

City of St. Charles, Illinois

Ordinance No. 2007-Z-4

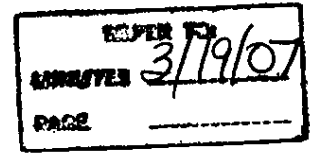
**An Ordinance Granting an Amendment to Special Use
and PUD Preliminary Plan Approval (Foxwood Square
PUD - 309 S 6th Avenue)**

**Adopted by the
City Council
of the
City of St. Charles
March 19, 2007**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, March 23, 2007**

Nancy Garrison
City Clerk





ORDINANCE NO. 2007-Z-4

**PRESENTED AND PASSED BY THE
CITY COUNCIL ON** March 19, 2007

**AN ORDINANCE GRANTING AN AMENDMENT TO SPECIAL USE
AND PUD PRELIMINARY PLAN APPROVAL
(Foxwood Square PUD – 309 S. 6th Avenue)**

WHEREAS, a petition to amend Special Use Ordinance 2002-Z-19, and approval of PUD Preliminary Plans for the real estate legally described in Exhibit "A" attached hereto (hereinafter referred to as "SUBJECT REALTY") has been filed by Northface Builders ("APPLICANT"); and,

WHEREAS, Notice of Public Hearing on said applications for the Special Use Amendment was published on or about October 17, 2006, in a newspaper having general circulation within the City, to-wit, the Kane County Chronicle newspaper, all as required by the statutes of the State of Illinois and the ordinances of the City; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the City of St. Charles conducted a Public Hearing on or about November 7, 2006, all as required by the statutes of the State of Illinois and the ordinances of the City; and continued the Public hearing to November 21, 2006, and

WHEREAS, at said Public Hearing, the Applicant presented testimony in support of said application and all interested parties had an opportunity to be heard; and,

WHEREAS, the Subject Realty is located within a designated City Historic Preservation District, and the Historic Preservation Commission reviewed the application provided its recommendations (Resolution 11-2006) to the Plan Commission;

WHEREAS, the Plan Commission made the required Findings of Fact and recommended denial of the petitions on February 6, 2007 as per Plan Commission Resolution 1-2007, attached herein as "Exhibit B"; and,

WHEREAS, the Planning and Development Committee recommended approval of the Special Use on February 12, 2007 based Findings of Fact for Special Use, attached herein as "Exhibit C" and Findings of Fact for PUD Amendment, attached herein as "Exhibit D"; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and the Planning and Development Committee and has considered the same; and,

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as if fully set out in this Section One.

SECTION 2. That Ordinance 2002-Z-19 is hereby amended by deleting its provisions in their entirety, and by substituting the provisions hereof, governing the Special Use as a Planned Unit Development for the Subject Property. In connection with such approval, and based upon the application and the evidence presented at the public hearing, the City Council hereby finds that the Special Use Amendment and the PUD Preliminary Plan is in the public interest and adopts the Findings of Fact set forth in Exhibits "C" and "D" attached hereto and incorporated herein.

SECTION 3. That the Subject Realty may be developed only in accordance with all ordinances of the City as now in effect or hereafter amended (except as specifically varied herein), and in accordance with the following additional definitions, uses, procedures, and restrictions contained herein.

A. PRELIMINARY PLAN APPROVAL

That approval is hereby granted with respect to the Subject Realty subject to substantial compliance with the PUD Preliminary Plans attached hereto and incorporated herein as "Exhibit E" including the following:

- PUD Preliminary Engineering Plan dated 2/12/07 and received 2/27/07
- Landscape Plan dated 10/30/06
- Architectural Elevations received 9/21/06

Changes to the Preliminary Plan may be approved by the City Council without amending this Ordinance, if such changes conform to the provisions hereof and do not constitute a Major Change as defined in Section 17.04.430 B. of the St. Charles Municipal Code, as determined by the City Council.

B. ZONING REQUIREMENTS AND STANDARDS

The provisions set forth in the St. Charles Zoning Ordinance for property in the RT-4 District in effect as of the date of this Ordinance shall apply to the Subject Realty, except as specifically provided in this Section.

That there are hereby granted certain exceptions and deviations from the provisions of Title 17 of the St. Charles Municipal Code, as amended, as set forth in "Exhibit F".

SECTION 4. That the Subject Realty may be developed and used only in accordance with all ordinances of the City now in effect or hereafter amended or enacted, and in accordance with the following conditions, requirements and restrictions hereinafter provided all of which must be satisfied, prior to the issuance of building permit:

That a fee-in-lieu of an affordable unit is paid prior to issuance of the building permit per the policy recommendation in place at the time of PUD approval or per the Inclusionary Zoning Ordinance which may be in place prior to the issuance of a building permit, whichever is lower.

SECTION 5. That this Ordinance shall become effective from and after its passage and approval in accordance with law.

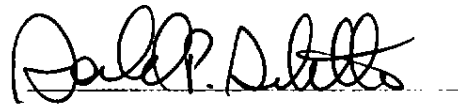
PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of March, 2007.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of March, 2007.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 19th day of March, 2007.



Nancy Garrison
CITY CLERK



MAYOR Donald P. DeWitte

COUNCIL VOTE:
AYES: 9
NAYS: 1
ABSENT: —

EXHIBIT A
LEGAL DESCRIPTION

Lot 1 of Riverside Community Church, a resubdivision of Block
21 in Minard, Ferson and Hunt's addition to St. Charles, St.
Charles Township, Kane County, Illinois.

"EXHIBIT B"

RESOLUTION NO. 1-2007

**RECOMMENDING DENIAL OF AMENDMENT TO SPECIAL USE
AND PUD PRELIMINARY PLANS
(FOXWOOD SQUARE)**

Passed by Plan Commission February 6, 2007

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for amendments to Special Use; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the petition for an Amendment to Special Use; and

WHEREAS, the Plan Commission finds denial of said amendment to be in the best interest of the City of St. Charles;

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council denial of the proposed amendment to the Special Use Ordinance 2002-Z-19 for Foxwood Square, 309 S. Sixth Avenue, North Face Builders because: 1) the proposed amendment does not fulfill the purpose of the PUD process identified in Section 17.04.400 A of the municipal code for a PUD; and 2) the proposed amendment does not meet the Finding of Fact 17.04.330 C-2 for Special Uses, because it would weaken the intended location and neighborhood by allowing for unacceptably high residential unit density per acre and an unacceptable building coverage ratio for the PUD, and allowing for construction of unacceptably tall building heights, as well as not protecting PUD or neighborhood zoning yard requirements. These deviations from the existing PUD in force and the current zoning of the effective neighborhood (east, south and west of the subject site) and the St. Charles comprehensive plan do not meet required findings of fact.

Roll Call:

Ayes: Lencioni, Murphy, Kreiner
Nays: Wallace, Bessner
Absent: Amatangelo, Hanlon, Spear, Kessler
Motion Carried.

Resolution 1-2007

PASSED, this 6th day of February, 2007.

**Chairman
St. Charles Plan Commission**

**Secretary
St. Charles Plan Commission**

“EXHIBIT C”

FINDINGS OF FACT FOR SPECIAL USE AMENDMENT:

1. **Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed amendment will provide a well designed residential development with sidewalks with all its parking requirements being met on site, as compared to the currently approved church which would have demanded additional off-site parking.

2. **Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The proposed Preliminary Engineering plans show provision of adequate utilities, drainage and access. The site is located in an area served by a traditional grid system of streets.

3. **Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed residential use will reinforce and continue the residential character of the neighborhood. With the proposed well-designed buildings, it is not anticipated that property values of the neighborhood will be negatively impacted. Additionally, the restoration and rehabilitation of an existing historic structure will serve an overall public purpose of historic preservation.

4. **Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The subject property is surrounded by established uses, which are already developed.

5. **Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The existing special use currently allows the construction of a church at this location. The proposed amendment to the special use will provide for a residential development, more in keeping with its surroundings, which also contain the same use, and therefore will not be detrimental to public health, safety, comfort or general welfare.

6. **Design Review: That the proposed Special Use meets or exceeds the applicable Design Review Standards of Chapter 17.06 and other applicable provisions of this Title.**

The site plan meets the design review standards for landscaping, parking and utility and emergency access. A tree preservation plan has been provided. Building facades are articulated towards the streets. Parking and vehicular access is provided in the rear.

“EXHIBIT D”

FINDINGS OF FACT FOR PUD AMENDMENT:

The City Council of the City of St. Charles hereby makes the following findings of fact based on the application and the evidence presented at the public hearing that the amendment to the PUD is in the public interest, based on the following criteria:

- i. The proposed PUD advances the purposes of the Planned Unit Development procedure stated in Chapter 17.04 of the Zoning Code.**

The proposed PUD promotes the following purpose: “To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community”. With the preservation of the historic structure, the sense of place has been retained. The articulation of the new buildings to the street and the surrounding neighborhood speaks to integration into the community.

- ii. The proposed PUD Preliminary Plans conform to the applicable Design Review Standards (Chapter 17.06).**

As indicated in Special Use Finding #6, the applicable design review standards are met.

- iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330).**

PUD conforms to the Findings of Fact for Special Use Amendment as indicated in Section IV above.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The proposed PUD preserves a historic structure, and provides two-family dwelling units, adding to the diversity of the housing types in the neighborhood, which currently provides multi-family and single-family housing.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

While the density exceeds the limits recommended in the Comprehensive Plan, the PUD follows the intent of “creating higher density residential areas close to downtown”, as mentioned in the Planning Component 2 of the Comprehensive Plan.

- vi. The proposed PUD conforms to all existing Federal, State and local legislation and regulation.**

The PUD will conform to all applicable federal, state and local regulations.

“EXHIBIT E”

PUD Preliminary Plans including the following:

- PUD Preliminary Engineering Plan dated 2/12/07 and received 2/27/07
- Landscape Plan dated 10/30/06
- Architectural Elevations received 9/21/06

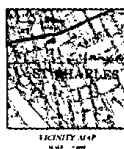
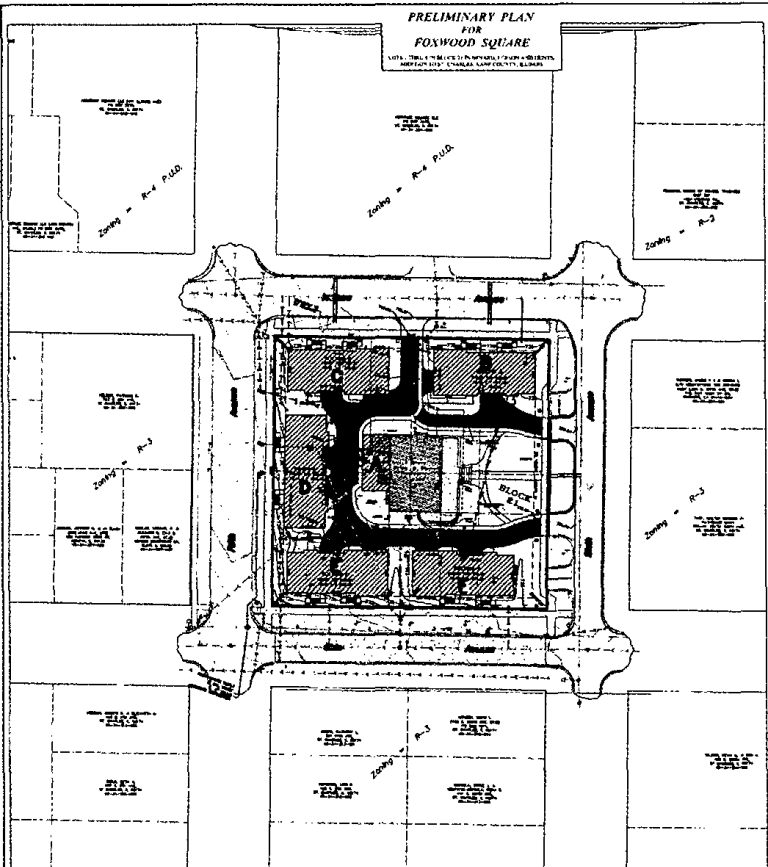
“EXHIBIT F”

DEVIATIONS FROM THE ZONING REQUIREMENTS

Provisions per Table 17.12.2	Required per RT-4 Trad Single/ 2-family Resi. Dist	Deviation granted for:
Minimum Lot Area per unit	Two-Family: 3,750 sq. ft./unit.	3340 sq. ft./unit
Minimum Front Yard (Along 6 th Avenue)	20 ft.	10 ft.
Minimum Exterior side yard (Along Ohio and Illinois Avenues)	20 ft.	8 ft.
Minimum Rear yard (Along 5 th Avenue)	30 ft.	8 ft.
Max. Building Height	32 ft or 2 stories, whichever is less	37.73 ft
Maximum Building Coverage	25% - For bldgs over 1 ½ stories	38%
Section 17.22.10 A-1 No. of buildings on a lot	One	Six

**PRELIMINARY PLAN
FOR
FOXWOOD SQUARE**

LOTS, TRACTS, BLOCKS, PLANNING ZONING DISTRICTS,
MUNICIPALITY (LOCAL GOVERNMENT) BOUNDARIES



LEGEND MAP
SCALE: 1" = 100'

SITE DATA TABLE

TOTAL SITE AREA	494,500 SF
EXISTING ZONING	R-2 P.D.
PROPOSED ZONING	R-2 P.D.
LANDS ACROSS	1,004.00 ACRES
PARKING DATA	
TOTAL NO. OF STAFF PARKING: 20 SPACES	
PROPORTION OF STAFF PARKING: 20 SPACES	



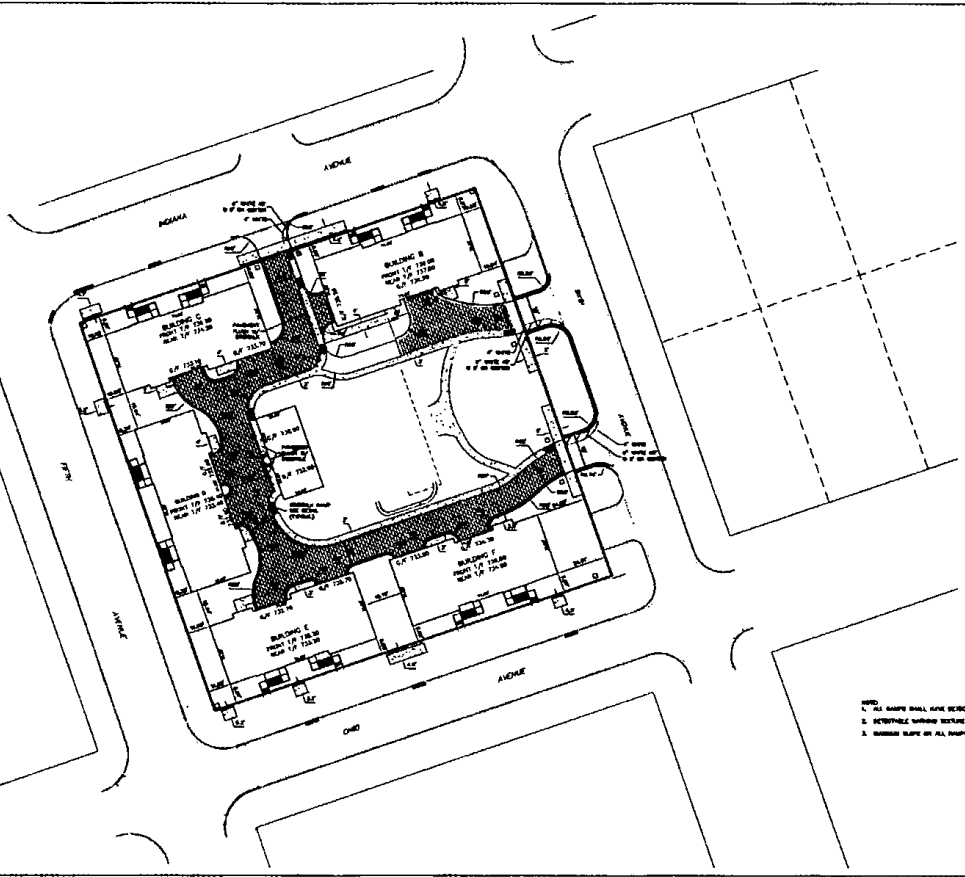
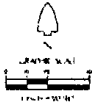
SCALE: 1" = 20'

THESE PLANS, DATA AND TESTING DATA
DO NOT CONSTITUTE A GUARANTEE OF
THE ACCURACY OF THE INFORMATION
CONTAINED HEREIN. THE USER OF THESE
PLANS AND DATA SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM THE
APPLICABLE AGENCIES.

DESIGNED BY
FRANK AND JOY
1415 17TH AVENUE
DENVER, COLORADO 80202
PHONE: 303.733.1111
FAX: 303.733.1112

OWNER
HOMER PLACE DEVELOPMENT, INC.
10000 17TH AVENUE
DENVER, COLORADO 80202
PHONE: 303.733.1111

ENGINEER
WESTERN STEEL ENGINEERING, P.C.
10000 17TH AVENUE
DENVER, COLORADO 80202
PHONE: 303.733.1111



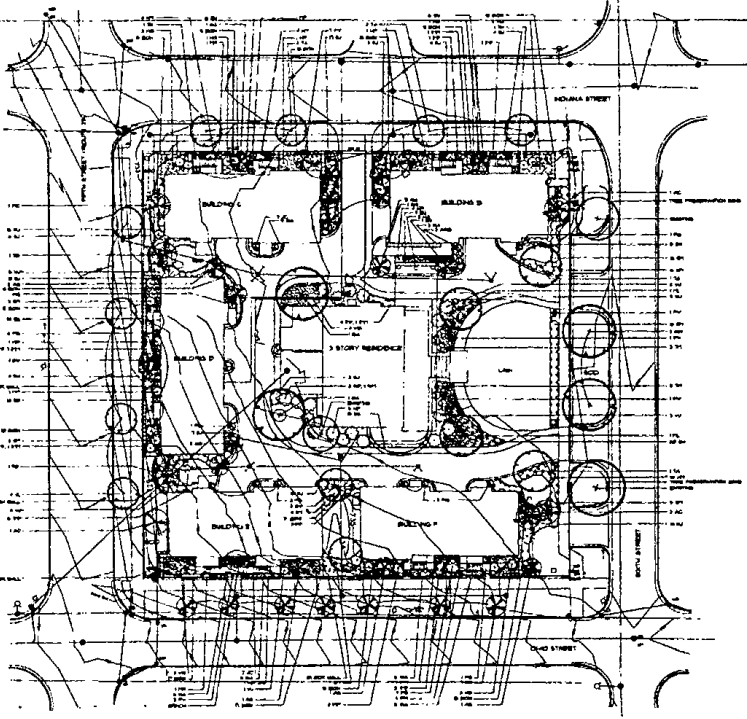
- NOTES:
1. ALL SHADING SHALL HAVE VISIBLE HATCHING SCHEMES.
 2. VISIBLE HATCHING SCHEMES SHALL CONSIST OF 45° TRANSVERSE LINES.
 3. HATCHING SHALL BE AT LEAST 1/8" TO 1/4" WIDE.

PREPARED FOR:
 NEW YORK UNIVERSITY
 100 UNIVERSITY ST.
 NEW YORK, N.Y. 10003

DESIGNED BY:
 W. H. HARRIS & ASSOCIATES, INC.
 100 UNIVERSITY ST.
 NEW YORK, N.Y. 10003

NO.	DATE	DESCRIPTION	BY	CHECKED
1	10/1/78	PRELIMINARY PLAN	W.H.H.	
2	10/15/78	FINAL PLAN	W.H.H.	

FOXWOOD SQUARE - GEOMETRIC PLAN
 CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS
 SHEET 9 OF 14



PLANT LIST

Code	Plant Name	Quantity
101	Asplenium	10
102	Asplenium	10
103	Asplenium	10
104	Asplenium	10
105	Asplenium	10
106	Asplenium	10
107	Asplenium	10
108	Asplenium	10
109	Asplenium	10
110	Asplenium	10
111	Asplenium	10
112	Asplenium	10
113	Asplenium	10
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194	Asplenium	10
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197	Asplenium	10
198	Asplenium	10
199	Asplenium	10
200	Asplenium	10

KEY

- PERENNIAL AND ANNUAL FLOWERS SELECTIONS INCLUDE: HORTA, DAYLILY, REDBUD, HELIOPSIS, ETC.
- GROUND COVER SELECTIONS INCLUDE: YACCA, HEDERA, HELIX, PACYTABANDRA
- BUILT-IN PLANTERS WITH MIXED ANNUALS, PERENNIALS AND B-SHUBS

LANDSCAPE DATA TABLE

Code	Description	Quantity
1	TOTAL SITE AREA	32 AC
2	TOTAL LANDSCAPED AREA	36 AC
3	PERCENT OF SITE IN LANDSCAPING	32%

NOTES

1. The Landscape plan is for the purpose of preliminary and final approval by the City of St. Charles. This drawing shall not be used for construction purposes without the cooperation of a written set of Specifications and details. All planting beds shall be subject to a 3" layer of topsoil over the base. All trees or shrub areas be irrigated with a 1/2" of water per inch of trunk diameter.

2. All disturbed areas not otherwise specified shall be covered with a certified topsoil. The topsoil shall be placed on the ground within 14 days of the start of construction. The topsoil shall be placed on the ground within 14 days of the start of construction. The topsoil shall be placed on the ground within 14 days of the start of construction.

3. Tree Protection Zones: Prior to the start of construction work, trees to remain shall receive preventative root pruning, mulching, watering and shading as recommended by a certified arborist. The tree protection zone around each tree shall be fenced during the construction period. No construction activity, material and/or vehicle storage or transport may occur within the zone. The St. Charles Municipal Ordinance 3.02.000 shall apply to this area.

4. All landscape work and plant materials shall conform to American Association of Nurserymen's standards for stem, leaf, flower and quality. Any plant not meeting these standards will be rejected.

5. Brown trees shall have a clear trunk, free of branches to a minimum height of 6'-0". 1.5" planting shall be done between the newly installed beds for planting of this type of plant. General tree spacing shall be as follows:

- Line A: 10' spacing, staggered, between September 8 and November 8 and between May 1 and June 1.
- Line B: 10' spacing, staggered, between September 1 and October 1 and between May 1 and June 1.

6. Soil shall not be placed when the soil or ground surface is frozen or during an extended drought.

7. Landscape Contractor shall be responsible for avoiding underground utilities and structures in the area of work.

8. Except as noted, all new planting beds previously in paved areas, shall have permanent, gravel and drains installed to a depth of 6".

9. The installed beds shall be checked for proper drainage. If the subject does not drain within a few days after a moderate rain, measures shall be taken to correct drainage. These measures will include removing additional gravel and compacted clay and breaking up the compacted subsoil.

10. Encouraged planting areas will be filled with a planting mix consisting of 80% granulated topsoil thoroughly mixed with 20% compost. Beds will be graded to drain away from the building and local parking pavements.

11. For planting beds in areas where compost is already in place, a 2" layer of compost will be worked into the topsoil and tilled to a depth of 6".

12. Trees, shrubs and plants shall be maintained for a period of one year after date of substantial completion. The vendor shall cover defects including death and unsatisfactory growth except for defects resulting from loss of major branches, neglect or abuse by owner or by subsequent natural disaster beyond the Contractor's control.

13. All excess material and landscape waste shall be removed from the site and property cleaned.

Foxwood Square

Indale and Riva Avenue, St. Charles, IL

Date: October 30, 2000
Scale: 1" = 30'

Landscape Plan

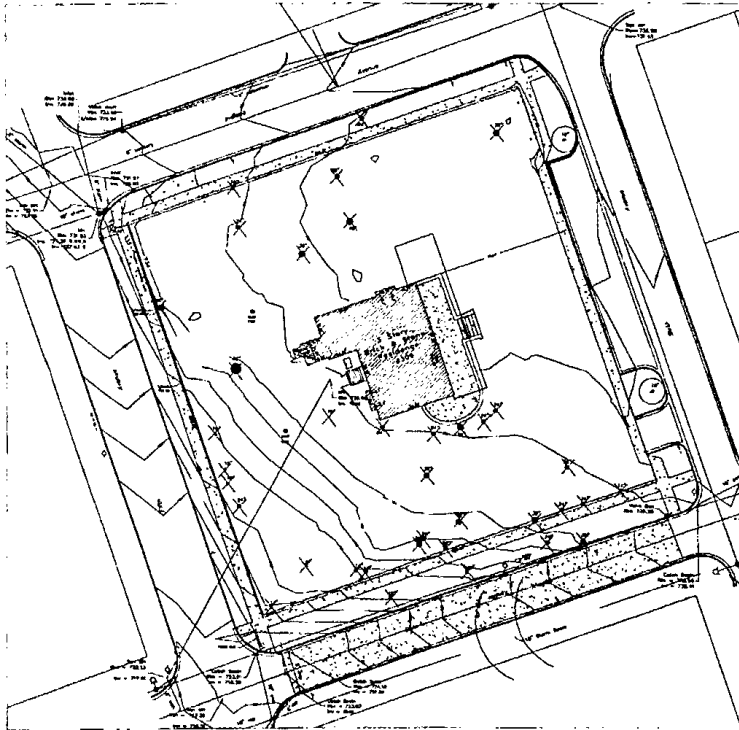
North Face Builders, Inc.
Developer/Owner
4624 St. Charles Ave.
St. Charles, IL 62205
618-433-3300

TransLand Ltd
Planners
11 S. Olive
St. Charles, IL 62205
618-369-7750

Jensen Surveying & Engineering, P.C.
37 Rivers Street, Suite 4
Garden L. 62024
618-433-8800

Stable Condon
Landscape Architect
7 Home St.
St. Charles, IL 62205
618-433-1111





TREE REMOVALS

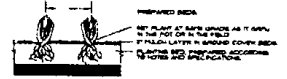


DENOTES TREES TO BE REMOVED

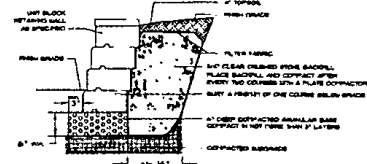
DENOTES TREES TO BE PROTECTED AND SAVED

LANDSCAPE DETAILS

- NOTES:
1. CUT OR SPILT BLOCKS INTO AT CORNERS TO PROVIDE
 2. SET BLOCK CORNER AS SHOWN ON MANUFACTURER'S STANDARD DETAILS AND CORNER DETAIL.
 3. SET BLOCK BY PLUMB AND LEVEL. SET BLOCK AS INDICATED BY DIMENSIONS TO END WALL.
 4. CAP SET TO MATCH STYLE AND COLOR OF WALL. CORNER WITH CAP TO MATCH WITH
 5. FINISH SURFACE REFINISHED BRICKS ABOUT 1/2" CAP SETS TO FIT TIGHT. FINISH SURFACE INDICATED IN WALL, BICK AND ANCHOR



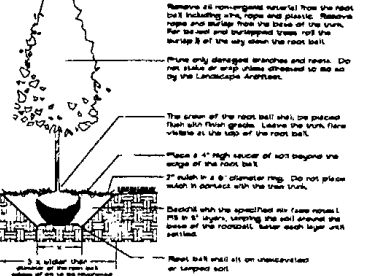
GROUND COVERS



BLOCK RETAINING WALL



SHRUB PLANTING



TREE PLANTING

Foxwood Square

Indiana and Fifth Avenue, St. Charles, IL

Date: October 30, 1998
 Scale: 1" = 10'

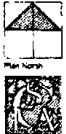
Tree Removal and Landscape Details

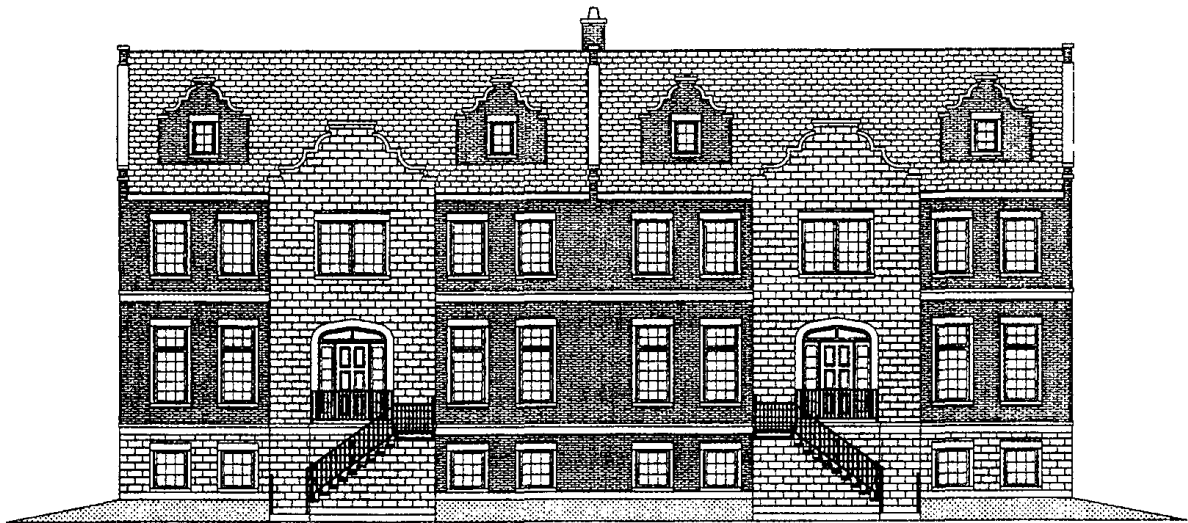
North Face Builders, Inc.
 Developer/Owner
 4825E Edge Haven LA
 St. Charles, IL 62206
 618-433-5544

TransLand Ltd
 Florists
 318 St. Charles
 St. Charles, IL 62206
 618-388-3838

Western Surveying & Engineering, P.C.
 10000 Southview, Suite A
 St. Charles, IL 62204
 618-433-3400

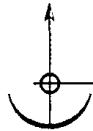
Suehn Conroy
 Landscape Architect
 7 Home St.
 St. Charles, IL 62206
 618-388-1113





FRONT ELEVATION

SCALE: 1/8" = 1'-0"



NORTH FACE, INC.
BUILDING AND DEVELOPMENT

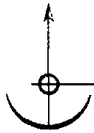
D

arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE, SUITE 209
PARK RIDGE, ILLINOIS 60068
TEL: 847-698-4438 FAX: 847-698-9669



REAR ELEVATION

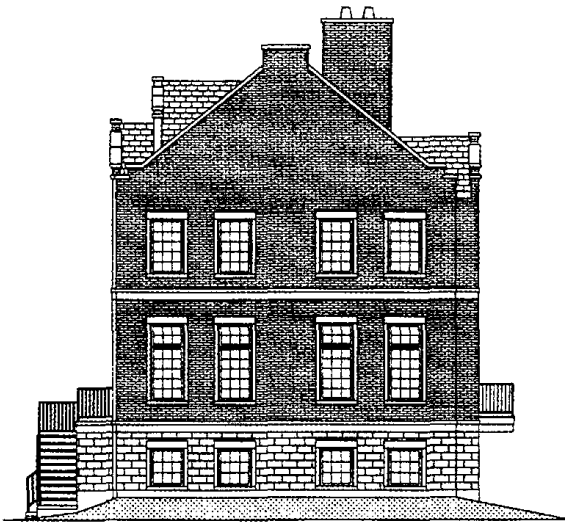
SCALE: 1/8" = 1'-0"



NORTH FACE, INC.
BUILDING AND DEVELOPMENT

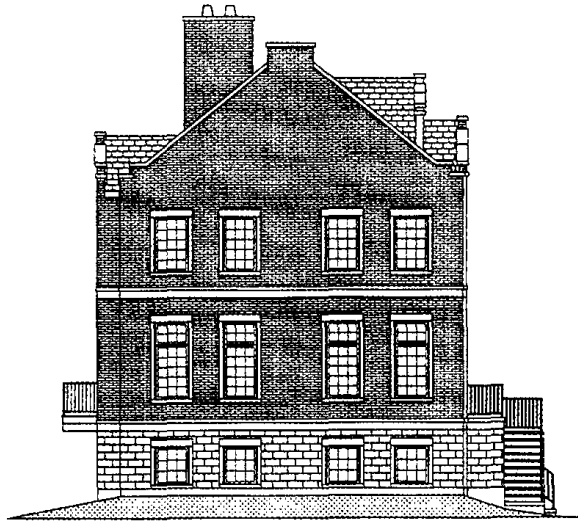


arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE SUITE 203
PARK RIDGE ILLINOIS 60068
TEL. 847-698-4438 FAX 847-698-9689



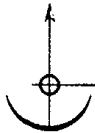
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"



NORTH FACE, INC.

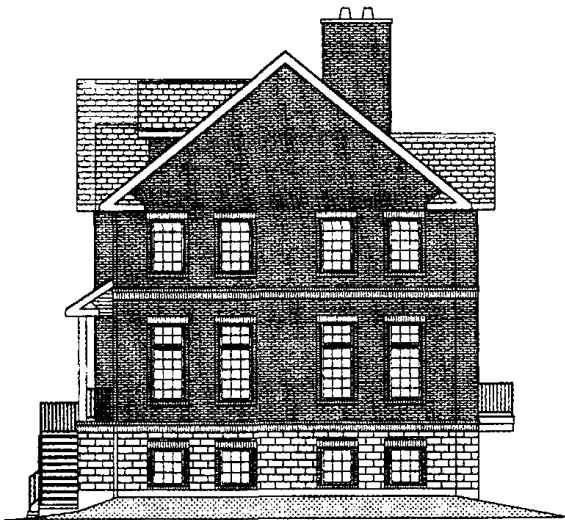
BUILDING AND DEVELOPMENT



arsa

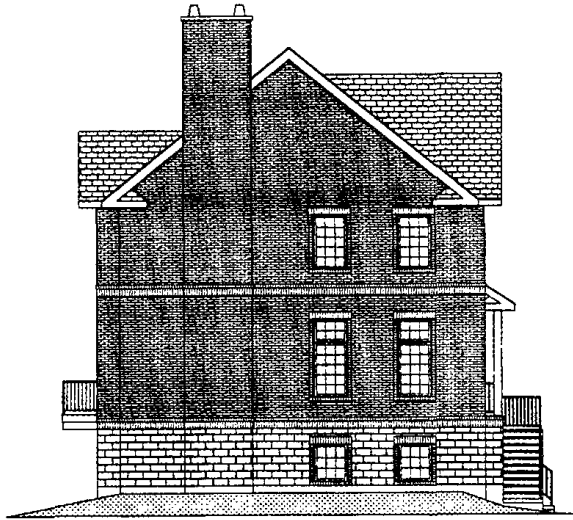
associates

ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE, SUITE 203
PARK RIDGE, ILLINOIS 60068
TEL: 847-696-4438 FAX: 847-698-9889



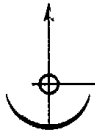
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"



NORTH FACE, INC.

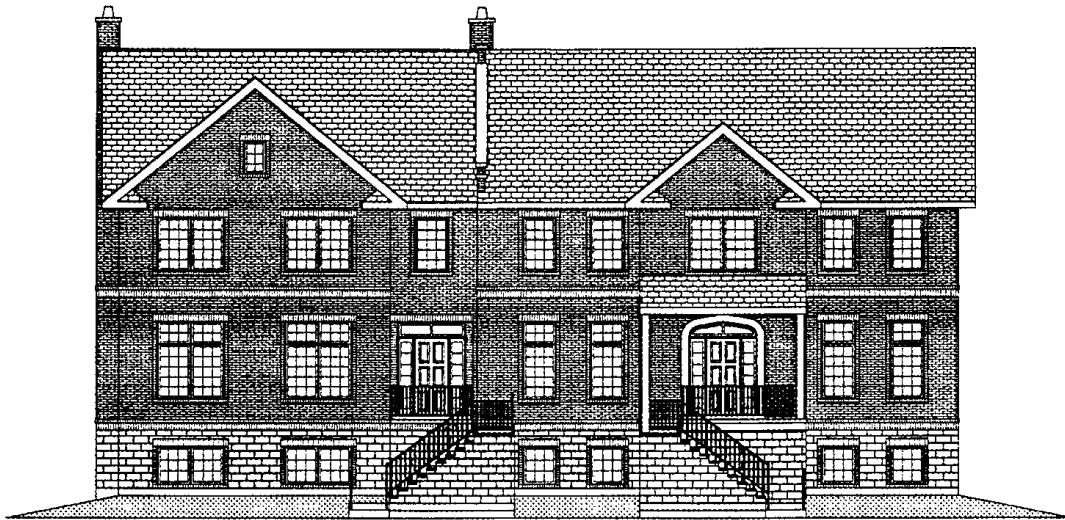
BUILDING AND DEVELOPMENT

F, B

arsa

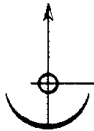
associates

ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE SUITE 203
PARK RIDGE, ILLINOIS 60069
TEL. 847-598-4438 FAX 847-698-9889



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



NORTH FACE, INC.
BUILDINGS AND DEVELOPMENT

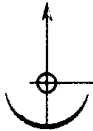
F, B

arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE SUITE 200
PARK RIDGE, ILLINOIS 60068
TEL: 847-690-4430 FAX: 847-690-8889



REAR ELEVATION

SCALE: 1/8" = 1'-0"



NORTH FACE, INC.
BUILDING AND DEVELOPMENT

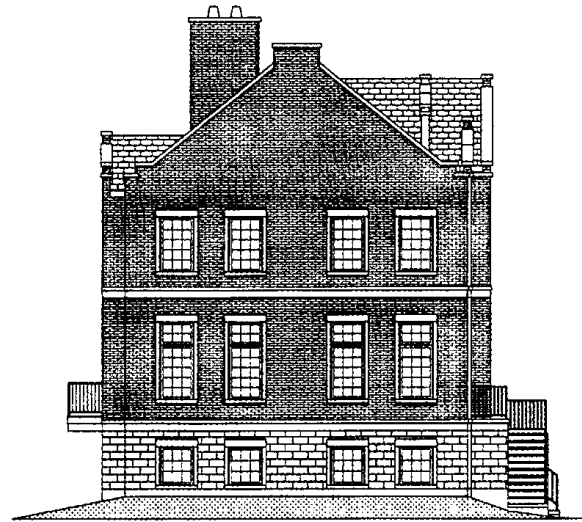
E, C

arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE, SUITE 203
PARK RIDGE, ILLINOIS 60068
TEL: 847-636-4438 FAX: 847-596-9689



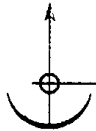
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"



NORTH FACE, INC.

BUILDINGS AND DEVELOPMENT

E.C

arsa

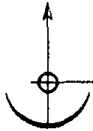
associates

ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE, SUITE 200
PARK RIDGE, ILLINOIS 60068
TEL: 847-698-4438 FAX: 847-698-8899



FRONT ELEVATION

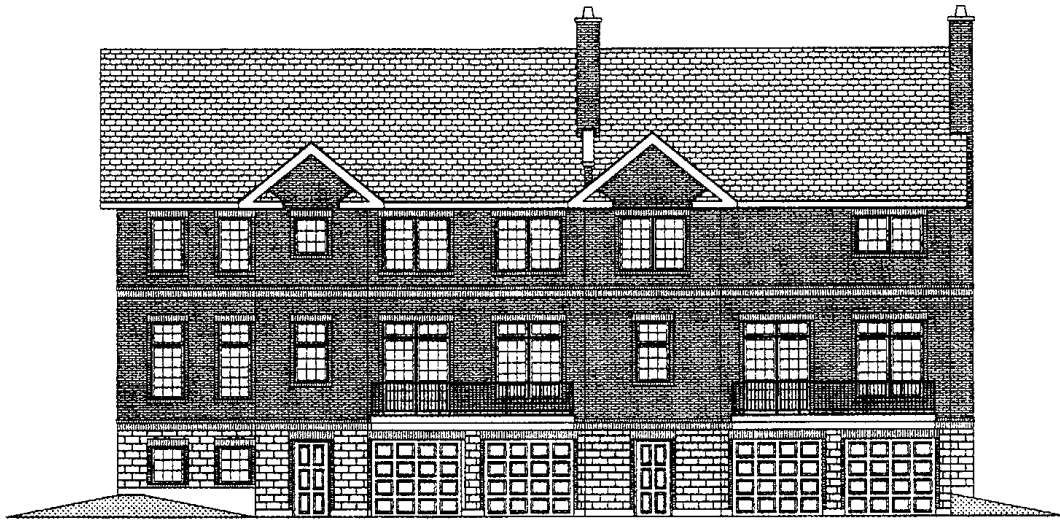
SCALE: 1/8" = 1'-0"



NORTH FACE, INC.
BUILDING AND DEVELOPMENT

E, C

arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PATTERSON AVENUE SUITE 200
PARK RIDGE, ILLINOIS 60068
TEL: 847-696-4438 FAX: 847-628-9889



REAR ELEVATION

SCALE: 1/8" = 1'-0"

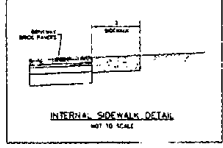


NORTH FACE, INC.
BUILDING AND DEVELOPMENT

F, B

arsa associates
ALAN R. SCHNEIDER ARCHITECTS P.C.
1411 WEST PETERSON AVENUE, SUITE 203
PARK RIDGE, ILLINOIS 60068
TEL: 847-638-4438 FAX: 847-636-3689

15 271111



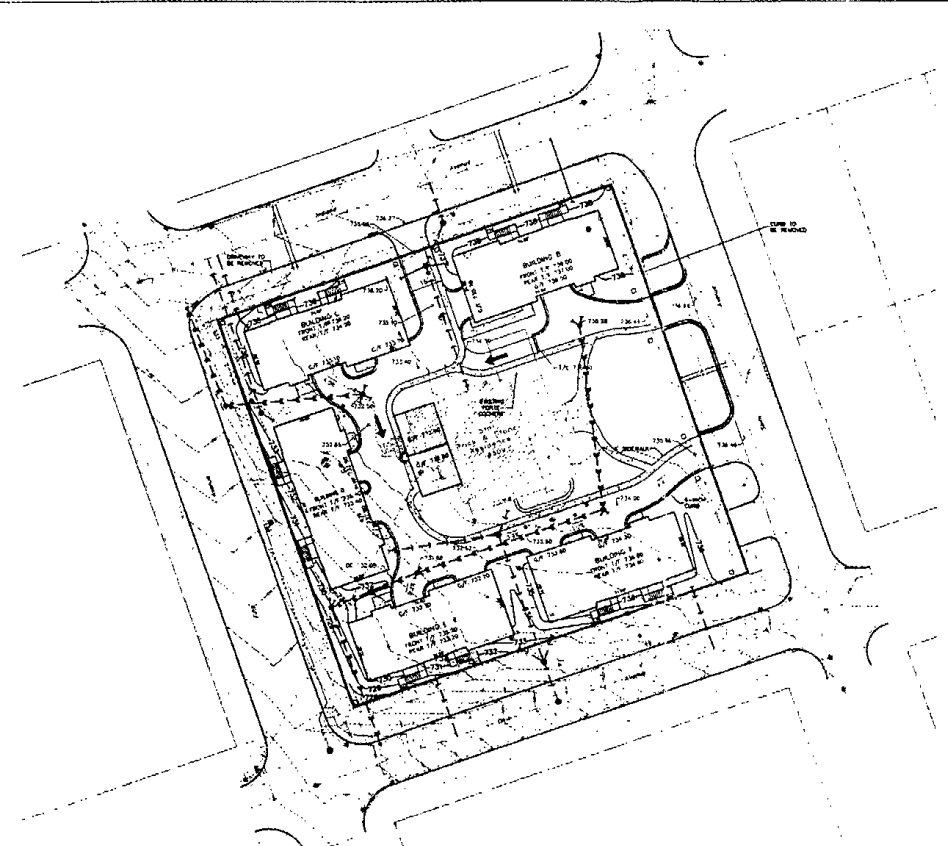
LEGEND

EXISTING FEATURES

- INDICATES UTILITY POLE
- INDICATES SIGNAGE
- INDICATES TREE AND BUSH
- INDICATES ELECTRICAL STRUCTURE
- INDICATES HOLE CAP
- INDICATES FINE ASPHALT
- INDICATES 18\"/>
- INDICATES 18\"/>
- INDICATES SANDY SPARSE GRANITOLITE
- INDICATES STONE SPARSE GRANITOLITE
- INDICATES STONE CRACK GRANITOLITE
- INDICATES UNDERGROUND TELEPHONE CABLE
- INDICATES UNDERGROUND GAS LINE
- INDICATES UNDERGROUND ELECTRIC CABLE
- INDICATES UNDERGROUND WATER LINE
- INDICATES FENCE LINE
- INDICATES SIGNAGE (NOT)
- INDICATES SANDY SPARSE GRANITOLITE, SEE MATERIAL AND DIRECTION OF FLOW
- INDICATES STONE SPARSE GRANITOLITE, SEE MATERIAL AND DIRECTION OF FLOW
- INDICATES CONTOUR LINE
- INDICATES CONCRETE CURB & GUTTER

PROPOSED FEATURES

- INDICATES GRANITOLITE
- INDICATES CONCRETE
- INDICATES ASPHALT
- INDICATES SANDY SPARSE GRANITOLITE
- INDICATES STONE SPARSE GRANITOLITE
- INDICATES CONCRETE CURB & GUTTER
- INDICATES CONCRETE CURB
- INDICATES SIGNAGE
- INDICATES SANDY SPARSE GRANITOLITE
- INDICATES STONE SPARSE GRANITOLITE
- INDICATES CONCRETE CURB & GUTTER
- INDICATES CONCRETE CURB



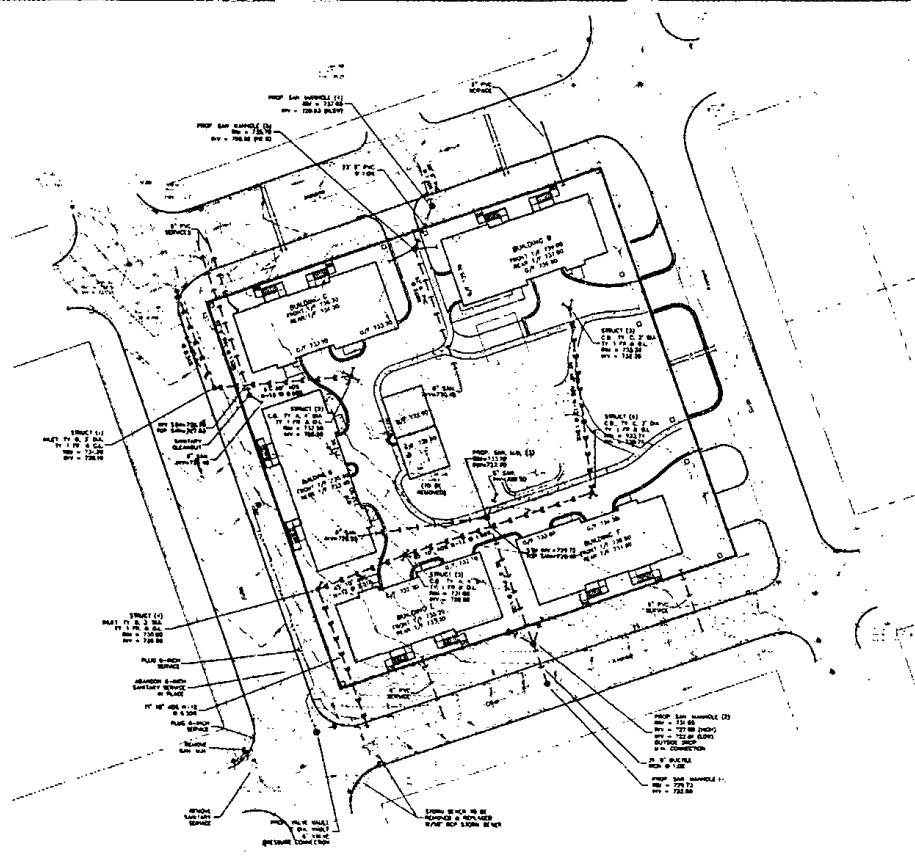
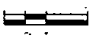
PREPARED BY NORTH HOPE BUILDERS, INC. ARCHITECT EDGAR LES MARTENS, L.C. BY CHARLES E. SMITH (313) 443-2330



DESIGNED BY NORTH HOPE BUILDERS, INC. ARCHITECT EDGAR LES MARTENS, L.C. BY CHARLES E. SMITH (313) 443-2330

NO.	DATE	DESCRIPTION
1	11/11/11	PRELIMINARY ENGINEERING
2	11/11/11	REVISION
3	11/11/11	REVISION
4	11/11/11	REVISION
5	11/11/11	REVISION

FOXWOOD SQUARE - PRELIMINARY ENGINEERING CITY OF ST CHARLES, KANE COUNTY, ILLINOIS



NORTH FACE BUILDING, INC.
 40000 GRAND LEE BLVD. LA.
 ST. CHARLES, IL 62203
 (314) 443-8300



PREPARED BY
 NORTH FACE BUILDING, INC.
 40000 GRAND LEE BLVD. LA.
 ST. CHARLES, IL 62203
 (314) 443-8300

NO.	DATE	DESCRIPTION
1	11/15/00	PRELIMINARY UTILITY PLAN
2	11/15/00	REVISIONS
3	11/15/00	REVISIONS
4	11/15/00	REVISIONS
5	11/15/00	REVISIONS
6	11/15/00	REVISIONS
7	11/15/00	REVISIONS
8	11/15/00	REVISIONS
9	11/15/00	REVISIONS
10	11/15/00	REVISIONS

PROJECT NO. 00-000000-00
 SHEET NO. 12 OF 12000
 00/0000-0000
 00/0000-0000
 00/0000-0000
 00/0000-0000
 00/0000-0000

FOXWOOD SQUARE - PRELIMINARY ENGINEERING UTILITY PLAN
 CITY OF ST CHARLES, KANE COUNTY, ILLINOIS

State of Illinois)
)
) ss.
Counties of Kane and DuPage)

Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

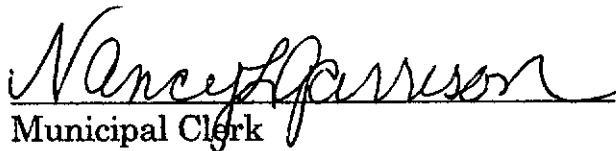
I further certify that on March 19, 2007, the Corporate Authorities of such municipality passed and approved Ordinance No. 2007-Z-4, entitled

"An Ordinance Granting an Amendment to Special Use
and PUD Preliminary Plan Approval (Foxwood Square
PUD – 309 S 6th Avenue),"

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2007-Z-4, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on March 23, 2007, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 19 day of March 2007.


Municipal Clerk



City of St. Charles, Illinois

Ordinance No. 2000-Z-16

**An Ordinance Designating Certain Property as a Landmark
(309 S. 6th Avenue)**

**Adopted by the
City Council
of the
City of St. Charles
July 17, 2000**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, July 21, 2000**



City Clerk

(S E A L)

REFER TO:	
MINUTES	7/17/00
PAGE	

ORDINANCE NO. 2000-Z- 16

DATE OF PUBLICATION 7/21/00
NEWSPAPER Pamphlet Form

AN ORDINANCE DESIGNATING CERTAIN PROPERTY
AS A LANDMARK
(309 S. 6th Ave.)

WHEREAS, the St. Charles Historic Preservation Commission has initiated an application to designate the property known as 309 S. 6th Ave. as a landmark, as authorized by Chapter 17.44 of the St. Charles Municipal Code; and

WHEREAS, the St. Charles Historic Preservation Commission has held a public hearing and has reviewed the testimony regarding designation as a landmark property for 309 S. 6th St., and

WHEREAS, the St. Charles Historic Preservation Commission has found that such property is of sufficient architectural and historical significance that it is appropriate for designation as a landmark; and

WHEREAS, the City Council of the City of St. Charles has received the recommendation of the Historic Preservation Commission and its findings and has considered same;

WHEREAS, the City Council of the City of St. Charles has made the following findings of fact:

1. **That the property has character, interest or value which is part of the development, heritage or cultural character of the community, county, state or nation.**

The property is an example of the beautiful and unique home that were built for the upper class members of the community. In the 1940s it became the Valley Rest Home.

2. **That the property is identified with a person who significantly contributed to the development of the community, county, stated or nation.**

The home was built by F.P. Haviland in 1900. He also built the home located directly east and commonly know as 314-316 S. 6th Ave. Mr. Raymond Judd purchased the home in 1902. Mr. Judd was one of the largest exporters and dealers of cattle in the Country.

- 3. **That the structure embodies distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials.**

The house is an example of Mission architecture. It is the only true example of this style in St. Charles. The home possess significant elements such as the parapets, shaped Mission dormers, and the large square pier supports for the porch. The home was originally constructed of wood and brick and then in 1921 the field stone and granite veneer was added.

- 4. **That the structure embodies elements of design, detailing, materials, or craftsmanship that are of architectural significance.**

The home possess significant elements such as the parapets, shaped Mission dormers, and the large square pier supports for the porch. The home was originally constructed of wood and brick and then in 1921 the field stone and granite veneer was added. The original wood windows still remain intact.

- 5. **That the property has a unique location or physical characteristics that make it a familiar visual feature.**

The home is located on a full block of property on the Southwest corner of Indiana Ave and 6th Ave.. The house is set in the middle of the property giving it a regal appearance.

- 6. **That the property is suitable for preservation or restoration.**

The home has been well maintained. The current owner(Thomas and Pat Mestetsky) have made great effort to restore the property in an appropriate manner.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

SECTION 1. That the real-estate legally described in Exhibit “A” hereto be and is hereby designated as a landmark pursuant to Chapter 17.44 of Title 17 of the St. Charles Municipal Code.

SECTION 2. That this Ordinance shall become effective from and after its passage and approval in accordance with law

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 17 day of July, 2000.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, this 17 day of July, 2000.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois, this 17 day of July, 2000.


MAYOR


ATTEST:


CITY CLERK

COUNCIL VOTE:

Ayes: 10
Nays: 0
Absent: 0

"APPROVED AS TO FORM:


City Attorney

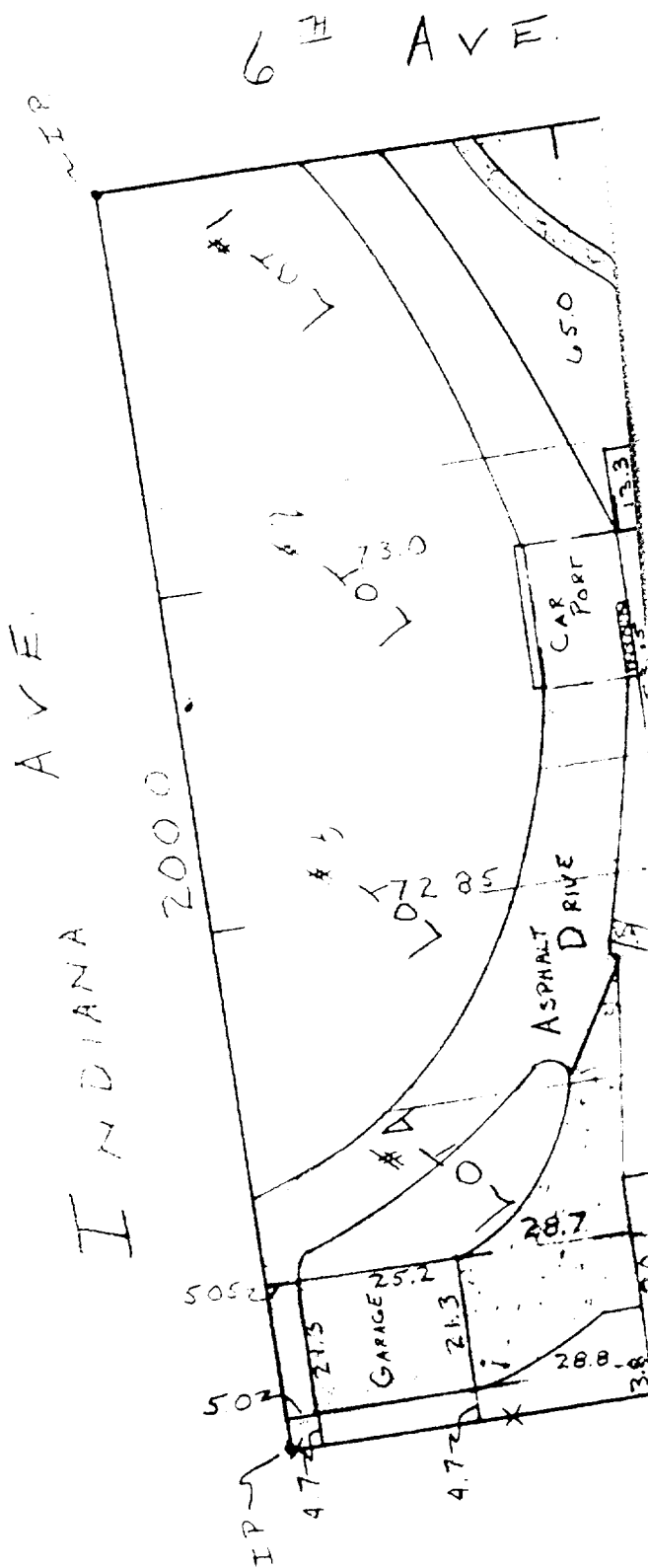
Date: 7/17/00 "

EXHIBIT 'A'

Plat of Survey

OF PROPERTY DESCRIBED AS:

Block 21 in Minard, Ferson and Hunt's Addition to St. Charles, St. Charles Township, Kane County, Illinois.



State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, KRISTIE A. NEPHEW, certify that I am the duly elected and acting municipal clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

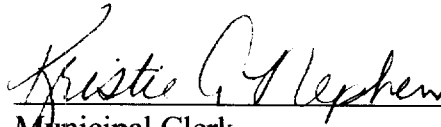
I further certify that on July 17, 2000, the Corporate Authorities of such municipality passed and approved Ordinance No. 2000-Z-16, entitled

"An Ordinance Designating Certain Property as a Landmark
(309 S. 6th Avenue)",

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2000-Z-16, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on July 21, 2000, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 17th day of July, 2000.



Municipal Clerk

(S E A L)