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|--|--|--|-----------------------------|---|
|  | PLAN COMMISSION AGENDA ITEM EXECUTIVE SUMMARY | | | |
| | Project Title/ Address: | 3900 E. Main Street (McDonald's) | | |
| | City Staff: | Matthew O'Rourke, Planner | | |
| Please check appropriate box (x) | | | | |
| | PUBLIC HEARING (5/7/13) | X | MEETING (5/7/13) | X |
| APPLICATIONS UNDER CONSIDERATION: | | | | |
| Special Use (Planned Unit Development and Drive-Through Facility) | | PUD Preliminary Plan | | |
| ATTACHMENTS AND SUPPORTING DOCUMENTS | | | | |
| Staff Report (dated 5/3/13) | | Applications | | |
| PUD Preliminary Plans; Watermark Engineering; dated 4/29/2013 | | Building Plans and Architectural Elevations; McDonald's USA, LLC.; dated 3/22/2013 | | |
| EXECUTIVE SUMMARY: | | | | |
| <p>The owner of the McDonald's restaurant located at 3900 E. Main Street is proposing to update the existing restaurant. The applicant has submitted petitions for amendments to the approved Special Uses for a Planned Unit Development and Drive-Through Facility and approved PUD Preliminary Plan. The details of the proposal are as follows:</p> <ul style="list-style-type: none"> • New Drive-Through Facility with dual-order stations. <ul style="list-style-type: none"> ○ 15 drive-through stacking spaces. ○ Removal of 8 off-street parking spaces to make room for dual order-stations. • Revised and updated architectural features for the entire exterior of the existing building. • Deviation requests through the amended PUD (detailed in staff analysis). • Approval of a new PUD ordinance specific to the McDonald's lot. | | | | |
| RECOMMENDATION / SUGGESTED ACTION <i>(briefly explain):</i> | | | | |
| <p>Conduct the public hearing and close if all the testimony has been taken.</p> <p>Staff has placed this item on the meeting portion of the agenda for a vote should the Plan Commission feel that they have enough information to make a recommendation.</p> <p>Staff recommends approval of the applications contingent upon resolution of any outstanding staff comments, and has provided draft findings of fact to support that recommendation.</p> | | | | |

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

| | |
|---------------------|--------------------------------------|
| CITYVIEW | |
| Project Name: | <u>3900 E. Main St. - McDonald's</u> |
| Project Number: | <u>2013 -PR- 006</u> |
| Application Number: | <u>2013 -AP- 015</u> |

RECEIVED
St. Charles, IL

APR 04 2013

CDD
Planning Division

To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

| | | |
|---|--|-----------------------|
| 1. Property Information: | Parcel Number (s): 01-30-101-019 | |
| | Street Address (or common location if no address is assigned): 3900 E. Main Street St. Charles, IL 60174 | |
| 2. Applicant Information: | Name McDonald's USA, LLC | Phone 630-836-9090 |
| | Address One McDonald's Plaza Oak Brook, IL 60523 | Fax 630-836-9191 |
| | | Email |
| 3. Record Owner Information: | Name McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership | Phone 630-836-9090 |
| | Address One McDonald's Plaza Oak Brook, IL 60523 | Fax 630-836-9191 |
| | | Email |
| 4. Billing: <i>To whom should costs for this application be billed?</i> | Name PCA Team, Dept. 212 | Phone |
| | Address 2111 McDonald's Drive Oak Brook, IL 60523 | Fax |
| | | Email |

Information Regarding Proposed Special Use:

Comprehensive Plan designation of the property: Retail and Service (6 - East Gateway)

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR-Regional Business District PUD with special use

What is the property currently used for? McDonald's Restaurant with drive-thru

What Special Use(s) are you applying for? Please select from the list of Special Uses in the Zoning Ordinance for the appropriate zoning district.

PUD, Restaurant with Drive-Thru Facility

If the proposed Special Use is approved, what improvements or construction are planned?

Remodel the existing building and construct a new side-by-side drive-thru

For Special Use Amendments only:

What Special Use ordinance do you want to amend? Ordinance No. 1996-M-71, also termination
of Ordinance No. 1991-Z-13, as amended, as applied to the subject property and creation of a new PUD.

Why is the proposed change necessary?

To revise the site plan and building elevations.

What are the proposed amendments? (Attach proposed language if necessary)

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- PROOF OF OWNERSHIP and DISCLOSURE:**
 - a) A current title policy report; or
 - b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecofat.state.il.us/ecopublic/>

TRAFFIC STUDY: If requested by the Director of Community Development.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

- Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.
- Revision Submittal for Plan Commission - Twenty-Two (22) full size copies, Three (3) 11" by 17" and a PDF electronic file on a CD-ROM.

SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance

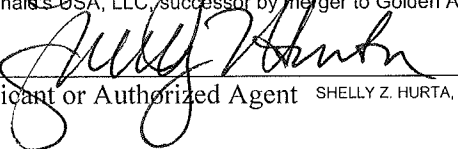
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line
21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership

BY:  3/27/13
 Record Owner SHELLY Z. HURTA, SENIOR COUNSEL Date

McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership

BY:  3/27/13
 Applicant or Authorized Agent SHELLY Z. HURTA, SENIOR COUNSEL Date

FINDINGS OF FACT SHEET – SPECIAL USE



The St. Charles Zoning Ordinance requires the Plan Commission to consider the factors listed below in making a recommendation to the City Council.

As the applicant, the “burden of proof” is on you to show how your proposed Special Use will comply with each of the applicable standards. Therefore, you need to “make your case” by explaining specifically how your project meets each of the following standards.

3900 E. Main Street, St. Charles, IL 60174

March 2013

Project Name or Address

Date

From the Charles Zoning Ordinance, Section 17.04.430.C.2:

No Special Use or amendment to Special Use shall be recommended by the Plan Commission unless it finds that the proposed Special Use or amendment to Special Use will conform with each of these standards. The Plan Commission shall submit its written findings together with its recommendations to the City Council after the conclusion of the Public Hearing, and also may recommend such conditions as it may deem necessary to ensure conformance with these standards.

On the basis of the evidence presented at the public hearing, the Plan Commission shall record its reasons for recommending approval or denial of the petition (findings of fact) in accordance with the following standards:

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

This facility has operated at this location for more than a decade and has been serving the public convenience. The new facility will enhance the public convenience by introducing a more efficient drive-thru facility and significantly improve the aesthetic qualities of the area.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

These utilities are in place and have served this facility.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

This use has been established for more than a decade. Commercial uses and commercial zoning surround this area.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The surrounding properties have already been developed. This use would not impede any redevelopment of the surrounding area.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Again, this use has existed for more than a decade without detrimental effect or endangerment to the public health, safety and welfare. This use will enhance the general welfare by providing a more efficient drive-thru facility and a more contemporary building elevation.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The following PUD deviations are being requested: (1) from Table 17.28-2 to add two additional wall signs for the "M" sign on the west and east elevations; (2) from Table 17.28-2 to increase the number of free-standing signs from one to two.

FINDINGS OF FACT SHEET – SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT (PUD)



The St. Charles Zoning Ordinance requires the Plan Commission to consider the factors listed below in making a recommendation to the City Council.

As the applicant, the “burden of proof” is on you to show how your proposed Planned Unit Development meets the applicable standards. Therefore, you need to “make your case” by explaining specifically how the project meets each of the following standards.

McDonald's

PUD Name

March 2013

Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed development results in a distinctive and attractive development as evidenced by the elevations, which contains brick veneer and cultured stone. This plan also promotes economic development and efficient use of land, utilities, street improvements and drainage facilities by modernizing this facility and improves the overall site plan by making the drive-thru more efficient.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The PUD provides community amenities with the playplace. It provides superior landscaping, buffering and screening with a generous landscape plan and a high quality architectural design. The new building will comply with all regulations for building efficiency.

The departures from the Code are listed in Section F of the Findings of Fact Sheet.

The increase in the wall signage is required because in essence this site has three frontages. Additionally, the Playplace amenity needs signage to alert customers it exists. The "M" logos on the east and west elevations are the only additional signs being requested. These signs are an integral part of the stone arcade feature.

The increase in free-standing signage is required to allow for a pre-sale menu board which allows customers to review a menu while in line and before arriving at the custom order display to place their order. This further improves the efficiency of the drive-thru system.

LEGAL DESCRIPTION

PARCEL 1:

LOT 2 IN WAL-MART SUBDIVISION IN PART OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING A SUBDIVISION OF LOTS 1, 2, 3 AND PART OF LOT 13 OF PETKAUSKAS' SUBDIVISION, EXCEPTING THEREFROM THAT PART OF SAID LOT 2 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 88 DEGREES 50 MINUTES 07 SECONDS EAST ALONG THE SOUTH LINE OF SAID LOT 2, 13.03 FEET; THENCE NORTH 01 DEGREES 09 MINUTES 53 SECONDS WEST, 19.03 FEET TO THE SOUTHWEST CORNER OF AN EXISTING SIGN BASE FOR THE POINT OF BEGINNING; THENCE NORTH 04 DEGREES 06 MINUTES 13 SECONDS EAST, 2.50 FEET; THENCE SOUTH 85 DEGREES 53 MINUTES 47 SECONDS EAST, 2.50 FEET; THENCE SOUTH 04 DEGREES 06 MINUTES 13 SECONDS WEST 2.50 FEET; THENCE NORTH 85 DEGREES 53 MINUTES 47 SECONDS WEST, 2.50 FEET TO THE POINT OF BEGINNING, ALSO EXCEPTING THEREFROM THAT PART OF SAID LOT 2 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 00 DEGREES 08 MINUTES 13 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 2, 35.94 FEET; THENCE SOUTH 89 DEGREES 51 MINUTES 47 SECONDS EAST, 13.74 FEET TO THE NORTHWEST CORNER OF AN EXISTING SIGN BASE FOR THE POINT OF BEGINNING; THENCE SOUTH 85 DEGREES 53 MINUTES 47 SECONDS EAST, 2.50 FEET; THENCE SOUTH 04 DEGREES 06 MINUTES 13 SECONDS WEST, 2.50 FEET; THENCE NORTH 85 DEGREES 53 MINUTES 47 SECONDS WEST, 2.40 FEET; THENCE NORTH 04 DEGREES 06 MINUTES 13 SECONDS EAST, 2.50 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

NON-EXCLUSIVE EASEMENT RESERVED AND GRANTED FOR THE BENEFIT OF OWNER OF PARCEL 1, UPON, ACROSS, OVER AND THROUGH THE AREA SHOWN AS "INGRESS AND EGRESS EASEMENT" ON WAL-MART SUBDIVISION RECORDED AS DOCUMENT R92-165313.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

RECEIVED
St. Charles, IL
APR 04 2013
CDD
Planning Division

| | |
|---------------------|--------------------------------------|
| CITYVIEW | |
| Project Name: | <u>3900 E. Main St. - McDonald's</u> |
| Project Number: | <u>2013 -PR- 006</u> |
| Application Number: | <u>2013 -AP- 014</u> |

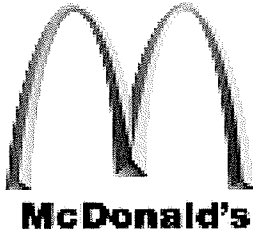
Instructions:

To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

| | | |
|---|---|----------------------------------|
| 1. Property Information: | Parcel Number (s): 01-30-101-019 | |
| | Proposed Name of PUD: McDonald's | |
| 2. Applicant: | Name McDonald's USA, LLC | Phone 630-836-4940 |
| | Address 4320 Winfield Road, Ste. 400 Warrenville, IL. 60555 | Fax 630-836-9191 |
| | | Email Libby.Fisher@us.mcd.com |
| 3. Record Owner: | Name McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership | Phone |
| | Address One McDonald's Plaza Oak Brook, IL 60523 | Fax |
| | | Email |
| 4. Billing: <i>Who is responsible for paying application fees and reimbursements?</i> | Name PCA Team, Dept. 212 | Phone |
| | Address 2111 McDonald's Drive Oak Brook, IL 60523 | Fax |
| | | Email |



McDonald's Corporation
 Campus Office Building
 2915 Jorie Boulevard
 Oak Brook, Illinois 60523
 Direct Dial Number (630) 623-7636
 Fax (630) 623-7370
 Email: shelly.hurta@us.mcd.com

March 26, 2013

City of St. Charles
 Community Development/Planning Division
 Two East Main Street
 St. Charles, Illinois 60174-1984

Re: McDonald's Restaurant – St. Charles, IL
 Application for PUD and Final Plan with Special Use
 3900 E. Main Street
 L/C: 012-1700 – File# 15845

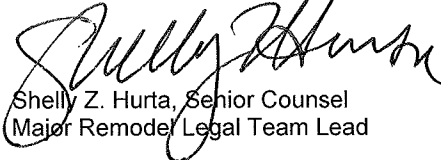
To Whom This May Concern:

McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership, as owner of the above-referenced property, hereby authorizes Henry S. Stilwell III and Rathje Woodward LLC, as its attorney, to attend and give testimony at all public hearings and meetings and obtain all necessary permits and approvals for the above-referenced location, so long as all permits are issued in the name of McDonald's USA, LLC.

Should you have comments or questions regarding the foregoing, please do not hesitate to contact me.

Very truly yours,

McDONALD'S CORPORATION

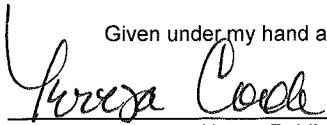


Shelly Z. Hurta, Senior Counsel
 Major Remodel Legal Team Lead

cc: Libby Fisher (via email)
 Tracy Cox (via email)
 Vanessa Garcia (via email)
 Doreen Evans (via email)

STATE OF ILLINOIS)
) SS
 COUNTY OF DUPAGE)

I, Teresa Cook a Notary Public in and for the county and state aforesaid, DO HEREBY CERTIFY that Shelly Z. Hurta Senior Counsel of **McDONALD'S USA, LLC**, a Delaware limited liability company, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument as such authorized party appeared before me this day in person and acknowledged that he/she signed, sealed and delivered the said instrument as his/her free and voluntary act as such authorized party and as the free and voluntary act of said company for the uses and purposes therein set forth.

Given under my hand and notarial seal, this 27 day of March, 2013


 Notary Public

My commission expires July 7, 2015



**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
DuPage) SS.
KANE COUNTY)

I, Shelly Z. Hurta, being first duly sworn on oath depose and say that I am
Senior Counsel Delaware
Manager of McDonald's USA, LLC, an ~~Illinois~~ Limited Liability

Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

see attachment "A" _____

By: Shelly Z. Hurta ~~Manager~~ Senior Counsel
Shelly Z. Hurta

Subscribed and Sworn before me this 27 day of

March, 20 13.

Teresa Cook
Notary Public



Attachment A

Data Sheet Report

McDonald's USA, LLC

Status: Active
Incorporation: Delaware
Date of Incorporation: September 17, 2004
Shareholder: McDonald's Corporation Percentage Held: 100%

Entity Type: Limited Liability Company
Federal ID #: 73-1719185
Fiscal Year End: December 31

Primary Address

One McDonald's Plaza
Oak Brook, IL 60523

Registered Agent

Corporation Service Company
2711 Centerville Road, Suite 400
Wilmington, DE 19808

Purpose of Business

McDonald's USA, LLC is McDonald's U.S. business unit subsidiary.

Note: McDonald's USA, LLC. is listed as an affiliated entity of McDonald's Corporation ("McD Corp") under McD Corp's registration under Illinois' "pay to play" law. Please notify Global Compliance if this entity is dissolved or merged out of existence.

DIRECTORS

Bensen, Peter J

Santona, Gloria

Stratton, Jeffrey P

OFFICERS

Amble, Marcelyn M

U.S. Vice President - QSC

Andersen, Timmy D

U.S. Vice President - McOpCo General Manager

Angelotti, Gerald A

U.S. Vice President - QSC

Ashton, Sharon A

U.S. Assistant Secretary

Bacon, Richard T

U.S. Vice President - Quality Systems

Ball, Martha A

U.S. Vice President - QSC

| | |
|--------------------------------------|--|
| Barnett, Danitra A | U.S. Vice President - Human Resources |
| Bonta, Alvaro F | U.S. Vice President - QSC |
| Boyles, Monica F | U.S. Vice President - General Manager |
| Carras, James S | U.S. Senior Vice President - Development |
| Cole, Christine M | U.S. Senior Vice President - Strategy |
| Collins, James C | U.S. Senior Vice President - Chief Restaurant Officer |
| Colon, Ricardo | U.S. Division President - East Division |
| Cook, Wendy W | U.S. Vice President - Group Leader, Category Management |
| Cook, Yolanda D | U.S. Vice President - QSC |
| Cuneo, Gianfranco | U.S. Vice President - QSC |
| Donovan, Robert E | U.S. Vice President and Treasurer |
| Doria, Myra May G | U.S. Vice President - General Manager |
| Endress, Joseph P | U.S. Vice President - Facilities and Systems |
| Ereio, Gregg A | U.S. Vice President - QSC |
| Erlinger, Joseph M | U.S. Vice President - General Manager |
| Floyd, James A | U.S. Vice President - McOpCo General Manager |
| Forsell, Susan M | U.S. Vice President - Sustainability Environment |
| Garcia, Karen C | U.S. Vice President - General Manager |
| Garcia, Roberto | U.S. Vice President - General Manager |
| Garrett, William R | U.S. Vice President - General Manager |
| Gehret, Daniel S | U.S. Vice President - QSC |
| Golden, Neil B | U.S. Senior Vice President - Marketing |
| Gonzalez Rodriguez, Jose Francisco M | U.S. Vice President - General Manager |
| Gorsky, Daniel J | U.S. Senior Vice President - North America Supply Chain Management |
| Griffin, Catherine A | U.S. Vice President and Secretary |
| Gross, Marion K | U.S. Vice President - Supply Chain Management |
| Guster-Hines, Victoria A | U.S. Vice President - QSC |

| | |
|---------------------|---|
| Hall, Darren R | U.S. Vice President - QSC |
| Harrison, Larry D | U.S. Vice President - RDM Deployment |
| Hensley, Gary J | U.S. Vice President - QSC |
| Horne, Denise A | U.S. Vice President and Assistant Secretary |
| Ituen, Ubong E | U.S. Vice President - Group Leader, Category Management |
| Jamieson, Adele M | U.S. Assistant Secretary |
| Johannesen, James L | U.S. Executive Vice President, Chief Operations and Support Officer |
| Jones, Cedric L | U.S. Vice President - QSC |
| Kanjee, Mwaffak | U.S. Vice President - General Manager |
| Kerley, Steven J | U.S. Vice President - General Manager |
| Krulewicz, Jerome | U.S. Senior Vice President and Assistant Secretary |
| Kujawa, John A | U.S. Vice President - Franchising |
| Kumpf, Ofelia | U.S. Vice President - General Manager |
| Levigne, Steve | U.S. Vice President - Business Research |
| Liberio, Frank D | U.S. Vice President - Information Systems Management |
| Long, Larry | U.S. Vice President - Insurance |
| Lowery, William A | U.S. Vice President - McDonald's Restaurants Wal-Mart |
| Madigan, Kathleen R | U.S. Assistant Secretary |
| Maney, Walter E | U.S. Vice President - General Manager |
| Marshall, Robert C | U.S. Vice President - Operations |
| Matusinec, Karen A | U.S. Vice President - Treasury |
| McCabe, James E | U.S. Vice President - Operations Development |
| McDermott, Brian P | U.S. Vice President - Business Research |
| McKernan, William J | U.S. Vice President - QSC |
| McKinney, Marie | U.S. Vice President - General Manager |
| Miller, Marcy A | U.S. Assistant Secretary - Tax |
| Molloy, Padraic G | U.S. Assistant Secretary |

| | |
|-------------------------|--|
| Moreno, Mark A | U.S. Vice President - General Manager |
| Musolino, Sheila J | U.S. Vice President - Supply Chain Management |
| Newell, Kevin L | U.S. Executive Vice President, Chief Brand and Strategy Officer |
| Norberg, James A | U.S. Senior Vice President - Restaurant Support Officer |
| Noronha, Atila | U.S. Vice President - QSC |
| Olivas, Bianca G | U.S. Vice President - QSC |
| Olson, Teresa M | U.S. Vice President - Controller |
| Peleo-Lazar, Marlana D | U.S. Vice President - Creative |
| Pfeifer, Gina K | U.S. Vice President - Restaurant System Business Integration |
| Phalen, Patrick M | U.S. Vice President - USA IT |
| Plotkin, Steven M | U.S. Division President - West Division |
| Potesta, Gino F | U.S. Vice President - General Manager |
| Quesada, Marcos A | U.S. Vice President - QSC |
| Quinn, Neil J | U.S. Assistant Treasurer |
| Ranft, Martin L | U.S. Vice President - Development |
| Ray, Michael D | U.S. Vice President - QSC |
| Renz, Lee K | U.S. Division President - Central Division |
| Roberts, Bettina S | U.S. Vice President - General Manager |
| Roberts, Debbie S | U.S. Senior Vice President - Restaurant Support Officer |
| Robeson, Charles T | U.S. Senior Vice President - Restaurant Support Officer |
| Rockwell, Scott W | U.S. Vice President - QSC |
| Rogers-Reece, Shirley A | U.S. Vice President - General Manager |
| Russell, Stephen W | U.S. Senior Vice President - Chief People Officer |
| Sconiers, Wendell | U.S. Vice President - Operations Execution |
| Scott, Chuck | U.S. Vice President - Franchise Relations |
| Shuler, Sandra P | U.S. Vice President - QSC |
| Smedstad, Heather L | U.S. Vice President - U.S. General Counsel and Assistant Secretary |

| | |
|------------------------------|--|
| Smith, Martha M | U.S. Assistant Treasurer |
| Smith, Sharlene M | U.S. Vice President - General Manager |
| Smoot, Mason T | U.S. Vice President - Human Resources |
| Soenke, Michael L | U.S. Senior Vice President and Chief Financial Officer |
| Sterling, Peter A | U.S. Vice President - Marketing Administration |
| Stratton, Jeffrey P | President, McDonald's USA |
| Stringfellow, J Benjamin | U.S. Vice President - Communications |
| Strong, Charles E | U.S. Division President - McOpCo |
| Stroud, Debra L | U.S. Vice President - General Manager |
| Switzer, Robert L | U.S. Vice President and Assistant Secretary |
| Teets, Cody R | U.S. Vice President - General Manager |
| Thoma, Wade W | U.S. Vice President - Menu Management |
| Thomas, Diana J | U.S. Vice President - Training, Learning and Development |
| Thomas, Harry L | U.S. Vice President - QSC |
| Tice, William R | U.S. Vice President - General Manager |
| Velez-Valenzuela, Remedios S | U.S. Vice President - QSC |
| Watson, Greg D | U.S. Senior Vice President - Menu Innovation Team |
| Wilfong, Jeff M | U.S. Vice President - General Manager |
| Williams, Alex D | U.S. Vice President - General Manager |
| Yates, Irene W | U.S. Vice President - Tax |

QUALIFICATIONS

Jurisdiction

Alabama

Alaska

Arizona

Arkansas

California

Date

09/28/2004

10/04/2004

09/28/2004

09/28/2004

09/28/2004

| | |
|----------------------|------------|
| Colorado | 10/12/2004 |
| Connecticut | 09/28/2004 |
| District of Columbia | 09/28/2004 |
| Florida | 10/12/2004 |
| Georgia | 10/12/2004 |
| Hawaii | 10/13/2004 |
| Idaho | 09/30/2004 |
| Illinois | 09/27/2004 |
| Indiana | 09/29/2004 |
| Iowa | 09/29/2004 |
| Kansas | 10/12/2004 |
| Kentucky | 10/13/2004 |
| Louisiana | 09/29/2004 |
| Maine | 10/12/2004 |
| Maryland | 10/05/2004 |
| Massachusetts | 10/18/2004 |
| Michigan | 10/14/2004 |
| Minnesota | 09/30/2004 |
| Mississippi | 10/05/2004 |
| Missouri | 09/29/2004 |
| Montana | 10/12/2004 |
| Navajo Nation | 12/06/2007 |
| Nebraska | 10/21/2004 |
| Nevada | 10/12/2004 |
| New Hampshire | 10/18/2004 |
| New Jersey | 10/07/2004 |
| New Mexico | 09/29/2004 |
| New York | 10/12/2004 |
| North Carolina | 09/30/2004 |
| North Dakota | 10/12/2004 |
| Ohio | 10/12/2004 |
| Oklahoma | 10/07/2004 |
| Oregon | 10/06/2004 |
| Pennsylvania | 10/06/2004 |
| Rhode Island | 10/05/2004 |
| South Carolina | 10/14/2004 |
| South Dakota | 10/13/2004 |
| Tennessee | 10/06/2004 |
| Texas | 10/18/2004 |
| Utah | 10/06/2004 |

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|---------------|------------|
| Vermont | 10/12/2004 |
| Virginia | 10/06/2004 |
| Washington | 10/06/2004 |
| West Virginia | 10/12/2004 |
| Wisconsin | 10/15/2004 |
| Wyoming | 10/15/2004 |

DATE OF LAST REVISION

03/01/2013

CONTACT

Ann Schmid

ann.schmid@us.med.com

Community Development

Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



ST. CHARLES
SINCE 1834

Staff Report

TO: Chairman Todd Wallace
And the Members of the Plan Commission

FROM: Matthew O'Rourke, AICP
Planner

RE: Proposed Amendment to Special Uses for a Planned Unit Development and Drive-Through Facility at 3900 E. Main Street (McDonald's)

DATE: May 3, 2013

I. APPLICATION INFORMATION:

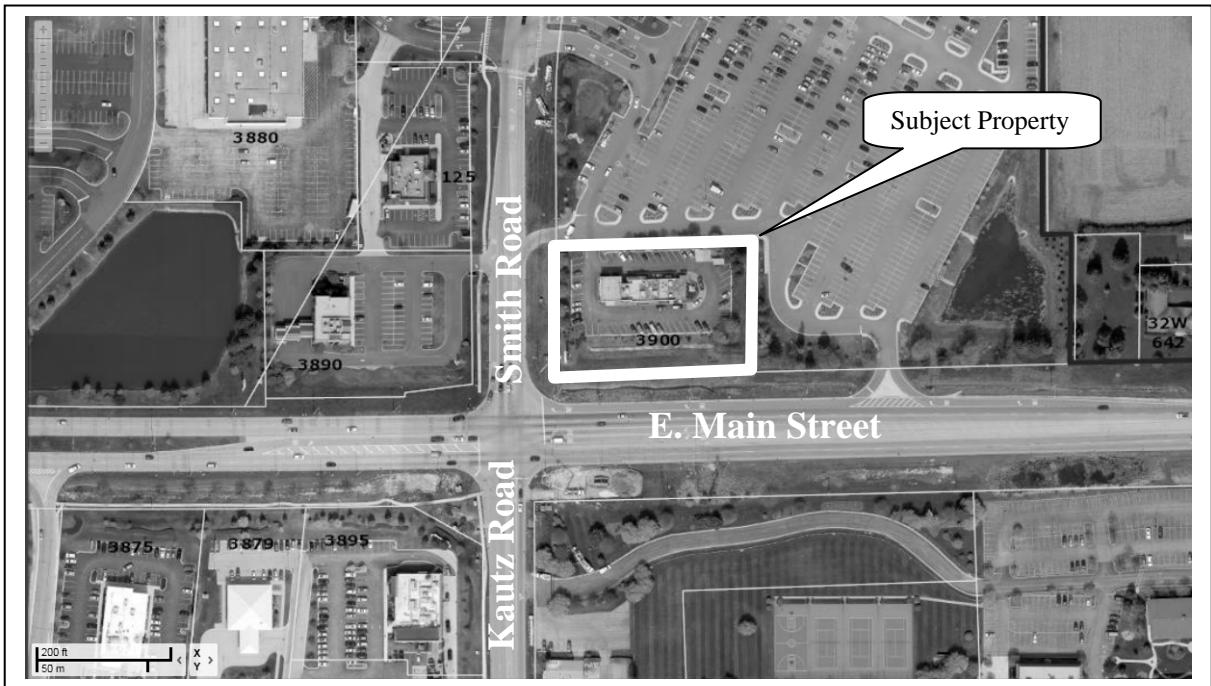
Project Name: 3900 E. Main Street (McDonald's)

Applicant: McDonald's USA, LLC.

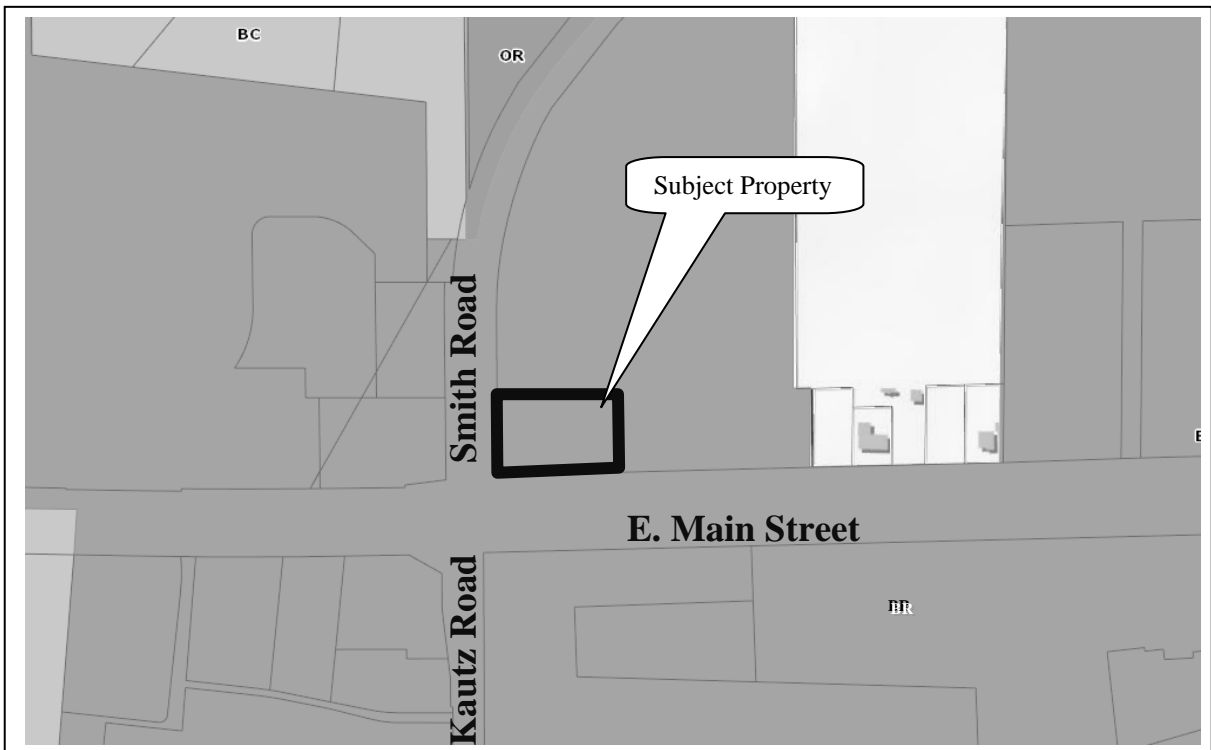
Purpose: Proposed renovations and addition of dual ordering stations for the existing McDonald's restaurant.

| General Information: | | |
|--|--|--------------------------|
| Site Information | | |
| Location | 3900 E. Main Street | |
| Acres | 1.4 | |
| Applications | 1) Special Use for a Planned Unit Development and Drive-Through Facility 2) PUD Preliminary Plan | |
| Applicable Ordinances and Zoning Code Sections | 17.04 Administration 17.14 Business and Mixed Use Districts 17.24 Off Street Parking, Loading & Access 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts Ordinance No. 1996-M-71 "An Ordinance Granting a Special Use for a Drive-In Establishment in the Dunham Club/Rt.64 PUD (McDonald's)" | |
| Existing Conditions | | |
| Land Use | Existing McDonald's Restaurant | |
| Zoning | BR- Regional Business (PUD) and Special Use for a Drive-Through Facility | |
| Zoning Summary | | |
| North | BR-Regional Business PUD | Wal-Mart |
| East | BR-Regional Business PUD | Wal-Mart (Parking Lot) |
| South | BR-Regional Business | Pheasant Run |
| West | BR-Regional Business PUD | Multiple Commercial Uses |
| Comprehensive Plan Designation | | |
| Retail and Service | | |

Aerial Photograph



Surrounding Zoning



II. BACKGROUND

In 1991, the City of St. Charles approved Ordinance 1991-Z-13 entitled, “An Ordinance Granting a Special Use as a Planned Unit Development for the Dunham Club/Rt.64 PUD”. This PUD encompassed the existing Wal-Mart facility which was developed in 1992.

In 1996, a Plat of Subdivision was approved to create the lot on which McDonald’s is currently situated. In conjunction with the subdivision, Ordinance 1996-M-71 entitled, “An Ordinance Granting a Special Use for a Drive-In Establishment in the Dunham Club/Rt.64 PUD (McDonald’s)” was approved to permit the construction of the McDonald’s Restaurant. The restaurant has existed at this location since this approval.

III. PROPOSAL:

The owner of the McDonald’s restaurant located at 3900 E. Main Street is proposing to update the existing restaurant. The applicant has submitted petitions for amendments to the approved Special Uses for a Planned Unit Development and Drive-Through Facility and approved PUD Preliminary Plan. The details of the proposal are as follows:

- New Drive-Through Facility with dual-order stations.
 - 15 drive-through stacking spaces.
 - Removal of 8 off-street parking spaces to make room for dual order-stations.
- Revised and updated architectural features for the entire exterior of the existing building.
- Deviation requests through the amended PUD (detailed in staff analysis).
- Approval of a new PUD ordinance specific to the McDonald’s lot.

IV. STAFF ANALYSIS

Staff performed an analysis of the proposed amendment to the PUD and amended PUD Preliminary Plans for conformance with all relevant standards of the City’ Ordinances. The following is a detailed description of Staff’s analysis:

A. PLANNED UNIT DEVELOPMENT

Since the original Dunham Club/Rt.64 PUD was approved in 1991 there have been several revisions and amendments to that ordinance. In 2010, when the Wal-Mart store was expanded, all of the property owned by Wal-Mart was removed from the Dunham Club/Rt. 64 PUD. Therefore, the only property still under the provisions of the original Dunham Club/Rt. 64 PUD is the McDonald’s site.

In 2006, the City Council approved an entirely new Zoning Ordinance which has rendered the majority of the Dunham Club/Rt. 64 PUD provisions obsolete.

As part of this amendment request, staff and the applicant are proposing to replace the Dunham Club/Rt.64 PUD with a new PUD since the majority of the existing PUD standards do not coincide with the underlying BR-Regional Business Zoning District. The new PUD ordinance will contain provisions specific to this site and will be more in line with the City’s current zoning standards. The PUD Preliminary Plan will also be incorporated in the new PUD ordinance.

B. BULK AND SETBACK STANDARDS

The majority of the site will not be modified as part of this proposal with the exception of the new dual ordering-stations. Staff has reviewed the submitted plans to ensure conformance with the applicable regulations per **Table 17.14-2 Business and Mixed Use Districts Bulk Regulations**. The following table summarizes this review:

| Category | Zoning Ordinance Standard | Proposed |
|----------------------------|--|---|
| Parking Stall Size | 9’ wide by 18’ long (2’ overhang allowed where parking stalls abut green space) | 9’ wide by 19’ angled parking stalls. |
| Drive-Aisle Width | 24’ or 14’ One Way | Minimum 15.8’ (one way proposed around entire site) |
| Parking Requirement | 10 Spaces per 1,000 SQ FT of GFA - (47 required) | 47 |

C. DRIVE-THROUGH FACILITY

Staff has reviewed the proposed Drive-Through Facility for conformance with the standards of **Section 17.24.100 Drive-Through Facilities**. The following table details that review:

| Category | Zoning Ordinance Standard | Proposed |
|------------------------------------|--|--|
| Required Stacking Spaces | 15 | 15 |
| Required Parking Stall Size | 9’ X 20’ | 9’ X 20’ |
| Screened from Public Street | Must not be along or screened from public street | Drive-Through is located away from the public street |

D. LANDSCAPE PLAN

Staff reviewed the submitted landscape plan for conformance with the relevant standards of **Chapter 17.26 Landscaping and Screening**. The majority of the existing landscaping will remain and will conform to the approved PUD Preliminary Landscape Plans. The applicant will be adding additional landscaping to the east of the building around the new dual order-stations.

E. BUILDING ARCHITECTURE

The applicants are proposing to modify the existing exterior of the building. The proposal includes adding new cultured stone wall sections, painting the building a new color scheme, and adding new overhangs and fenestration details. The existing mansard roofs will be removed.

Staff has reviewed the submitted building elevations for conformance with the standards established in **Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts** and existing PUD Preliminary Plan. The elevations conform to these standards with the exception of the amount of EIFS. **Section 17.06.030.E.2 Prohibited Materials** states that EIFS panels cannot comprise more than 10% of any façade. The amount of existing EIFS exceeds this limit. However, the applicant is not replacing any of the existing EIFS or adding and new EIFS area. Therefore, the elevations still meet the standards established by the approved PUD Preliminary Plan.

F. SIGNAGE

Staff reviewed the proposed signage detailed on the architectural elevations for conformance with the relevant standards of **Table 17.28-2 Permitted Signs for Business and Mixed Use Districts**. The following table details that review (deviation requests are highlighted in ***bold italics***):

| Wall Signage Area | Zoning Ordinance Standard | Proposed |
|--|----------------------------------|-------------------------|
| <i>Front Elevation/West</i> | 57 SQ FT | 47 SQ FT |
| <i>Non-Drive Through Elevation/South</i> | 200 SQ FT | 195 SQ FT |
| <i>Drive-Through Elevation/North</i> | 200 SQ FT | 33 SQ FT |
| <i>Rear Elevation/East</i> | 57 SQ FT | 14 SQ FT |
| Number of Wall Signs | | |
| <i>Front Elevation/West</i> | <i>1</i> | <i>2</i> |
| <i>Non-Drive Through Elevation/South</i> | 1 | 1 |
| <i>Drive-Through Elevation/North</i> | 1 | 1 |
| <i>Rear Elevation/East</i> | 1 | 1 |
| Number of Identification Signs | | |
| <i>Pre-Sell Drive-Through Additional Sign</i> | <i>N/A</i> | <i>7.8 SQ FT</i> |
| <i>Pre-Sell Drive-Through Additional Sign</i> | <i>10'</i> | <i>6.75'</i> |

Proposed Deviations

Per **Table 17.28-2 Permitted Signs for Business and Mixed Use Districts** one wall sign is permitted for each street frontage of a zoning lot. This property is considered to have 4 street frontages and 4 wall signs are permitted. There are 5 wall signs shown on the proposed elevations. The applicant has requested a deviation to permit the 5 walls signs.

Per **Table 17.28-2 Permitted Signs for Business and Mixed Use Districts** 1 freestanding business identification sign is permitted per lot. There is an existing business identification sign co-located with the Wal-Mart sign at the intersection of Smith Road and Rt. 64 which will remain. The applicant is proposing a pre-sell sign in front of the drive-through order-stations. Per the Zoning Ordinance this sign is considered a second business identification sign. Therefore, the applicant is requesting a deviation for the second sign. The PUD ordinance will limit the location and size of this sign.

IV. RECOMMENDATION

Conduct the public hearing and close if all the testimony has been taken.

Staff has placed this item on the meeting portion of the agenda for a vote should the Plan Commission feel that they have enough information to make a recommendation.

Staff recommends approval of the applications contingent upon resolution of any outstanding staff comments, and has provided draft findings of fact to support that recommendation.

V. ATTACHMENTS

- Application for a Special Use; received 4/4/2013
- Application for PUD Preliminary Plan; received 4/4/2013
- PUD Preliminary Plans; Watermark Engineering; dated 4/29/2013
- Building Plans and Architectural Elevations; McDonald's USA, LLC.; dated 3/22/2013
- Ordinance No. 1996-M-71

**SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT AT 3900 E. MAIN STREET
(MCDONALD'S)**

From the St. Charles Zoning Ordinance, Section 17.04.410.D.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated Section 17.04.400.A.

This property is locating in the existing Dunham Club/Rt.64 PUD. The proposed amendment does not alter the purpose of the PUD as approved in 1991, but will align the provisions of the PUD with the current underlying zoning requirements.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

This property is located in the existing Dunham Club/Rt.64 PUD. The revised PUD Preliminary Plan illustrates that the new dual order-station Drive-Through Facility meets the standards for Drive-Through Facilities as stated in **Section 17.24.100 Drive-Through Facilities** of the Zoning Ordinance. The applicant has requested the following new deviations to the existing PUD to **Table 17.28-2 Permitted Signs for Business and Mixed Use Districts**:

1. To permit 5 wall signs instead of the 4 permitted.
2. To permit 2 business identification signs instead of the 1 permitted.

a) Conforming to the requirements would inhibit creative design that serves community goals, or

b) Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2).

a. Public Convenience: The Special Use will serve the public convenience at the proposed location.

This amendment does not alter the intent or scope of the approved PUD. The business will continue to exist where it is currently located. The proposed dual order-stations will improve the ability of the restaurant to serve customers in a more timely fashion.

b. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The use is already constructed. The utilities and infrastructure already exist on and around the site and will not be altered by these modifications.

- c. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed amendment will permit the construction of dual order-stations and upgrades to the facades of the existing restaurant. These modifications will improve the function of the Drive-Through Facility and enhance the architectural aesthetics of the site.

- d. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The surrounding properties are already developed.

- e. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

This business already exists on this property. Since this use is already established there will not be any new impacts created by this PUD amendment.

- f. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The development will conform to all applicable regulations with the exception of the deviations requested as part of the proposed PUD.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The modern facades will enhance the aesthetic character of the development and serve as a model for the redevelopment of similar lots in this area. Encouraging the reinvestment of existing businesses promotes retention of businesses and the economic well-being of the City.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The Comprehensive Plan land use designation for this property is Retail and Service and is defined as *“Includes most business uses such as stores, restaurants, consumer and business services and professional office. The maximum Floor Area Ratio is 0.35.”* The proposed use is a restaurant that meets the definition of Retail and Service.

FINDING OF FACT FOR SPECIAL USE FOR A DRIVE-THROUGH FACILITY AT 3900 E. MAIN STREET (MCDONALD')

- a. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed amendment to the Special Use will permit the construction of a dual order-station for an existing Drive-Through Facility. This Special Use currently exists on this property and the proposed modifications will permit the restaurant to serve patrons in a more timely manner.

- b. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The utilities and infrastructure already exist on or are immediately adjacent to the site. The traffic patterns and access points to the site will not be altered by the proposed amendment.

- c. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed amendment to the Special Use for a Drive-Through Facility will permit the construction of a dual order-station to serve customers of the existing restaurant. These modifications will improve the function of the Drive-Through Facility, reduce wait times, and facilitate better traffic circulation on the site.

- d. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The surrounding properties are already developed.

- e. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The property is already in use by this specific business. Since this use is already established, and the dual order-station will facilitate improved traffic circulation, there will not be any new impacts created by this amendment to the Special Use for a Drive-Through Facility.

- f. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The Special Use for a Drive-Through Facility will conform to all applicable regulations of the Zoning Ordinance. In particular, Drive-Through Facilities are required to provide 15 stacking-spaces and 15 stacking-spaces are provided. Despite the reduction of 8 off-street parking stalls there will be 47 off-street parking spaces provided onsite as required by the Zoning Ordinance.

City of St. Charles, Illinois

Ordinance No. 1996-M-71

**An Ordinance Granting a Special Use
for a Drive-In Establishment in the
Dunham Club/Route 64 PUD
(McDonald's)**

**Adopted by the
City Council
of the
City of St. Charles
this 7th day of October, 1996**

**Published in pamphlet form by
authority of the City Council
of the city of St. Charles,
Kane and Du Page Counties,
Illinois, this 11th day of
October, 1996**


City Clerk

(S E A L)

DATE OF PUBLICATION 10/11/96
NEWSPAPER Pamphlet Form

ORDINANCE NO. 1996-M-71

REFER TO:
MINUTES 10/7/96
PAGE _____

**AN ORDINANCE GRANTING A SPECIAL USE
FOR A DRIVE-IN ESTABLISHMENT
IN THE DUNHAM CLUB/ROUTE 64 PUD
(McDonald's)**

WHEREAS, a petition for a Special Use for a "drive-in establishment" within the R-2A District for the real estate described as follows:

Lot 2 in Wal-Mart Subdivision, part of the Northwest Quarter of Section 30, Township 40 North, Range 9 East of the Third Principal Meridian, Lots 1, 2 and 3 and part of Lot 13 of Petruskas's Subdivision, in DuPage County, Illinois

(hereinafter sometimes referred to as the "Subject Realty") has been filed by Wal-Mart Stores, Inc., applicant and owner of record of the Subject Realty (hereinafter, "OWNER"); and

WHEREAS, a Special Use as a Planned Unit Development was granted for the Subject Realty and for other real estate by Ordinance No. 1991-Z-13 entitled "AN ORDINANCE GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT FOR THE DUNHAM CLUB/ROUTE 64 PUD", as amended by Ordinance 1992-Z-2 and Ordinance 1993-Z-7 (hereinafter, the "Ordinance") and said Ordinance provided for Special Uses including "drive-in establishments"; and

WHEREAS, the St. Charles Plan Commission has held a public hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered same;

WHEREAS, the City Council of the City of St. Charles hereby makes the following findings of fact:

- 1. That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

Adequate stacking is provided for the drive-through per the zoning requirements. The stacking lane does not block any access or parking spaces. Pavement markings will be provided to guide traffic in and out of the drive-through.

- 2. That the special use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purpose already permitted, nor substantially diminish or impair property values within the neighborhood.**

The special use will not infringe on adjacent properties. The stacking for the drive-through will be contained entirely on the site. There is a drive-through bank directly to the west of the subject site and has not been detrimental to surrounding properties. A five foot high fence will be installed along the east property line to provide screening for the adjacent residence. The site meets the guidelines set out in the East Gateway Design Standards.

- 3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Much of the surrounding area is already developed. Areas to the north, west and south are zoned for commercial uses including drive-through facilities.

- 4. That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Adequate utilities and drainage facilities will be provided per city ordinance requirements. The existing full access to Smith Road serving the Wal-Mart site, which is located northerly of the McDonald's site, will provide adequate ingress and egress in all directions for the proposed Special Use, and will avoid congestion and related hazards in the public streets by providing for left turns for southbound traffic at a location where appropriate provisions have been made for all turning movements.

- 5. That adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in public streets.**

The owner has agreed to eliminate the right-out only vehicular egress at Smith Road, which will prevent vehicles exiting the site from attempting an improper left turn via the right-out egress. The elimination of this right-out vehicular egress represents a significant change from the plan reviewed by the Plan Commission. It justifies changes to the Plan Commission's

findings per its Resolution No. 20-96. Elimination of this egress will rectify the concerns over hazardous traffic movements anticipated in the Plan Commission's findings.

6. **That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission.**

The special use will meet all applicable regulations of the underlying zoning requirements as provided in the Special Use as a Planned Unit Development that exists on this property.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. That a Special Use for a "drive-in establishment" be and is hereby granted for the Subject Realty, subject to the additional requirements and restrictions provided herein.

SECTION 2. That the Special Use for a drive-in establishment within the Subject Realty may be developed and used only in accordance with all ordinances of the City as now in effect or hereafter amended, and in conformance with Exhibit "A" attached hereto and made a part hereof, and with the following:

That the OWNER shall construct and pay for all improvements necessary to eliminate the right-out-only egress lane onto Smith Road, as shown in Sheet C-5 of Exhibit "A" attached hereto, and as determined by the City Engineer in accordance with the St. Charles Municipal Code. All such improvements shall be completed no later than April 1, 1997. Prior to issuance of a building permit, OWNER shall provide CITY with a cash escrow or an undertaking and letter of credit in form, amount and provider acceptable to the City Council, to guarantee

completion of all such improvements within the Smith Road right of way. If the improvements to eliminate the right-out-only egress lane are not completed by April 1, 1997, the City may draw on the cash escrow or Letter of Credit to complete them. The letter of credit shall not expire earlier than October 1, 1997.

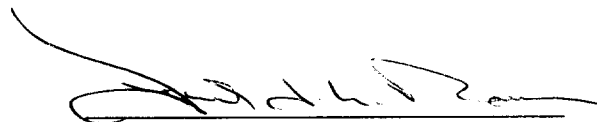
SECTION 3. That the Preliminary Plan, a reduced copy of which is attached hereto as Exhibit "A" consisting of sheets C-5, C-1, C-2, CE-1, L-1, Lighting, A1, and A3 prepared by McDonald's Corporation, and sign elevation received September 18, 1996 entitled "Concept 1" is hereby approved, with the condition that the access to Smith Road shall be configured as shown in Sheet C-5.

SECTION 4. That this Ordinance shall become effective from and after its passage and approval in accordance with law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of October, 1996.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of October, 1996.

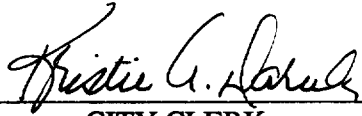
APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of October, 1996.


MAYOR

ATTEST:

Ordinance No. 1996-M-71

Page 5



CITY CLERK

COUNCIL VOTE:

Ayes: 13

Nays: 0

Absent: 0

Approved as to form:

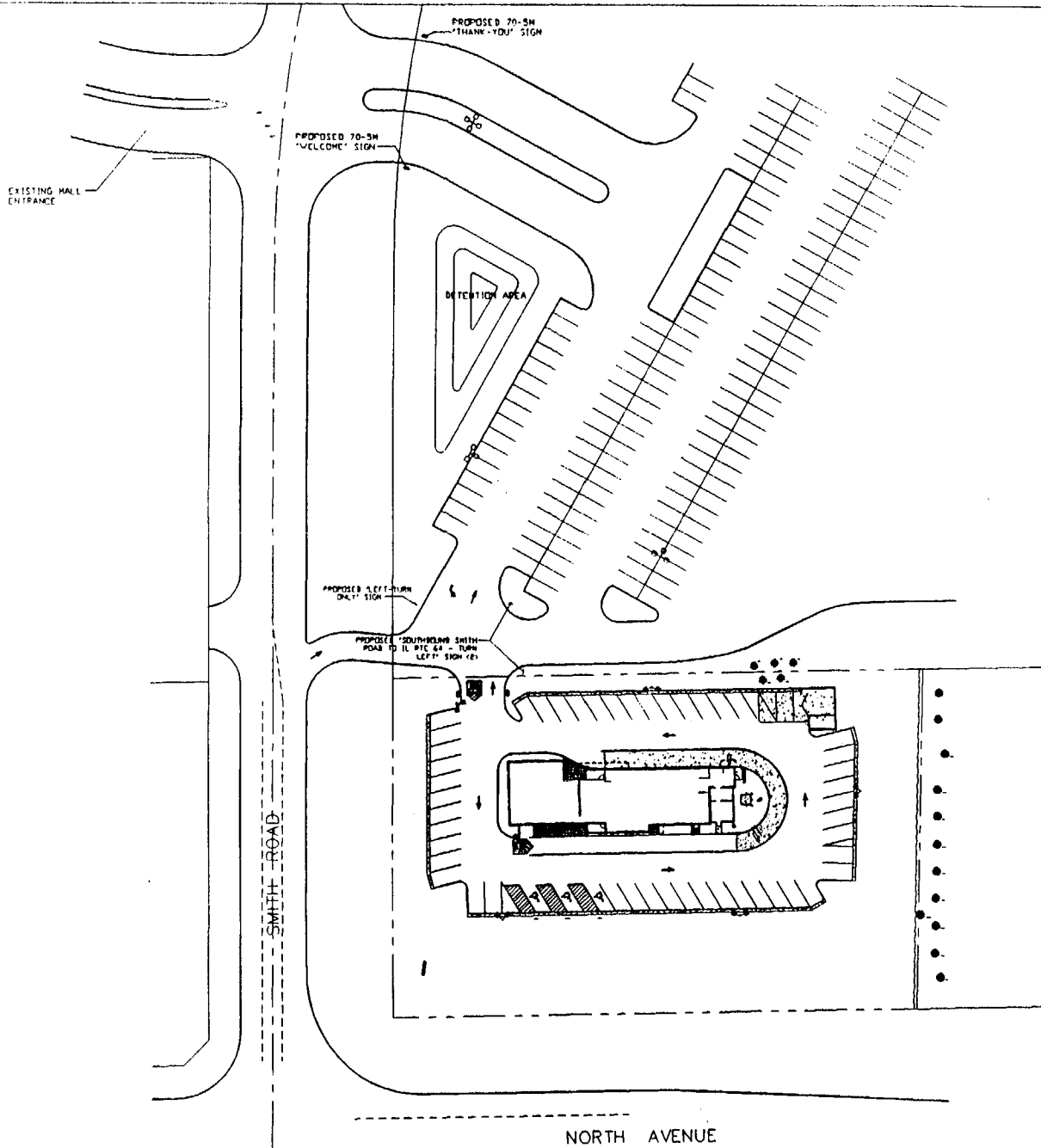


City Attorney

October 10, 1996

Date

EXHIBIT A



GENERAL NOTES

1. DIMENSIONS SHOWN ARE BASED ON THE CIVIL CONTRACTOR CORNER AND VERTIC ARE BY THE GENERAL CONTRACTOR.
2. SMALL LETTER PRINT CORNER AND VERTIC ARE BY THE GENERAL CONTRACTOR.
3. 3/4" DIMTY CORNER TO LOCATIONS SHOWN AS THE CIVIL CONTRACTOR FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LOCATIONS FOR UTILITY SERVICE CORNER LOCATIONS SHOWN AS THE CIVIL CONTRACTOR.
4. MARKS FOR FOUNDATIONS ARE BY THE GENERAL CONTRACTOR. MARKS FOR UTILITY SERVICE CORNER LOCATIONS SHOWN AS THE CIVIL CONTRACTOR.
5. PROPOSED UTILITIES ARE SHOWN BY SYMBOLS ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE BEST ECONOMIC INSTALLATION.
6. THE CONTRACTOR SHALL COOPERATE WITH ALL UTILITY COMPANIES TO OBTAIN EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY TIE-INS TO THE BUILDING ELECTRICAL AND PLUMBING DIVISIONS FOR UTILITY SERVICE CORNER LOCATIONS SHOWN AS THE CIVIL CONTRACTOR.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE FINISH FLOOR AND SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT CONSTRUCTION.
8. FINISH FLOOR AND CURB ELEVATIONS SHALL BE AT LEAST THREE FEET DIFFERENT.
9. ALL LANDSCAPE AREAS SHALL BE FINISH GRADE TO 1" BELOW TOP OF ALL CURBS AND CURBS FROM FINISH LANDSCAPE AND FINISHED ELEVATIONS ARE IN THE DEVELOPMENT.
10. LOT LIGHTING LOCATIONS SHOWN ARE TO CONFORM WITH THE WELL REPORT RECOMMENDATIONS FOR THIS PROJECT AT SITE.
11. CORNER TIE-IN:
 - (A) ALL LOT LIGHTS TO BE AT LEAST 3/4" CORNER
 - (B) FINISH FLOOR TO BE AT LEAST 1/2" CORNER
 - (C) FINISH FLOOR TO BE AT LEAST 1/2" CORNER
 - (D) FINISH FLOOR TO BE AT LEAST 1/2" CORNER

PAVING SPECIFICATION

- 1" BITUMINOUS CONCRETE SURFACE COURSE
 - 2" BITUMINOUS CONCRETE SURFACE COURSE
 - 4" GRAVEL BASE, CA-6, ROLLED & COMPACTED
 - 4" LAYER OF TYPAR REINFORCING OVER SUB-BASE
- GRAVEL BASE AND SUB-BASE COURSES SHALL BE PLACED OVER THE SUB-GRADE AND EACH COURSE COMPACTED AT 95% MODIFIED PROCTOR LABORATORY DENSITY.

LOT LIGHTING RECOMMENDATION

- SECURITY LIGHTING SYSTEM METAL HALIDE, ORDER 150-1000-100-100-100
- 8 DOUBLE HEAD FIXTURES
 - 8 SINGLE HEAD FIXTURES
 - 8 TRIPLE HEAD FIXTURES
- LOT LIGHTS TO BE WIRED ON ALTERNATE CIRCUITS AS SHOWN. PAGES TO HAVE 3/4" DIAMETER 30' LONG GALVANIZED W/IRON.

PARKING INFORMATION

| LOT SPACES | 20 SPACES | 30 SPACES | 40 SPACES |
|------------|----------------|-----------------|-----------------|
| 52 | 9' x 25' @ 60' | 9' x 28' @ 75' | 9' x 28' @ 90' |
| | 3 SPACES | 16' x 28' @ 60' | 16' x 28' @ 60' |

UTILITY INFORMATION

| | SIZE | TYPE | LOCATION |
|----------------|------|------|----------|
| SANITARY SEWER | | | |
| WATER | | | |
| STORM SEWER | | | |
| ELECTRIC | | | |
| GAS | | | |

SURVEY INFORMATION

PREPARED BY: GARDNER & ASSOCIATES
 300 E. ST. CHARLES PLACE
 LOMBARD, ILLINOIS 60148
 DATE: 1/28/89 (780) 916-6282

LEGEND

| | | | |
|---|----------------|---|--------------------|
| — | SANITARY SEWER | — | GAS |
| — | WATER | — | LOT LIGHT |
| — | STORM SEWER | — | EXISTING ELEVATION |
| — | ELECTRIC | — | PROPOSED ELEVATION |

PLAN SCALE: 1" = 30'

STREET ADDRESS: NORTH AVE. (IL RTE 64) & SMITH RD.

| CITY | STATE | STATUS | DATE | BY |
|-------------|----------|--------------|----------|-----|
| ST. CHARLES | ILLINOIS | PRELIMINARY | 07/28/89 | ASJ |
| COUNTY | DUPAGE | PLAN CHECKED | | |
| | | AS-BUILT | | |

| REGIONAL DWG NO. | CORPORATE DWG NO. |
|------------------|-------------------|
| IL #012-1700 | IL #012-1700 |

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF GARDNER & ASSOCIATES, INC. NO PART OF THESE PLANS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF GARDNER & ASSOCIATES, INC.

CHICAGO OFFICE: 300 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148
 FIELD OFFICE: 100 W. MADISON ST., CHICAGO, ILLINOIS 60601

| DATE | REVISION |
|------|----------|
| | |
| | |
| | |

| DATE | REVISION |
|------|----------|
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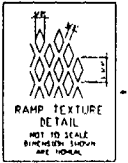
SIGNATURE (2 REQUIRED)

PLAN APPROVALS

CD SIGNATURES

C-5

- ADA ACCESSIBILITY NOTES:
- EACH HANDICAPPED PARKING STALL TO HAVE BLUE INSIGNIA PAINTED ON PAVEMENT
 - HANDICAPPED RESERVE PARKING SIGN WITH 150 TPI RIBBED
 - HANDICAPPED RAMP TO HAVE:
 - MINIMUM 1:12 SLOPE
 - SLIP RESISTANT PAVEMENT
 - SIGN NOTING RAMP LOCATION & ACCESSIBLE ROUTE
 - HAND RAILS WHEN USED WILL BE BETWEEN 34" TO 38" HIGH WITH ROUNDED ENDS EXTENDING 1' BEYOND THE BEGINNING & END OF THE RAILLINE
- ALL STALLS & RAMP SHALL COMPLY WITH FEDERAL STATE & LOCAL ADA ACCESSIBILITY CODES



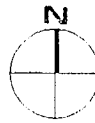
3 BOOTH IN LINE FACE-TO-FACE SYSTEM TO HAVE A 4" DIAMETER 3" HIGH YELLOW PVC CONCRETE FILLED AND CAPPED POST REQUIRED AT THE SERVICE WINDOW (RAMP-OUT OR FLUSH MOUNTED) TO DETERMINE GUARD POST LOCATION. 2 VEHICLE DETECTOR LOOPS ONE AT PREVIEW AREA AND ONE AT THE FIRST BOOTH. PREVIEW AREA TO HAVE MENU BOARD (WITH NO SPEAKER) POSITIONED FOR BEST VIEWING BY CAR WAITING BEFORE FIRST BOOTH. PREVIEW AREA ALSO TO HAVE FACE-TO-FACE IDENTIFICATION SIGN & VEHICLE HEIGHT DETECTOR. AIR-ENTRAINED CONCRETE PAD IN LENGTH SHOWN. FIRST BOOTH TO HAVE MENU CARD SYSTEM IN WINDOW.

DRIVE-THRU STACKING 15 CARS @ 20' EACH = 300 LINEAR FEET.

CONTRACTOR TO RUN 3/4" COLD WATER & 3/4" EMPTY CONDUIT TO TRASH CORRAL. INTERIOR OF CORRAL & SHED TO BE PAINTED WHITE. EXTERIOR OF TRASH CORRAL & SHED TO MATCH EXTERIOR OF BUILDING.

SMITH ROAD

NORTH AVENUE



GENERAL NOTES

- PERMITS, SIGN SIGN AND PAVE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- SHIELD WIPER PILE, CONCRETE AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LEFT PERMITTED FOR USE FOR LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHT FIXTURES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. WIRING SHALL BE BY THE GENERAL CONTRACTOR.
- SHIELD WIPER PILE, CONCRETE AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- PROPOSED UTILITIES ARE SHOWN BY GENERAL CONTRACTOR. EXISTING UTILITIES SHALL BE RELOCATED TO AVOID THE NEW CONCRETE INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION. EXISTING UTILITIES SHALL BE RELOCATED TO AVOID THE NEW CONCRETE INSTALLATION. PROVIDE FOR UTILITY SERVICE ENTRANCE LOCATION, LOCATION AND UTILITIES.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE CHECKED BY THE GENERAL CONTRACTOR AT PROVISIONAL.
- GRADE SHALL BE TO CURB ELEVATION SHALL BE 1' ABOVE FINISH GRADE.
- ALL LANDSCAPE SHALL BE IN ACCORDANCE TO THE BENCHMARK AND MUST BE CHECKED BY THE GENERAL CONTRACTOR AT PROVISIONAL.
- LET LIGHTING CONCRETE FORMING IS TO BE WITH THE BEST PRACTICE RECOMMENDATION FOR THIS PARTICULAR SITE.
- CONCRETE NOTES:
 - USE ALL LET LIGHTS TO BE AT LEAST 3/4" CONCRETE
 - USE CONCRETE TO BE AT LEAST 3/4" CONCRETE
 - USE 3/4" BARS & HIGH STRENGTH TO BE USE 1/2" CONCRETE
 - ON WATER LINE & DRAIN CONDUIT TO CONCRETE TO BE 3/4" CONCRETE

PAVING SPECIFICATIONS

GENERAL: TOTAL CONTRACTOR SHALL PROVIDE:

- 1" BITUMINOUS CONCRETE SURFACE COURSE
- 2" BITUMINOUS CONCRETE BINDER COURSE
- 4" GRAVEL BASE, CA-4, ROLLED & COMPACTED
- 1" LAYER OF TYPAR REINFORCING OVER SUB-BASE

GRAVEL BASE AND SUB-BASE COURSE SHALL BE PLACED OVER THE SUB-GRADE AND EACH COURSE COMPACTED AT 95% MODIFIED PROCTOR LABORATORY DENSITY.

APPROXIMATE ELEVATIONS SHOWN ARE THE POINT TO WHICH A CONSTRUCTION GRADE SHALL BE MAINTAINED. IF ANY OTHER ELEVATIONS OR PROVISIONAL NOTES WILL BE AT THE LOCATION OF THE SIGN, CONTRACTOR SHALL BE RESPONSIBLE.

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING SYSTEM METAL HALIDE ORDER: 3 ASH-IRIDIUM-DRIVE, 10 SINGLE HEAD FIXTURES, 3 DOUBLE HEAD FIXTURES, 8 TRIPLE HEAD FIXTURES. LOT LIGHTS TO BE WIRING ON ALTERNATE CIRCUITS AS SHOWN BASES TO HAVE 3/4" DIAMETER 30' LONG GALVANIZED WIRE.

NOTE: ELECTRICAL CONTRACTOR TO CHECK LOT LIGHTING AT NOTES.

PARKING INFORMATION

| | | |
|--------------------|-----------|-----------------|
| TOTAL SPACES 52 | 25 SPACES | 9' x 20' x 50' |
| | 10 SPACES | 9' x 20' x 75' |
| | 8 SPACES | 10' x 20' x 50' |
| | 3 SPACES | 10' x 20' x 60' |

UTILITY INFORMATION

| SIZE | TYPE | LOCATION |
|------|----------|----------|
| 12" | SEWER | - |
| 12" | WATER | - |
| 12" | SEWER | - |
| 12" | ELECTRIC | - |
| 12" | DR | - |

SURVEY INFORMATION

PREPARED BY: GORTON & ASSOCIATES
508 E. 14th STREET, P.O. BOX 60118
LAURENS, MISSOURI 64584
DATE: 11/20/95 (788) 716-6242

LEGEND

| | | | |
|-------|-------|--------------------|--------------------|
| SEWER | WATER | LOT LIGHT | EXISTING ELEVATION |
| ST | ST | PROPOSED ELEVATION | |

PLAN SCALE: 1" = 20'

STREET ADDRESS: NORTH AVE. (IL RTE 64) & SMITH RD.

| | | | | |
|-------------|----------|--------------|----------|-----|
| CITY | STATE | STATUS | DATE | BY |
| ST. CHARLES | ILLINOIS | PRELIMINARY | 11/20/95 | BJS |
| COUNTY | | PLAN CHECKED | | |
| DUPAGE | | AS-BUILT | | |

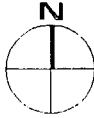
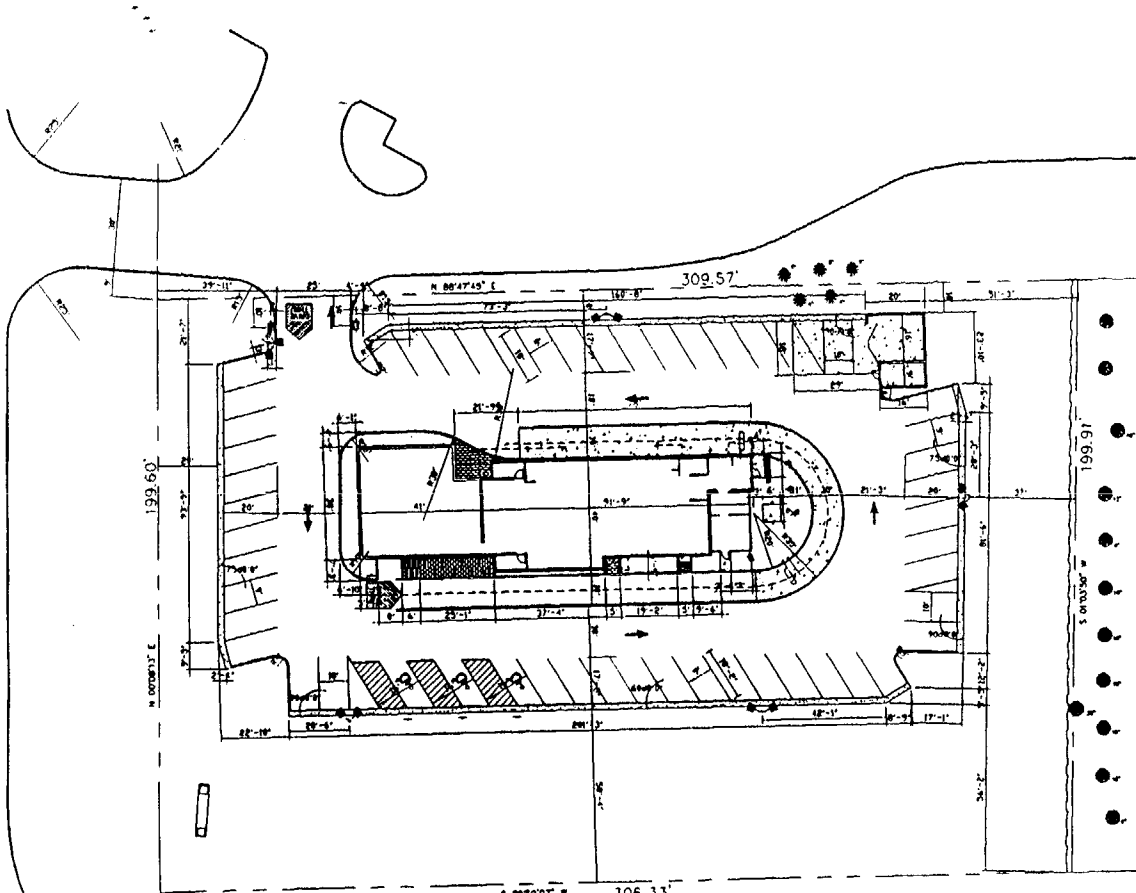
REGIONAL DIV. NO. IL #012-1700 CORPORATE DIV. NO. IL #012-1700

McDonald's

| DATE | DESCRIPTION | BY |
|----------|-------------|-----|
| 11/20/95 | PREPARED | BJS |
| 11/20/95 | CHECKED | BJS |
| 11/20/95 | APPROVED | BJS |
| 11/20/95 | AS-BUILT | BJS |

C-1

SMITH ROAD



GENERAL NOTES

1. FOUNDATION BEARINGS AND BASE ARE IN THE SIGN CONTRACTOR'S FOOTING AND SHALL BE BY THE GENERAL CONTRACTOR.
2. IRON ANCHOR BOLT, CONCRETE, AND WELDS FOR ALL OTHER ITEMS ARE BY THE GENERAL CONTRACTOR.
3. SLOPE DITCHES SHALL BE LOCATED SHOWN AT THE LOT PERMITS FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHT-BULB FIXTURES, BASES, POLYS, CONCRETE AND WELDS ARE BY THE SIGN CONTRACTOR.
4. BILLS FOR MATERIALS ARE BY THE GENERAL CONTRACTOR FOR ALL ITEMS ARE BY THE MATERIALS SUPPLIER.
5. PROPOSED UTILITIES ARE SHOWN IN GENERALITY ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINTS OF SERVICE CONNECTIONS AT EXISTING UTILITY METERS TO THE BUILDING ELECTRICAL AND PLUMBING SERVICES. PROVIDE FOR UTILITY SERVICE CONNECTIONS, LOCATIONS, SIZES AND CHANGING.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT INSTALLATION.
8. FINISH FLOOR AND FLOOR ELEVATIONS SHALL BE AS SHOWN IN PLAN. FINISH FLOOR.
9. ALL LANDSCAPE MEASUREMENTS SHALL BE MEASURED TO THE TOP OF ALL CURBS AND CURBS FROM GRADE. LANDSCAPE MEASUREMENTS SHALL BE BY THE SIGN CONTRACTOR.
10. ALL LOT LIGHTING SHALL BE PROVIDED WITH THE LOT LIGHTING RECOMMENDATION FOR THIS PARTICULAR SITE.
11. FOUNDATION:
 - (a) ALL LOT LIGHTS TO BE AT LEAST 3" CONCRETE ON EXISTENCE'S EXISTENCE'S 3" CONCRETE.
 - (b) FOR FOUNDATION MEASUREMENTS TO BE AS SHOWN ON PLAN ON WATER LINE & DITCH CONCRETE TO FOUNDATION TO BE 3" CONCRETE.

PAVING SPECIFICATION

- MINIMUM 7" TOTAL COMPACTED AT LEAST THE THICKNESS:
- 1" BITUMINOUS CONCRETE SURFACE COURSE.
 - 2" BITUMINOUS CONCRETE SURFACE COURSE.
 - 4" GRAVEL BASE, CAN BE ROLLED & COMPACTED.
 - LAYER OF TYPAR REINFORCING OVER SUB-BASE.
 - GRAVEL BASE AND SUB-BASE COURSES SHALL BE PLACED OVER THE SUB-GRADE AND EACH COURSE COMPACTED AT 90% MODIFIED PROCTOR LABORATORY DENSITY.

NOTE: SUBGRADE SHOULD BE PREPARED TO BE READY TO RECEIVE A CONCRETE SLAB. IF THE SUBGRADE IS NOT READY TO RECEIVE A CONCRETE SLAB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF THE SUBGRADE TO BE READY TO RECEIVE A CONCRETE SLAB.

LOT LIGHTING RECOMMENDATION

- SECURITY LIGHTING SYSTEM, METAL HOULING ORDER
- 12-1/2" HIGH-INTENSITY DISCHARGE (HID) LIGHTS
 - 8 SINGLE HEAD FIXTURES
 - 5 DOUBLE HEAD FIXTURES
 - 3 TRIPLE HEAD FIXTURES
- LOT LIGHTS TO BE SPACED ON ALTERNATE CORNERS AS SHOWN BASED TO HAVE 5' SPACING BETWEEN LIGHTS ON VARIOUS SIDES

NOTE: ELECTRICAL CONTRACTOR TO VERIFY LOT LIGHTING AS NOTED.

PARKING INFORMATION

| | | |
|--------------------|-----------|-----------------|
| TOTAL SPACES 52 | 26 SPACES | 9' x 20' @ 40' |
| | 18 SPACES | 9' x 20' @ 75' |
| | 5 SPACES | 10' x 20' @ 90' |
| | 3 SPACES | 16' x 20' @ 60' |

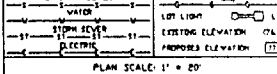
UTILITY INFORMATION

| UTILITY | SIZE | TYPE | LOCATION |
|-------------|------|------|----------|
| SEWAGE | | | |
| WATER | | | |
| STORM SEWER | | | |
| ELECTRIC | | | |
| BASE | | | |

SURVEY INFORMATION

PREPARED BY: Gentry & Associates
508 E. ST. CHARLES PLACE
LOMBARD, ILLINOIS 60148
(708) 918-6282
DATE: 1/26/95

LEGEND



PLAN SCALE: 1" = 20'

STREET ADDRESS: NORTH AVE. (IL RTE 64) & SMITH RD.

CITY: ST. CHARLES STATE: ILLINOIS

COUNTY: DUPAGE

REGIONAL DWS NO: IL #012-1700 CORPORATE DWS NO: IL #012-1700

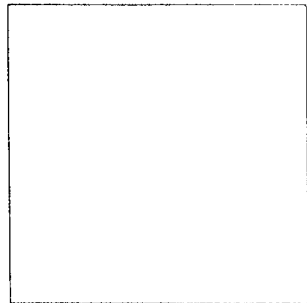
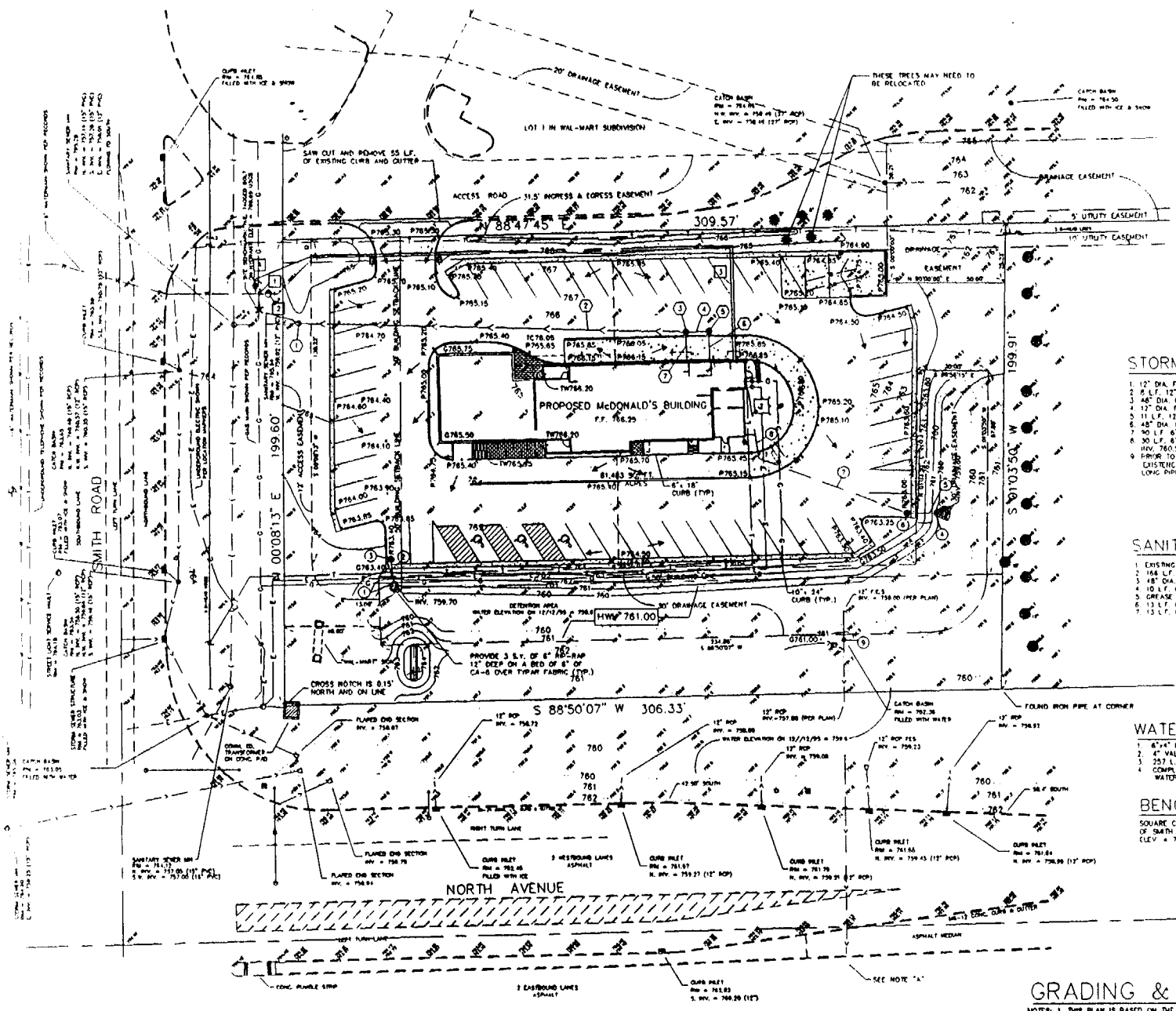
STATUS: PRELIMINARY DATE: 01/26/95

PLAN CHECKED: [Signature] AS-BUILT: [Signature]

| REV | DATE | DESCRIPTION | BY | ISSUE NO. |
|-----|----------|------------------------|-----|-----------|
| 1 | 01/26/95 | FINAL DESIGN | JLS | 001 |
| 2 | 01/26/95 | REVISIONS TO SIGNATURE | JLS | 002 |
| 3 | 01/26/95 | REVISIONS TO SIGNATURE | JLS | 003 |
| 4 | 01/26/95 | REVISIONS TO SIGNATURE | JLS | 004 |
| 5 | 01/26/95 | REVISIONS TO SIGNATURE | JLS | 005 |

| DATE | BY | STATUS | DATE | BY |
|----------|-----|--------------|----------|-----|
| 01/26/95 | JLS | PRELIMINARY | 01/26/95 | JLS |
| 01/26/95 | JLS | PLAN CHECKED | 01/26/95 | JLS |
| 01/26/95 | JLS | AS-BUILT | 01/26/95 | JLS |

C-2



- STORM SEWER**
- 12" DIA. FLARED END SECTION, INV. 756.70
 - 6" L.F. 12" ROP CL. IN STORM SEWER AT 1.00%
 - 48" DIA. CATCHBASIN, RM 763.40, INV. 756.87
 - 12" DIA. FLARED END SECTION, INV. 759.80
 - 11" L.F. 12" ROP CL. IN STORM SEWER AT 0.50%
 - 48" DIA. CATCH BASIN, RM 783.00, INV. 759.70(E), 760.05(W)
 - 30 L.F. 6" PVC (SDR 26) ROOF DRAIN AT 3.00% INV. AT BLDG. 762.75
 - 30 L.F. 6" PVC (SDR 26) ROOF DRAIN AT 3.00% WITH WVC CONNECTION INV. 760.55, INV. AT BLDG. 762.75
 - 4" ROP TO OCCUPANCY, THE 4" RESPONDER SHALL BE VERIFIED AS TO ITS EXISTENCE AND ELEVATION. IF ONE DOES NOT EXIST, INSTALL A 4" DIA. 2' LONG PIPE IN THE DOWNSTREAM PIPE OF THIS BASIN

- SANITARY SEWER**
- EXISTING SANITARY MAINLINE, RM 785.84, INV. 759.02(W) 760.19(E)
 - 168 L.F. 6" PVC (SDR 26) SANITARY SEWER AT 1.00%
 - 48" DIA. SANITARY MANHOLE, RM 765.95, INV. 761.95
 - 10 L.F. 6" PVC (SDR 26) SANITARY SEWER AT 1.00%
 - GREASE TRAP, RM 782.90, INV. 761.95(OUT) INV. 762.12(W)
 - 13 L.F. 6" D.I.P. SANITARY SEWER AT 1.00% INV. AT BLDG. 762.75
 - 13 L.F. 6" D.I.P. SANITARY SEWER AT 3.00% INV. AT BLDG. 762.25

- WATERMAIN**
- 6" PVC REDUCER
 - 4" VALVE IN A 48" DIA. VAULT
 - 257 L.F. OF 4" D.I.W.M. WITH FITTINGS
 - COMPLETE B-BOX WITH 262 L.F. OF 2" TYPE "K" COPPER WATER SERVICE.

BENCHMARK

SQUARE CUT ON THE CORNER OF TRAFFIC CONTROL BOX BASE, WEST SIDE OF SMITH ROAD AND 65' NORTH OF NORTH LINE OF HORN AVE. ELEV. = 764.10 U.S.C.S.

GRADING & UTILITY PLAN

NOTES: 1. THIS PLAN IS BASED ON THE TOPOGRAPHICAL SURVEY PREPARED BY: DEWLE AND ASSOCIATES, P.C. (708) 816-8282
2. UNLESS OTHERWISE NOTED TOP OF CURB IS 0.50' HIGHER THAN THE ADJACENT FLOWLINE (FL) OR PAVEMENT (P) ELEVATION.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1 | 01/15/20 | ISSUED FOR PERMIT |
| 2 | 01/15/20 | ISSUED FOR PERMIT |
| 3 | 01/15/20 | ISSUED FOR PERMIT |
| 4 | 01/15/20 | ISSUED FOR PERMIT |
| 5 | 01/15/20 | ISSUED FOR PERMIT |

ENGINEERING FOR

McDonald's

MARCHIS ENGINEERING, LTD.
CONSULTING ENGINEERS
100 W. BATHURST ROAD SUITE 100 WILMINGTON, ONT. L9R 4K5
TEL: (519) 835-1100 FAX: (519) 835-1101
WWW.MARCHISENG.COM

DESIGN: J. MEEPER
CHECK: J. MEEPER
DATE: JAN. 15, 2020
SCALE: AS SHOWN

PROJECT: GRADING & UTILITY PLAN

MARCHIS ENGINEERING, LTD.
CONSULTING ENGINEERS
100 W. BATHURST ROAD SUITE 100 WILMINGTON, ONT. L9R 4K5
TEL: (519) 835-1100 FAX: (519) 835-1101
WWW.MARCHISENG.COM

DESIGN: J. MEEPER
CHECK: J. MEEPER
DATE: JAN. 15, 2020
SCALE: AS SHOWN

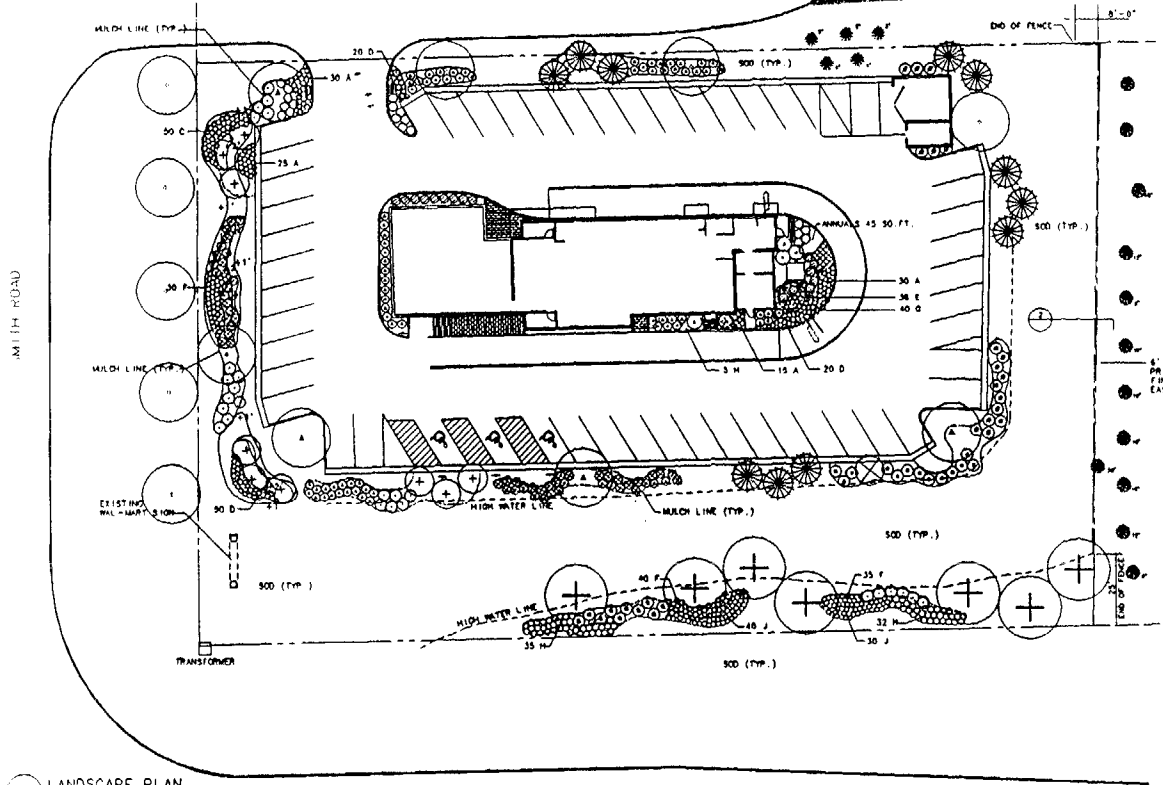
PROJECT: GRADING & UTILITY PLAN

JOB NO. 95-146

CE-1

AUG 27 1995

Planning Office

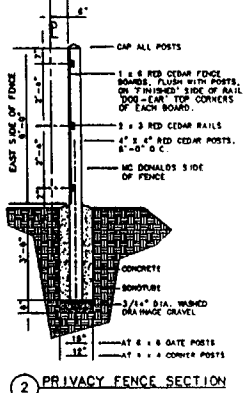


1 LANDSCAPE PLAN 1" = 30'-0"

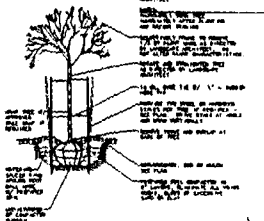
NORTH AVENUE (ILLINOIS RTE. 64)

| QUANTITY | SYMBOL | BOTANICAL NAME | SIZE/DETAIL | COMMON NAME |
|-------------------------|----------|---|--------------------|----------------------|
| EVERGREENS | | | | |
| 20 | (Symbol) | <i>Juniperus chinensis</i> 'Youngbladi' | 24" | Andorra Juniper |
| 105 | (Symbol) | <i>Caryopteris fortunei</i> 'Calareata' | 3' pot | Purple Wintercreeper |
| 11 | (Symbol) | <i>Picea pungens</i> | 6' | Colorado Spruce |
| 20 | (Symbol) | <i>Taxus x media</i> 'Danielsiana' | 24" | Dense Yew |
| 0 | (Symbol) | <i>Thuja occidentalis</i> 'Emerald' | 4' | Abravillos |
| 0 | (Symbol) | <i>Juniperus chinensis</i> 'Sea Dreads' | | Sea Green Juniper |
| ORNAMENTAL TREES | | | | |
| 7 | (Symbol) | <i>Malus 'Prairiflora'</i> | 2 1/2" | Prairiflora Crab |
| 10 | (Symbol) | <i>Malus xumi</i> 'Catacorpa' | 2 1/2" | Zuni Crab |
| 0 | (Symbol) | <i>Amelanchier 'Prince William'</i> | cl. Prince William | Serviceberry |
| 0 | (Symbol) | <i>Crocosmia elaeagnifolia</i> var. 'Inermis' | | Thornless Crocosmia |
| SHADE TREES | | | | |
| 5 | (Symbol) | <i>Fraxinus americana</i> 'Autumn Purple II' | | Autumn Purple Ash |
| 1 | (Symbol) | <i>Diospyros t. lanceolata</i> 'Skyline 5' | | Moneycatalpa |
| 7 | (Symbol) | <i>Acer rubrum</i> 'Autumn Blaze' | 2.6' | Autumn Blaze Maple |

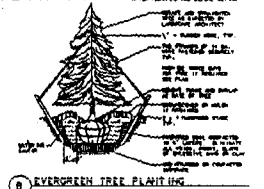
| QUANTITY | SYMBOL | BOTANICAL NAME | SIZE/DETAIL | COMMON NAME |
|-------------------------------------|----------|--|--------------|-------------------------|
| SHRUBS | | | | |
| 73 | (Symbol) | <i>Spiraea x bumalda</i> | 24" | Anthony Waterer Spiraea |
| 6 | (Symbol) | <i>Viburnum dentatum</i> 'Juddii' | 3' | Karasoplia Viburnum |
| 27 | (Symbol) | <i>Viburnum dentatum</i> | 3' | Arrowwood Viburnum |
| 26 | (Symbol) | <i>Euonymus alatus</i> 'compactus' | 30" | Compact Burning Bush |
| 94 | (Symbol) | <i>Syringa patula</i> 'Miss Kim' | 24" | Miss Kim Lilac |
| 13 | (Symbol) | <i>Cornus Sericea</i> 'Ismati' | 24" | Doerfl Redtwig |
| GROUNDCOVER/PERENNIALS/VINES | | | | |
| 70 | (Symbol) | <i>Hemerocallis 'Stella D'Oro'</i> | 1 gal | Stella D'Oro Daylily |
| 0 | (Symbol) | <i>Sedum 'Meteor'</i> | 2.0/30.0 FT. | Sedum Meteor |
| 90 | (Symbol) | <i>Rudbeckia 'Goldstrum'</i> | 1 gal | Black-eyed Susan |
| 90 | (Symbol) | <i>Salvia x superba</i> 'East Princes' | 1 gal | Purple Sage |
| 36 | (Symbol) | <i>Erinacea purpurea</i> 'Alba' | 1.0/30.0 FT. | White Coneflower |
| 05 | (Symbol) | <i>Echinacea purpurea</i> 'Moerens' | 1 gal | Purple Coneflower |
| 40 | (Symbol) | <i>Heuchera americana</i> 'Palace Purple' | 1.0/30.0 FT. | Palace Purple Heuchera |
| 77 | (Symbol) | <i>Panastatum atopocerasoides</i> 'Monita' | 1 gal | Purple Fountaingrass |
| 70 | (Symbol) | <i>Chrysanthemum superbum</i> 'Alaska' | 1 gal | Alaska Shasta Daisy |



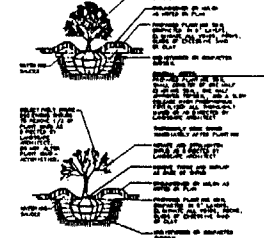
2 PRIVACY FENCE SECTION



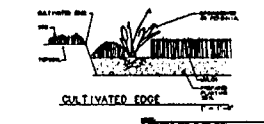
A DECIDUOUS TREE PLANTING



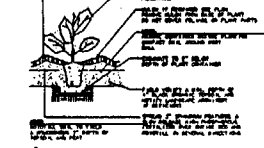
B EVERGREEN TREE PLANTING



C SHRUB PLANTING



D CULTIVATED EDGE



E GROUNDCOVER/PERENNIAL PLANTINGS

- LANDSCAPE SPECIFICATIONS**
1. **Site conditions**
 - A. Review the site plan and all other documents for any existing conditions that may affect the landscape design.
 - B. Determine the location and extent of any existing utilities, including overhead and underground lines.
 - C. Verify the location and extent of any existing easements, including utility easements.
 - D. Determine the location and extent of any existing structures, including buildings, fences, and walls.
 - E. Determine the location and extent of any existing trees and shrubs.
 - F. Determine the location and extent of any existing parking areas.
 - G. Determine the location and extent of any existing walkways and drives.
 - H. Determine the location and extent of any existing irrigation systems.
 - I. Determine the location and extent of any existing drainage systems.
 - J. Determine the location and extent of any existing soil erosion control measures.
 - K. Determine the location and extent of any existing site access points.
 - L. Determine the location and extent of any existing site security measures.
 - M. Determine the location and extent of any existing site lighting.
 - N. Determine the location and extent of any existing site sound barriers.
 - O. Determine the location and extent of any existing site windbreaks.
 - P. Determine the location and extent of any existing site noise barriers.
 - Q. Determine the location and extent of any existing site air quality measures.
 - R. Determine the location and extent of any existing site water quality measures.
 - S. Determine the location and extent of any existing site air pollution measures.
 - T. Determine the location and extent of any existing site noise pollution measures.
 - U. Determine the location and extent of any existing site air quality measures.
 - V. Determine the location and extent of any existing site water quality measures.
 - W. Determine the location and extent of any existing site air pollution measures.
 - X. Determine the location and extent of any existing site noise pollution measures.
 - Y. Determine the location and extent of any existing site air quality measures.
 - Z. Determine the location and extent of any existing site water quality measures.
 2. **Planting specifications**
 - A. All plants shall be healthy, well-established, and free of any diseases, pests, or other plant health problems.
 - B. All plants shall be planted in accordance with the following specifications:
 - 1. Planting hole: 2-3 times the diameter of the root ball.
 - 2. Planting depth: 1-2 inches above the original soil level.
 - 3. Planting spacing: 1-2 feet between plants.
 - 4. Planting orientation: Plants shall be planted in the same orientation as they were in the nursery.
 - 5. Planting soil: Plants shall be planted in a soil that is similar to the soil in the nursery.
 - 6. Planting mulch: Plants shall be planted in a mulch that is 2-3 inches deep.
 - 7. Planting water: Plants shall be planted in a water that is 1-2 inches deep.
 - 8. Planting fertilizer: Plants shall be planted in a fertilizer that is 1-2 inches deep.
 - 9. Planting irrigation: Plants shall be planted in an irrigation system that is 1-2 inches deep.
 - 10. Planting drainage: Plants shall be planted in a drainage system that is 1-2 inches deep.
 - 11. Planting soil erosion control: Plants shall be planted in a soil erosion control system that is 1-2 inches deep.
 - 12. Planting site access: Plants shall be planted in a site access system that is 1-2 inches deep.
 - 13. Planting site security: Plants shall be planted in a site security system that is 1-2 inches deep.
 - 14. Planting site lighting: Plants shall be planted in a site lighting system that is 1-2 inches deep.
 - 15. Planting site sound barriers: Plants shall be planted in a site sound barrier system that is 1-2 inches deep.
 - 16. Planting site windbreaks: Plants shall be planted in a site windbreak system that is 1-2 inches deep.
 - 17. Planting site noise barriers: Plants shall be planted in a site noise barrier system that is 1-2 inches deep.
 - 18. Planting site air quality: Plants shall be planted in a site air quality system that is 1-2 inches deep.
 - 19. Planting site water quality: Plants shall be planted in a site water quality system that is 1-2 inches deep.
 - 20. Planting site air pollution: Plants shall be planted in a site air pollution system that is 1-2 inches deep.
 - 21. Planting site noise pollution: Plants shall be planted in a site noise pollution system that is 1-2 inches deep.
 - 22. Planting site air quality: Plants shall be planted in a site air quality system that is 1-2 inches deep.
 - 23. Planting site water quality: Plants shall be planted in a site water quality system that is 1-2 inches deep.
 - 24. Planting site air pollution: Plants shall be planted in a site air pollution system that is 1-2 inches deep.
 - 25. Planting site noise pollution: Plants shall be planted in a site noise pollution system that is 1-2 inches deep.
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MCDONALD, CASSELL AND ASSOCIATES
 ARCHITECTS AND LAND PLANNERS
 708/695/7910 7425 ROYAL BOULEVARD, ELLICOTT CITY, MD 21117

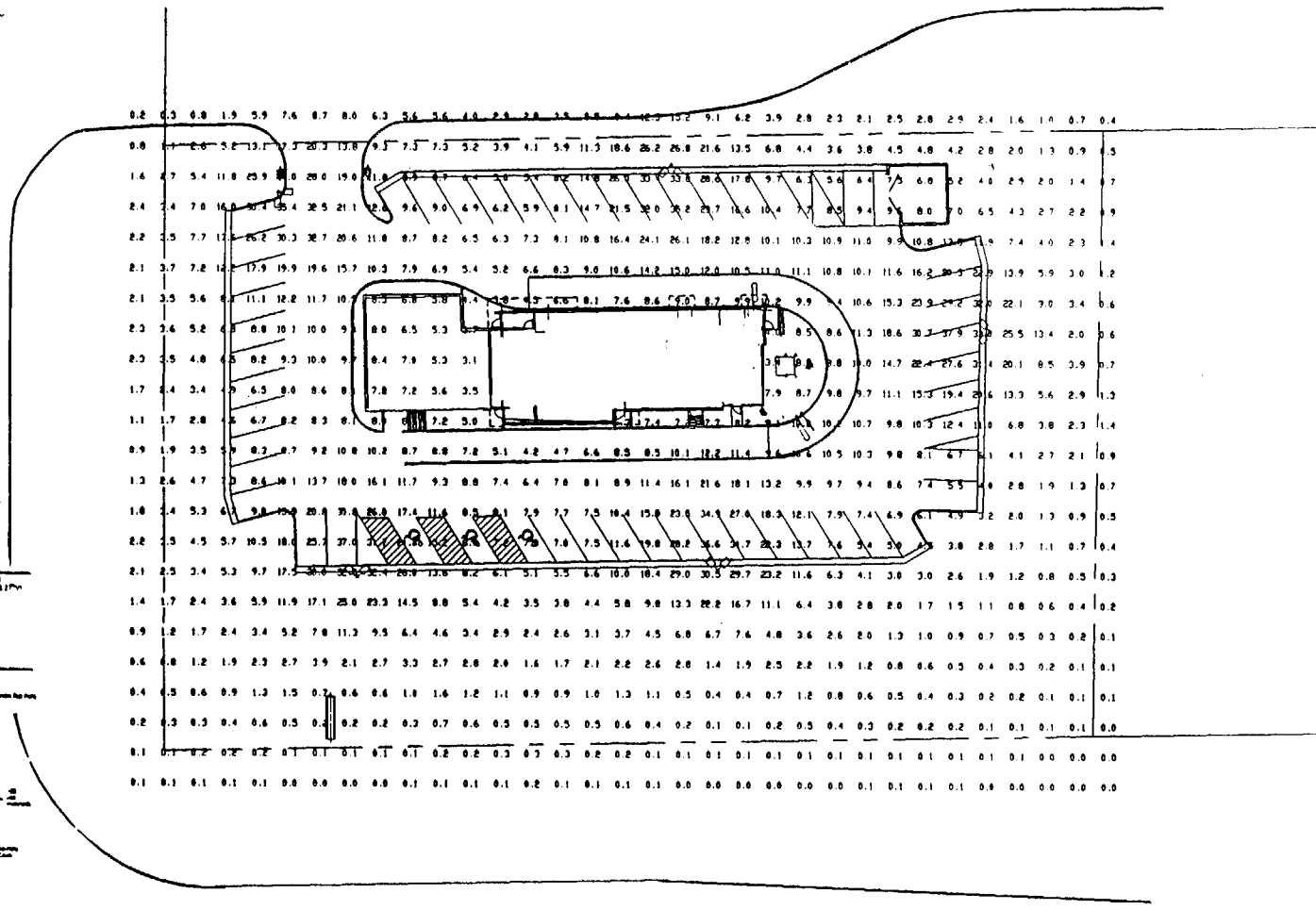
7/20/95
8/14/95
8/23/95

4/23/96

24C12

RECEIVED
 AUG 27 1996
 Planning Office

DRWG. NO. 1PBP4749A



Fixture Specifications

Features:

- 1. Cast aluminum housing
- 2. Access to lamp and ballast
- 3. Cast aluminum mounting arm
- 4. Cast aluminum base
- 5. Cast aluminum mounting arm
- 6. Cast aluminum base
- 7. Cast aluminum mounting arm
- 8. Cast aluminum base
- 9. Cast aluminum mounting arm
- 10. Cast aluminum base

Fixture Ordering Information:

| | | |
|-----------|-----------------|------------------|
| 150 WATT | 2' x 4' fixture | 10' high to base |
| 400 WATT | 2' x 4' fixture | 10' high to base |
| 1000 WATT | 2' x 4' fixture | 10' high to base |
| 150 WATT | 2' x 4' fixture | 10' high to base |
| 400 WATT | 2' x 4' fixture | 10' high to base |
| 1000 WATT | 2' x 4' fixture | 10' high to base |

Pole Specifications

Features:

- 1. Square steel poles finished with weatherproof full protective paint
- 2. Galvanized anchor bolts, 1/2" x 36" plus 2" tops, with galvanized nuts and washers (1 each pole, 2 lbs. nuts, 2 lbs. washers per pole)
- 3. Finished with metal trim
- 4. Anodized aluminum
- 5. Detachable aluminum anchor bolt cover
- 6. Detachable aluminum anchor bolt cover
- 7. Detachable aluminum anchor bolt cover
- 8. Detachable aluminum anchor bolt cover

SECURITY LIGHTING SYSTEMS, INC.
 Performance Designed Lighting Products

3877 W. Fraily Avenue, Lincolnwood, Illinois 60466
 Tel: (708) 480-4800, Fax: (708) 480-4801, Telex: 780-474-1100

| NO. | DATE | REVISIONS | BY | CHK. | APP'D. |
|-----|------|-----------|----|------|--------|
| | | | | | |

NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA:
 SECURITY LIGHTING SYSTEMS MODEL # ASB1000-F1-104-08-01
 LAMP TYPE, VOLTAGE METAL HALIDE 1000 WATT
 LUMEN OUTPUT 110000
 MOUNTING HEIGHT 20'
2. THE CONTRIBUTION OF THE METAL HALIDE SOFFIT LIGHTING IS NOT REFLECTED ON THIS DRAWING.
3. DISTANCE BETWEEN READINGS 10'

NOTE: ALL FIXTURES TO BE AT 0°

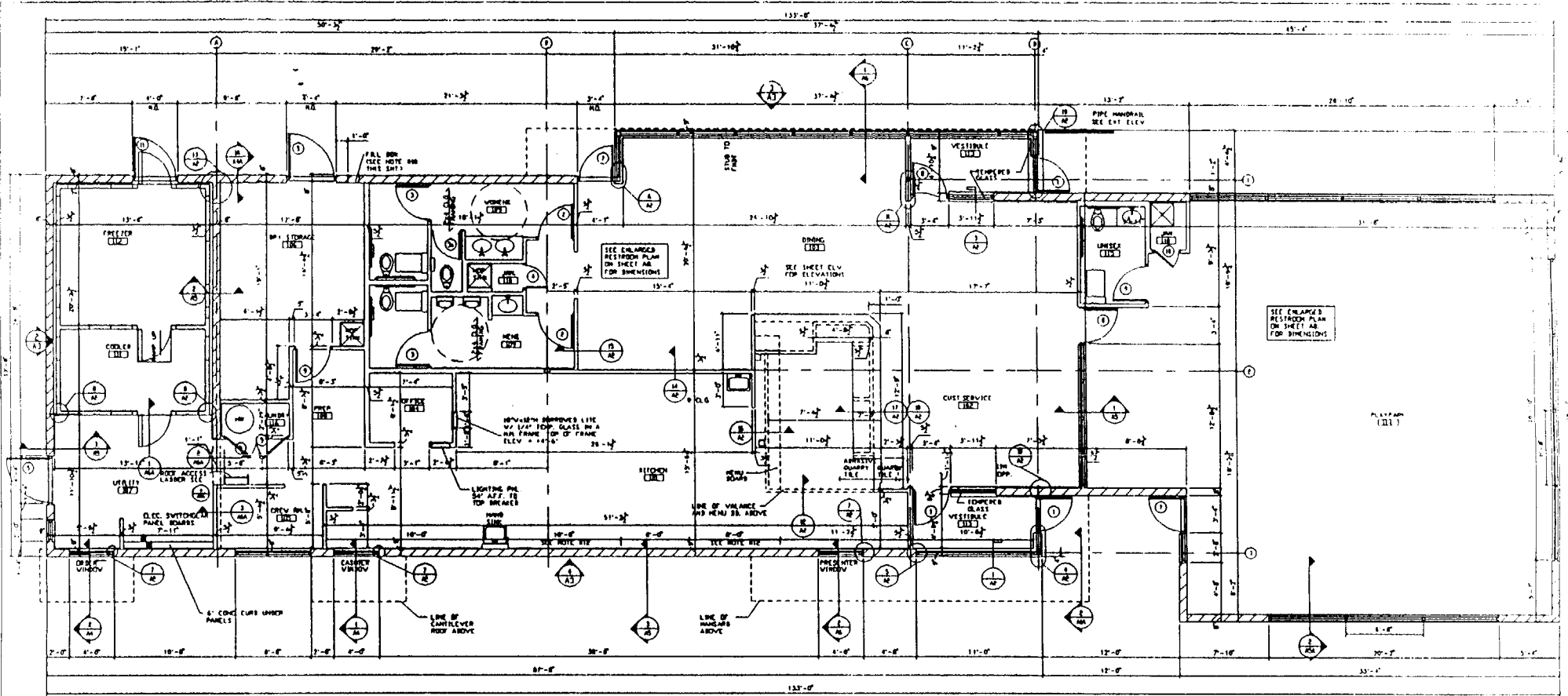
| | |
|-------------|---------------------------------|
| PROJECT NO. | 1PBP4749A |
| DATE | AUG 27 1996 |
| DESIGNER | SECURITY LIGHTING SYSTEMS, INC. |
| CHECKED BY | |
| APPROVED BY | |
| DATE | |

POINT-BY-POINT FOOTCANDLE PLOT FOR
 HCDONALDS
 ST. CHARLES, ILL.

DATE PLOTTED:

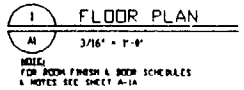
PROJECT NO. 1PBP4749A

THIS LIGHTING DESIGN REPRESENTS ILLUMINATION LEVELS BASED ON LUMEN OUTPUT DATA WHICH IS BASED ON THE MANUFACTURER'S DATA. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY BE CAUSED BY ELECTRICAL VARIANCE, TOLERANCE IN LAMP, AND OTHER VARIABLE FIELD CONDITIONS.



GENERAL NOTES:


1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE (LINE) UNLESS FACE OF FOUNDATION WALLS UNLESS OTHERWISE NOTED.
2. INTERIOR DIMENSIONS ARE TO FACE OF WALL STUD OR FLOORING.
3. PROVIDE 2" RIGID INSULATION UP VIDE AROUND PERIMETER OF OPENING TO DRY STORAGE AREA.
4. SEE SHEET A-1 FOR LOCATION OF BACKUP SUPPORTS.
5. SEE SITE PLAN FOR SIDEWALK, RAMP, ETC.
6. VIDEO CAMERAS & LOCKERS SUPPLIED BY OPERATOR INSTALLED BY GC.
7. MANAGER'S OFFICE PACKAGE SUPPLIED BY OPERATOR INSTALLED BY GC.
8. TEMPERATURE SENSORS IN DINING & CUSTOMER SERVICE AREAS SHALL BE MOUNTED 5'-8" AFF. (SEE SHEET M).
9. PROGRAMMABLE THE MOTESTATS (3) SHALL BE PLACED ADJACENT TO ONE ANOTHER AT A HEIGHT OF 48" AFF. LOCATE IN THE CLEAR AREA BETWEEN THE SALES & IN THE MANAGER'S OFFICE. (SEE SHEET M).
10. FILL BOX 878 & 342 ABOVE PLAN TO TOP OF BOX SUPPLY.
 - 10.1 MONSIEUR VALLEY ENG. MODEL 847-1953-A TELEPHONE 862-758-2484
 - 10.2 OPTIMONICS SERVICES MODEL 07476 TELEPHONE 484-127-6636, 800-241-7152
11. SPECIAL SERVICE DRIVE-THRU WINDOW SUPPLIES:
 - 11.1 HORTON SEVERE MODEL #8 172P & 30P - B-A TELEPHONE 488-531-3111
12. PROVIDE METAL FURNISHING & USA BURGER FOR TOWN IN LIEU OF ORIGINAL BOWNE EXTERIOR EQUIP.



DESIGN CALCULATIONS

| | |
|---|---|
| 1. DINING AREA & CUSTOMER SERVICE 900 SF. | 9. COOLER 185 SF. |
| 2. KITCHEN AREA 800 SF. | 10. FREEZER 170 SF. |
| 3. DRY STORAGE 115 SF. | TOTAL CLERK 275 SF. |
| 4. CHEF RECH 80 SF. | |
| 5. OFFICE 50 SF. | |
| 6. RESTROOM 200 SF. | 11. INTERIOR PLAYPARK 1140 SF. |
| 7. VESTIBULE 130 SF. | |
| 8. FACE TO FACE & UTILITY 101 SF. | |
| TOTAL RESTAURANT BLDG 2401 SF. | TOTAL BLDG CLERK & PLAYPARK 1415 SF. |
| | TOTAL SEATS IN RESTAURANT 63 |

PRELIMINARY 2/2/96 TO

| | | | |
|---|----|-------------|------|
| SOOS & ASSOCIATES, INC. | | | |
|  | | | |
| REV | BY | DESCRIPTION | DATE |
| | | | |
| | | | |
| | | | |

McDONALD'S

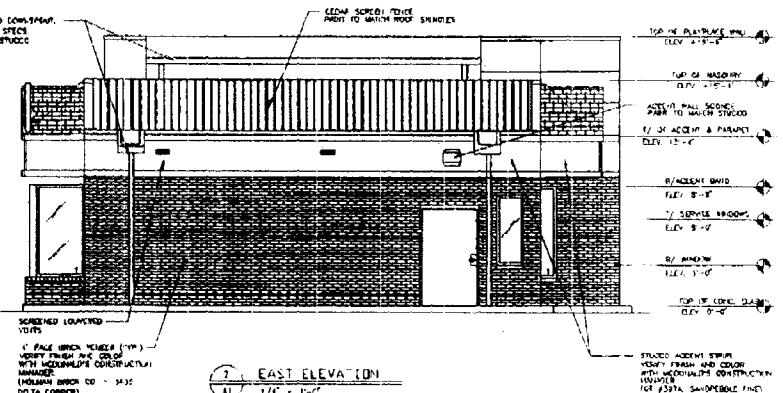
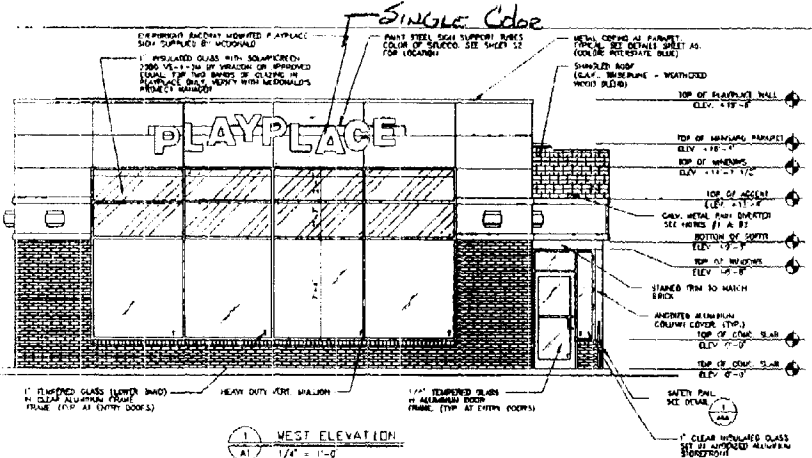
2000 RESTAURANT OR PLAYPARK

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF SOOS & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS SHALL PREVAIL FOR ALL CONSTRUCTION. ANY DISCREPANCY SHALL BE RESOLVED BY THE ARCHITECT. THIS PROJECT IS A SERVICE TO THE COMMUNITY AND NOT AN EXAMPLE OF A PRODUCT. THE SERVICE TO THE COMMUNITY IS ASSOCIATED WITH THE PRODUCTION OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. IT IS NOT AUTHORIZED TO BE REPRODUCED FOR ANY OTHER PROJECT.

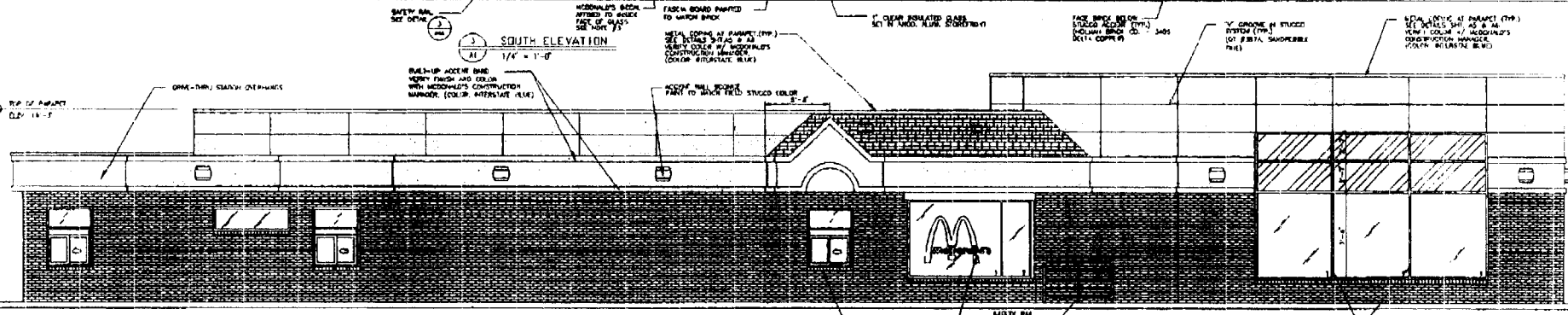
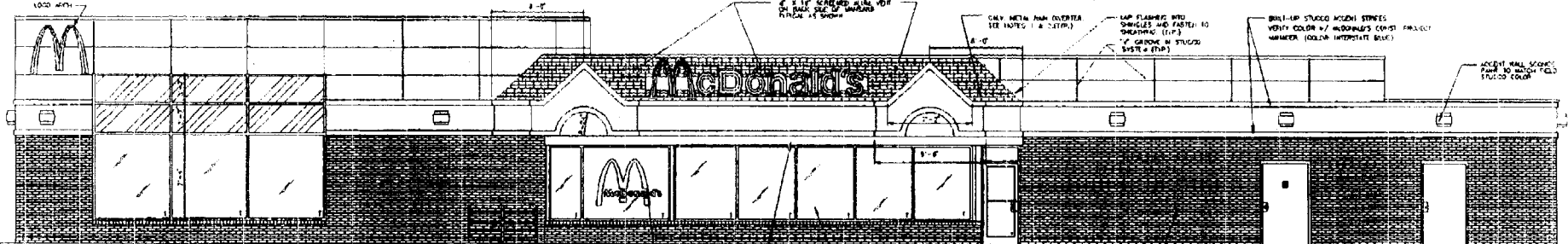
NORTH AVE (RTE 64) & SMITH RD ST. CHARLES, ILLINOIS

| | | | |
|-------------------|-------|-------------|------|
| FLOOR PLAN | | | |
| DATE | SCALE | PROJECT NO. | DATE |
| | | | |
| | | | |
| | | | |

*Note: "Playplace" sign to match accent band single color



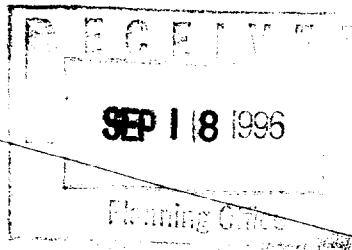
- ELEVATION NOTES**
1. EXTERIOR FINISHES WITHIN 1'-0" SECTION ORDINALLY IN WALL RELIEF SOME FINISHES IN FINITE PORTION OF EXTENDED PORTION
 2. WATER IS TO BE DETAILED FROM CORNER AND SUBSIDIARIES AT OUTLET/STAIRS. OVERLAYS MUST EXTEND BEYOND CORNER INTO BRICKWORK OR LARGER AREA A MINIMUM OF 1'-0" OVERLAYS ARE TO BE 3" x 3" W/ 1/2" GA. GALT PAINTED TO MATCH SHINGLES
 3. 1500 BRICK AVAILABLE FROM HERRINGBACH'S BRICK (708) 347-5880



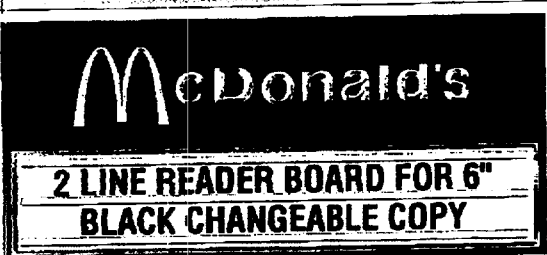
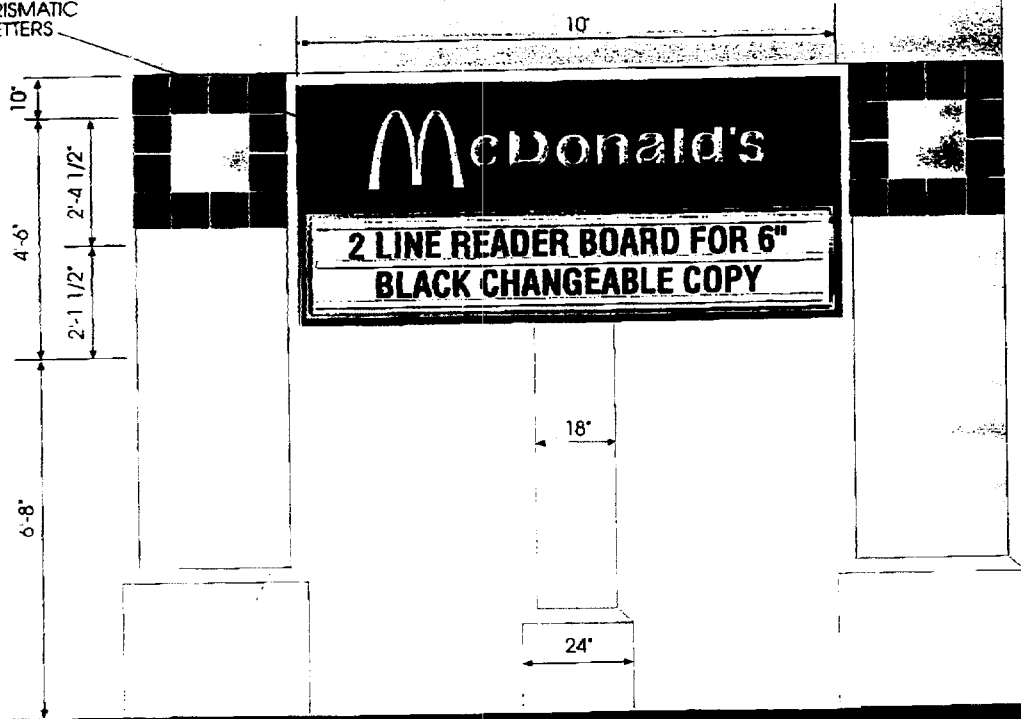
4 NORTH ELEVATION
1/4" = 1'-0"

| | | | | | |
|--|--|--|--|--|--|
| 7/3/96 DATE SIGNAGE DESCRIPTION PS BY | | • SOOS & ASSOCIATES, INC. • ARCHITECTS 100 N. LAUREL ST. SUITE 100 ST. CHARLES, ILL. 62205 TEL: 314/733-1100 FAX: 314/733-1101 | McDonald's THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF McDonald's. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF McDonald's IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. McDonald's, the Golden Arches, and the Golden Arches logo are trademarks of McDonald's. © 1996 McDonald's. | NORTH AVE (IL RTE 84) & SMITH RD. ST. CHARLES, ILLINOIS DRAWN BY: C.A. WOODWARD/LEE/STONEMAN CHECKED BY: J. WOODWARD DATE: 7/3/96 | SHEET NO. A3 ELEVATIONS DATE: 7/3/96 |
|--|--|--|--|--|--|

| | |
|------------------------------|-----------------------------|
| To <i>Bob Hupp</i> | From <i>Stadelman</i> |
| Co./Dept. <i>St. Charls.</i> | Co. <i>NA</i> |
| Phone # | Phone # <i>847-619-3734</i> |
| Fax # <i>(630) 443-4638</i> | Fax # <i>3610</i> |



18" PRISMATIC ARCH
AND 8-1/2" PRISMATIC
"cDonald's" LETTERS



Scale: 3/8"=1'-0"

CONCEPT 1

D/F McDonald's I.D. sign with single pole structure to be installed between existing pillars of Walmart sign; Pan formed faces; Fluor. illum.; Cabinet and pole ptd. McD's dk. brown; Pole cladding to match columns on Wal-mart sign.

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, KRISTIE A. DARULA, certify that I am the duly elected and acting municipal clerk of the city of St. Charles, Kane and DuPage Counties, Illinois.

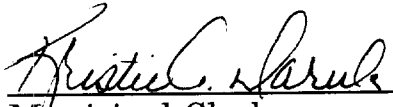
I further certify that on October 7, 1996, the Corporate Authorities of such municipality passed and approved Ordinance No. 1996-M-71, entitled

"An Ordinance Granting a Special Use for a Drive-In Establishment in the Dunham Club/Route 64 PUD (McDonald's)",

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 1996-M-71, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on October 11, 1996, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this _____ day of October, 1996.


Municipal Clerk

(S E A L)