATER LIFT STATION SPECIFICATIONS
11. STORM SEWER & EROSION CONTROL PLAN
12. UTILITY PLAN
- 12A. ELECTRICAL LAYOUT
13. SANITARY SEWER PROFILE
14. STRUCTURE SCHEDULE
15. GRADING PLAN
16. PROPOSED ROAD PROFILE
17. RETAINING WALL PLAN
18. RETAINING WALL PROFILES
19. RETAINING WALL PROFILES
20. RETAINING WALL PROFILES
21. STORM SEWER DETAILS
22. EROSION CONTROL DETAILS
23. EROSION CONTROL DETAILS
24. MISCELLANEOUS DETAILS
25. SANITARY SEWER DETAILS
26. WATER SYSTEM DETAILS
28. PAVING DETAILS
29. IDOT DISTRICT 1 PAVEMENT MARKING DETAILS
30. IDOT DISTRICT 1 PAVEMENT MARKING DETAILS
31. ROUTE 64 CROSS SECTIONS
32. ROUTE 64 CROSS SECTIONS

CURRENT ZONING: M1 (LIMITED MANUFACTURING DISTRICT)
 PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)

PROJECT LOCATION
 EXISTING SITE AREA IS
 APPROX. 12.228 ACRES



LOCATION MAP
 1" APPROX. 1000'



OWNER
 TYLER & 64, LLC
 P.O. BOX 3970
 ST. CHARLES, IL 60714
 630-443-9393

DEVELOPER
 JRD DEVELOPMENT, INC.
 P.O. BOX 3970
 ST. CHARLES, ILLINOIS 60714
 630-443-9393

ENGINEER
 ROBERT H. ANDERSON AND ASSOC., INC.
 220 WEST RIVER DRIVE
 ST. CHARLES, ILLINOIS 60174
 630-694-9290

BENCHMARKS

PRIMARY BENCHMARK
 KANE COUNTY BENCHMARK 3-68
 ELEV. = 773.41

SITE BENCHMARK
 NW FLANGE BOLT ON HYDRANT NEAR
 NW CORNER OF SUBJECT PARCEL
 ELEV. = 787.82



THAT PART OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 43 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4; THENCE EASTERLY ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4 749.80 FEET; THENCE NORTH 61 DEGREES, 42 MINUTES, 0 SECONDS EAST 75.40 FEET TO THE SOUTHWEST CORNER OF WAL. WILCOX'S SECOND ADDITION TO THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS; THENCE NORTH 17 DEGREES, 30 MINUTES, 0 SECONDS WEST ALONG THE EAST LINE OF SAID SECOND ADDITION 800.00 FEET TO THE NORTHEAST CORNER OF BLOCK 3 OF SAID SECOND ADDITION; THENCE NORTH 62 DEGREES, 02 MINUTES, 0 SECONDS EAST ALONG THE SOUTHERLY LINE OF INDIANA AVENUE EXTENDED 71.20 FEET; THENCE NORTH 17 DEGREES, 00 MINUTES, 0 SECONDS WEST ALONG AN OLD CLAM LINE 80.00 FEET TO THE SOUTHERLY LINE OF EAST MAIN STREET; THENCE EASTERLY ALONG SAID SOUTHERLY LINE 85.00 FEET TO A POINT OF CURVATURE; THENCE NORTH 78 DEGREES, 18 MINUTES, 0 SECONDS WEST ALONG SAID SOUTHERLY LINE 87.80 FEET FOR THE POINT OF BEGINNING; THENCE SOUTH 11 DEGREES, 42 MINUTES, 0 SECONDS EAST 706.23 FEET TO THE NORTHERLY LINE OF THE LINCOLN PACIFIC RAILROAD; THENCE NORTHWESTERLY TRANSPORTATION COMPANY; THENCE EASTERLY ALONG SAID NORTHERLY LINE 84.10 FEET TO THE WESTERLY LINE OF TYLER ROAD AS ESTABLISHED BY DOCUMENT 160702; THENCE NORTH 17 DEGREES, 00 MINUTES, 0 SECONDS WEST ALONG SAID WESTERLY LINE 104.81 FEET TO A POINT OF CURVATURE IN SAID WESTERLY LINE; THENCE NORTHERLY ALONG SAID WESTERLY LINE, BEING A CURVE OF 104.81 FEET RADIUS, CHORD OF 260.3 FEET TANGENT TO THE LAST DESCRIBED COURSE, 243.72 FEET; THENCE NORTH 62 DEGREES, 30 MINUTES, 24 SECONDS EAST RADIAL TO THE LAST DESCRIBED CURVE AT THE LAST CORNER POINT 30.00 FEET TO THE ORIGINAL CENTER LINE OF SAID TYLER ROAD; THENCE NORTH 7 DEGREES, 29 MINUTES, 38 SECONDS WEST ALONG SAID ORIGINAL CENTER LINE 80.00 FEET TO THE MOST SOUTHERLY CORNER OF TRACT OF LAND ADJACENT TO SAID TYLER ROAD IN DOCUMENT 1641226; THENCE NORTH 62 DEGREES, 00 MINUTES, 42 SECONDS WEST ALONG THE SOUTHWESTERLY LINE OF SAID TRACT 117.28 FEET TO THE MOST WESTERLY CORNER OF SAID TRACT; THENCE WESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID TRACT 117.28 FEET TO THE POINT OF BEGINNING IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

RHA&A
 Robert H. Anderson & Associates, Inc.
 Consulting Engineers
 220 West River Drive
 St. Charles, Illinois 60174
 Phone: 630-694-9290
 Fax: 630-694-9290

- ▲ REVISED: JUNE 17, 2004
- ▲ REVISED: JUNE 2, 2004
- ▲ REVISED: MAY 12, 2004
- ▲ REVISED: APRIL 16, 2004
- ▲ REVISED: MARCH 17, 2004
- ▲ REVISED: MARCH 5, 2004
- ▲ REVISED: JANUARY 26, 2004
- ▲ REVISED: JANUARY 16, 2004
- ▲ REVISED: DECEMBER 1, 2003
- ▲ REVISED: OCTOBER 31, 2003
- DATE: SEPTEMBER 30, 2003

ENGINEERING PLAN SUBMITTAL

THESE ENGINEERING PLANS AND SUPPORTING DOCUMENTS ARE ISSUED FOR THE FOLLOWING PURPOSE ONLY:

<input type="checkbox"/>	PRELIMINARY PLAN REVIEW NO.
<input type="checkbox"/>	FINAL PLAN REVIEW NO.
<input checked="" type="checkbox"/>	PERMIT APPLICATION
<input type="checkbox"/>	ERIGING
<input type="checkbox"/>	CONSTRUCTION

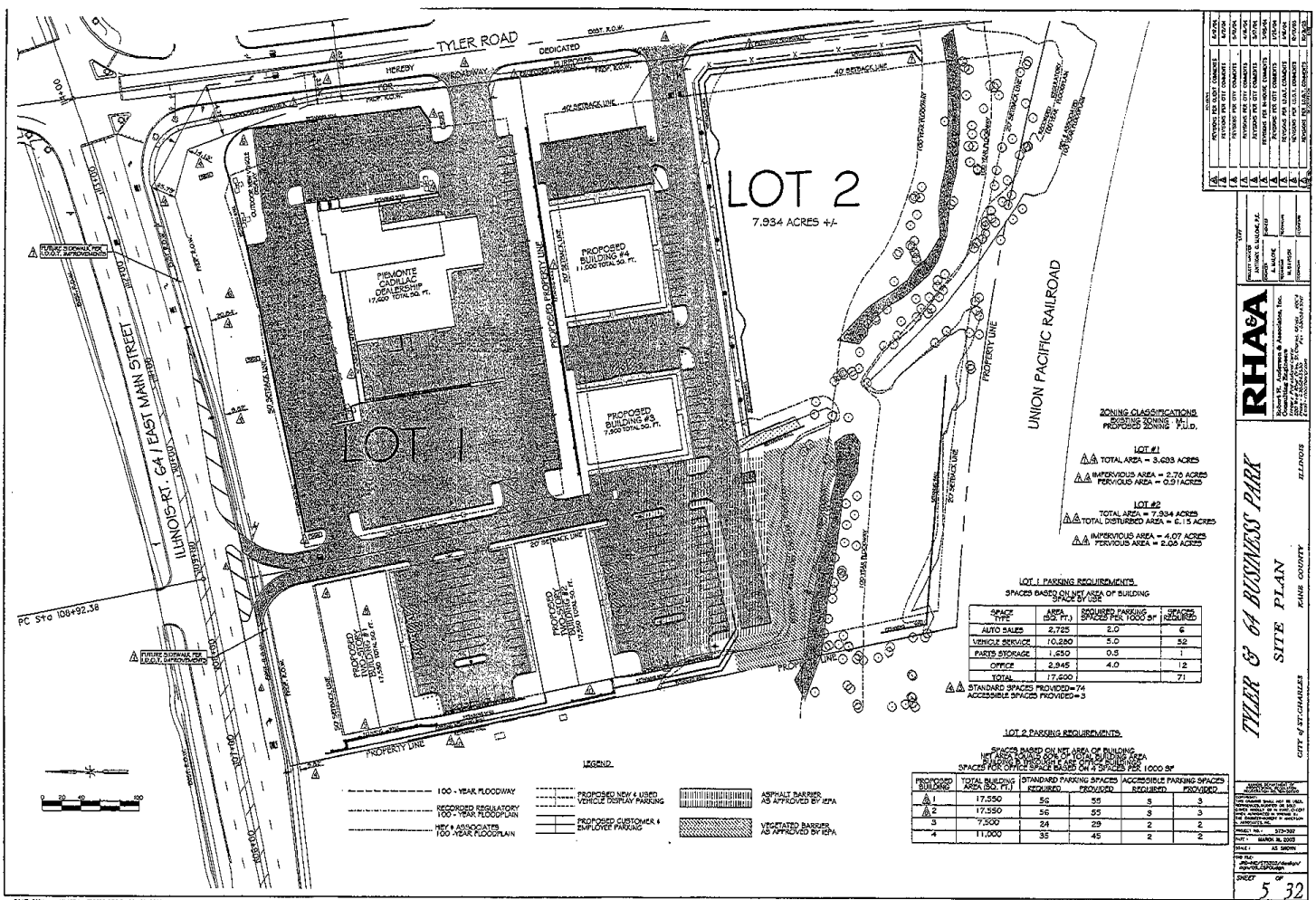
ROBERT H. ANDERSON & ASSOCIATES
 BY: *Robert H. Anderson* DATE: 6/1/04



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION.
 SIGNED AND SEALED ILLINOIS ENGINEER DATE: 6/1/04
 ILLINOIS REG. NO. 1000000000 EXPIRATION DATE 12-31-2005

PROJECT: 673-302

SHEET 1 OF 32



NO.	DESCRIPTION	AREA	PERCENT
1	PERMITTED BY CITY COMMISSION		
2	PERMITTED BY CITY COMMISSION		
3	PERMITTED BY CITY COMMISSION		
4	PERMITTED BY CITY COMMISSION		
5	PERMITTED BY CITY COMMISSION		
6	PERMITTED BY CITY COMMISSION		
7	PERMITTED BY CITY COMMISSION		
8	PERMITTED BY CITY COMMISSION		
9	PERMITTED BY CITY COMMISSION		
10	PERMITTED BY CITY COMMISSION		

ZONING CLASSIFICATIONS
 PREVIOUS ZONING: V.L.D.

▲ TOTAL AREA = 3.633 ACRES
 ▲ IMPERVIOUS AREA = 2.76 ACRES
 ▲ PERVIOUS AREA = 0.873 ACRES

▲ TOTAL AREA = 7.934 ACRES
 ▲ IMPERVIOUS AREA = 4.07 ACRES
 ▲ PERVIOUS AREA = 3.864 ACRES

LOT 1 PARKING REQUIREMENTS

SPACES BASED ON NET AREA OF BUILDING

SPACE TYPE	AREA (SQ. FT.)	REQUIRED SPACES PER 1,000 SF	SPACES PROVIDED
AUTO SALES	2,725	2.0	6
VEHICLE SERVICE	10,880	3.0	32
PARTS STORAGE	1,650	0.5	1
OFFICE	2,945	4.0	12
TOTAL	17,550		71

▲ STANDARD SPACES PROVIDED=74
 ▲ ACCESSIBLE SPACES PROVIDED=3

LOT 2 PARKING REQUIREMENTS

SPACES BASED ON NET AREA OF BUILDING

PROPOSED BUILDING AREA (SQ. FT.)	STANDARD PARKING SPACES REQUIRED	ACCESSIBLE PARKING SPACES REQUIRED	PROVIDED
1	17,550	56	3
2	17,550	56	3
3	17,550	56	2
4	17,550	56	2

SPACES FOR OFFICE SPACE BASED ON 4 SPACES PER 1,000 SF

LEGEND

- 100-YEAR FLOODWAY
- REQUIRED REGULATORY 100-YEAR FLOODPLAIN
- NEW & ASSOCIATES 100-YEAR FLOODPLAIN
- PROPOSED NEW & USED OFFICE/VEHICLE PARKING
- PROPOSED CUSTOMER & EMPLOYEE PARKING
- ASPHALT BARBERS AS APPROVED BY IDPA
- VEGETATED BARBERS AS APPROVED BY IDPA

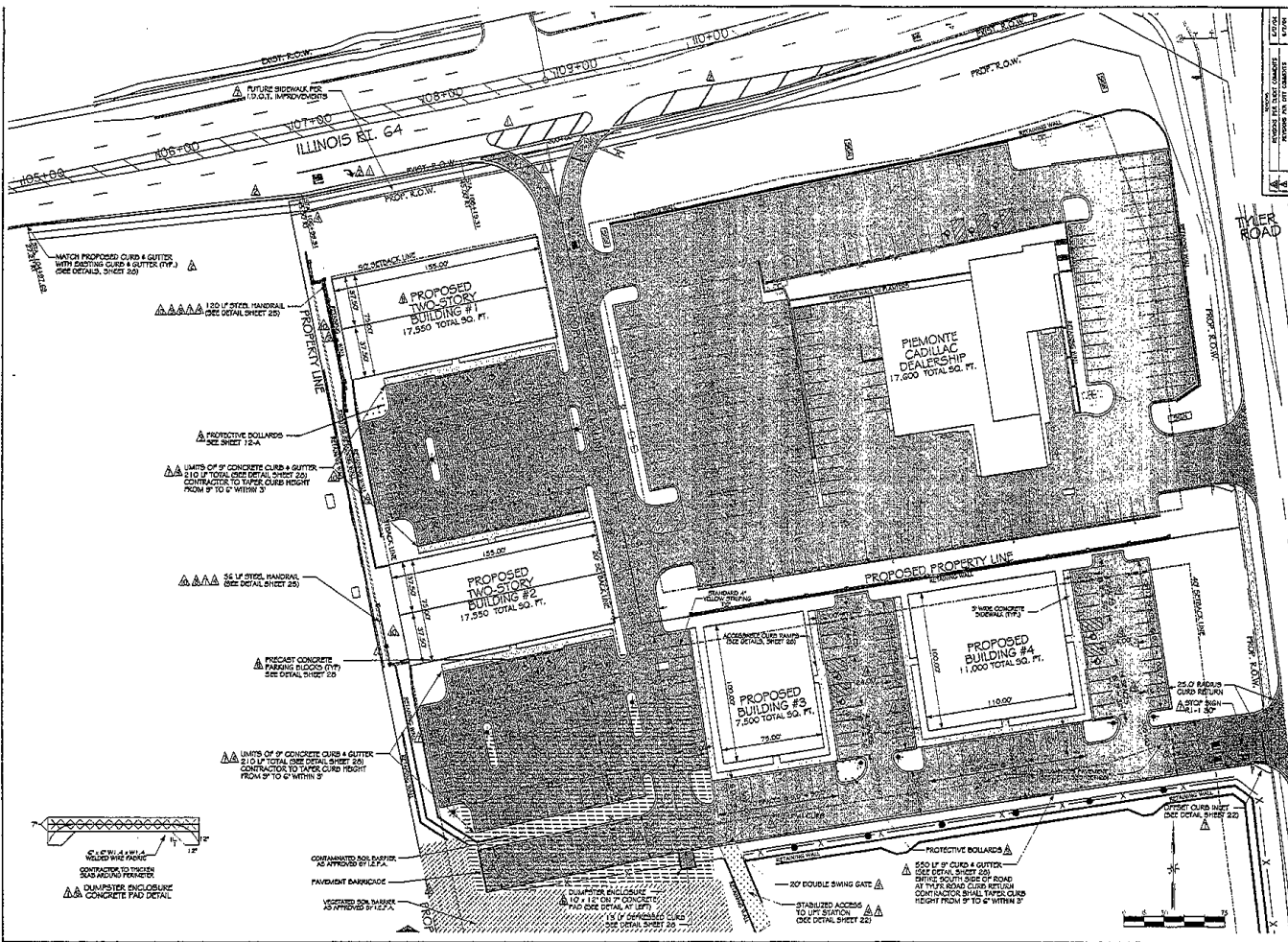
RHA&A
 RICHARD H. ADAMS & ASSOCIATES, INC.
 1100 N. WASHINGTON ST., SUITE 100
 CHICAGO, ILL. 60610
 TEL: 312-329-1000
 FAX: 312-329-1001

TYLER & 64 BUSINESS PARK
 SITE PLAN

CITY OF ST. CHARLES
 ILLINOIS
 KING COUNTY

DATE: 11/10/00
 DRAWN BY: M. J. BROWN
 CHECKED BY: M. J. BROWN
 APPROVED BY: M. J. BROWN

5 32

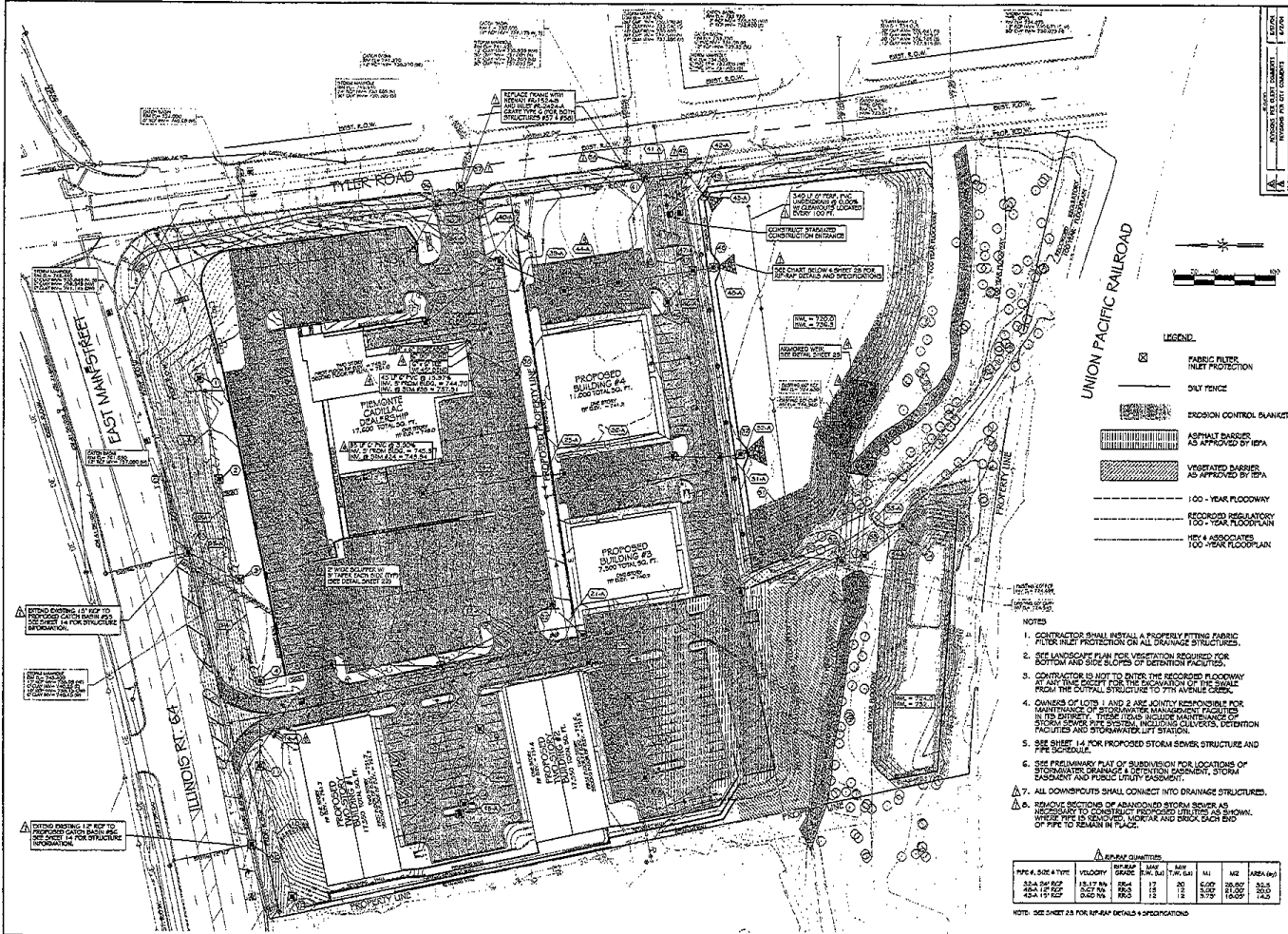


NO.	DESCRIPTION	DATE
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2	ISSUED FOR PERMITS	11/15/2023
3	ISSUED FOR PERMITS	11/15/2023
4	ISSUED FOR PERMITS	11/15/2023
5	ISSUED FOR PERMITS	11/15/2023
6	ISSUED FOR PERMITS	11/15/2023
7	ISSUED FOR PERMITS	11/15/2023
8	ISSUED FOR PERMITS	11/15/2023
9	ISSUED FOR PERMITS	11/15/2023
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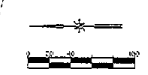
RH&A
 ENGINEERS & ARCHITECTS, INC.
 1000 W. BROADWAY, SUITE 100
 CHICAGO, ILLINOIS 60607
 TEL: (773) 330-1100
 FAX: (773) 330-1101
 WWW.RH&A.COM

**TYLER & 64 BUSINESS PARK
 LOT #3 GEOMETRIC PLAN**
 CITY OF CHICAGO
 DEANE COUNTY
 ILLINOIS

DATE: 11/15/23
 DRAWN BY: J. SMITH
 CHECKED BY: J. SMITH
 SCALE: AS SHOWN
 SHEET NO. 7 OF 32



NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS	08/14/08	JL	AS
2	REVISIONS TO PERMITS	08/14/08	JL	AS
3	REVISIONS TO PERMITS	08/14/08	JL	AS
4	REVISIONS TO PERMITS	08/14/08	JL	AS
5	REVISIONS TO PERMITS	08/14/08	JL	AS
6	REVISIONS TO PERMITS	08/14/08	JL	AS
7	REVISIONS TO PERMITS	08/14/08	JL	AS
8	REVISIONS TO PERMITS	08/14/08	JL	AS
9	REVISIONS TO PERMITS	08/14/08	JL	AS
10	REVISIONS TO PERMITS	08/14/08	JL	AS



- LEGEND**
- FABRIC FILTER INLET PROTECTION
 - SILT FENCE
 - EROSION CONTROL BLANKET
 - ASPHALT BARRIER AS APPROVED BY NEPA
 - VEGETATED BARRIER AS APPROVED BY NEPA
 - 100-YEAR FLOODWAY
 - RECORDED REGULATORY 100-YEAR FLOODPLAIN
 - NEPA ASSOCIATED 100-YEAR FLOODPLAIN

- NOTES**
1. CONTRACTOR SHALL INSTALL A PROPERLY FITTING FABRIC FILTER INLET PROTECTION ON ALL DRAINAGE STRUCTURES.
 2. SEE LANDSCAPE PLAN FOR VEGETATION REQUIRED FOR SECTION AND SIDE SLOPES OF DETENTION FACILITIES.
 3. CONTRACTOR IS NOT TO ENTER THE RECORDED FLOODWAY AT ANY TIME EXCEPT FOR THE MAINTENANCE OF THE SWALE FROM THE OUTFALL STRUCTURE TO 7TH AVENUE CREEK.
 4. OWNERS OF LOTS 1 AND 2 ARE JOINTLY RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL FACILITIES INCLUDING STORM SEWER STRUCTURES, INCLUDING CLEANING, DETENTION FACILITIES AND STORMWATER LIFT STATIONS.
 5. SEE SHEET 14 FOR PROPOSED STORM SEWER STRUCTURE AND PIPE SCHEDULE.
 6. SEE PRELIMINARY PLAN OF SUBMISSION FOR LOCATIONS OF STORMWATER DRAINAGE & DETENTION FACILITIES, STORM BASIN AND PUBLIC UTILITY EASEMENT.
 7. ALL DOWNSTREAMERS SHALL CONNECT INTO DRAINAGE STRUCTURES.
 8. REMOVE SECTIONS OF ABANDONED STORM SEWER AS NECESSARY TO CONSTRUCT PROPOSED UTILITIES AS SHOWN. WHERE NECESSARY, UNBRACE AND BRACK EACH END OF PIPE TO REMAIN IN PLACE.

SEWER QUANTITIES

PIPE #	SIZE & TYPE	VELOCITY	LENGTH (LINE)	AREA (sq ft)	AREA (sq ft)	AREA (sq ft)
1	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
2	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
3	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
4	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
5	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
6	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
7	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
8	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
9	18" x 12" CPVC	1.57	100	1.57	15.7	15.7
10	18" x 12" CPVC	1.57	100	1.57	15.7	15.7

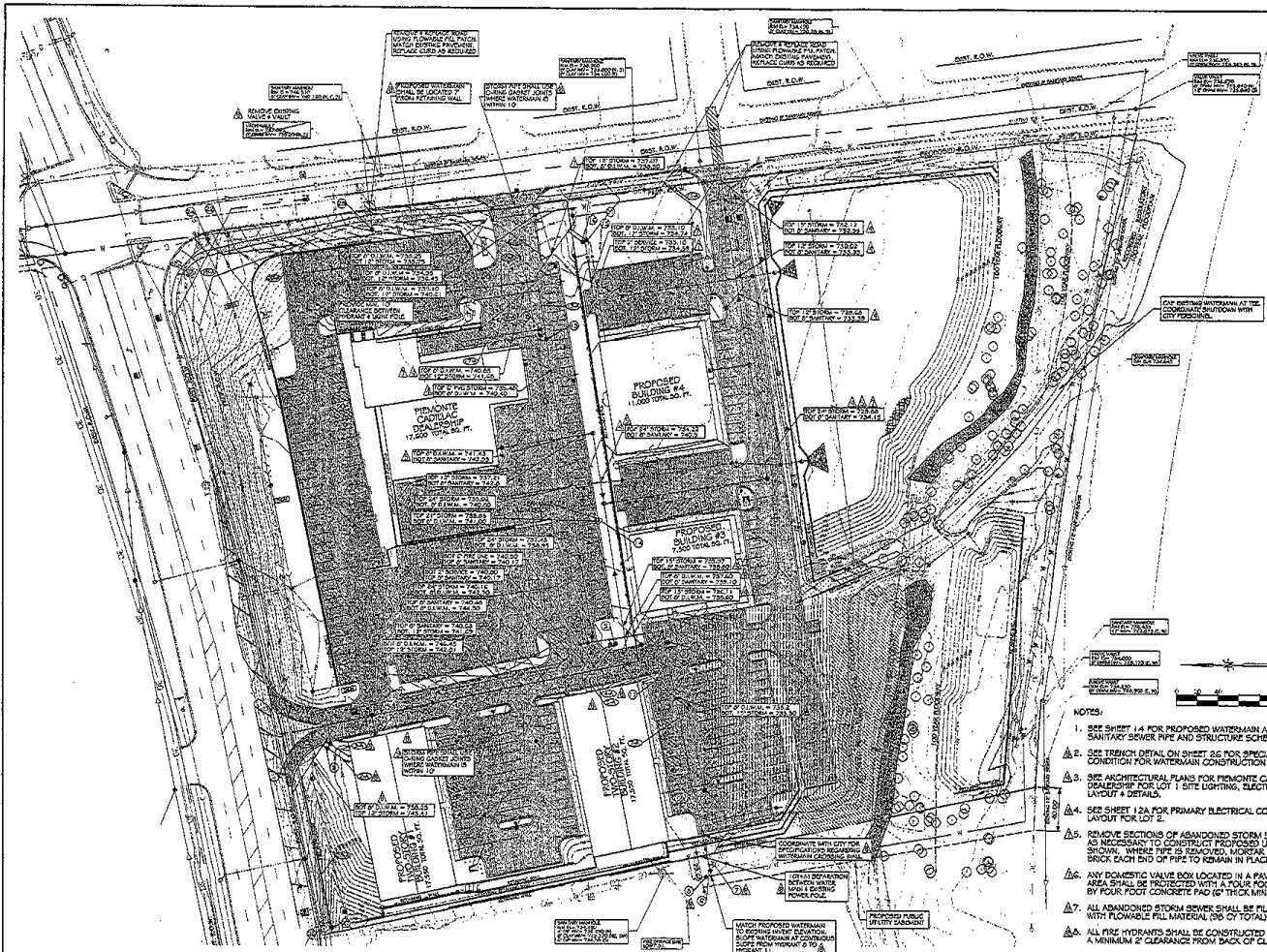
NOTE: SEE SHEET 23 FOR MANY DETAILS & SPECIFICATIONS

RH&A
 CONSULTING ENGINEERS & ARCHITECTS, INC.
 1000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101
 WWW.RH&A.COM

**TYLER & 64 BUSINESS PARK
 STORM SEWER &
 EROSION CONTROL PLAN**

CITY OF STURGEVILLE
 SAGE COUNTY
 ILLINOIS

DATE: 08/14/08
 SHEET: 11 OF 32



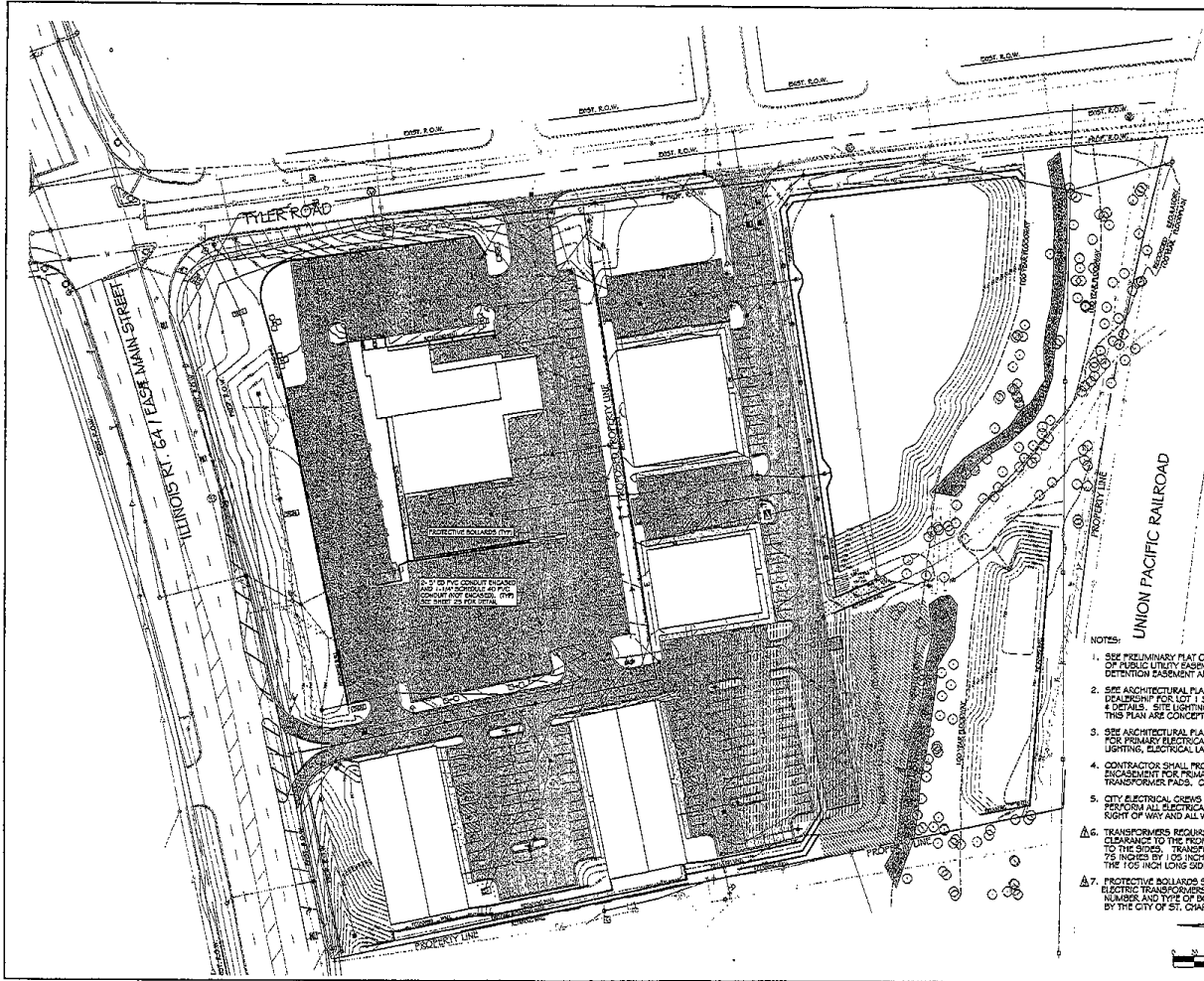
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2	ISSUED FOR PERMITS	11/15/2011
3	ISSUED FOR PERMITS	11/15/2011
4	ISSUED FOR PERMITS	11/15/2011
5	ISSUED FOR PERMITS	11/15/2011
6	ISSUED FOR PERMITS	11/15/2011
7	ISSUED FOR PERMITS	11/15/2011
8	ISSUED FOR PERMITS	11/15/2011
9	ISSUED FOR PERMITS	11/15/2011
10	ISSUED FOR PERMITS	11/15/2011

RH&A
 REGISTERED PROFESSIONAL ENGINEERS
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, COLORADO 80202
 TEL: 303.733.8800
 FAX: 303.733.8801
 WWW.RH&A.COM

TILLER & 64 BUSINESS PARK
 UTILITY PLAN
 KANE COUNTY
 COLORADO

- NOTES:
1. SEE SHEET 14 FOR PROPOSED WATERMAIN AND SANITARY SEWER PIPE AND STRUCTURE SCHEDULES.
 2. SEE TRENCH DETAIL ON SHEET 26 FOR SPECIAL LAYING CONDITION FOR WATERMAIN CONSTRUCTION.
 3. SEE ARCHITECTURAL PLANS FOR PHEMONT CADILLAC DEVELOPMENT FOR LOT 1 SITE LIGHTING, ELECTRICAL LAYOUT & DETAILS.
 4. SEE SHEET 12A FOR PRIMARY ELECTRICAL CONDUIT LAYOUT FOR LOT 5.
 5. REMOVE SECTIONS OF ABANDONED STORM SEWER AS NECESSARY TO CONSTRUCT PROPOSED UTILITIES AS SHOWN. WHERE PIPE IS REMOVED, MORTAR AND BRICK EACH END OF PIPE TO REMAIN IN PLACE.
 6. ANY DOMESTIC VALVE BOX LOCATED IN A PAVED AREA SHALL BE PROTECTED WITH A FOUR FOOT BY FOUR FOOT CONCRETE PAD (6" THICK MINIMUM).
 7. ALL ABANDONED STORM SEWER SHALL BE FILLED WITH FLOWABLE FILL MATERIAL (90 CY TOTAL).
 8. ALL FIRE HYDRANTS SHALL BE CONSTRUCTED WITH A MINIMUM 2' CLEARANCE FROM BACK OF CURB.

DATE	11/15/2011
BY	J. R. HARRIS
CHECKED BY	J. R. HARRIS
SCALE	AS SHOWN
SHEET	12 OF 32



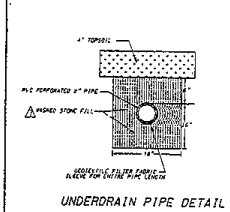
- NOTES:
1. SEE PRELIMINARY PLAN OF SUBDIVISION FOR LOCATIONS OF PUBLIC UTILITY EASEMENT, STORMWATER DRAINAGE & DETENTION EASEMENT AND STORM EASEMENT.
 2. SEE ARCHITECTURAL PLANS FOR MOUNTING CADILLAC ELECTRICAL PAD. LOT 1 SITE LIGHTING, ELECTRICAL LAYOUT & DETAILS. SEE LIGHTING CONDUITS FOR LOT 1 SHOWN ON THIS PLAN ARE CONCEPT ONLY.
 3. SEE ARCHITECTURAL PLANS FOR TYLER & 64 BUSINESS PARK FOR PRIMARY ELECTRICAL SERVICE AND LOT 2 SITE LIGHTING, ELECTRICAL LAYOUT & DETAILS.
 4. CONTRACTOR SHALL PROVIDE ALL CONDUITS AND CONCRETE ENCASUREMENT FOR PRIMARY ELECTRICAL SERVICES AND TRANSFORMER PADS. COORDINATE PAD SIZE WITH UTILITY.
 5. CITY ELECTRICAL CREWS WILL BE RESPONSIBLE TO PERFORM ALL ELECTRICAL WORK WITHIN TYLER ROAD RIGHT OF WAY AND ALL WORKS FOR PRIMARY FEEDS.
 6. TRANSFORMERS REQUIRE EIGHT FEET OF LEVEL GROUND CLEARANCE TO THE FRONT AND FIVE FEET OF LEVEL GROUND TO THE SIDES. TRANSFORMER FOUNDATIONS SHALL BE 70 INCHES BY 100 INCHES. THE FRONT SHALL BE ONE OF THE 100 INCH LONG SIDES.
 7. PROTECTIVE BOLLARDS SHALL BE PROVIDED AROUND ELECTRIC TRANSFORMERS SHOWN ON THE PLAN. SPACING, NUMBER AND TYPE OF BOLLARDS SHALL BE AS REQUESTED BY THE CITY OF ST. CHARLES ELECTRICAL DEPARTMENT.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	12/15/2011
2	ISSUED FOR PERMITS	12/15/2011
3	ISSUED FOR PERMITS	12/15/2011
4	ISSUED FOR PERMITS	12/15/2011
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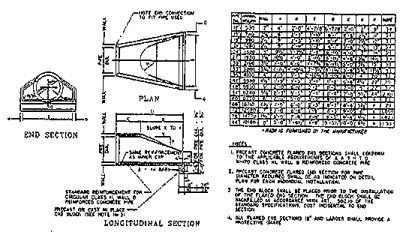
RH&A
 CONSULTING ENGINEERS & ARCHITECTS, INC.
 1001 W. MAIN STREET, SUITE 200
 ST. CHARLES, MISSOURI 63301
 PHONE: (636) 947-8800
 FAX: (636) 947-8801
 WWW.RH&A.COM

TYLER & 64 BUSINESS PARK
ELECTRIC LAYOUT
 CITY OF ST. CHARLES
 ILLINOIS
 KANE COUNTY

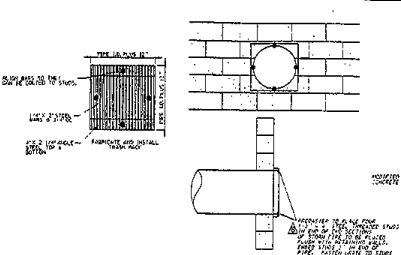
DATE: 12/15/2011
 TIME: 10:00 AM
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SHEET NO. 12A.32



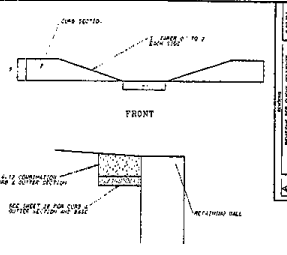
UNDERDRAIN PIPE DETAIL



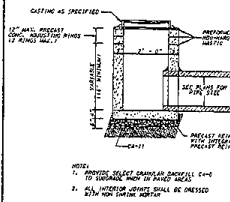
PRECAST CONCRETE FLARED END SECTION



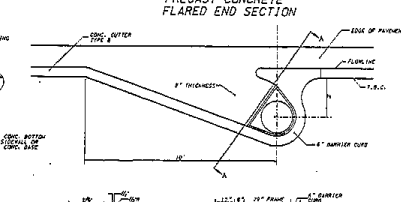
RETAINING WALL TRASH RACK DETAIL



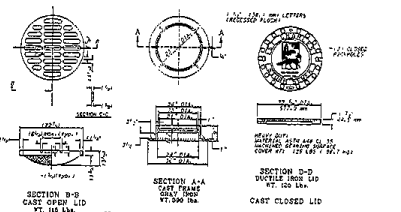
TYPICAL SCUPPER DETAILS



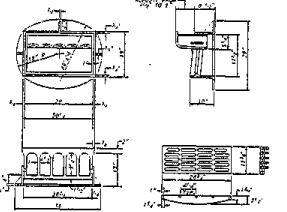
INLET TYPE A



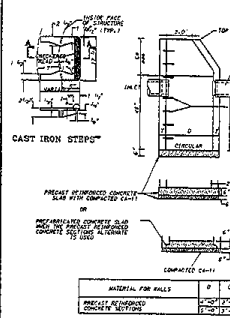
OFFSET CURB INLET



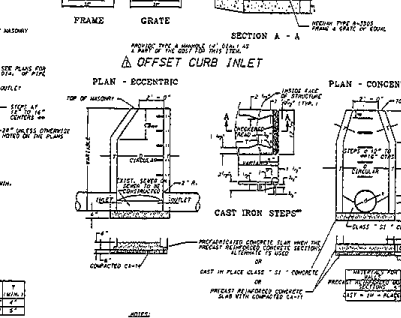
TYPE 1 FRAME AND LID



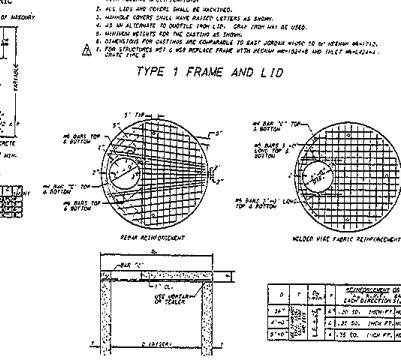
CAST FRAME AND CAST GRATE



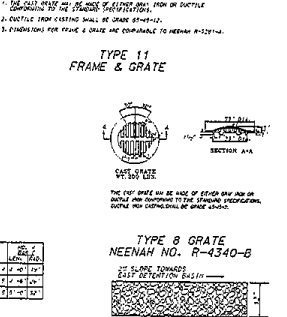
CATCH BASIN TYPE A



MANHOLE TYPE A



PRECAST REINFORCED CONCRETE FLAT SLAB TOP



STABILIZED LIFT STATION ACCESS DETAIL

NOTES:
 1. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 2. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 3. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
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 10. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	PRECAST CONCRETE FLARED END SECTION	1	EA	
2	CAST IRON STEPS	1	EA	
3	CAST IRON GRATE	1	EA	
4	CAST IRON FRAME	1	EA	
5	CAST IRON LID	1	EA	
6	CAST IRON CURB	1	EA	
7	CAST IRON WALKWAY	1	EA	
8	CAST IRON WALKWAY	1	EA	
9	CAST IRON WALKWAY	1	EA	
10	CAST IRON WALKWAY	1	EA	
11	CAST IRON WALKWAY	1	EA	
12	CAST IRON WALKWAY	1	EA	
13	CAST IRON WALKWAY	1	EA	
14	CAST IRON WALKWAY	1	EA	
15	CAST IRON WALKWAY	1	EA	
16	CAST IRON WALKWAY	1	EA	
17	CAST IRON WALKWAY	1	EA	
18	CAST IRON WALKWAY	1	EA	
19	CAST IRON WALKWAY	1	EA	
20	CAST IRON WALKWAY	1	EA	

RHAA
 RICHMOND HEIGHTS AREA AUTHORITY
 10000 W. 120th Street
 Richmond Heights, Ohio 44124
 (216) 281-1000
 FAX (216) 281-1001
 WWW.RHAA.ORG

TYLER & GA BUSINESS PARK
 STORM SEWER DETAILS
 ILLINOIS
 KANE COUNTY
 CITY OF PEORIE

TABLE 1
ROCK RIPRAP SIZES AND THICKNESS (INCHES)

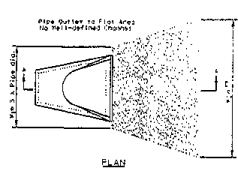
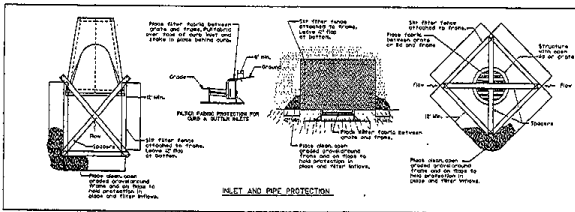
I.D.O.T. CRASH NO.	MIN. TAILWATER	MAX. TAILWATER	MIN. BLANKET THICKNESS
RR-1	5	10	15
RR-2	6	12	18
RR-3	8	14	20
RR-4	10	16	22
RR-5	12	18	24
RR-6	14	20	26
RR-7	16	22	28

1/ CONCRETE BLOCK MAY BE USED TO REPLACE RR-3.

TABLE 2
MINIMUM I.D.O.T. ROCK SIZES AND APRON LENGTH (LA IN FEET) FOR MAXIMUM AND MINIMUM TAILWATER CONDITIONS.

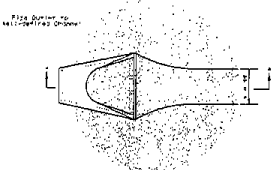
CONDUIT SIZE (INCHES)	MIN. TAILWATER		MAX. TAILWATER	
	5 FPS 1/	10 FPS 1/	5 FPS 1/	10 FPS 1/
12	RR-3	10	RR-3	12
18	RR-3	14	RR-4	14
24	RR-3	16	RR-4	16
30	RR-3	18	RR-4	18
36	RR-4	20	RR-5	20
48	RR-4	24	RR-5	24
60	RR-5	28	RR-6	28
72	RR-5	32	RR-6	32
96	RR-6	40	RR-7	40
120	RR-7	50	RR-7	50

1/ MAXIMUM CONDUIT VELOCITY FPS.



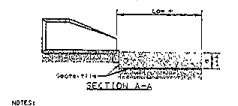
Notes for Pipe Outlet to Flat Area:

- Apron length (LA) shall be determined from Table 2 for minimum tailwater (1.0 ft) conditions or as directed by engineer.
- Apron riprap shall be equal to the size specified plus one (1) size for minimum tailwater (1.0 ft) conditions plus one (1) size for maximum tailwater (10 ft) conditions.
- Thickness (T) shall be determined from Table 1 for the I.D.O.T. condition indicated by Table 2.



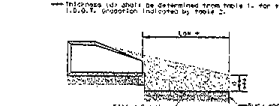
Notes for Pipe Outlet to Channel:

- Apron length (LA) shall be determined from Table 2 for minimum tailwater (1.0 ft) conditions or as directed by engineer.
- Apron riprap shall be equal to the size specified plus one (1) size for minimum tailwater (1.0 ft) conditions plus one (1) size for maximum tailwater (10 ft) conditions.
- Thickness (T) shall be determined from Table 1 for the I.D.O.T. condition indicated by Table 2.



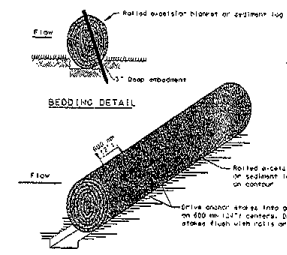
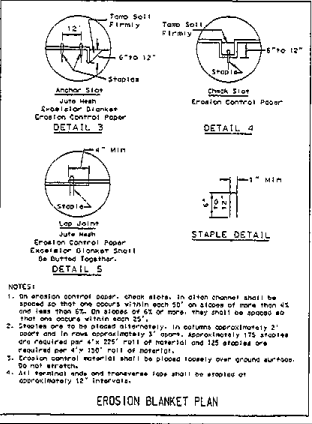
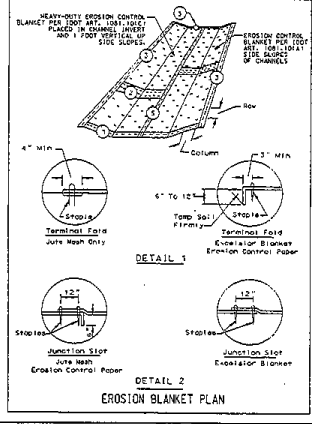
Notes for Section A-A:

- The filter fabric shall meet the requirements in I.D.O.T. Article Specification 108.05.
- The riprap shall meet the requirements in I.D.O.T. Article Specification 108.05.
- The riprap shall be placed according to I.D.O.T. Article Specification 108.05.



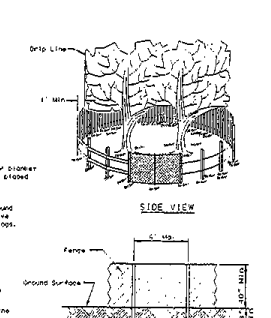
Notes for Section A-A:

- The filter fabric shall meet the requirements in I.D.O.T. Article Specification 108.05.
- The riprap shall meet the requirements in I.D.O.T. Article Specification 108.05.
- The riprap shall be placed according to I.D.O.T. Article Specification 108.05.



Notes for Bedding Detail:

- Each rolled excelsior blanket or settlement log shall be placed on the top of logs or on the contour.
- Each rolled excelsior blanket or settlement log shall be recessed in the soil a minimum of 3".
- Rolled excelsior blankets or settlement logs shall be secured, anchored in place by wood or metal stakes driven with the mesh covering of the rolls on the downstream side and driven with the direction of the flow. Wood stakes shall be 25 mm (1") square minimum. Metal stakes shall be 25 mm (1") diameter minimum. Anchor stakes shall be 1.2 m (4') minimum length. Drive anchor flush with rolls or logs on 600 mm (24") centers.
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.
- Rolled excelsior blankets or settlement logs shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



Notes for Tree Protection - Fencing:

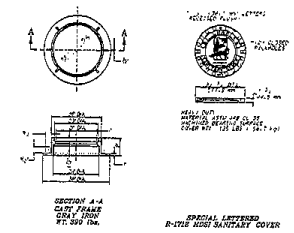
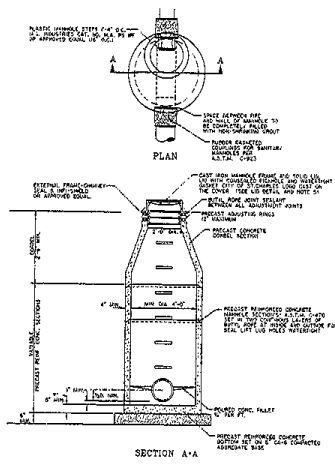
- The fence shall be located a minimum of 1 foot outside the drip line of the tree to be saved and in no case closer than 3 feet to the trunk of any tree.
- Fence shall be set on either side of the tree and shall be secured with a minimum cross-sectional area of 2.0 sq. in.
- The fence may be either of 1/2" x 1/2" steel pipe, 1/2" x 1/2" x 1/2" galvanized iron pipe or any other material as directed by the engineer's inspector.

RHAA
REGISTERED PROFESSIONAL ARCHITECTS AND ENGINEERS
ILLINOIS
64 BUSINESS PARK
TYLER & 64 BUSINESS PARK
EROSION CONTROL DETAILS
CITY OF ST. CHARLES
STATE OF MISSOURI

PROJECT NO. 23300000000000000000
DATE: 08/11/2004
SCALE: AS SHOWN
SHEET NO. 24 OF 32

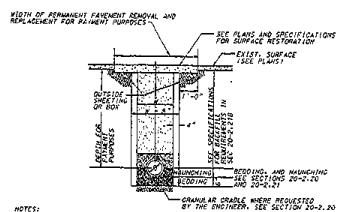
NOTES:

1. ALL SEWER CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND ALL COMMENTS AND NOTATIONS THEREON, WITH THE "SPECIAL PROVISIONS" SPECIFICATIONS OF THIS PROJECT, AND ANY ADDITIONAL NOTES OVER THE PROJECT.
2. GRADE AND FOUNDATION AND BACKFILL DRAIN SECTIONS FOR SANITARY WATER AND SEWER SHALL ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.
3. GRADE AND FOUNDATION AND INITIAL BACKFILL SHALL BE CLASSIFIED AS PER THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND ALL COMMENTS AND NOTATIONS THEREON, WITH THE "SPECIAL PROVISIONS" SPECIFICATIONS OF THIS PROJECT, AND ANY ADDITIONAL NOTES OVER THE PROJECT.
4. ALL SANITARY SEWER PIPE SHALL BE DUCTILE IRON CLASS 42 OR POLYETHYLENE GLASS REINFORCED PIPE, THE CONNECTION TO BE MADE WITH FLEXIBLE ELASTOMERIC SEALED JOINTS CONFORMING TO ASTM D2688.
5. STRUCTURES FOR SANITARY SEWERS SHALL BE IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE APPLICABLE STANDARD SPECIFICATIONS. MORE DETAILED TECHNICAL DETAILS IS REQUIRED THROUGH THESE STRUCTURES. THE COST SHALL BE CONSIDERED AS IDENTICAL AND SHALL BE INCLUDED IN THE CONTRACT BIDDING PRICE FOR THE STRUCTURE.
6. EXCEPT WHERE INDICATED OTHERWISE IN THE PLANS, ALL MANHOLES SHALL HAVE A FRAME CONFORMING TO THE CITY OF ST. CHARLES. ALL LIDS SHALL BE NEIGH R-1115 OF 18" DIA TYPE "B" SELF SEALING WITH A CONCRETE FRAME AND "SHEETMETAL" AND "CITY OF ST. CHARLES" CAST INTO THE TOP SURFACE TO IDENTIFY THE LID.
7. STEPS SHALL BE INSTALLED IN ALL SANITARY MANHOLES ON 18" DIAMETERS THROUGHOUT THE ENTIRE PROJECT.
8. PROVIDE A DETENTION JOINTING COMPONG APPROVED BY THE CITY OF ST. CHARLES AND NON-CORROSIVE MATERIAL TO ALL JOINTS TO PREVENT THE INFILTRATION IN ALL SANITARY MANHOLES.
9. SANITARY SEWERS SHALL BE TESTED FOR LEAKAGE BY THE CONTRACTOR, WITH THE PRESENCE OF A REPRESENTATIVE OF THE PROJECT, ACCORDING TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS WITH THE "SPECIAL PROVISIONS" SPECIFICATIONS OF THIS PROJECT, AND ANY ADDITIONAL NOTES OVER THE PROJECT. THE COST SHALL BE CONSIDERED AS IDENTICAL AND SHALL BE INCLUDED IN THE CONTRACT BIDDING PRICE FOR THE STRUCTURE.
10. ALL SURPLUS EXCAVATION MATERIAL FROM THE TRENCH WILL BE PROPERLY DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.
11. THE CONTRACTOR SHALL MARK THE TOP OF ALL SANITARY SERVICE LINES WITH 1/2" DIA YELLOW PAINT MARKS TO BE PLACED ON THE TOP OF THE COVER. THE EXPOSED PORTION SHALL BE PAINTED YELLOW.
12. THE CONTRACTOR SHALL MARK THE TOP OF ALL SANITARY SERVICE LINES WITH 1/2" DIA YELLOW PAINT MARKS TO BE PLACED ON THE TOP OF THE COVER. THE EXPOSED PORTION SHALL BE PAINTED YELLOW.
13. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY COPING OR SANITIZING THE EXISTING STRUCTURE. BREAKING INTO STRUCTURES WILL NOT BE PERMITTED.



**TYPE A FRAME AND LID (SANITARY)
CITY OF ST. CHARLES**

1. DUCTILE IRON COUPLERS SHALL BE TESTED IN-PIPE AND SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
2. ALL LIDS AND FRAMES SHALL BE PAINTED.
3. FRAMES SHALL BE CAST WITH A SELF SEALING LID.
4. ALL LIDS SHALL BE CAST WITH A SELF SEALING LID.

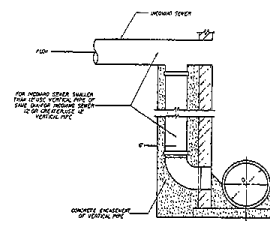


- NOTES:**
1. FOR MANHOLE TRENCH WIDTH "W" AT TOP OF CONDUIT SEE SECTION 20-2.03.
 2. TRENCH BED SHALL NOT EXTEND BELOW TOP OF PIPE UNLESS OTHERWISE SPECIFIED.
 3. LIMITS FOR PLACING FOR PERMANENT PURPOSES ARE AS SHOWN. SEE TABLE 20-2.03 WILL BE EXCEEDED AS SPECIFIED BY ALL EXISTING OR EXISTING STRUCTURE SHALL BE IDENTIFIED BY THE CONTRACTOR.
 4. ALL REFERENCES TO SECTION 20-2.03 ARE MADE TO THIS SECTION IN THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
 5. ALL MANHOLES SHALL BE CONSTRUCTED WITH CONCRETE OR BRICK OR TERRAZZO OR POLYETHYLENE GLASS REINFORCED PIPE. THE TOP OF THE FRAME SHALL BE CAST INTO THE TOP OF THE CONCRETE OR BRICK OR TERRAZZO OR POLYETHYLENE GLASS REINFORCED PIPE. THE TOP OF THE FRAME SHALL BE CAST INTO THE TOP OF THE CONCRETE OR BRICK OR TERRAZZO OR POLYETHYLENE GLASS REINFORCED PIPE.

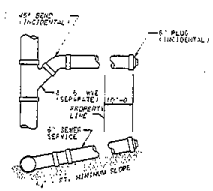
**TYPICAL DETAIL OF CONDUIT INSTALLATION
(SANITARY SEWER, STORM SEWER AND WATER MAIN)**

**TYPE A SANITARY MANHOLE
CITY OF ST. CHARLES**

1. REINFORCEMENT SHALL BE PLACED IN THE CONCRETE FRAME AND SHALL BE CAST INTO THE TOP OF THE CONCRETE FRAME.
2. CONCRETE FRAME SHALL BE CAST WITH A SELF SEALING LID.
3. REINFORCEMENT SHALL BE PLACED IN THE CONCRETE FRAME AND SHALL BE CAST INTO THE TOP OF THE CONCRETE FRAME.
4. REINFORCEMENT SHALL BE PLACED IN THE CONCRETE FRAME AND SHALL BE CAST INTO THE TOP OF THE CONCRETE FRAME.
5. REINFORCEMENT SHALL BE PLACED IN THE CONCRETE FRAME AND SHALL BE CAST INTO THE TOP OF THE CONCRETE FRAME.



DROP MANHOLE CONNECTION



- NOTES:**
1. ALL SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND ALL COMMENTS AND NOTATIONS THEREON, WITH THE "SPECIAL PROVISIONS" SPECIFICATIONS OF THIS PROJECT, AND ANY ADDITIONAL NOTES OVER THE PROJECT.
 2. ALL SERVICES SHALL BE TESTED FOR LEAKAGE BY THE CONTRACTOR, WITH THE PRESENCE OF A REPRESENTATIVE OF THE PROJECT, ACCORDING TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS WITH THE "SPECIAL PROVISIONS" SPECIFICATIONS OF THIS PROJECT, AND ANY ADDITIONAL NOTES OVER THE PROJECT. THE COST SHALL BE CONSIDERED AS IDENTICAL AND SHALL BE INCLUDED IN THE CONTRACT BIDDING PRICE FOR THE STRUCTURE.

SANITARY SERVICE

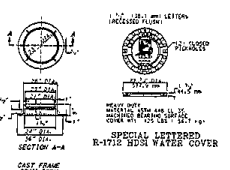
NO.	REVISION	DATE	BY	DESCRIPTION
1				
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8				
9				
10				

RHAA
REGISTERED PROFESSIONAL ARCHITECT
1111 N. WASHINGTON ST., SUITE 100
ST. CHARLES, ILLINOIS 62201
PHONE: (618) 735-1111
FAX: (618) 735-1112

TYLER & GA BUSINESS PARK
SANITARY SEWER DETAILS
ILLINOIS
STATE OF ILLINOIS
COUNTY OF ST. CHARLES

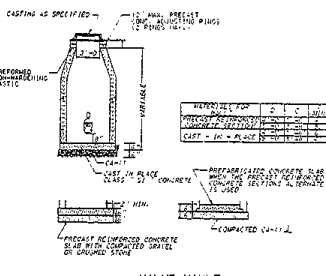
NO.	REVISION	DATE	BY	DESCRIPTION
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Minimum Restraint Lengths (in feet) from both sides of fitting	1"		2"		3"		4"		5"	
10 Degree Bend	17	15	12	9	10	12	14	17	15	12
45 Degree Bend	17	10	12	15	19	24				
90 Degree Bend	7	7	7	7	7	7	7	7	7	7
11.25 Degree Bend	19	15	13	11	10	13	14			
100 Degree Vertical Offset	14	21	20	26	36	43	55			
Bottom Side Vertical Offset	4	6	8	10	11	15				
Top Run 2 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 3 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 4 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 5 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 6 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 7 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 8 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 9 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 10 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 11 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 12 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 13 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 14 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 15 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 16 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 17 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 18 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 19 Branch	6	7	7	7	7	7	7	7	7	7
Top Run 20 Branch	6	7	7	7	7	7	7	7	7	7

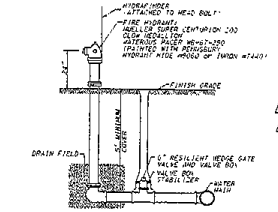


- NOTES:**
1. DUCTILE IRON CASTING SHALL BE GRADE 45-18 AND SHALL BE TESTED IN ACCORDANCE WITH TESTING SPECIFICATIONS.
 2. ALL LIDS AND COVERS SHALL BE MACHINED.
 3. HANDLE COVERS SHALL HAVE RAISED LETTERS AS SHOWN.
 4. AS AN ALTERNATE TO DUCTILE IRON LID, GRAY IRON MAY BE USED.
 5. DIMENSIONS FOR THE CASTING ARE SHOWN.
 6. DIMENSIONS FOR FRAMES ARE COMPATIBLE TO NECHAM H-1530. LIDS SHALL BE NECHAM H-1712 OR H-1510 TYPE B WITH CORNERED PLUG HOLES.

TYPE 1 FRAME AND LID

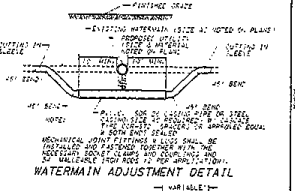


VALVE VAULT

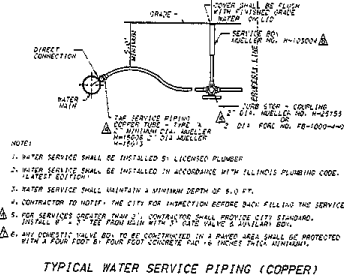


- NOTES:**
1. THE HYDRANT SHALL NOT BE CLOSER THAN 2 FEET FROM GRADE OR SIDE OF SIDEWALK.
 2. ALL JOINTS FROM THE HYDRANT TO THE MAIN SHALL BE DETACHED WITH MECHANICAL OR QUALITY WELDING CONNECTIONS OR APPROVED EQUIV. IN ACCORDANCE WITH THE CITY ENGINEER'S OFFICE. THE HYDRANT SHALL BE DETACHED WITH THE CITY ENGINEER'S OFFICE. THE HYDRANT SHALL BE DETACHED WITH THE CITY ENGINEER'S OFFICE.
 3. ALL JOINTS ON GRADE FACTORY INSTALLED SHALL BE STAINLESS STEEL GRADE 304.
 4. HYDRANTS MAY ONLY HAVE ONE 1 1/2" EXTENSION I.F.F.

TYPICAL HYDRANT INSTALLATION



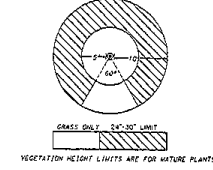
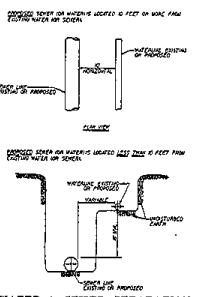
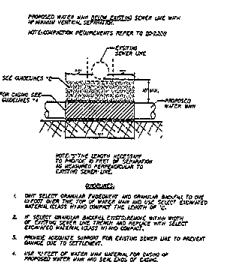
WATERMAIN ADJUSTMENT DETAIL



- NOTES:**
1. WATER SERVICE SHALL BE INSTALLED BY LICENSED PLUMBER.
 2. WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS PLUMBING CODE.
 3. WATER SERVICE SHALL MAINTAIN A MINIMUM DEPTH OF 8.0 FT.
 4. CONTRACTOR TO NOTIFY THE CITY FOR INSPECTION BEFORE BACK FILLING THE SERVICE.
 5. FOR SERVICES DEEPER THAN 2 FT., CONTRACTOR SHALL PROVIDE CITY STANDARD JOINTS AT 10' INTERVALS WITH 3" GATE VALVE & SHUTTER BODY.
 6. ALL DOMESTIC WATER PIPING TO BE CONTAINED IN A PAVED AREA SHALL BE PROTECTED WITH A FOUR FOOT BY FOUR FOOT CONCRETE CURB & TRUCK TRUCK MINIMUM.

TYPICAL WATER SERVICE PIPING (COPPER)

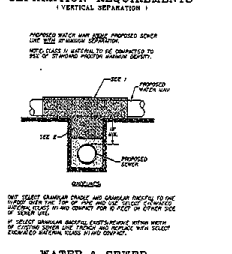
WATER MAIN RESTRAINT



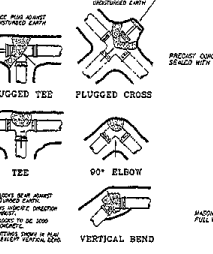
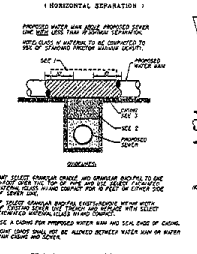
- VEGETATION RESTRICTIONS**
1. AN AREA AROUND THE HYDRANT 8 FEET IN DIAMETER SHALL REMAIN FREE OF ALL VEGETATION EXCEPT FOR GRASS.
 2. AN AREA AROUND THE HYDRANT FROM 1 FEET TO 10 FEET MAY HAVE VEGETATION WITH A MAX. TO 30" HEIGHT EXCEPT FOR TREES WITHIN THE AREA IN FRONT OF THE HYDRANT CREATING A 60° ARC.

PLANTING GUIDELINES

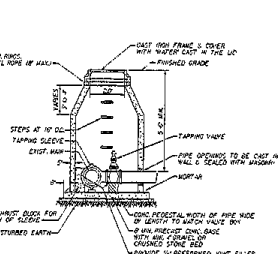
WATER & SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)



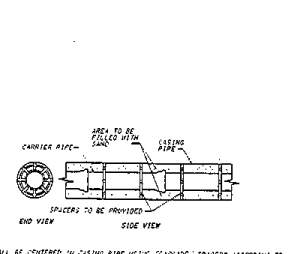
WATER & SEWER SEPARATION REQUIREMENTS (HORIZONTAL SEPARATION)



TYPICAL THRUST BLOCK INSTALLATIONS



VALVE VAULT BARREL SECTION SHALL CONFORM TO ASTM C-478 PRESSURE CONNECTION VAULT



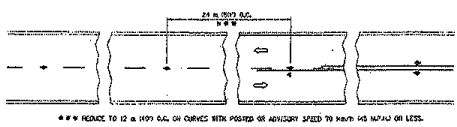
PVC WATERMAIN CASING PIPE AND SPACERS

RH&A
 CONSULTING ENGINEERS, ARCHITECTS, PLUMBERS, ELECTRICIANS, MECHANICAL CONTRACTORS, AND SPECIALTIES
 1100 N. WASHINGTON ST., SUITE 200, CHICAGO, ILL. 60610
 TEL: (312) 467-1000 FAX: (312) 467-1001
 WWW.RH&A.COM

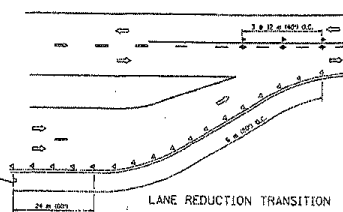
TYLER & 64 BUSINESS PARK
 WATER SYSTEM DETAILS
 CITY OF CHICAGO
 ILLINOIS

DATE: 08/17/2004
 DRAWING NO: W-000003-000000-01-000000
 SHEET: 27 OF 32

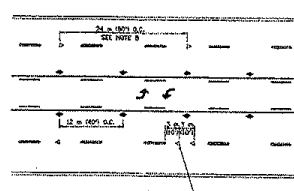
NO.	SECTION	QUANTITY	UNIT
1	REFLECTIVE PAINT	100	SQ. YD.
2	PAVEMENT MARKING	100	LINEAL FT.
3	PAVEMENT MARKING	100	LINEAL FT.
4	PAVEMENT MARKING	100	LINEAL FT.
5	PAVEMENT MARKING	100	LINEAL FT.
6	PAVEMENT MARKING	100	LINEAL FT.
7	PAVEMENT MARKING	100	LINEAL FT.
8	PAVEMENT MARKING	100	LINEAL FT.
9	PAVEMENT MARKING	100	LINEAL FT.
10	PAVEMENT MARKING	100	LINEAL FT.



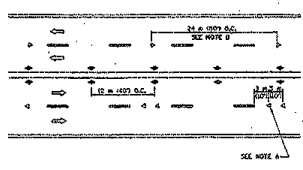
TWO-LANE/TWO-WAY



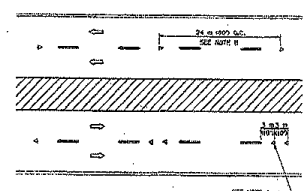
LANE REDUCTION TRANSITION



TWO-WAY LEFT TURN



MULTI-LANE/UNDIVIDED



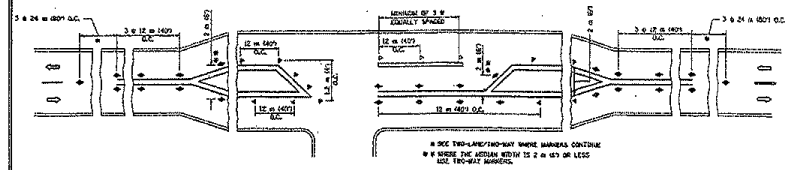
MULTI-LANE/DIVIDED

GENERAL NOTES

1. MARKERS USED WITH DASHED LINES SHALL BE CENTERED IN THE GAP BETWEEN SEGMENTS.
 2. MARKERS USED ADJACENT TO SOLID LINES SHALL BE OFFSET 50 TO 75 TO 31 TOWARD TRAFFIC AS SHOWN.
 3. MARKERS THROUGH TRAFFIC'S LEFT TURN OR A BODY IN LENGTH BETWEEN CURVES SHALL BE INSTALLED AT THE LEADER OF THE TWO CURVE SPANNERS.
- LANE MARKER NOTES
1. SPACING TO 12 m (40 ft) O.C. ON CURVES WHERE ADVISORY SPEEDS ARE 30 MPH OR AHEAD LOWER THAN POSTED SPEEDS.
 2. USE DOUBLE LANE LANE MARKERS SPACED AS SHOWN.

SYMBOLS

- YELLOW STRIPE
- WHITE STRIPE
- ONE-WAY ARROW MARKER
- ONE-WAY CRYSTAL MARKER (LEFT)
- TWO-WAY ARROW MARKER



LEFT TURN

ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

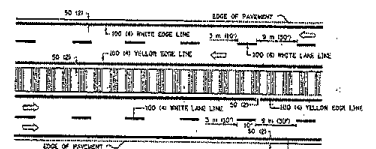
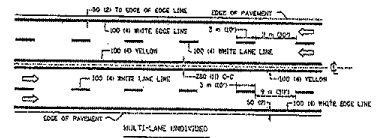
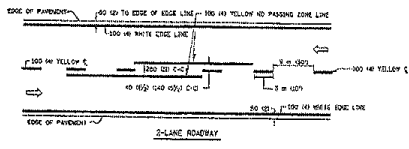
ILLINOIS DEPARTMENT OF TRANSPORTATION
TYPICAL APPLICATIONS
RAISED REFLECTIVE PAVEMENT MARKERS
(SHOW-FLUO RESISTANT)

SCALE: 1/8" = 1'-0"
DATE: 10/18/2000
DRAWN BY: CMB
CHECKED BY:

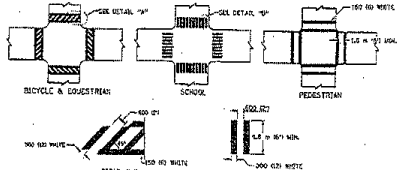
RHA
RHEINBERG & HARRIS, P.A.
INCORPORATED
100 N. LAUREL ST.
CHICAGO, IL 60602
TEL: 312.541.1000
FAX: 312.541.1001
WWW.RHA.COM

TYLER & 64 BUSINESS PARK
IDOT DISTRICT 1 PAVEMENT
MARKING DETAILS
CITY OF ST. CHARLES
KANE COUNTY
ILLINOIS

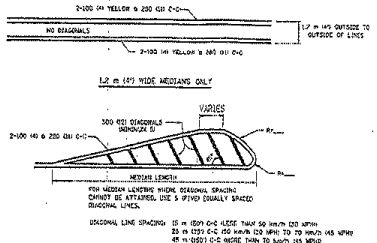
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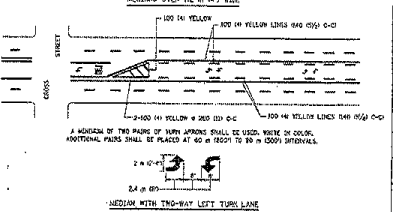
TYPICAL LANE AND EDGE LINE MARKING



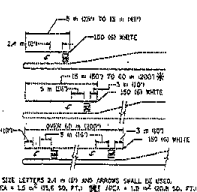
TYPICAL CROSSWALK MARKING



TYPICAL ISLAND MARKING



TYPICAL PAINTED MEDIAN MARKING



TYPICAL LEFT (OR RIGHT) TURN LANE MARKING

TYPE OF MARKING	WIDTH OF LINE	PATTERN	COLOR	SPACING / REMARKS
CENTRAL LINE ON 2 LANE PAVEMENT	300 (4)	SP-SPASH	YELLOW	2" W. 100' LINE WITH 4" W. 100' SPACE
CENTRAL LINE ON MULTI-LANE UNDIVIDED PAVEMENT	2" x 100' (4)	SOLID	YELLOW	100' (10) C-C
NO PASSING ZONE LINES FOR BOTH DIRECTIONS	100 (5) x 2" x 100' (4)	SOLID	YELLOW	100' (10) C-C FROM SP-SPASH CENTRAL LINE. 3" W. SP-SPASH CENTRAL LINE. 3" W. 100' LINE WITH 3" W. 100' SPACE
LANE LINES	100 (5) x 100' (4)	SP-SPASH	WHITE	100' (10) C-C
SHOULDER LINES (EXCEPTIONS OF CENTER LANE OR TURN LANE MARKINGS)	100 (5) x 100' (4)	SP-SPASH	WHITE	100' (10) C-C
EDGE LINES	100 (4)	SOLID	YELLOW-LEFT WHITE-RIGHT	100' (10) C-C WITH 10' W. 100' SPACE
TURN LANE MARKINGS	100 (4) x 100' (4)	SOLID	WHITE	SEE TYPICAL TURN LANE MARKING DETAIL
TWO WAY LEFT TURN MARKING	2.4" x 100' (4)	SP-SPASH	YELLOW	3" W. 100' LINE WITH 3" W. 100' SPACE FOR TURN LANE. 3" W. 100' LINE WITH 3" W. 100' SPACE FOR TURN LANE. 3" W. 100' LINE WITH 3" W. 100' SPACE FOR TURN LANE.
ONE-WAY LEFT TURN MARKING	2.4" x 100' (4)	SP-SPASH	WHITE	SEE TYPICAL ONE-WAY LEFT TURN MARKING DETAIL
STOP LINES	100 (4)	SOLID	WHITE	100' (10) C-C WITH 10' W. 100' SPACE
PAINTED MEDIAN	2.4" x 100' (4)	SOLID	YELLOW	100' (10) C-C WITH 10' W. 100' SPACE
LANE MARKINGS AND DIVIDING LINES	100 (4) x 100' (4)	SOLID	WHITE	100' (10) C-C WITH 10' W. 100' SPACE
RAILROAD CROSSING	100 (4) x 100' (4)	SOLID	WHITE	100' (10) C-C WITH 10' W. 100' SPACE
SHOULDER MARKINGS	100 (4) x 100' (4)	SOLID	WHITE	100' (10) C-C WITH 10' W. 100' SPACE

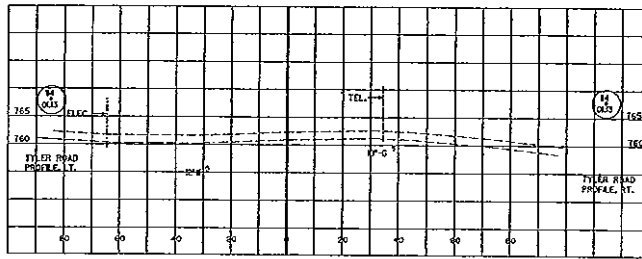
ILLINOIS DEPARTMENT OF TRANSPORTATION
DISTRICT ONE
TYPICAL PAVEMENT MARKINGS

NO.	SECTION	DATE	BY
1	GENERAL	10/1/00	CEG
2	REVISION	10/1/00	CEG
3	REVISION	10/1/00	CEG
4	REVISION	10/1/00	CEG
5	REVISION	10/1/00	CEG
6	REVISION	10/1/00	CEG
7	REVISION	10/1/00	CEG
8	REVISION	10/1/00	CEG
9	REVISION	10/1/00	CEG
10	REVISION	10/1/00	CEG

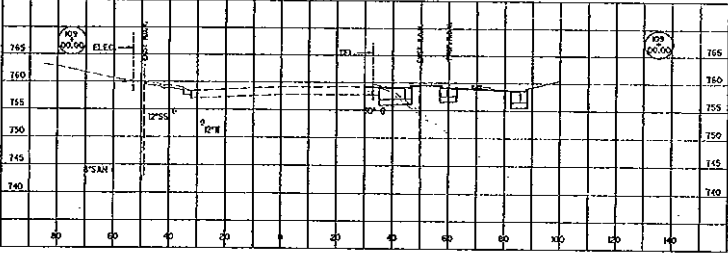
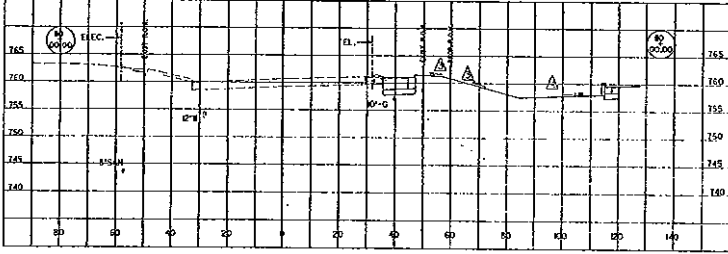
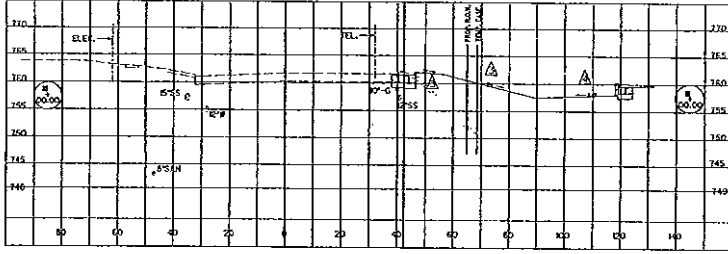
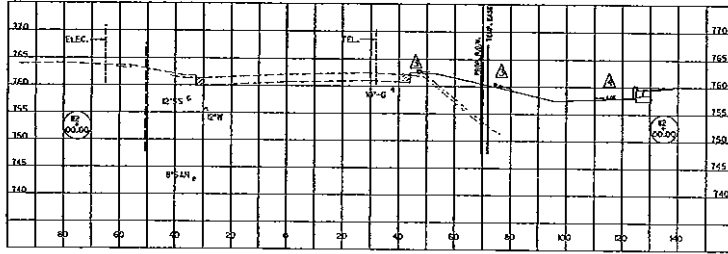
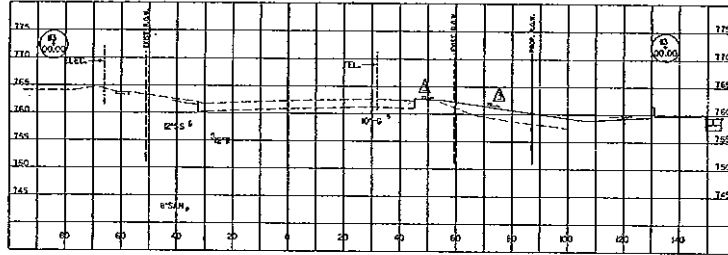
RH&A
CONSULTING ENGINEERS, ARCHITECTS, INC.
1100 N. WASHINGTON ST., SUITE 100
CHICAGO, ILLINOIS 60610
TEL: (312) 467-1000
FAX: (312) 467-1001
WWW.RH&A.COM

TYLER & CHAMBERS PAVEMENT MARKING DETAILS
ILLINOIS DEPARTMENT OF TRANSPORTATION
DISTRICT ONE
TYPICAL PAVEMENT MARKINGS

PROJECT: TYLER & 64 BUSINESS PARK CROSS SECTIONS



END PROJECT STA. 113+79.12



--- EXISTING
 - - - PROPOSED

SCALE:
 HORIZONTAL: 1" = 10'
 VERTICAL: 1" = 20'

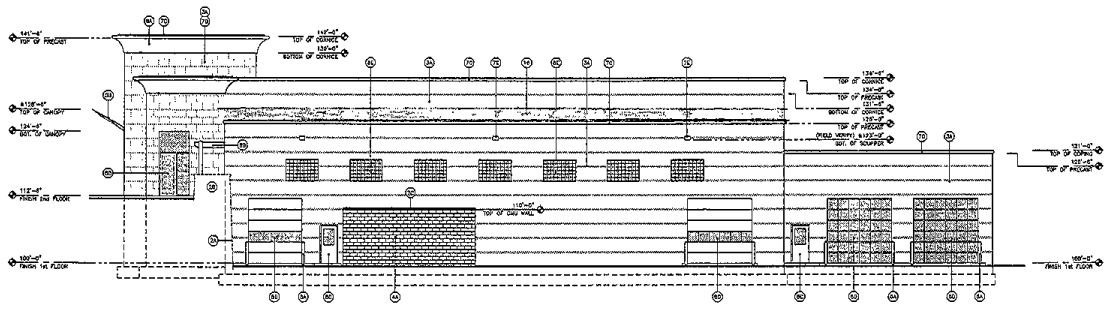
32 32

TYLER & 64 BUSINESS PARK
ROUTE 64 PROPOSED
CROSS SECTIONS
 CITY OF ST. CHARLES KANE COUNTY ILLINOIS

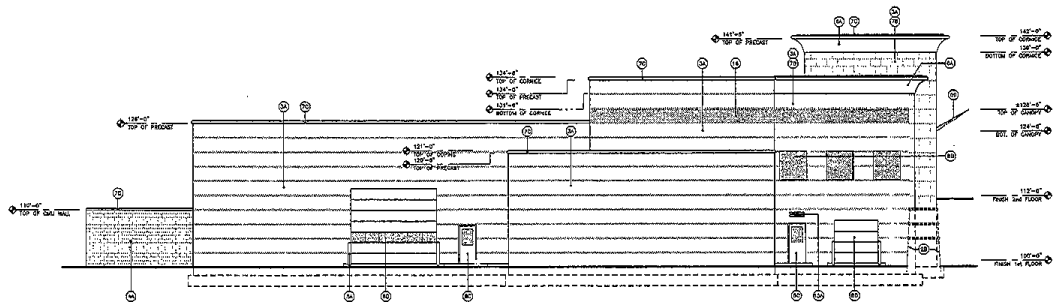
RHA&A
 Robert H. Anderson & Associates, Inc.
 Consulting Engineers
 1100 N. Wacker Drive, Suite 1000
 Chicago, IL 60606-4000
 Phone: (312) 467-1000 Fax: (312) 467-1001

PROJECT MANAGER	ANTHONY G. MALONE, P.E.
DESIGNER	A. MALONE
CHECKER	J. M. RAYSON
REVISION	

NO.	REVISIONS FOR CLIENT COMMENTS	DATE
1	REVISIONS FOR CITY COMMENTS	8/27/04
2	REVISIONS FOR CITY COMMENTS	8/27/04
3	REVISIONS FOR CITY COMMENTS	8/27/04
4	REVISIONS FOR CITY COMMENTS	8/27/04
5	REVISIONS FOR CITY COMMENTS	8/27/04
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30	REVISIONS FOR CITY COMMENTS	8/27/04
31	REVISIONS FOR CITY COMMENTS	8/27/04
32	REVISIONS FOR CITY COMMENTS	8/27/04



WEST ELEVATION - ALTERNATE 2
SCALE 1/8" = 1'-0"



SOUTH ELEVATION - ALTERNATE 2
SCALE 1/8" = 1'-0"

GENERAL NOTES:
 (1) ALL MATERIALS, UNLESS NOTED TO BE OTHERWISE, TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
 (2) PROVIDE ALL NOTES / SPECIFICATIONS SHALL BE CORRECTED BY PROJECT SERVICE.

- KEY NOTES:**
- (1) FINISH: SEE ARCHITECTURAL SPECIFICATIONS.
 - (2) FINISH: SEE ARCHITECTURAL SPECIFICATIONS.
 - (3) FINISH: SEE ARCHITECTURAL SPECIFICATIONS.
 - (4) FINISH: SEE ARCHITECTURAL SPECIFICATIONS.
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 - (50) FINISH: SEE ARCHITECTURAL SPECIFICATIONS.

A NEW AUTO DEALERSHIP FACILITY FOR:
AL PIEMONTE CADILLAC
 ST. CHARLES, ILLINOIS

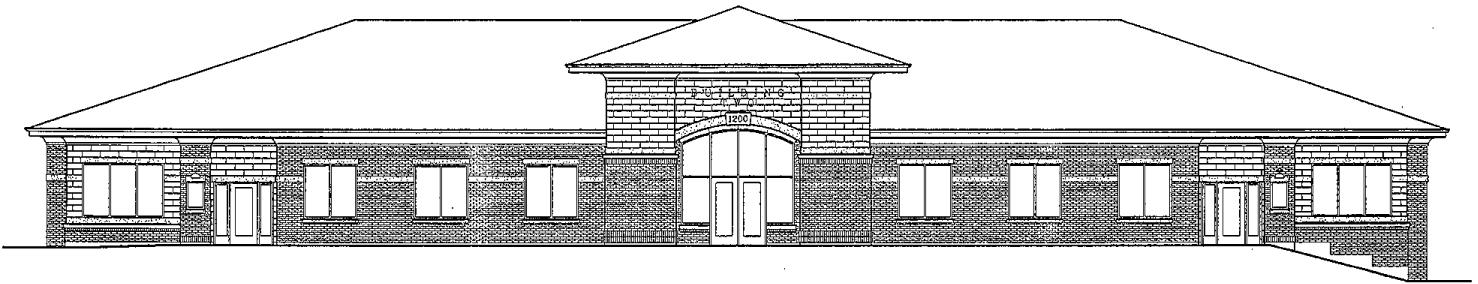
ARCHITECT: J. J. LAYNE & ASSOCIATES, INC.
 100 N. W. 10th St., Ft. Lauderdale, Fla. 33304
 PHONE: (305) 463-1111

DATE: 11/11/81

PROJECT NO.: A212-2

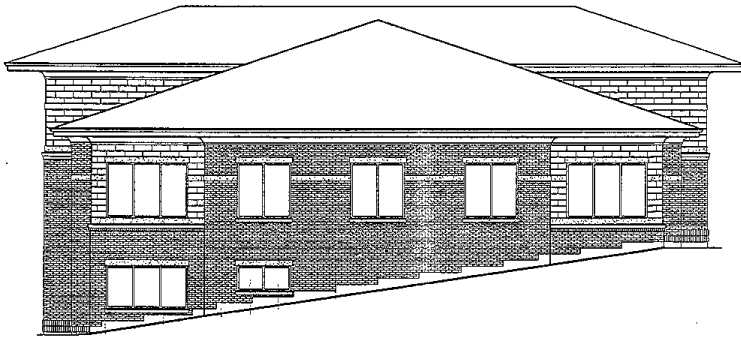
ELEVATIONS - EXTERIOR

A212-2



NORTH ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"

PLOTTED: 5/4/2004

PROPOSED NEW OFFICE: "BUILDING TWO"
TYLER & RT. 64 BUSINESS PARK

SOUTHWEST CORNER OF ROUTE 44 & TYLER ROAD
 FOR: JRD, INC. - BOB RASMUSSEN 430-443-9393

Revisions:

Commission: 1788

Sheet:

Issue Date:

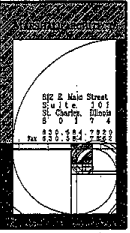
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Drawn By: CDZ

ELEVATIONS

of: 2

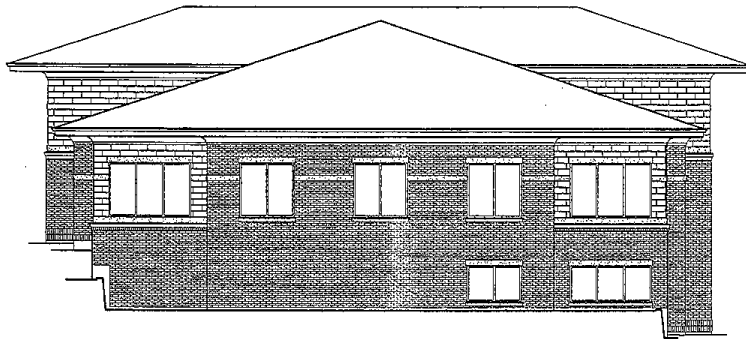
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512 E. Main Street
 Suite 101
 St. Charles, Illinois
 60154
 Tel: 630-584-7822
 Fax: 630-584-7823



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"

PLOTTED: 5/4/2004

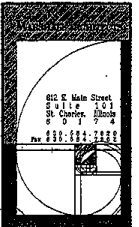
PROPOSED NEW OFFICE: "BUILDING TWO"
TYLER & RT. 64 BUSINESS PARK

SOUTHWEST CORNER OF ROUTE 64 & TYLER ROAD
FOR: JRD, INC. - BOB RASMUSSEN 430-443-9893

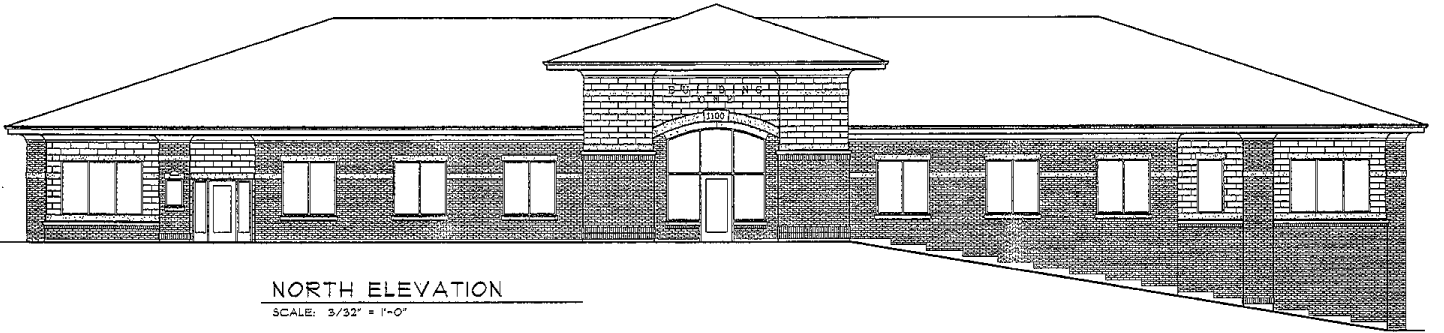
Revisions:

Commission: ITES
Issue Date:
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ELEVATIONS

Sheet:
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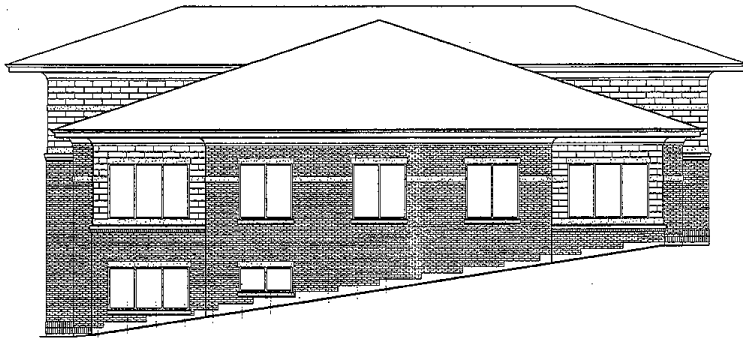


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NORTH ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"

PLOTTED: 5/4/2004

PROPOSED NEW OFFICE: "BUILDING ONE"
TYLER & RT. 64 BUSINESS PARK

SOUTHWEST CORNER OF ROUTE 44 & TYLER ROAD

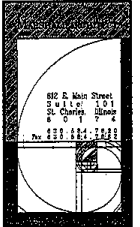
FOR: JRD, INC. - BOB RASMUSSEN 430-443-9393

Revisions:	

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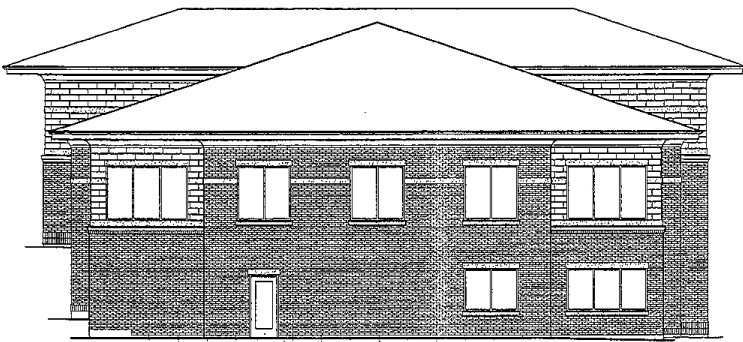
Commission:	1188
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ELEVATIONS	

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SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"

PLOTTED: 5/4/2004

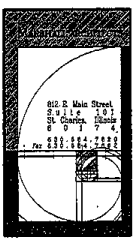
PROPOSED NEW OFFICE: "BUILDING ONE"
TYLER & RT. 64 BUSINESS PARK

SOUTHWEST CORNER OF ROUTE 64 & TYLER ROAD
FOR: JRD, INC. - BOB RASMUSSEN 430-443-9393

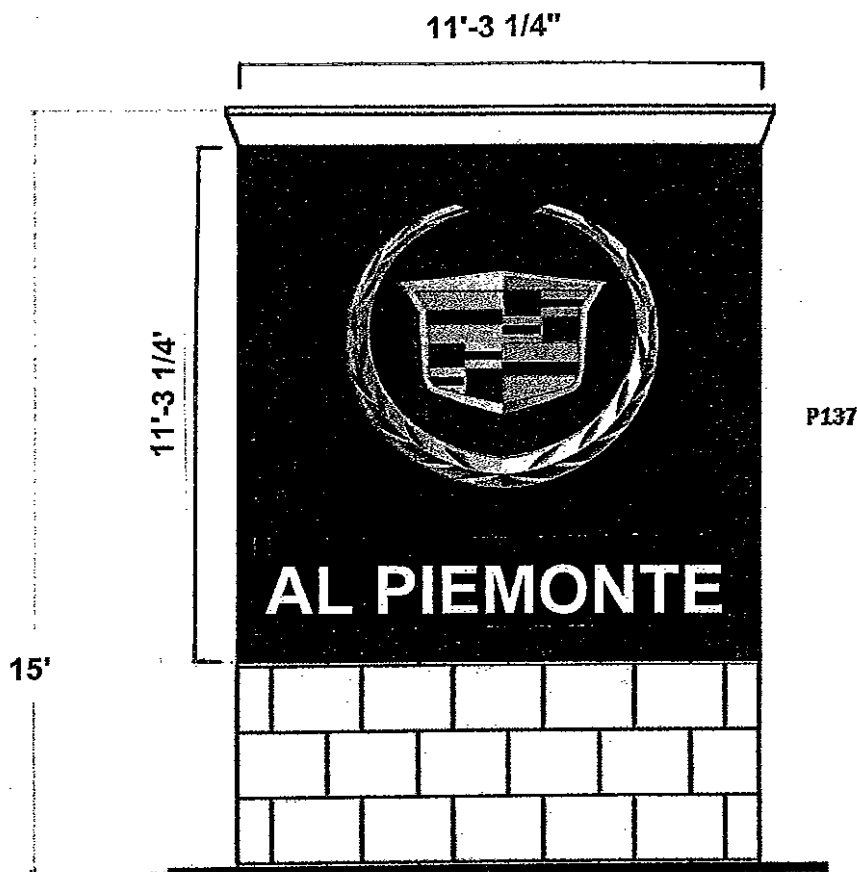
Revisions:

Commission: JRG
Issue Date:
Drawn By: CBZ
ELEVATIONS

Sheet:
2
of 2



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Account **EN**

Drawn By **R. NECK**

Project Title **030 P137 CAD
025' SIGN MOUNT**

IP Rep. **L. WILLIAMS**

Scale **1:60**

Approved By

Date Created **08 MAR 04**

Date Revised **XX Oct 2002**

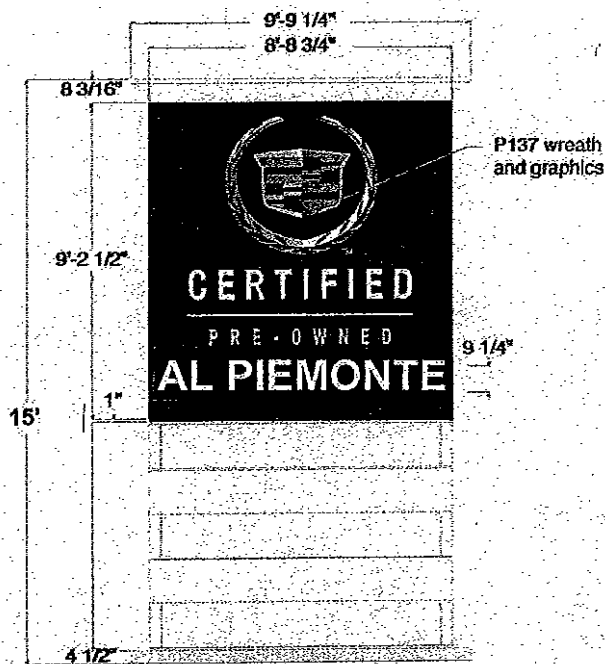
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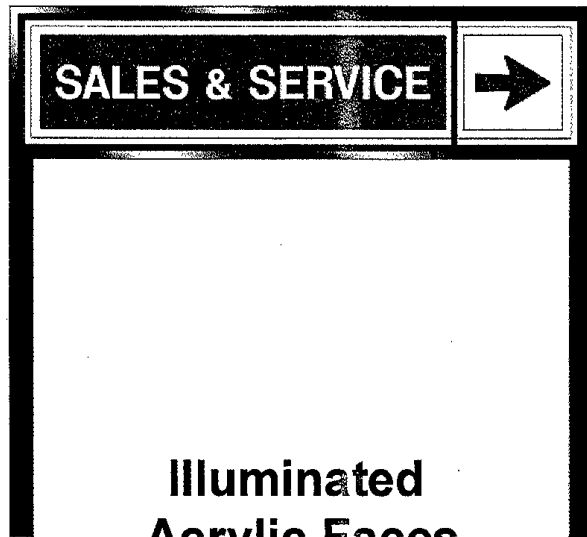
04-0213

Pg 1 of 1



Account: 289	Drawn By: R. RECK	All ideas, plans or arrangements indicated in this drawing are copyrighted and owned by ImagePoint and shall not be reproduced, used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of ImagePoint.	 PO Box 59043 Knoxville, TN 37950-9043 1-800-344-7446 www.imagepoint.com
Project Title: 289 PG2 Cas CVO #27' 800W	IP Rep: M. LEE		
Scale: 1:22	Approved By:		
Date Created: 15 MAR 2004	Date Revised:		

Directional Signs



**Illuminated
Acrylic Faces**



**Non-Illuminated
Metal Faces**

EXHIBIT "II"

MANUFACTURING DISTRICTS
CHAPTER 17.34 OF ZONING ORDINANCE

Chapter 17.36

M-1 LIMITED MANUFACTURING DISTRICT**Sections:**

- 17.36.010 Permitted uses
- 17.36.020 Special uses
- 17.36.030 Floor area ratio
- 17.36.040 Yards
- 17.36.050 Signs, marquees and awnings
- 17.36.060 Off-street loading
- 17.36.070 Off-street parking

17.36.010 Permitted uses.

Permitted uses in an M1 district shall be as follows:

A. The following uses are permitted, provided they conform with regulations set forth in Chapter 17.20; when specifically required by the city council, they shall conform with applicable requirements set forth in general requirements of Chapter 17.34:

1. Accessory uses;
2. Animal hospitals;
3. Building material sales, with outside storage;
4. Business and professional offices;
5. Computer and data processing centers;
6. Contractors' shops, with outside storage;
7. Currency exchanges;
8. Frozen food lockers;
9. Fuel and ice sales, retail only with outside storage;
10. Greenhouses, wholesale, without restriction as to gross floor area; provided, heating plant operations conform with applicable performance standards set forth under the general requirements of Chapter 17.34;
11. Heliports, provided they conform with applicable federal, state, and other local governmental regulations;
12. Laboratories, offices and other facilities for engineering, testing, research and development;

13. Machinery and equipment sales and service;
14. Medical and dental offices and clinics;
15. Monument sales,
16. Motor vehicle service;
17. Outdoor sales areas;
18. Parking lots, commercial;
19. Parks and playgrounds;
20. Printing and publishing establishments;
21. Public utility and public service uses including:
 - a. Electric substations and distribution stations;
 - b. Railroad rights-of-way;
 - c. Telephone exchanges and telephone transmission equipment buildings;
 - d. Public transportation facilities, including shelters, terminals, parking areas, and service buildings;
 - e. Water filtration plants, pumping stations, reservoirs, and sewage treatment plants, public;
 - f. Fire stations.
 - g. Communication antennas.
22. Radio, television, and recording studios;
23. Vehicle Service Facilities;
24. Warehousing and distribution facilities, except motor freight terminals;
25. Wholesale establishments, specifically excluding the sale of goods to the general public.

(Ord. 1996-Z-12 § 14; Ord. 1995-Z-14 § 2.)

B. Manufacturing, fabricating, storing, cleaning, testing, assembling, repairing, or servicing establishments as determined by operations conforming with performance standards for M1 districts and other regulations as set forth in general requirements of Chapter 17.34.

(Ord. 1994-Z-7 § 1, 2; 1993-Z-19 § 5; Ord. 1987-Z-16 § 1; Ord. 1966-33 § 2; Ord. 1960-16 §

IX(B)(1.)

17.36.020 Special uses.

Special uses in an M1 district shall be as follows:

A. Automobile laundries

B. Motor vehicle sales

C. Boat, camper, and recreational vehicle sales and service;

D. Nursery schools and day care centers; (Ord. 1993-Z-4 § 1F.)

E. Mini-warehouses (self-storage);

F. Motels;

G. Motor freight terminals;

H. Planned unit developments;

I. Portland cement concrete mixing plants;

J. Private, membership only sport health clubs;

K. Public or private college, junior colleges, universities, professional training centers and trade, business, commercial and technical schools, not including dormitories;

L. Restaurants, but only within a building containing a permitted use or uses; the maximum floor area of any such restaurant shall be 25 percent (25%) of the floor area of the building;

M. The sale of goods and products to the general public as an accessory use to a manufacturing, wholesaling, or distribution use; the floor area devoted to such sales shall be limited to a maximum of 2,000 square feet or ten percent of the floor area of the building, whichever is less; customer parking for such retail use shall be provided in conformance with the off-street parking requirements for retail uses as set forth in this Title;

N. Dog Obedience Schools.

O. Open Sales Lots.

P. Communication towers.

Q. Churches.

R. Schools, elementary (non-boarding)

S. Auction facilities for the sale at auction of wholesale, secondhand, or retail goods. An auction facility may also include non-auction sales, which shall be limited to not more than 40% of the floor area of the auction facility. Parking and loading facilities shall be provided based on the

floor area of each allowable use within an auction facility (i.e., auction room, retail, storage). No building containing an auction facility shall be located within 300 feet of a property zoned for residential use.

Outdoor storage that would be visible from nearby residential or business uses or from public streets may be restricted by screening or by limiting its location within the site.

T. Indoor paintball marking facilities.

(Ord. 2003-Z-1 § 1; Ord. 1999-Z-8 § 1; Ord. 1997-Z-28 § 1; Ord. 1996-Z-12 § 14; Ord. 1995-Z-14 § 3; Ord. 1994-Z-17 § 1; Ord. 1994-Z-7 § 3; 1993-Z-1 § 1; Ord. 1987-Z-16 § 2; Ord. 1967-14(part); Ord. 1960-16 § IX(B)(2).)

17.36.030 Floor area ratio.

The floor area ratio in an M1 district shall not exceed 0.8. (Ord. 1960-16 § IX(B)(3).)

17.36.040 Yards.

Yard requirements in an M1 district shall be as follows:

A. Front Yard. The front yard shall not be less than forty feet in depth.

B. Side Yards. Side yards shall not be less than twenty feet in width; except, a side yard abutting a street shall be not less than forty feet in depth.

C. Rear Yard. The rear yard shall not be less than twenty feet in depth; except, a rear yard abutting an alley or railroad right-of-way may be reduced to ten feet in depth.

(Ord. 1960-16 § IX(B)(4).)

17.36.050 Signs, marquees and awnings.

Sign, marquee, and awning requirements in an M1 district shall be as in the B4 district. (Ord. 1968-32; Ord. 1960-16 § IX(B)(5).)

17.36.060 Off-street loading.

Off-street loading requirements in an M1 district shall be as follows: loading berths in accordance with provisions set forth in Chapter 17.38. (Ord. 1960-16 § IX(B)(6).)

17.36.070 Off-street parking.

Parking spaces shall be required in an M1 district in accordance with provisions set forth in Chapter 17.38. (Ord. 1960-16 § IX(B)(7).)

State of Illinois)
)
Counties of Kane and DuPage) ss.

Certificate

I, KRISTIE A. NEPHEW, certify that I am the duly elected and acting Municipal Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on July 6, 2004, the Corporate Authorities of such municipality passed and approved Ordinance No. 2004-Z-14, entitled

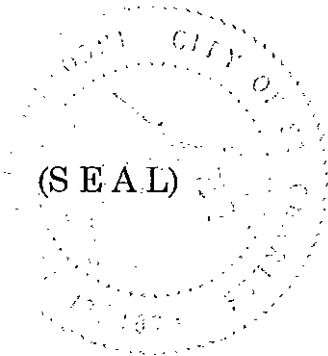
"An Ordinance Granting a Special Use as a Planned Unit Development (Tyler and 64 Business Park),"

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2004-Z-14, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on July 9, 2004, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

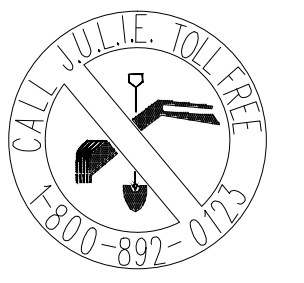
DATED at St. Charles, Illinois, this 6th day of July, 2004.


Municipal Clerk



PRELIMINARY AND FINAL ENGINEERING for AUTOMOBILE DISPLAY EXPANSION at CHRYSLER, JEEP, DODGE, RAM OF ST. CHARLES ST. CHARLES, ILLINOIS

WARNING



CALL BEFORE
YOU DIG
(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

CITY OF ST. CHARLES NOTES

1. ALL PVIOUS AREA SHALL BE SODDED OVER A MINIMUM OF 6" OF TOP SOIL UNLESS OTHER LANDSCAPING METHODS ARE APPROVED ON THE LANDSCAPING PLAN.
2. ALL CONDUIT OR PIPE CONSTRUCTED UNDER EXISTING OR PROPOSED PAVED SURFACES AND WALKS SHALL BE BACKFILLED WITH GRANULAR BACKFILL THOROUGHLY COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS.
3. ALL PAVING, SIDEWALK, AND EXCAVATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND THE CITY OF ST. CHARLES STANDARD DETAILS, CODES AND REQUIREMENTS.
4. ALL SEWER AND WATER MAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND CITY OF ST. CHARLES CONSTRUCTION STANDARDS.
5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY THE CITY.
6. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO VERIFY IN THE FIELD ALL EXISTING AND UNDERGROUND UTILITIES ADJACENT TO THE PROJECT, AND BE RESPONSIBLE FOR PROTECTION OF SAME.
8. ALL CONCRETE SHALL BE 6 BAG MIX, 3500 PSI CONCRETE AT 14 DAYS. CURING MATERIAL SHALL BE MEMBRANE CURING COMPOUND AND SHALL BE WHITE IN COLOR TO ASSURE ADEQUATE COVERAGE.
9. CONTRACTOR SHALL NOTIFY CITY 48 HOURS IN ADVANCE OF CONSTRUCTION OF UNDERGROUND WORK. NO UNDERGROUND WORK SHALL BE COVERED UNTIL SAME HAS BEEN INSPECTED BY THE CITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CITY PRIOR TO INSTALLING PAVEMENT BASE, PAVEMENT BINDER, PAVEMENT SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
10. IF APPLICABLE, ALL NEW REINFORCED CONCRETE PIPE STORM SEWER 12" AND LARGER WHERE SHOWN ON THE PLANS SHALL BE ASTM DESIGNATION C-76 MINIMUM CLASS, CLASS III. ALL PIPE WITH LESS THAN 3' OF COVER AND MORE THAN 15' OF COVER SHALL BE CLASS V. ALL JOINTS SHALL BE "O" RING RUBBER GASKET CONFORMING TO ASTM C-361 SPECIFICATIONS. ALL STORM SEWERS WITH LESS THAN 1.75' OF COVER AND ALL DUCTILE IRON PIPE STORM SEWERS WHERE SHOWN ON THE PLANS SHALL BE DUCTILE IRON PIPE CLASS 52 ANSI SPECIFICATIONS A-21.51 WITH PUSH-ON OR MECHANICAL JOINTS AND POLYETHYLENE ENCASEMENT.
11. BITUMINOUS PAVEMENT MATERIAL MUST BE PLACED IN TWO LIFTS. THICKNESS OF EACH LIFT SHALL BE AS SHOWN ON APPROVED PLANS. ALL MATERIAL SHALL BE CLASS I BITUMINOUS AS PER IDOT STANDARDS. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE CITY HAS APPROVED THE COMPACTION OF THE BINDER MATERIAL. THE BINDER COURSE SHALL NOT BE INSTALLED UNTIL THE COMPACTION OF THE STONE BASE HAS BEEN APPROVED BY THE CITY. THE FINAL SURFACE COURSE MAY NOT BE INSTALLED UNTIL THE MAJOR PORTION OF BUILDING CONSTRUCTION HAS BEEN COMPLETED AS DETERMINED AND APPROVED BY THE CITY.

NOTE: IN CASE OF CONFLICT WITH OTHER NOTES AND SPECIFICATIONS, THE VILLAGE STANDARD NOTES AND DETAILS SHALL APPLY.

SHEET INDEX

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LOCATION MAP
NOT TO SCALE

LEGEND

	PROPOSED STORM SEWER		PROPOSED SPOT GRADE
	EXISTING STORM SEWER		EXISTING SPOT GRADE
	PROPOSED SANITARY SEWER		PROPOSED CONTOUR
	EXISTING SANITARY SEWER		EXISTING CONTOUR
	PROPOSED WATER MAIN		SILT FENCE
	EXISTING WATER MAIN		PROPOSED CURB
	PROPOSED SANITARY MANHOLE		EXISTING CURB
	EXISTING SANITARY MANHOLE		PROPOSED EDGE OF PAVEMENT
	EXISTING STORM STRUCTURE		OVERFLOW DIRECTION
	PROPOSED STORM STRUCTURE		PROPOSED CURB
	PROPOSED FIRE HYDRANT		EXISTING CURB
	PROPOSED GATE VALVE		PROPOSED EDGE OF PAVEMENT

OWNER/DEVELOPER

AL PIEMONTE, JOE CONTI
CHRYSLER, JEEP, DODGE, RAM of ST. CHARLES
1611 E. MAIN STREET, ST. CHARLES, IL
ST. CHARLES, ILLINOIS 60174
847.878.3568

UNDERGROUND UTILITY NOTE:

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

USE OF DRAWINGS

Client agrees not to use or permit any other person to use plans, drawings, or other product prepared by the Engineer, which plans, drawings, or other work product are not final and which are not signed, and stamped or sealed by the Engineer and contain the words "Released For Construction".

HOLD HARMLESS STATEMENT

The Engineer is not overseeing the construction of this project. The use of these Drawings and Specifications by and Contractor, Subcontractor, Builders, Mechanic, Tradesmen or Worker shall instigate a Hold Harmless Agreement between the User and the Engineer. The User shall in fact agree to hold the Engineer harmless for any responsibility in regard to construction means, methods, techniques, sequences or procedures and for any safety precautions and programs in connection with the work and further shall hold the Engineer harmless for costs and problems arising from the negligence of Contractor, Subcontractor, Builders, Mechanic, Tradesmen or Workers. The use of these Drawings also implies that the Engineer shall take no responsibility for the plan User's failure to carry out the work in accordance with the Drawing and Specifications.

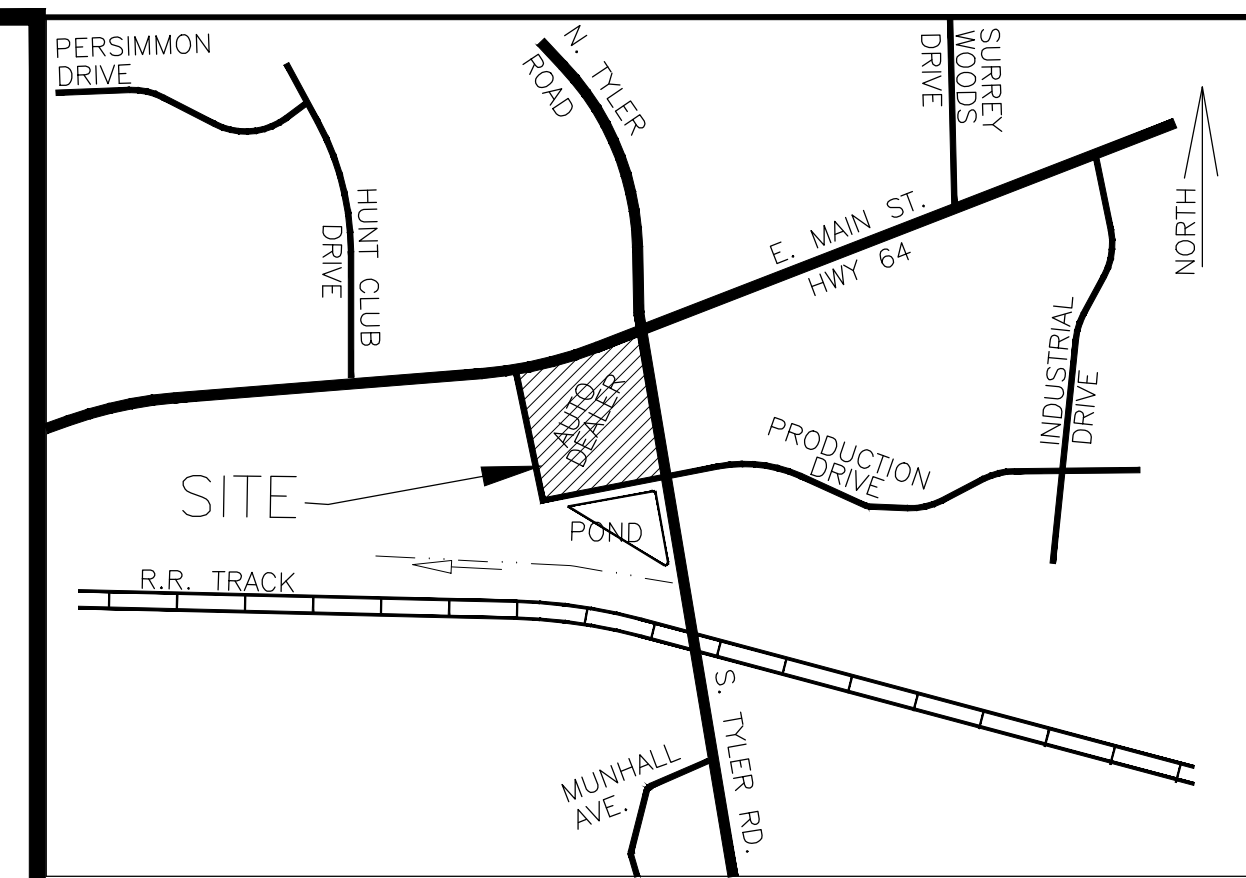
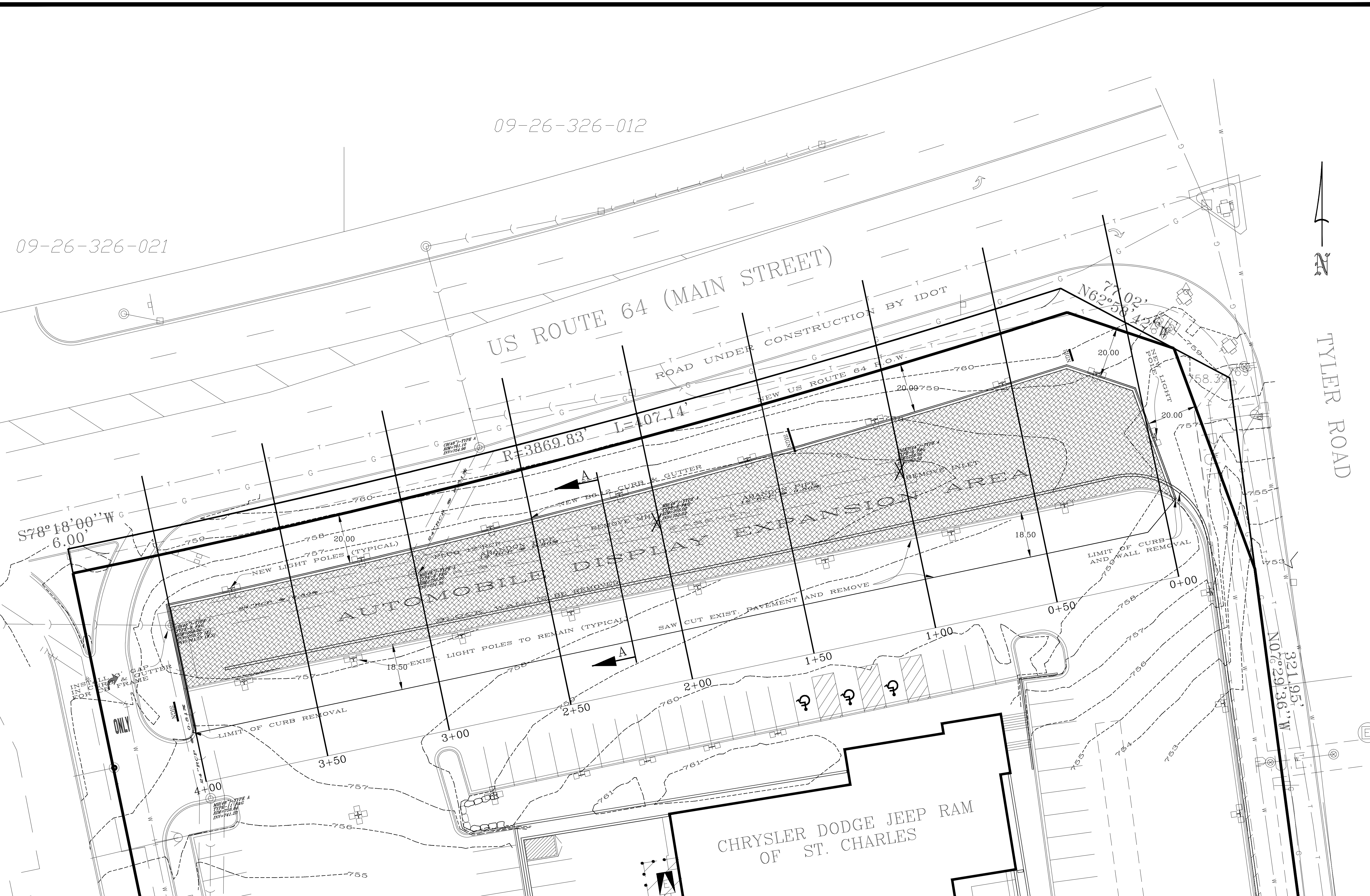
COUNTY ENGINEERS INC.
2202 GARY LANE, GENEVA, ILLINOIS 60134
630.364.6976 ceillinois@aol.com



BRANDON JAFARI
REGISTERED PROFESSIONAL ENGINEER
RENEWAL DATE: 11/30/13

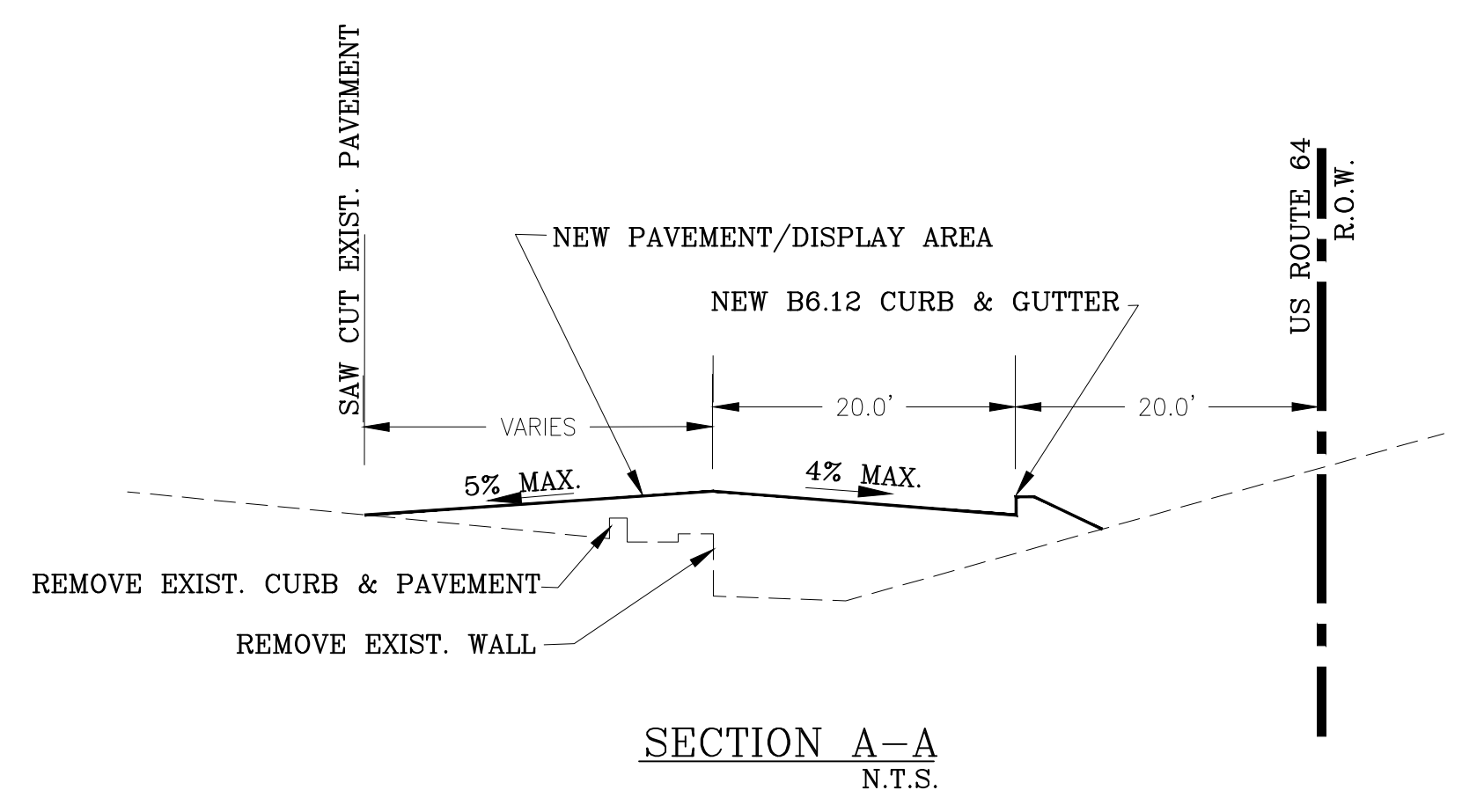
09-26-326-021

09-26-326-012



PROPERTY DESCRIPTION:
 LOT 1 TYLER & 64 BUSINESS PARK, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

TOPOGRAPHY/DEMOLITION/ GEOMETRIC PLAN		Common Address : 1611 E. MAIN STREET, ST. CHARLES, IL		COUNTY ENGINEERS INC.	
SHEET 2 OF 9		Builder/Client : AL PIEMONTE, JOE CONTI		DESIGN/ENGINEERING	
Vacant		Date		CONSTRUCTION MANAGEMENT	
Type of Survey		Blk. - Pg. Date Dn. / By		630.364.6976	
				60134	
				Scale : 1" = 20'	



09-26-326-021

US ROUTE 64 (MAIN STREET)

R=3869.83' L=407.14'

ROAD UNDER CONSTRUCTION BY IDOT
NEW US ROUTE 64 R.O.W.

TYLER ROAD



S78°18'00"W
6.00'

77.02'
N62°58'45"

09-26-402-022

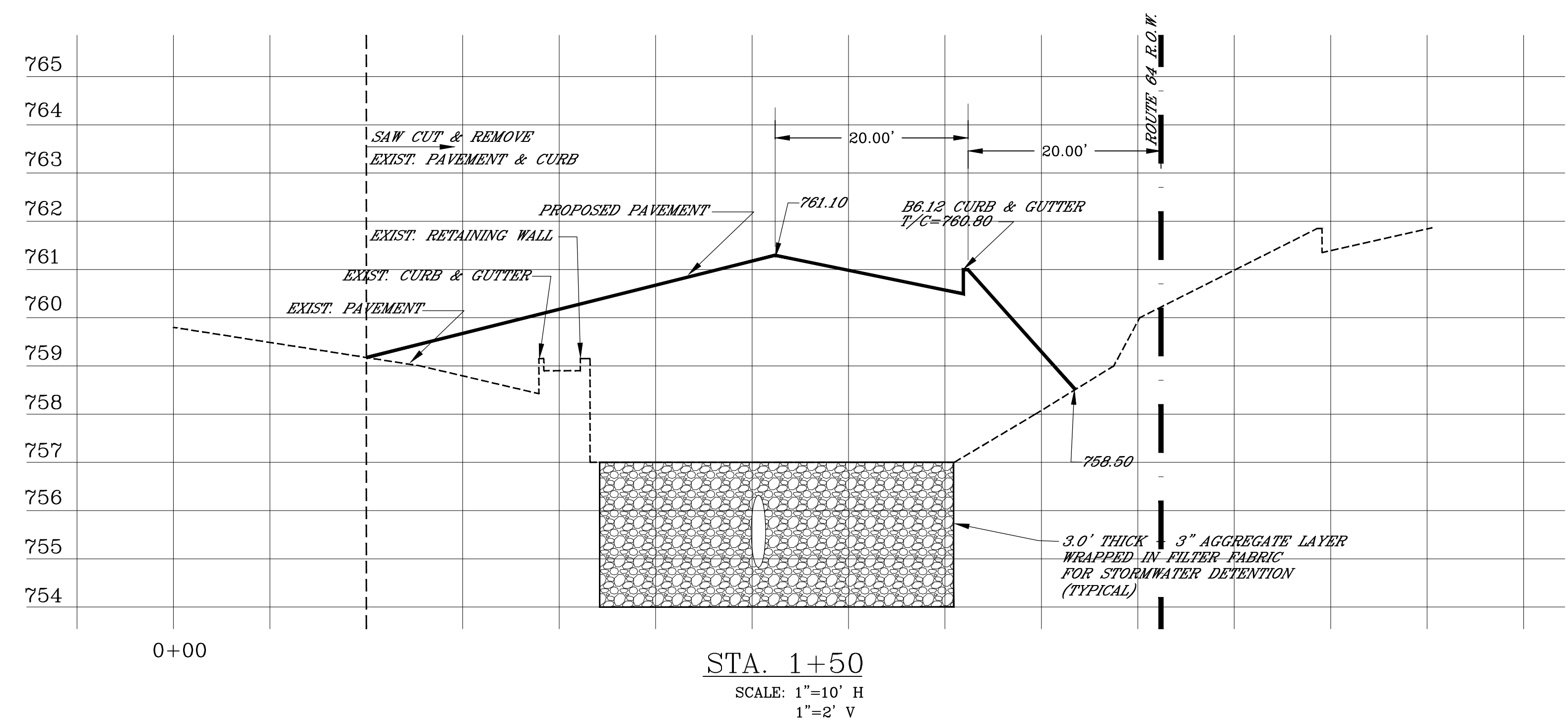
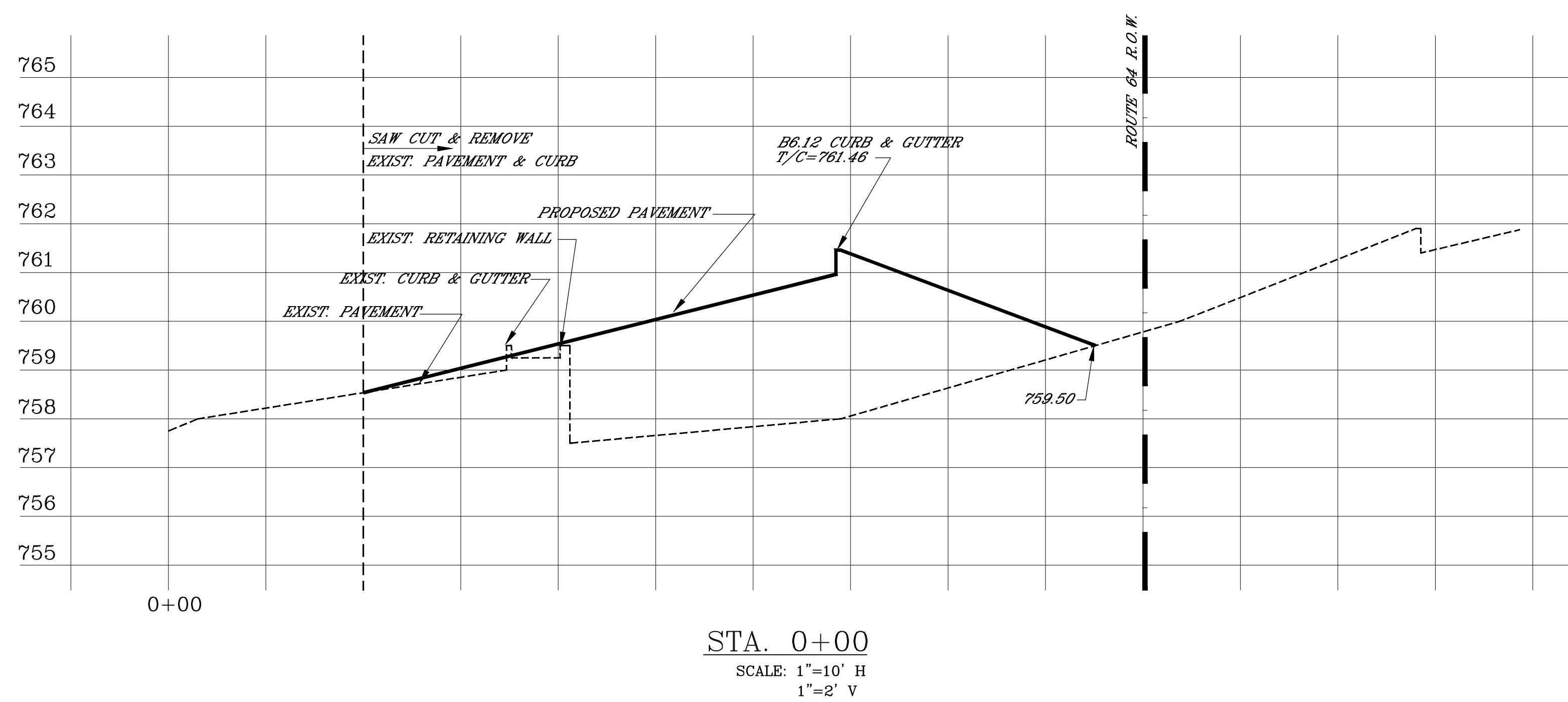
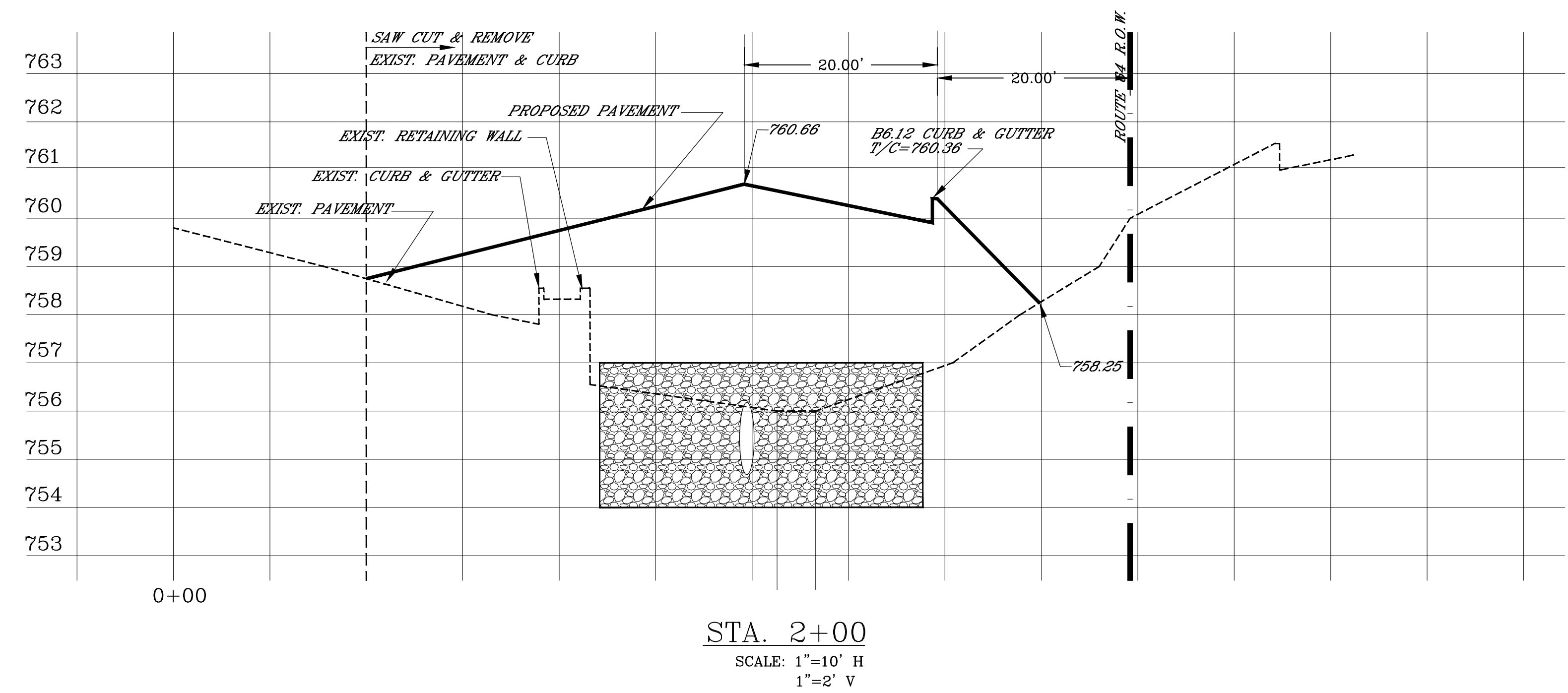
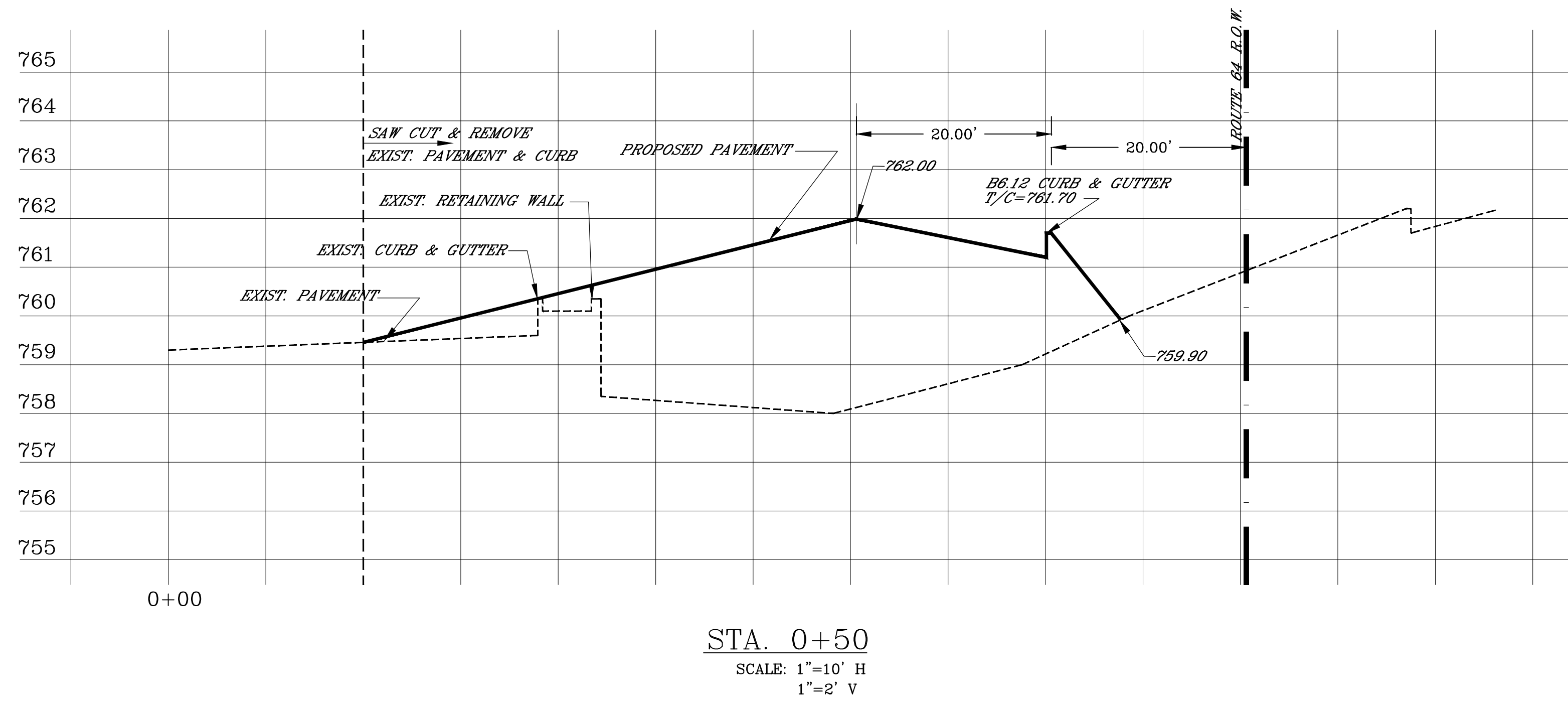
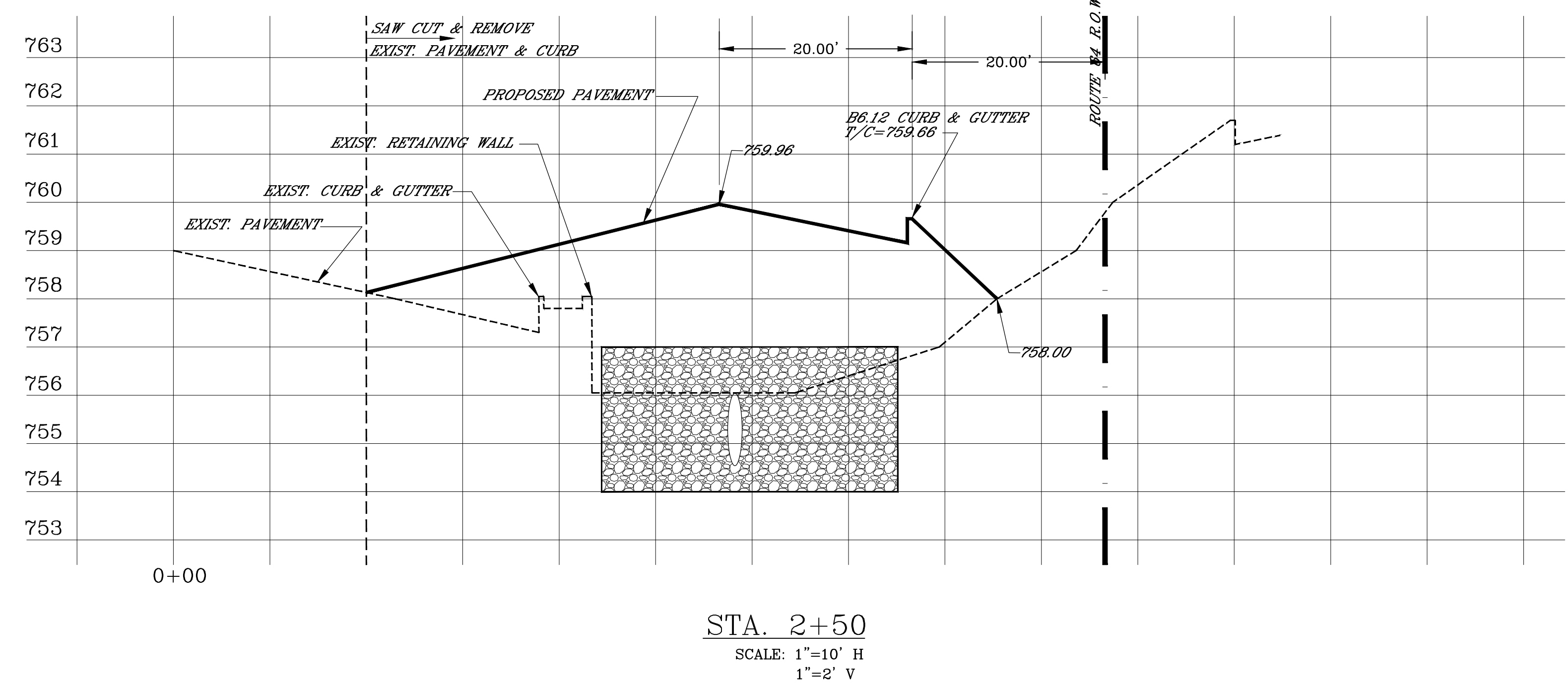
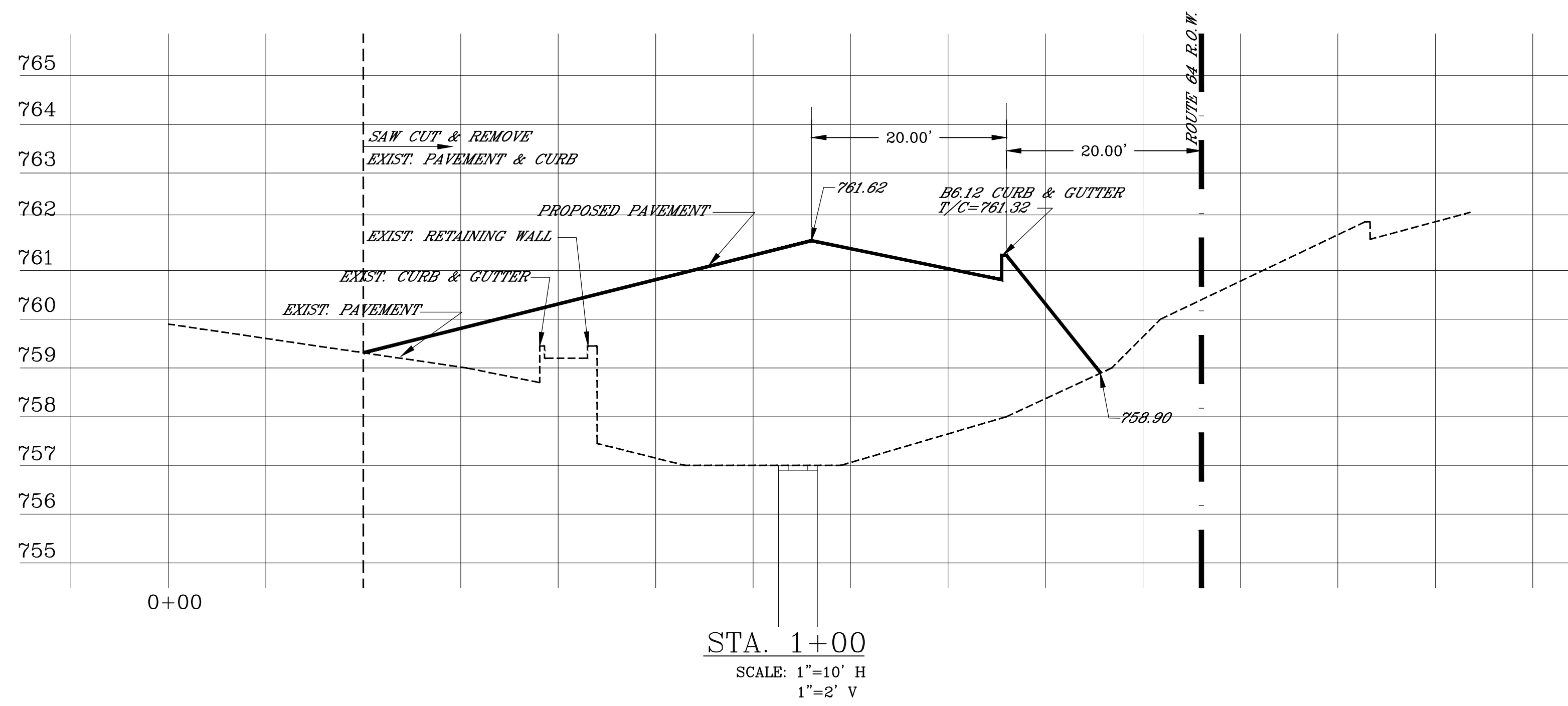
CHRYSLER DODGE JEEP RAM
OF ST. CHARLES

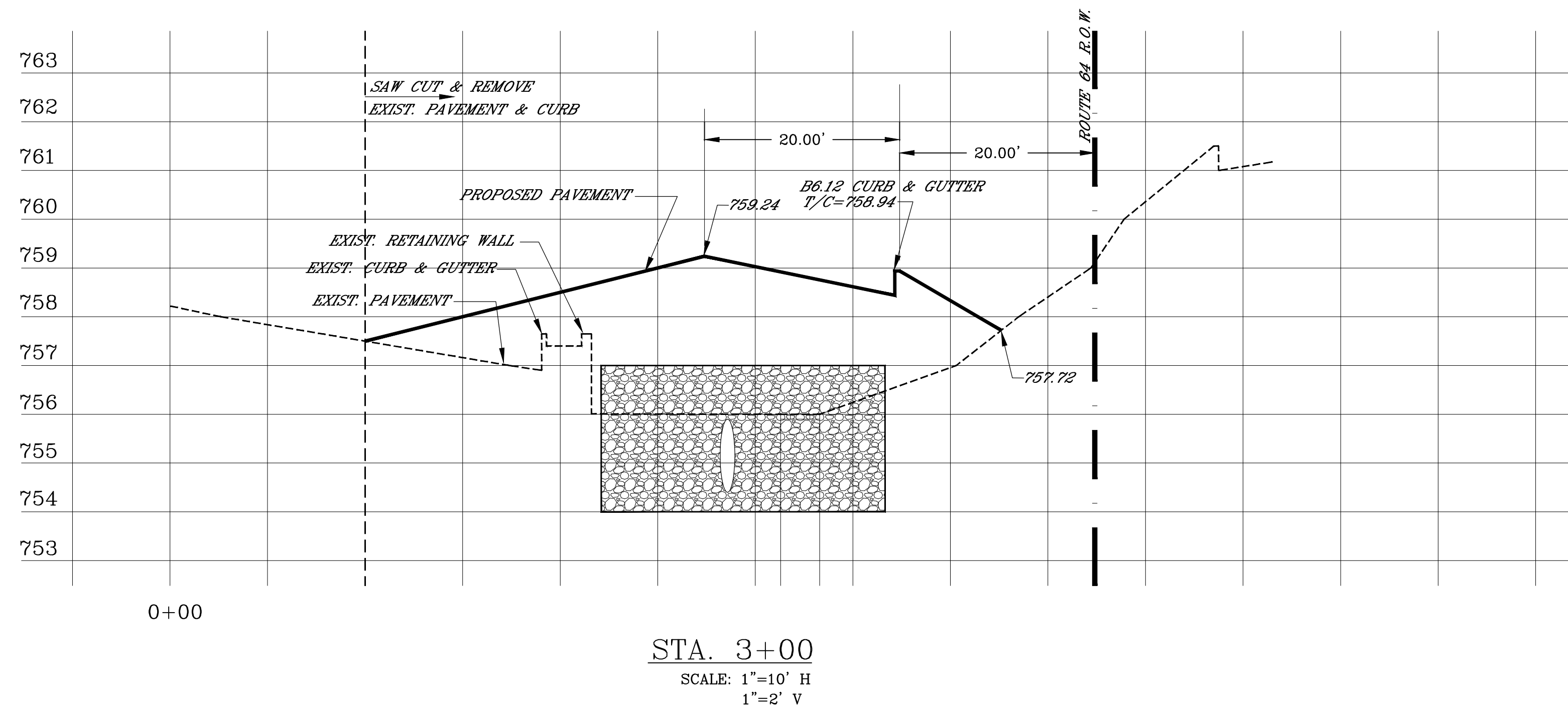
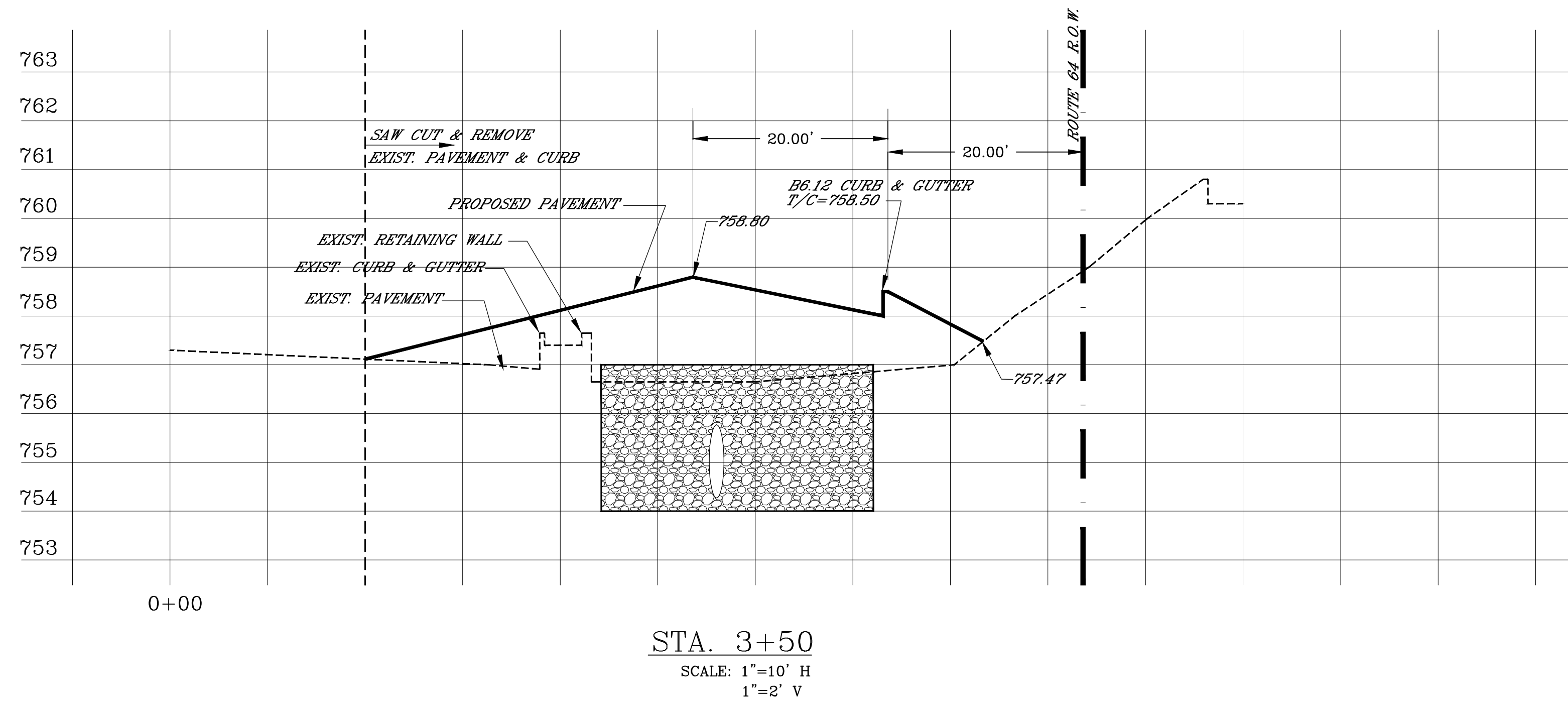
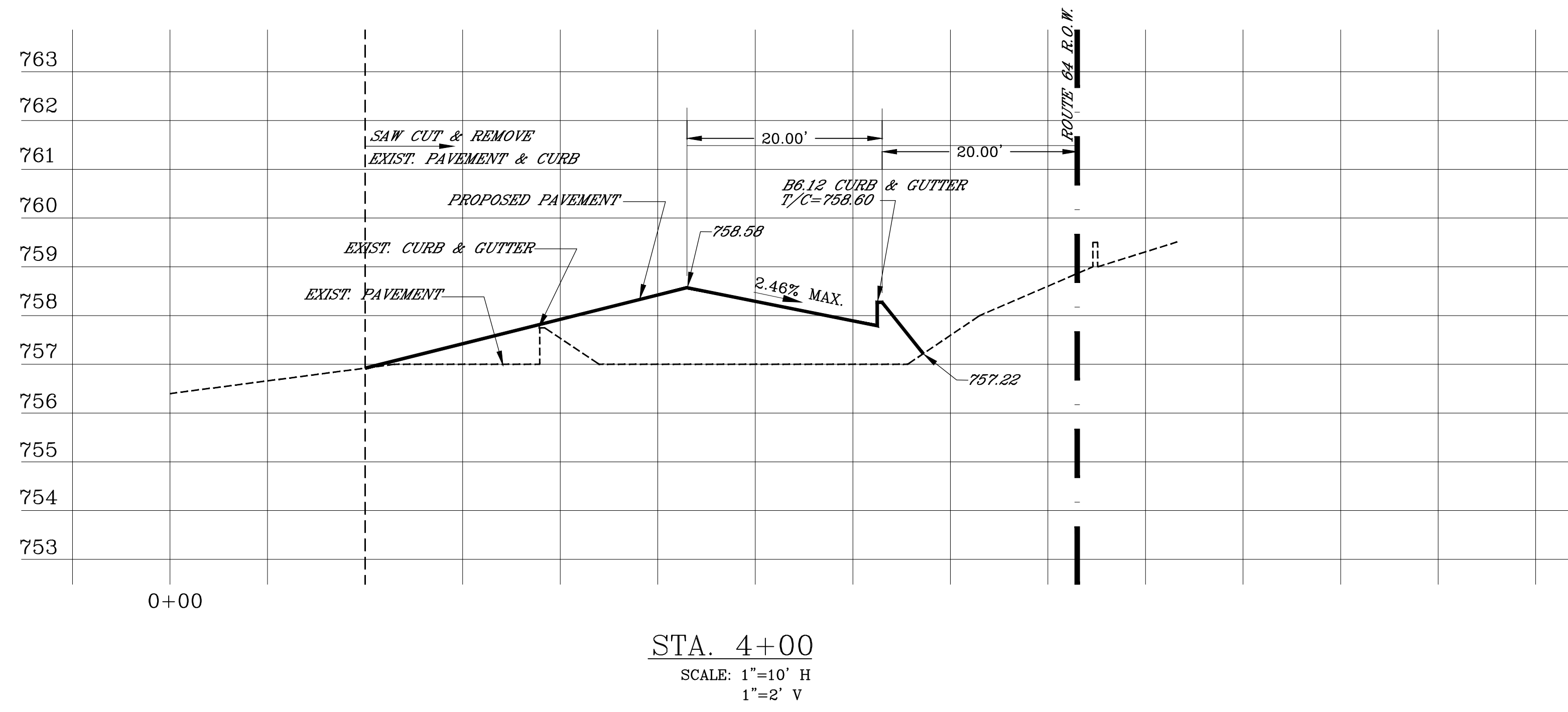
10" ADS DURASLOT
RIM 757.30 (EXISTING)

10" ADS DURASLOT
RIM 759.25 (EXISTING)

321.95'
N07°29'36"W

GRADING PLAN		Vacant		Type of Survey		Date		Blk. - Pg.		Date Drn. / By		Grading		Mortgage		Foundation		Common Address : 1611 E. MAIN STREET, ST. CHARLES, IL		Builder/Client : AL. PIEMONTE, JOB. CONTI		DESIGN/ENGINEERING		COUNTY ENGINEERS INC.		CONSTRUCTION MANAGEMENT	
SHEET 3 OF 9																						2307 GARY LANE, GENEVA, ILLINOIS 60134		E30.364876			
																						Scale : 1"=20'					

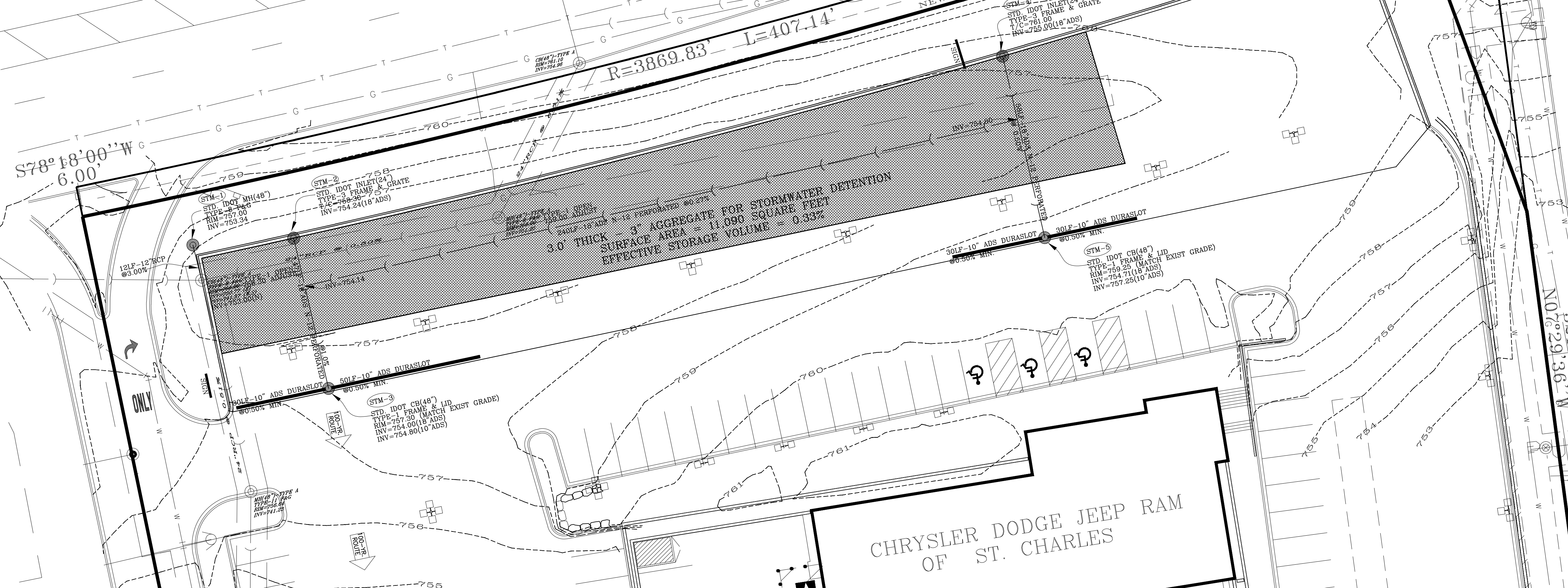




09-26-326-021

US ROUTE 64 (MAIN STREET)
ROAD UNDER CONSTRUCTION BY IDOT
NEW US ROUTE 64 R.O.W.

TYLER ROAD



09-26-402-022

CHRYSLER DODGE JEEP RAM
OF ST. CHARLES

STORMWATER DETENTION STORAGE

					3"AGGREGATE*			
					AREA=11,090 SF			
					BOTTOM=754.00			
					TOP=757.00			
	STR-2	STR-3	STR-4	STR-5		PIPES, CF	VOLUME, CF	TOTAL VOLUME, CF
754.00	---	---	---	---				
755.00	2.4	12.6	---	3.6	3,475	560	4,054	4,054
756.00	3.1	12.6	3.1	12.6	3,626	102	3,759	7,813
757.00	3.1	12.6	3.1	12.6	3,658	---	3,689	11,502

*NOTE- CREDIT ALLOWED FOR STORAGE (VOID) IS 33% OF AGGREGATE VOLUME.
INCREMENTAL VOLUME CALCULATED BY SUBTRACTING PIPE VOLUME, AND
THEN APPLYING 0.33 FACTOR. FOR EXAMPLE AT ELEVATION 756,
INCREMENTAL VOLUME=(11090-102)*0.33 = 3626 CF

STORM SEWER AND DETENTION SHEET 6 OF 9

Grading
Mortgage
Foundation

Type of Survey
Vacant

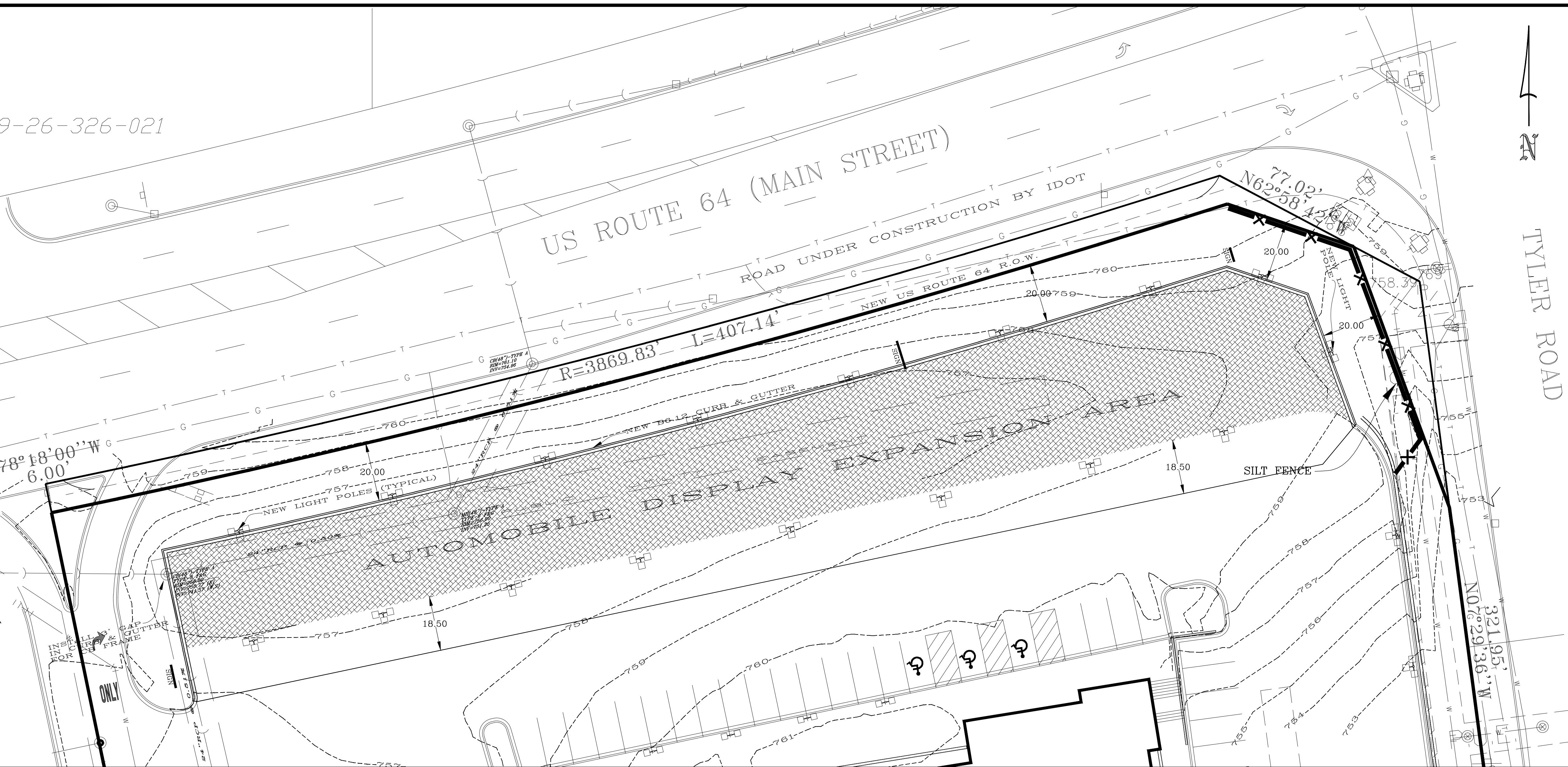
Date
Date

By
Date Drn. / By

Scale: 1" = 20'

Job No. :
Builder/Client : AL. PIEMONTE, JOE. CONTI
Common Address : 1611 E. MAIN STREET, ST. CHARLES, IL
DESIGN/ENGINEERING COUNTY ENGINEERS INC.
2202 GARY LANE, GENEA, ILLINOIS 60134
CONSTRUCTION MANAGEMENT 630.344.8976

9-26-326-021



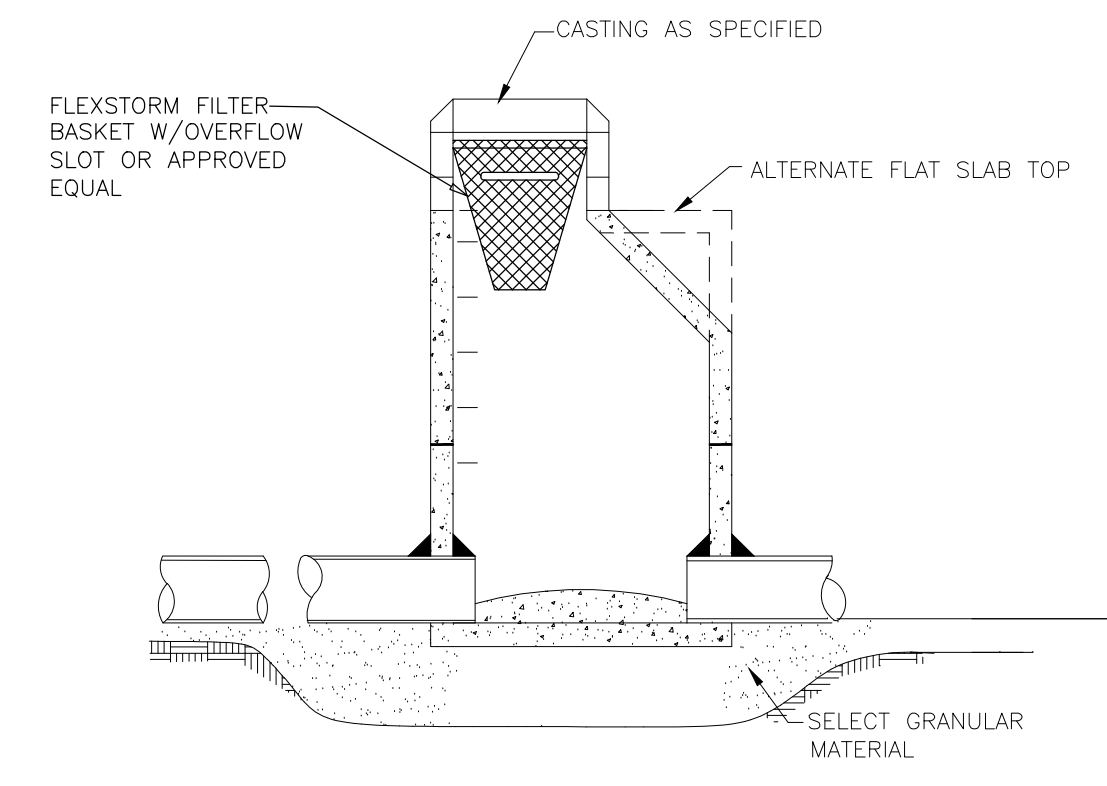
- ### EROSION CONTROL NOTES
- SOIL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARDS AND GUIDELINES, AND ILLINOIS URBAN MANUAL.
 - USE WATER MIST, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS.
 - STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD, AND DEBRIS.
 - NO SEDIMENT SHALL BE ALLOWED TO ENTER THE EXISTING STORM SEWER SYSTEM.
 - ALL STORM SEWER, CATCH BASINS, SUMPS AND/OR RETENTION BASINS ARE TO BE CLEANED AT THE END OF CONSTRUCTION OF THE PROJECT AND PRIOR TO FINAL ACCEPTANCE. CLEANING MAY ALSO BE REQUIRED DURING THE COURSE OF THE CONSTRUCTION, IF IT IS DETERMINED THAT THE SILT AND DEBRIS TRAPS ARE NOT PROPERLY FUNCTIONING.
 - UNLESS SOIL EROSION CONTROL ITEMS ARE SPECIFICALLY REFERRED TO AS BID ITEMS (SUCH AS TOPSOIL RESPREAD, SEEDING, ETC.) THEY ARE TO BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
 - AT THE CLOSE OF EACH WORK DAY, OR AS NEEDED, ANY LOOSE MATERIAL DEPOSITED IN THE FLOWLINE OF THE GUTTERS, DRAINAGE STRUCTURES, DITCHES, ETC. SUCH THAT THE NATURAL FLOWLINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED BY THE RESPONSIBLE PARTY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
 - SEQUENCE OF CONSTRUCTION MAY BE AS FOLLOWS:
 - A- INSTALL SILT FENCE, WHERE NECESSARY OR AS DIRECTED BY CITY
 - B- DEMOLISH/REMOVE BLOCKS WALL AND PAVEMENT AS NOTED ON PLANS.
 - C- EXCAVATE AND INSTALL STORM SEWER/STRUCTURES AND THE 3" AGGREGATE LAYER, WRAPPED IN FILTER FABRIC.
 - D- COMPLETE PREPARING THE SUBGRADE.
 - E- INSTALL CURB & GUTTER.
 - F- PAVE NEW AUTOMOBILE DISPLAY AREA.
 - G- INSTALL LANDSCAPING AND REMOVE SILT FENCE ANY LEFT OVER DEBRIS.
 - IN AREAS WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF COMPLETION, AND IN AREAS WHERE WORK HAS TEMPORARILY CEASED FOR 14 DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE 7TH DAY AFTER WORK HAS CEASED.
 - ALL STORMWATER POLLUTION PREVENTION PLAN MEASURES SHALL COMPLY WITH COUNTY STORMWATER MANAGEMENT ORDINANCE AND LOCAL MUNICIPALITY.
 - ALL EROSION CONTROL MEASURES-SILT FENCE AND DETENTION BASIN SHALL BE INSPECTED FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER IN ACCORDANCE WITH COUNTY STORMWATER ORDINANCE AND ONCE EVERY 7 CALENDAR DAYS. REPORT OF ALL INSPECTIONS SHALL BE PREPARED AND STORED ON SITE.
 - STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (I.E. PERIMETER SILT FENCE). STOCKPILES, NOT BEING ACTIVELY WORKED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
 - UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN ILLINOIS URBAN MANUAL REVISED FEBRUARY 2002.
 - THE KANE-DUPAGE SOIL AND WATER CONSERVATION DISTRICT (KDSWCD) MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
 - A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY KDSWCD.
 - DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.
 - IT IS THE RESPONSIBILITY OF LAND OWNER, GENERAL CONTRACTOR, AND/OR SITE MANAGER TO INFORM ANY SUB-CONTRACTOR(S) WHO PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY ILLINOIS EPA.
 - EROSION CONTROL BLANKET AND/OR STRAW MULCH WITH NETTING (DEPENDING ON SLOPE, SLOPE LENGTH, AND FLOW RATES) SHALL BE INSTALLED ON ALL SLOPES 4:1 OR GREATER AND IN CRITICAL AREAS (I.E. DETENTION BASIN PERIMETERS, BERMS, ETC.) IMMEDIATELY UPON FINAL GRADING.
 - THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN IDLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GRWING SEASON MUST INCORPORATE STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
 - IN CASE OF FAILURE OF SILT FENCE AND OR ANY EROSION CONTROL MEASURES, THE CONTRACTOR AND/OR OWNER SHALL SUBMIT WITHIN 5 DAYS AN "INCIDENT OF NONCOMPLIANCE (ION)" TO:
 - EPA-DIVISION OF WATER POLLUTION CONTROL
 - 1021 N. GRAND AVENUE EAST
 - SPRINGFIELD, IL 62794

NOTE-ALL DISTURBED AREAS, OUTSIDE PLANTING BEDS, SHALL RECEIVE SOD.

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEP.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			•	•		▶			
DORMANT SEEDING	B	▶									B	▶
TEMPORARY SEEDING			C			▶	D		▶			
SODDING			E						▶			
MULCHING												▶

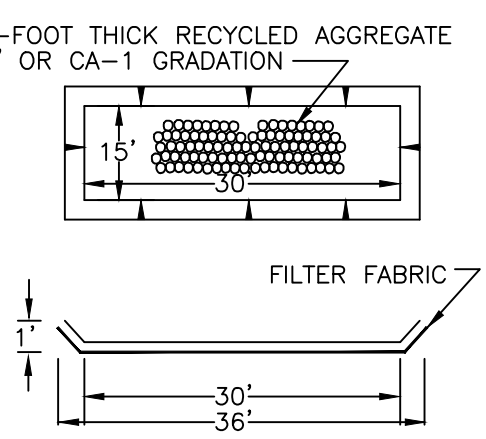
- A- KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE
- B- KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE
- C- SPRING OATS 100 LBS/ACRE
- D- WHEAT OR CEREAL RYE 150 LBS/ACRE
- E- SOD
- F- STRAW MULCH 2 TONS/ACRE
- IRRIGATION NEEDED DURING JUNE AND JULY
- IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

SOIL PROTECTION CHART



TRUCK WASHOUT FACILITY

- A SIGN SHALL BE INSTALLED AT EACH TEMPORARY FACILITY.
- THE FACILITY SHOULD BE LOCATED AT LEAST A MINIMUM 50- FEET FROM OPEN STORM OPEN DRAINS, DRAINAGE FACILITIES AND WATER COURSES.
- PCC AND/OR ASPHALT SHOULD NOT BE ALLOWED TO ENTER STORM DRAINS OR WATER COURSES.
- AVOID CREATING RUNOFF OF WASTEWATER.
- DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STREET OR STORM DRAIN.
- SAW-CUT PCC SLURRY SHOULD NOT BE ALLOWED TO ENTER STORM DRAINS OR WATER COURSES. RESIDUE FROM GRINDING OPERATION SHOULD BE PICKED UP BY MEANS OF A VACUUM ATTACHMENT TO THE GRINDING MACHINE.
- SITE MANAGER/CONTRACTOR SHALL INSPECT THE FACILITY DAILY AND REMOVE AND DISPOSE OF EXCESS SLURRY IN ACCORDANCE WITH LOCAL LAW.
- PERIODIC INSTALLATION OF CLEAN AGGREGATES MAY BE NECESSARY IN ORDER TO MAINTAIN THE FACILITY OPERATIONAL.
- OWNER/CONTRACTOR SHALL OBTAIN A WATER METER FROM THE PUBLIC WORKS DEPARTMENT TO FACILITATE OPERATION.



CONTRACTOR MAY USE A LINED DUMPSTER, AS APPROVED BY THE CITY ENGINEER

CONTRACTOR'S STATEMENT
 I certify under penalty of law that I understand the terms and conditions of the General National Pollutant Discharge Elimination System (NPDES) permit (ILR10) that authorizes the storm water discharges associated with industrial activities from the construction site identified as part of this certification.

Contractor: _____
 Signed: _____
 Date: _____

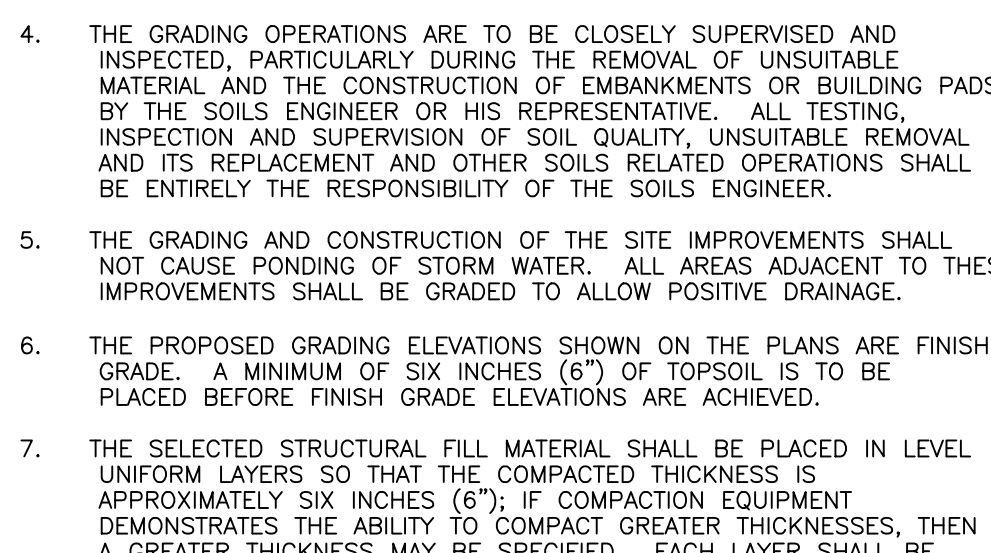
COUNTY ENGINEERS INC.
 DESIGN/ENGINEERING
 Common Address: 1611 E. MAIN STREET, ST. CHARLES, IL
 Builder/Client: AL PIEMONTE, JOB CONT
 Job No.: _____ Scale: 1" = 20'
 EROSION CONTROL PLAN
 SHEET 7 OF 9
 CONSTRUCTION MANAGEMENT
 630.364.8976
 GENERAL ILLINOIS 60134
 2020 GARY LANE

GENERAL CONDITIONS

- NOTIFY CITY OF SAINT CHARLES 72 HOURS PRIOR TO CONSTRUCTION.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS, WHICH ARE HEREBY MADE A PART HEREOF:
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, LATEST EDITION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.
 - "ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA, LATEST EDITION.
 - THE SUBDIVISION AND DEVELOPMENT CODES AND STANDARDS OF THE CITY OF ST. CHARLES, AS PUBLISHED BY THE MUNICIPALITY.
 - THE "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS," AS PUBLISHED BY IDOT, LATEST EDITION.
- IN EVENT OF CONFLICTING SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- THE ABOVE STANDARD SPECIFICATIONS & THESE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.
- NO CONSTRUCTION PLANS SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE BEGINNING ANY WORK. IF THE CONTRACTOR ASSUMES FULL RESPONSIBILITY, IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STEIGLER OCCUPATIONAL HEALTH STATE ACT OF 1970 (REVISED), THE CONTRACTOR, ENGINEER AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.

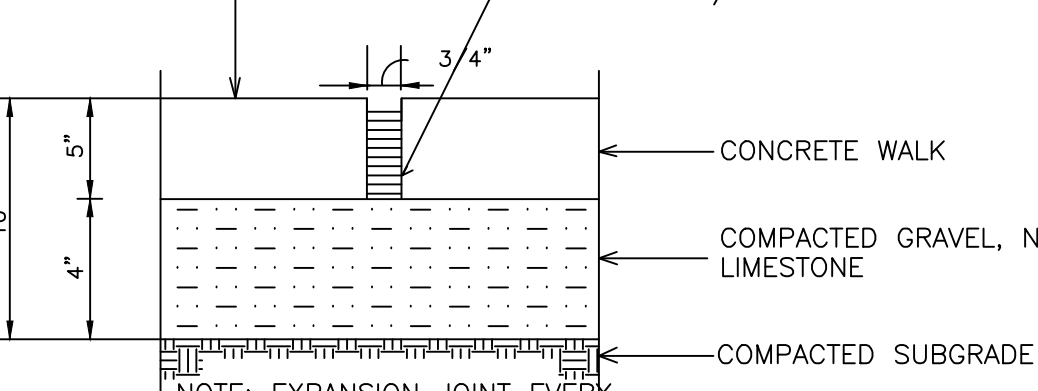
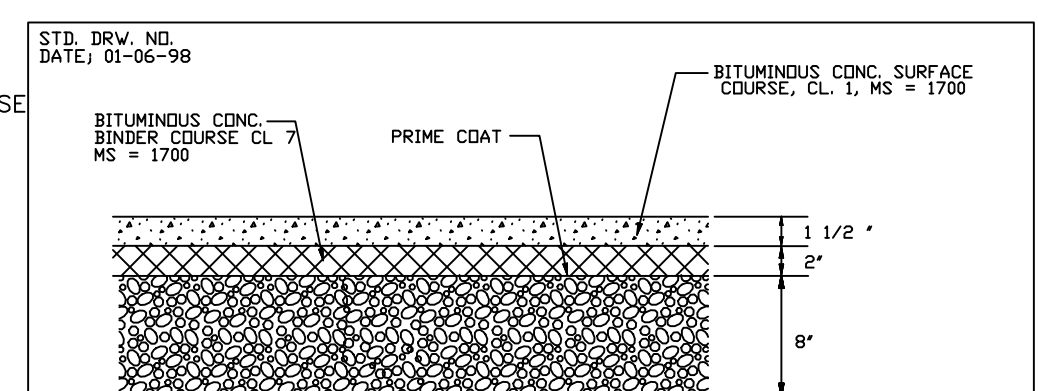
EARTHWORK

- WORK UNDER THIS SECTION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - CLEARING AND REMOVAL OF ALL UNDESIRABLE TREES AND OTHER VEGETATIVE GROWTH WITHIN THE CONSTRUCTION AREA. TREE REMOVAL SHALL BE AS DESIGNATED BY THE OWNER AND SHALL BE KEPT TO A MINIMUM. WHERE FEASIBLE AND WHEN PERMITTED BY OWNER, TREES AND BRUSH REMOVED MAY BE BURIED ONSITE IN FUTURE YARD AND OPEN SPACE AREAS. IF ADEQUATE AND APPROPRIATE SPACE IS NOT AVAILABLE FOR ONSITE BURIAL, THE TREES AND BRUSH SHALL BE DISPOSED OFFSITE.
 - STRIPPING OF TOPSOIL FROM ALL STREET, PARKING LOT, RIGHT-OF-WAY, BUILDING PAD, AND OTHER DESIGNATED STRUCTURAL AREAS.
 - STOCKPILING OF TOPSOIL AT LOCATIONS AS DIRECTED BY THE OWNER. TOPSOIL STOCKPILED FOR FUTURE USE SHALL BE RELATIVELY FREE FROM LARGE ROOTS, STICKS, WEEDS, BRUSH, STONES LARGER THAN ONE (1) INCH DIAMETER, OR OTHER LITTER AND WASTE PRODUCTS INCLUDING EXTRANEIOUS MATERIALS NOT CONDUCTIVE TO PLANT GROWTH. TOPSOIL SHALL BE STOCKPILED IN SEQUENCE TO ELIMINATE ANY REHANDLING OR DOUBLE MOVEMENTS BY THE CONTRACTOR. FAILURE TO PROPERLY SEQUENCE THE STOCKPILING OPERATIONS SHALL NOT CONSTITUTE A CLAIM FOR ADDITIONAL COMPENSATION. NO MATERIAL SHALL BE STOCKPILED IN FRONT YARDS, OVERLAND DRAINAGE SWALES (FLOOD ROUTING AREAS), IN PROPOSED UTILITY LOCATIONS, IN UTILITY EASEMENTS, OR IN THE RIGHT-OF-WAY.
 - REMOVING UNSUITABLE MATERIALS AS SPECIFIED FROM ROADWAY, DRIVEWAY/PARKING, BUILDING PAD, AND OTHER DESIGNATED AREAS.
 - DEMOLITION AND REMOVAL OF EXISTING BUILDINGS AND/OR PAVEMENTS INCLUDING OFFSITE DISPOSAL OF SAME, AT A DUMP SITE AS SELECTED BY THE CONTRACTOR. ONSITE DISPOSAL WILL NOT BE ALLOWED.
 - CLAY CUT AND CLAY FILL WITH COMPACTION WITHIN ROADWAY, DRIVEWAY/PARKING, BUILDING PAD, AND OTHER DESIGNATED AREAS.
 - EXCAVATION AND GRADING OF THE OPEN SPACE AND/OR YARD AREAS PER PLAN INCLUDING CONSTRUCTION OF BERMS, ETC.
 - PLACEMENT AND COMPACTION OF CLAY TO STANDARDS AND DETAILS REQUIRED ON THE CONSTRUCTION PLANS TO THE DESIGN SUBGRADE ELEVATIONS. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT AND/OR UTILITY PLACEMENT THICKNESS MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.
 - PLACEMENT AND COMPACTION OF NON-STRUCTURAL FILLS.
 - IF REQUIRED, REMOVAL FROM SITE AND DISPOSAL OF ANY EXCESS OR UNSUITABLE MATERIAL UPON COMPLETION OF MASS GRADING.
 - MOVEMENT AND COMPACTION OF SOIL MATERIAL FROM THE CONSTRUCTION OF UNDERGROUND UTILITIES.
 - BACKFILLING OF CURBS AND/OR PAVEMENT AND SIDEWALK AFTER INSTALLATION OF SAME BY THE PAVING CONTRACTOR.
 - FINAL SHAPING AND TRIMMING TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN IN THESE PLANS; AND TOPSOIL PLACEMENT TO DESIGN FINISHED GRADE ELEVATIONS.
 - SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRAISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.
- PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL PROCEDURES AND THE PLACEMENT OF FILTER FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION SCHEDULE.
- THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, INCLUDING REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER.
- THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
- THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.
- THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"). COMPACTION EQUIPMENT DEPENDS ON THE GRANULARITY OF THE COMPACTED THICKNESSES, THEN A GREATER MIXTURE MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.

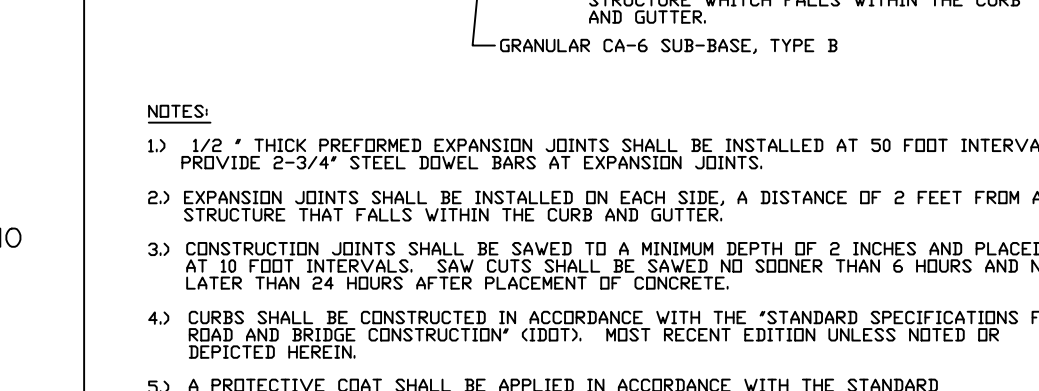


EXPANSION JOINT DETAIL

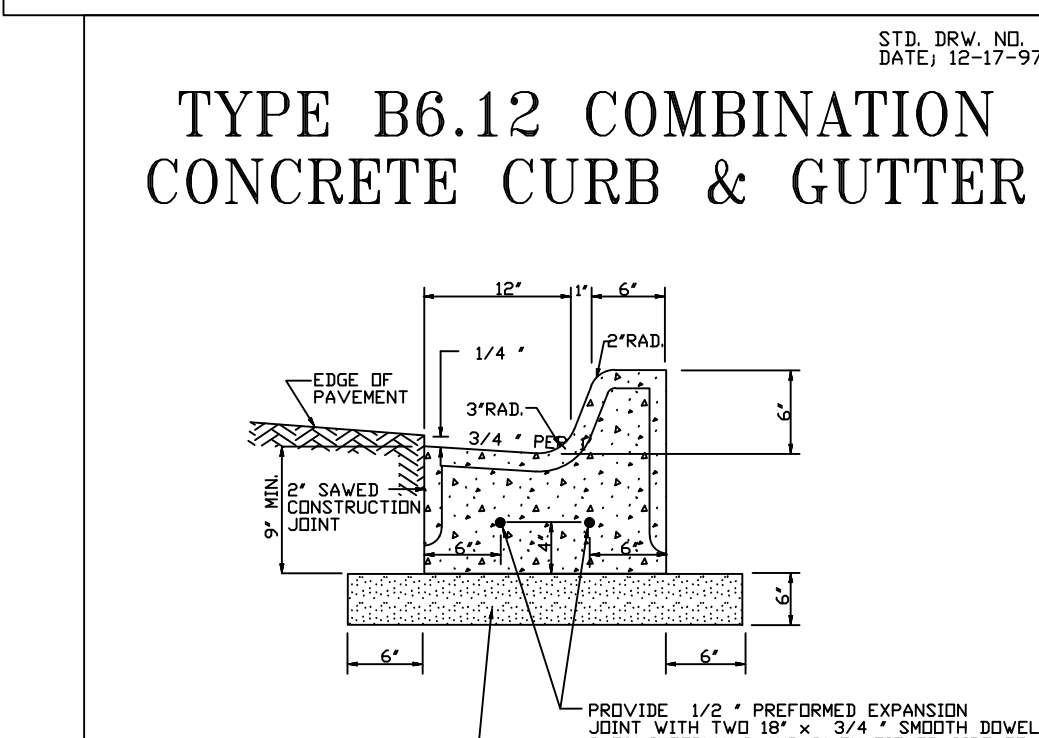
PARKING LOT LIGHT DUTY PAVEMENT



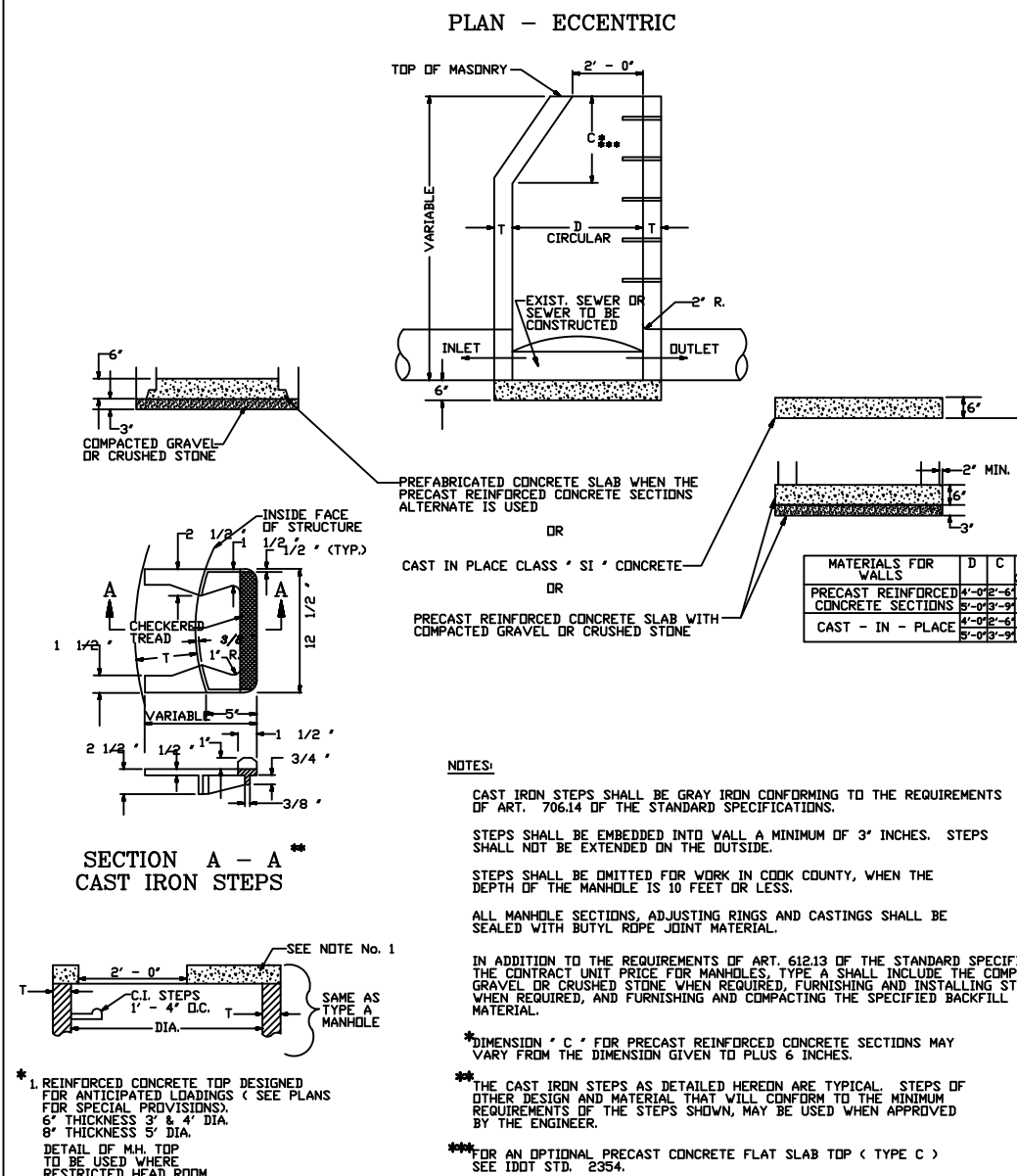
STANDARD TRENCH SECTIONS



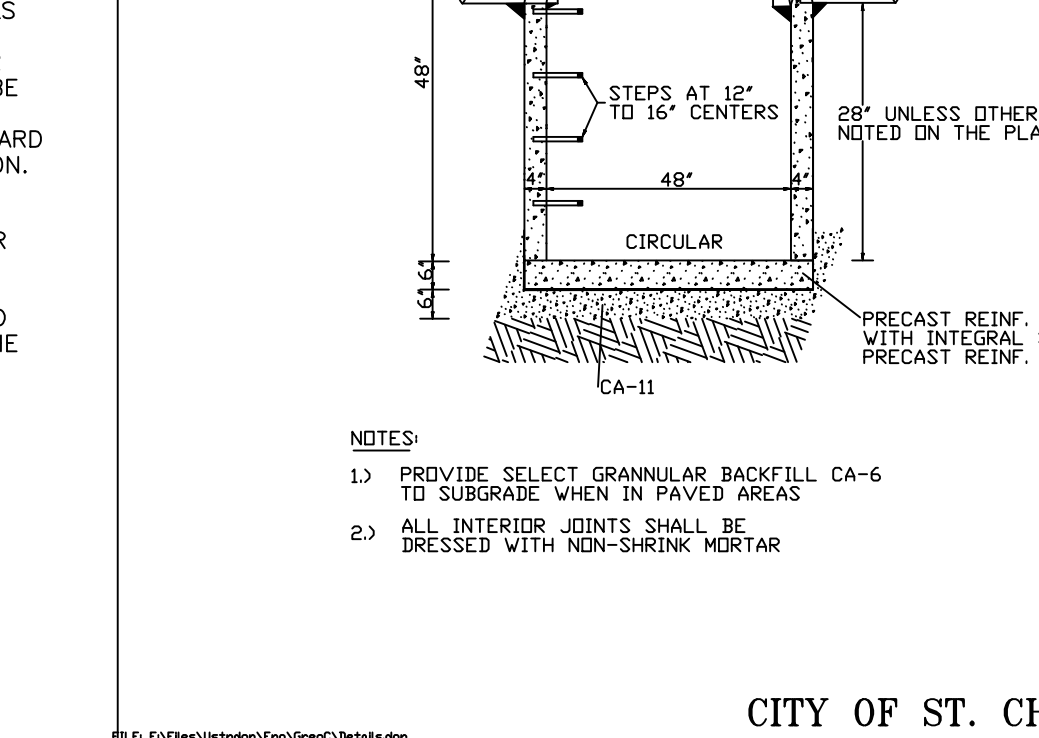
TYPE B6.12 COMBINATION CONCRETE CURB & GUTTER



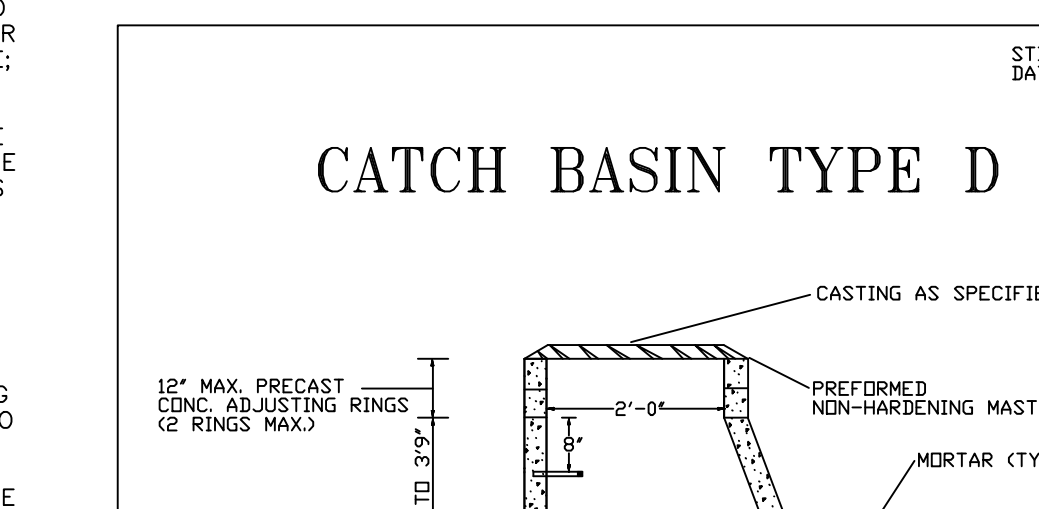
MANHOLE TYPE A



CATCH BASIN TYPE D



TYPE A INLET

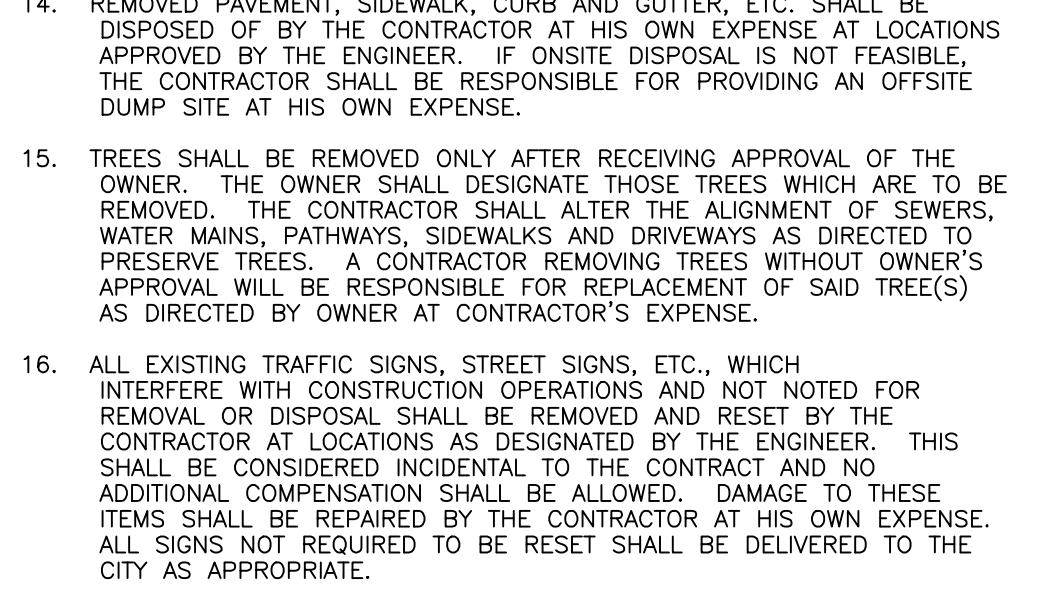


UNDERGROUND

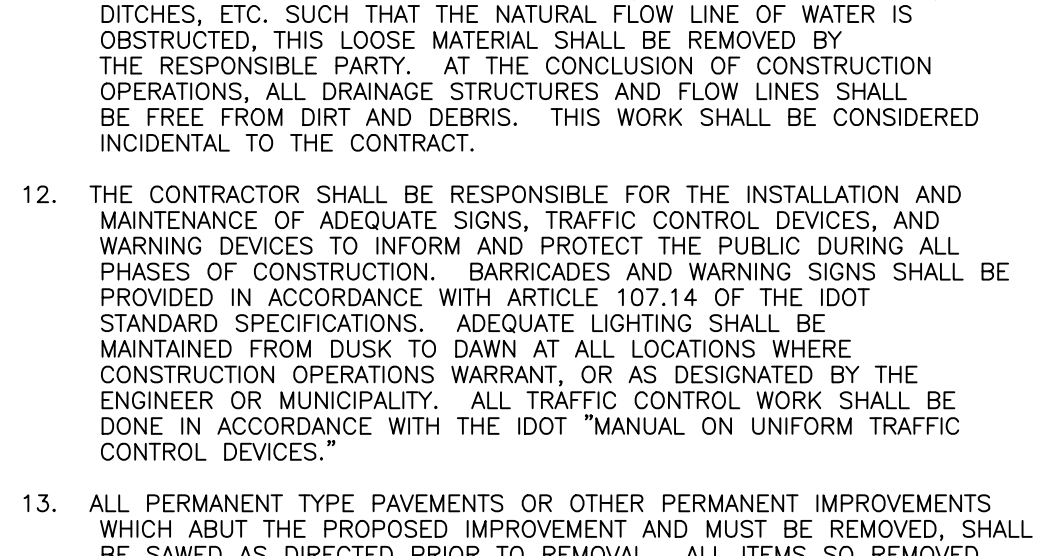
- WORK UNDER THIS SECTION SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASING, STRUCTURE, AND VALVE. SIDEWALKS AND CURBS SHALL BE COMPACTED, AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
 - ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT, SIDEWALKS AND CURBS FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLAN SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6 OR CA-7) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS AND PER THE CITY OF ST. CHARLES TRENCH BACKFILL STANDARDS.
 - "BAND-SEAL" OR SIMILAR FLEXIBLE TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS.
 - WHEREVER WATER MAINS MUST CROSS ANY SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE INVERT OF THE WATER MAIN IS 18" ABOVE THE CROWN OF THE SEWER. THIS VERTICAL SEPARATION MUST BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN 10 FT HORIZONTALLY OF ANY SEWER CROSSING. THIS MUST BE MEASURED AS THE NORMAL DISTANCE FROM THE WATER MAIN TO THE SEWER, IF IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED ABOVE OR IF IT IS NECESSARY FOR THE WATER MAIN TO PASS UNDER A SEWER, THE WATER MAIN MUST BE CONSTRUCTED OF WATER MAIN TYPE MATERIAL. THIS CONSTRUCTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATER MAIN TO THE SEWER IS AT LEAST 10 FT. IN MAKING SUCH CROSSINGS, SUCH A LENGTH OF WATER MAIN PIPE UNDER/UNDER THE SEWER TO BE CROSSED SO THAT THE JOINTS WILL BE EQUIDISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, A VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE SEWER AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED, ALONG WITH MEANS TO SUPPORT THE LARGER SIZED SEWER LINES TO PREVENT THEIR SETTLING AND BREAKING THE WATER MAIN.
 - THE UNDERGROUND CONTRACTOR SHALL PLACE AND MOUND EXCESS EXCAVATED TRENCH MATERIAL ADJACENT TO THE TRENCHES IN AN ORDERLY FASHION SO AS NOT TO CREATE A HAZARD OR OBSTRUCTION, AND TO MAINTAIN THE SITE IN A WORKABLE CONDITION, THE DISPOSAL AND PLACEMENT OF ALL EXCESS TRENCH MATERIAL SHALL BE THE RESPONSIBILITY OF THE EARTH EXCAVATING CONTRACTOR.
 - THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS. ANY DEWATERING ENCOUNTERED SHALL BE INCIDENTAL TO THE RESPECTIVE UNDERGROUND UTILITY.
 - ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.
 - STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
 - ALL TOP FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULTS COVERS AND B-BOWES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE INCIDENTAL. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL RIM GRADE, RESULTING IN AN EXTRA FOOT ROAD ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.
 - TESTING OF THE EMBANKMENT, SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 1994 EDITION AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE CITY. A QUALITY TESTING FIRM SHALL BE EMPLOYED BY THE DEVELOPER TO PERFORM THE REQUIRED TESTS AND PROVIDE THE RESULTS TO THE ENGINEER AND THE CITY.
 - IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

- COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE AS DETAILED IN THE CONSTRUCTION PLANS. THE CONCRETE SHALL HAVE AN MINIMUM OF 4000 PSI COMPRESSIVE STRENGTH AT 14 DAYS. ALL CURB AND GUTTER SHALL BE BROOK FINISHED. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTIONS DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. (THE AGGREGATE BENEATH THE CURB AND GUTTER SHALL BE INCLUDED IN THE UNIT PRICE OF THE CURB AND GUTTER OR THE ROADWAY SUB-BASE AGGREGATE MATERIAL SHALL BE EXTENDED BENEATH THE CURB AND GUTTER AND WILL BE INCLUDED IN THE COST FOR PAVEMENT SUB-BASE).
- CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. NO HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPTED.
- CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PUBLIC WALKS/PEDESTRIAN PATHS INTERSECT CURB LINES AT STREET INTERSECTIONS AND OTHER LOCATIONS AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESS BY THE HANDICAPPED. (SEE CONSTRUCTION STANDARDS FOR DETAIL).
- SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL SIDEWALK CONCRETE SHALL DEVELOP A MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND INCH PRECASTED EXPANSION JOINTS SHALL BE SET AT CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR ANOTHER SIDEWALK, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE REINFORCED WITH 6x6 #6 WELDED WIRE MESH. ALL SIDEWALK SHALL BE BROOK FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OUT SECTION SIDEWALK SHALL BE PLACED AROUND FRAME WITH A 3/4" EXPANSION JOINT.
- BACKFILLING OF CURBS OR PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- TESTING OF THE EMBANKMENT, SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 1994 EDITION AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE CITY. A QUALITY TESTING FIRM SHALL BE EMPLOYED BY THE DEVELOPER TO PERFORM THE REQUIRED TESTS AND PROVIDE THE RESULTS TO THE ENGINEER AND THE CITY.
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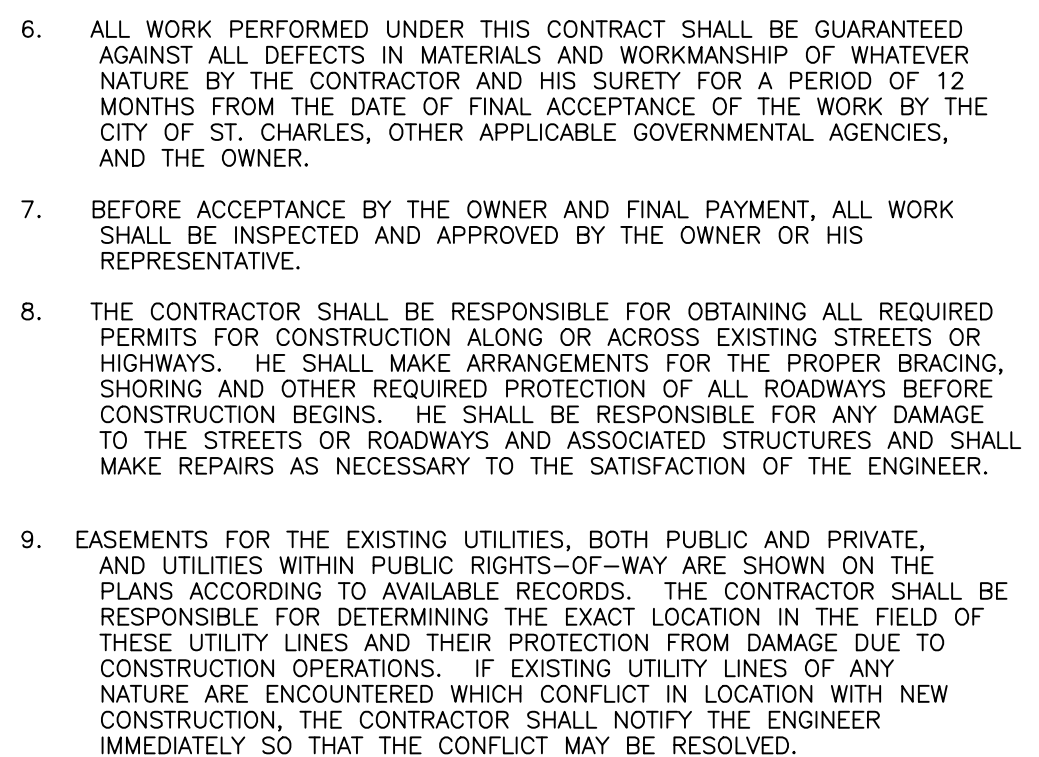
CONCRETE CURB & GUTTER



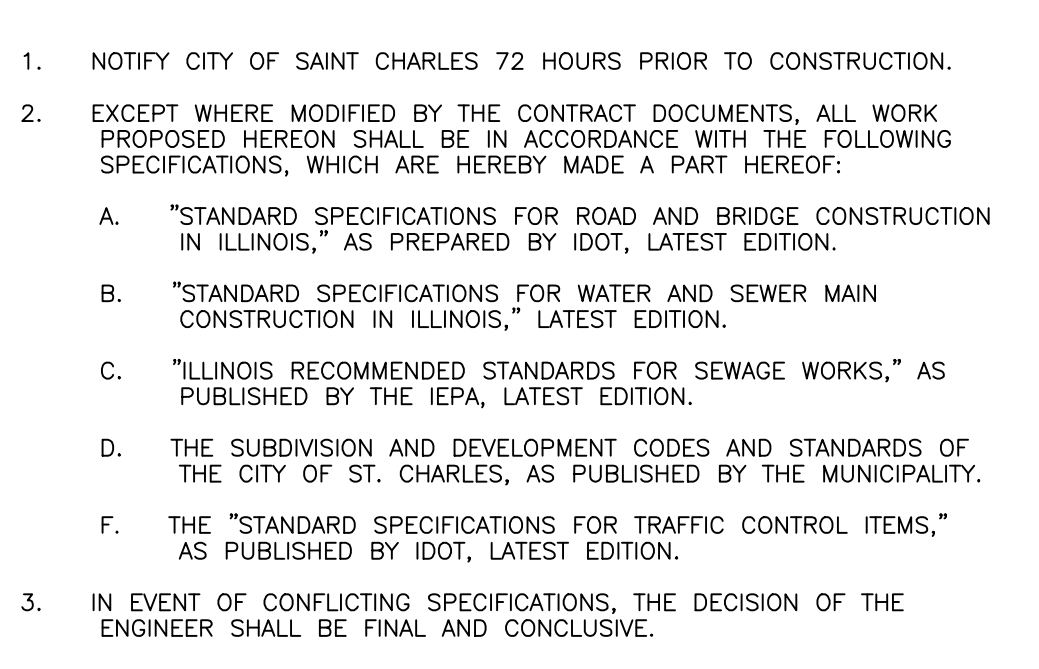
STORM SEWER CONFLICTS:



WATERMAIN CONFLICTS

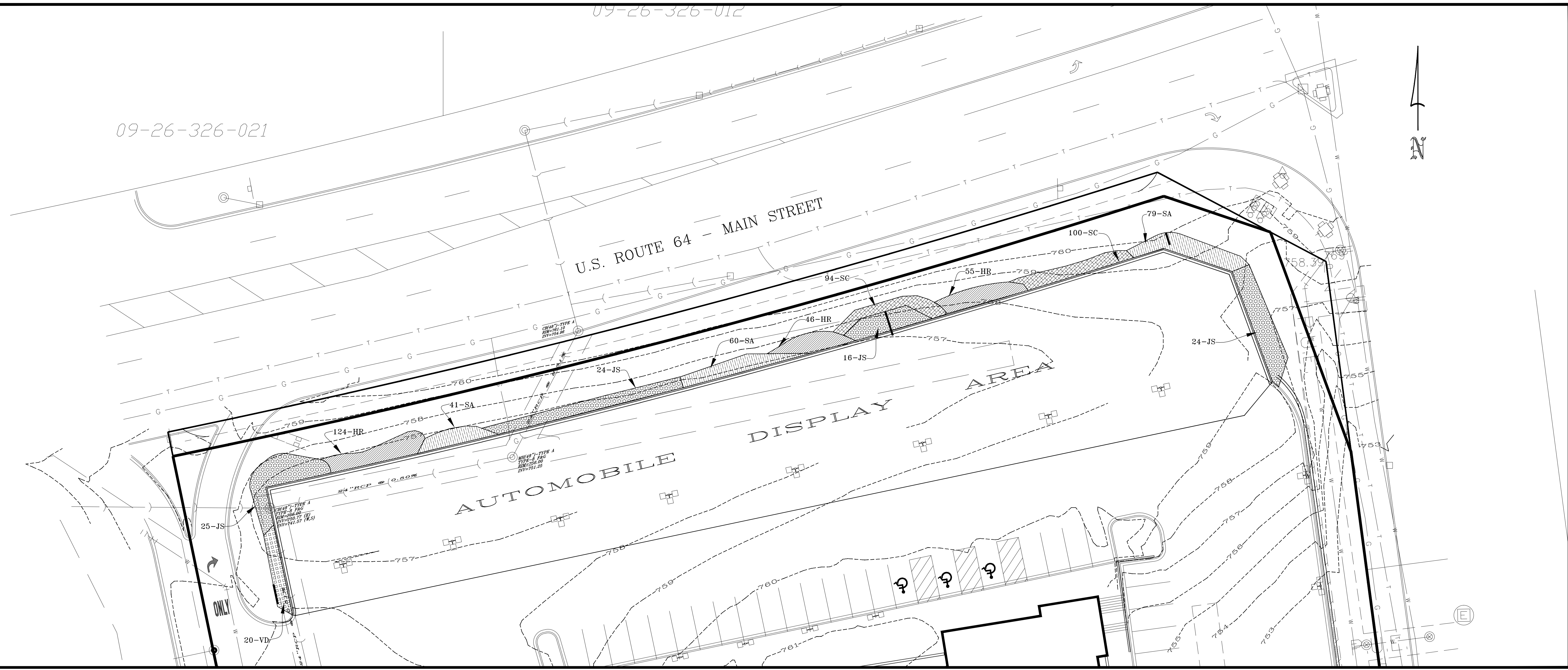


SANITARY SEWER CONFLICTS:



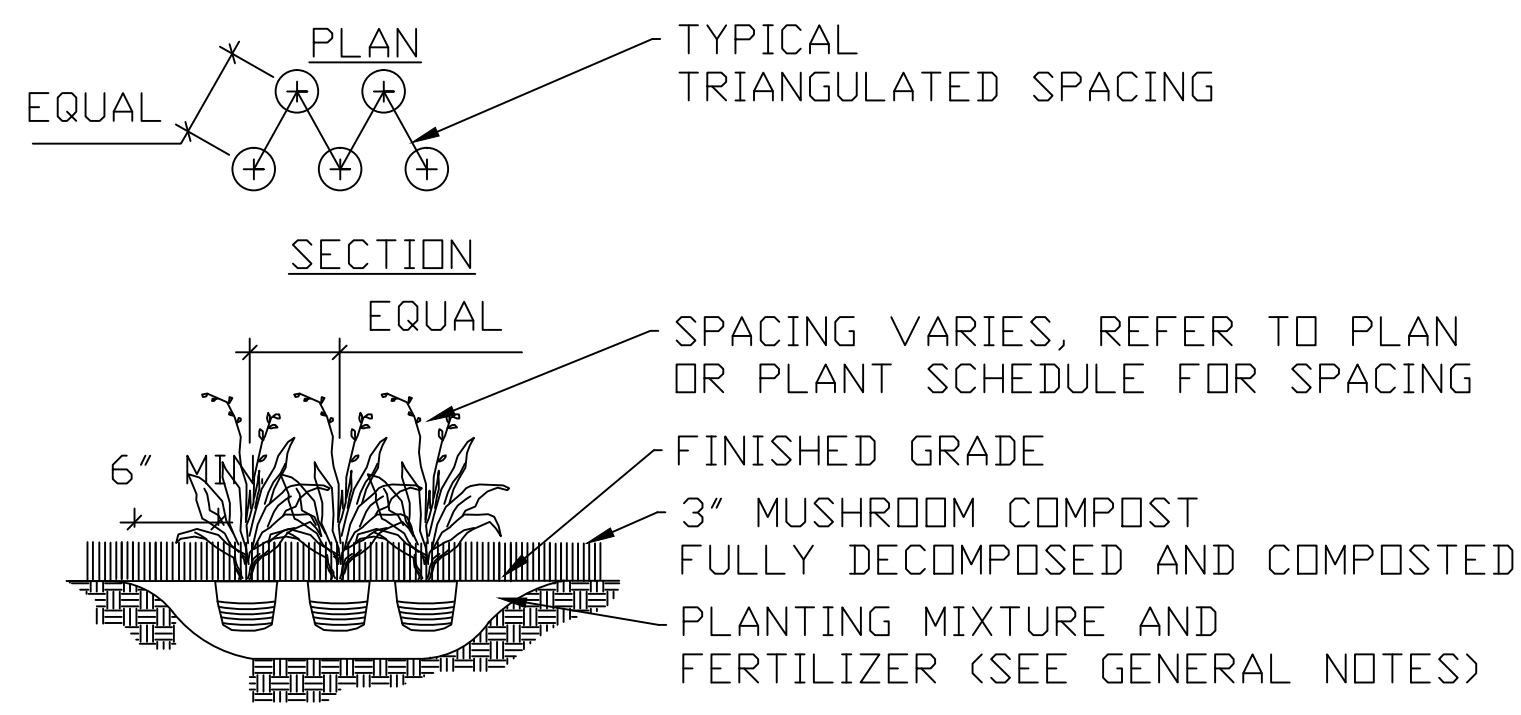
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NOTES:

- 1-ALL PLANT MATERIALS SHALL BE PLANTED W/MINIMUM 6" TOPSOIL AND 3" SHREDDED BARK MULCH.
- 2-ALL PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STD. FOR NURSERY STOCK.
- 3-ALL PLANTS SHALL BE WARRANTIED FOR 12 MONTHS AFTER PLANTING IN PLACE.
- 4-UNLESS OTHERWISE SPECIFIED, ALL PLANTS SHALL BE COMMON-SIZE NURSERY STOCK.
- 5-PLACE SOD ON ALL DISTURBED AREAS, OUTSIDE PLANTING BEDS.
- 6-OWNER/BUILDER/CONTRACTOR SHALL SAVE AND TRANSPLANT EXISTING PLANT MATERIAL IN ACCORDANCE WITH THE BEST LANDSCAPING STANDARDS AND PRACTICES.



PLANT LIST

Botanic Name	Common Name	Size	Quantity
Viburnum dwarf varieties	Viburnum (VD)	NURSERY STOCK	20
Juniperus chinensis sargentii	Sargent Juniper (JS)	NURSERY STOCK	89
Hemerocallis "Apricot Sparkles"	Daylily (HR)	NURSERY STOCK	225
-----	Sedum Autumn joy (SA)	NURSERY STOCK	180
Salvia nemorosa 'caradonna'	Salvia (SC)	NURSERY STOCK	194

