

**AGENDA  
CITY OF ST. CHARLES  
PLANNING & DEVELOPMENT COMMITTEE  
ALD. CLIFF CARRIGNAN – CHAIRMAN**

**MONDAY, FEBRUARY 11, 2013 - 7:00 PM  
CITY COUNCIL CHAMBERS  
2 E. MAIN STREET**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. COMMUNITY DEVELOPMENT**
  - a. Recommendation to approve a Map Amendment, Preliminary Subdivision Plan and Final Plat of Subdivision (Delnor Woods Subdivision).
  - b. Recommendation to approve a Minor Change to PUD Preliminary Plans for Stuarts Crossing PUD (shopping center signs).
  - c. Discussion regarding the transfer of City owned property for the Operation Finally Home Program.
  - d. Recommendation to approve an Ordinance amending Title 13, “Public Utilities” Section 13.16.130 “Service pipes-shutoff valves” and Section 13.20.100 “Violation-Service discontinuance,” Title 15, “Buildings and Construction” Section 107.2.5.2 “Engineering Plan” and Title 16, Subdivisions and Land Improvements” Appendix E of the St. Charles Municipal Code.
  - e. Recommendation to approve a General Amendment to Title 17 of the City Code regarding Personal Services.
- 4. ADDITIONAL BUSINESS**
  - a. Update on the Comprehensive Plan Project-Information only.
- 5. ADJOURNMENT**



## AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommendation to approve a Map Amendment, Preliminary Subdivision Plan and Final Plat of Subdivision (Delnor Woods Subdivision)
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Staff:	Russell Colby, Planning Division Manager
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*Please check appropriate box:*

	Government Operations		Government Services
X	Planning & Development (2-11-13)		City Council

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

**Executive Summary:**

The applicant, Chris Lannert of the Lannert Group, on behalf of John Collins, Co-Trustee for the Collins Family Trusts, has submitted applications requesting approval of a nine-lot subdivision of the existing Collins Estate property located east of IL Rt. 25/N. 5th Ave. at Iroquois Ave.

The overall plan is essentially the same as the single-family portion of the 2008 Delnor Woods PUD development. The remainder of the original PUD property is no longer owned or controlled by the Collins Family Trusts and is not included in this application.

The Map Amendment (rezoning) is necessary due to changes in the location of the boundary line between the 2008 PUD single-family area and the boundary line of the portion of the property acquired by the Park District.

**Plan Commission Recommendation:**

The Plan Commission held a public hearing on the Map Amendment application on 12/4/12. The Plan Commission unanimously recommended approval of all three applications on 1/29/13.

**Attachments:** *(please list)*

Staff Report dated 1/25/13; Letter from St. Charles Park District; Plan Review Comments; Applications; Plan Documents

**Recommendation / Suggested Action** *(briefly explain):*

Recommend approval of the Applications for Map Amendment, Preliminary Subdivision Plan and Final Plat of Subdivision, contingent upon resolution of all staff comments prior to City Council action.

<i>For office use only:</i>	<i>Agenda Item Number: 3a</i>
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Community Development  
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



ST. CHARLES  
SINCE 1834

**STAFF REPORT**

**TO:** Chairman Todd Wallace  
And the Members of the Plan Commission

**FROM:** Russell Colby  
Planning Division Manager

**RE:** Delnor Woods Subdivision

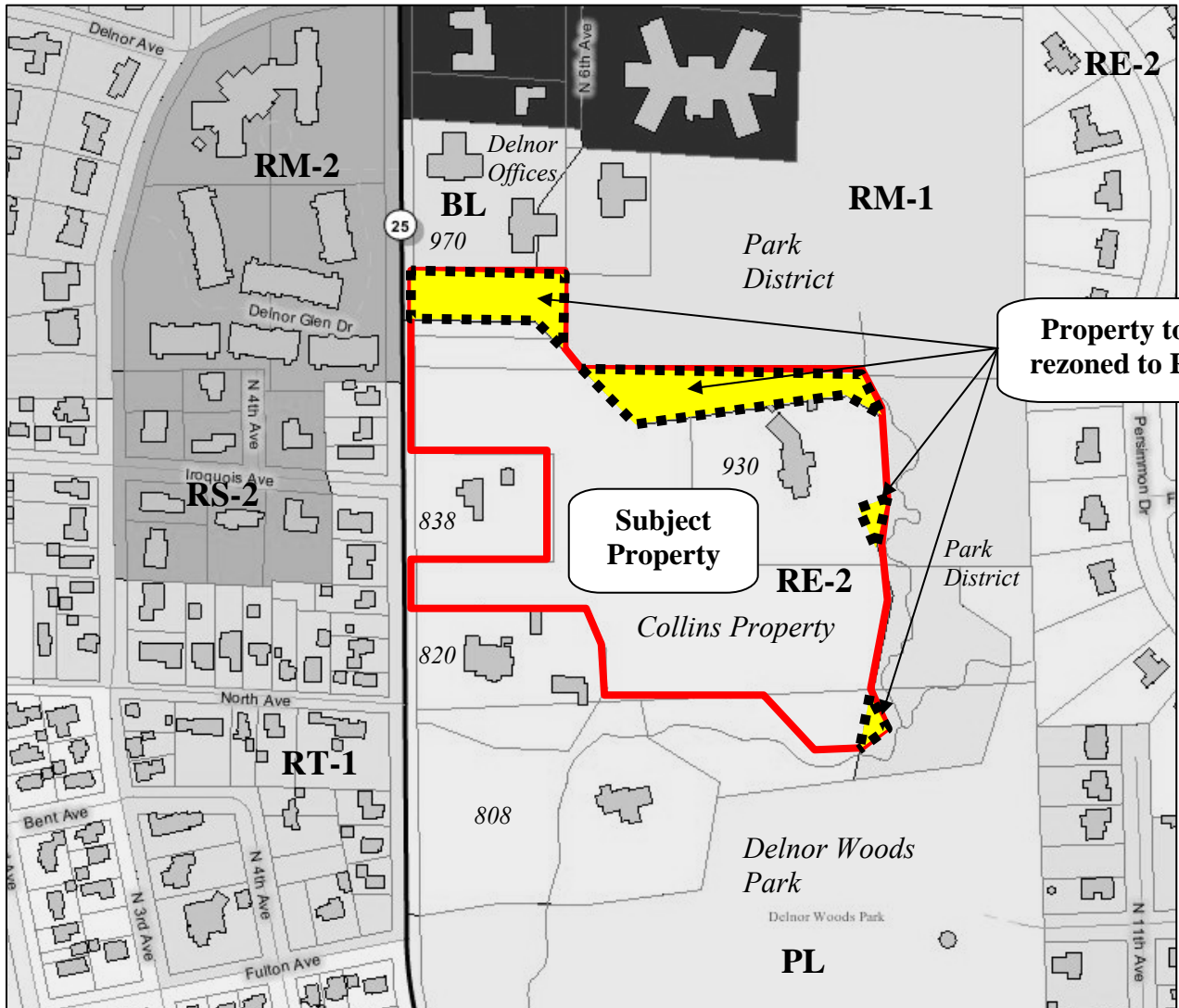
**DATE:** January 25, 2013

**I. APPLICATION INFORMATION:**

**Project Name:** Delnor Woods Subdivision  
**Applicant:** Chris Lannert, the Lannert Group  
**Purpose:** To develop the remaining Collins Estate Property with 8 new single family residential lots.

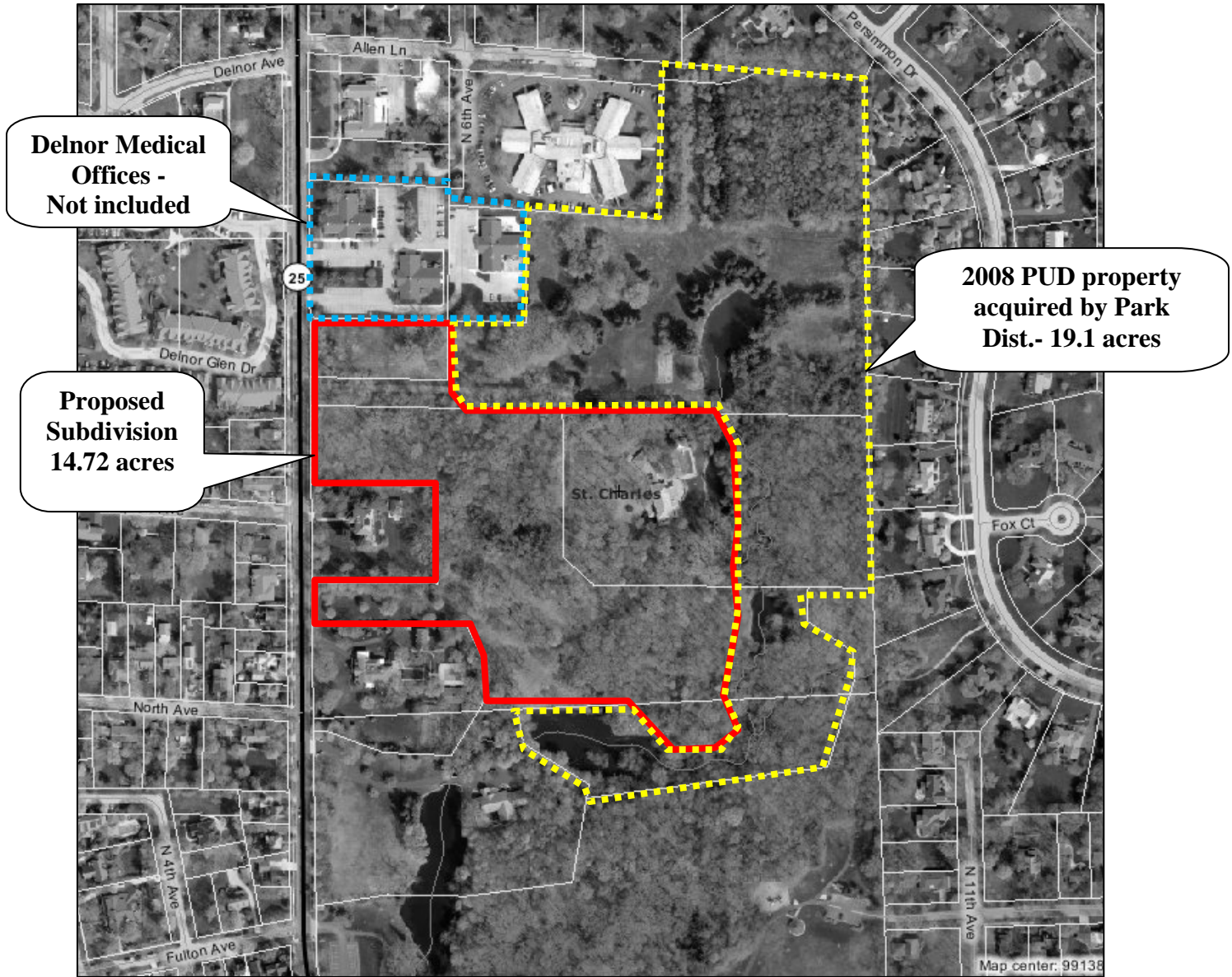
<b>General Information:</b>		
<b>Site Information</b>		
Location	East of IL Route 25/N. 5 <sup>th</sup> Avenue at Iroquois Ave.	
Acres	14.72 Acres (1.72 acres to be rezoned)	
Applications:	1) Map Amendment (for 1.72 acres) 2) Preliminary Subdivision Plan 3) Final Plat of Subdivision	
Applicable City Code Sections	Title 16, Subdivisions and Land Improvement Title 17, Chapter 17.12 - Residential Districts	
<b>Existing Conditions</b>		
Land Use	Single-Family Residential/Vacant estate property	
Zoning	RE-2 Single Family Estate District, with portions zoned BL Local Business and RM-1 Mixed Medium Density based on 2008 PUD land uses.	
<b>Zoning Summary</b>		
North	BL- Local Business	Delnor Medical Offices
East	RM-1 Mixed Medium Density Residential	Park District/Delnor Woods Park
South	PL- Public Lands	Park District/Delnor Woods Park
West	RE-2 Estate Single Family & RT-1 Traditional Single Family	Single Family Houses
<b>Comprehensive Plan Designation</b>		
Low Residential		

Zoning Map





**Aerial Photo**



## II. OVERVIEW

### A. PROPERTY HISTORY

The subject property is the remaining portion of the Collins Estate property owned by John Collins and the Collins Family Trusts.

In 2008, the City granted Map Amendments (rezoning) and Planned Unit Development approval for a larger project called the Delnor Woods PUD. The 2008 PUD encompassed 38 acres and incorporated the existing Delnor Medical Offices on Rt. 25. The project included demolition of the medical office buildings and construction of an office building attached to a four-unit multi-family residential building, 37 two-family/townhome units in the north and east portion of the property, and 8 single-family lots on a cul-de-sac on the southern portion of the property. The property was rezoned to three separate zoning districts to accommodate each development type.

Section 17.04.420 of the Zoning Ordinance, “PUD Timing and Revocation” specifies timeframes for a PUD approval to remain valid. A Final Plat of Subdivision for at least the first phase of the development must be recorded within two years. The developer was granted two 12-month extensions for recording the Final Plat in 2010 and 2011. After three years following the PUD approval, if the Final Plat has not been recorded, approval of the Special Use for PUD and PUD Preliminary Plans lapse. Earlier this year, the decision was made to allow the 2008 PUD approval to lapse. The zoning districts designated in 2008 remain.

In January 2012, the property owners, the Collins Family Trusts, sold approximately 19 acres on the eastern side of the estate property to the St. Charles Park District. This property will be used to expand Delnor Woods Park, which is located immediately south of the site. The Park District acquisition includes most of the major drainage way through the estate property.

Due to changes with the ownership status of Delnor Hospital, the medical offices to the north of the estate property are no longer proposed for redevelopment.

The Collins Family Trusts now control only the 14.72 acre portion of the original estate site that is approximately the same size and location of the single-family portion of the 2008 PUD.

### B. PROPOSAL

The current proposal is for a nine lot subdivision, including one lot for the existing Collins Home. Six lots will be located off of a cul-de-sac called Collins Circle. Three lots will be located on Rt. 25/N. 5<sup>th</sup> Ave., located between an existing single-family house and the Delnor Medical offices.

The plan is essentially the same as the 2008 PUD layout for the single-family portion:

- The six cul-de-sac lots have been changed slightly in size/shape (minor increases or decreases in size).

- There are now three lots proposed to front on 5<sup>th</sup> Avenue, vs. two in the 2008 PUD. (Previously, portions of these lots were was part of the proposed office building).
- Stormwater remains off-site on Park District property, as was originally approved for this portion of the development.

In terms of development applications, the applicant has filed the following:

- **Map Amendment** (rezoning) for a number of small parcels along the proposed subdivision boundary, to be rezoned back to the RE-2 Single Family Estate District. (This rezoning is necessary due to changes in the location of the boundary line between the 2008 PUD single-family area and the Park District acquisition property. The rezoning locations are shown on the Zoning Map on page 2.)
- **Subdivision Preliminary Plan** approval for the proposed nine-lot subdivision.
- **Final Plat of Subdivision**

It is important to note the following:

- **No Planned Unit Development is proposed.** The property will be developed in conformance with the existing and proposed zoning.
- **The public hearing is required for the Map Amendment application only.** Subdivision applications do not require a public hearing.

### III. ANALYSIS

#### A. COMPREHENSIVE PLAN

##### Future Land Use:

The future land use map designates the Collins Property as “Low Residential.” For future land use recommendations in the area, the plan recommends:

- “Compatible residential infill, no commercial”
- “Former Norris Estate [Collins property] should remain as is or low residential development and retain the open character of the property.”

##### Definition of “Low Residential”:

- “Low density residential development generally characterized by single family detached homes served by public sewer and water systems. Maximum density ranges from 1 up to 2.5 d.u. per acre.”

##### Density calculation according to the Comprehensive Plan:

“For purposes of this Plan, density is the number of dwelling units per acre of land, excluding land with environmental constraints. Environmental constraints include ponds, lakes, wetlands, flood plains, slopes greater than 12% and endangered plant and animal territories as recognized by state or federal agencies. For areas beyond the sanitary sewer service area, hydric soils are included as an environmental constraint; hydric soils are not acceptable for septic systems.”

“The maximum density does not dictate the type of dwelling units or lot sizes, but only the maximum number of dwelling units permitted on a parcel. This approach allows for flexibility in lot sizes and dwelling types such as cluster single family, townhomes, multi-family, etc. The purpose of establishing a maximum density is to establish the total number of dwelling units that can be accommodated within a given area. When zoning is

established, more specific requirements tailored to the site and its surroundings should be included.”

Density permitted on the subject property:

‘Low Residential’ Density Range:	1.0 to 2.5 d.u. per acre
Total Parcel Area	14.72 acres
Floodplain area	0.5 acres (estimate)
Adjusted Parcel Area	14.72 – 0.5 = 14.22 acres
<b>Density Range in total d.u.:</b>	<b>14.2 to 35.6 units</b>

Density Analysis of the Proposal:

**9 d.u. on 14.22 acres:                      0.63 d.u./acre**

**B. ZONING AND SUBDIVISION DESIGN REVIEW**

	<b>RE-2 Minimum Zoning Standards</b>	<b>Proposal</b>
<b>Minimum Lot Area</b>	25,000 SQ FT	The smallest lots, along Route 25, are approximately 38,000 SQ FT (Lots 7, 8, 9)
<b>Minimum Lot Width</b>	125 ft at the setback line	The smallest lot width is approximately 140 ft.
<b>Minimum Front Yard</b>	40 ft	Minimum 50 ft. setback; 80 ft. setback for lots at the end of the cul-de-sac (Lots 2, 3, 4)
<b>Minimum Rear Yard</b>	50 ft	To follow RE-2 standard
<b>Minimum Interior Side Yard</b>	10 ft	To follow RE-2 standard
<b>Minimum Exterior Side Yard</b>	40 ft	Not applicable- No corner lots are included.

	<b>Subdivision Minimum Standards</b>	<b>Proposal</b>
<b>Lot Size /Dimension</b>	Meet the standards of the Zoning District	Meets the RE-2 Standards.
<b>Street Design</b>	Right of way width: 66 ft. Pavement width: 26 ft. for Estate Streets Cul-de-sac length: No limit for cul-de-sacs with less than 16 lots  <i>Note: Per the Building Code, a cul-de-sac pavement diameter of 96 feet is required.</i>	Right of way width: 66 ft. Pavement width: 26 ft. Cul-de-sac length: Approx. 750 ft.  <i>The proposed cul-de-sac pavement is 96ft. in diameter.</i>
<b>Easements</b>	10 ft. on all property lines, except 5 ft. where 5 ft. easements abut on two single-family lots	Required easements are shown on the Final Plat.
<b>Sidewalks</b>	4 ft. on both sides of the street	Sidewalks provided.

### C. TRAFFIC AND ACCESS

The Subdivision Plans show access to IL Rt. 25/N. 5<sup>th</sup> Ave. at Collins Circle and directly into Lots 7, 8, and 9. An existing access for the Collins home will be removed. Based on the small size of the development, no traffic analysis was required.

Access onto IL Rt. 25 is subject to the review and approval of the Illinois Department of Transportation. IDOT will be a signatory on the Final Plat of Subdivision. Previously, IDOT approved of the location of Collins Circle. IDOT may request shared access for Lots 7, 8, and 9.

### D. TREE PRESERVATION & LANDSCAPE PLAN

The applicant has submitted a partial Tree Preservation Plan covering the area of the Collins Circle cul-de-sac. The Applicant has submitted a Landscape Plan showing parkway trees to be planted along the cul-de-sac. Staff has suggested placing all utilities in the roadway to preserve existing trees in the right-of-way.

City Code Chapter 8.30, “Tree Preservation on Private Property” requires a Tree Preservation Plan be approved prior to the removal of any tree 6” or more DBH (diameter at breast height). Tree Preservation Plans will be required prior to site development and/or building permits for the development of each individual lot.

### E. ENGINEERING REVIEW

Engineering review comments are attached.

#### 1. Utilities (Water and Sanitary Sewer)

- Utilities to serve Lots 7, 8, and 9 are located in IL Rt. 25.
- Utilities will be extended from Rt. 25 to serve the lots on Collins Circle.
  - Because the cul-de-sac is downhill from the sanitary sewer main located in Rt. 25, a lift station would be required. Due to the small size of the development, private pump stations have been proposed to serve each lot. These would be maintained by the individual property owners. (An alternate option would be a single private lift station maintained by the owner’s association.)
  - Water main will be extended to the site. This main will essentially be a “dead end” main, meaning the main will not be looped to another point in the system. This can be a concern for water quality. However, given the small size of the subdivision, this is acceptable.
  - Water pressure at the end of Collins Circle will need to be modeled to determine if it is adequate to meet minimum fire flow requirements. The minimum pressure standard will be less if fire sprinkler systems are installed in the houses.
- Existing mains will be abandoned or relocated on the northern edge of the subdivision. These mains need to be properly documented in the plans and easements adjusted as necessary.

2. Stormwater

- A large drainage way forming a tributary of the 7<sup>th</sup> Avenue Creek exists on the site now owned by the Park District. The drainage way includes a series of decorative ponds that currently drain stormwater for the surrounding area but were not designed to provide stormwater detention.
- Stormwater detention for the subdivision will be accommodated off-site in two locations:
  - Pond A, an existing pond immediately south of Lots 1 and 2, which will be expanded to increase its volume. A structure will be placed to hold the increased volume in the pond.
  - Pond B, a new pond to be constructed on the Park District property at the southwest corner of Delnor Woods Park. Some stormwater flowing through the existing pond near the entrance of the park will be diverted into the new pond, held, and released back into the drainage way at the south end of the park.
- Both ponds are located in mapped FEMA floodplains, which will require a review of the plans by the Army Corp. of Engineers.
- Both stormwater ponds will be owned and maintained by the St. Charles Park District.
- Detention and access easements will be required over the ponds. A backup Special Service Area for maintenance of the ponds will need to be established.
- The engineering plans indicate stormwater drainage infrastructure to be installed along the rear of Lots 7, 8, and 9. Staff suggested eliminating this infrastructure to the extent possible. The stormwater could mostly be conveyed on the surface.

F. FINAL PLAT OF SUBDIVISION

The Final Plat of Subdivision has been revised per previous staff comments. A few minor items need to be added before the plat is signed and recorded (See attached review memo).

G. INCLUSIONARY HOUSING

This development is subject to Zoning Ordinance Chapter 17.18, “Inclusionary Housing.” Per Section 17.18.040 Affordable Units Required, the proposed development is required to provide affordable units as follows:

% of Units Required as Inclusionary	5%
Total Number of New Units proposed	8
Number of Inclusionary Units Required	0.4

Since the number of units proposed is under 10 dwelling units, the applicant has the option to pay a fee-in-lieu to satisfy the entire inclusionary housing requirement. The total amount of required fee-in-lieu is as follows:

Number of Inclusionary Units Required	0.4
Per Unit Fee-In-Lieu Amount	\$104,500
Total Fee-in-Lieu Amount under current Ordinance (50% of requirement based on “sliding scale”)	\$20,900

The fee-in-lieu will be required to be paid at the time of the first building permit is issued for the proposed development.

#### H. SCHOOL AND PARK FEE-IN-LIEU CONTRIBUTIONS

The applicant is proposing to provide both the School and Park Districts with a cash contribution in lieu of physical land per the standards established Subdivision Code Chapter 16.10 “Dedications”:

Contributions:

- Park District - \$72,419.36
- School District - \$97,666.47

These cash-in-lieu amounts are required to be paid before the first building permit is issued. These amounts are subject to change depending on when the first building permit for the development is issued and the ultimate number of bedrooms in each house.

#### IV. **RECOMMENDATION**

Staff recommends approval of the Applications for Map Amendment, Preliminary Subdivision Plan and Final Plat of Subdivision, contingent upon resolution of all staff comments prior to City Council action.

Draft Findings of Fact for Map Amendment are attached for consideration by the Plan Commission.

- c. Chris Lannert  
John Collins

**FINDINGS OF FACT**  
**MAP AMENDMENT**

Plan Commission recommendation shall be based upon the preponderance of the evidence presented and the Commission shall not be required to find each Finding of Fact in the affirmative to recommend approval of an application for Map Amendment.

1. The existing uses and zoning of nearby property.

**The property is surrounded primarily by residential uses and zoning. Property to the west is zoned RE-2 Estate Single Family (Collins property) and property to the east is zoned RM-1 Mixed Medium Density Residential (Park District property). Property to the north is zoned BL Local Business (Delnor Medical Offices).**

2. The extent to which property values are diminished by the existing zoning restrictions.

**It is not known if the existing zoning restriction is diminishing property values. The properties to be rezoned are small parcels that would be difficult develop without combining them with adjacent property.**

3. The extent to which the reduction of the property's value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

**It is not known if the existing zoning restriction is diminishing property values.**

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

**The property is suited for residential use. Rezoning to the RE-2 district will enable the subject parcels to be developed under RE-2 instead of RM-1 and BL.**

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

**The property is an estate with a large amount of open space. The site was proposed for development and rezoned to RM-1 and BL in 2008. No development has occurred under the existing zoning. The Park District has purchased a large portion of the estate property to the north and east, leaving the remaining estate mostly zoned RM-2, except for these specific parcels.**

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

**The Map Amendment is a "down zoning" to a less intensive residential zoning district, but the property will remain primarily zoned for residential use.**

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

**RE-2 zoning is consistent with "Low Residential" future land use designation in the Comprehensive Plan.**



8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

**No, the proposed amendment does not correct an error or omission in the Zoning Map.**

9. The extent to which the proposed amendment creates nonconformities.

**No non-conformities will be created by the Map Amendment.**

10. The trend of development, if any, in the general area of the property in question.

**The subject property represents a substantial portion of the land area of the neighborhood and there have been no significant changes to land use over the past 5 to 10 years.**



## ST. CHARLES PARK DISTRICT

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*Park Department*  
*8 North Avenue*  
*St. Charles, Illinois 60174*  
*Phone (630) 584-1855 Fax (630) 584-7413*

December 03, 2012

Mr. Russell Colby  
Planning Division Manager  
City of St. Charles  
Community Development Department  
2 East Main Street  
St. Charles, IL 60174

RE: Delnor Woods Subdivision

Dear Russell:

This letter is in response to your transmittal letter dated November 16, 2012 and regarding the above referenced development. I have reviewed the subdivision engineering plans dated October 19, 2012, as well as the developer's Land/Cash Worksheet.

At this time, the Park District's primary comments are with regard to the proposed Basin B, located at the SW corner of our Delnor Woods Park. While we approve of the addition and general location of the proposed stormwater basin, we have not finalized any discussions with the State with regard to their allowing its location within the park site. Their review of the final design and their approval is required before we would be permitted to locate the basin on a park site that has been acquired and developed with OSLAD grant funds. Minimally, the basin configuration would need to be adjusted to eliminate some current minor impacts on the adjacent field play amenities to the East of the basin. We will be continuing our discussions with the State, and will be in contact with you and the developer once we have additional information on the matter.

If you have any questions or comments, please contact me at your convenience. Thank you.

Sincerely,

ST. CHARLES PARK DISTRICT

John Wessel  
Assist. Superintendent of Planning, Design & Construction

PC: Ray Ochromowicz  
Laura Rudow

Community Development  
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



January 25, 2013

Chris Lannert  
Lannert Group  
215 Fulton Street  
Geneva, IL 60134

Re: Delnor Woods Subdivision Review Comments

Chris:

The following are outstanding comments on the plan submittal of January 15, 2013, in addition to review comments from Development Engineering:

1. City Code Chapter 8.30 requires review and approval of a Tree Preservation Plan identifying all trees over 6" in DBH before issuance of a site development permit or building permit in new subdivisions. The plans submitted address the area surrounding Collins Circle but do not show other locations on the property where infrastructure will be installed or grading will occur. Information on these areas is needed before site work commences. Information on tree removal related to construction of buildings can be provided at the time of building permit.
2. Final Plat of Subdivision needs to be revised as follows:
  - a. "Director of Public Works" needs to be changed to "Director of Community Development"
  - b. Please add a note stating: "Please return recorded mylar to City of St. Charles."
3. Staff recommends, if possible, minimizing the extent of storm sewer infrastructure, particularly along the rear of Lots 7, 8, 9 and west side of Lot 6. Conveying the stormwater on the surface and utilizing BMPs is preferred.
4. Access and long term maintenance responsibility for the off-site stormwater infrastructure will need to be addressed. The Stormwater Management Ordinance requires establishment of a back-up SSA in the event the infrastructure is not maintained. Since an SSA may not be appropriate here, we will need to investigate another type of agreement to ensure the City can assume maintenance of the infrastructure if required.
5. Maintenance of the cul-de-sac landscape island by the Homeowner's Association will need to be memorialized/documented.
6. Prior to Final Engineering approval, we will need a confirmation from the Park District approving of the stormwater basin design.
7. Final Engineering Plan approval/conditional approval from Staff is required prior to approval of the Final Plat of Subdivision by City Council. Prior to the City signing the Final Plat, a

financial guarantee and land improvement agreement will be required in the forms contained in the City Code.

If you have further questions, please let me know.

Sincerely,

Russell Colby  
Planning Division Manager

**Community Development  
Development Engineering Division**

Phone: (630) 443-3677


Fax: (630) 377-4062



# Memo

Date: 1/28/13

To: Russell Colby

From: Chris Tiedt, P.E. 

RE: Delnor Woods

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I have reviewed the submittal for the proposed Delnor Woods project located off of Route 25. The following documents were reviewed.

- Preliminary Engineering Plans for Delnor Woods Development prepared by Silver Edge Consultants, LLC revised 1/4/2013 (5 Pages)
- Final Engineering Plans for Delnor Woods Development prepared by Silver Edge Consultants, LLC revised 1/4/2013 (17 Pages)
- Stormwater Management Analysis for Delnor Woods prepared by Silver Edge Consultants, LLC revised 1/4/2013
- Plat of Subdivision for Delnor Woods prepared by Johnson-Western Surveying
- Landscape Plan for Delnor Woods, includes Tree Preservation Plan, prepared by Lannert Group dated 4/18/2012 (2 Pages)

I have reviewed the above documents for conformance with the City of St. Charles Ordinances, Kane County Stormwater Ordinances and general engineering and construction practices. The following comments are offered up for your consideration:

**Subdivision Plat:**

1. Lots 1, 2, 3 and 4 do not contain a 10' rear yard perimeter easement as required per code. Please revise accordingly and update the areas identified in the chart on the plat for these lots.
2. Drainage easements should be provided for all areas where overland flows are anticipated. Please call these easement areas out.
3. The monuments are called out as concrete monuments, but should be called out as "Monuments per City Requirements." Please correct.
4. IDOT will need to approve the access location for Collins Circle and access points for lots 7, 8 and 9.

5. The old easements for the abandoned sanitary sewer and watermain need to be vacated. Please show this vacation on the plat.
6. Detention and access easements will need to be granted over the proposed detention ponds. These easements can be granted by a separate document, but must be completed when the Plat of Subdivision is approved.
7. A new Flood Insurance Study was done and new maps have been created by FEMA for this area and these limits should be depicted on this plat, even though the new maps are not out as of yet, this data is the best available data that should be used.
8. Easement provisions need to be included on the Subdivision plat for the Wetland Buffers.
9. Please revise the Director of Public Works Certificate to Director of Community Development (or designee) Certificate.

#### **Preliminary Engineering Plans**

10. The curb radii where Route 25 and Collins Circle intersect need to be a minimum of 30'. Please revise accordingly.
11. Given the number of existing trees in the parkway as well as the number of proposed trees in the parkway, the watermain and sanitary forcemain shall be placed in the roadway.
12. Access to San (3) must be provided for all future maintenance of the system. An access easement along with a gravel, paved or turf stone path coming from the north capable of supporting at least 56,000 lbs. must be provided.

#### **Final Engineering Plans:**

13. Cover Page will need to be signed and sealed by a Professional Engineer prior to final approval.
14. Please add Note #9 on Sheet 10 to Sheet 13 as well.

#### **Landscape Plan:**

15. There are numerous areas that do not comply with City codes regarding separation. These need to be corrected prior to landscape plan approval.
16. The tree variety is currently being reviewed by the City Arborist and any comments relating to this will be forwarded when available.
17. Has the developer given any thought to entering into a Tree Agreement with the City of St. Charles?

#### **Stormwater Related Comments:**

18. The City's Wetland Review Specialist will have to review and approve the stormwater permit application to insure compliance with the Kane County Stormwater Ordinance. Any comments from them will need to be addressed.
19. The permit application needs to be signed by the owner, developer and applicant.
20. The \$50.00 stormwater permit fee will need to be submitted.
21. Reference is made that the detention ponds will be located on the St. Charles Park District property. The St. Charles Park District will need to provide written permission stating that the construction of these ponds on Park District property is

acceptable. It should also state that the Park District accepts all maintenance obligations associated with these ponds.

**General Comments:**

22. Water modeling is being performed for this subdivision to insure proper flows. When this is completed, we will forward the report and the recommendations.
23. IEPA will need to be issued prior to any sanitary and watermain work commencing.
24. Coordination with IDOT on the proposed work and access locations for Collins Circle, Lot 7, 8 and 9 will need to take place. Written approval from IDOT will need to be obtained prior to Final Engineering Approval.
25. Coordination with IDNR-OWR and the Army Corps of Engineers will need to take place for the proposed work in the wetland / floodplain areas. Permits will need to be approved for this work prior to Final Engineering approval.
26. Based on past proposals that the City has received to install monuments, I think the estimated cost is low for the proposed monuments. This being said, please revise the monumentation costs to \$6,000.00 (\$3000/monument).
27. Please revise the Engineer's estimate accordingly based on all identified changes.

**Public Works Comments:**

**Environmental:**

28. Adjust demolition plan and engineer's probable construction cost estimate to show sanitary sewer removal to be closer to 840 linear feet not 793lf with removal of 4 sanitary structures, not 3. There is an additional existing manhole located approximately 112 east of the existing manhole on Rte. 25 that will also need to be removed. It is unclear from the demolition plan whether the existing manhole on Rte. 25 is to be removed – engineers cost estimate calls for removal of three manholes, yet the demolition plan shows the east invert of the structure in Rte. 25 to be plugged suggesting that structure will remain. It is also unclear if 86 lf of PVC will be installed or if the existing clay main will be reused. Clarify on both sheets that 4 structures are to be removed including the Rte25 manhole and all existing clay main between structures is to be removed.
29. Plan and profile shows an average depth of the proposed force main to be 3.5ft. The landscape plan shows deciduous tree plantings directly over the force main. The depth of these plantings including hardpan preparation will be in conflict with the force main. Force main shall be relocated within the roadway limits.
30. Specify pipe schedule for 2" PVC - force main.

**Water:**

31. The tree protection plan will not be able to be completed with the installation of new utilities in the parkways. Examples are the water service to lot 1 and lot 4
32. On sheet #8 Demotion Plan,
33. A) The abandonment procedure for the valve vault in Rt. 25 shall be a flange cap installed on the pressure tap sleeve. A note should be added that the vault at this location should also be abandoned.

34. B) At the northerly section of the water main to be removed this abandonment will be a cap not a plug.
35. C) The abandonment of the valve and the cap of the water main will require an interruption of water service to the medical park and homes in the area. Coordinate all work that requires a shutdown to one interruption of service.
36. The City has identified that the water main in Rt.25 needs to be replaced in the next few years. At time of construction, please coordinate with the Water Department so that the connections for the proposed water main layout can be constructed in such a way as to facilitate this replacement in the future.

**Public Works Engineering:**

37. Revise Sheet 3 to update details for "Pipe Underdrain". Plans shall be revised to conform to standard layout as well. Summary of quantities shall also be revised to indicate that SDR requirement for 4" Perforated PVC Drain Tile" be "PVC SDR 26". This revision shall also include the sock material for the under drain prior to be placed within wash stone limits.
38. Sheet 8 of 10 – Demolition plan shall be revised to show the removal of the existing brick sanitary manhole and filling of pipe to be abandoned under IL 25 with IDOT CLSM flowable fill. Revised summary of quantities accordingly.
39. It is recommended that additional notes be provided to the Contractor specific to requirements while working in the floodway limits, and proper restoration of said areas.
40. Sheet 10 of 17 – Proposed 12" piping crossing from STR (16) to STR (17) shall be revised to be PVC SDR 21 material.
41. Sheet 10 of 17 – refer to city standard for specifics related to installation and material for pipe under drains. Plans shall be revised accordingly for layout and approved materials.
42. The placement of the water main and proposed force main shall be placed within the roadway limits so as to allow for placement of parkway trees and future maintenance needs.
43. Please provide a detail depicting the connection of the 2" force main to proposed sanitary manhole (1).

The applicant's design professionals are responsible for performing and checking all design computations, dimensions, details and specifications in accordance with all applicable codes and regulations, and obtaining all permits necessary to complete this work. In no way does this review relieve the applicant's design professionals of the duties to comply with the law and any applicable codes and regulations, nor does it relieve the Contractors in any way from their sole responsibility for the quality and workmanship of the work and for strict compliance with the permitted plans and specifications.



**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**ZONING MAP AMENDMENT APPLICATION**

<b>CITYVIEW</b>
Project Name: <u>Delnor Woods</u>
Project Number: <u>2005</u> -PR- <u>001</u>
Application Number: <u>2012</u> -AP- <u>015</u>

Received Date  
**RECEIVED**  
St. Charles, IL  
  
NOV 02 2012  
  
CDD  
~~Planning Division~~

*Instructions:*

To request a zoning map amendment (rezoning) for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a Plan Commission public hearing or meeting date.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Parcel Number (s):	
	Street Address (or common location if no address is assigned): <u>COLLINS ESTATE ON FIFTH AVENUE</u>	
<b>2. Applicant Information:</b>	Name <u>CHRIS LANNERT</u>	Phone <u>630-208-8088</u>
	Address <u>% THE LANNERT GROUP 215 FULTON STREET GENEVA ILLINOIS 60134</u>	Fax <u>630 208-8050</u>
		Email <u>TLG@LANNERT.COM</u>
<b>3. Record Owner Information:</b>	Name <u>TRUSTS % JOHN COLLINS</u>	Phone <u>630-584-2500</u>
	Address <u>303 MAIN STREET ST. CHARLES ILLINOIS 60174</u>	Fax <u>---</u>
		Email <u>---</u>
<b>4. Billing:</b> <i>To whom should costs for this application be billed?</i>	Name <u>THE LANNERT GROUP</u>	Phone <u>630-208-8088</u>
	Address <u>215 FULTON STREET GENEVA ILLINOIS 60134</u>	Fax <u>630-208-8050</u>
		Email <u>TLG@LANNERT.COM</u>

**Zoning and Use Information:**

Comprehensive Plan Land Use Designation of the property: RESIDENTIAL

Current zoning of the property: MIXED P.U.D.

Is the property a designated Landmark or in a Historic District? NO

Current use of the property: ONE HOME AND VACANT PROPERTY

Proposed zoning of the property: RE2 SINGLE FAMILY

Proposed use of the property: ESTATE SINGLE FAMILY RESIDENCES

If the proposed Map Amendment is approved, what improvements or construction are planned? (An accurate site plan may be required to establish that the proposed improvement can meet the minimum zoning requirements)

DEVELOPMENT OF AN ESTATE SINGLE FAMILY NEIGHBORHOOD THROUGH THE CONSTRUCTION OF A CUL-DE-SAC WITH SIX LOTS ADDITIONALLY THREE LOTS WILL FRONT ON FIFTH AVENUE

**Attachment Checklist**

- APPLICATION:** Completed application form signed by the applicant.
- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. #500
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance. AS PART OF ALL REQUESTS
- PROOF OF OWNERSHIP and DISCLOSURE:**
  - a) A current title policy report; or
  - b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

**LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

**PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**SITE PLAN:**

Simple site plan drawn to scale to demonstrate that the property can meet the requirements of the proposed zoning district (parking requirements, setbacks, landscaping, etc.) LANDSCAPE PLAN

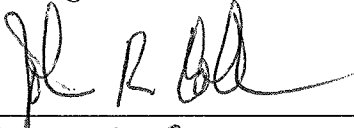
**SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

**ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

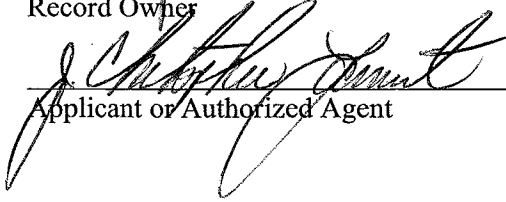
**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**



11.1.12

Record Owner

Date



11-1-12

Applicant or Authorized Agent

Date

# FINDINGS OF FACT SHEET – MAP AMENDMENT



The St. Charles Zoning Ordinance requires the Plan Commission to consider factors listed below in making a recommendation to the City Council.

As an applicant, the “burden of proof” is on you to show why the proposed zoning is more appropriate than the existing zoning. Therefore, you need to “make your case” by explaining how the following factors support your proposal. If a factor does not apply to the property in question, indicate “not applicable” and explain why it does not apply.

DELNOR WOODS

Project Name or Address

Date

## From the Charles Zoning Ordinance, Section 17.04.320.D:

In making its recommendation to grant or deny an application for a Zoning Map Amendment, including changes to Zoning District and Overlay boundaries, the Plan Commission shall consider:

1. The existing uses and zoning of nearby property. (Relate the proposed land use and zoning to the land use and zoning of other properties in the area)

THIS PROPERTY IS BASICALLY THE SIX LOT ESTATE AREA, ALONG WITH ADDITIONAL FIFTH AVE PROPERTY PREVIOUSLY APPROVED AS THE DELNOR WOODS P.U.D. SINGLE FAMILY USES AS PREVIOUSLY APPROVED WILL BE BLENDED WITH ADDITIONAL LOTS ON FIFTH TO COMPLETE THE SINGLE FAMILY CHARACTER OF THE NEIGHBORHOOD.

2. The extent to which property values are diminished by the existing zoning restrictions. (Compare the value of the subject property and nearby properties under the current zoning to their potential value under the proposed zoning.)

THE EXISTING PROPERTY VALUES WILL REMAIN OR BE ENHANCED AS A RESULT OF THE DEVELOPMENT. ONLY A SMALL PORTION WILL BE CHANGED FROM MIXED USE BACK TO ONLY SINGLE FAMILY

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public. (If the existing zoning decreases the value of the subject realty, does it also produce any perceptible public benefits?)

PROPERTY ZONING  
MOST OF THEM HAS THE SAME UNDERLYING REQUESTED AND WILL HAVE ~~THE~~ LITTLE IF ANY IMPACT ON THE EXISTING CHARACTER OF THE AREA

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification. (Can the subject property reasonably be used for any of the uses currently permitted? Physical and market conditions may be considered.)

THE REQUESTED ZONING IS THE BYPRODUCT OF AN INTERNAL SALE OF THE ADJACENT PROPERTY. THE MAP AMENDMENT ONLY SEEKS TO SQUARE OFF NEW PROPERTY LINES

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located. (If a property has been vacant longer than other similar properties in the area, it may be an indicator that the existing zoning is inappropriate.)

THE PRESENT UNDERLYING ZONING IS THE REQUESTED ZONING. PRESERVATION OF THE EXISTING ESTATE HOME HAS ALWAYS BEEN THE FOCUS OF THE PLANNING EFFORTS IN THE AREA

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district. (Development trends, market forces, and the Comprehensive Plan may be considered.)

NOT WITHSTANDING THE CURRENT MARKET PLACE, THE FIFTH AVENUE ESTATE HOMES HAVE HISTORICALLY BEEN THE CHARACTER OF THE AREA. THESE NINE LOTS WILL COMPLETE THE DEVELOPMENT OF THE NEIGHBORHOOD

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

THE PROPOSAL IS CONSISTANT WITH THE CITY'S COMPREHENSIVE PLAN.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

MORE OF A HOUSEKEEPING ISSUE

9. The extent to which the proposed amendment creates nonconformities. *(Generally it is not appropriate to rezone a property unless it can comply with the requirements of the new zoning.)*

THE PROPOSED AMENDMENT BLENDS ALL OF THE  
ESTATE HOMES EAST OF FIFTH AVE (RT 25) INTO  
A UNIFIED WHOLE.

10. The trend of development, if any, in the general area of the property in question. *(New development, redevelopment, changes in use, or other changes in the area may help to justify a change in zoning.)*

CURRENTLY THERE IS NO TRENDS OF DEVELOPMENT. DELNOIR  
GLEN ACROSS THE STREET IS THE MOST RECENT COMPLETED  
PROJECT. OTHER VACANT LOTS IN THE NEIGHBORHOOD  
HAVE BEEN BUILT ON OVER THE LAST FEW YEARS

Plan Commission recommendation shall be based upon the preponderance of the evidence presented and the Commission shall not be required to find each Finding of Fact in the affirmative to recommend approval of an application for Map Amendment.



November 8, 2012

Mr. Russell Colby  
City of St. Charles  
2 East Main Street  
St. Charles, IL 60174

**RE: DELNOR WOODS – MAP AMMENDMENTS (0421)**

Dear Russell:

Attached for you use, are the legal descriptions regarding the re-zoning from P.U.D. Special Use to RE2 for the revised petition. The legal descriptions, by way of exclusion from the original project, are those portions that will be re-zoned. Included for reference is a color coded copy that illustrates the changes.

Basically, three areas are affected. Some land was taken out of the single-family lot area long the east side and sold to the Park District (Parcel A). Some of the land from the duplex area, along the north, was included in the single-family area (Parcel B). A small part of the office land (.66 acres) was added back into the Fifth Street frontage for single-family lots (Parcel C).

If additional information is required, please advise.

Best Regards,

A handwritten signature in black ink, appearing to read "J. Christopher Lannert", is written over the typed name.

J. Christopher Lannert

JCL/ss

Attachment

cc: John Collins  
John Thornhill

November 1, 2012

## DELNOR WOODS TRACTS TO BE REZONED

### Tract to be rezoned from P.U.D. to RE2

That part of the East Half of Section 27, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Lot 7, Delnor Park, Addition One, St. Charles, Kane County, Illinois; thence southerly along the easterly line extended of said Lot 339.06 feet to the northeast corner of a tract of land conveyed to Delnor Hospital by Document 1176126; thence westerly along the northerly line of said Hospital tract forming an angle of  $86^{\circ}05'$  with the last described course (measured counterclockwise therefrom) 362.54 feet to the northwest corner of said tract (being on the center line of Fifth Avenue North); thence southerly along said center line parallel with the penultimate described course 436.64 feet; thence easterly along a line forming an angle of  $90^{\circ}02'22''$  with the prolongation of the last described course (measured counterclockwise therefrom) 271.61 feet; thence northerly at right angles to the last described course 245.33 feet for a point of beginning; thence southerly along the last described course 245.33 feet; thence southeasterly along a line forming an angle of  $226^{\circ}16'05''$  with the last described course (measured counterclockwise therefrom) 308.20 feet; thence easterly along a line forming an angle of  $126^{\circ}48'06''$  with the last described course (measured clockwise therefrom) 450.59 feet; thence southeasterly along a line forming an angle of  $140^{\circ}09'39''$  with the last described course (measured counterclockwise therefrom) 87.91 feet; thence southerly along a line forming an angle of  $125^{\circ}54'12''$  with the last described course (measured counterclockwise therefrom) 169.66 feet; thence southwesterly along a line forming an angle of  $110^{\circ}17'33''$  with the last described course (measured counterclockwise therefrom) 53.79 feet; thence southerly along a line forming an angle of  $96^{\circ}46'21''$  with the last described course (measured clockwise therefrom) 197.33 feet; thence southerly along a line forming an angle of  $148^{\circ}22'58''$  with the last described course (measured counterclockwise therefrom) 200.38 feet; thence southerly along a line forming an angle of  $175^{\circ}26'14''$  with the last described course (measured clockwise therefrom) 219.99 feet; thence easterly along a line forming an angle of  $103^{\circ}56'54''$  with the prolongation of the last described course (measured counterclockwise therefrom) 264.66 feet; thence northerly along a line forming an angle  $113^{\circ}29'54''$  with the last described course



(measured clockwise therefrom) 205.0 feet; thence northerly along a line forming an angle of  $161^{\circ}08'36''$  with the last described course (measured clockwise therefrom) 62.0 feet; thence northwesterly along a line forming an angle of  $126^{\circ}38'08''$  with the last described course (measured clockwise therefrom) 125.0 feet; thence northerly along a line forming an angle of  $127^{\circ}00'33''$  with the last described course (measured counterclockwise therefrom) 75.0 feet; thence easterly along a line forming an angle of  $86^{\circ}38'24''$  with the last described course (measured counterclockwise therefrom) 151.03 feet to a westerly line of Persimmon Fields, City of St. Charles, Kane County, Illinois; thence northerly along a westerly line of said Persimmon Fields forming an angle of  $87^{\circ}00'08''$  with the last described course (measured clockwise therefrom) 415.59 feet to an angle point in said westerly line; thence northerly along a westerly line of said Persimmon Fields forming an angle of  $178^{\circ}52'34''$  with the last described course (measured counterclockwise therefrom) 791.53 feet to the southeast corner of Lot 14 thereof; thence westerly along the southerly line of said Lot and its westerly extension forming an angle of  $95^{\circ}00'22''$  with the last described course (measured clockwise therefrom) 478.68 feet to the easterly line extended northerly of premises conveyed to the City of St. Charles by Document 1253797; thence southerly along said easterly line extended, said easterly line and the easterly line of a tract of land assigned to Evangelical Care Corporation by Document 1702137 forming an angle of  $85^{\circ}13'24''$  with the last described course (measured clockwise therefrom) 362.61 feet to the southeast corner thereof; thence westerly along the southerly line of said Evangelical Care tract forming an angle of  $86^{\circ}05'$  with the last described course (measured counterclockwise therefrom) 493.0 feet to the southwest corner thereof; thence southwestward along a line forming an angle of  $121^{\circ}50'14''$  with the last described course (measured clockwise therefrom) 154.46 feet to the point of beginning (excepting therefrom that part thereof conveyed to Board of Commissioners of the St. Charles Park District, Kane and DuPage Counties, Illinois by Documents 2012K010544, 2012K010545 and 2012K010546), in the City of St. Charles, Kane County, Illinois and containing 1.050 acres.

Tract to be rezoned from Office to RE2

That part of the East Half of Section 27, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Lot 7, Delnor Park, Addition One, St. Charles, Kane County, Illinois; thence southerly along the easterly line extended of said Lot 339.06 feet to the northeast corner of a tract of land conveyed to Delnor Hospital by Document 1176126; thence westerly along the northerly line of said Hospital tract forming an angle of  $86^{\circ}05'$  with the last described course (measured counterclockwise therefrom) 362.54 feet to the northwest corner of said tract (being on the center line of Fifth Avenue North); thence southerly along said center line parallel with the penultimate described course 326.08 feet to the southwest corner of said Hospital tract for a point of beginning, thence continuing southerly along said center line 110.56 feet; thence easterly along a line forming an angle of  $89^{\circ}57'38''$  with the last described course (measured clockwise therefrom) 271.61 feet; thence northerly at right angles to the last described course 103.03 feet to the southerly line of said Hospital tract; thence westerly along said southerly line 271.64 feet to the point of beginning in the City of St. Charles, Kane County, Illinois and containing 0.666 acre.



# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## SUBDIVISION PRELIMINARY PLAN APPLICATION

Received Date

**RECEIVED**

St. Charles, IL

NOV 02 2012

**CDD**

Planning Division

<b>CITYVIEW</b>	
Project Name:	<u>Delnor Woods</u>
Project Number:	<u>2005 -PR- 001</u>
Application No.	<u>2012 -AP- 018</u>

**Instructions:**

To request approval of a subdivision, complete this application and submit it with all required attachments to the Planning Division.

When the application is complete City staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the proposed subdivision on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Parcel Number (s):	
	Street Address (or common location if no address is assigned): <u>COLLINS ESTATE ON FIFTH AVE</u>	
<b>2. Applicant Information:</b>	Name <u>THE LANNERT GROUP</u> <u>CHRIS LANNERT</u>	Phone <u>630-208-8088</u>
	Address <u>215 FULTON STREET</u> <u>GENEVA ILLINOIS 60134</u>	Fax <u>630-208-8050</u>
		Email <u>TLG@LANNERT.COM</u>
<b>3. Record Owner Information:</b>	Name <u>TRUSTS/COLLINS FAMILY</u> <u>40 JOHN COLLINS</u>	Phone <u>630-584-2500</u>
	Address <u>303 E. MAIN STREET</u> <u>ST. CHARLES IL 60174-</u>	Fax —
		Email —
<b>4. Billing:</b> <i>To whom should costs for this application be billed?</i>	Name <u>THE LANNERT GROUP</u>	Phone
	Address <u>ABOVE</u>	Fax
		Email

*Attachment Checklist*

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Refer to attached Schedule of Application Fees <sup>\$300</sup>
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Exhibit B of the Zoning Ordinance. **PART OF ALL REQUESTS**

**NA**  **PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

- LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

**PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**NA**  **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

**NA**  **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

**PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

- Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.
- Revision Submittal for Plan Commission - Twenty-Two (22) full size copies, Three (3) 11" by 17" and a PDF electronic file on a CD-ROM.

- PRELIMINARY PLANS:** Depicting all features listed in the Subdivision Preliminary Plan Checklist and the "Stormwater Management Requirements for Preliminary Plans."

**SUBDIVISION PRELIMINARY PLAN CHECKLIST (COMPLETED)**

- STORMWATER MANAGEMENT REPORT:** One copy of written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans. **BOTH PRELIMINARY AND FINAL ENGINEERING**

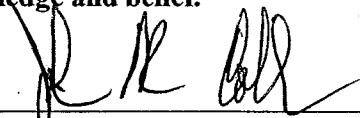
**TREE PRESERVATION PLAN**

For sites with existing trees 6" or more in diameter: Twenty-two copies of a Tree Preservation Plan shall be submitted as part of the preliminary plan set and shall be at the same scale as the grading plan. Refer to attached "Tree Preservation Plan Requirements".

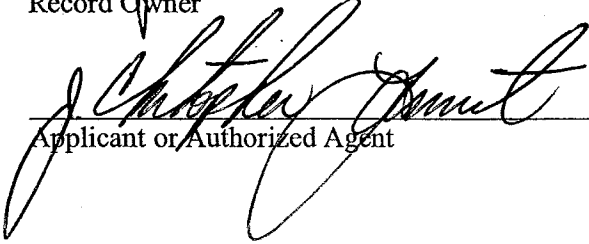
**ADDITIONAL WRITTEN INFORMATION:**

- Summary of Proposed Development sheet
- Proposed deviations from subdivision requirements, if any.
- For developments with residential units, Park and School Land/Cash and Inclusionary Housing worksheets

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

  
\_\_\_\_\_  
Record Owner

11.1.12  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Applicant or Authorized Agent

11-1-12  
\_\_\_\_\_  
Date

**City of St. Charles Land/Cash Worksheet - Delnor Woods Subdivision 11/16/12**

Dwelling Type/Bedroom Count	# of Units	Park	Est. Park Pop.	Elem.	Est. Pop.	Middle School	Est. Pop.	High School	Est. Pop.
Detached Single Family									
3 bedroom	0	2.899	0	0.369	0	0.173	0	0.184	0
4 bedroom	8	3.764	30.112	0.53	4.24	0.298	2.384	0.36	2.88
5 bedroom	0	3.77	0	0.345	0	0.248	0	0.3	0
Attached Single Family (Townhomes)									
1 bedroom	0	1.193	0	0	0	0	0	0	0
2 bedroom	0	1.99	0	0.088	0	0.048	0	0.038	0
3 bedroom	0	2.392	0	0.234	0	0.058	0	0.059	0
4 bedroom	0	3.145	0	0.322	0	0.154	0	0.173	0
Multi Family (Condo/Apartment)									
Efficiency	0	1.294	0	0	0	0	0	0	0
1 bedroom	0	1.758	0	0.002	0	0.001	0	0.001	0
2 bedroom	0	1.914	0	0.086	0	0.042	0	0.046	0
3 bedroom	0	3.053	0	0.234	0	0.123	0	0.118	0
<b>Estimated Population</b>	<b>8</b>		<b>30.112</b>		<b>4.24</b>		<b>2.384</b>		<b>2.88</b>
<b>Park Acreage @ 10 acres per 1,000 population</b>			<b>0.30112</b>	<b>acres</b>					
<b>Park Land Dedication</b>			<b>0</b>	<b>acres</b>					
<b>Park Cash in Lieu @ \$240,500 per acre</b>			<b>\$72,419.36</b>						
Elementary School Acreage @ .025 acres per student					0.106				
Middle School Acreage @ .0389 acres per student							0.0927376		
High School Acreage @ .072 acres per student									0.20736
<b>Total School Acreage</b>			<b>0.4060976</b>						
<b>Total School Cash in Lieu @ \$240,500 per acre</b>			<b>\$97,666.47</b>						

**1 1/2 Mile Jurisdiction Park Cash in Lieu**  
**1 1/2 Mile Jurisdiction School Cash in Lieu**

**\$52,696.00**  
**\$71,067.08**

(Not for development within City of St. Charles)  
 (Not for development within City of St. Charles)

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

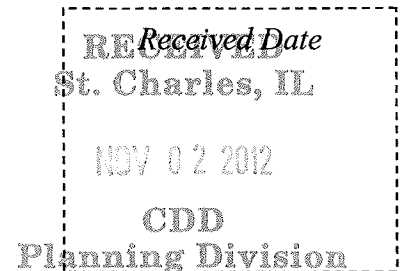


COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**FINAL PLAT APPLICATION**

<b>CITYVIEW</b>	
Project Name:	<u>Delnor Woods</u>
Project Number:	<u>2005 -PR- 001</u>
Application Number:	<u>2012 -AP- 016</u>



**Instructions:**

To request approval of Final Plat for a Subdivision or Planned Unit Development (PUD), complete this application and submit it with all required attachments to the Planning Division. For PUDs, a PUD Final Plan Application should normally be submitted at the same time. For all other subdivisions, a Subdivision Final Engineering Plan Application should normally be submitted at the same time.

When the application is complete and the engineering plans are substantially in compliance with requirements, the final plat will be placed on a Plan Commission agenda for review.

<b>1. Property Information:</b>	Parcel Number (s):	
	Proposed Subdivision Name: <u>DELNOR WOODS</u>	
<b>2. Applicant Information:</b>	Name <u>THE LANNERT GROUP</u> <u>CHRIS LANNERT</u>	Phone <u>630-208-8080</u>
	Address <u>215 FULTON STREET</u> <u>GENEVA IL 60134</u>	Fax <u>630-208-8050</u>
		Email <u>TL6@LANNERT.COM</u>
<b>3. Record Owner Information:</b>	Name <u>TRUSTS/COLLINS FAMILY</u> <u>1/6 JOHN COLLINS</u>	Phone <u>630-584-2500</u>
	Address <u>303 E. MAIN STREET</u> <u>ST. CHARLES IL</u>	Fax —
		Email —
<b>4. Billing:</b> <i>To whom should costs for this application be billed?</i>	Name <u>THE LANNERT GROUP.</u>	Phone
	Address <u>ABOVE</u>	Fax
		Email



*Attachment Checklist*

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Refer to attached Schedule of Application Fees #200
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance. *AS PART OF ALL REQUESTS*

**PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

- LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

**FINAL PLAT SUBMITTAL CHECKLIST (Completed)**

**PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

- Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.
- Revision Submittal for Planning Commission - Twenty-Two (22) full size copies, Three (3) 11" by 17" and a PDF electronic file on a CD-ROM.

- COVENANTS:** One copy of proposed agreements, provisions, or covenants which will govern the use, maintenance, and continued protection of the planned development and any of its common open space.

**WORKSHEETS (For residential developments):**

- Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.
- Inclusionary Housing Worksheet

**ADDITIONAL APPLICATION:**

- For Planned Unit Developments, a PUD Final Plan Application has been submitted.
- For all other Subdivisions, a Subdivision Final Engineering Plan Application has been submitted.

**ITEMS TO BE SUBMITTED PRIOR TO CITY COUNCIL APPROVAL:**

- Guarantee for completion of Land Improvements, consisting of proposed form, amount and provider of completion guarantee collateral (bond, cash, or letter of credit)
- Illinois EPA Water Pollution Control Permit for sanitary sewer extension
- Illinois EPA Division of Public Water Supplies Permit for water mains
- Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
- IDNR Office of Water Resources Permit (for work in flood plain)
- Wetlands Permit from Army Corps of Engineers
- Kane County DOT and/or IDOT signature on Final Plat (if applicable)

NA ~~☐~~ IDNR Office of Water Resources Permit (for work in flood plain)

NA ~~☐~~ Offsite easements and right of way necessary to construct the required Land Improvements

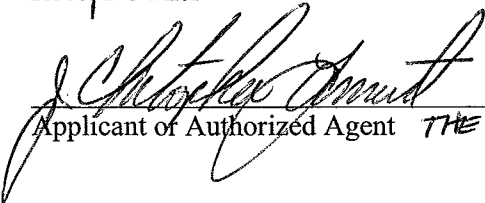
**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**



Record Owner

11.1.12

Date



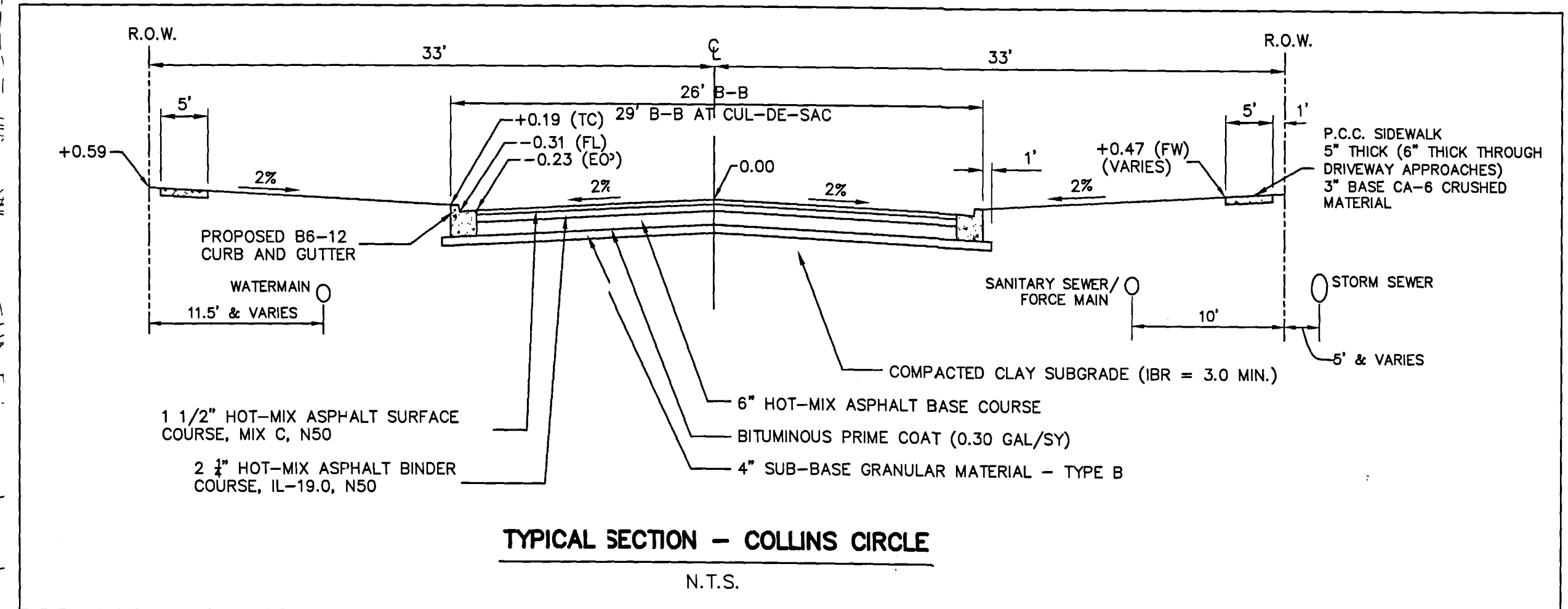
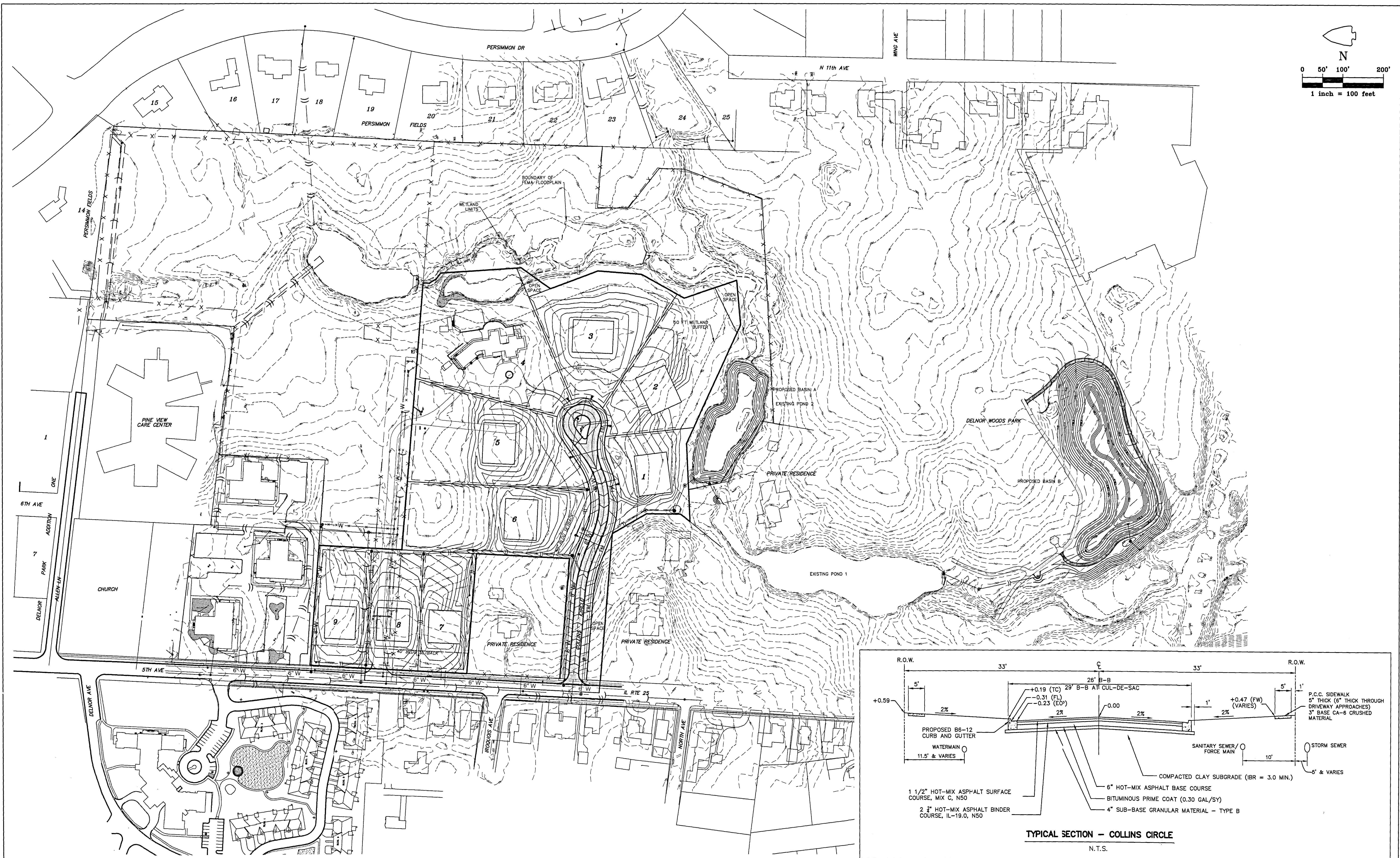
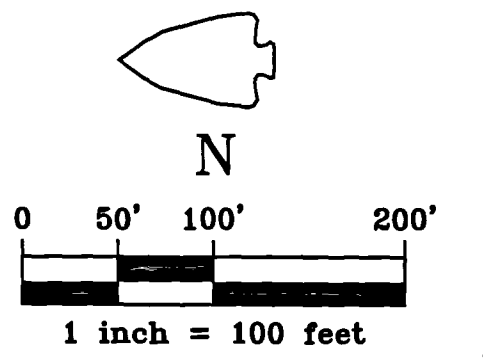
Applicant or Authorized Agent

THE LANNETT GROUP

Date







PREPARED FOR:  
**COLLINS DEVELOPMENT CORP.**  
 303 E. MAIN STREET  
 ST. CHARLES, IL 60174  
 (630) 584-2500 (630) 584-1020 (F)

PREPARED BY:  
**SILVER EDGE CONSULTANTS, LLC**  
 215 FULTON STREET  
 GENEVA, ILLINOIS 60134  
 (630) 800-4801  
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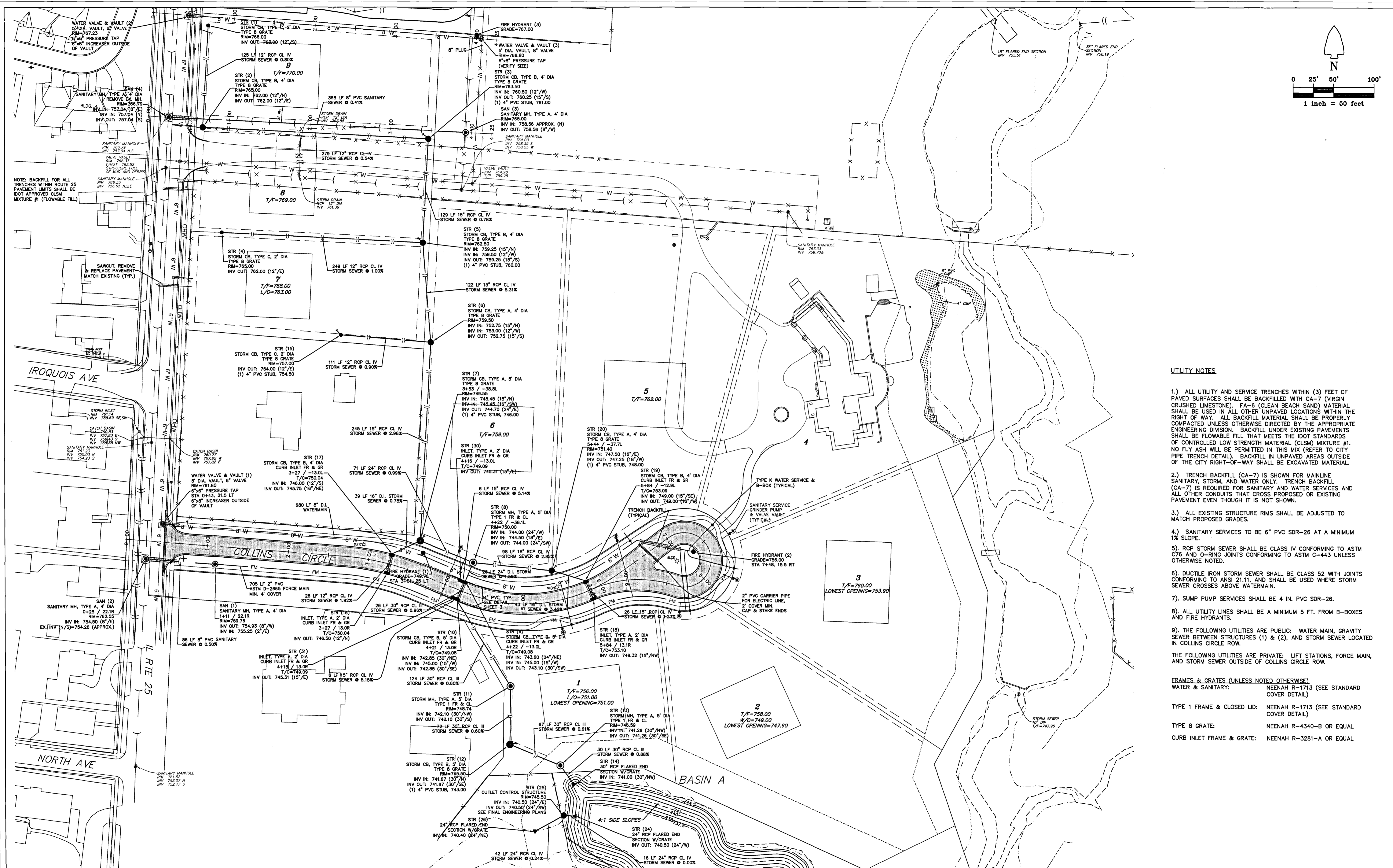
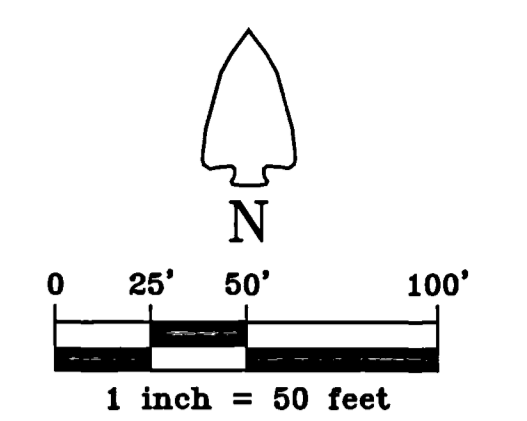
REVISIONS		
NUMBER	DATE	DESCRIPTION
1	1/4/13	REVISED PER CITY COMMENTS

**DELNOR WOODS DEVELOPMENT - OVERALL PRELIMINARY ENGINEERING PLAN**  
**ST. CHARLES, KANE COUNTY, ILLINOIS**

FILE NAME: PREENG OVERAL	DESIGN BY: JBS	JOB. NO.: 108.001	XREF: OVERALL
DIRECTORY: CAD12/108001	DRAWN BY: DDW	DATE: 10/19/12	SCALE: 1" = 100'

SHEET 2 OF 5





- UTILITY NOTES**
- 1.) ALL UTILITY AND SERVICE TRENCHES WITHIN (3) FEET OF PAVED SURFACES SHALL BE BACKFILLED WITH CA-7 (VIRGIN CRUSHED LIMESTONE). FA-6 (CLEAN BEACH SAND) MATERIAL SHALL BE USED IN ALL OTHER UNPAVED LOCATIONS WITHIN THE RIGHT OF WAY. ALL BACKFILL MATERIAL SHALL BE PROPERLY COMPACTED UNLESS OTHERWISE DIRECTED BY THE APPROPRIATE ENGINEERING DIVISION. BACKFILL UNDER EXISTING PAVEMENTS SHALL BE FLOWABLE FILL THAT MEETS THE IDOT STANDARDS OF CONTROLLED LOW STRENGTH MATERIAL (CLSM) MIXTURE #1. NO FLY ASH WILL BE PERMITTED IN THIS MIX (REFER TO CITY PIPE TRENCH DETAIL). BACKFILL IN UNPAVED AREAS OUTSIDE OF THE CITY RIGHT-OF-WAY SHALL BE EXCAVATED MATERIAL.
  - 2.) TRENCH BACKFILL (CA-7) IS SHOWN FOR MAINLINE SANITARY, STORM, AND WATER ONLY. TRENCH BACKFILL (CA-7) IS REQUIRED FOR SANITARY AND WATER SERVICES AND ALL OTHER CONDUITS THAT CROSS PROPOSED OR EXISTING PAVEMENT EVEN THOUGH IT IS NOT SHOWN.
  - 3.) ALL EXISTING STRUCTURE RIMS SHALL BE ADJUSTED TO MATCH PROPOSED GRADES.
  - 4.) SANITARY SERVICES TO BE 6" PVC SDR-26 AT A MINIMUM 1% SLOPE.
  - 5.) RCP STORM SEWER SHALL BE CLASS IV CONFORMING TO ASTM C76 AND O-RING JOINTS CONFORMING TO ASTM C-443 UNLESS OTHERWISE NOTED.
  - 6.) DUCTILE IRON STORM SEWER SHALL BE CLASS 52 WITH JOINTS CONFORMING TO ANSI 21.11, AND SHALL BE USED WHERE STORM SEWER CROSSES ABOVE WATERMAIN.
  - 7.) SUMP PUMP SERVICES SHALL BE 4 IN. PVC SDR-26.
  - 8.) ALL UTILITY LINES SHALL BE A MINIMUM 5 FT. FROM B-BOXES AND FIRE HYDRANTS.
  - 9.) THE FOLLOWING UTILITIES ARE PUBLIC: WATER MAIN, GRAVITY SEWER BETWEEN STRUCTURES (1) & (2), AND STORM SEWER LOCATED IN COLLINS CIRCLE ROW.
- THE FOLLOWING UTILITIES ARE PRIVATE: LIFT STATIONS, FORCE MAIN, AND STORM SEWER OUTSIDE OF COLLINS CIRCLE ROW.

- FRAMES & GRATES (UNLESS NOTED OTHERWISE)**
- WATER & SANITARY: NEENAH R-1713 (SEE STANDARD COVER DETAIL)
- TYPE 1 FRAME & CLOSED LID: NEENAH R-1713 (SEE STANDARD COVER DETAIL)
- TYPE 8 GRATE: NEENAH R-4340-B OR EQUAL
- CURB INLET FRAME & GRATE: NEENAH R-3281-A OR EQUAL

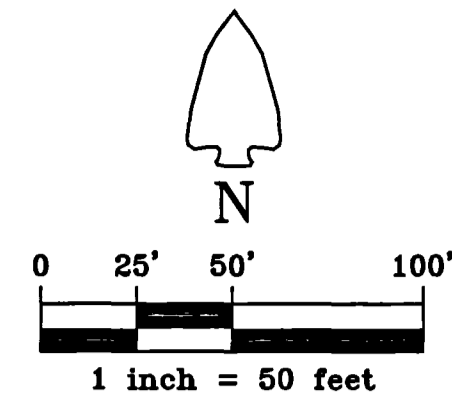
PREPARED FOR:  
**COLLINS DEVELOPMENT CORP.**  
 303 E. MAIN STREET  
 ST. CHARLES, IL 60174  
 (630) 584-2500 (630) 584-1020 (F)

PREPARED BY:  
**SILVER EDGE CONSULTANTS, LLC**  
 215 FULTON STREET  
 GENEVA, ILLINOIS 60134  
 (630) 800-4801  
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REVISIONS		REVISIONS	
NUMBER	DATE	NUMBER	DATE
1	1/4/13		

DELNOR WOODS DEVELOPMENT - PRELIMINARY UTILITY PLAN			
ST. CHARLES, KANE COUNTY, ILLINOIS			
FILE NAME: PREENG UTILITY	DESIGN BY: JBS	JOB NO.: 108.001	XREF: OVERALL
DIRECTORY: CAD12/108001	DRAWN BY: DGW	DATE: 10/19/12	SCALE: 1" = 50'
			SHEET 3 OF 5





**GRADING NOTES**

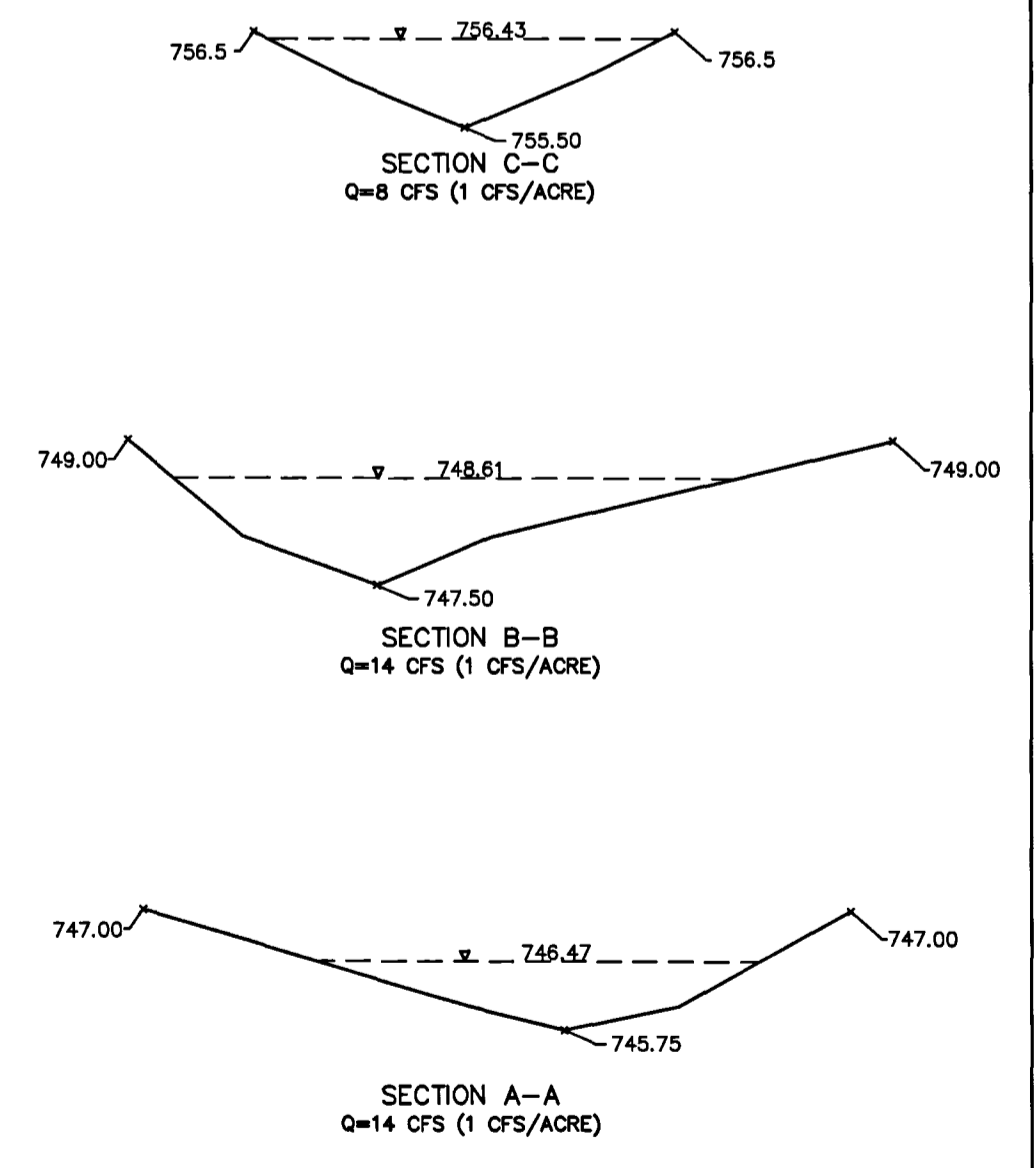
1. PROPOSED GARAGE FLOOR ELEVATIONS ASSUMED TO BE 0.5 FT. BELOW TOP OF FOUNDATION ELEVATIONS.
2. FINISHED GRADE SHALL BE A MIN. 0.5 FT. BELOW TOP OF FOUNDATION.

T/F = TOP OF FOUNDATION  
 W/O = WALKOUT BASEMENT  
 L/O = LOOKOUT BASEMENT

BASE FLOOD ELEVATIONS, "BFE", AND FEMA FLOODPLAIN ARE SHOWN PER THE "DRAFT WORKMAP - SHEET 2 OF 2, LOWER FOX RIVER WATERSHED - 7TH AVENUE CREEK AND ITS TRIBUTARY", PREPARED BY FEMA.

→ INDICATES OVERLAND FLOOD ROUTE

STORM SEWER PIPE AND INLETS HAVE BEEN SIZED TO CONVEY RUNOFF FROM THE 100 YEAR STORM EVENT WITH MINIMAL PONDING ABOVE INLETS. OVERLAND FLOOD ROUTE ARROWS ARE SHOWN FOR CATASTROPHIC EVENTS OR OFF-SITE FLOWS ALONG THE WEST PROPERTY LINE OF LOT 1.



PREPARED FOR:  
**COLLINS DEVELOPMENT CORP.**  
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 ST. CHARLES, IL 60174  
 (830) 584-2500 (830) 584-1020 (F)

PREPARED BY:  
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 215 FULTON STREET  
 GENEVA, ILLINOIS 60134  
 (830) 800-4801  
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NUMBER		DATE		DESCRIPTION		REVISIONS	
1	2	1/4/13		REVISED PER CITY COMMENTS			

**DELNOR WOODS DEVELOPMENT - PRELIMINARY GRADING & DRAINAGE PLAN**  
 ST. CHARLES, KANE COUNTY, ILLINOIS

FILE NAME: PREENG GRADING	DESIGN BY: JBS	JOB. NO.: 108.001	XREF: OVERALL
DIRECTORY: CAD12/108001	DRAWN BY: DGW	DATE: 10/19/12	SCALE: 1" = 50'

SHEET 4 OF 5

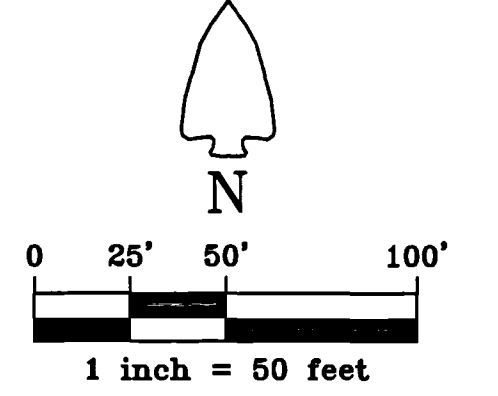


GRADING NOTES

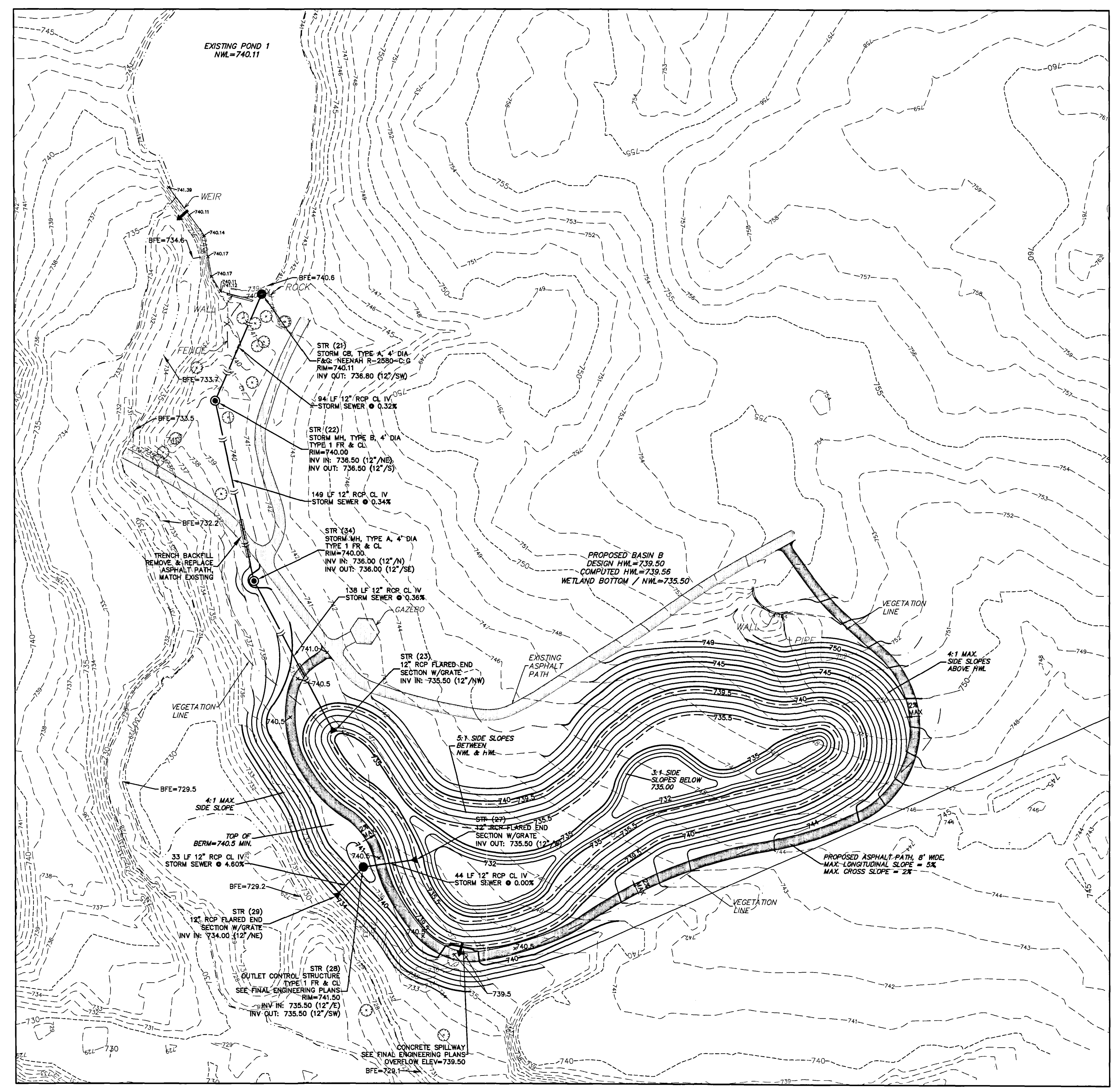
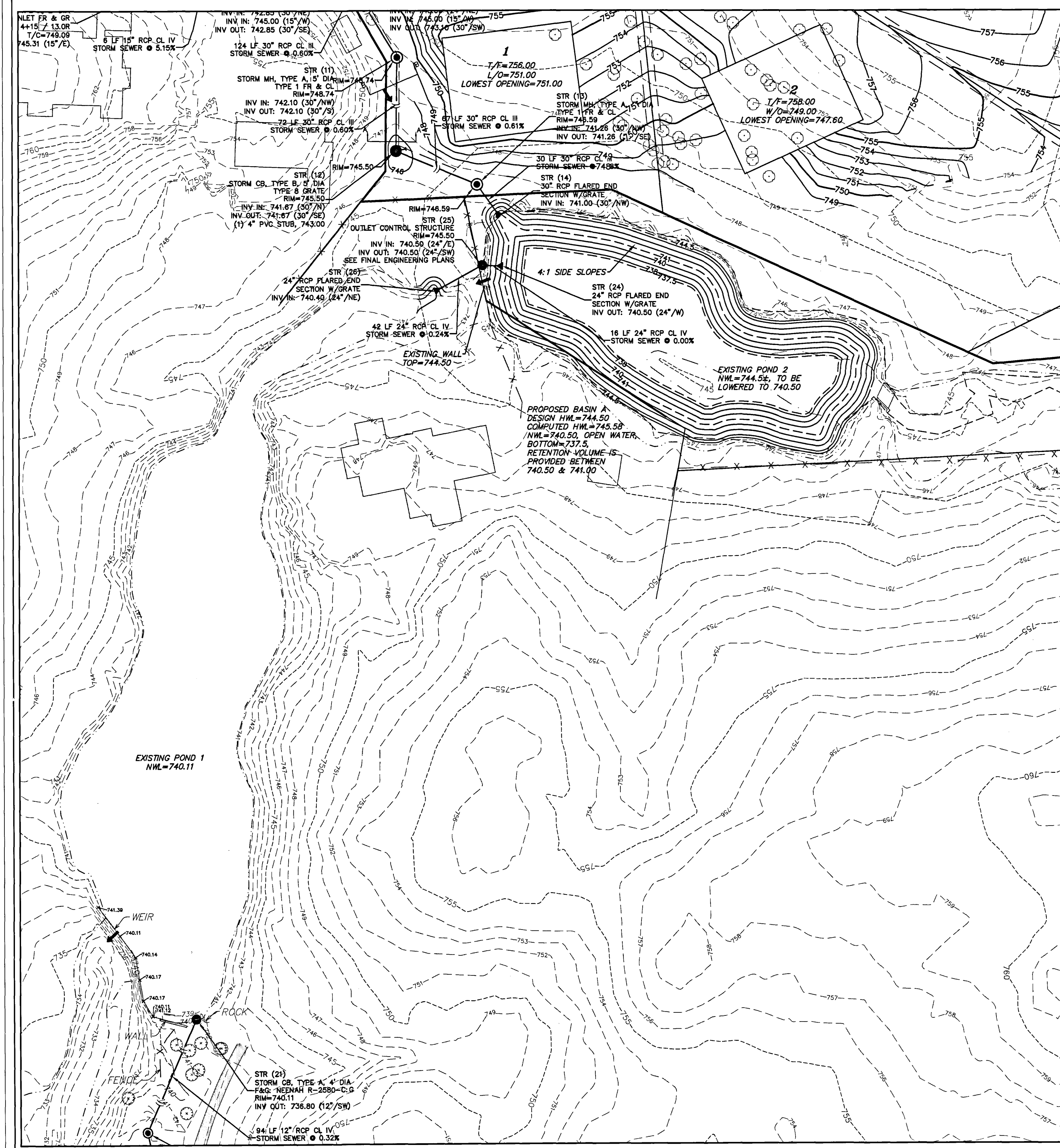
1. REFER TO LANDSCAPE PLANS BY THE LANNERT GROUP FOR BASIN SEEDING & STABILIZATION.

DETENTION BASIN A ADDED INCREMENTAL STORAGE VOLUME	
Elevation	Volume (Ac-Ft)
741	0
742	0.55
743	1.17
744	1.86
744.5 (HWL)	2.23

DETENTION BASIN B ADDED INCREMENTAL STORAGE VOLUME	
Elevation	Volume (Ac-Ft)
735.5	0
736	0.27
737	0.91
738	1.67
739	2.56
739.5 (HWL)	3.05



TOTAL SITE DETENTION VOLUME REQUIRED: 4.94 AC-FT  
 TOTAL SITE DETENTION VOLUME PROVIDED: 5.28 AC-FT



PREPARED FOR:  
 COLLINS DEVELOPMENT CORP.  
 303 E. MAIN STREET  
 ST. CHARLES, IL 60174  
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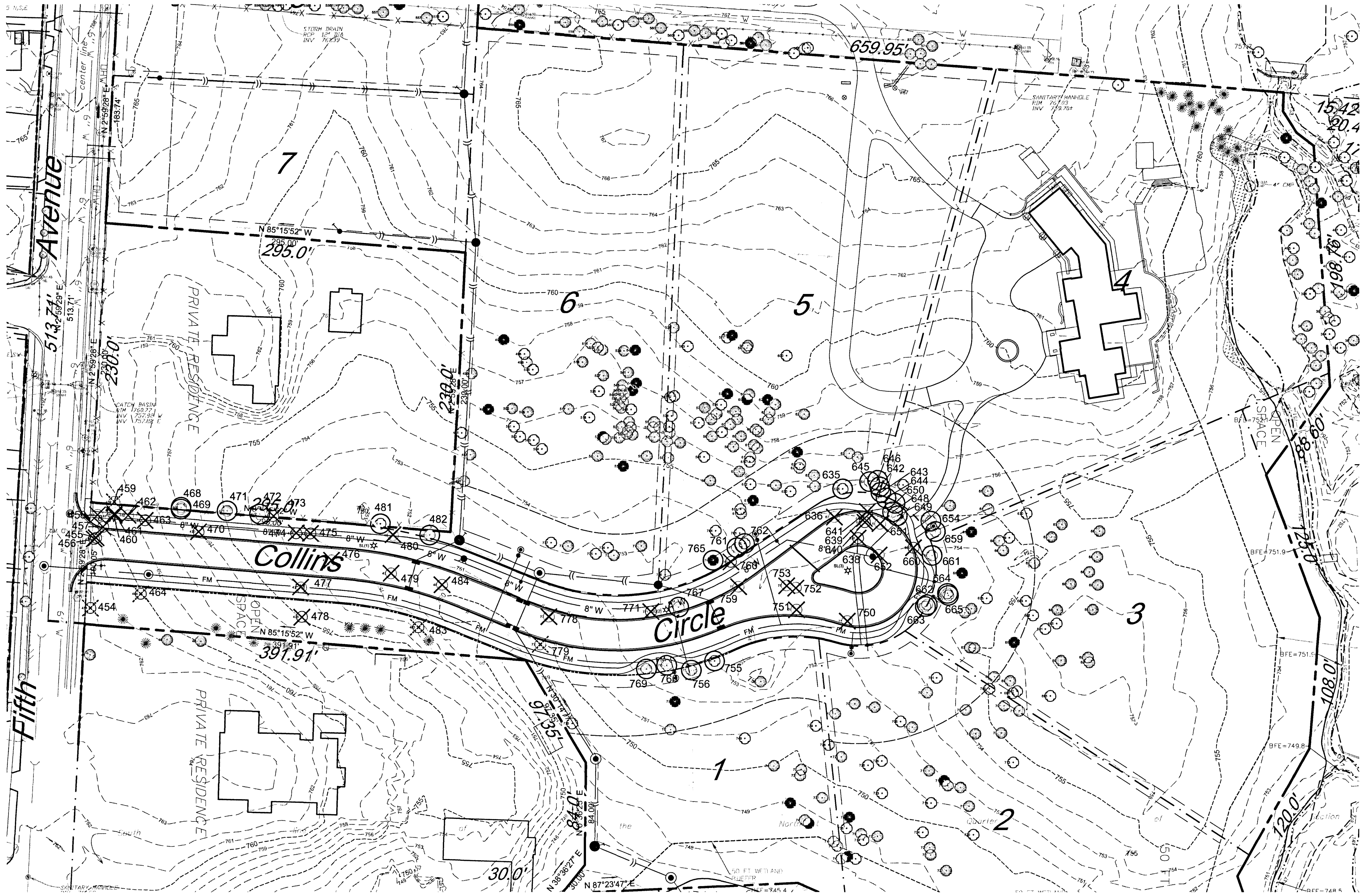
REVISIONS		NUMBER	DATE	DESCRIPTION
1	1/4/13			REVISED PER CITY COMMENTS

DELNOR WOODS DEVELOPMENT – PRELIMINARY DETENTION BASIN PLAN  
 ST. CHARLES, KANE COUNTY, ILLINOIS  
 FILE NAME: PREENG OFFSITE DESIGN BY: JBS JOB NO.: 108.001 XREF: OVERALL  
 DIRECTORY: CAD12/108001 DRAWN BY: DW DATE: 10/19/12 SCALE: 1" = 50' SHEET 5 OF 5



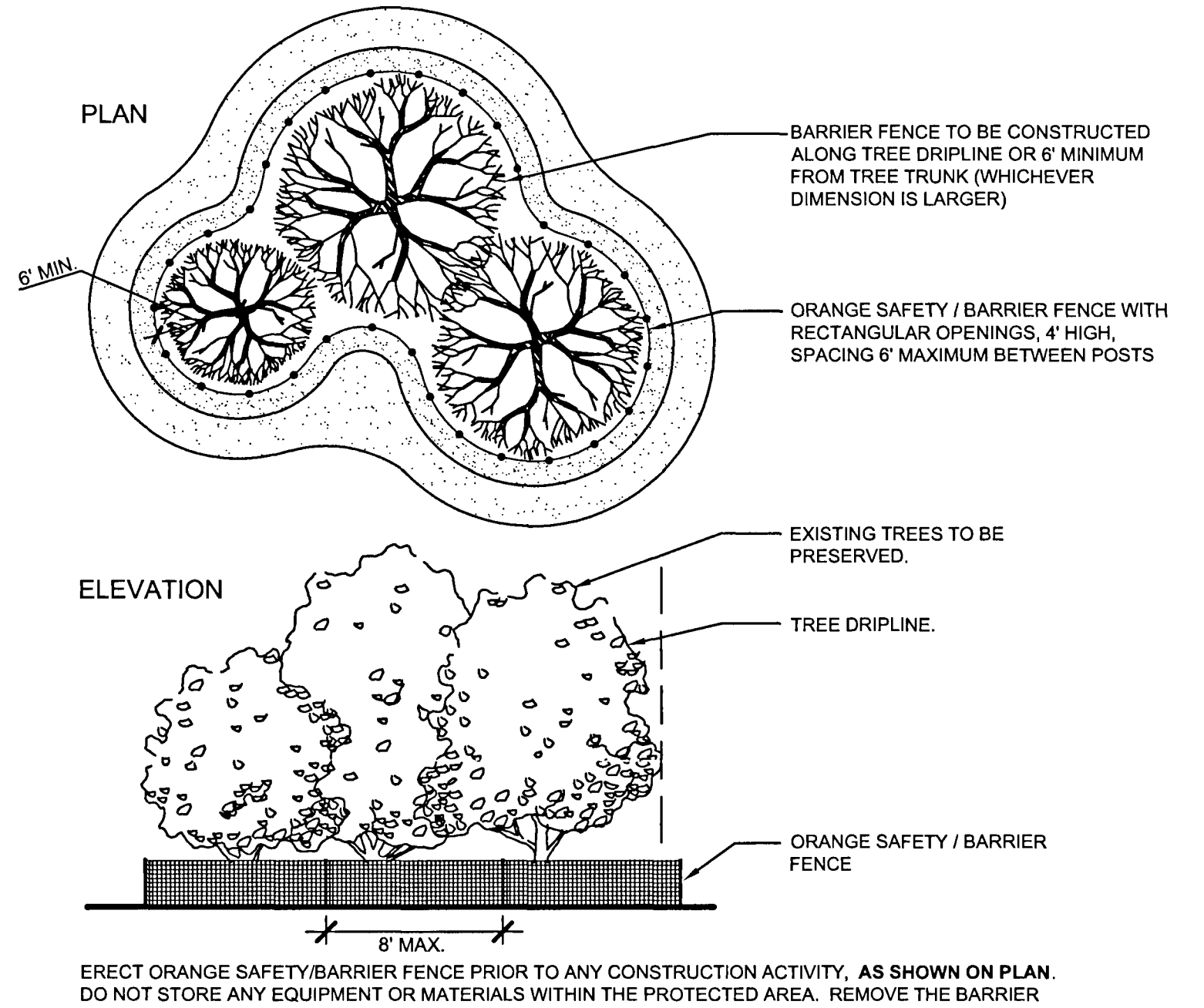
# DELNOR WOODS

## ST. CHARLES, ILLINOIS



### Tree Protection Schedule

#	Common Name	Botanical Name	DBH	Condition	Action	Comments
454	Norway Maple	Acer platanoides	22	Poor	Do not remove, but do not protect	Invasive and poor condition
455	Black Locust	Robinia pseudoacacia	20,7,19	Poor	Remove due to construction	Invasive and poor condition
456	Norway Maple	Acer platanoides	10	Poor	Remove due to construction	Invasive and poor condition
457	Black Locust	Robinia pseudoacacia	7,19	Poor	Remove due to construction	Invasive and poor condition
458	Green Ash	Fraxinus pennsylvanica subintegerrima	9	Fair	Remove due to construction	Prone to Ash Borer
459	Green Ash	Fraxinus pennsylvanica subintegerrima	17	Fair	Do not remove, but do not protect	Prone to Ash Borer
460	Black Locust	Robinia pseudoacacia	15	Fair	Remove due to construction	Invasive
461	Green Ash	Fraxinus pennsylvanica subintegerrima	7	Fair	Remove due to construction	Prone to Ash Borer
462	Norway Maple	Acer platanoides	8	Fair	Remove due to construction	Invasive
463	White Mulberry	Morus alba	22	Poor	Remove- Invasive	Invasive and poor condition
464	Downy Hawthorn	Crataegus mollis	12,9	Poor	Do not remove, but do not protect	Poor condition
468	Norway Maple	Acer platanoides	9	Fair	Protect, See Details	
469	Norway Maple	Acer platanoides	10	Fair	Protect, See Details	
470	Green Ash	Fraxinus pennsylvanica subintegerrima	16	Poor	Remove due to construction	Prone to Ash Borer
471	Norway Maple	Acer platanoides	11	Fair	Protect, See Details	
472	Norway Maple	Acer platanoides	9,5	Fair	Protect, See Details	
473	White Mulberry	Morus alba	7	Poor	Remove- Invasive	Invasive and poor condition
474	Red Oak	Quercus rubra	30	Poor	Remove due to construction	
475	Box Elder	Acer negundo	13	Poor	Remove due to construction	Invasive and poor condition
476	American Basswood	Tilia americana	7,4	Fair	Remove due to construction	
477	Norway Maple	Acer platanoides	14,13	Fair	Remove due to construction	
478	Common Buckthorn	Rhamnus cathartica	7,5,4	Poor	Remove- Invasive	Invasive and poor condition
479	Silver Maple	Acer saccharinum	27	Fair	Remove due to construction	
480	Green Ash	Fraxinus pennsylvanica subintegerrima	20	Fair	Remove- Ash Borer and const.	
481	Black Walnut	Juglans nigra	17,8,7	Poor	Protect, See Details	No replacement value-poor cond.
482	Black Walnut	Juglans nigra	20	Fair	Protect, See Details	
483	Norway Maple	Acer platanoides	13	Poor	Do not remove, but do not protect	Invasive and poor condition
484	Ohio Buckeye	Aesculus glabra	11,9	Fair	Remove due to construction	
635	Bur Oak	Quercus macrocarpa	29	Poor	Protect, See Details	
636	American Elm	Ulmus americana	7	Fair	Remove due to construction	
638	Box Elder	Acer negundo	9	Poor	Remove due to construction	Invasive and poor condition
639	Eastern Cottonwood	Populus deltoides	22	Fair	Remove due to construction	Invasive
640	Eastern Cottonwood	Populus deltoides	10	Poor	Remove due to construction	Invasive and poor condition
641	Black Walnut	Juglans nigra	8	Fair	Remove due to construction	
642	Eastern Cottonwood	Populus deltoides	13	Fair	Protect, See Details	
643	Eastern Cottonwood	Populus deltoides	19	Fair	Protect, See Details	
644	Eastern Cottonwood	Populus deltoides	22	Fair	Protect, See Details	
645	American Elm	Ulmus americana	8	Fair	Protect, See Details	
646	Green Ash	Fraxinus pennsylvanica subintegerrima	10	Fair	Protect, See Details	
648	American Elm	Ulmus americana	7	Fair	Protect, See Details	No replacement value-Dutch Elm
649	American Elm	Ulmus americana	8	Fair	Protect, See Details	No replacement value-Dutch Elm
650	Eastern Cottonwood	Populus deltoides	14	Fair	Protect, See Details	
651	Black Walnut	Juglans nigra	9	Fair	Remove due to construction	
652	Shagbark Hickory	Carya ovata	6	Fair	Remove due to construction	
654	White Oak	Quercus alba	13	Fair	Protect, See Details	
659	White Oak	Quercus alba	6	Fair	Protect, See Details	
660	Common Buckthorn	Rhamnus cathartica	6,7	Poor	Remove- Invasive	Invasive and poor condition
661	Slippery Elm	Ulmus rubra	19,9	Fair	Protect, See Details	No replacement value-Dutch Elm
662	Bur Oak	Quercus macrocarpa	10	Fair	Protect, See Details	
663	Bur Oak	Quercus macrocarpa	13	Fair	Protect, See Details	
664	Green Ash	Fraxinus pennsylvanica subintegerrima	8	Fair	Protect, See Details	
665	Green Ash	Fraxinus pennsylvanica subintegerrima	6	Fair	Protect, See Details	
750	Bur Oak	Quercus macrocarpa	40	Fair	Remove due to construction	
751	Bur Oak	Quercus macrocarpa	23	Fair	Remove due to construction	
752	American Elm	Ulmus americana	16	Fair	Remove due to construction	
753	Green Ash	Fraxinus pennsylvanica subintegerrima	16	Fair	Remove due to construction	
755	White Oak	Quercus alba	28	Poor	Protect, See Details	
756	White Oak	Quercus alba	33	Fair	Protect, See Details	
759	Black Cherry	Prunus serotina	15	Fair	Remove due to construction	N/A- Undesirable Species
760	Black Cherry	Prunus serotina	8	Poor	Remove due to construction	N/A- Undesirable Species
761	White Oak	Quercus alba	13	Fair	Protect, See Details	
762	Green Ash	Fraxinus pennsylvanica subintegerrima	6	Poor	Protect, See Details	
765	White Oak	Quercus alba	22	Good	Protect, See Details	
767	Red Oak	Quercus rubra	31	Fair	Protect, See Details	
768	Green Ash	Fraxinus pennsylvanica subintegerrima	31	Fair	Protect, See Details	No replacement value-Ash borer
769	Red Oak	Quercus rubra	27	Fair	Protect, See Details	
771	Green Ash	Fraxinus pennsylvanica subintegerrima	31	Poor	Remove due to construction	N/A- prone to Ash Borer & poor
778	Norway Maple	Acer platanoides	28	Fair	Remove due to construction	N/A- Invasive
779	Green Ash	Fraxinus pennsylvanica subintegerrima	27	Fair	Do not remove, but do not protect	N/A- prone to Ash Borer



### TREE PROTECTION PLAN

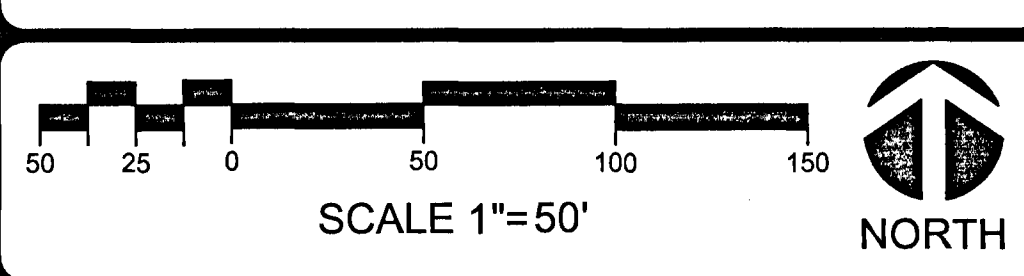
NOTE:  
ALL UTILITIES TO BE TUNNELED UNDER EXISTING TREES DESIGNATED TO BE PROTECTED.

### LEGEND

- Protect, See Details
- ✕ Remove
- ✕ Do not remove, but do not protect

RECEIVED  
St. Charles, IL  
CDD  
Planning Division

### TREE PRESERVATION PLAN



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**Lannert Group**  
 Landscape Architecture • Planning • Community Consulting  
 215 Fulton Street  
 Geneva, Illinois 60134  
 (630) 208-8088  
 Fax (630) 208-8050  
 http://www.lannert.com  
 tl@lannert.com

**COLLINS DEVELOPMENT CORP.**  
 303 E. MAIN STREET  
 ST. CHARLES, IL 60174  
 (630) 584-2500  
 (630) 584-1020 (f)

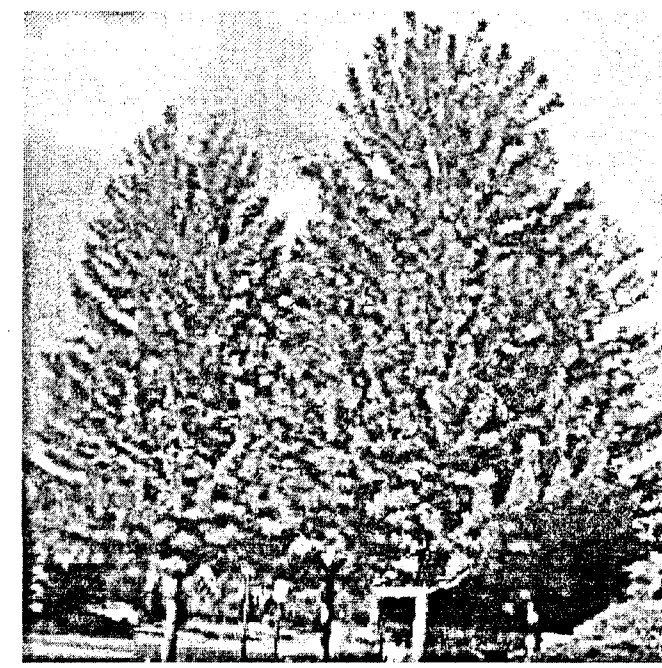
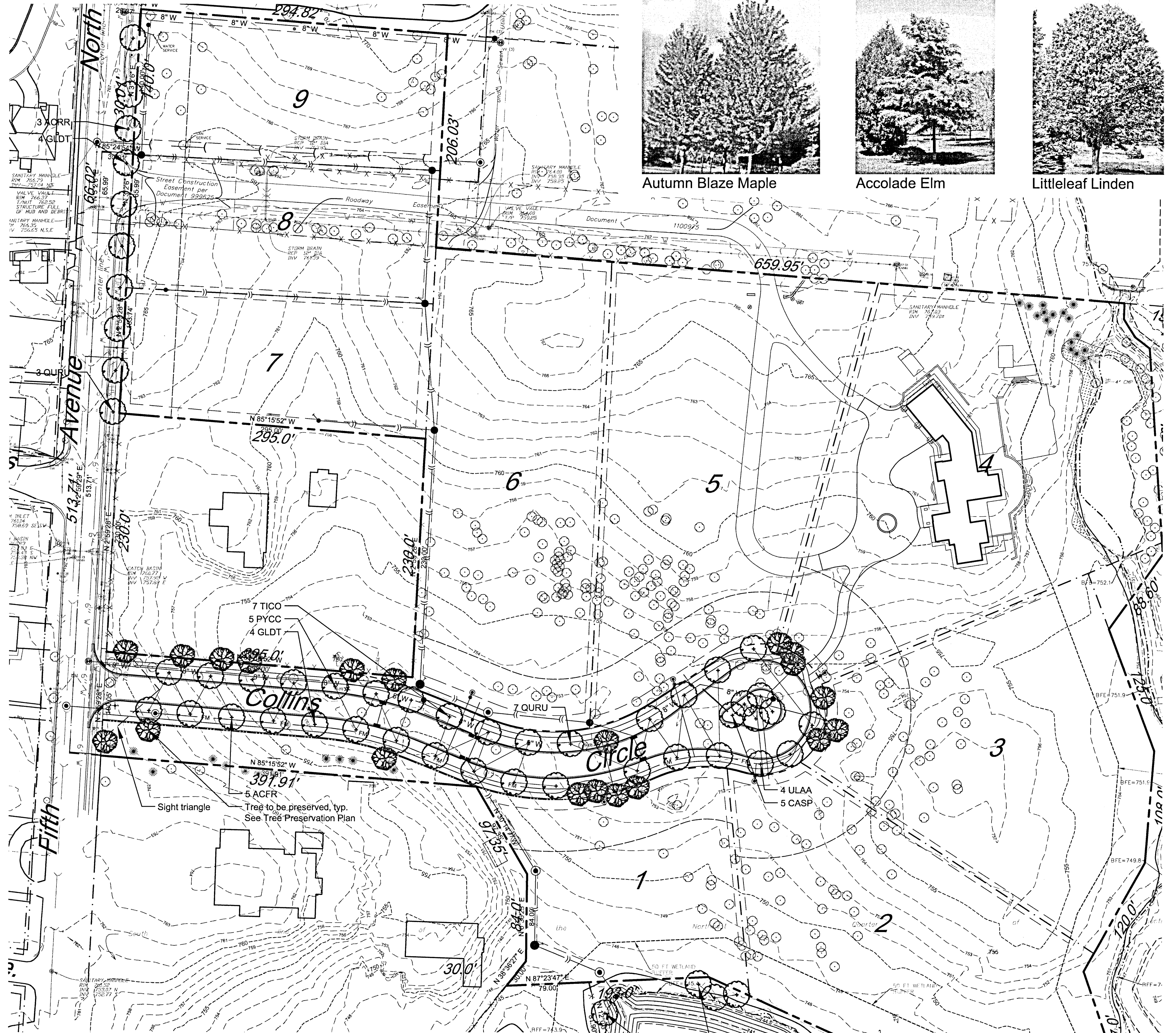
DRAWN BY: MN  
 DATE: 04/18/2012  
 REVISIONS:  
 JOB NO.: 0421

SHEET NUMBER  
2 OF 2



# DELNOR WOODS

## ST. CHARLES, ILLINOIS



Autumn Blaze Maple



Accolade Elm

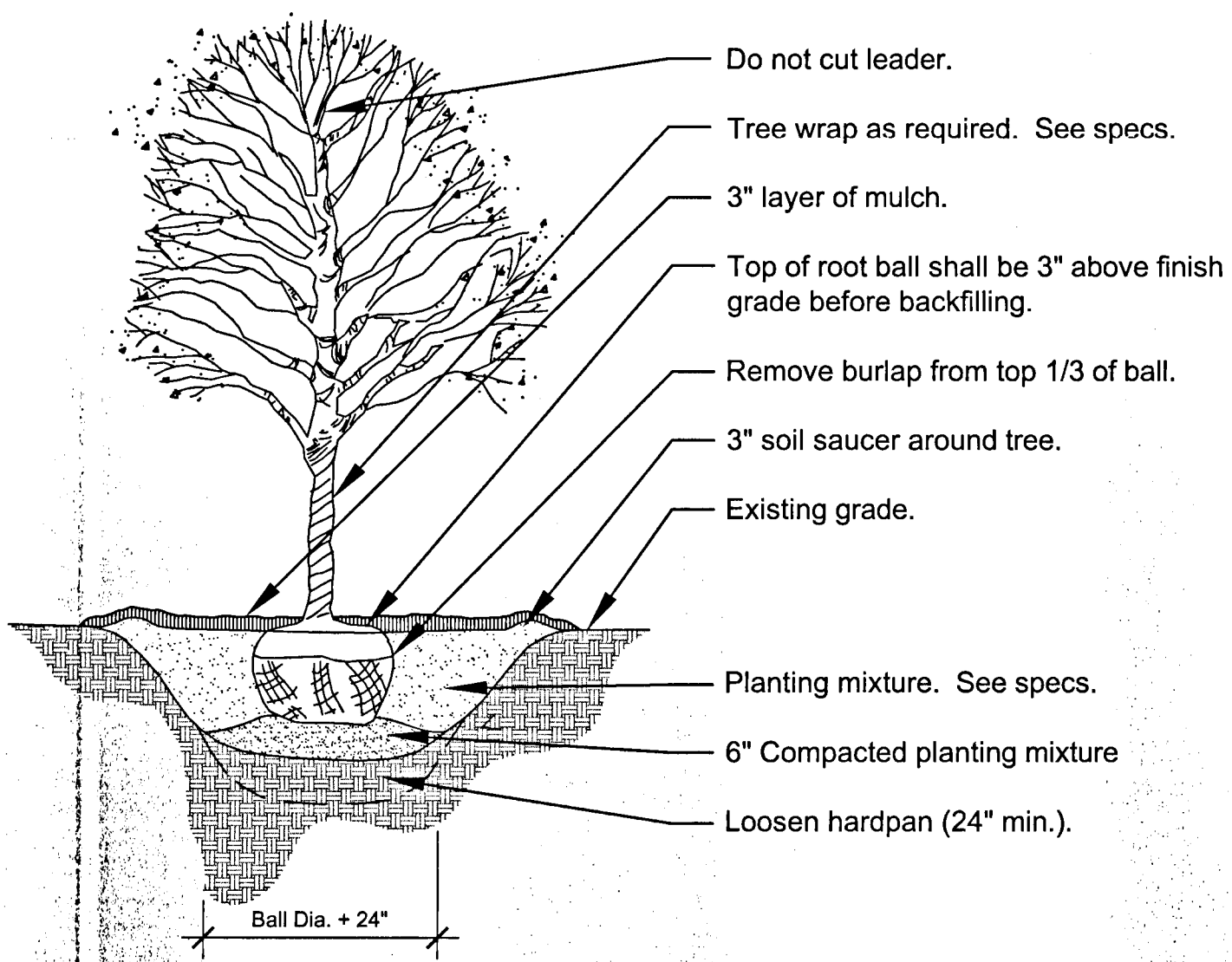
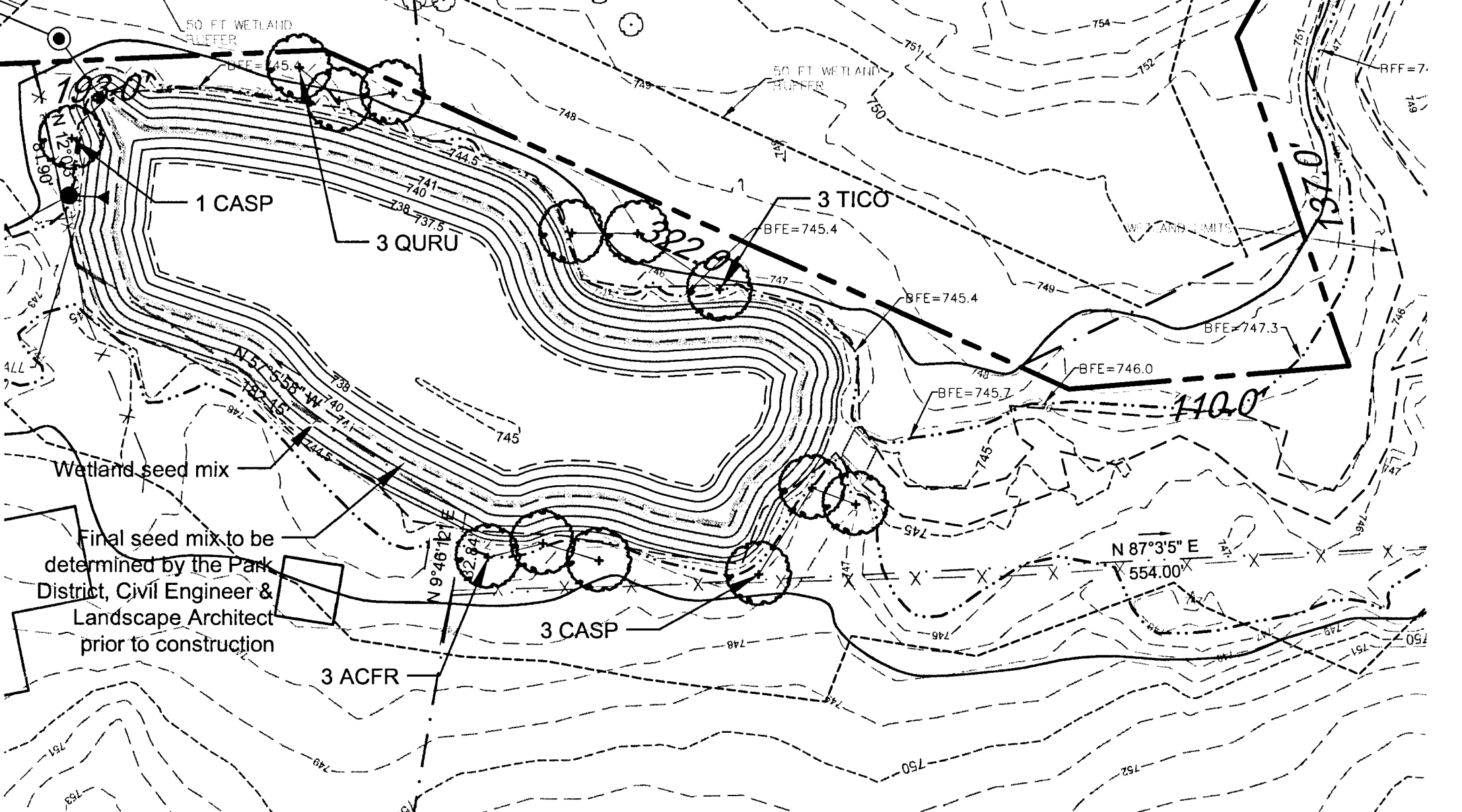


Littleleaf Linden

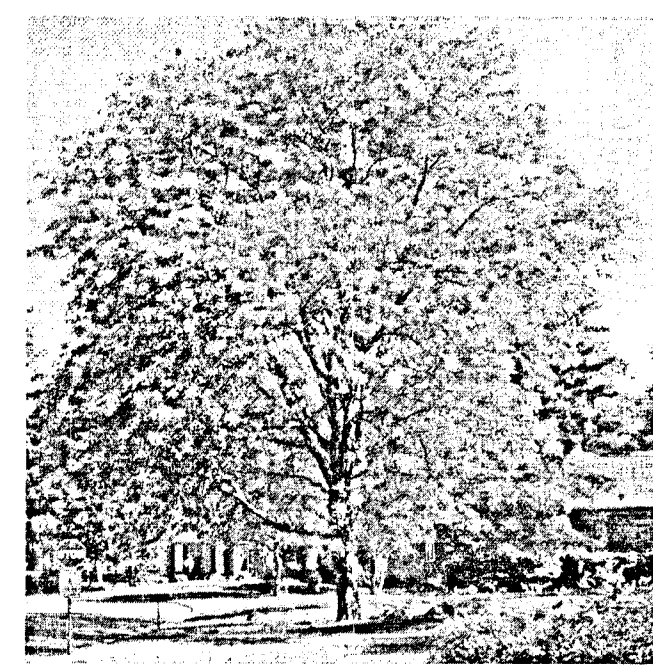
### Plant Material List

Deciduous Trees	Qty	Symbol	Botanical Name	Common Name	Size	Condition
	11	ACFR	Acer freemani	Autumn Blaze Maple	2.5" Cal.	B&B
	9	CASP	Catalpa speciosa	Catalpa Tree	2.5" Cal.	B&B
	8	GLDT	Gleditsia tricanthos inermis	Skyline Honeylocust	2.5" Cal.	B&B
	5	PYCC	Pyrus 'Chanticleer'	Ornamental Pear	2.5" Cal.	B&B
	13	QURU	Quercus rubra	Red Oak	2.5" Cal.	B&B
	10	TICO	Tilia cordata	Littleleaf Linden	2.5" Cal.	B&B
	4	ULAA	Ulmus japonica x wilsoniana 'Morton'	Accolade Elm	2.5" Cal.	B&B

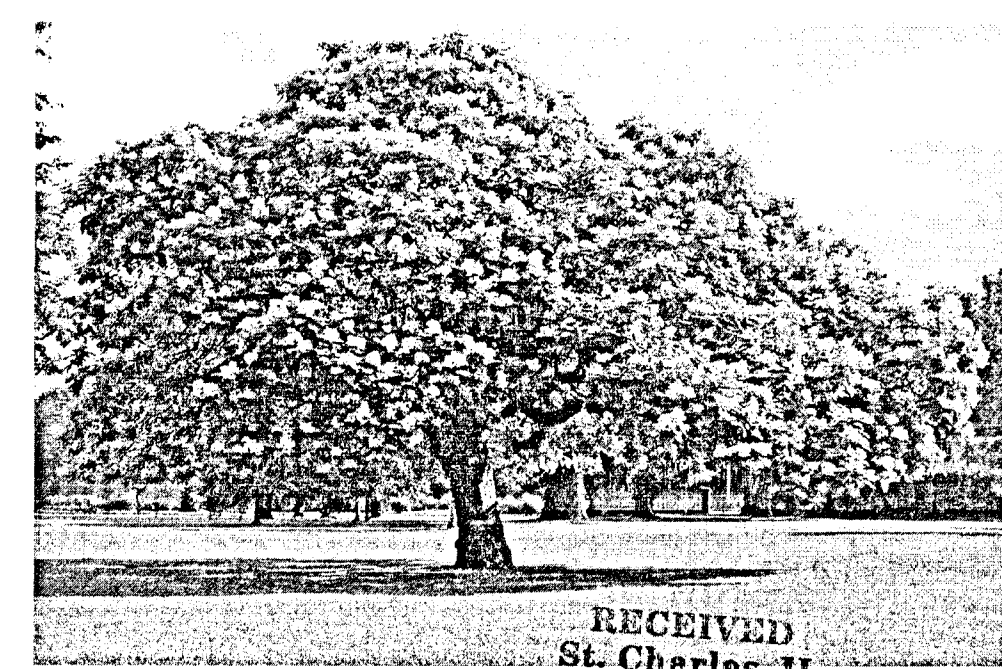
NOTE:  
MAINTAIN 10' OF SEPARATION BETWEEN  
STREET TREES AND UTILITY STRUCTURES.



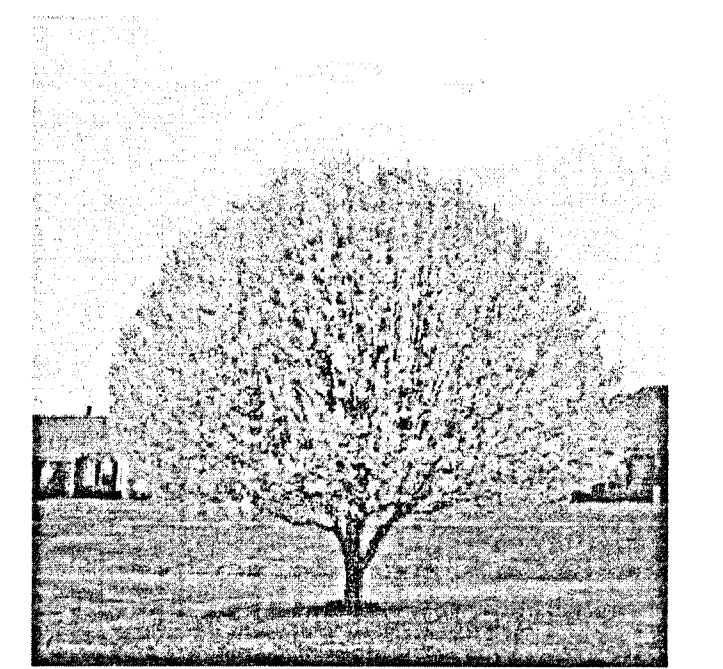
### 1 Deciduous Tree Planting



Skyline Honeylocust



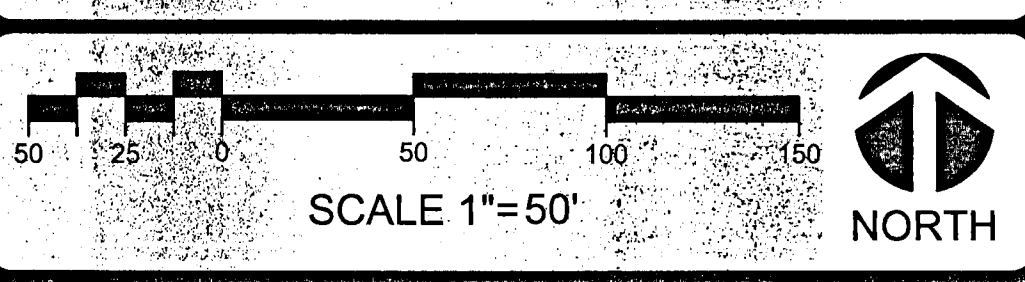
Catalpa



Ornamental Pear

CDD  
Planning Division

### LANDSCAPE PLAN



### Lannert Group

Landscape Architecture ■ Planning ■ Community Consulting  
215 Fulton Street  
Geneva, Illinois 60134  
(630) 208-8088  
Fax (630) 208-8050  
http://www.lannert.com  
tlg@lannert.com

### COLLINS DEVELOPMENT CORP.

303 E. MAIN STREET  
ST. CHARLES, IL 60174  
(630) 584-2500  
(630) 584-1020 (f)

DRAWN BY:	MAN
REVISIONS:	
DATE:	04/18/2012
JOB NO.:	0421



RECEIVED  
St. Charles, IL

Plat of Subdivision

# Delnor Woods Kane County Illinois

CDD  
Planning Division  
St. Charles

Illinois

- Indicates iron stake
- Indicates mag nail
- ▲ Indicates concrete monument

Note: Delnor Woods Homeowners' Association is to take ownership of and assume responsibility for maintenance of "open space" parcels.

Area of Subdivision = 14.716 Acres

Lot Areas (in square feet)

Lot	Total Area	Portion lying within Easements
1	40,149	6,441
2	70,718	3,091
3	71,927	3,519
4	96,300	4,800
5	84,311	8,421
6	76,203	10,763
7	37,058	6,638
8	37,900	5,319
9	40,069	9,589

This plat has been approved by the Illinois Department of Transportation with respect to roadway access pursuant to Section 2 of "An Act to revise the law in relation to plats," as amended. A plan that meets the requirements contained in the Department's "Policy on Permits for access Driveways to State Highways" will be required by the Department.

District Engineer

State of Illinois) Jss  
County of Kane)

This is to certify that the Joann N. Collins Trusts created under the Will of Dellora Norris Art IV (B) 2 (B) for the benefit of Chase Collins, Connor Collins, Hailee Collins, Jordan Collins, Philip Collins, James Collins, John Collins, William Collins and Jodee DeBates, acting through its Co-Trustees Jodee C. DeBates, John R. Collins and Harris, N.A., are the owners, by title derived through a certain Trustee's Deed recorded October 1, 2009 as document 2009K074143, of part of the land described in the foregoing surveyor's certificate and have caused the same to be surveyed, subdivided and platted as shown by the annexed plat, for the uses and purposes therein set forth as allowed and provided by statute, the subdivision to be known as "UNIT NO. 1, DELNOR WOODS, ST. CHARLES, KANE COUNTY, ILLINOIS" and they hereby acknowledge and adopt the same under the style and title aforesaid.

Dated at St. Charles, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Harris, N.A. executes this instrument not personally but as Co-Trustee as aforesaid and is not held liable in its individual capacity in any way by reason of the same. Any recourse hereunder is only to be held against the trust estate only.

Jodee C. DeBates, Co-Trustee

Harris, N.A., Co-Trustee

John R. Collins, Co-Trustee

By: \_\_\_\_\_  
Connie Wright, Trust Officer

Attest: \_\_\_\_\_

State of Illinois) Jss  
County of Kane)

I, \_\_\_\_\_, a Notary Public in and for the County and State aforesaid hereby certify that Connie Wright, Trust Officer of Harris, N.A., Jodee C. DeBates and John R. Collins, as Co-Trustees of Joann N. Collins Trust, who are personally known to me to be the same persons whose names are subscribed to the accompanying instrument, appeared before me this day in person and acknowledged the execution of said instrument as their free and voluntary act and as the free and voluntary act of said Joann N. Collins Trust.

Given under my hand and Notarial Seal, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Notary Public

State of Illinois) Jss  
County of Kane)

This is to certify that I, Joann N. Collins, am the owner of part of the land described in the foregoing surveyor's certificate and have caused the same to be surveyed, subdivided and platted as shown by the annexed plat for the uses and purposes therein set forth as allowed and provided by statute, the subdivision to be known as "DELNOR WOODS, ST. CHARLES, KANE COUNTY, ILLINOIS", and I hereby acknowledge and adopt the same under the style and title aforesaid.

Dated at St. Charles, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Joann N. Collins

State of Illinois) Jss  
County of Kane)

I, \_\_\_\_\_, a Notary Public in and for the County and State aforesaid hereby certify that Joann N. Collins, who is personally known to me to be the same person whose name is subscribed to the foregoing owner's certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as her free and voluntary act.

Given under my hand and Notarial Seal, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Notary Public

State of Illinois) Jss  
County of Kane)

This is to certify that North Star Trust Company, successor to Harris N.A., successor to Harris Bank St. Charles, as Trustee under Trust Agreement dated November 21, 1997 and known as Trust No. LT-2527, is the owner of part of the land described in the foregoing surveyor's certificate and has caused the same to be surveyed, subdivided and platted as shown by the annexed plat, for the uses and purposes therein set forth as allowed and provided by statute, the subdivision to be known as "DELNOR WOODS, ST. CHARLES, KANE COUNTY, ILLINOIS" and I hereby acknowledge and adopt the same under the style and title aforesaid.

Dated at St. Charles, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

By: \_\_\_\_\_ Attest: \_\_\_\_\_

State of Illinois) Jss  
County of Kane)

I, \_\_\_\_\_, a Notary Public in and for the County and State aforesaid hereby certify that \_\_\_\_\_, and \_\_\_\_\_ of North Star Trust Company, who are personally known to me to be the same persons whose names are subscribed to the accompanying instrument, appeared before me this day in person and acknowledged the execution of said instrument as their free and voluntary act and as the free and voluntary act of said North Star Trust Company.

Given under my hand and Notarial Seal, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Notary Public

State of Illinois) Jss  
County of Kane) Accepted and approved by the City Council of the City of St. Charles, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

By: \_\_\_\_\_ Mayor Attest: \_\_\_\_\_ City Clerk

State of Illinois) Jss  
County of Kane) This is to certify that I, John A. Cunningham, County Clerk in and for the County and State aforesaid, find no redeemable tax sale, unpaid forfeiture taxes or unpaid current taxes against any of the real estate described in the foregoing surveyor's certificate.

Dated at Geneva, Illinois, \_\_\_\_\_, 2013.

County Clerk

State of Illinois) Jss  
County of Kane) This instrument No. \_\_\_\_\_, was filed for record in the Recorder's Office of Kane County, Illinois, on the \_\_\_\_\_ day of \_\_\_\_\_, 2013, at \_\_\_\_\_ o'clock \_\_\_\_\_ M, and was recorded in Plat Envelope No. \_\_\_\_\_.

County Recorder

State of Illinois) Jss  
County of Kane) I, Mark W. Koenen, Director of Public Works of the City of St. Charles, Illinois do hereby certify that the required improvements have been installed or the required guarantee bond has been posted for the completion of all required land improvements.

Dated at St. Charles, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Director of Public Works

State of Illinois) Jss  
County of Kane) I hereby certify that there are no delinquent or unpaid forfeited special assessments or any deferred installations thereof that have not been apportioned against any of the land described on the attached plat.

Dated at St. Charles, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Collector of Special Assessments

State of Illinois) Jss  
County of Kane) Accepted and approved by the Plan Commission of the City of St. Charles, Kane County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

By: \_\_\_\_\_  
Chairman



State of Illinois) Jss  
County of Kane)

This is to certify that I, Carol A. Sweet-Johnson, an Illinois Professional Land Surveyor of Johnson-Western Surveying, L.L.C. (Illinois Professional Design Firm No. 184-005518) at the request of the owners thereof, have surveyed, subdivided and platted the following described property:

That part of the East Half of Section 27, Township 40 North, Range 8 East of the Third Principal Meridian described as follows: Commencing at the southeast corner of Lot 7, Delnor Park, Addition One, St. Charles, Kane County, Illinois; thence southerly along the easterly line extended of said Lot 650.16 feet to the northeast corner of a tract of land conveyed to James H. and Joann N. Collins by Document 1343018; thence westerly along the northerly line of said Collins tract forming an angle of 88°27' with the last described course (measured counterclockwise therefrom) 36.99 feet to the easterly line extended northerly of a tract of land described in Document 1221709 for a point of beginning; thence southerly along the easterly line extended of said tract described in Document 1221709 forming an angle of 9°35'38" with the prolongation of the last described course (measured counterclockwise therefrom) 206.03 feet to the northerly line extended westerly of a tract of land conveyed by Document 989947; thence easterly along the northerly line extended and northerly line of said tract conveyed by Document 989947 forming an angle of 9°35'38" with the last described course (measured clockwise therefrom) 659.95 feet; thence southerly along a line forming an angle of 93°09'08" with the last described course (measured counterclockwise therefrom) 15.42 feet; thence southerly along a line forming an angle of 146°51'06" with the last described course (measured clockwise therefrom) 20.46 feet; thence southerly along a line forming an angle of 159°49'05" with the last described course (measured clockwise therefrom) 17.61 feet; thence southerly along a line forming an angle of 131°53'22" with the last described course (measured counterclockwise therefrom) 198.76 feet; thence southwesterly along a line forming an angle of 219°14'07" with the last described course (measured clockwise therefrom) 88.60 feet; thence southerly along a line forming an angle of 124°12'12" with the last described course (measured clockwise therefrom) 125.0 feet; thence southerly along a line forming an angle of 155°08'48" with the last described course (measured counterclockwise therefrom) 108.0 feet; thence southwesterly along a line forming an angle of 155°26'54" with the last described course (measured counterclockwise therefrom) 120.0 feet; thence southerly along a line forming an angle of 132°13'03" with the last described course (measured clockwise therefrom) 137.0 feet; thence westerly along a line forming an angle of 76°14'39" with the last described course (measured counterclockwise therefrom) 110.0 feet; thence northwesterly along a line forming an angle of 209°31'31" with the last described course (measured clockwise therefrom) 322.0 feet; thence westerly along a line forming an angle of 152°50'29" with the last described course (measured clockwise therefrom) 193.0 feet to a southeasterly line of a tract of land conveyed by Document 1839107; thence northeasterly along said southeasterly line forming an angle of 48°47'22" with the last described course (measured counterclockwise therefrom) 30.0 feet to an angle in said southeasterly line; thence northerly along an easterly line of said tract conveyed by Document 1839107 forming an angle of 142°00' with the last described course (measured clockwise therefrom) 84.0 feet to an angle in said easterly line; thence northwesterly along a northeasterly line of said tract conveyed by Document 1839107 forming an angle of 149°08'28" with the last described course (measured clockwise therefrom) 97.35 feet to an angle in said northeasterly line; thence westerly along the northerly line of said tract conveyed by Document 1839107 forming an angle of 124°58'15" with the last described course (measured clockwise therefrom) 391.91 feet to the center line of Fifth Avenue North; thence northerly along said center line forming an angle of 88°15'20" with the prolongation of the last described course (measured clockwise therefrom) 513.71 feet to the northerly line extended westerly of said tract conveyed by Document 989947; thence continuing northerly along said center line 66.02 feet to the southerly line extended westerly of said Collins tract; thence easterly along said southerly line extended 30.01 feet to the easterly line of said Fifth Avenue North, said easterly line being 30.0 feet easterly of said center line (measured at right angles thereto); thence northerly along said easterly line 140.0 feet to the northwest corner of said Collins tract; thence easterly along the northerly line of said Collins tract forming an angle of 88°27' with the last described course (measured counterclockwise therefrom) 294.82 feet to the point of beginning, excepting therefrom that part thereof lying within said tract conveyed by Document 1221709, in the City of St. Charles, Kane County, Illinois and containing 14.716 acres.

I further certify that the plat hereon drawn is a correct and accurate representation of said survey and subdivision. All distances are shown in feet and decimal parts thereof.

I further certify that no part of the above described property is located within a special flood hazard area as identified by the Federal Emergency Management Agency (F.E.M.A.) based on flood insurance map community Panel Number 17089C0266H dated August 3, 2009.

I further certify that the property shown on the plat hereon drawn is situated within the corporate limits of the City of St. Charles, Illinois which has adopted an official comprehensive plan and that said premises are located within Community Unit School District No. 303.

Given under my hand and seal at Geneva, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

Illinois Professional Land Surveyor No. 035-003342  
License expiration date November 30, 2014

### UTILITY EASEMENT PROVISIONS

A permanent, non-exclusive easement is hereby reserved for and granted to the City of St. Charles, and to all public utility companies of any kind operating under franchise granting them easement rights from the City of St. Charles, including but not limited to, AT&T, Nicor Gas Company and to their successors and assigns in, upon, across, over, under and through the area shown by dashed lines and labeled "Public Utility Easement" on this plat of subdivision, for the purpose of installing, constructing, reconstructing, inspecting, operating, replacing, renewing, altering, enlarging, removing, repairing, cleaning and maintaining electrical, cable television, communication, gas, telephone or other utility lines or appurtenances, sanitary sewers, storm sewers, drainage ways, storm water detention or retention, water mains, and any and all manholes, hydrants, pipes, connections, catch basins, buffalo boxes, valves, and without limitation, such other installations as may be required to furnish public utility service to the subdivided area, and such appurtenances and additions thereto as said City and Utilities may deem reasonably necessary, together with the right of access thereto for the necessary personnel and equipment to do any or all of the above work. In the event utility installation or maintenance is performed within the utility easement, the City of St. Charles will have no obligation with respect to surface restoration including, but not limited to, the restoration, repair, or replacement of any landscaping provided; however, the grantees shall be obligated following any such work, to back fill and mound so as to retain suitable drainage, remove debris, and leave the area in a generally clean and workmanlike condition. The right is also hereby granted to said City and Utility companies to cut down, trim, or remove any trees, shrubs or other plants and objects that interfere with the operation of or access to said utility installations, in, on, upon, across, over or through said easement. Said easement may be used for planting of shrubs and landscaping and other purposes in accordance with final plan approval by said City of St. Charles, and provided such planting, landscaping or other purposes do not then or later interfere with the aforesaid uses and rights. Where said easement is used for storm or sanitary sewers, other utility installations shall be subject to the prior approval of said City of St. Charles, so as not to interfere with the gravity flow in said sewer or sewers.



## AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommendation to approve a Minor Change to PUD Preliminary Plans for Stuart's Crossing PUD (shopping center signs)
Staff:	Russell Colby, Planning Division Manager

*Please check appropriate box:*

	Government Operations		Government Services
X	Planning & Development (2-11-13)		City Council

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

**Executive Summary:**

The applicant, Olympic Signs, on behalf of the owner, Inland Real Estate Corporation, is proposing to modify signs for the Stuart's Crossing PUD Shopping Center located at the northeast corner of Kirk Road and East Main Street. The owners have indicated that the lack of visibility and signage for the shopping center has hindered the attraction and retention of tenants.

The following changes are proposed:

- The existing sign at Kirk Rd. & Foxfield Dr. will remain unchanged.
- The existing sign at Kirk Rd. & Main St. will be removed and replaced with a new, larger sign with room for additional sign panels. The overall height will remain the same but the sign face area will increase.
- A new smaller multi-tenant sign will be added along Kirk Rd. at the right-in/right-out access located at the center of the shopping center.
- Landscaping around the new signs will be modified and enhanced.

Staff has reviewed the proposed signs for compliance with the standards established by the PUD and the Zoning Ordinance, as detailed in the Staff Report.

**Attachments:** *(please list)*

Staff Report dated 1/30/13; Application Materials; Sign Drawings; Landscape Plans

**Recommendation / Suggested Action** *(briefly explain):*

Recommend approval of the Minor Change to PUD Preliminary Plans for Stuart's Crossing PUD (shopping center signs).

<i>For office use only:</i>	<i>Agenda Item Number: 3b</i>
-----------------------------	-------------------------------

Community Development  
 Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



ST. CHARLES  
 SINCE 1834

**Staff Report**

**TO:** Chairman Cliff Carrigan  
 And the Planning & Development Committee

**FROM:** Russell Colby  
 Planning Division Manager

**RE:** Minor Change to PUD Preliminary Plan – Stuarts Crossing PUD (Shopping Center Signs)

**DATE:** January 30, 2013

**I. APPLICATION INFORMATION:**

**Project Name:** Minor Change to a PUD Preliminary Plan for Stuarts Crossing PUD

**Applicant:** Ed Pyter of Olympic Signs, for Inland Real Estate Corporation, owner

**Purpose:** Replace and add new Shopping Center signs

<b>General Information:</b>		
<b>Site Information</b>		
Location	Northeast corner of Kirk Road and East Main Street	
Acres	22.5 acres (total shopping center)	
Applications:	<b>Minor Change to a PUD Preliminary Plan</b>	
Applicable Zoning Code Sections	17.04.430 Changes in Planned Unit Development Stuarts Crossing PUD Ordinances #1997-M-115 and 1999-M-43	
<b>Existing Conditions</b>		
<b>Land Use</b>	Shopping Center	
<b>Zoning</b>	BR – Regional Business (PUD)	
<b>Zoning Summary</b>		<b>Current Land Uses</b>
<b>North</b>	RM-2 Medium Density Multi-Family (PUD)	Staurt’s Crossing Townhomes
<b>East</b>	OR- Office Research	Charlestowne Mall
<b>South</b>	BR- Regional Business (PUD)	Main Street Commons
<b>West</b>	BC- Regional Business (PUD)	St. John Neumann Church
<b>Comprehensive Plan Designation</b>		
Retail & Service		



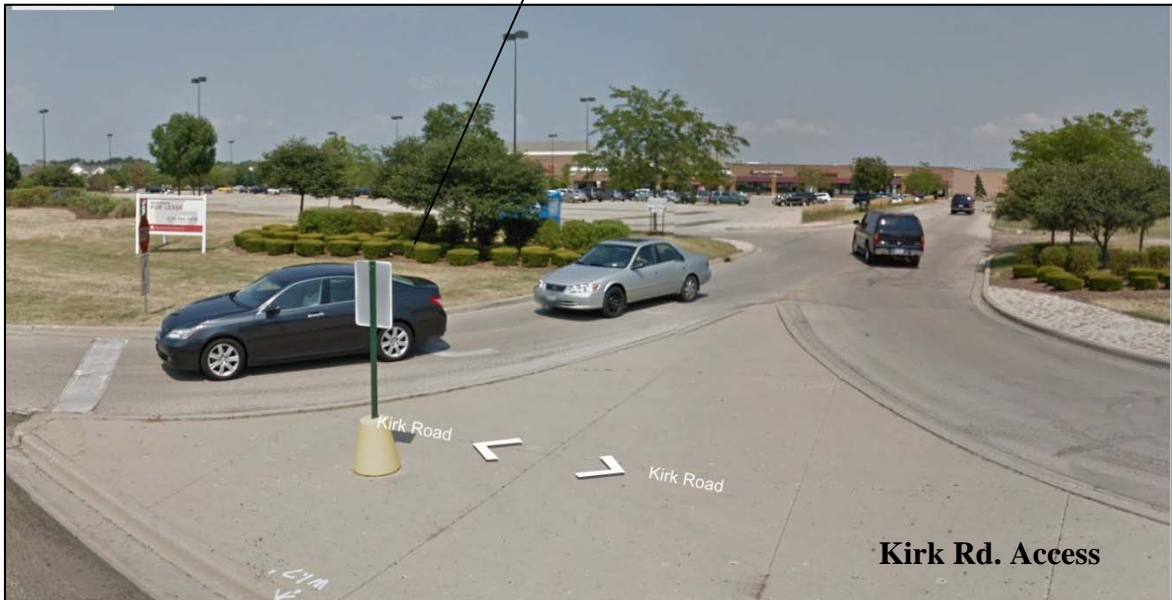
**Aerial Photo**



Sign to be replaced with larger sign



New sign location



## **II. BACKGROUND:**

In 1997, the City approved Ordinance 1997-M-115, which approved the Stuart’s Crossing PUD. In 1999, the sign requirements for the shopping center were amended by Ordinance 1999-M-43. PUD Preliminary Plans for the shopping center, including the freestanding signs, were approved by Resolution 1999-35.

Freestanding signs for the shopping center currently consist of two, 15 ft. tall signs with brick columns and a peaked roof shape designed to match the Jewel building. One sign is located at the southeast corner of Kirk Rd. and Foxfield Drive. The other sign is located at the northeast corner of Kirk Rd. and Main Street. The design of the signs leaves a limited area for advertising space.

## **III. PROPOSAL:**

The applicant, Olympic Signs, on behalf of the owner, Inland Real Estate Corporation, is proposing to modify one of the existing freestanding signs and add an additional freestanding sign. The owners have indicated that the lack of visibility and signage for the shopping center has hindered the attraction and retention of tenants.

The following changes are proposed:

- The sign at Kirk Rd. & Foxfield will remain unchanged.
- The existing sign at Kirk Rd. & Main St. will be removed and replaced with a new, larger shopping center sign.
  - The sign face area will be larger than the existing sign but the same overall height.
  - The sign will accommodate a larger sign panel for Jewel Osco and a greater number of individual tenant sign panels.
  - Landscaping around the sign will be modified and enhanced.
- A new smaller sign will be added along Kirk Rd. at the right-in/right-out access located near the center of the shopping center.
  - The sign will be a smaller version of the larger sign proposed along Main St.
  - Landscaping around the sign will be modified and enhanced.

## **IV. ANALYSIS:**

Staff has reviewed the proposed signs for compliance with the standards established by the PUD. The proposed signs comply with the provisions of PUD Ordinances 1997-M-115 and 1999-M-43 and shown in the table below.

**Table 1**

<b>Category</b>	<b>Permitted Per ORD 1999-M-43 (Stuarts Crossing PUD)</b>	<b>Proposed</b>
<b>Freestanding Signs:</b>		
<i>Total Number of Signs</i>	1 per street frontage; 1 sign may be a shopping center sign	3, 1 per street frontage on Foxfield Dr., Kirk Rd. & Main St.
<i>Freestanding Sign #1- Shopping Center Sign (Replacement for Main St. Sign)</i>		
• Size	200 sq. ft. max.	144 sq. ft.
• Height	15 ft. max.	15 ft.
• Setback	35 ft. to Kirk Rd. 25 ft. to Main St.	35 ft. to Kirk Rd. 25 ft. to Main St.
<i>Freestanding Sign #2 (Proposed Kirk Rd. Sign)</i>		
• Size	50 sq. ft. max	48 sq. ft.
• Height	8 ft. max.	8 ft.
• Setback	35 ft. to Kirk Rd.	35 ft. to Kirk Rd.
<i>Freestanding Sign #3 (Existing Foxfield Rd. Sign)</i>		
• Size	50 sq. ft. max	50 sq. ft.
• Height	15 ft. max.	15 ft.
• Setback	35 ft. to Kirk Rd. 10 ft. to Foxfield Dr.	35 ft. to Kirk Rd. 10 ft. to Foxfield Dr.

**V. RECOMMENDATION**

Staff recommends approval of the Application for a Minor Change to the Preliminary Plan for the Stuarts Crossing PUD for shopping center signs.



# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## MINOR CHANGE TO PUD APPLICATION

**Received/Date**  
**St. Charles, IL**

JAN 11 2013

**CDD**  
**Planning Division**

**CITYVIEW**  
Project Name: Stuarts Crossing PUD - minor change

Project Number: 2013 -PR- 002

Application No. 2013 -AP- 002

**Instructions:**

*A Minor Change to PUD is one that modifies an approved PUD Preliminary Plan in a manner that complies with all standards of the Special Use for PUD Ordinance applicable to the property and meets the definition of a Minor Change as contained either in Section 17.04.430 of the Zoning Ordinance or the Special Use for PUD Ordinance.*

*To request approval of a Minor Change, complete this application and submit it with all required attachments to the Planning Division. When the application is complete, City staff will schedule a review by the Planning and Development Committee of the City Council. The Committee's recommendation will be forwarded to the City Council for final action.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Parcel Number (s): <u>09-25-178-002</u> <u>09-25-178-003</u> <u>09-25-178-001</u> <u>09-25-128-001</u>	
	Street Address (or common location if no address is assigned): <u>502-652 KIRK RD</u>	
<b>2. Applicant Information:</b>	Name <u>OLYMPIC SIGNS, INC (EDWARD PYTER)</u>	Phone <u>(630) 424-6100</u>
	Address <u>1130 N. GARFIELD</u> <u>LOMBARD, IL 60148</u>	Fax <u>(630) 424-6120</u>
		Email <u>EPYTER@OLYSIGNS.COM</u>
<b>3. Record Owner Information:</b>	Name <u>INLAND REAL ESTATE CORPORATION</u>	Phone <u>(630) 218-5262</u>
	Address <u>ATTN: LARRY MAYNARD</u> <u>2901 BUTTERFIELD RD</u> <u>OAK BROOK, IL 60523</u>	Fax <u>(630) 218-5270</u>
		Email <u>MAYNARD@INLANDREALESTATE.COM</u>
<b>4. Billing:</b> <i>To whom should costs for this application be billed?</i>	Name <u>OLYMPIC SIGNS, INC (EDWARD PYTER)</u>	Phone <u>(630) 424-6100</u>
	Address <u>1130 N. GARFIELD</u> <u>LOMBARD, IL 60148</u>	Fax <u>(630) 424-6120</u>
		Email <u>EPYTER@OLYSIGNS.COM</u>

**INFORMATION FOR PROPOSED MINOR CHANGE:**

NAME OF PUD: STUART'S CROSSING

PUD ORDINANCE #: 1999-M-43

Identify Specific PUD Plans to be changed:

1. SIGNAGE
2. \_\_\_\_\_
3. \_\_\_\_\_

Description of Proposed Changes:

NEW FREE STANDING SIGNS

\_\_\_\_\_

\_\_\_\_\_

***Attachment Checklist***

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- PROOF OF OWNERSHIP and DISCLOSURE:**
  - a) a current title policy report; or
  - b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

- LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper
- PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- COVER LETTER:** describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.

□ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

- Initial Submittal - Fifteen (15) full size copies, Three (3) 11" by 17", and a PDF electronic file on a CD-ROM.

**Plans Shall include the following:**

- Site Plan indicating location of proposed change.
- Existing streets on and adjacent to the tract.
- Architectural elevations showing existing/approved and proposed building design, color and materials (if applicable)
- If change is proposed to landscaping, show approved and proposed drawings, indicate species and quantities of plant material to replace existing/approved materials.

*Additional information may be necessary depending on the specific change proposed.*

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

Karyn Meyer INLAND R.E. 1/7/2013  
Record Owner Date

Stewart Hoff OLYMPIC SIGNS 1-8-13  
Applicant or Authorized Agent Date

OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)

STATE OF ILLINOIS )  
 ) SS.  
KANE COUNTY )

I, Beth Sprecher Brooks, being first duly sworn on oath depose and say that I am Sr. Vice President of the managing member of Inland Stuart's Crossing, L.L.C., a Delaware limited liability company and Inland Stuart's Crossing <sup>Delaware</sup> ~~Illinois~~ Limited Liability ~~Company~~ Small Shops, L.L.C., an Illinois Limited Liability

Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

Inland Real Estate Corporation, a Maryland corporation  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

By: Beth Sprecher Brooks, Manager Sr. Vice President

Subscribed and Sworn before me this 3rd day of December, 20 12.

Katherine M. Dawson  
Notary Public



RECEIVED  
St. Charles, IL

JAN 11 2013



CDD  
Planning Division

1130 N. Garfield, Lombard, IL 60148  
www.oly signs.com

Phone: 630/424-6100  
Fax: 630/424-6120

City Of St. Charles  
Two East Main Street  
St. Charles, IL 60174

Re: Stuart's Crossing Shopping Center  
502-652 Kirk Road  
St. Charles, IL

To Whom it may Concern:

Inland Real estate Corporation the owner of Stuart's Crossing Shopping Center is seeking approval for a minor change to the existing PUD agreement. Stuart's Crossing is a 86,000 sq.foot shopping center situated near the intersection of Main Street (Rt. 64) and Kirk Road. The shopping center was developed about 15 years ago with Jewel-Osco as the anchor tenant. Since then the business climate has changed and much of the surrounding area has been developed. New shopping centers and retail development have made it more competitive to retain existing tenants and attract new business to Stuart's Crossing. Current and potential tenants have expressed the need for improved exposure through more effective street front pylon signage. Especially since the shopping center is set back over 250 feet from Kirk Road and has no exposure along Main Street (Rt. 64).

Inland Real Estate Corporation is seeking approval to:

- 1) Replace the existing monument sign at the corner of Main Street (Rt.64) and Kirk Road.
- 2) Install a new sign by the Kirk Road Ingress-Egress for the shopping center.

The request complies with signage agreements per the original PUD agreement 1999-M-43. Inland Real Estate believes the new signage will benefit all involved and looks forward to working with the city of St. Charles throughout the review and application process.

Sincerely Yours  
Edward Pyter  
c/o Inland Real Estate Corp.

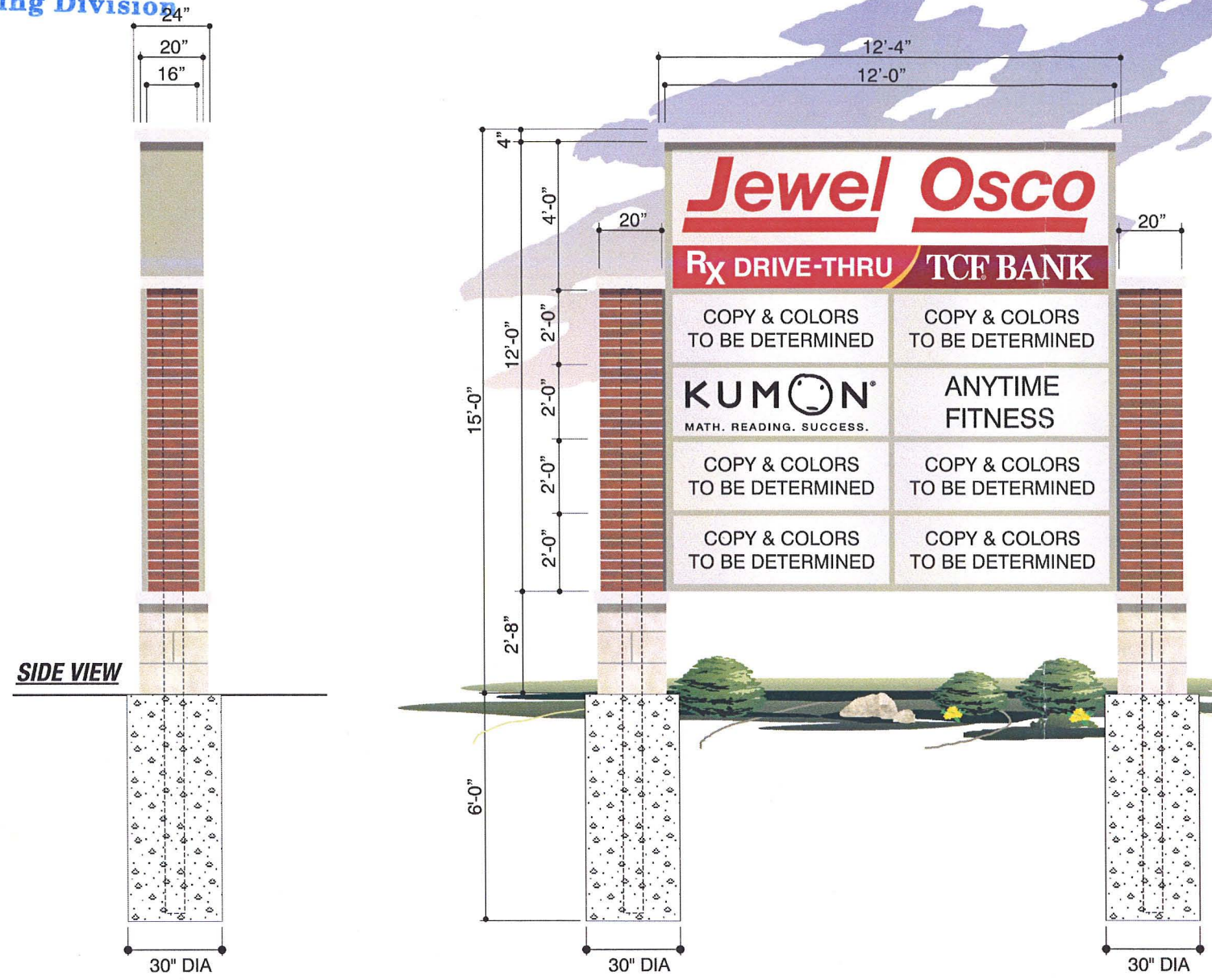
A handwritten signature in black ink, appearing to read "Edward Pyter".

1/8/2013

RECEIVED  
St. Charles, IL

JAN 11 2013

CDD  
Planning Division



**D/F INT. H. O. FLO. ILLUMINATED DISPLAY 1/4" = 1'-0"**

ALUMINUM CAPS, PMS #1C COOL GREY PAINTED FINISH.

ALUMINUM CABINET, RETAINERS & H-BARS, BM AC-28 WINTER GATES GREY PAINTED FINISH. WHITE LEXAN TENANT PANELS W/ VINYL APPLIED GRAPHICS TO BE ADVISED.

BY OTHERS;  
MASONRY PIERS W/ PRE-CAST CAPS & SPLIT FACE STONE BASES W/ PRE-CAST SILLS TO MATCH BUILDING.



account representative: E PYTER / client: STUARTS CROSSING / drawn by: JOHN W

1130 N. Garfield Lombard, IL 60148 Ph.# 630.424.6100 Fx.# 630.424.6120 WWW.OLYSIGNS.COM

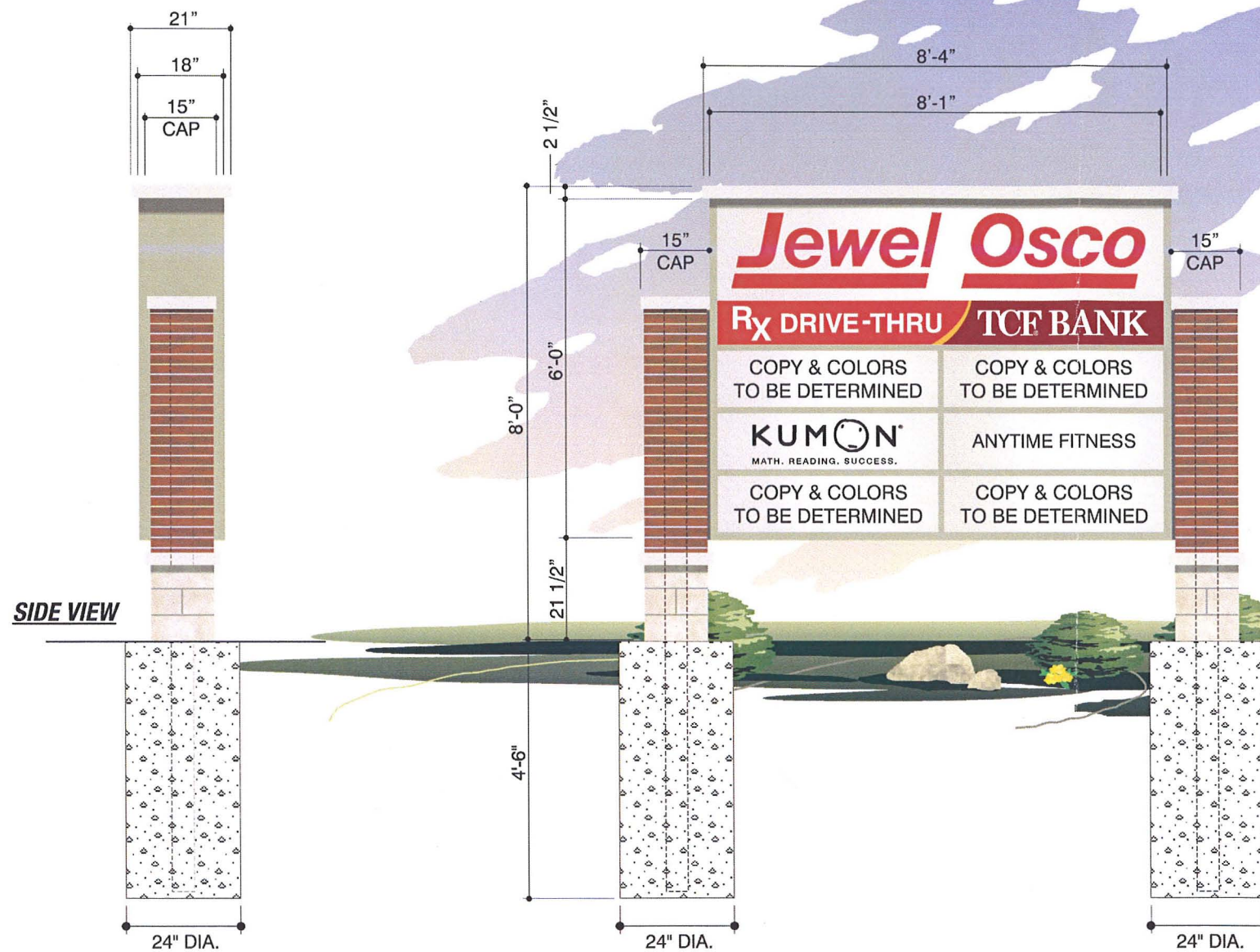
job#: 10-4249  
5-20-10  
rev.# 1-8-13

Customer's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

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**D/F INT. H. O. FLO. ILLUMINATED DISPLAY 3/8" = 1'-0"**

ALUMINUM CAPS, PMS #1C COOL GREY PAINTED FINISH.

ALUMINUM CABINET, RETAINERS & H-BARS, BM AC-28 WINTER GATES GREY PAINTED FINISH. WHITE LEXAN TENANT PANELS W/ VINYL APPLIED GRAPHICS TO BE ADVISED.

BY OTHERS; MASONRY PIERS W/ PRE-CAST CAPS & SPLIT FACE STONE BASES W/ PRE-CAST SILLS TO MATCH BUILDING.

Customer's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

**OLYMPIC  
SIGNS**

1130 N. Garfield Lombard, IL 60148 Ph.# 630.424.6100 Fx.# 630.424.6120 [WWW.OLYSIGNS.COM](http://WWW.OLYSIGNS.COM)

account representative  
E PYTER

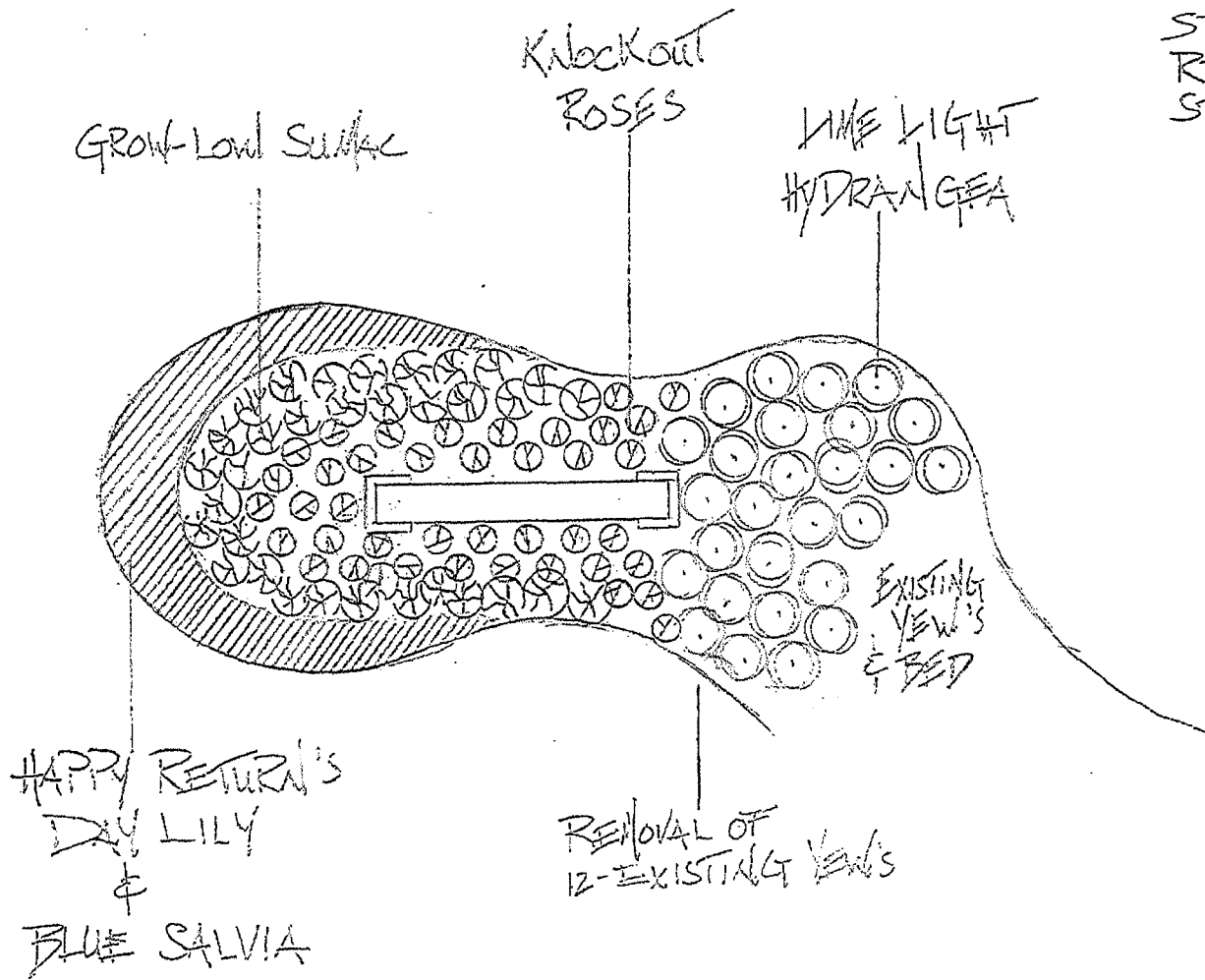
client  
**STUARTS CROSSING**  
RT 64 & KIRK RD. ST. CHARLES, IL

drawn by  
JOHN W

• job#: 10-4249  
• 5-20-10  
• rev.# 8-31-12

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STUARTS CROSSING  
RT #64 & KIRK RD.  
ST. CHARLES IL

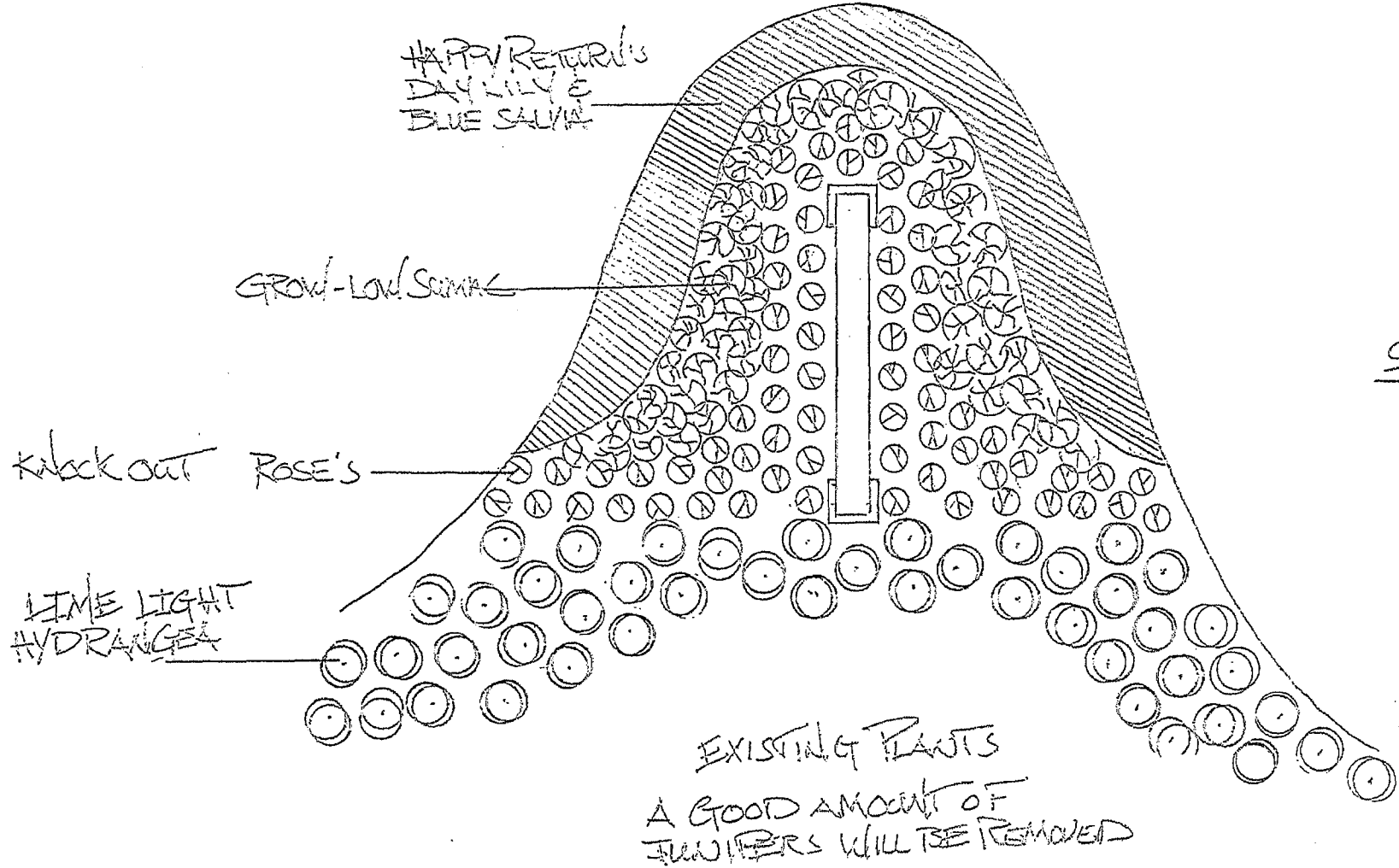


NORTH SIGNAL

1/4" = 1'



STUARTS, CROSSING  
RT # 64 @ KIRK RD  
ST. CHARLES ILL



SOUTH SIDE  
1/4" = 1'



## AGENDA ITEM EXECUTIVE SUMMARY

Title: Discussion Regarding the Transfer of City Owned Property for the Operation Finally Home Program

Presenter: Matthew O'Rourke

*Please check appropriate box:*

	Government Operations		Government Services
X	Planning & Development (2-11-13)		City Council
	Public Hearing		

Estimated Cost:		Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

N/A

**Executive Summary:**

In July 2010, John Hall Jr. presented the concept of building a new residence for an injured military veteran as part of the "Operation Finally Home" program in St. Charles.

Prior to the July meeting, Mr. Hall had been working with staff to find a suitable location for this home. Staff had performed a site search and preliminary analysis of City-owned residential properties that might be suitable. The most appropriate site(s) are a grouping of City-owned properties located south of Park Ave. just to the west of Rt.25 (See attached location map). In 2010, the P&D Committee directed staff to proceed with the formal process to transfer these properties to Mr. Hall at no cost.

Since that meeting, Mr. Hall Jr. has been working with local building organizations to pursue the project. He has since organized a group of building/construction professionals and is now ready to move forward.

Given the length of time that has passed since 2010, staff and Mr. Hall would like to reconfirm the Committee's continued interest in utilizing this site as a potential location for the Operation Finally Home program and transferring the property at no cost. If the Committee is agreeable to this concept, there will be a formal process required to transfer and subdivide the property and this item will appear before the Committee again for a formal recommendation.

**Attachments:** *(please list)*

Location Map

**Recommendation / Suggested Action** *(briefly explain):*

Consider the transfer of the identified sites for the benefit of the Operation Finally Home program, and provide further direction to staff and to John Hall Jr.

<i>For office use only:</i>	<i>Agenda Item Number: 3c</i>
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Data Source:  
City of St. Charles, Illinois  
Kane County, Illinois  
Dupage County, Illinois

Projection: Transverse Mercator  
Coordinate System: Illinois State Plane East  
North American Datum 1983

Printed on June 14, 2010 10:34:02 AM CDT  
By: C:\anonmark



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ST. CHARLES  
SINCE 1834

## AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommendation to Approve an Ordinance Amending Title 13, “Public Utilities” Section 13.16.130 “Service pipes – Shutoff valves” and Section 13.20.100 “Violation – Service discontinuance,” Title 15, “Buildings and Construction” Section 107.2.5.2 “Engineering Plan” and Title 16, “Subdivisions and Land Improvements” Appendix E, of the St. Charles Municipal Code
Presenter:	Christopher Tiedt

*Please check appropriate box:*

	Government Operations		Government Services
X	Planning & Development (2-11-13)		City Council

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

**Executive Summary:**

This is a set of Ordinance amendments initiated by Staff to address inconsistencies, inadvertent omissions, and errors relating to the comprehensive ordinance update of Title 16 approved on September 17, 2012.

The proposed amendments to Title 13 and 15 will correct references that are no longer valid as a result of the updated Title 16. Proposed changes to Appendix E of Title 16 contain revisions to the Preliminary Engineering Plan and Final Engineering Plan checklists that will further clarify information being provided to and requested of the applicant.

**Attachments:** *(please list)*

Proposed Ordinance

**Recommendation / Suggested Action** *(briefly explain):*

Staff recommends approval of the Ordinance amending Title 13, “Public Utilities” Section 13.16.130 “Service pipes – Shutoff valves” and Section 13.20.100 “Violation – Service discontinuance,” Title 15, “Buildings and Construction” Section 107.2.5.2 “Engineering Plan” and Title 16, “Subdivisions and Land Improvements” Appendix E of the St. Charles Municipal Code.

<i>For office use only:</i>	<i>Agenda Item Number: 3d</i>
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**City of St. Charles, IL**  
**Ordinance No. 2013-M-\_\_\_\_\_**

**An Ordinance Amending Title 13, “Public Utilities” Section 13.16.130  
“Service pipes – Shutoff valves” and Section 13.20.100 “Violation – Service  
discontinuance,” Title 15, “Buildings and Construction” Section 107.2.5.2  
“Engineering Plan” and Title 16, “Subdivisions and Land Improvements”  
Appendix E of the St. Charles Municipal Code**

WHEREAS, The City has previously approved a comprehensive amendment to Title 16, “Subdivisions and Land Improvement”.

NOW THEREFORE, BE IT ORDAINED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as if fully set out in this Section 1.

2. That Chapter 13.16 “Water” Section 13.16.130 “Service pipes – Shutoff valves” be deleted in their entirety and replaced by the following:

“Shutoff valves or curb stops shall be placed on every domestic service pipe, and shall be located between the curb line and the sidewalk line where practical, as determined by the city, but not located in driveways. Such boxes shall be so located that they are easily accessible and shall be protected from frost. Individual service lines shall be installed at locations which require a unique fire suppression service line in addition to the domestic water service line. All domestic and fire suppression service lines shall have shutoff valves installed in accordance with the City of St. Charles Engineering Design and Inspection Policy Manual.”

3. That Chapter 13.20 “Cross-connection Control” Section 13.20.100 “Violation- Service discontinuance” be deleted in its entirety and replaced by the following:

“The Director of Public Works of the city is hereby authorized and directed to discontinue, after notice to the customer in the manner hereinafter provided, the water service to any property wherein any connection in violation of the provisions of this chapter is known to exist, and to take such other precautionary measures as he may deem necessary to eliminate any danger of contamination of the public water supply distribution mains. Water service to such property shall not be restored until such conditions have been eliminated or corrective action is taken in compliance with the provisions of this chapter, and until a reconnection fee in accordance with Section 13.16.040 hereof is paid to the city.”

4. That Chapter 15.101 “Administration, Enforcement, Fees, and Penalties” Section 107.2.5.2 “Engineering Plan” be deleted in its entirety and replaced by the following:

“For building permit applications that include Land Improvements as defined in Title 16 “Subdivisions and Land Improvement”, an Engineering Plan shall be submitted with the Site Plan. The Engineering Plan shall be in substantial conformance to and show the necessary items identified in Title 16, “Appendix E - Drawing Requirements / Checklist – Final Engineering Plans.” of the St. Charles Municipal Code.”

5. That Title 16, “Subdivisions and Land Improvements” Appendix E be deleted in its entirety and replaced by the following

See Exhibit A

6. That after the adoption and approval hereof this Ordinance shall be (i) printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of February 2013.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of February 2013..

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of February 2013.

\_\_\_\_\_  
Donald P. DeWitte, Mayor

Attest:

\_\_\_\_\_  
City Clerk/Recording Secretary

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

DATE: \_\_\_\_\_

**Exhibit A**

**(Title 16, “Subdivisions and Land Improvement” Appendix E of the St. Charles  
Municipal Code)**

APPENDIX E  
CHECKLISTS



## DRAWING REQUIREMENTS / CHECKLIST

### Preliminary Engineering Plans



\_\_\_\_\_  
Name of Subdivision

\_\_\_\_\_  
Date of Submission

**NOTE:** To properly execute this checklist, the developer or his engineer shall:

1. Insert the required information.
2. Denote compliance with applicable ordinances by placing his initials in all spaces where applicable.
3. Denote those items, which the Subdivider considers "not applicable" to this particular subdivision by checking the box marked "N/A."

#### Format/Cover Sheet:

<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	Yes	No	N/A
1. Appropriate number of copies of preliminary plan submitted	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Plans are prepared on 24-inch by 36-inch sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Plan scale is not less than 1" to 50'	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Minimum profile scale is 1" to 50' horizontal and 1" to 10' vertical	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. A title sheet is included with each set of preliminary plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Name of proposed subdivision is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Location given by town, range, section, or other legal description	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Name and address of owner, trust, corporation or Subdivider having control of project is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Name and seal of registered engineer or surveyor who prepared topographic survey is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Name and address of the designer of the plan is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. North direction is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Date of preparation and date of revision, if any, is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. A location map is included indicating	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. A scale of not less than 1" to 1000'	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Use of surrounding land	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Ownership of the surrounding land	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. Alignment of existing streets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. Section and corporate lines	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Boundary line of proposed subdivision is clearly shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
15. Total approximate acreage is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Existing zoning classification is indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Include the following <b>Existing</b> information within subdivision boundaries and up to 100' outside of the subdivision boundary	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Previously platted streets and other rights-of-way, with improvements, if any, indicating	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Widths	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Names	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Railroad rights-of-way, indicating	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Dimensions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Utility rights-of-way, indicating	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Width	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Types	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Gas	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Telephone/ Communications	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Electric	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. Parks and other open spaces indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. Easements, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Width	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Purpose (i.e. utility, drainage, stormwater, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
F. Permanent buildings and structures, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Setback lines	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b><i>ITEMS TO BE INCLUDED</i></b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
3. Name of owners	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
G. Section and corporate lines	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
H. Sanitary Sewers, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Manholes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Material	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Invert elevation at manholes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I. Water mains, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Material	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Valves, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. Valve manhole, or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Valve box	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Fire hydrants and auxiliary valves	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
J. Culverts, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Type	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Material	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Invert elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
J. Storm sewers, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Material	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Catchbasins	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Invert elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
L. Watercourses, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Type	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. High-water location and elevation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Width of easement	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Location of easement	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
5. Dimensions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. FEMA floodplain	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. FEMA base flood elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
M. Monuments and survey markers, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Type	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18. Topographic data is given in feet above mean sea level within the tract and to a distance of 100' beyond, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Existing contours at vertical levels of not more than 2'	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Bench mark, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Description	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Elevation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19. Soil Sampling and Testing reports used for compliance with IEPA & CCDD	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20. Soil bearing data is given, if required by Development Engineering, indicating	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Location of Tests	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Depth of Tests	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Soil bearing Capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. Moisture content	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
21. Include the following <b>Proposed</b> information within subdivision boundaries and up to 100' outside of the subdivision boundary	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Layout of streets, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Street type, (i.e. Estate, Local, Collector, Arterial)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Right-of-way width per Engineering Design and Inspection Policy Manual	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Roadway width per Engineering Design and Inspection Policy Manual	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Through street shown extended to boundaries of subdivision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Cul-de-sac street design per Engineering Design and Inspection Policy Manual	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Stormwater runoff pattern on paving	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Names of streets:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
1. Not duplicating the name of any street heretofore used in the City or its environs, unless the street is an extension of any already existing street, in which case the name shall be used	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Street improvement plan including truck turning template.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. Utility easements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. 10' wide around perimeter of each lot, side yard may be reduced to 5' where the side lot line of a detached single-family residential lot abuts the side lot line of another detached, single-family residential lot	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Purpose is indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. Centerline profiles of all streets showing compliance with minimum and maximum gradients identified in the Engineering Design and Inspection Policy Manual	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
G. Block layout, indicating	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Blocks do not exceed 1200' in length	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Blocks over 900' long include pedestrianways at approximate center and/or additional access ways to parks, schools, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
H. Lot layout, indicating	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Lot dimensions comply with Zoning Ordinance (Title 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Lot areas comply with Zoning Ordinance (Title 17). Areas may be listed by schedule.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Building setback lines shown and properly dimensioned	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Proposed land use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Lot numbers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Lots are as nearly rectangular in shape as is practicable	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Lot lines are substantially at right angles to the street lines and radial to curved street lines	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Double frontage lots only where lots back upon an arterial street and front on an access street	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. Additional depth allows screen planting along arterial frontage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. Additional depth for lots abutting watercourse, drainage way, channel, wetland, or stream	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Due regard for natural features, such as:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. Trees	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Watercourses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Historic items	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b><i>ITEMS TO BE INCLUDED</i></b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
d. Other similar conditions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I. Areas intended to be dedicated for public use, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I. School sites, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Parks / public areas conform to the Comprehensive Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Acreage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
J. School sites, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Dimensions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Acreage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
K. Topographic information, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Proposed changes in elevation, 2' minimum contours	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Stormwater storage facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Normal water level (NWL)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. High water level (HWL)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Emergency overflow elevation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Storage volumes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Overflow routes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
L. Sanitary sewer layout, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Invert elevations at manholes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Manhole locations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Service locations and connections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
M. Water main layout, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Fire hydrants spaced per requirements in Engineering Inspection and Policy Manual	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Service locations and connections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
N. Storm sewer layout, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Catchbasins spaced per requirements in Engineering Inspection and Policy Manual	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Stormwater is not carried across or around any intersection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Surface water drainage pattern for each individual lot and block	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b><i>ITEMS TO BE INCLUDED</i></b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
O. Street light layout, indicating:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Locations and typical street light detail, or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Statement by Subdivider that street lights will be installed in accordance with City standards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
22. Typical street cross section, showing base construction, surfacing, concrete curb and sidewalk per the Engineering Design and Inspection Policy Manual	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
23. Sidewalks are shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
24. Indication on drawings or by certificate that Subdivider is aware of his responsibility for installation of street signs, and for seeding and tree planting in all parkways	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
25. Stormwater Management Report	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Narrative	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Methodology	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Required volume and proposed volumes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. Existing release rate and proposed release rate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. Overland flow route water surface elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
F. Watershed and sub-watershed delineation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
G. Basin sizing calculations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
H. Release structure / restrictor design calculations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I. Wetland inventory and Wetland Delineation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Completed by: \_\_\_\_\_  
*Name*

\_\_\_\_\_  
*Title*

\_\_\_\_\_  
*Organization / Company*

\_\_\_\_\_  
*Date*

Reviewed by: \_\_\_\_\_  
*Name*

\_\_\_\_\_  
*Title*

\_\_\_\_\_  
*Organization / Company*

\_\_\_\_\_  
*Date*

## DRAWING REQUIREMENTS / CHECKLIST

### Final Engineering Plans



*PLEASE NOTE: These requirements are needed for Final Engineering Plans and are in addition to Preliminary Engineering Plan Drawing Requirements*

\_\_\_\_\_

*Name of Subdivision* *Date of Submission*

- NOTE:** To properly execute this checklist, the developer or his engineer shall:
1. Insert the required information.
  2. Denote compliance with applicable ordinances by placing his initials in all spaces where applicable.
  3. Denote those items which the Subdivider considers "not applicable" to this particular subdivision by the abbreviation "N.A."

**Format / Cover Sheet:**

<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	Yes	No	N/A
1. Plat has been submitted within 12 months of the date of approval by the City Council of the preliminary plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Plans are on 24-inch by 36-inch sheets.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. A title sheet is included with each set of plans, and includes:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Name of the subdivision and unit number,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Type of work covered,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Location map showing relation of area to be improved to streets,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. An index of sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. A summary of quantities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. Name, address, and seal of registered engineer preparing the plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
F. Date of preparation and revisions, if any, is shown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Plan and profiles include	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Horizontal scale is no less than 1 inch to 50 feet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Vertical scale is no less than 1 inch to 5 feet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Cross sections are submitted as necessary to indicate feasibility of proposed street elevations in relation to adjacent lot elevations, and include sidewalk location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Horizontal and vertical scales are no less than 1 inch to 10 feet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
7. North direction is shown for each separate plan view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. An adequate number of bench marks are shown with elevations referenced to mean sea level, and the City's Geodetic Control Network to facilitate checking of elevations without more than one setup of a surveyor's level	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Delineation is shown of all easements necessary to serve all lots with underground and overhead utilities, and to allow for perpetual maintenance of these facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Sanitary Sewer Improvements:**

10. An authorized Illinois Environmental Protection Agency Permit for the sanitary sewer extension accompanies the plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Sanitary sewer plans and specifications are complete and conform to the standards and requirements of City of St. Charles Engineering Design and Inspection Policy Manual as revised or superseded and denote all of the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. All properties in the subdivision are served and house service connections are provided,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. The proposed pipe sizes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. The plan conforms to the overall City plan for any trunk sewers traversing the subdivision,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. The distance between manholes is not exceeded,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. The invert elevation of each manhole is shown,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
F. The grade of each section of sewer is shown by percentage in accordance with accepted engineering practice,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
G. Proposed pipe materials,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
H. Profile of existing and proposed ground surfaces,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I. Risers are shown for individual house service laterals where needed,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
J. Pipe joints are of permitted type,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
K. Specifications include provisions for checking of infiltration or exfiltration,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
L. Standard details are shown and include:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Standard manhole	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Drop manhole	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Standard riser	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Standard service installation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>

**Water main Improvements:**

12. An authorized Illinois Environmental Protection Agency permit for the water main installation accompanies the plans;	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. Water distribution plans and specifications are complete and conform to City of St. Charles Engineering Design and Inspection Policy Manual as revised or superseded, and include all of the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. All properties in the subdivision are served and provisions are made for service connections within the property lines,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. The proposed pipe sizes,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. The plan conforms to the City's overall plan for any trunk lines which might traverse the subdivision,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. Valve and hydrant spacing and location conform to the approved preliminary plan,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. Material and joint specifications comply with the City's standards,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
F. Specifications include provisions for testing and sterilization of all new water distribution facilities,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
G. Standard details are shown and include the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Valve manhole	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Standard cover	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Standard hydrant installation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Roadway, Storm Sewer, & Grading Improvements:**

14. Street plans, including storm sewers, are complete and conform to the City of St. Charles Engineering Design and Inspection Policy Manual as revised or superseded, and include all of the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. The location of streets and width of pavements conform to those indicated on the approved preliminary plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Plan shows curb, gutter and sidewalk locations, and include the following information:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Corner curb radius	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Curve data for all horizontal curves and tangents	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Direction of flow along all curbs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. No surface water is carried across or around any street intersection, or for a distance greater than 600 feet.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Cross sections as necessary to identify proposed street elevations in relation to adjacent lot and sidewalk elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
1. Catchbasin invert elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. The proposed pipe sizes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The grade of each section of sewer is shown by percentage in accordance with accepted engineering practice	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Storm sewer elevations do not conflict with any other underground utilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Storm sewer is connected with an adequate outfall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Curve data is given for vertical road curves,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. The storm sewer system is designed to provide sufficient capacity for the draining of upland areas contributing to the storm water runoff on the street	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Storm sewer design computations are submitted with plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. A surface water drainage pattern is shown for each block	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
F. Material specifications comply with City standards and include:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Paving base materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Paving surface materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Concrete	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Pipe materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
G. Cross sections for each street type that include the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Pavement construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Concrete curb and gutter	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Concrete sidewalk	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15. Street light plans are complete and conform to City standards as identified in Title 12.30- Street Improvements or as revised or superseded, and include the following:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Pole locations,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Spacing,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Average maintained foot-candle illumination (calculated),	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. Control system and wiring diagram,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. Typical section showing:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Type of base and pole	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Bracket or arm	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Luminaire, indicating type of lamp and wattage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Mounting height	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<b>ITEMS TO BE INCLUDED</b>	<b>Included</b>		
	<b>Yes</b>	<b>No</b>	<b>N/A</b>
16. Parkways improvements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Removal of stumps, trees that cannot be saved, boulders, and all other similar items,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Grading, installation of topsoil, and seeding or sodding,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Planting of trees	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Street signs are shown to be installed, at all street intersections not previously marked, in accordance with The City of St. Charles Engineering Design and Inspection Policy Manual as revised or superseded.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Stormwater Management:**

18. Stormwater Management Report	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A. Narrative	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. Methodology	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Required volume and proposed volumes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Stage storage chart on detention pond grading plan identifying elevation, proposed volume and as-built volumes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. Existing release rate and proposed release rate,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E. Overland flow route water surface elevations,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
F. Watershed and sub-watershed delineation,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
G. Basin sizing calculations,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
H. Release structure / restrictor design calculations,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I. Wetland inventory and Wetland Delineation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Completed by: \_\_\_\_\_  
Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Organization / Company

\_\_\_\_\_  
Date

Reviewed by: \_\_\_\_\_  
Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Organization / Company

\_\_\_\_\_  
Date

***DRAWING REQUIREMENTS / CHECKLIST***  
***Record Drawings (As-built Drawings)***

**THE RECORD DRAWINGS SHALL BE PREPARED BY THE ORIGINAL DESIGN ENGINEER AND INCLUDE THE COMPLETE SET OF APPROVED FINAL ENGINEERING DRAWINGS AND SHALL INCLUDE THE FOLLOWING INFORMATION:**

**General:**

- All sheets in approved Final Engineering Drawings shall be submitted and labeled as “Record Drawings” and dated.
  
- One (1) paper set of as-built drawings shall be submitted for review and comment.  
*Once the as-built plans are approved*
  - *One (1) CD containing all electronic AUTOCAD (.dwg) or Microstation (.dgn) design file drawings,*
  - *One (1) set of signed and sealed mylars of approved as-built drawings, and*
  - *One (1) paper set of signed and sealed of approved as-built drawings for final record keeping shall be submitted.*
  
- Plans shall be signed and sealed by a Registered Professional Engineer with the following certificate.

**STATEMENT OF OPINION**

Pursuant to the St. Charles Municipal Code, I \_\_\_\_\_, a registered Professional Engineer in the State of Illinois, hereby declare that these “Record Drawings” pertaining to (water main, sanitary sewer, storm sewer) (storm water management) (outdoor lighting) consisting of Sheets \_\_\_\_\_ and \_\_\_\_\_ included herewith, have been prepared for a certain project know as \_\_\_\_\_ and contain information as obtained by the surveyor, \_\_\_\_\_, and the contractor, \_\_\_\_\_.

It is my professional opinion that these “Record Drawings” adequately depict the Record Drawing Information required by the City of St. Charles and substantiate that the improvements constructed as part of this project will function in substantial conformance to the design intent of the approved Engineering Plans.

Dated: \_\_\_\_\_

Signed: \_\_\_\_\_

Illinois Registration Number: \_\_\_\_\_

(SEAL)

- Plans shall note what record information is being submitted and the date of preparation.
- All utilities shall be labeled either as “Private” or “Public”. It shall be noted somewhere on the as-built plans that “Private utility mains shall not be maintained by the City of St. Charles”.

### **Streets / Roadways:**

- T/C, center line, T/C grades at 50-foot centers.
- Verify grading in cul-de-sacs and at curb returns/intersections by comparing proposed and existing elevations at locations shown on Final Plans.
- Note extent of sidewalk construction at the time of drawing preparation.
- Note whether surface course is placed at time of drawing preparation.

### **Storm Sewers:**

- Note changes in alignment or size of sewers or manholes due to field changes. Cross out approved conditions and add existing conditions.
- Rim and invert elevations for all pipes entering a structure. Cross out approved conditions and add existing information.
- Calculate revised pipe slopes and note on the plans.
- Denote location of stubs for sump service connections.

### **Detention Pond / Drainage**

- Provide as-built topography for stormwater management basins (one {1} foot contour). ***Complete stage storage chart on the stormwater management basin as-built that compares the proposed stage storage volumes with as-built volumes.***
- Verify restrictor size and elevation. Cross out approved conditions and add existing conditions.
- Verify emergency overflow size and elevation. Cross out approved conditions and add existing conditions.

- Verify overflow swales and major drainage route grading by comparing approved and existing spot elevations.
- Provide revised calculations, includes modeling of As-built conditions, for any variances to the approved Final Engineering plans depicting that minimum detention volumes have been obtained or exceeded.

### **Sanitary Sewers:**

- Note changes in alignment or size of sewers or manholes due to field changes. Cross out approved conditions and add existing conditions.
- Rim and invert elevations for all pipes entering a structure. Cross out approved conditions and add existing information.
- Calculate revised pipe slopes and note on the plans. Note size and location of services with a distance to nearest manhole.

### **Water Main:**

- Note changes in alignment or size of mains due to field changes. Cross out approved conditions and add existing conditions.
- Rim and top of pipe elevations for all pipes entering a structure. Cross out approved conditions and add existing information.
- Note size and location of B-Boxes with two (2) physical ties to (in order of preference):
  - a) An above-ground physical element, i.e., fire hydrant, light pole, building corner.
  - b) A manhole or Valve Vault.
  - c) Property corners.

### **Electric:**

- Location of streetlights and routing of cables feeding to transformers or secondary pedestals.

### **Other Utilities (Gas, Phone, Cable):**

- Location and routing of utilities servicing development.



## AGENDA ITEM EXECUTIVE SUMMARY

Title: Recommendation to Approve a General Amendment to Title 17 of the City Code Regarding Personal Services, Limited

Staff: Matthew O'Rourke, Planner

*Please check appropriate box:*

	Government Operations		Government Services
X	Planning & Development (2/11/13)		City Council

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

**Executive Summary:**

Elgin Bancshares, Inc., represented by Jill Markowski, owns the office buildings located at 551-559 Dunham Road. They would like to sell one of their units to Instyle Salon & Spa Suites. Instyle's business model is to create small individual office rooms that are rented to individual hair care/spa professionals. The professionals rent the entire individual space/office as opposed to renting one chair at an existing salon. This type of business is classified as Personal Service in the City's Zoning Ordinance.

The subject property is currently zoned OR –Office Research and **Personal Services** are not a permitted use in this Zoning District.

Elgin Bancshares, Inc. has applied for a general amendment to the Zoning Ordinance. The details of the proposal are as follows:

- Create a new use category in **Chapter 17.30 Definitions** titled **Personal Services, Limited**.
- Amend Table 17.16-1 Office/Research, Manufacturing, and Public Lands Permitted and Special Uses to permit the new **Personal Services, Limited** use category in the OR-Office Research Zoning District.

**Plan Commission Recommendation:**

The Plan Commission held a public hearing and recommended approval of the proposal on 2/5/13. The vote was 4-aye and 0-nay.

**Attachments:** *(please list)*

Application for General Amendment; Staff Report dated 1/30/13; Attachment A (Permitted Uses in the OR Office Research Zoning District)

**Recommendation / Suggested Action** *(briefly explain):*

Recommend approval of the proposed Application for a General Amendment.

*For office use only:*

*Agenda Item Number: 3e*



Community Development  
Planning Division

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Fax: (630) 377-4062



ST. CHARLES  
SINCE 1834

**STAFF REPORT**

**TO:** Chairman Cliff Carrigan  
And Members of the Planning & Development Committee

**FROM:** Matthew O'Rourke, Planner

**RE:** General Amendment to Tile 17 (Zoning Ordinance) Personal Service, Limited

**DATE:** January 30, 2013

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**I. GENERAL INFORMATION**

**Project Name:** General Amendment – Personal Services, Limited

**Applicant:** Elgin Bancshares, Inc.

**Purpose:** Ordinance amendments to permit a limited number of personal service uses in the OR - Office Research District.

**II. BACKGROUND**

Elgin Bancshares, Inc., represented by Jill Markowski, owns the office buildings located at 551-559 Dunham Road. They would like to sell one of their units to Instyle Salon & Spa Suites. Instyle's business model is to create small individual salon rooms that are rented to individual hair care/spa professionals. The professionals rent the entire individual space/office as opposed to renting one chair at an existing salon.

The subject property is currently zoned OR –Office Research and Personal Services are not a permitted use in this Zoning District.

Elgin Bancshares, Inc. has applied for a general amendment to the Zoning Ordinance. The details of the proposal are as follows:

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### III. ANALYSIS

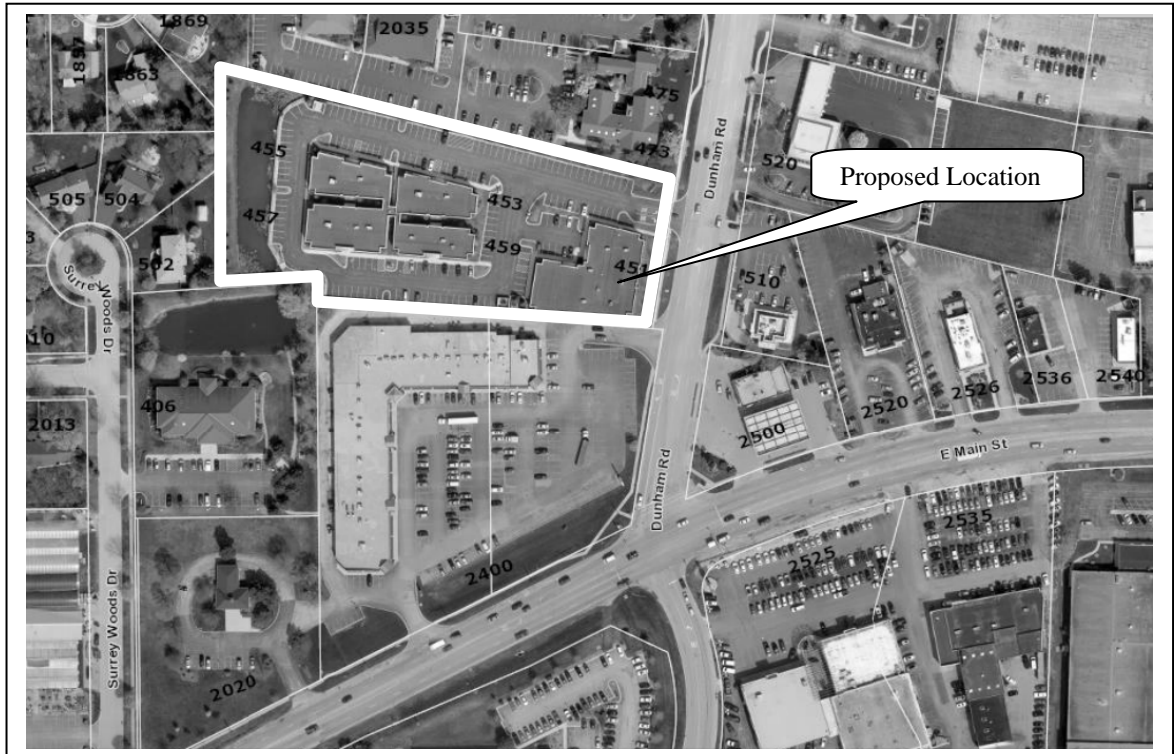
#### A. SITE LOCATION & AERIAL PHOTO

The applicant’s property is located west of Dunham Road and north of E. Main Street. A mixture of zoning districts and land uses surround this property as follows:

Location	Zoning District	Land Use
North	OR – Office Research	Office Complex
East	BC-Community Business PUD	Bank and Fast Food Restaurant
South	BC-Community Business	Multi-Tenant Retail Building
West	RS-2- Suburban Single-Family	Single-Family Residences

This property is similar to other OR zoned properties that abut a variety of uses such as retail/commercial and residential uses.

#### Aerial Photo



#### B. OR OFFICE RESEARCH ZONING DISTRICT

Per **Section 17.16.010 Purpose Statements** of the Zoning Ordinance, the following is the purpose of the OR Zoning District:

*“The O-R Office/Research District is designed to accommodate office and certain service uses that require a percentage of lower building coverage and larger setbacks than those types of office and service uses found within the commercial*

*districts. The O-R District is designed to provide an open, landscaped appearance along public streets and to provide a buffer area between residential uses and other commercial or industrial uses.”*

The OR district currently permits a variety of uses. Several of these uses are customer oriented services such as indoor amusement (includes health clubs), art galleries, places of worship, and banks. Staff has included a complete table of all uses permitted in the OR district as Attachment A.

#### C. PERSONAL SERVICES USE CATEGORY

Per **Chapter 17.30 Definitions**, beauty salons and spas are considered part of the Personal Services use category, which is defined as:

*“Personal Services (G). An establishment where personal services are provided directly to the customer. This use includes, but is not limited to, barber shops, beauty parlors, laundry and dry cleaning establishments, funeral homes/mortuaries, tanning salons, tailors, domestic pet grooming, shoe repair shops, and the like. This use may include incidental retail sales of goods. Tattoo Parlors, Currency Exchanges, Motor Vehicle Rental and Adult Uses are not permitted as Personal Services establishments.”*

Personal Services are permitted in all business and mixed-use Zoning Districts and encompasses a variety of individual uses with similar characteristics such as:

- Businesses deliver direct services and not sell retail goods to patrons.
- Parking requirements – 3 spaces per every 1,000 square feet (same as Office, Professional).

### IV. PROPOSED AMENDMENTS

Staff and the applicant are proposing a use category titled **Personal Services, Limited**. The new use category will limit the personal service uses permitted in the OR district to those complimentary to office/research businesses, and fit the purpose statement of the OR district. These amendments are as follows:

#### A. TABLE 17.16-1 OFFICE/RESEARCH, MANUFACTURING, AND PUBLIC LANDS PERMITTED AND SPECIAL USES

The proposed amendment would add Personal Services, Limited as a permitted use in Table 17.16-1 in the OR District.

#### B. 17.30.030 GENERAL DEFINITIONS

The proposed amendment would define **Personal Services, Limited** as follows: **Personal Services, Limited**. A subset of the **Personal Services** use category limited to barber shops and beauty salons (including: hair treatments, facial treatments, pedicures, and finger nail treatments, tanning salons). All limitations on the Personal Services use category shall also apply to Personal Services, Limited.

\*\*The proposed **Personal Services, Limited** definition could be expanded to addition similar uses such as spas, if the Committee feels this is appropriate.

## **V. PLAN COMMISSION**

The Plan Commission held a public hearing and recommended approval of the proposal on 2/5/13. The vote was 4-aye and 0-nay.

## **VI. RECOMMENDATION**

Staff recommends approval of the General Amendment Application and has provided the attached draft Findings of Fact to support that recommendation.

## **VII. ATTACHMENTS**

- Attachment A – Permitted Uses in the OR Office Research Zoning District

**FINDINGS OF FACT**  
**GENERAL AMENDMENT**

(Personal Services, Limited)

**1. The consistency of the proposed amendment with the City’s Comprehensive Plan.**

The proposed amendments will permit a limited number of personal service uses in the OR Office Research Zoning District. This amendment will not alter the contents of the Comprehensive Plan or locations designated as Office and Research on the future land use map.

**2. The consistency of the proposed amendment with the intent and general regulations of this Title.**

This amendment does not alter the uses permitted in the **Personal Services** use category, but creates a new subset of **Personal Service** uses that will be permitted in the OR Office Research District. Per **Section 17.16.010 Purpose Statements** *“The O-R Office/Research District is designed to accommodate office and certain service uses that require a percentage of lower building coverage and larger setbacks than those types of office and service uses found within the commercial districts. The O-R District is designed to provide an open, landscaped appearance along public streets and to provide a buffer area between residential uses and other commercial or industrial uses.”* This amendment will increase the number of compatible service uses permitted in the OR district, but will not alter the physical layout of these business parks as described in the OR District purpose statement, due to the similar parking demands of office users and Personal Service uses. All existing regulations pertaining to Personal Services will still apply to this new category such as parking standards and use restrictions.

**3. Whether the proposed amendment corrects an error or omission, adds clarification to existing requirements, is more workable than the existing text, or reflects a change in policy.**

The proposed amendment represents a change in policy. This amendment permits a limited number of personal service uses in the OR Office Research Zoning District that are not currently permitted. The uses that are proposed to be permitted are limited in scope to those personal services that are similar in character to the uses currently permitted in the OR district.

**4. The extent to which the proposed amendment would be in the public interest and would not serve solely the interest of the applicant.**

The amendment will apply to all properties within the OR Office Research Zoning District. This amendment will only permit uses that are complementary in scope to office and research uses.

**5. The extent to which the proposed amendment creates nonconformities.**

This amendment will not create any new nonconformities. This amendment will permit a limited number of uses in the OR Office Research Zoning District that are not currently permitted.

**6. The implications of the proposed amendment on all similarly zoned property in the City.**

This amendment will permit the same limited number of personal service uses for all property zoned OR Office Research.

**Attachment A – Permitted Uses in the OR Office Research Zoning District**

P=Permitted Use S=Special Use A=Permitted Accessory Use SA=Special Use, Accessory Only	O-R
<b>RESIDENTIAL USES</b>	
Artists Live/Work Space	
Assisted Living Facility	P
<b>CULTURAL, RELIGIOUS, RECREATIONAL &amp; ENTERTAINMENT USES</b>	
Art Gallery/Studio	P
Carnival (as temporary use)	
Cultural Facility	P
Golf Course	
Indoor Recreation & Amusement	P
Model Airplane Facility	
Outdoor Amusement	
Outdoor Entertainment, Temporary	
Outdoor Recreation	
Park, Neighborhood	
Place of Worship	
Theater	
<b>RETAIL, OFFICE AND SERVICE USES</b>	
Adult Use	
Bank	P
Car Wash	
Day Care Center	P
Drive-In Facility	SA
Emergency Medical Center	P
Financial Institution	P
Heavy Retail and Service	
Heliport	
Hotel/Motel	P
Kennel	
Medical/Dental Clinic	P
Motor Vehicle Service and Repair, Major	
Motor Vehicle Service and Repair, Minor	
Motor Vehicle Rental	P
Office, Business or Professional	P
Outdoor Sales, Permanent	
Outdoor Sales, Temporary	
Professional Training Center	P
Veterinary Office/Animal Hospital	P
<b>GOVERNMENTAL AND INSTITUTIONAL USES</b>	
Cemetery	
College/University	P
Correctional Facility	
Fairground	
Hospice	P
Hospital	P
Nursing Home	P
Office, Government	P
Police Firearms Training Range	
Public Service Facility	
School, Primary or Secondary	
School, Private Boarding	
School, Specialized Instruction	P
<b>INDUSTRIAL/STORAGE USES</b>	
Junkyard	

P=Permitted Use S=Special Use A=Permitted Accessory Use SA=Special Use, Accessory Only	O-R
Manufacturing, Heavy	
Manufacturing, Light	
Mini-Warehouse	
Outdoor Storage	
Permanent Motor Vehicle Storage	
Recycling Facility	
Research and Development Use	P
Warehouse/Distribution	
<b>OTHER</b>	
Accessory Uses	A
Agriculture	
Communication Antenna	P
Communication Tower	S
Parking Garage/Structure	A
Parking Lot, Private	A
Planned Unit Development	S
Transportation Operations Facility	
Utility, Local	P
Utility, Community/Regional	S