



AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommendation to approve amendments to Special Uses (Planned Unit Development and Drive-Through Facility) and PUD Preliminary Plan at 3900 E. Main Street (McDonald's).
Presenter:	Matthew O'Rourke

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (6/10/13)		City Council
	Public Hearing		

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

Executive Summary:

The owner of the McDonald's restaurant located at 3900 E. Main Street is proposing to update the existing facility. The applicant has submitted petitions for amendments to the approved Special Uses for a Planned Unit Development and Drive-Through Facility and approved PUD Preliminary Plan. The details of the proposal are as follows:

- New Drive-Through Facility with dual-order stations.
 - 15 drive-through stacking spaces.
 - Removal of 8 off-street parking spaces to make room for dual order-stations.
- Revised and updated architectural features for the entire exterior of the existing building.
- Deviation requests for signage through the amended PUD (detailed in staff report).
- Approval of a new PUD ordinance specific to the McDonald's lot.

Plan Commission Review

The Plan Commission held a public hearing on 5/7/2013. The Plan Commission recommended approval of the petitions contingent upon resolution of any outstanding staff comments. The vote was 6-aye to 0-nay. No significant comments were stated during the public hearing.

Attachments: *(please list)*

Staff Report dated 5/29/2013; Applications for: Special Use (Planned Unit Development and Drive-Through Facility) and PUD Preliminary Plan; Ordinance No. 1996-M-71; PUD Preliminary Plans; Watermark Engineering; dated 4/29/2013; Building Plans and Architectural Elevations; McDonald's USA, LLC.; dated 5/13/2013

Recommendation / Suggested Action *(briefly explain):*

Recommendation to approve amendments to Special Uses (Planned Unit Development and Drive-Through Facility) and PUD Preliminary Plan at 3900 E. Main Street (McDonald's).

<i>For office use only:</i>	<i>Agenda Item Number:</i> 4a
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Community Development

Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



ST. CHARLES
SINCE 1834

Staff Report

TO: Chairman Daniel P. Stellato
And the Members of the Planning and Development Committee

FROM: Matthew O'Rourke, AICP
Planner

RE: Proposed Amendments to Special Uses (Planned Unit Development and Drive-Through Facility) and PUD Preliminary Plans at 3900 E. Main Street (McDonald's)

DATE: May 29, 2013

I. APPLICATION INFORMATION:

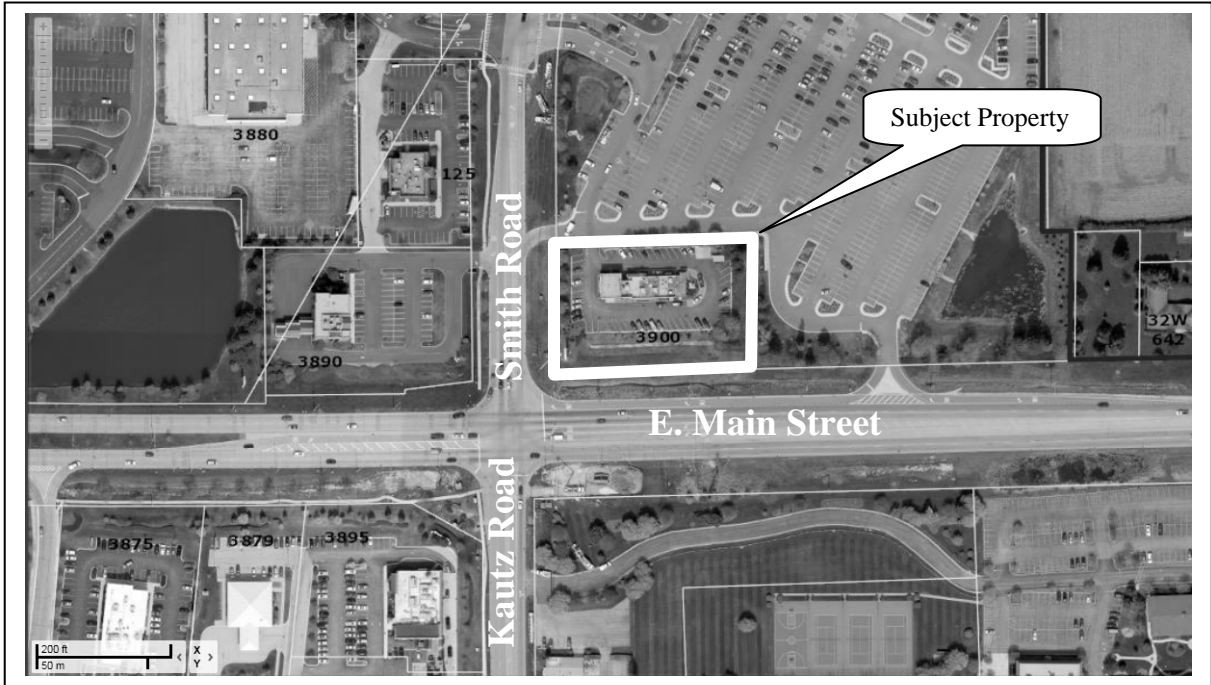
Project Name: 3900 E. Main Street (McDonald's)

Applicant: McDonald's USA, LLC.

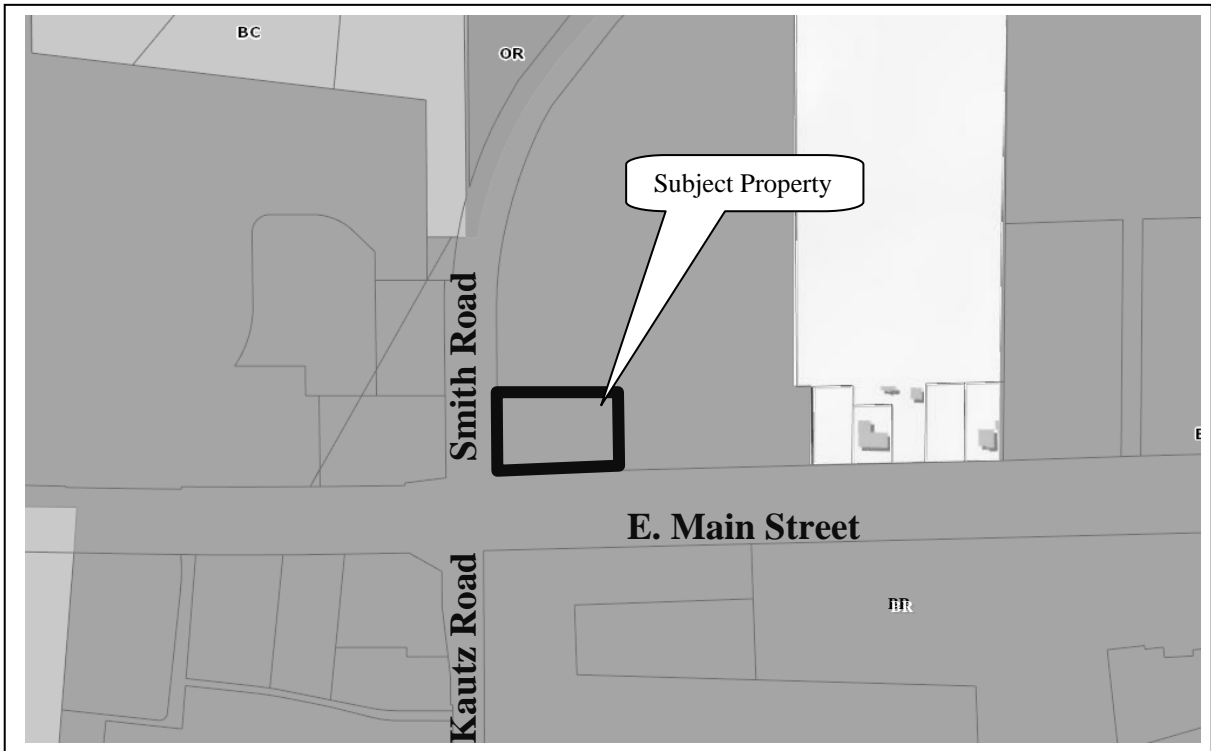
Purpose: Proposed renovations and addition of dual ordering stations for the existing McDonald's restaurant.

General Information:		
Site Information		
Location	3900 E. Main Street	
Acres	1.4	
Applications	1) Special Use for a Planned Unit Development and Drive-Through Facility 2) PUD Preliminary Plan	
Applicable Ordinances and Zoning Code Sections	17.04 Administration 17.14 Business and Mixed Use Districts 17.24 Off Street Parking, Loading & Access 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts Ordinance No. 1996-M-71 “An Ordinance Granting a Special Use for a Drive-In Establishment in the Dunham Club/Rt.64 PUD (McDonald's)”	
Existing Conditions		
Land Use	Existing McDonald's Restaurant	
Zoning	BR- Regional Business (PUD) and Special Use for a Drive-Through Facility	
Zoning Summary		
North	BR-Regional Business PUD	Wal-Mart
East	BR-Regional Business PUD	Wal-Mart (Parking Lot)
South	BR-Regional Business	Pheasant Run
West	BR-Regional Business PUD	Multiple Commercial Uses
Comprehensive Plan Designation		
Retail and Service		

Aerial Photograph



Surrounding Zoning



II. BACKGROUND

In 1991, the City of St. Charles approved Ordinance 1991-Z-13 entitled, “An Ordinance Granting a Special Use as a Planned Unit Development for the Dunham Club/Rt.64 PUD”. This PUD encompassed the existing Wal-Mart facility which was developed in 1992.

In 1996, a Plat of Subdivision was approved to create the lot on which McDonald's is currently situated. In conjunction with the subdivision, Ordinance 1996-M-71 entitled, “An Ordinance Granting a Special Use for a Drive-In Establishment in the Dunham Club/Rt.64 PUD (McDonald's)” was approved to permit the construction of the McDonald's Restaurant. The restaurant has existed at this location since this approval.

III. PROPOSAL:

The owner of the McDonald's restaurant located at 3900 E. Main Street is proposing to update the existing restaurant. The applicant has submitted petitions for amendments to the approved Special Uses for a Planned Unit Development and Drive-Through Facility and approved PUD Preliminary Plan. The details of the proposal are as follows:

- New Drive-Through Facility with dual-order stations.
 - 15 drive-through stacking spaces.
 - Removal of 8 off-street parking spaces to make room for dual order-stations.
- Revised and updated architectural features for the entire exterior of the existing building.
- Deviation requests for signage through the amended PUD (detailed in staff analysis).
- Approval of a new PUD ordinance specific to the McDonald's lot.

IV. STAFF ANALYSIS

Staff performed an analysis of the proposed amendment to the PUD and amended PUD Preliminary Plans for conformance with all relevant standards of the City's Ordinances. The following is a detailed description of Staff's analysis:

A. PLANNED UNIT DEVELOPMENT

Since the original Dunham Club/Rt.64 PUD was approved in 1991 there have been several revisions and amendments to that ordinance. In 2010, when the Wal-Mart store was expanded, all of the property owned by Wal-Mart was removed from the Dunham Club/Rt. 64 PUD. Therefore, the only property still under the provisions of the original Dunham Club/Rt. 64 PUD is the McDonald's site.

In 2006, the City Council approved an entirely new Zoning Ordinance which has rendered the majority of the Dunham Club/Rt. 64 PUD provisions obsolete.

As part of this amendment request, staff and the applicant are proposing to replace the Dunham Club/Rt.64 PUD with a new PUD since the majority of the existing PUD standards do not coincide with the underlying BR-Regional Business Zoning District. The new PUD ordinance will contain provisions specific to this site and will be more in line with the City's current zoning standards. The PUD Preliminary Plan will also be incorporated in the new PUD ordinance.

B. BULK AND SETBACK STANDARDS

The majority of the site will not be modified as part of this proposal with the exception of the new dual ordering-stations. Staff has reviewed the submitted plans to ensure conformance with the applicable regulations per **Table 17.14-2 Business and Mixed Use Districts Bulk Regulations**. The following table summarizes this review:

Category	Zoning Ordinance Standard	Proposed
Parking Stall Size	9’ wide by 18’ long (2’ overhang allowed where parking stalls abut green space)	9’ wide by 19’ angled parking stalls.
Drive-Aisle Width	24’ or 14’ One Way	Minimum 15.8’ (one way proposed around entire site)
Parking Requirement	10 Spaces per 1,000 SQ FT of GFA - (47 required)	47

C. DRIVE-THROUGH FACILITY

Staff has reviewed the proposed Drive-Through Facility for conformance with the standards of **Section 17.24.100 Drive-Through Facilities**. The following table details that review:

Category	Zoning Ordinance Standard	Proposed
Required Stacking Spaces	15	15
Required Parking Stall Size	9’ X 20’	9’ X 20’
Screened from Public Street	Must not be along or screened from public street	Drive-Through is located away from the public street

D. LANDSCAPE PLAN

Staff reviewed the submitted landscape plan for conformance with the relevant standards of **Chapter 17.26 Landscaping and Screening**. The majority of the existing landscaping will remain and will conform to the approved PUD Preliminary Landscape Plans. The applicant will be adding additional landscaping to the east of the building around the new dual order-stations.

E. BUILDING ARCHITECTURE

The applicants are proposing to modify the existing exterior of the building. The proposal includes adding new cultured stone wall sections, painting the building a new color scheme, and adding new overhangs and fenestration details. The existing mansard roofs will be removed.

Staff has reviewed the submitted building elevations for conformance with the standards established in **Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts** and existing PUD Preliminary Plan. The elevations conform to these standards with the exception of the amount of EIFS. **Section 17.06.030.E.2 Prohibited Materials** states that EIFS panels cannot comprise more than 10% of any façade. The amount of existing EIFS exceeds this limit. However, the applicant is not replacing any of the existing EIFS or adding new EIFS area. Therefore, the elevations still meet the standards established by the approved PUD Preliminary Plan.

F. SIGNAGE

Staff reviewed the proposed signage detailed on the architectural elevations for conformance with the relevant standards of **Table 17.28-2 Permitted Signs for Business and Mixed Use Districts**. The following table details that review (deviation requests are highlighted in ***bold italics***):

Wall Signage Area	Zoning Ordinance Standard	Proposed
<i>Front Elevation/West</i>	57 SQ FT	47 SQ FT
<i>Non-Drive Through Elevation/South</i>	200 SQ FT	195 SQ FT
<i>Drive-Through Elevation/North</i>	200 SQ FT	33 SQ FT
<i>Rear Elevation/East</i>	57 SQ FT	14 SQ FT
Number of Wall Signs		
<i>Front Elevation/West</i>	<i>1</i>	<i>2</i>
<i>Non-Drive Through Elevation/South</i>	1	1
<i>Drive-Through Elevation/North</i>	1	1
<i>Rear Elevation/East</i>	1	1
Number of Identification Signs		
<i>Pre-Sell Drive-Through Additional Sign Area (SQ FT)</i>	<i>N/A</i>	<i>7.8 SQ FT</i>
<i>Pre-Sell Drive-Through Additional Sign Height</i>	<i>N/A</i>	<i>6.75'</i>

Proposed Deviations

Per **Table 17.28-2 Permitted Signs for Business and Mixed Use Districts** one wall sign is permitted for each street frontage of a zoning lot. This property is considered to have 4 street frontages and 4 wall signs are permitted. There are 5 wall signs shown on the proposed elevations. The applicant has requested a deviation to permit the 5 walls signs.

Per **Table 17.28-2 Permitted Signs for Business and Mixed Use Districts** 1 freestanding business identification sign is permitted per lot. There is an existing business identification sign co-located with the Wal-Mart sign at the intersection of Smith Road and Rt. 64 which will remain. The applicant is proposing a pre-sell sign in front of the drive-through order-stations. Per the Zoning Ordinance this sign is considered a second business identification sign. Therefore, the applicant is requesting a deviation for the second sign. The PUD ordinance will limit the location and size of this sign.

IV. PLAN COMMISSION RECOMMENDATION

The Plan Commission held a public hearing on 5/7/2013. The Plan Commission recommended approval of the petitions contingent upon resolution of any outstanding staff comments. The vote was 6-aye to 0-nay. No significant comments were stated during the public hearing.

V. RECOMMENDATION

Staff recommends approval of the applications contingent upon resolution of any outstanding staff comments, and has provided draft findings of fact to support that recommendation.

VI. ATTACHMENTS

- Application for a Special Use; received 4/4/2013
- Application for PUD Preliminary Plan; received 4/4/2013
- PUD Preliminary Plans; Watermark Engineering; dated 4/29/2013
- Building Plans and Architectural Elevations; McDonald's USA, LLC.; dated 5/13/2013
- Ordinance No. 1996-M-71

**SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT AT 3900 E. MAIN STREET
(MCDONALD'S)**

From the St. Charles Zoning Ordinance, Section 17.04.410.D.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated Section 17.04.400.A.

This property is locating in the existing Dunham Club/Rt.64 PUD. The proposed amendment does not alter the purpose of the PUD as approved in 1991, but will align the provisions of the PUD with the current underlying zoning requirements.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

a) Conforming to the requirements would inhibit creative design that serves community goals, or

b) Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

This property is located in the existing Dunham Club/Rt.64 PUD. The revised PUD Preliminary Plan illustrates that the new dual order-station Drive-Through Facility meets the standards for Drive-Through Facilities as stated in **Section 17.24.100 Drive-Through Facilities** of the Zoning Ordinance. The applicant has requested the following new deviations to the existing PUD to **Table 17.28-2 Permitted Signs for Business and Mixed Use Districts**:

1. To permit 5 wall signs instead of the 4 permitted.
2. To permit 2 business identification signs instead of the 1 permitted.

iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2).

a. Public Convenience: The Special Use will serve the public convenience at the proposed location.

This amendment does not alter the intent or scope of the approved PUD. The business will continue to exist where it is currently located. The proposed dual order-stations will improve the ability of the restaurant to serve customers in a more timely fashion.

b. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The use is already constructed. The utilities and infrastructure already exist on and around the site and will not be altered by these modifications.

- c. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed amendment will permit the construction of dual order-stations and upgrades to the facades of the existing restaurant. These modifications will improve the function of the Drive-Through Facility and enhance the architectural aesthetics of the site.

- d. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The surrounding properties are already developed.

- e. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

This business already exists on this property. Since this use is already established there will not be any new impacts created by this PUD amendment.

- f. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The development will conform to all applicable regulations with the exception of the deviations requested as part of the proposed PUD.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The modern facades will enhance the aesthetic character of the development and serve as a model for the redevelopment of similar lots in this area. Encouraging the reinvestment of existing businesses promotes retention of businesses and the economic well-being of the City.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The Comprehensive Plan land use designation for this property is Retail and Service and is defined as *“Includes most business uses such as stores, restaurants, consumer and business services and professional office. The maximum Floor Area Ratio is 0.35.”* The proposed use is a restaurant that meets the definition of Retail and Service.

**FINDING OF FACT FOR SPECIAL USE FOR A DRIVE-THROUGH FACILITY AT 3900 E.
MAIN SREET (MCDONALD'S)**

- a. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed amendment to the Special Use will permit the construction of a dual order-station for an existing Drive-Through Facility. This Special Use currently exists on this property and the proposed modifications will permit the restaurant to serve patrons in a more timely manner.

- b. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The utilities and infrastructure already exist on or are immediately adjacent to the site. The traffic patterns and access points to the site will not be altered by the proposed amendment.

- c. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed amendment to the Special Use for a Drive-Through Facility will permit the construction of a dual order-station to serve customers of the existing restaurant. These modifications will improve the function of the Drive-Through Facility, reduce wait times, and facilitate better traffic circulation on the site.

- d. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The surrounding properties are already developed.

- e. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The property is already in use by this specific business. Since this use is already established, and the dual order-station will facilitate improved traffic circulation, there will not be any new impacts created by this amendment to the Special Use for a Drive-Through Facility.

- f. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The Special Use for a Drive-Through Facility will conform to all applicable regulations of the Zoning Ordinance. In particular, Drive-Through Facilities are required to provide 15 stacking-spaces and 15 stacking-spaces are provided. Despite the reduction of 8 off-street parking stalls there will be 47 off-street parking spaces provided onsite as required by the Zoning Ordinance.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

CITYVIEW	
Project Name:	<u>3900 E. Main St. - McDonald's</u>
Project Number:	<u>2013 -PR- 006</u>
Application Number:	<u>2013 -AP- 015</u>

RECEIVED
St. Charles, IL

APR 04 2013

CDD
Planning Division

To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Parcel Number (s): 01-30-101-019	
	Street Address (or common location if no address is assigned): 3900 E. Main Street St. Charles, IL 60174	
2. Applicant Information:	Name McDonald's USA, LLC	Phone 630-836-9090
	Address One McDonald's Plaza Oak Brook, IL 60523	Fax 630-836-9191
		Email
3. Record Owner Information:	Name McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership	Phone 630-836-9090
	Address One McDonald's Plaza Oak Brook, IL 60523	Fax 630-836-9191
		Email
4. Billing: <i>To whom should costs for this application be billed?</i>	Name PCA Team, Dept. 212	Phone
	Address 2111 McDonald's Drive Oak Brook, IL 60523	Fax
		Email

Information Regarding Proposed Special Use:

Comprehensive Plan designation of the property: Retail and Service (6 - East Gateway)

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BR-Regional Business District PUD with special use

What is the property currently used for? McDonald's Restaurant with drive-thru

What Special Use(s) are you applying for? Please select from the list of Special Uses in the Zoning Ordinance for the appropriate zoning district.

PUD, Restaurant with Drive-Thru Facility

If the proposed Special Use is approved, what improvements or construction are planned?

Remodel the existing building and construct a new side-by-side drive-thru

For Special Use Amendments only:

What Special Use ordinance do you want to amend? Ordinance No. 1996-M-71, also termination
of Ordinance No. 1991-Z-13, as amended, as applied to the subject property and creation of a new PUD.

Why is the proposed change necessary?

To revise the site plan and building elevations.

What are the proposed amendments? (Attach proposed language if necessary)

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- PROOF OF OWNERSHIP and DISCLOSURE:**
 - a) A current title policy report; or
 - b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecofcat.state.il.us/ecopublic/>

TRAFFIC STUDY: If requested by the Director of Community Development.

PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

- Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.
- Revision Submittal for Plan Commission - Twenty-Two (22) full size copies, Three (3) 11" by 17" and a PDF electronic file on a CD-ROM.

SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance

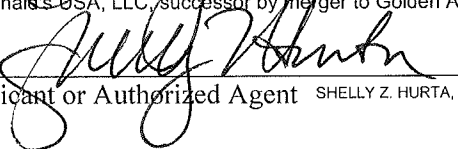
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line
21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership

BY:  3/27/13
 Record Owner SHELLY Z. HURTA, SENIOR COUNSEL Date

McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership

BY:  3/27/13
 Applicant or Authorized Agent SHELLY Z. HURTA, SENIOR COUNSEL Date

FINDINGS OF FACT SHEET – SPECIAL USE



The St. Charles Zoning Ordinance requires the Plan Commission to consider the factors listed below in making a recommendation to the City Council.

As the applicant, the “burden of proof” is on you to show how your proposed Special Use will comply with each of the applicable standards. Therefore, you need to “make your case” by explaining specifically how your project meets each of the following standards.

3900 E. Main Street, St. Charles, IL 60174

March 2013

Project Name or Address

Date

From the Charles Zoning Ordinance, Section 17.04.430.C.2:

No Special Use or amendment to Special Use shall be recommended by the Plan Commission unless it finds that the proposed Special Use or amendment to Special Use will conform with each of these standards. The Plan Commission shall submit its written findings together with its recommendations to the City Council after the conclusion of the Public Hearing, and also may recommend such conditions as it may deem necessary to ensure conformance with these standards.

On the basis of the evidence presented at the public hearing, the Plan Commission shall record its reasons for recommending approval or denial of the petition (findings of fact) in accordance with the following standards:

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

This facility has operated at this location for more than a decade and has been serving the public convenience. The new facility will enhance the public convenience by introducing a more efficient drive-thru facility and significantly improve the aesthetic qualities of the area.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

These utilities are in place and have served this facility.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

This use has been established for more than a decade. Commercial uses and commercial zoning surround this area.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The surrounding properties have already been developed. This use would not impede any redevelopment of the surrounding area.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Again, this use has existed for more than a decade without detrimental effect or endangerment to the public health, safety and welfare. This use will enhance the general welfare by providing a more efficient drive-thru facility and a more contemporary building elevation.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The following PUD deviations are being requested: (1) from Table 17.28-2 to add two additional wall signs for the "M" sign on the west and east elevations; (2) from Table 17.28-2 to increase the number of free-standing signs from one to two.

FINDINGS OF FACT SHEET – SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT (PUD)



The St. Charles Zoning Ordinance requires the Plan Commission to consider the factors listed below in making a recommendation to the City Council.

As the applicant, the “burden of proof” is on you to show how your proposed Planned Unit Development meets the applicable standards. Therefore, you need to “make your case” by explaining specifically how the project meets each of the following standards.

McDonald's

PUD Name

March 2013

Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The proposed development results in a distinctive and attractive development as evidenced by the elevations, which contains brick veneer and cultured stone. This plan also promotes economic development and efficient use of land, utilities, street improvements and drainage facilities by modernizing this facility and improves the overall site plan by making the drive-thru more efficient.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The PUD provides community amenities with the playplace. It provides superior landscaping, buffering and screening with a generous landscape plan and a high quality architectural design. The new building will comply with all regulations for building efficiency.

The departures from the Code are listed in Section F of the Findings of Fact Sheet.

The increase in the wall signage is required because in essence this site has three frontages. Additionally, the Playplace amenity needs signage to alert customers it exists. The "M" logos on the east and west elevations are the only additional signs being requested. These signs are an integral part of the stone arcade feature.

The increase in free-standing signage is required to allow for a pre-sale menu board which allows customers to review a menu while in line and before arriving at the custom order display to place their order. This further improves the efficiency of the drive-thru system.

LEGAL DESCRIPTION

PARCEL 1:

LOT 2 IN WAL-MART SUBDIVISION IN PART OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING A SUBDIVISION OF LOTS 1, 2, 3 AND PART OF LOT 13 OF PETKAUSKAS' SUBDIVISION, EXCEPTING THEREFROM THAT PART OF SAID LOT 2 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 88 DEGREES 50 MINUTES 07 SECONDS EAST ALONG THE SOUTH LINE OF SAID LOT 2, 13.03 FEET; THENCE NORTH 01 DEGREES 09 MINUTES 53 SECONDS WEST, 19.03 FEET TO THE SOUTHWEST CORNER OF AN EXISTING SIGN BASE FOR THE POINT OF BEGINNING; THENCE NORTH 04 DEGREES 06 MINUTES 13 SECONDS EAST, 2.50 FEET; THENCE SOUTH 85 DEGREES 53 MINUTES 47 SECONDS EAST, 2.50 FEET; THENCE SOUTH 04 DEGREES 06 MINUTES 13 SECONDS WEST 2.50 FEET; THENCE NORTH 85 DEGREES 53 MINUTES 47 SECONDS WEST, 2.50 FEET TO THE POINT OF BEGINNING, ALSO EXCEPTING THEREFROM THAT PART OF SAID LOT 2 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 00 DEGREES 08 MINUTES 13 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 2, 35.94 FEET; THENCE SOUTH 89 DEGREES 51 MINUTES 47 SECONDS EAST, 13.74 FEET TO THE NORTHWEST CORNER OF AN EXISTING SIGN BASE FOR THE POINT OF BEGINNING; THENCE SOUTH 85 DEGREES 53 MINUTES 47 SECONDS EAST, 2.50 FEET; THENCE SOUTH 04 DEGREES 06 MINUTES 13 SECONDS WEST, 2.50 FEET; THENCE NORTH 85 DEGREES 53 MINUTES 47 SECONDS WEST, 2.40 FEET; THENCE NORTH 04 DEGREES 06 MINUTES 13 SECONDS EAST, 2.50 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

NON-EXCLUSIVE EASEMENT RESERVED AND GRANTED FOR THE BENEFIT OF OWNER OF PARCEL 1, UPON, ACROSS, OVER AND THROUGH THE AREA SHOWN AS "INGRESS AND EGRESS EASEMENT" ON WAL-MART SUBDIVISION RECORDED AS DOCUMENT R92-165313.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

RECEIVED
St. Charles, IL
APR 04 2013
CDD
Planning Division

CITYVIEW	
Project Name:	<u>3900 E. Main St. - McDonald's</u>
Project Number:	<u>2013</u> -PR- <u>006</u>
Application Number:	<u>2013</u> -AP- <u>014</u>

Instructions:

To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Parcel Number (s): 01-30-101-019	
	Proposed Name of PUD: McDonald's	
2. Applicant:	Name McDonald's USA, LLC	Phone 630-836-4940
	Address 4320 Winfield Road, Ste. 400 Warrenville, IL. 60555	Fax 630-836-9191
		Email Libby.Fisher@us.mcd.com
3. Record Owner:	Name McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership	Phone
	Address One McDonald's Plaza Oak Brook, IL 60523	Fax
		Email
4. Billing: <i>Who is responsible for paying application fees and reimbursements?</i>	Name PCA Team, Dept. 212	Phone
	Address 2111 McDonald's Drive Oak Brook, IL 60523	Fax
		Email

PUBLIC BENEFITS, DEPARTURES FROM CODE: (See Special Use Application)

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

SCHEDULE: Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

INCLUSIONARY HOUSING SUMMARY: For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

SUBDIVISION PRELIMINARY PLAN CHECKLIST:

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Preliminary Plan Checklist must be submitted. This Subdivision Checklist may reference the same set(s) of plans as the preceding checklists for Site/Engineering, Sketch Plan, Tree Preservation, and Landscape Plans, but the additional information required by the Subdivision Preliminary Plan Checklist must be included, where applicable.

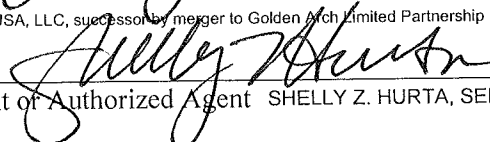
APPLICATION FOR SPECIAL USE FOR A PUD:

The application for PUD Preliminary Plan must be accompanied by an application for a Special Use for a PUD, unless the Special Use was previously granted and no amendment is needed. Documentation required for both applications need not be duplicated.

HISTORIC DESIGNATION: Is the property a designated Landmark or in a Historic District? No

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership
 March 27, 2013
Record Owner SHELLY Z. HURTA, SENIOR COUNSEL Date

McDonald's USA, LLC, successor by merger to Golden Arch Limited Partnership
 March 27, 2013
Applicant of Authorized Agent SHELLY Z. HURTA, SENIOR COUNSEL Date

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
DuPage) SS.
KANE COUNTY)

I, Shelly Z. Hurta, being first duly sworn on oath depose and say that I am
Senior Counsel Delaware
Manager of McDonald's USA, LLC, an ~~Illinois~~ Limited Liability

Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

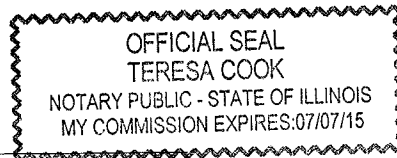
see attachment "A" _____

By: Shelly Z. Hurta ~~Manager~~ Senior Counsel
Shelly Z. Hurta

Subscribed and Sworn before me this 27 day of

March, 20 13.

Teresa Cook
Notary Public



Attachment A

Data Sheet Report

McDonald's USA, LLC

Status: Active
Incorporation: Delaware
Date of Incorporation: September 17, 2004
Shareholder: McDonald's Corporation Percentage Held: 100%

Entity Type: Limited Liability Company
Federal ID #: 73-1719185
Fiscal Year End: December 31

Primary Address

One McDonald's Plaza
Oak Brook, IL 60523

Registered Agent

Corporation Service Company
2711 Centerville Road, Suite 400
Wilmington, DE 19808

Purpose of Business

McDonald's USA, LLC is McDonald's U.S. business unit subsidiary.

Note: McDonald's USA, LLC. is listed as an affiliated entity of McDonald's Corporation ("McD Corp") under McD Corp's registration under Illinois' "pay to play" law. Please notify Global Compliance if this entity is dissolved or merged out of existence.

DIRECTORS

Bensen, Peter J

Santona, Gloria

Stratton, Jeffrey P

OFFICERS

Amble, Marcelyn M

U.S. Vice President - QSC

Andersen, Timmy D

U.S. Vice President - McOpCo General Manager

Angelotti, Gerald A

U.S. Vice President - QSC

Ashton, Sharon A

U.S. Assistant Secretary

Bacon, Richard T

U.S. Vice President - Quality Systems

Ball, Martha A

U.S. Vice President - QSC

Barnett, Danitra A	U.S. Vice President - Human Resources
Bonta, Alvaro F	U.S. Vice President - QSC
Boyles, Monica F	U.S. Vice President - General Manager
Carras, James S	U.S. Senior Vice President - Development
Cole, Christine M	U.S. Senior Vice President - Strategy
Collins, James C	U.S. Senior Vice President - Chief Restaurant Officer
Colon, Ricardo	U.S. Division President - East Division
Cook, Wendy W	U.S. Vice President - Group Leader, Category Management
Cook, Yolanda D	U.S. Vice President - QSC
Cuneo, Gianfranco	U.S. Vice President - QSC
Donovan, Robert E	U.S. Vice President and Treasurer
Doria, Myra May G	U.S. Vice President - General Manager
Endress, Joseph P	U.S. Vice President - Facilities and Systems
Ereio, Gregg A	U.S. Vice President - QSC
Erlinger, Joseph M	U.S. Vice President - General Manager
Floyd, James A	U.S. Vice President - McOpCo General Manager
Forsell, Susan M	U.S. Vice President - Sustainability Environment
Garcia, Karen C	U.S. Vice President - General Manager
Garcia, Roberto	U.S. Vice President - General Manager
Garrett, William R	U.S. Vice President - General Manager
Gehret, Daniel S	U.S. Vice President - QSC
Golden, Neil B	U.S. Senior Vice President - Marketing
Gonzalez Rodriguez, Jose Francisco M	U.S. Vice President - General Manager
Gorsky, Daniel J	U.S. Senior Vice President - North America Supply Chain Management
Griffin, Catherine A	U.S. Vice President and Secretary
Gross, Marion K	U.S. Vice President - Supply Chain Management
Guster-Hines, Victoria A	U.S. Vice President - QSC

Hall, Darren R	U.S. Vice President - QSC
Harrison, Larry D	U.S. Vice President - RDM Deployment
Hensley, Gary J	U.S. Vice President - QSC
Horne, Denise A	U.S. Vice President and Assistant Secretary
Ituen, Ubong E	U.S. Vice President - Group Leader, Category Management
Jamieson, Adele M	U.S. Assistant Secretary
Johannesen, James L	U.S. Executive Vice President, Chief Operations and Support Officer
Jones, Cedric L	U.S. Vice President - QSC
Kanjee, Mwaffak	U.S. Vice President - General Manager
Kerley, Steven J	U.S. Vice President - General Manager
Krulewicz, Jerome	U.S. Senior Vice President and Assistant Secretary
Kujawa, John A	U.S. Vice President - Franchising
Kumpf, Ofelia	U.S. Vice President - General Manager
Levigne, Steve	U.S. Vice President - Business Research
Liberio, Frank D	U.S. Vice President - Information Systems Management
Long, Larry	U.S. Vice President - Insurance
Lowery, William A	U.S. Vice President - McDonald's Restaurants Wal-Mart
Madigan, Kathleen R	U.S. Assistant Secretary
Maney, Walter E	U.S. Vice President - General Manager
Marshall, Robert C	U.S. Vice President - Operations
Matusinec, Karen A	U.S. Vice President - Treasury
McCabe, James E	U.S. Vice President - Operations Development
McDermott, Brian P	U.S. Vice President - Business Research
McKernan, William J	U.S. Vice President - QSC
McKinney, Marie	U.S. Vice President - General Manager
Miller, Marcy A	U.S. Assistant Secretary - Tax
Molloy, Padraic G	U.S. Assistant Secretary

Moreno, Mark A	U.S. Vice President - General Manager
Musolino, Sheila J	U.S. Vice President - Supply Chain Management
Newell, Kevin L	U.S. Executive Vice President, Chief Brand and Strategy Officer
Norberg, James A	U.S. Senior Vice President - Restaurant Support Officer
Noronha, Atila	U.S. Vice President - QSC
Olivas, Bianca G	U.S. Vice President - QSC
Olson, Teresa M	U.S. Vice President - Controller
Peleo-Lazar, Marlana D	U.S. Vice President - Creative
Pfeifer, Gina K	U.S. Vice President - Restaurant System Business Integration
Phalen, Patrick M	U.S. Vice President - USA IT
Plotkin, Steven M	U.S. Division President - West Division
Potesta, Gino F	U.S. Vice President - General Manager
Quesada, Marcos A	U.S. Vice President - QSC
Quinn, Neil J	U.S. Assistant Treasurer
Ranft, Martin L	U.S. Vice President - Development
Ray, Michael D	U.S. Vice President - QSC
Renz, Lee K	U.S. Division President - Central Division
Roberts, Bettina S	U.S. Vice President - General Manager
Roberts, Debbie S	U.S. Senior Vice President - Restaurant Support Officer
Robeson, Charles T	U.S. Senior Vice President - Restaurant Support Officer
Rockwell, Scott W	U.S. Vice President - QSC
Rogers-Reece, Shirley A	U.S. Vice President - General Manager
Russell, Stephen W	U.S. Senior Vice President - Chief People Officer
Sconiers, Wendell	U.S. Vice President - Operations Execution
Scott, Chuck	U.S. Vice President - Franchise Relations
Shuler, Sandra P	U.S. Vice President - QSC
Smedstad, Heather L	U.S. Vice President - U.S. General Counsel and Assistant Secretary

Smith, Martha M	U.S. Assistant Treasurer
Smith, Sharlene M	U.S. Vice President - General Manager
Smoot, Mason T	U.S. Vice President - Human Resources
Soenke, Michael L	U.S. Senior Vice President and Chief Financial Officer
Sterling, Peter A	U.S. Vice President - Marketing Administration
Stratton, Jeffrey P	President, McDonald's USA
Stringfellow, J Benjamin	U.S. Vice President - Communications
Strong, Charles E	U.S. Division President - McOpCo
Stroud, Debra L	U.S. Vice President - General Manager
Switzer, Robert L	U.S. Vice President and Assistant Secretary
Teets, Cody R	U.S. Vice President - General Manager
Thoma, Wade W	U.S. Vice President - Menu Management
Thomas, Diana J	U.S. Vice President - Training, Learning and Development
Thomas, Harry L	U.S. Vice President - QSC
Tice, William R	U.S. Vice President - General Manager
Velez-Valenzuela, Remedios S	U.S. Vice President - QSC
Watson, Greg D	U.S. Senior Vice President - Menu Innovation Team
Wilfong, Jeff M	U.S. Vice President - General Manager
Williams, Alex D	U.S. Vice President - General Manager
Yates, Irene W	U.S. Vice President - Tax

QUALIFICATIONS

Jurisdiction

Alabama

Alaska

Arizona

Arkansas

California

Date

09/28/2004

10/04/2004

09/28/2004

09/28/2004

09/28/2004

Colorado	10/12/2004
Connecticut	09/28/2004
District of Columbia	09/28/2004
Florida	10/12/2004
Georgia	10/12/2004
Hawaii	10/13/2004
Idaho	09/30/2004
Illinois	09/27/2004
Indiana	09/29/2004
Iowa	09/29/2004
Kansas	10/12/2004
Kentucky	10/13/2004
Louisiana	09/29/2004
Maine	10/12/2004
Maryland	10/05/2004
Massachusetts	10/18/2004
Michigan	10/14/2004
Minnesota	09/30/2004
Mississippi	10/05/2004
Missouri	09/29/2004
Montana	10/12/2004
Navajo Nation	12/06/2007
Nebraska	10/21/2004
Nevada	10/12/2004
New Hampshire	10/18/2004
New Jersey	10/07/2004
New Mexico	09/29/2004
New York	10/12/2004
North Carolina	09/30/2004
North Dakota	10/12/2004
Ohio	10/12/2004
Oklahoma	10/07/2004
Oregon	10/06/2004
Pennsylvania	10/06/2004
Rhode Island	10/05/2004
South Carolina	10/14/2004
South Dakota	10/13/2004
Tennessee	10/06/2004
Texas	10/18/2004
Utah	10/06/2004

Vermont	10/12/2004
Virginia	10/06/2004
Washington	10/06/2004
West Virginia	10/12/2004
Wisconsin	10/15/2004
Wyoming	10/15/2004

DATE OF LAST REVISION

03/01/2013

CONTACT

Ann Schmid

ann.schmid@us.med.com

City of St. Charles, Illinois

Ordinance No. 1996-M-71

**An Ordinance Granting a Special Use
for a Drive-In Establishment in the
Dunham Club/Route 64 PUD
(McDonald's)**

**Adopted by the
City Council
of the
City of St. Charles
this 7th day of October, 1996**

**Published in pamphlet form by
authority of the City Council
of the city of St. Charles,
Kane and Du Page Counties,
Illinois, this 11th day of
October, 1996**


City Clerk

(S E A L)

DATE OF PUBLICATION 10/11/96
NEWSPAPER Pamphlet Form

ORDINANCE NO. 1996-M-71

REFER TO:
MINUTES 10/7/96
PAGE _____

**AN ORDINANCE GRANTING A SPECIAL USE
FOR A DRIVE-IN ESTABLISHMENT
IN THE DUNHAM CLUB/ROUTE 64 PUD
(McDonald's)**

WHEREAS, a petition for a Special Use for a "drive-in establishment" within the R-2A District for the real estate described as follows:

Lot 2 in Wal-Mart Subdivision, part of the Northwest Quarter of Section 30, Township 40 North, Range 9 East of the Third Principal Meridian, Lots 1, 2 and 3 and part of Lot 13 of Petruskas's Subdivision, in DuPage County, Illinois

(hereinafter sometimes referred to as the "Subject Realty") has been filed by Wal-Mart Stores, Inc., applicant and owner of record of the Subject Realty (hereinafter, "OWNER"); and

WHEREAS, a Special Use as a Planned Unit Development was granted for the Subject Realty and for other real estate by Ordinance No. 1991-Z-13 entitled "AN ORDINANCE GRANTING A SPECIAL USE AS A PLANNED UNIT DEVELOPMENT FOR THE DUNHAM CLUB/ROUTE 64 PUD", as amended by Ordinance 1992-Z-2 and Ordinance 1993-Z-7 (hereinafter, the "Ordinance") and said Ordinance provided for Special Uses including "drive-in establishments"; and

WHEREAS, the St. Charles Plan Commission has held a public hearing on said petition in accordance with law; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Plan Commission and has considered same;

WHEREAS, the City Council of the City of St. Charles hereby makes the following findings of fact:

- 1. That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

Adequate stacking is provided for the drive-through per the zoning requirements. The stacking lane does not block any access or parking spaces. Pavement markings will be provided to guide traffic in and out of the drive-through.

- 2. That the special use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purpose already permitted, nor substantially diminish or impair property values within the neighborhood.**

The special use will not infringe on adjacent properties. The stacking for the drive-through will be contained entirely on the site. There is a drive-through bank directly to the west of the subject site and has not been detrimental to surrounding properties. A five foot high fence will be installed along the east property line to provide screening for the adjacent residence. The site meets the guidelines set out in the East Gateway Design Standards.

- 3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Much of the surrounding area is already developed. Areas to the north, west and south are zoned for commercial uses including drive-through facilities.

- 4. That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Adequate utilities and drainage facilities will be provided per city ordinance requirements. The existing full access to Smith Road serving the Wal-Mart site, which is located northerly of the McDonald's site, will provide adequate ingress and egress in all directions for the proposed Special Use, and will avoid congestion and related hazards in the public streets by providing for left turns for southbound traffic at a location where appropriate provisions have been made for all turning movements.

- 5. That adequate measures have been, or will be, taken to provide ingress and egress so designed as to minimize traffic congestion in public streets.**

The owner has agreed to eliminate the right-out only vehicular egress at Smith Road, which will prevent vehicles exiting the site from attempting an improper left turn via the right-out egress. The elimination of this right-out vehicular egress represents a significant change from the plan reviewed by the Plan Commission. It justifies changes to the Plan Commission's

findings per its Resolution No. 20-96. Elimination of this egress will rectify the concerns over hazardous traffic movements anticipated in the Plan Commission's findings.

6. **That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified by the City Council pursuant to the recommendations of the Plan Commission.**

The special use will meet all applicable regulations of the underlying zoning requirements as provided in the Special Use as a Planned Unit Development that exists on this property.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. That a Special Use for a "drive-in establishment" be and is hereby granted for the Subject Realty, subject to the additional requirements and restrictions provided herein.

SECTION 2. That the Special Use for a drive-in establishment within the Subject Realty may be developed and used only in accordance with all ordinances of the City as now in effect or hereafter amended, and in conformance with Exhibit "A" attached hereto and made a part hereof, and with the following:

That the OWNER shall construct and pay for all improvements necessary to eliminate the right-out-only egress lane onto Smith Road, as shown in Sheet C-5 of Exhibit "A" attached hereto, and as determined by the City Engineer in accordance with the St. Charles Municipal Code. All such improvements shall be completed no later than April 1, 1997. Prior to issuance of a building permit, OWNER shall provide CITY with a cash escrow or an undertaking and letter of credit in form, amount and provider acceptable to the City Council, to guarantee

completion of all such improvements within the Smith Road right of way. If the improvements to eliminate the right-out-only egress lane are not completed by April 1, 1997, the City may draw on the cash escrow or Letter of Credit to complete them. The letter of credit shall not expire earlier than October 1, 1997.

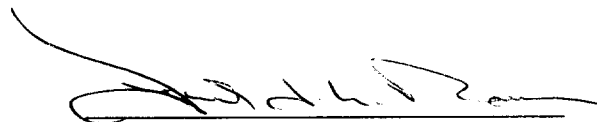
SECTION 3. That the Preliminary Plan, a reduced copy of which is attached hereto as Exhibit "A" consisting of sheets C-5, C-1, C-2, CE-1, L-1, Lighting, A1, and A3 prepared by McDonald's Corporation, and sign elevation received September 18, 1996 entitled "Concept 1" is hereby approved, with the condition that the access to Smith Road shall be configured as shown in Sheet C-5.

SECTION 4. That this Ordinance shall become effective from and after its passage and approval in accordance with law.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of October, 1996.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of October, 1996.

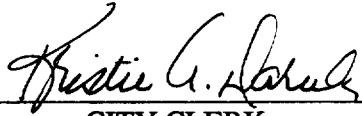
APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, this 7th day of October, 1996.


MAYOR

ATTEST:

Ordinance No. 1996-M-71

Page 5



CITY CLERK


COUNCIL VOTE:

Ayes: 13

Nays: 0

Absent: 0

Approved as to form:

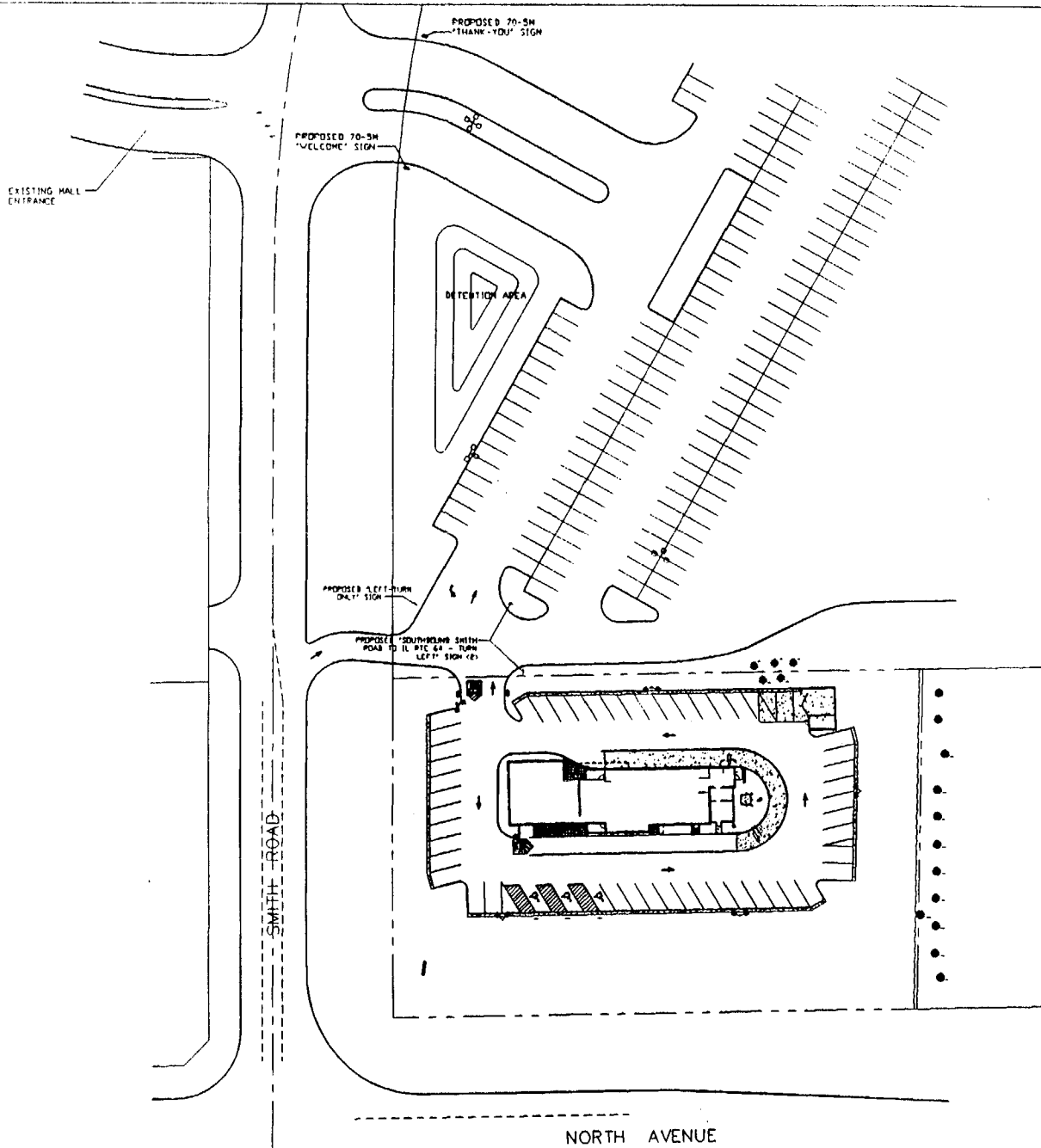


City Attorney

October 10, 1996

Date

EXHIBIT A



GENERAL NOTES

1. DIMENSIONS SHOWN ARE BASED ON THE CIVIL CONTRACTOR CORNER AND VERTIC ARE BY THE GENERAL CONTRACTOR.
2. SMALL LETTER PRINT SHALL BE USED FOR ALL OTHER THAN ARE BY THE GENERAL CONTRACTOR.
3. 3/4" DIMTY CORNER TO LOCATIONS SHOWN AS THE LEFT HAND METED FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHT THE FINISHES, MARKS, POINTS, CORNER, AND VERTIC ARE BY THE GENERAL CONTRACTOR.
4. MARKS FOR PLUMBING ARE BY THE GENERAL CONTRACTOR. WERE BOLS ARE BY THE GENERAL CONTRACTOR.
5. PROPOSED UTILITIES ARE SHOWN BY SYMBOLS ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE BEST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COOPERATE WITH ALL UTILITY COMPANIES TO OBTAIN EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY HEADS FOR THE FOLLOWING ELECTRICAL AND PLUMBING SERVICES: WATER SERVICE, SEWER SERVICE, GAS SERVICE, AND CABLE SERVICE.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE FINISHING AND SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT CONSTRUCTION.
8. FINISH GRADE AND CURB ELEVATION SHALL BE AT LEAST THREE FEET ABOVE FINISH FLOOR.
9. ALL LANDSCAPE AREAS SHALL BE FINISH GRADE TO 1" BELOW TOP OF ALL CURBS AND CURBS FROM FINISH LANDSCAPE AND FINISHED ELEVATION ARE IN THE DEVELOPMENT.
10. LOT LIGHTING LOCATIONS ARE TO CONFORM WITH THE WELL REPORT RECOMMENDATIONS FOR THIS PROJECT AT SITE.
11. CORNER TIERS:
 - (A) ALL LOT LIGHTS TO BE AT LEAST 3/4" CORNER
 - (B) FINISH GRADE TO BE AT LEAST 1/2" CORNER
 - (C) ROAD SIDE & ROAD SHOULDER TO BE 1/2" CORNER
 - (D) WALKWAY SIDE & DRIVEWAY TO BE 3/4" CORNER

PAVING SPECIFICATION

- MINIMUM 3" TOTAL COMPACTED ASPHALT (MINIMUM 2")
- 1" BITUMINOUS CONCRETE SURFACE COURSE
 - 2" BITUMINOUS CONCRETE BINDER COURSE
 - 4" GRAVEL BASE, CA-6, ROLLED & COMPACTED
 - LAYER OF 2" GRANULAR FILL OVER SUB-BASE
- GRAVEL BASE AND SUB-BASE COURSES SHALL BE PLACED OVER THE SUB-GRADE AND EACH COURSE COMPACTED AT 95% MODIFIED PROCTOR LABORATORY DENSITY.

LOT LIGHTING RECOMMENDATION

- SECURITY LIGHTING SYSTEM METAL HALIDE, ORDER 150-1000-100-100-100
- 8 DOUBLE HEAD FIXTURES
 - 8 SINGLE HEAD FIXTURES
 - 8 TRIPLE HEAD FIXTURES
- LOT LIGHTS TO BE WIRED ON ALTERNATE CIRCUITS AS SHOWN. PAGES TO HAVE 3/4" DIAMETER 30' LONG GALVANIZED W/IRON.
- NOTE: ELECTRICAL CONTRACTOR TO CONSULT LOT LIGHTING AS APPLICABLE.

PARKING INFORMATION

TOTAL SPACES	20 SPACES		25 SPACES	
	10 FT	20 FT	10 FT	20 FT
52	10 SPACES	10 FT	20 FT	15 FT
	5 SPACES	10 FT	20 FT	10 FT
	3 SPACES	10 FT	20 FT	10 FT

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

SURVEY INFORMATION

PREPARED BY: GARDNER & ASSOCIATES
 300 E. ST. CHARLES PLACE
 LOMBARD, ILLINOIS 60148
 DATE: 1/28/89 (780) 916-6282

LEGEND

—	SANITARY SEWER	—	GAS
—	WATER	—	LOT LIGHT
—	STORM SEWER	—	EXISTING ELEVATION
—	ELECTRIC	—	PROPOSED ELEVATION

PLAN SCALE: 1" = 30'

STREET ADDRESS: NORTH AVE. (IL RTE 64) & SMITH RD.

CITY	STATE	STATUS	DATE	BY
ST. CHARLES	ILLINOIS	PRELIMINARY	07/24/89	ASJ
COUNTY	DUPAGE	PLAN CHECKED	07/24/89	ASJ
		AS-BUILT	07/24/89	ASJ

REGIONAL DWG NO.	CORPORATE DWG NO.
IL #012-1700	IL #012-1700

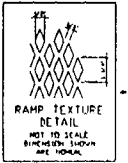
McDonald's

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CHICAGO OFFICE: 100 N. WASHINGTON ST., CHICAGO, ILL. 60602
 LOMBARD OFFICE: 300 E. ST. CHARLES PLACE, LOMBARD, ILL. 60148

C-5

- ADA ACCESSIBILITY NOTES:
- EACH HANDICAPPED PARKING STALL TO HAVE BLUE INSIGNIA PAINTED ON PAVEMENT
 - HANDICAPPED RESERVE PARKING SIGN WITH 150 TPI RIBBED
 - HANDICAPPED RAMP TO HAVE:
 - MINIMUM 1:12 SLOPE
 - SLIP RESISTANT PAVEMENT
 - SIGN NOTING RAMP LOCATION & ACCESSIBLE ROUTE
 - HAND RAILS WHEN USED WILL BE BETWEEN 34" TO 38" HIGH WITH ROUNDED ENDS EXTENDING 1' BEYOND THE BEGINNING & END OF THE RAILLINE
 - ALL STALLS & RAMP SHALL COMPLY WITH FEDERAL STATE & LOCAL ADA ACCESSIBILITY CODES



3 BOOTH IN LINE FACE-TO-FACE SYSTEM TO HAVE 4" DIAMETER 3" HIGH YELLOW PVC CONCRETE FILLED AND CAPPED POST REQUIRED AT THE SERVICE WINDOW (RAMP-OUT OR FLUSH MOUNTED) TO DETERMINE GUARD POST LOCATION. 2 VEHICLE DETECTOR LOOPS ONE AT PREVIEW AREA AND ONE AT THE FIRST BOOTH. PREVIEW AREA TO HAVE MENU BOARD (WITH NO SPEAKER) POSITIONED FOR BEST VIEWING BY CAR WAITING BEFORE FIRST BOOTH. PREVIEW AREA ALSO TO HAVE FACE-TO-FACE IDENTIFICATION SIGN & VEHICLE HEIGHT DETECTOR. AIR-ENTRAINED CONCRETE PAD IN LENGTH SHOWN. FIRST BOOTH TO HAVE MENU CARD SYSTEM IN WINDOW.

DRIVE-THRU STACKING 15 CARS @ 20' EACH = 300 LINEAR FEET.

CONTRACTOR TO RUN 3/4" COLD WATER & 3/4" EMPTY CONDUIT TO TRASH CORRAL. INTERIOR OF CORRAL & SHED TO BE PAINTED WHITE. EXTERIOR OF TRASH CORRAL & SHED TO MATCH EXTERIOR OF BUILDING.

SMITH ROAD

NORTH AVENUE



GENERAL NOTES

- PERMITS, SIGN SIGN AND PAVE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- SHIELD NUMBER, POLE, CONDUIT, AND WIRING FOR ALL OTHER UTILITIES ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO BE LOCATED AS SHOWN AT THE LEFT PERMITS. REFER TO LOT LIGHTING BY THE GENERAL CONTRACTOR. LOT LIGHTING SHALL BE PERFORMED TO MEET THE CITY OF DUQUETTE SPECIFICATIONS.
- SHIELD FOR PERMITS ARE BY THE GENERAL CONTRACTOR. WIRING FOR ALL UTILITIES ARE BY THE GENERAL CONTRACTOR.
- PROPOSED UTILITIES ARE SHOWN BY GENERAL CONTRACTOR. EXISTING UTILITIES REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATION, SIZE AND UTILITIES.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION. EXISTING UTILITIES REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATION, SIZE AND UTILITIES.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE CHECKED BY THE GENERAL CONTRACTOR AT PROVISIONAL.
- GRADE SHEDS AND CURB ELEVATIONS SHALL BE 1' ABOVE FINISH GRADE.
- ALL LANDSCAPE SHALL BE IN ACCORDANCE TO THE BENCHMARK AND MUST BE CHECKED BY THE GENERAL CONTRACTOR AT PROVISIONAL.
- LOT LIGHTING CONCRETE FORMING IS SHOWN WITH THE CITY REARLY RECOMMENDATION FOR THIS PARTICULAR SITE.
- CONCRETE NOTES:
 - ALL LOT LIGHTING TO BE AT LEAST 3/4" CONCRETE
 - CONCRETE TO BE 4" MINIMUM TO LOT LIGHTING
 - LOT LIGHTING TO BE 4" MINIMUM TO LOT LIGHTING
 - CONCRETE TO BE 4" MINIMUM TO LOT LIGHTING
 - CONCRETE TO BE 4" MINIMUM TO LOT LIGHTING

PAVING SPECIFICATIONS

GENERAL: TOTAL CONTRACTOR SHALL PROVIDE:

- 1" BITUMINOUS CONCRETE SURFACE COURSE
- 2" BITUMINOUS CONCRETE BINDER COURSE
- 3" GRAVEL BASE, CA-4, ROLLED & COMPACTED
- 1" LAYER OF TYPAR REINFORCING OVER SUB-BASE

GRAVEL BASE AND SUB-BASE COURSE SHALL BE PLACED OVER THE SUB-GRADE AND EACH COURSE COMPACTED AT 95% MODIFIED PROCTOR LABORATORY DENSITY.

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING SYSTEM METAL HALIDE ORDER: 2 1/2" HEAD FINITURES, 2 1/2" HEAD FINITURES, 2 1/2" HEAD FINITURES. LOT LIGHTS TO BE WIRING ON ALTERNATE CIRCUITS AS SHOWN BASES TO HAVE 3/4" DIAMETER 30" LONG GALVANIZED WIRE.

UTILITY INFORMATION

SIZE	TYPE	LOCATION
12"	SEWER	...
12"	WATER	...
12"	SEWER	...
12"	ELECTRIC	...
12"

PARKING INFORMATION

NO. OF SPACES	25' SPACES	20' x 25' SPACES	15' x 20' SPACES
52	9	25	18

LEGEND

---	SEWER	---	WATER
---	LOT LIGHT	---	EXISTING ELEVATION
---	PROPOSED ELEVATION	---	...

STREET ADDRESS
NORTH AVE. (IL RTE 64) & SMITH RD.

CITY ST. CHARLES **STATE** ILLINOIS

COUNTY DUPAGE

REGIONAL BNG. NO. IL #012-1700 **CORPORATE BNG. NO.** IL #012-1700

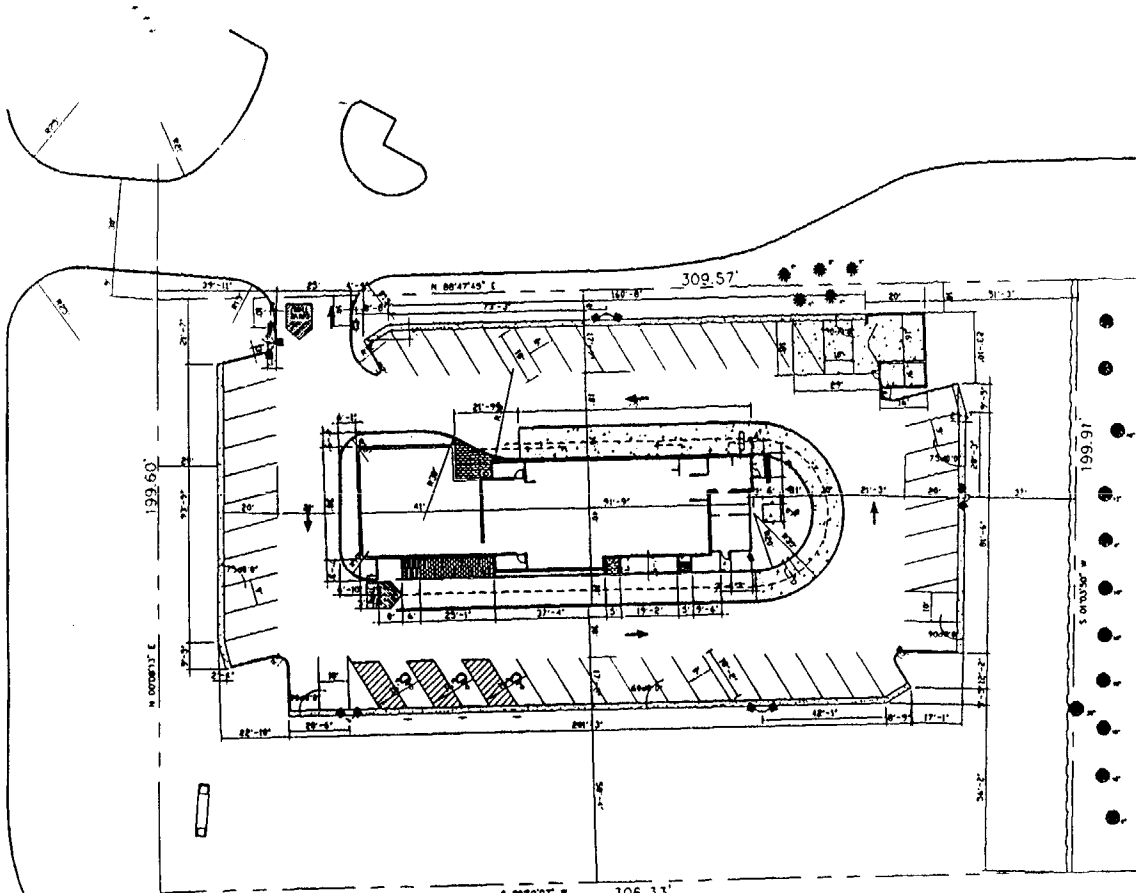
STATUS PRELIMINARY **DATE** 11/11/11 **BY** BJS

PLAN CHECKED ... **AS-BUILT** ...

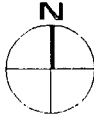


DATE	DESCRIPTION	BY
11/11/11
11/11/11
11/11/11
11/11/11
11/11/11

SMITH ROAD



NORTH AVENUE



GENERAL NOTES

1. FOUNDATION BEARINGS AND BASE ARE IN THE SIGN CONTRACTOR. FOUNDATION WALLS ARE BY THE GENERAL CONTRACTOR.
2. BRICK ANCHOR BOLT, CONCRETE, AND WELDS FOR ALL OTHER ITEMS ARE BY THE GENERAL CONTRACTOR.
3. SLOPE DITCHES TO BE LOCATED SHOWN AT THE LOT PERMITS FOR LOT LIGHTING TO BE BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WELDS ARE BY THE SIGN CONTRACTOR.
4. WALLS FOR PLUMBABLE ARE BY THE GENERAL CONTRACTOR FOR ALL OTHER WALLS ARE BY THE PLUMBABLE SUPPLIER.
5. PROPOSED UTILITIES ARE SHOWN IN GENERALITY ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINTS OF SERVICE CONNECTIONS AT EXISTING UTILITY METERS TO THE BUILDING ELECTRICAL AND PLUMBING SERVICES FOR UTILITY SERVICES EXCEPT LOCATIONS, SIZES AND CHANGING.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT INSTALLATION.
8. FINISH FLOOR AND FLOOR ELEVATIONS SHALL BE AS SHOWN IN PLAN. FINISH FLOOR.
9. ALL LANDSCAPE MEASUREMENTS SHALL BE MEASURED TO THE TOP OF ALL WALLS AND CURBS FROM GRADES. LANDSCAPE MEASUREMENTS SHALL BE MEASURED TO THE TOP OF CURBS.
10. ALL LOT LIGHTING SHALL BE MEASURED TO THE TOP OF CURBS AND WATER LINE & DITCHES SHALL BE MEASURED TO THE TOP OF CURBS.

PAVING SPECIFICATION
 SUPERIOR 2" TOTAL COMPACTED AT LEAST THE THICKNESS:
 1" BITUMINOUS CONCRETE SURFACE COURSE
 2" BITUMINOUS CONCRETE SURFACE COURSE
 4" GRAVEL BASE, CAN BE ROLLED & COMPACTED
 3" LAYER OF TYPAR REINFORCING OVER SUB-BASE
 GRANULAR BASE AND SUB-BASE COURSES SHALL BE PLACED OVER THE SUB-GRADE AND EACH COURSE COMPACTED AT 90% MODIFIED PROCTOR LABORATORY DENSITY.

NOTES:
 CONTRACTOR SHALL REMOVE THE PAVEMENT IN READY TO CONSTRUCTION AREA TO A MINIMUM OF 12" BELOW FINISH GRADE. ALL EXISTING UTILITIES SHALL BE PROTECTED OR RELOCATED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ST. CHARLES.

LOT LIGHTING RECOMMENDATION
 SECURITY LIGHTING SYSTEM METAL HOULING ORDER
 8 SINGLE HEAD FIXTURES
 8 TRIPLE HEAD FIXTURES
 LOT LIGHTS TO BE WIPER ON ALTERNATE SIDES AS SHOWN BASES TO HAVE 3" DIA. BENCH MARKS FOR LONG GALVANIZED ANCHOR

NOTE: ELECTRICAL CONTRACTOR TO CONSULT WITH CITY ENGINEER AT PERMITS

PARKING INFORMATION	
52	26 SPACES 9' x 20' @ 45°
	18 SPACES 9' x 20' @ 75°
	5 SPACES 10' x 20' @ 90°
	3 SPACES 16' x 20' @ 60°

UTILITY INFORMATION		
SIZE	TYPE	LOCATION
	SANITARY SEWER	
	WATER	
	STORM SEWER	
	ELECTRIC	
	BASE	

SURVEY INFORMATION
 PREPARED BY: Gentry & Associates
 508 E. ST. CHARLES PLACE
 LONGBEACH, MISSISSIPPI 39068
 (769) 794-6242
 DATE: 1/28/2005

LEGEND	
	SANITARY SEWER
	WATER
	STORM SEWER
	ELECTRIC
	GAS
	LOT LIGHT
	EXISTING ELEVATION (74.0)
	PROPOSED ELEVATION (77.0)

PLAN SCALE: 1" = 20'
 STREET ADDRESS
 NORTH AVE. (IL RTE 64) & SMITH RD.
 CITY: ST. CHARLES STATE: ILLINOIS
 COUNTY: DUPAGE

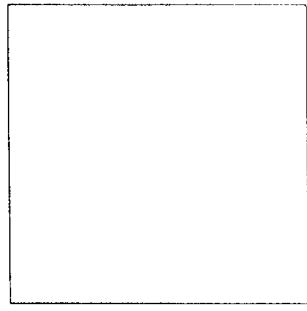
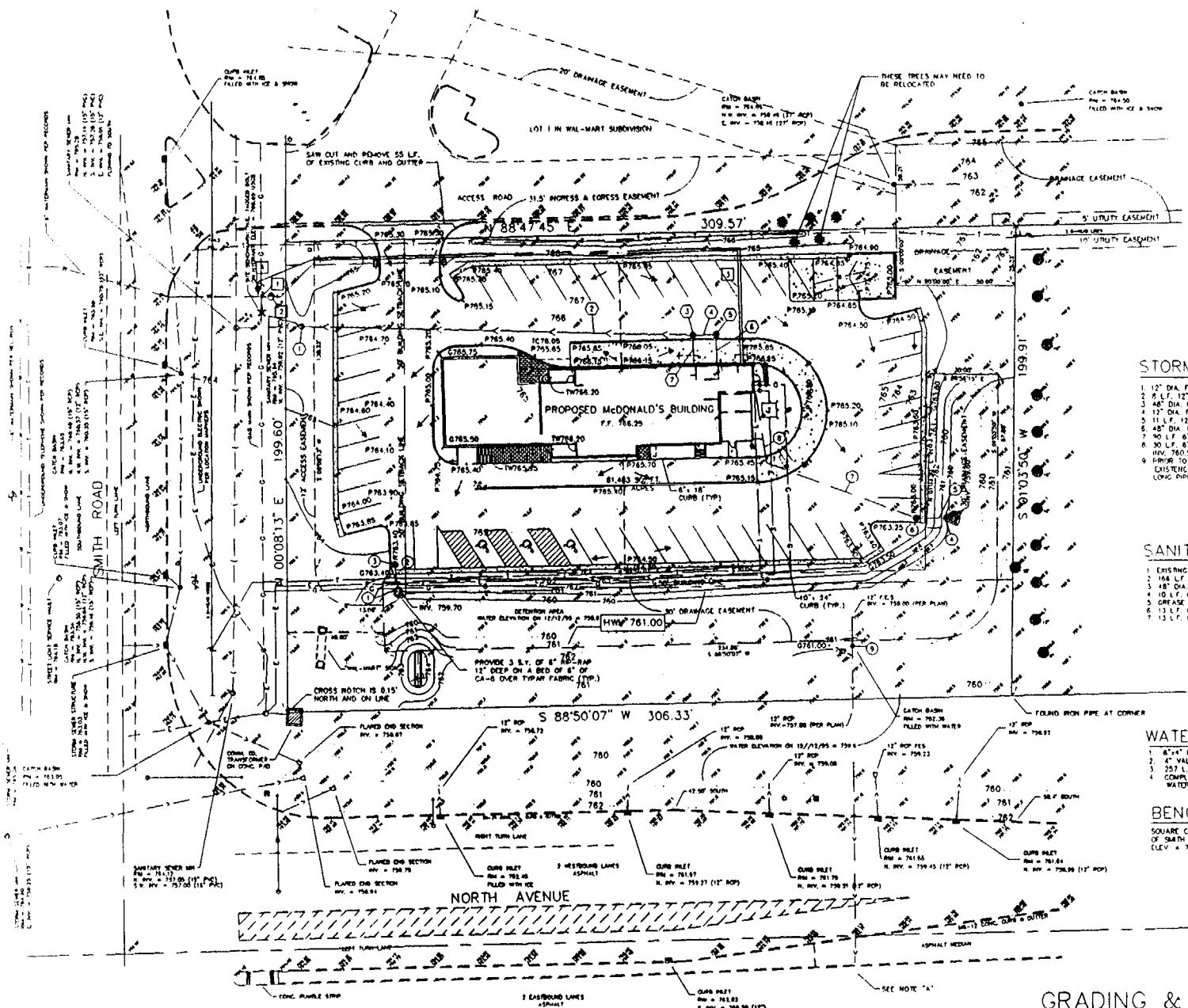
REGIONAL PWS NO: IL #012-1700
 CORPORATE PWS NO: IL #012-1700

REV	DATE	DESCRIPTION	BY	ISSUE NO.
1	1/28/05	FINAL DESIGN	JLS	1
2	2/1/05	PERMITS	JLS	2
3	2/1/05	CONSTRUCTION	JLS	3
4	2/1/05	AS-BUILT	JLS	4

McDonald's

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DATE	APPROVAL	DATE	APPROVAL
1/28/05	JLS	1/28/05	JLS
2/1/05	JLS	2/1/05	JLS
2/1/05	JLS	2/1/05	JLS
2/1/05	JLS	2/1/05	JLS



- STORM SEWER**
- 12" DIA. FLARED END SECTION, INV. 756.70
 - 48" DIA. CATCHBASIN, RM 763.40, INV. 756.87
 - 12" DIA. FLARED END SECTION, INV. 759.80
 - 11 LF 12" ROD CL. IN STORM SEWER AT 0.00%
 - 48" DIA. CATCH BASIN, RM 783.00, INV. 759.70(E), 760.05(F)
 - 30 LF 6" PVC (SDR 26) ROOF DRAIN AT 3.00% INV. AT BLDG. 762.75
 - 30 LF 6" PVC (SDR 26) ROOF DRAIN AT 3.00% WITH W.C. CONNECTION INV. 760.55, INV. AT BLDG. 762.75
 - 4" H.P. TO OCCUPANCY, THE 4" RESTRICTOR SHALL BE VERIFIED AS TO ITS EXISTENCE AND ELEVATION. IF ONE DOES NOT EXIST, INSTALL A 4" DIA. 2' LONG PIPE IN THE DOWNSTREAM PIPE OF THIS BASIN

- SANITARY SEWER**
- EXISTING SANITARY MANHOLE, RM 785.84, INV. 759.02(W), 760.19(E)
 - 168 LF 8" PVC (SDR 26) SANITARY SEWER AT 1.00%
 - 48" DIA. SANITARY MANHOLE, RM 765.95, INV. 761.95
 - 10 LF 8" PVC (SDR 26) SANITARY SEWER AT 1.00%
 - GREASE TRAP, RM 785.90, INV. 761.95(OUI) INV. 762.12(W)
 - 13 LF 8" D.I.P. SANITARY SEWER AT 1.00% INV. AT BLDG. 762.75
 - 13 LF 8" D.I.P. SANITARY SEWER AT 3.00% INV. AT BLDG. 762.25

- WATERMAIN**
- 6" x 6" REDUCER
 - 4" VALVE IN A 48" DIA. VAULT
 - 257 LF OF 4" DIA. W.M. WITH FITTINGS
 - COMPLETE 8" BOX WITH 262 LF OF 2" TYPE "K" COPPER WATER SERVICE.

BENCHMARK

SQUARE CUT ON THE CORNER OF TRAFFIC CONTROL BOX BASE, WEST SIDE OF SMITH ROAD AND 85' NORTH OF NORTH LINE OF NORTH AVE. ELEV. = 764.0 U.S.C.S.

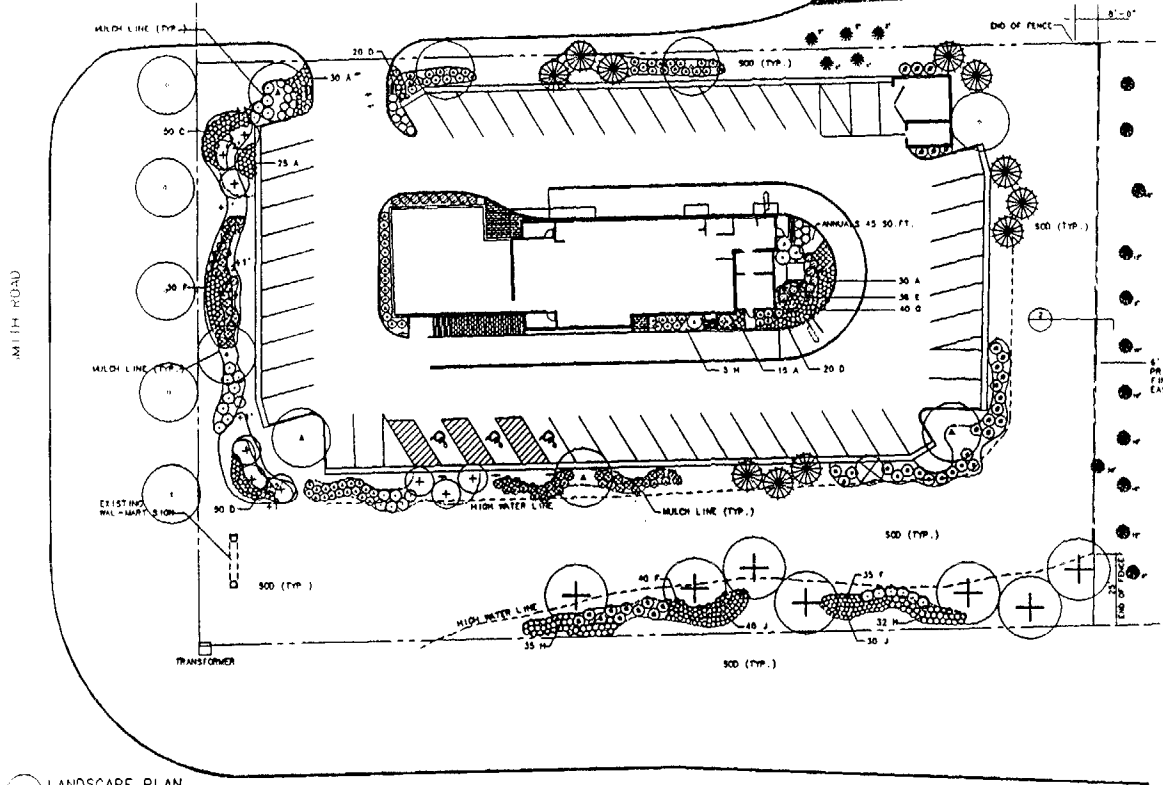
GRADING & UTILITY PLAN

NOTES: 1. THIS PLAN IS BASED ON THE TOPOGRAPHICAL SURVEY PREPARED BY: DENTLE AND ASSOCIATES, P.C. (708) 816-8282
2. UNLESS OTHERWISE NOTED TOP OF CURB IS 0.50' HIGHER THAN THE ADJACENT FLOWLINE (FL) OR PAVEMENT (P) ELEVATION.

NO.	DATE	REVISIONS
1	10/15/13	ISSUED FOR PERMIT
2	10/22/13	REVISED FOR COMMENTS
3	11/05/13	REVISED FOR COMMENTS
4	11/12/13	REVISED FOR COMMENTS
5	11/19/13	REVISED FOR COMMENTS
6	11/26/13	REVISED FOR COMMENTS
7	12/03/13	REVISED FOR COMMENTS
8	12/10/13	REVISED FOR COMMENTS
9	12/17/13	REVISED FOR COMMENTS
10	12/24/13	REVISED FOR COMMENTS
11	1/07/14	REVISED FOR COMMENTS
12	1/14/14	REVISED FOR COMMENTS
13	1/21/14	REVISED FOR COMMENTS
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162	11/27/16	REVISED FOR COMMENTS
163	12/04/16	REVISED FOR COMMENTS
164	12/11/16	REVISED FOR COMMENTS
165	12/18/16	REVISED FOR COMMENTS
166	12/25/16	REVISED FOR COMMENTS
167	1/01/17	REVISED FOR COMMENTS
168	1/08/17	REVISED FOR COMMENTS
169	1/15/17	REVISED FOR COMMENTS
170	1/22/17	REVISED FOR COMMENTS
171	1/29/17	REVISED FOR COMMENTS
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178	3/19/17	REVISED FOR COMMENTS
179	3/26/17	REVISED FOR COMMENTS
180	4/02/17	REVISED FOR COMMENTS
181	4/09/17	REVISED FOR COMMENTS
182	4/16/17	REVISED FOR COMMENTS
183	4/23/17	REVISED FOR COMMENTS
184	4/30/17	REVISED FOR COMMENTS
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199	8/13/17	REVISED FOR COMMENTS
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202	9/03/17	REVISED FOR COMMENTS
203	9/10/17	REVISED FOR COMMENTS
204	9/17/17	REVISED FOR COMMENTS
205	9/24/17	REVISED FOR COMMENTS
206	10/01/17	REVISED FOR COMMENTS
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274	1/22/19	REVISED FOR COMMENTS
275	1/29/19	REVISED FOR

AUG 27 1995

Planning Office

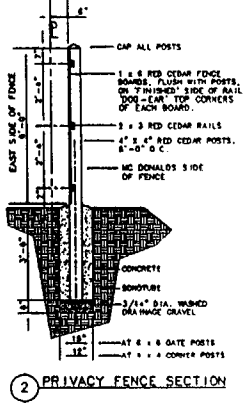


1 LANDSCAPE PLAN 1" = 30'-0"

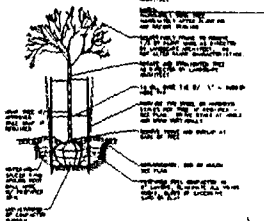
NORTH AVENUE (ILLINOIS RTE. 64)

QUANTITY	SYMBOL	BOTANICAL NAME	SIZE/DETAIL	COMMON NAME
EVERGREENS				
20	(Symbol)	<i>Juniperus chinensis</i> 'Youngbladi'	24"	Andorra Juniper
105	(Symbol)	<i>Caryopteris fortunei</i> 'Calareata'	3' pot	Purple Wintercreeper
11	(Symbol)	<i>Picea pungens</i>	6'	Colorado Spruce
20	(Symbol)	<i>Taxus x media</i> 'Danielsiana'	24"	Dense Yew
0	(Symbol)	<i>Thuja occidentalis</i> 'Emerald'	4'	Abravillos
0	(Symbol)	<i>Juniperus chinensis</i> 'Sea Dreads'		Sea Green Juniper
ORNAMENTAL TREES				
7	(Symbol)	<i>Malus 'Prairifera'</i>	2 1/2"	Prairifera Crab
10	(Symbol)	<i>Malus xumil</i> 'Catacorpa'	2 1/2"	Zuni Crab
0	(Symbol)	<i>Amelanchier 'Prince William'</i>	cl. Prince William	Serviceberry
0	(Symbol)	<i>Crocosmia elaeagnifolia</i> var. 'Inermis'		Thornless Crocosmia
SHADE TREES				
5	(Symbol)	<i>Fraxinus americana</i> 'Autumn Purple'	6"	Autumn Purple Ash
1	(Symbol)	<i>Diospyros t. lanceolata</i> 'Skyline 5'		Moneycatalpa
7	(Symbol)	<i>Acer rubrum</i> 'Autumn Blaze'	2.6"	Autumn Blaze Maple

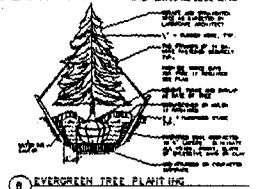
QUANTITY	SYMBOL	BOTANICAL NAME	SIZE/DETAIL	COMMON NAME
SHRUBS				
73	(Symbol)	<i>Spiraea x bumalda</i>	24"	Anthony Waterer Spiraea
6	(Symbol)	<i>Viburnum dentatum</i> 'Juddii'	3'	Kerriopsis Viburnum
27	(Symbol)	<i>Viburnum dentatum</i>	3'	Arrowwood Viburnum
26	(Symbol)	<i>Euonymus alatus</i> 'compactus'	30"	Compact Burning Bush
84	(Symbol)	<i>Syringa patula</i> 'Miss Kim'	24"	Miss Kim Lilac
13	(Symbol)	<i>Cornus Sericea</i> 'Isanti'	24"	Doerfl Redtwig
GROUNDCOVER/PERENNIALS/VINES				
70	(Symbol)	<i>Hemerocallis 'Stella D'Oro'</i>	1 gal	Stella D'Oro Daylily
0	(Symbol)	<i>Sedum 'Meteor'</i>	2.0/30.0 FT.	Sedum Meteor
90	(Symbol)	<i>Rudbeckia 'Goldstrum'</i>	1 gal	Black-eyed Susan
90	(Symbol)	<i>Salvia x superba</i> 'East Princes'	1 gal	Purple Sage
36	(Symbol)	<i>Echinacea purpurea</i> 'Alba'	1.0/30.0 FT.	White Coneflower
05	(Symbol)	<i>Echinacea purpurea</i> 'Moerhous'	1 gal	Purple Coneflower
40	(Symbol)	<i>Heuchera americana</i> 'Palace Purple'	1.0/30.0 FT.	Palace Purple Heuchera
77	(Symbol)	<i>Panastatum atopocerasoides</i> 'Monita'	1 gal	Monita Purple Heuchera
70	(Symbol)	<i>Chrysanthemum superbum</i> 'Alaska'	1 gal	Alaska Shasta Daisy



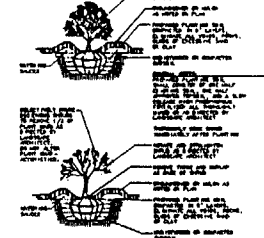
2 PRIVACY FENCE SECTION



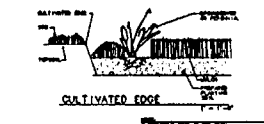
A DECIDUOUS TREE PLANTING



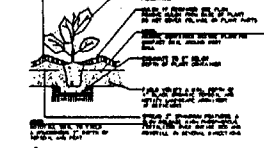
B EVERGREEN TREE PLANTING



C SHRUB PLANTING



D CULTIVATED EDGE



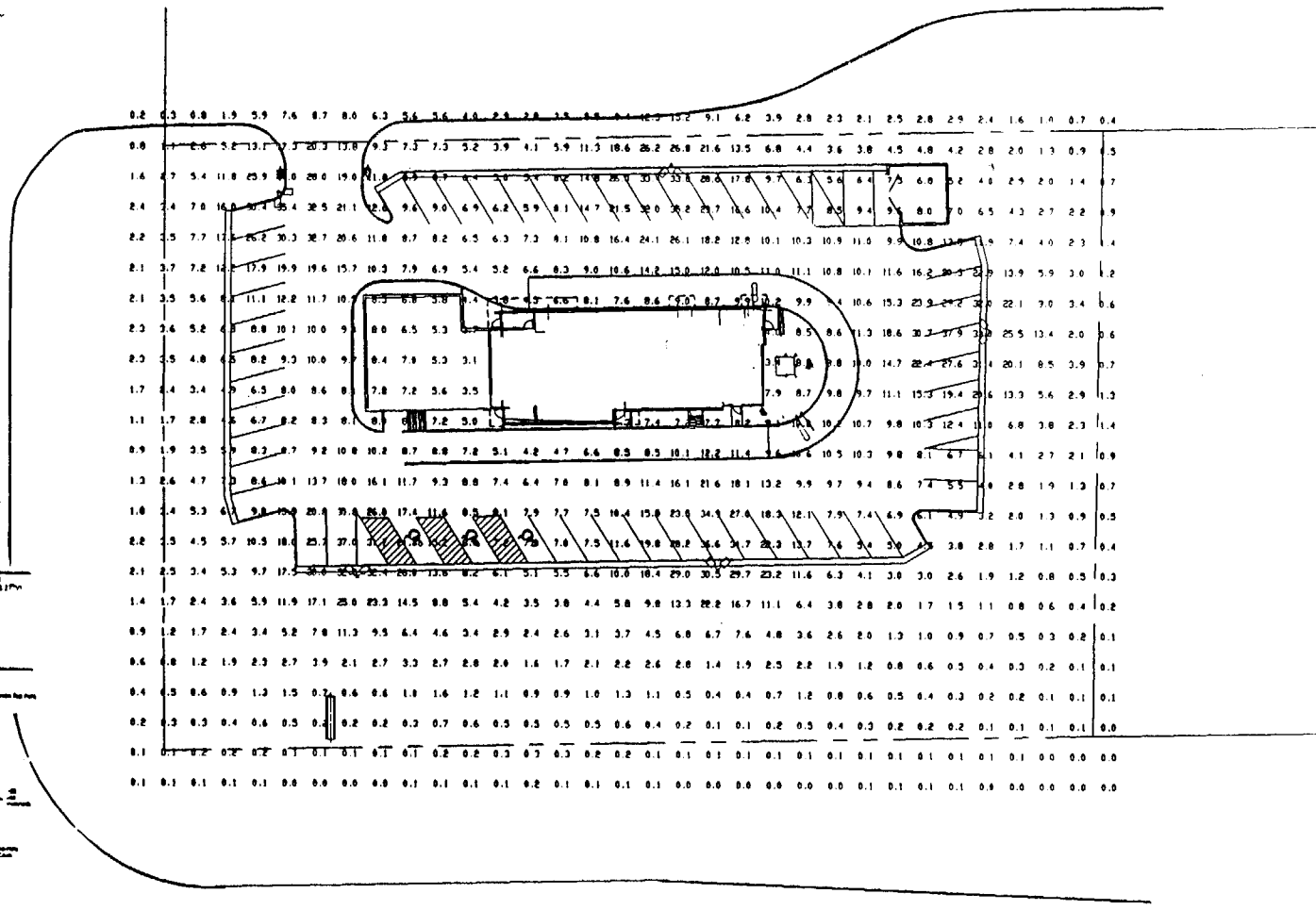
E GROUNDCOVER/PERENNIAL PLANTINGS

- LANDSCAPE SPECIFICATIONS**
1. **Site conditions**
 - a. Access to and out of the campus shall be maintained in accordance with the existing site plan and shall be maintained in accordance with the existing site plan.
 2. **Materials**
 - a. All materials shall be of the highest quality and shall be maintained in accordance with the existing site plan.
 3. **Planting**
 - a. All plants shall be planted in accordance with the existing site plan and shall be maintained in accordance with the existing site plan.
 4. **Soil**
 - a. The soil shall be amended with a suitable fertilizer and shall be maintained in accordance with the existing site plan.
 5. **Mulch**
 - a. A 2" layer of mulch shall be applied to all planting areas and shall be maintained in accordance with the existing site plan.
 6. **Water**
 - a. A suitable irrigation system shall be installed and shall be maintained in accordance with the existing site plan.
 7. **Drainage**
 - a. A suitable drainage system shall be installed and shall be maintained in accordance with the existing site plan.
 8. **Access**
 - a. Access to and out of the campus shall be maintained in accordance with the existing site plan and shall be maintained in accordance with the existing site plan.
 9. **Security**
 - a. A suitable security system shall be installed and shall be maintained in accordance with the existing site plan.
 10. **Signage**
 - a. A suitable signage system shall be installed and shall be maintained in accordance with the existing site plan.
 11. **Lighting**
 - a. A suitable lighting system shall be installed and shall be maintained in accordance with the existing site plan.
 12. **Sound**
 - a. A suitable sound system shall be installed and shall be maintained in accordance with the existing site plan.
 13. **Temperature**
 - a. A suitable temperature control system shall be installed and shall be maintained in accordance with the existing site plan.
 14. **Humidity**
 - a. A suitable humidity control system shall be installed and shall be maintained in accordance with the existing site plan.
 15. **Wind**
 - a. A suitable wind control system shall be installed and shall be maintained in accordance with the existing site plan.
 16. **Pollution**
 - a. A suitable pollution control system shall be installed and shall be maintained in accordance with the existing site plan.
 17. **Fire**
 - a. A suitable fire control system shall be installed and shall be maintained in accordance with the existing site plan.
 18. **Earthquake**
 - a. A suitable earthquake control system shall be installed and shall be maintained in accordance with the existing site plan.
 19. **Tornado**
 - a. A suitable tornado control system shall be installed and shall be maintained in accordance with the existing site plan.
 20. **Hail**
 - a. A suitable hail control system shall be installed and shall be maintained in accordance with the existing site plan.
 21. **Snow**
 - a. A suitable snow control system shall be installed and shall be maintained in accordance with the existing site plan.
 22. **Ice**
 - a. A suitable ice control system shall be installed and shall be maintained in accordance with the existing site plan.
 23. **Fog**
 - a. A suitable fog control system shall be installed and shall be maintained in accordance with the existing site plan.
 24. **Thunder**
 - a. A suitable thunder control system shall be installed and shall be maintained in accordance with the existing site plan.
 25. **Lightning**
 - a. A suitable lightning control system shall be installed and shall be maintained in accordance with the existing site plan.
 26. **Other**
 - a. A suitable other control system shall be installed and shall be maintained in accordance with the existing site plan.

MCDONALD'S CHAPTER 10
 NORTH AVENUE AND MILLER PARK
 LANDSCAPE PLAN
 BURNIDGE, CASSELL AND ASSOCIATES
 ARCHITECTS AND LAND PLANNERS
 708/695/7910 7425 ROYAL BOULEVARD, ELLICOTT CITY, MD 21117
 7/20/95
 8/14/95
 8/23/95
 4/23/96
 24C12
 BOSTON 4

RECEIVED
 AUG 27 1996
 Planning Office

DRWG. NO. 1PBP4749A



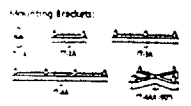
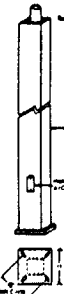
Fixture Specifications

- Features:**
- 1. Cast aluminum housing
 - 2. Access to lamp and ballast
 - 3. Cast aluminum mounting arm
 - 4. Cast aluminum base
 - 5. Cast aluminum mounting arm
 - 6. Cast aluminum base
 - 7. Cast aluminum mounting arm
 - 8. Cast aluminum base
 - 9. Cast aluminum mounting arm
 - 10. Cast aluminum base
- Fixture Ordering Information:**
- | | | | |
|----------|-----------------|------------------|----------------------|
| 150 WATT | 2' x 4' fixture | 10' Mounting Arm | 10' x 10' x 10' Base |
| 200 WATT | 2' x 4' fixture | 10' Mounting Arm | 10' x 10' x 10' Base |
| 300 WATT | 2' x 4' fixture | 10' Mounting Arm | 10' x 10' x 10' Base |
| 400 WATT | 2' x 4' fixture | 10' Mounting Arm | 10' x 10' x 10' Base |
| 500 WATT | 2' x 4' fixture | 10' Mounting Arm | 10' x 10' x 10' Base |



Pole Specifications

- Features:**
- 1. Square steel poles finished with high-temperature paint
 - 2. Galvanized anchor bolts, 1/2" x 36" plus 2" tops, with galvanized nuts and washers (1 each nut, 2 flat washers per bolt)
 - 3. Flanges with metal templates
 - 4. Anchor bolts
 - 5. Anchor nuts
 - 6. Anchor washers
 - 7. Anchor plates
 - 8. Anchor nuts
 - 9. Anchor washers
 - 10. Anchor plates



SECURITY LIGHTING SYSTEMS, INC.
 Performance Designed Lighting Products
 3877 W. Fraily Avenue, Lincolnwood, Illinois 60466
 Tel: (708) 480-4800, Fax: (708) 480-4801, Telex: 780-474-1100

NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA:
 SECURITY LIGHTING SYSTEMS MODEL # ASB1000-F1-101-00-01
 LAMP TYPE, VOLTAGE METAL HALIDE 1000 WATT
 LUMEN OUTPUT 110000
 MOUNTING HEIGHT 20'
2. THE CONTRIBUTION OF THE METAL HALIDE SOFFIT LIGHTING IS NOT REFLECTED ON THIS DRAWING.
3. DISTANCE BETWEEN READINGS 10'

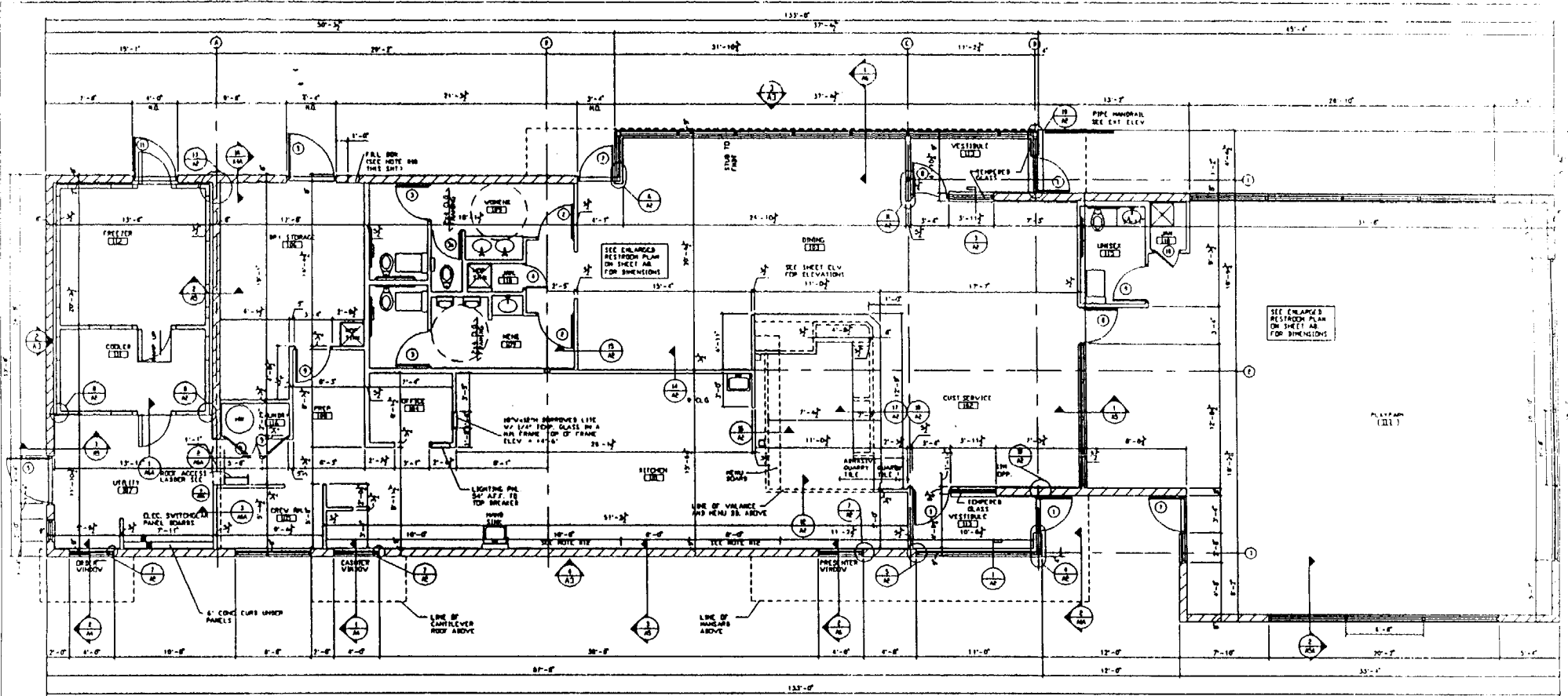
NOTE: ALL FIXTURES TO BE AT 0'

PROJECT NO.	DATE	BY	CHECKED BY
1PBP4749A	8/27/96	J.P.B.	J.P.B.
SCALE	PROJECT NO.	DATE	BY
AS SHOWN	1PBP4749A	8/27/96	J.P.B.
DESIGNED BY	CHECKED BY	DATE	BY
J.P.B.	J.P.B.	8/27/96	J.P.B.
PROJECT NO.	DATE	BY	CHECKED BY
1PBP4749A	8/27/96	J.P.B.	J.P.B.

POINT-BY-POINT FOOTCANDLE PLOT FOR
 HCDONALDS
 ST. CHARLES, ILL.

NO.	DATE	REVISIONS	BY	APP'D

THIS LIGHTING DESIGN REPRESENTS AN APPROXIMATE LEVEL BASED ON CURRENT DATA. THIS DESIGN IS SUBJECT TO CHANGE IN ACCORDANCE WITH THE LATEST APPROVED APPROXIMATE ACTUAL PERFORMANCE OF THE MANUFACTURER'S LAMP AND BALLAST AS LISTED IN ELECTRICAL PLANS. TELEPHONE NO. (708) 480-4800. FAX (708) 480-4801.



GENERAL NOTES:

1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE (LINE) UNLESS FACE OF FOUNDATION WALLS UNLESS OTHERWISE NOTED.
2. INTERIOR DIMENSIONS ARE TO FACE OF WALL STUD OR FLOORING.
3. PROVIDE 2" RIGID INSULATION UP VIDE AROUND PERIMETER OF OPENING TO DRY STORAGE AREA.
4. SEE SHEET A-1 FOR LOCATION OF BACKUP SUPPORTS.
5. SEE SITE PLAN FOR SIDEWALK, RAMP, ETC.
6. VIDEO CAMERAS & LOCKERS SUPPLIED BY OPERATOR INSTALLED BY GC.
7. MANAGER'S OFFICE PACKAGE SUPPLIED BY OPERATOR INSTALLED BY GC.
8. TEMPERATURE SENSORS IN DINING & CUSTOMER SERVICE AREAS SHALL BE MOUNTED 5'-8" AFF. (SEE SHEET M-1).
9. PROGRAMMABLE THE MOTESTATS (3) SENSORS SHALL BE PLACED ADJACENT TO ONE ANOTHER AT A HEIGHT OF 48" AFF. LOCATE IN THE CLEAR AREA BETWEEN THE SALES & MGR'S IN THE MANAGER'S OFFICE. (SEE SHEET M-1).
10. FILL BOX 878 & 342 ABOVE PLAN TO TOP OF BOX SUPPLY.
 - 10.1 MONSIEUR VALLEY ENG. MODEL 847-1953-A TELEPHONE 862-758-2484.
 - 10.2 OPTIMEDICS SERVICES MODEL 07476 TELEPHONE 484-127-6636, 800-241-7152.
11. SPECIAL SERVICE DRIVE-THRU WINDOW SUPPLIES:
 - 11.1 HORTON SEVERE 8000 - 48" TYP & 30" - 8-4 TELEPHONE 488-531-3111.
12. PROVIDE METAL FURNISHING & USA BURGER FOR TOWN IN LIEU OF ORIGINAL BOWND EXTERIOR EQUIP.

FLOOR PLAN
 3/16" = 1'-0"
 NOTES:
 FOR ROOM FRESH & BEER SCHEDULES
 & NOTES SEE SHEET A-1A

DESIGN CALCULATIONS

1. DINING AREA & CUSTOMER SERVICE 900 SF.	9. COOLER 185 SF.
2. KITCHEN AREA 682 SF.	10. FREEZER 170 SF.
3. DRY STORAGE 117 SF.	TOTAL CLERK 275 SF.
4. CHEF RECH 84 SF.	
5. OFFICE 54 SF.	
6. RESTROOM 200 SF.	11. INTERIOR PLAYPARK 1140 SF.
7. VESTIBULE 136 SF.	
8. FACE TO FACE & UTILITY 101 SF.	
TOTAL RESTAURANT BLDG 2401 SF.	TOTAL BLDG CLERK & PLAYPARK 1415 SF.
	TOTAL SEATS IN RESTAURANT 63.

PRELIMINARY 2/2/96 TO

REV	BY	DESCRIPTION	DATE

SOOS & ASSOCIATES, INC.



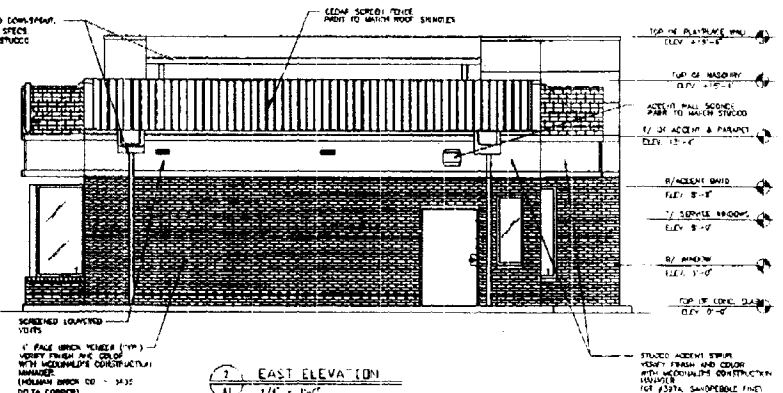
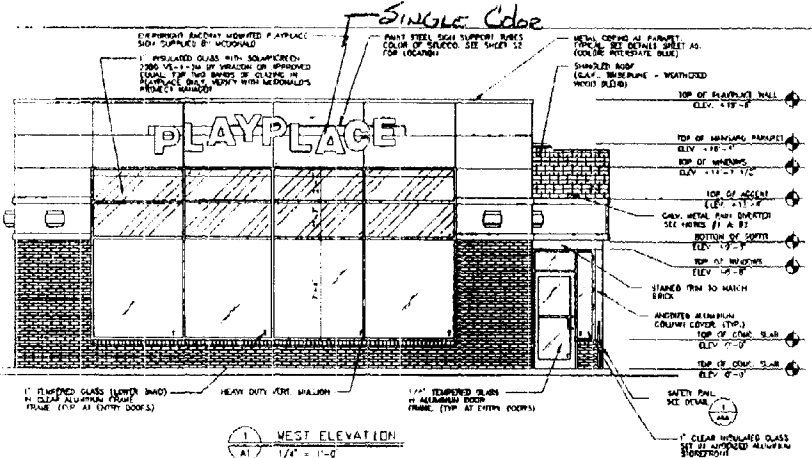
McDONALD'S

THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF SOOS & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

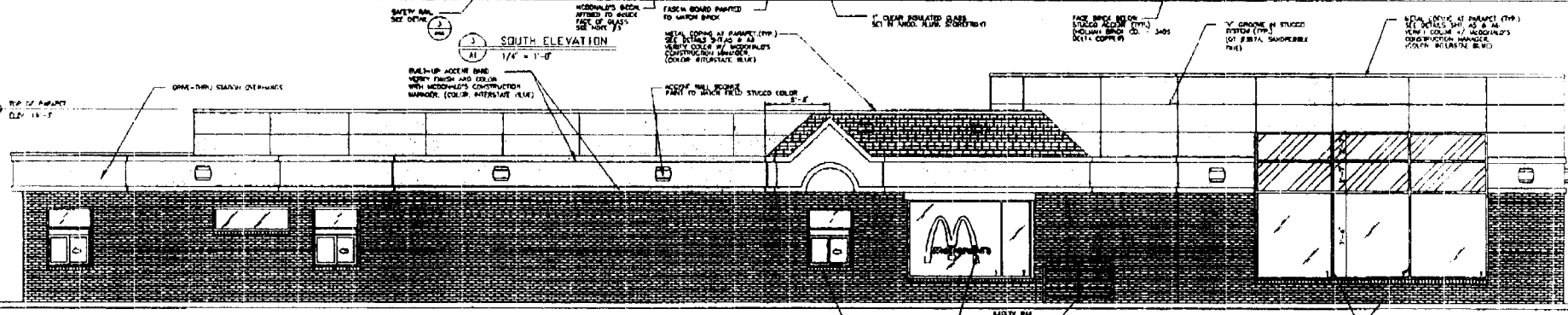
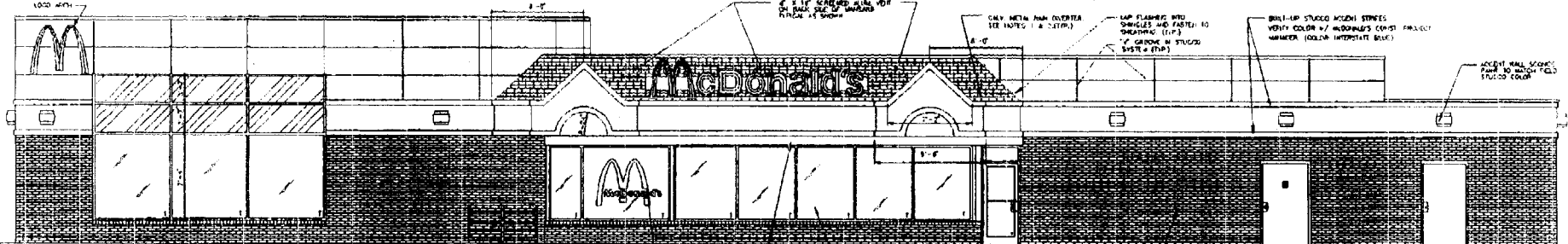
DATE	SCALE	PROJECT	DATE

AL

*Note: "Playplace" sign to match accent band single color



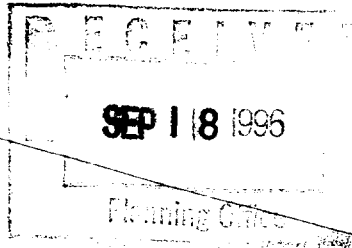
- ELEVATION NOTES**
1. EXTERIOR FINNERS WITHIN 1'-0" SECTION CORNER IN WALL BELOW SOME FINNERS IN FINNERS OF EXTENDED PORTION
 2. WATER IS TO BE DRAINED FROM CORNER DRAIN SUBSIDIARIES AT CORNER INTERIOR CORNERS WITH EXTERIOR DRAINAGE DRAINAGE OR LANDSCAPE AREA A MINIMUM OF 1'-0" DRAINAGE ARE TO BE 2'-0" WIDE AT ALL GULLY PIPES TO MATCH SHINGLES
 3. LOCAL BRICK AVAILABLE FROM MCDONALD'S PROJECT (708) 347-5880



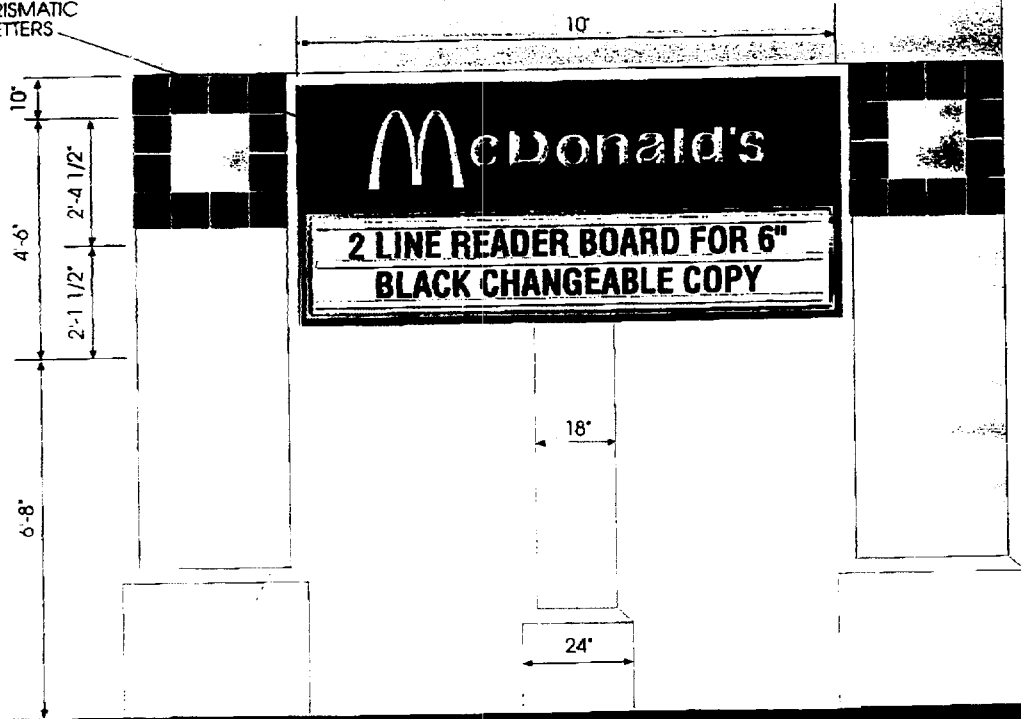
A 7/3/96		SYNOPSIS	PS	McDONALD'S		NORTH AVE (IL RTE 84) & SMITH RD. ST. CHARLES, ILLINOIS		ELEVATIONS		REV. NO.
DATE		DESCRIPTION	BY	McDONALD'S		ST. CHARLES, ILLINOIS		ELEVATIONS		REV. NO.
7/3/96		SYNOPSIS	PS	McDONALD'S		NORTH AVE (IL RTE 84) & SMITH RD. ST. CHARLES, ILLINOIS		ELEVATIONS		REV. NO.
DATE		DESCRIPTION	BY	McDONALD'S		ST. CHARLES, ILLINOIS		ELEVATIONS		REV. NO.

A3 ELEVATIONS

To <i>Bob Hupp</i>	From <i>Stadelman</i>
Co./Dept. <i>St. Charls.</i>	Co. <i>NA</i>
Phone #	Phone # <i>847-619-3734</i>
Fax # <i>(630) 443-4638</i>	Fax # <i>3610</i>



18" PRISMATIC ARCH
AND 8-1/2" PRISMATIC
'cDonald's' LETTERS



Scale: 3/8"=1'-0"

CONCEPT 1

D/F McDonald's I.D. sign with single pole structure to be installed between existing pillars of Walmart sign; Pan formed faces; Fluor. illum.; Cabinet and pole ptd. McD's dk. brown; Pole cladding to match columns on Wal-mart sign.

State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, KRISTIE A. DARULA, certify that I am the duly elected and acting municipal clerk of the city of St. Charles, Kane and DuPage Counties, Illinois.

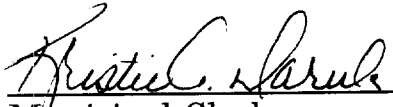
I further certify that on October 7, 1996, the Corporate Authorities of such municipality passed and approved Ordinance No. 1996-M-71, entitled

"An Ordinance Granting a Special Use for a Drive-In Establishment in the Dunham Club/Route 64 PUD (McDonald's)",

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 1996-M-71, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on October 11, 1996, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this _____ day of October, 1996.


Municipal Clerk

(S E A L)