	<b>PLAN COMMISSION AGENDA ITEM EXECUTIVE SUMMARY</b>			
	<b>Project Title/ Address:</b>	2701 E. Main Street Drive-Through Facility Stacking Space Reduction Request		
	<b>City Staff:</b>	Matthew O'Rourke Planner		
<b>Please check appropriate box (x)</b>				
<b>PUBLIC HEARING</b>			<b>MEETING 2/4/14</b>	X
<b>APPLICATIONS UNDER CONSIDERATION:</b>				
Concept Plan				
<b>ATTACHMENTS AND SUPPORTING DOCUMENTS</b>				
Staff Memo		Letter from Kolbrook Design; dated 1/14/2014		
Application & Attachments		Permitted uses on Parcel 3A from Ordinance No. 1997-M-115		
Stacking Space Analysis; Gewalt Hamilton Associates, Inc.; dated 1/28/2014		PUD Preliminary Plans; Kolbrook Design; dated 1/30/2014		
<b>EXECUTIVE SUMMARY:</b>				
<p>The applicant, Kolbrook Design, has submitted an application for a Minor Change to the approved PUD Preliminary Plan and request for a reduction in the required number of Drive-Through Facility stacking spaces. The applicant intends to modify the former Qdoba space into a Dunkin Donuts restaurant with a Drive-Through Facility. The details of the proposal are as follows:</p> <ul style="list-style-type: none"> <li>• Convert the existing restaurant space into Dunkin Donuts. <ul style="list-style-type: none"> <li>○ Modify the site plan to accommodate a Drive-Through Facility along the west building elevation. <ul style="list-style-type: none"> <li>▪ Add 6 drive-through stacking spaces.</li> </ul> </li> <li>○ Remove 9 parking spaces west of the building to accommodate the Drive-Through Facility.</li> <li>○ Remove a portion of the existing outdoor seating area.</li> <li>○ Remove landscaping to the west of the building and add new landscaping in-between the drive-through stacking spaces and western parking stalls.</li> </ul> </li> <li>• Update the exterior appearance of the restaurant space. <ul style="list-style-type: none"> <li>○ Updates include new signage and painting of the exterior facades.</li> </ul> </li> </ul>				
<b>RECOMMENDATION / SUGGESTED ACTION</b> <i>(briefly explain):</i>				
Staff recommends approval of the request to reduce the required Drive-Through Facility stacking spaces.				

# Community & Economic Development

## Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



ST. CHARLES  
SINCE 1834

### Staff Report

**TO:** Chairman Todd Wallace  
And Members of the Plan Commission

**FROM:** Matthew O'Rourke, AICP  
Planner

**RE:** Minor Change to PUD Preliminary Plan and Drive-Through Facility Stacking Space Reduction Request for 2701 E. Main Street (Dunkin Donuts).

**DATE:** January 31, 2014

### I. APPLICATION INFORMATION:

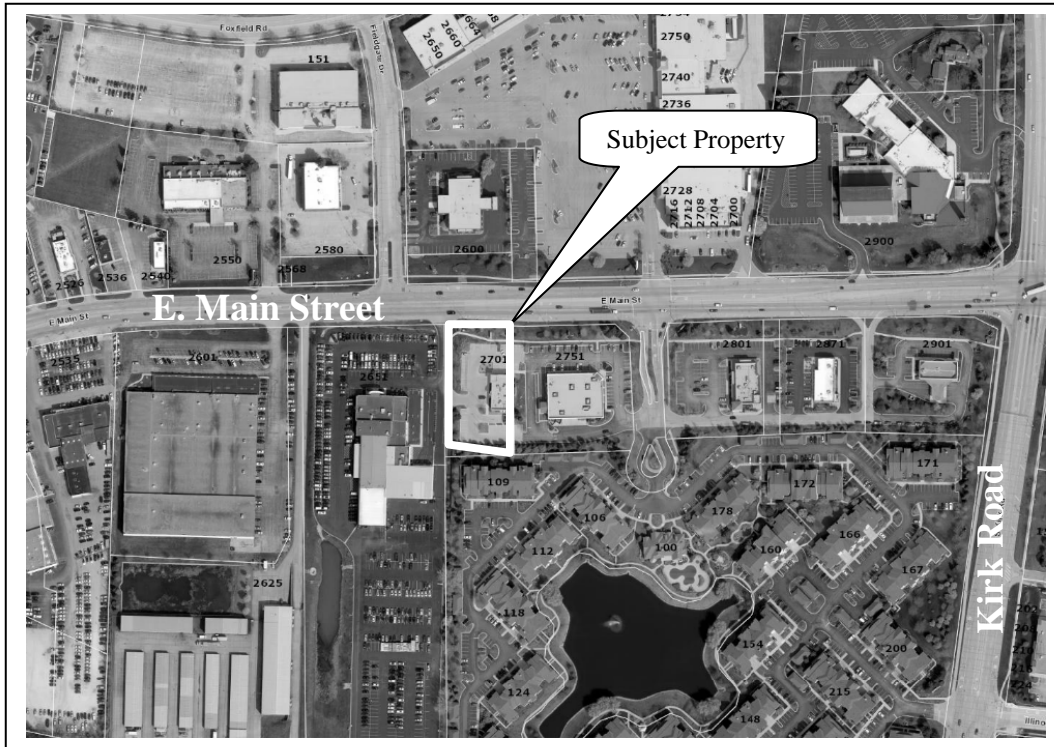
**Project Name:** 2701 E. Main Street

**Applicant:** Steven Kolber, Kolbrook Design.

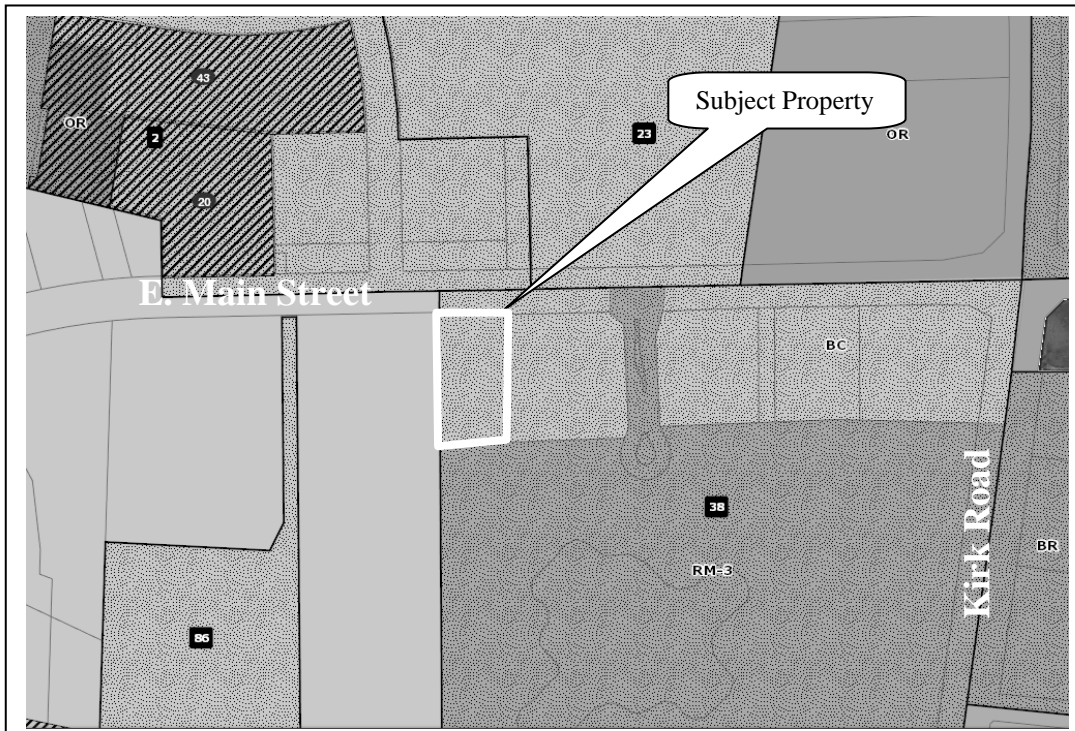
**Purpose:** Minor change to modify the existing tenant space into a Dunkin Donuts Restaurant and addition of a Drive-Through Facility.

<b>General Information:</b>		
<b>Site Information</b>		
Location	2701 E. Main Street	
Acres	1.15	
Applications	<b>1) Minor Change to PUD Preliminary Plan</b>	
Applicable Ordinances and Zoning Code Sections	17.04 Administration 17.06 Design Review Standards & Guidelines 17.24.100 Drive-Through Facilities Ordinance No. 1997-M-115 "An Ordinance Granting a Special Use as a Planned Unit Development (Stuart's Crossing PUD)"	
<b>Existing Conditions</b>		
Land Use	Existing Restaurant Building	
Zoning	BC- Community Business (Stuarts Crossing PUD)	
<b>Zoning Summary</b>		
North	BC- Community Business (Foxfield Commons PUD)	Multiple Buildings
East	BC- Community Business (Stuarts Crossing PUD)	Walgreen's
South	RM-3 General Residential (Stuarts Crossing PUD)	AMLI Apartments
West	BC- Community Business	Toyota Dealership
<b>Comprehensive Plan Designation</b>		
Neighborhood Commercial		

### Aerial Photograph



### Surrounding Zoning



## II. BACKGROUND

In 1997, the City Council approved Ordinance No. 1997-M-115 “An Ordinance Granting a Special Use as a Planned Unit Development (Stuart’s Crossing PUD)”. This ordinance established the basic framework and standards for all properties developed in the Stuarts Crossing PUD. 2701 E. Main Street is located on Parcel 3A of this PUD.

Under these provisions, Resolution No. 2002-21 “Recommending Approval of Application for PUD Preliminary Plans Stuart’s Crossing – AMLI Lot 2 Boston Market)” for a stand-alone Boston Market restaurant at 2701 E. Main Street was approved in 2002. This approved plan was modified by the following resolutions for Minor Changes to the PUD Preliminary Plan: Resolution No. 2002-33, 2003-13, 2003-25, and 2005-29.

In 2009, Ordinance No. 2009-M-3 and Ordinance No. 2009-Z-1 were approved. These two ordinances permitted Retail Sales on Parcel 3A of the Stuart’s Crossing PUD and modifications to the existing building. After these approvals the two tenant spaces were occupied by a T-Mobile store and Qdoba restaurant. The Qdoba restaurant space has been vacant since 2012.

## III. PROPOSAL

The applicant, Kolbrook Design, has submitted an application for a Minor Change to the approved PUD Preliminary Plan and request for a reduction in the required number of Drive-Through Facility stacking spaces. The applicant intends to modify the former Qdoba space into a Dunkin Donuts restaurant with a Drive-Through Facility. The details of the proposal are as follows:

- Convert the existing restaurant space into Dunkin Donuts.
  - Modify the site plan to accommodate a Drive-Through Facility along the west building elevation.
    - Add 6 drive-through stacking spaces.
  - Remove 9 parking spaces west of the building to accommodate the Drive-Through Facility.
  - Remove a portion of the existing outdoor seating area.
  - Remove landscaping to the west of the building and add new landscaping in-between the drive-through stacking spaces and western parking stalls.
- Update the exterior appearance of the restaurant space.
  - Updates include new signage and painting of the exterior facades.

## IV. STAFF ANALYSIS

### A. MINOR CHANGE

Based on the details of the proposal, staff has determined that this project meets the criteria of a minor change to a PUD. **Section 17.04.430.B Minor Changes** of the Zoning Ordinance states that a change to the PUD plan constitutes a minor change under the following circumstances:

*“The City Council may, without review and recommendation of the Plan Commission, approve minor changes in the PUD plans that do not change the concept or intent of the PUD. Minor changes are defined as any change not defined as a major change (see Paragraph A above) or an authorized administrative change (see Paragraph C below).”*

**B. PROPOSED USES**

There is a specific list of permitted uses for Parcel 3A in the Stuart’s Crossing PUD. Specifically, “Restaurants, including live entertainment and dancing, and **drive-in restaurants**; not including fast food restaurants” is listed as a permitted use.

The applicant has submitted a letter dated January 14, 2014 describing Dunkin Donuts’ business operations. This letter states:

- 70% of the business is from the sale of beverages.
- 80% of their patrons are morning commuters.
- The inside décor of the restaurant encourages patrons to stay long periods of time in lounge seats.

Based on this information, staff has conferred with legal counsel and determined that the proposed use constitutes a “drive-in restaurant”.

**C. SITE PLAN**

Staff has reviewed the proposed changes to the site plan in accordance with the relevant provisions of Title 17 of the Zoning Ordinance and the standards established in the Stuart’s Crossing PUD. The details of that review are as follows:

**1. Drive-Through Facility and Site Layout**

The applicant is proposing to remove the 9 existing parking spaces west of the existing building. The applicant will place the drive-through pick-up window stacking spaces in this location. The following table represents staff’s review of relevant standards:

<b>Category</b>	<b>Zoning Ordinance Standard</b>	<b>PUD Standard</b>	<b>Proposed</b>
<b>Required Stacking Spaces</b>	15	N/A	6
<b>Required Stacking Stall Size</b>	9’ X 20’	N/A	9’ X 20’
<b>Screened from Public Street</b>	Must not be along or screened from public street	N/A	Drive-Through Facility is located away from the public street
<b>Parking Stalls (Both Units)</b>	29	N/A	48

**2. Landscaping**

The proposed plan illustrates that some of the landscaping along the foundation of the building will be removed. However, the amount of landscaping the application is creating will increase the overall square footage of landscaping onsite. The applicant is proposing to remove approximately 262 square feet of greenspace and replace it with 1,147 square feet of greenspace.

**D. DRIVE-THROUGH FACILITY STACKING SPACE REDUCTION**

The Applicant is requesting a reduction in the required number of drive-through stacking spaces from 15 to 6.

Section **17.24.100.C Reduction of Required Spaces** of the Zoning Ordinance states:

*“The number of required stacking spaces may be reduced by the City Council, after receiving a recommendation from the Plan Commission, if the petitioner presents a study with quantifiable evidence based on comparable facilities that demonstrates that the number of stacking spaces may be reduced without affecting the ability of the proposed facility to meet the applicable requirements. The approval of a reduced number of stacking spaces shall apply only to the specific business for which the study was conducted.”*

The applicant has provided an analysis from Gewalt Hamilton Associates, Inc. dated 1-28-2014 (Memo Attachment 3) to substantiate this request. The details of this analysis are as follows:

- The study includes data from two existing Dunkin Donuts establishments collected in 2012.
  - The analysis examines the morning peak period from 7:00 AM to 9:00 AM.
  - The Rolling Meadows location has an average queue of less than 2 cars and a maximum queue of 6 cars.
  - The Elgin location has an average queue of 4 cars and a maximum queue of 7 cars.
- Gewalt Hamilton has recently examined a facility in Glenview. The average queue at this location was 4 cars with a maximum of 8 cars observed once.
- Gewalt Hamilton has stated that 6 stacking spaces are sufficient for the proposed Dunkin Donuts Drive-Through Facility.

#### E. BUILDING ELEVATIONS

The applicant is planning cosmetic changes to the façade of the existing building. These changes involve painting the façade and replacing the existing window/door awnings. The new color scheme is comprised of earth tone colors with small orange accent bands. The proposed modifications comply with **Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts** of the City’s Zoning Ordinance.

#### V. RECOMMENDATION

Staff recommends approval of the application for Minor Change to PUD Preliminary Plan and request to reduce the required Drive-Through Facility stacking space, given that any potential increased stacking will be internal to the site and will not impact any public streets.

#### VI. ATTACHMENTS

- Application for Minor Change to PUD Preliminary Plan; received 1/17/2014
- Permitted uses on Parcel 3A from Ordinance No. 1997-M-115
- Letter from Kolbrook Design; dated 1/14/2014
- Stacking Space Analysis; Gewalt Hamilton Associates, Inc.; dated 1/28/2014
- PUD Preliminary Plans; Kolbrook Design; dated 1/30/2014

CITY OF ST. CHARLES  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

MINOR CHANGE TO PUD APPLICATION

RECEIVED  
Received Date  
St. Charles, IL

JAN 17 2014

CDD  
Planning Division

CITYVIEW

Project Name:

2701 E. Main St. - DUNLIN DONUTS

Project Number:

2014 -PR- 003

Application No.

2014 -AP- 003

Instructions:

A Minor Change to PUD is one that modifies an approved PUD Preliminary Plan in a manner that complies with all standards of the Special Use for PUD Ordinance applicable to the property and meets the definition of a Minor Change as contained either in Section 17.04.430 of the Zoning Ordinance or the Special Use for PUD Ordinance.

To request approval of a Minor Change, complete this application and submit it with all required attachments to the Planning Division. When the application is complete, City staff will schedule a review by the Planning and Development Committee of the City Council. The Committee's recommendation will be forwarded to the City Council for final action.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

- 1. Property Information:**  
Parcel Number (s): 0925301029  
  
Street Address: 2701 E Main St. Saint Charles, IL 60174
- 2. Applicant Information:**  
Name: Steve Kolber, Kolbrook Design Phone 847-492-1992  
Address: 828 Davis Street Suite 300. Evanston, IL 60201 Fax 312-453-0699  
Email skolber@kolbrook.com
- 3. Record Owner Information:**  
Name CPD Feather Rock LLC Phone 502 425 1524  
Address 10531 Timberwood Circle, Suite D Fax 502 470 7670  
Louisville, KY 40223 Email chad@greenrockosa.com
- 4. Billing:**  
To whom should costs for this application be billed?  
Name Steve Kolber, Kolbrook Design Phone 847-492-1992  
Address 828 Davis Street Suite 300 Fax  
Evanston, IL 60201 Email

**INFORMATION FOR PROPOSED MINOR CHANGE:**

NAME OF PUD: Stuart's Crossing

PUD ORDINANCE #: 1997-M-115

Identify Specific PUD Plans to be changed:

- 1. Provide drive thru facility with 6 vehicle stacking
- 2. Addition of signage
- 3. \_\_\_\_\_

Description of Proposed Changes:

Interior and exterior renovation of existing two tenant building to support a Dunkin Donuts restaurant and drive thru

Addition of drive thru menu board and speaker tower canopy

***Attachment Checklist***

- APPLICATION:** Completed application form signed by the applicant
- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- PROOF OF OWNERSHIP and DISCLOSURE:**
  - a) a current title policy report; or
  - b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

- LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper
- PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- COVER LETTER:** describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.



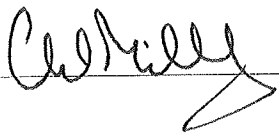


**OWNERSHIP DISCLOSURE FORM  
LIMITED LIABILITY COMPANY (L.L.C.)**

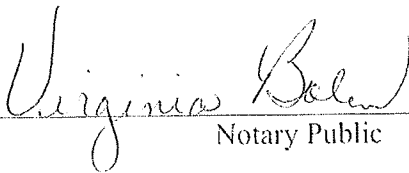
STATE OF ILLINOIS    )  
                                  ) SS.  
KANE COUNTY         )

I, Chad Middendorf, being first duly sworn on oath depose and say that I am  
Manager of CPD Feather Rock LLC, an <sup>Indiana</sup> ~~Illinois~~ Limited Liability  
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

- |                        |       |
|------------------------|-------|
| <u>Chad Middendorf</u> | _____ |
| <u>Loren Guzik</u>     | _____ |
| _____                  | _____ |
| _____                  | _____ |
| _____                  | _____ |
| _____                  | _____ |

By: , Manager

Subscribed and Sworn before me this 17<sup>th</sup> day of  
December, 2013.

  
Notary Public



January 14, 2014

Matthew O'Rourke  
City of St. Charles  
2 E. Main Street  
St. Charles, IL 60174

Re: Minor Change to PUD Application  
2701 E Main St.  
St. Charles, IL 60174

Dear Mr. O'Rourke:

Please consider this petition to make minor changes to the Stuart's Crossing PUD; specifically to the property formerly operated as a Qdoba restaurant.

We are looking to convert an existing restaurant space into a drive thru coffee shop within the Stuart's Crossing PUD. As shown in the attached proposal, Dunkin Donuts potentially will be taking up the West portion of the building and creating a drive thru which directs vehicle traffic around the building. The existing neighboring tenant (T-Mobile) is expected to remain.

Understanding the requirements for a drive thru facility within the City of St. Charles typically requires enough space to stack 15 vehicles, we have attached a statement which describes the kind of use a typical Dunkin Donuts drive thru sees daily while expressing the need for no more than four to six vehicles in queue at any time. In kind, we have designed a drive through option which allows for six vehicles to fit comfortably along the side of the subject building by modifying the parking lot layout as illustrated in the enclosed project packet.

Lastly, we had discussed the character of Dunkin Donuts as it relates to the comparison with other franchises that are considered "fast food" and would like to supply further information which supports our determination that Dunkin Donuts is a Coffee/ Donut Shop based not only on sales but the atmosphere and character of the space as well. A recent sales analysis performed by our client has shown that beverage sales account for 70% of his business on a regular basis and 80% of all business happens between 5 and 10 am serving coffee to morning commuters. Patrons who come into a new Dunkin Donuts coffee shop will find a welcoming atmosphere which encourages an extended stay by introducing elements such as soft lighting and lounge seating areas. In short, it is the intent of the Dunkin Donuts brand as a whole to distance itself from the sterile, commercialized feelings associated with the majority of "fast food" chains.

I hope that you and your fellow staff members will find this proposal favorable and I look forward to your response.

Respectfully Submitted

A handwritten signature in black ink, appearing to read "SK", with a horizontal line extending to the right.

Steven Kolber, AIA  
Principal  
Kolbrook Design, Inc.

828 Davis Street  
Suite 300  
Evanston, IL 60201

[www.kolbrook.com](http://www.kolbrook.com)

# Memorandum



CONSULTING ENGINEERS

To: **Karim Khoja**  
Northshore Management Group, Inc.

From: Bill Grieve

Date: January 28, 2014

Subject: ***Proposed Dunkin Donuts Drive-Thru  
2701 E. Main Street (IL 64) – St. Charles, Illinois***

850 Forest Edge Drive, Vernon Hills, IL 60061  
TEL 847.478.9700 ■ FAX 847.478.9701

820 Lakeside Drive, Suite 5, Gurnee, IL 60031  
TEL 847.855.1100 ■ FAX 847.855.1115

53 W. Jackson Blvd., Suite 924, Chicago, IL 60604  
TEL 312.329.0577 ■ FAX 312.329.1942

[www.gha-engineers.com](http://www.gha-engineers.com)

---

GEWALT HAMILTON ASSOCIATES, INC. (GHA) has considered the drive-thru stacking needs at the above captioned location. As proposed, Dunkin' Donuts would occupy the former Qdoba restaurant space at 2701 E. Main Street in St. Charles, Illinois. I offer the following information for your consideration.

## Drive-Thru Stacking

- GHA conducted extensive drive-thru stacking surveys in 2012 at two Dunkin' Donuts in Rolling Meadows and Elgin in 2012. It is our understanding that these two stores have comparable sales as projected at the 2701 E. Main Street store.
- *Exhibit A* summarizes the data collected during the morning peak period from 7 AM to 9 AM. The Rolling Meadows Dunkin' Donuts had an average queue of less than 2 cars and a maximum queue of 6 cars. The Elgin store had an average queue of less than 4 cars and a maximum queue of 7 cars.
- Dunkin' Donuts recently added a drive-thru to their store at the Lake Avenue / Waukegan Road intersection in Glenview, Illinois. GHA follow-up observations after the drive-thru opened indicate that the average queue was 4 cars and a maximum queue (one time) of 8 cars was observed.

*Discussion Point.* Based on the survey results, we believe that 6 car stacking at the 2701 E. Main Street store should adequately accommodate the drive-thru demand.

## Kolbrook Design Site Plan

- Appropriate signage and pavement striping should be implemented to direct customers to the drive-thru and to let drivers know that the western circulation aisle would operate one-way southbound, instead of two-way.
- It may be appropriate to include a channeling island that separates the drive-thru lane from the travel lane and parking along the western drive aisle.
- Changing the orientation in the western aisle to 60-degree angle spaces may allow for a row of angle parking on the east side that would help separate the drive-thru aisle lane from other traffic. In fact, based on current City design standards, there may be an opportunity to provide a row of perpendicular parking on the eastside, which would allow two-way operation of the western circulation aisle to be maintained.

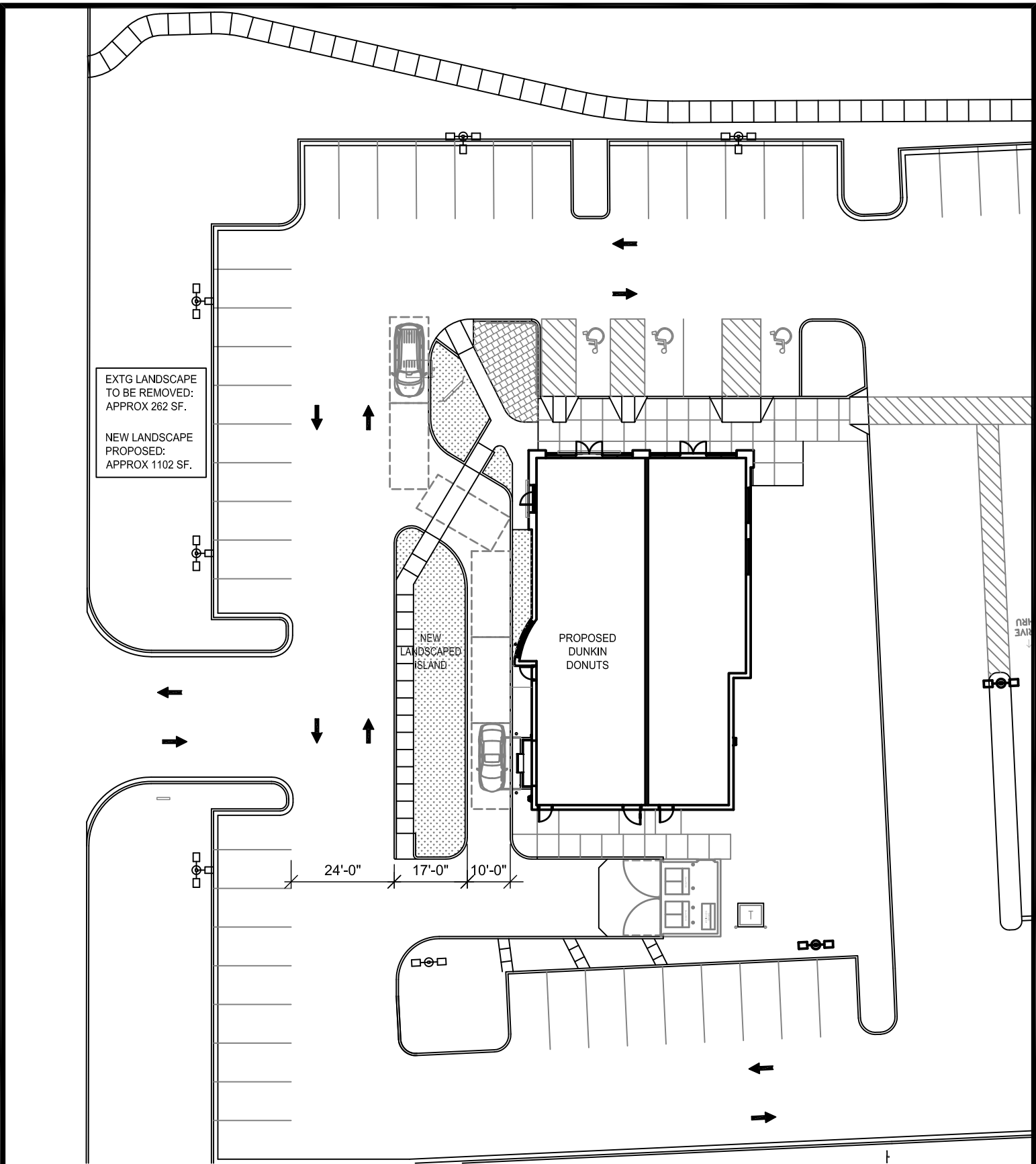
### Exhibit A - Dunkin' Donuts Drive-Thru Surveys

1300 Hick Road, Rolling Meadows IL - Observed 7/5/12						
Time	Gas Only	Convenience Only	Gas and Convenience Store	Drive Thru Only	Total	Vehicle Queues
7:00-7:15 AM	4	5	5	5	19	1,0,1,0,0
7:15-7:30 AM	2	4	5	11	22	2,3,1,4,1
7:30-7:45 AM	4	2	4	15	25	1,1,1,2,2
7:45-8:00 AM	2	6	6	9	23	1,0,0,1,4
8:00-8:15 AM	6	4	0	9	19	1,4,1,2,0
8:15-8:30 AM	4	2	4	5	15	1,0,0,0,0
8:30-8:45 AM	2	3	5	6	16	2,0,1,1,0
8:45-9:00 AM	4	3	8	15	30	1,1,2,6,3
<b>TOTAL</b>	<b>28</b>	<b>29</b>	<b>37</b>	<b>75</b>	<b>169</b>	<b>Max Queue = 6</b>

1137 Dundee Avenue, Elgin, IL - Observed 7/5/12						
Time	Gas Only	Convenience Only	Gas and Convenience Store	Drive Thru Only	Total	Vehicle Queues
7:00-7:15 AM	7	5	8	12	32	4,3
7:15-7:30 AM	6	3	3	15	27	4,7
7:30-7:45 AM	6	5	7	13	31	5,4
7:45-8:00 AM	4	5	3	9	21	3,2
8:00-8:15 AM	3	4	3	11	21	4,3,4
8:15-8:30 AM	3	2	4	12	21	3,4
8:30-8:45 AM	3	5	3	11	22	3,2
8:45-9:00 AM	5	8	2	14	29	4,4
<b>TOTAL</b>	<b>37</b>	<b>37</b>	<b>33</b>	<b>97</b>	<b>204</b>	<b>Max Queue = 7</b>

*Gewalt Hamilton Associates, Inc.*





1 SITE PLAN  
SCALE: 1" = 30'-0"

<b>ARCHITECT:</b>  828 DAVIS STREET SUITE 300 EVANSTON, IL 60201 Ph 847.492.1992	<b>PROJECT:</b> Dunkin St. Charles - Qdoba 2701 E Main St. St. Charles, IL 60174	Job No. 1425.009
	SUB-COMPACT SITE PLAN	Issue Date 01/31/2014
		Project Area 2236 SQ. FT.



EXISTING STREET FRONTAGE



EXISTING PYLON SIGN

CONTENTS:

1. COVER SHEET AND SITE PHOTOS
2. ADDITIONAL SITE PHOTOS
3. PLAT OF SURVEY
4. PROPOSED SITE PLAN
5. EXISTING ELEVATIONS
6. EXISTING ELEVATIONS
7. PROPOSED ELEVATIONS
8. PROPOSED ELEVATIONS
9. DRIVE THRU SIGNS
10. DRIVE THRU MENU
11. BUILDING SIGNAGE

ARCHITECT:

**kolbrook design**

828 DAVIS STREET  
SUITE 300  
EVANSTON, IL 60201  
Ph 847.492.1992

PROJECT:

Dunkin Donuts - St. Charles

2701 E Main Street  
St. Charles, IL 60174

COVER SHEET AND  
SITE PHOTOS

Project Number

1425.009

Issue Date

01/14/2014

Page Number

01





EXISTING CORNER MONOLITH



EXISTING TENANT SIDE



EXISTING SIDE ENTRANCE



EXISTING REAR EXIT

ARCHITECT:

**kolbrook design**

828 DAVIS STREET  
SUITE 300  
EVANSTON, IL 60201  
Ph 847.492.1992

PROJECT:

Dunkin Donuts - St. Charles

2701 E Main Street  
St. Charles, IL 60174

ADDITIONAL SITE  
PHOTOS

Project Number

1425.009

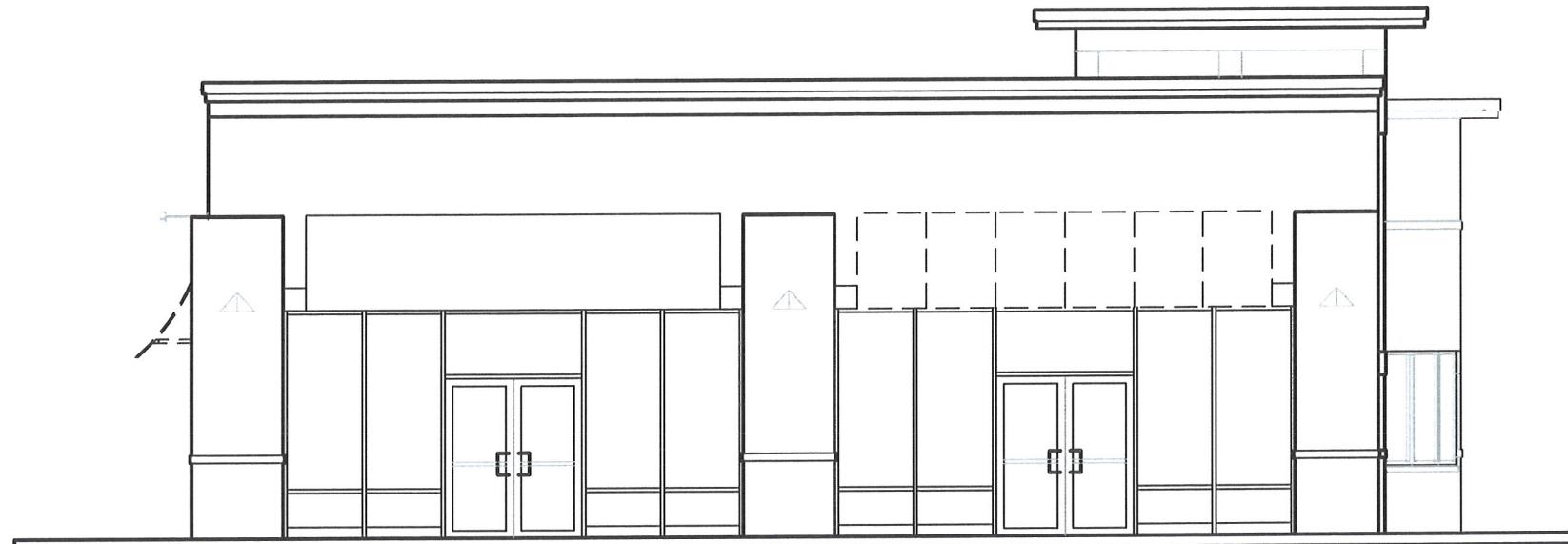
Issue Date

01/14/2014

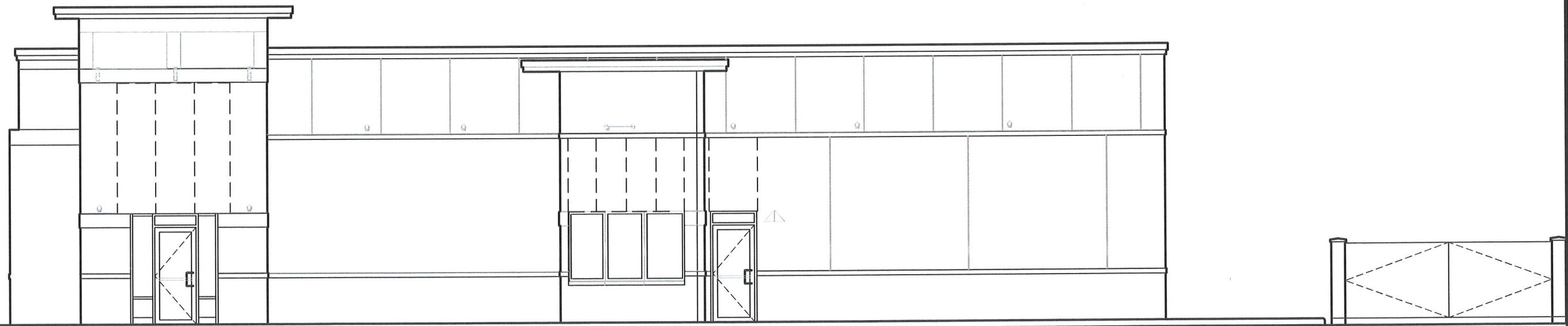
Page Number

02





2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



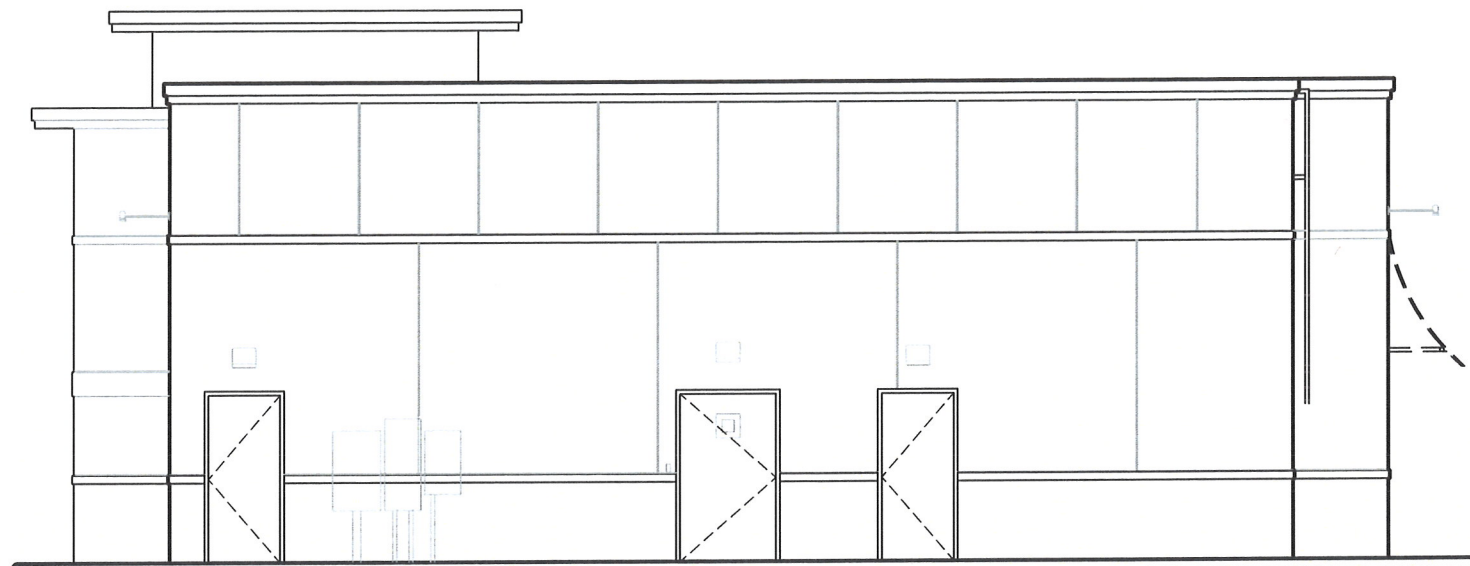
1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

ARCHITECT:  
  
 828 DAVIS STREET  
 SUITE 300  
 EVANSTON, IL 60201  
 Ph 847.492.1992

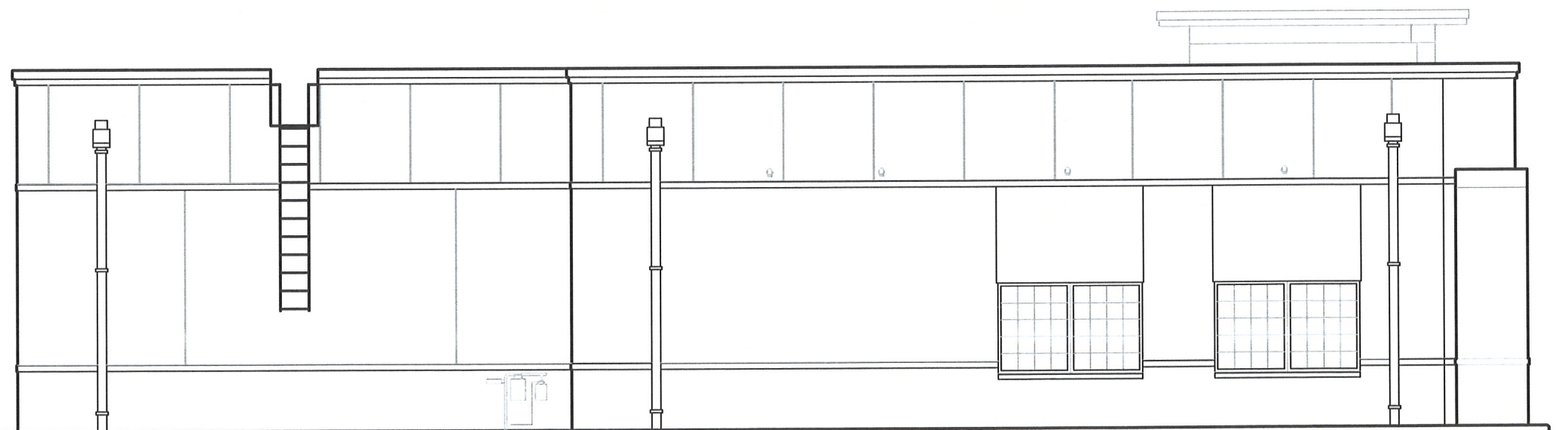
PROJECT:  
 Dunkin Donuts - St. Charles  
 2701 E Main Street  
 St. Charles, IL 60174

EXISTING ELEVATIONS

Project Number	1425.009
Issue Date	01/14/2014
Page Number	05



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

ARCHITECT:

**kolbrook design**

828 DAVIS STREET  
SUITE 300  
EVANSTON, IL 60201  
Ph 847.492.1992

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PROJECT:

Dunkin Donuts - St. Charles

2701 E Main Street  
St. Charles, IL 60174

EXISTING ELEVATIONS

Project Number

1425.009

Issue Date

01/14/2014

Page Number


06



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



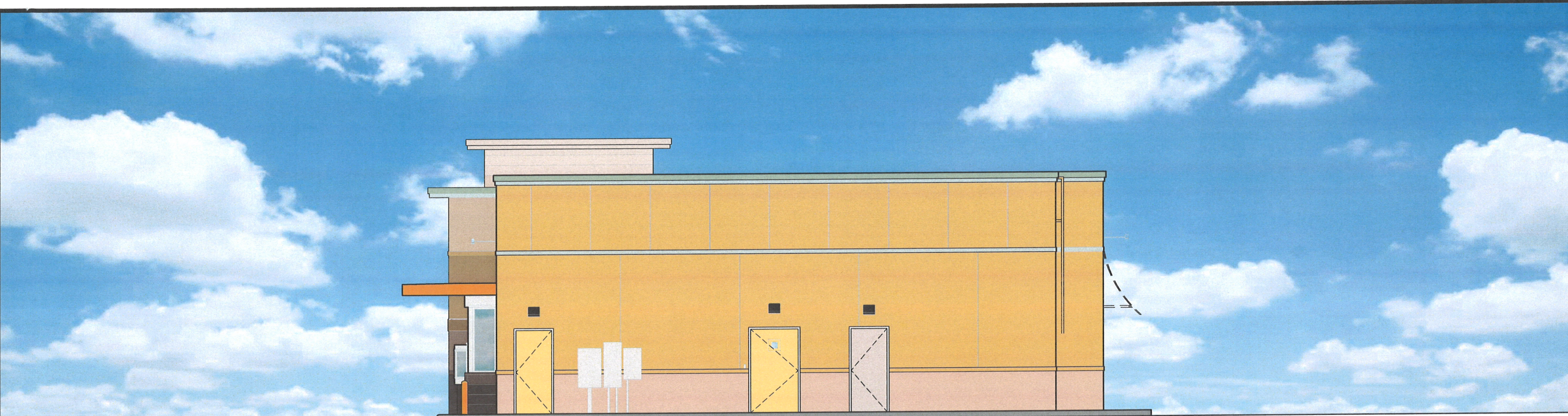
1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

ARCHITECT:  
  
 828 DAVIS STREET  
 SUITE 300  
 EVANSTON, IL 60201  
 Ph 847.492.1992

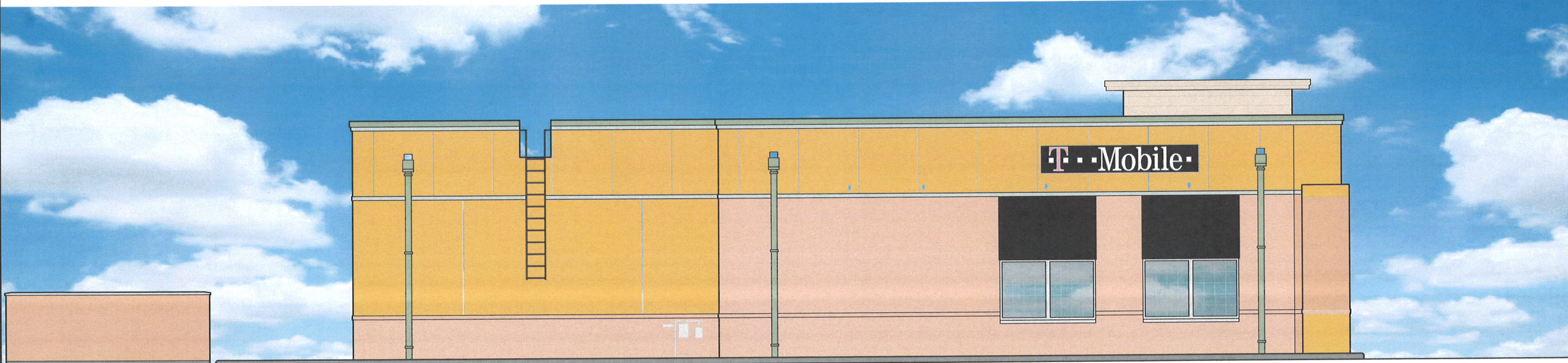
PROJECT:  
 Dunkin Donuts - St. Charles  
 2701 E Main Street  
 St. Charles, IL 60174

PROPOSED ELEVATIONS

Project Number	1425.009
Issue Date	01/14/2014
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2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

ARCHITECT:

**kolbrook design**

828 DAVIS STREET  
SUITE 300  
EVANSTON, IL 60201  
Ph 847.492.1992

PROJECT:

Dunkin Donuts - St. Charles  
2701 E Main Street  
St. Charles, IL 60174

PROPOSED ELEVATIONS

Project Number

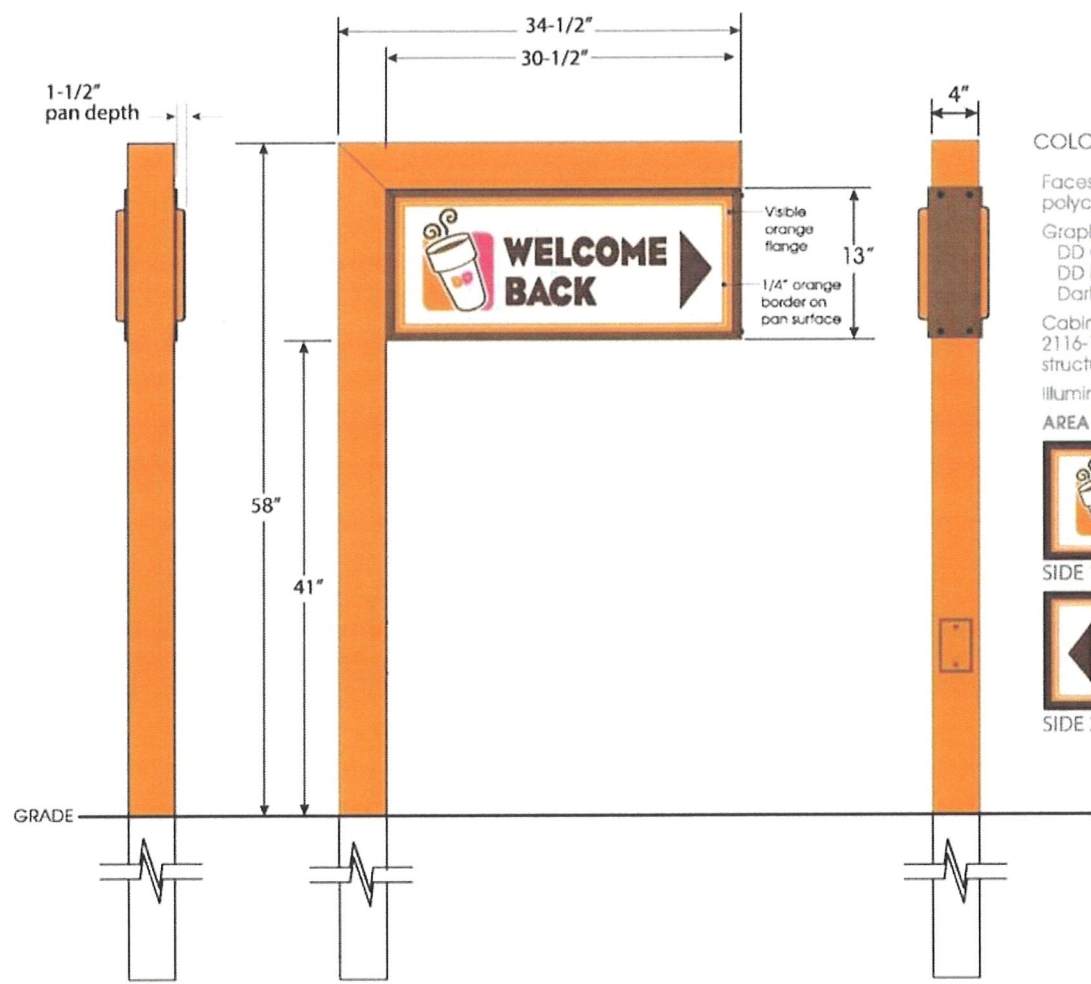
1425.009

Issue Date

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08



**COLORS & SPECIFICATIONS:**

Faces: Pan flat clear solar grade polycarbonate.  
 Graphics 2nd surface vinyl:  
 DD Orange- 3M #3630-3123  
 DD Magenta- 3M #3630-1379  
 Dark Brown- 3M #3630-59  
 Cabinet ptd. Benjamin Moore 2116-10 Nightshade; Pole structure ptd. PMS 165C Orange  
 Illumination: Fluorescent lamp  
 AREA OF SIGN: 2.75 SQ. FT.

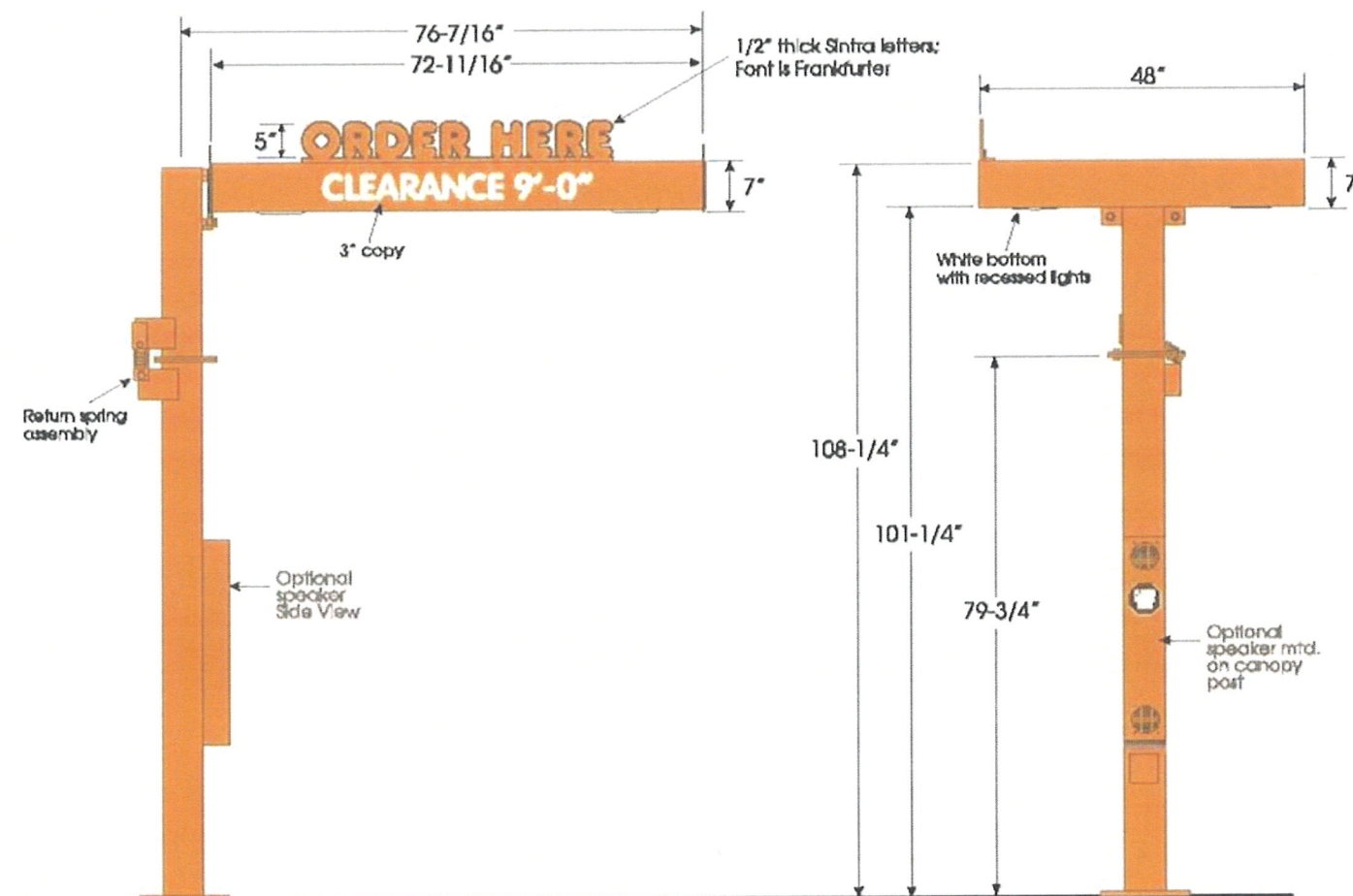


SIDE 1



SIDE 2

DRIVE THRU DIRECTIONAL SIGN



SIDE ELEVATION  
(AS SHOWN FROM APPROACH)

FRONT ELEVATION

DRIVE THRU CANOPY AND SPEAKER TOWER

ARCHITECT:



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Dunkin Donuts - St. Charles

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DRIVE THRU SIGNS

Project Number

1425.009

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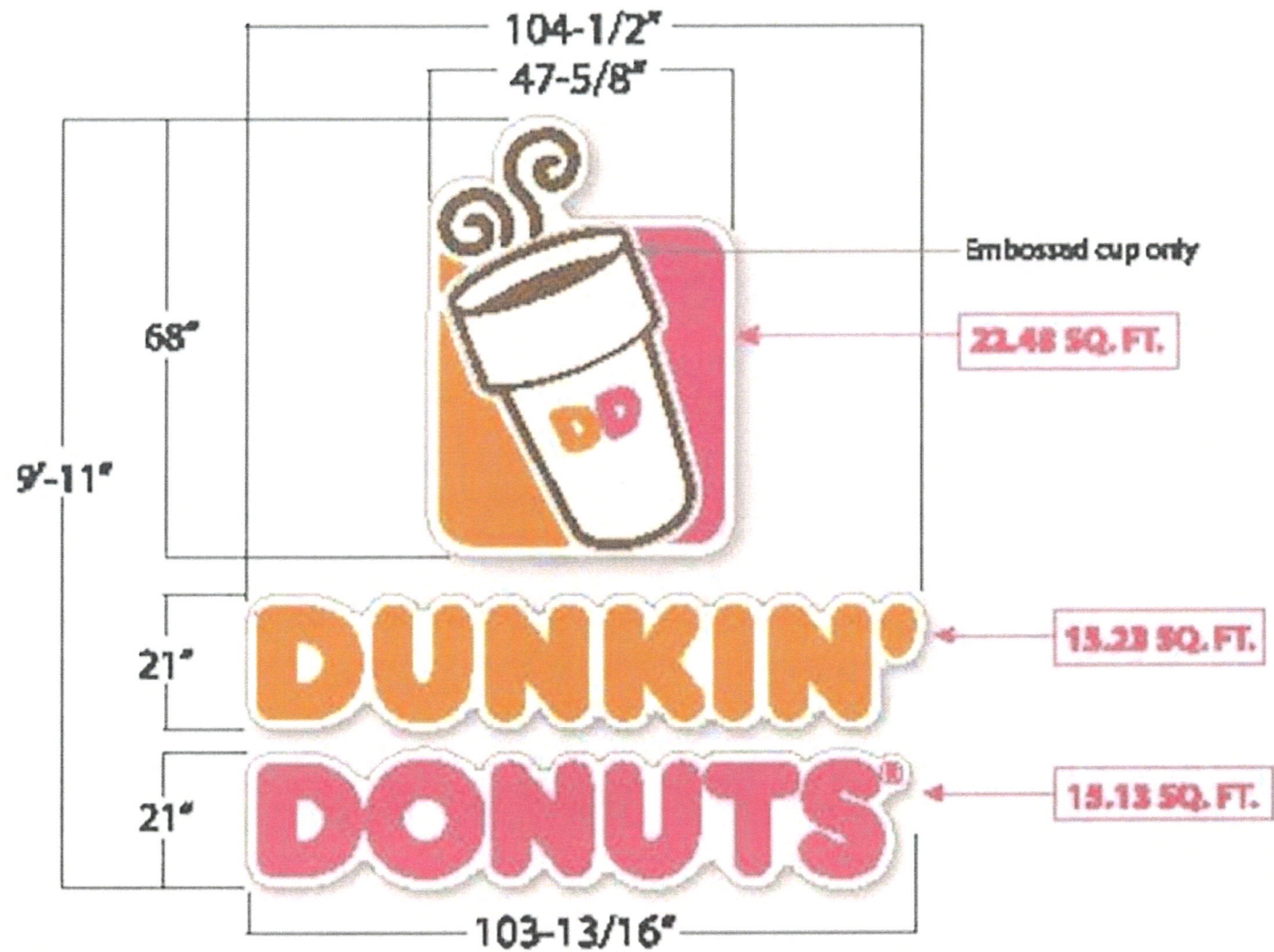
09



DRIVE THRU MENU BOARD

L: 112.25"                      AREA: 64.65 SF.  
 W: 10"  
 H: 86"





DUNKIN DONUTS DD ICON CUP OVER LOGO 21" LETTERS

L: 21"  
W: 104.5"  
H: 119"  
Area: 41.24 SF.



DUNKIN DONUTS "IN-LINE" LOGO LED CLOUD SIGN 15" LETTER

L: 15"  
W: 174.5"  
H: 34"  
Area: 41.24 SF.

ARCHITECT:

**kolbrook design**

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BUILDING SIGNAGE

Project Number

1425.009

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