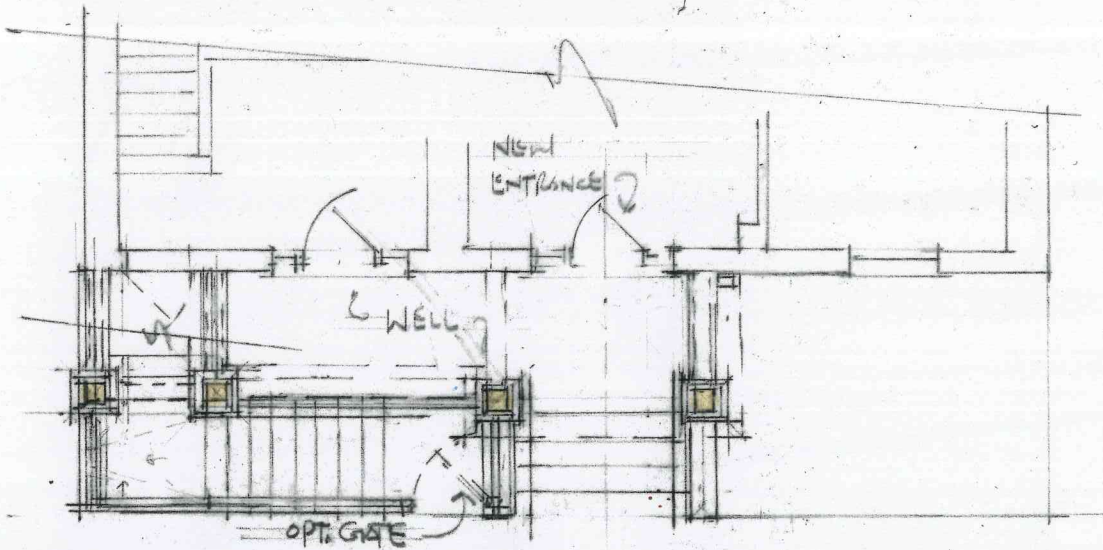
	HISTORIC PRESERVATION COMMISSION AGENDA ITEM EXECUTIVE SUMMARY			
	Agenda Item Title/Address:	COA: 314 W. Main St. (façade improvement project)		
	Proposal:	Reconfigure front entrances to building		
	Petitioner:	Al Justiniano		
Please check appropriate box (x)				
	PUBLIC HEARING		MEETING 2/19/14	X
AGENDA ITEM CATEGORY:				
X	Certificate of Appropriateness (COA)		Façade Improvement Plan	
	Preliminary Review		Landmark/District Designation	
	Discussion Item		Commission Business	
ATTACHMENTS:				
Approved elevation (Labeled as Option A)				
Drawings of proposed façade improvement				
Photos of the building				
EXECUTIVE SUMMARY:				
<p>The Commission recommended approval of a Façade Improvement Grant for this project on 3/20/13 and a grant agreement was approved by the City Council on 5/20/13. The applicant is now moving forward with the project and has requested a COA.</p> <p>The overall concept of the project is the same, however there have been some changes in the scope that require the Commission's review:</p> <ul style="list-style-type: none"> • The applicant had presented three options for the roof design for the entryways – a flat, hipped, or gable roof design. The Commission approved the flat roof design. The applicant is now proposing to use the gable roof design, as shown on the drawings. • 2nd floor casement windows: The original wood casement windows were originally proposed for replacement, but they have instead been repaired. The aluminum storm windows will remain and aluminum wrapping is proposed over the frame/brickmold around the storm window. • 2nd floor art glass windows: The windows have been repaired and aluminum storm windows with aluminum wrapping are proposed to be installed. • 3rd floor windows: The existing double-hung aluminum windows remain and aluminum wrapping has installed on the window frame/brickmold. • An aluminum fence has been added around the landscape area. 				
RECOMMENDATION / SUGGESTED ACTION:				
Provide feedback and recommendations on the façade improvement modifications and COA.				



PROPOSED ALTERATIONS - 314 W. MAIN - ST. CHARLES, IL. - PRELIM. DESIGN 2-10-13
 FOR: MR. AL JUSTINIANO BY: MARSHALL ARCHITECTS

CURBS ↴

GENERAL NOTES

1. ALL CONTRACTORS SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONDITIONS OF THE PROJECT. THE ARCHITECT SHALL NOTIFY THE CONTRACTOR IMMEDIATELY OF ANY DISCREPANCIES WHICH MAY EXIST BETWEEN THE DRAWINGS AND JOB SITE CONDITIONS. FAILURE TO REPORT ANY DISCREPANCIES SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES.
2. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, BONDS, LICENSES, ETC.
3. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL LOCAL STATE, CITY, COUNTY, FEDERAL AND FEDERAL AGENCY REGULATIONS, ORDINANCES AND CODES.
 - 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2012 INTERNATIONAL BUILDING CODE
 - 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE
 - 2012 INTERNATIONAL FIRE AND ALARM CODE
 - 2012 INTERNATIONAL ELECTRICAL CODE
 - 2012 INTERNATIONAL MECHANICAL CODE
 - 2012 INTERNATIONAL ENERGY CONSERVATION CODE
4. NEW WORK AREAS NOT IN CONFORMANCE WITH THE CODES SHALL BE BROUGHT INTO COMPLIANCE.
5. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER. ALL WORK AND MATERIALS SHALL MEET OR EXCEED NORMAL INDUSTRY STANDARDS.
6. CONTRACTOR SHALL CONSULT ALL LOCAL AND CONSTRUCTION SCHEDULES WITH THE OWNER.
7. INTERIORS SHALL DIMENSIONS ARE FROM WALL FRAMING TO WALL FRAMING. DIMENSIONS DO NOT INCLUDE DRAPINGS.
8. CONFORM TO ALL DIMENSIONS INDICATED IN PREFERENCE TO SCALE DIMENSIONS FROM THE SUPPORT. DO NOT SCALE THE DRAWINGS.
9. CONSTRUCTION SHALL NOT INTERFERE WITH EXISTING TRAFFIC AND UTILITIES.
10. ALL STRUCTURAL CHANGES IF ANY SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO WORK COMMENCING.
11. ALL WOOD PLATES SET ON CONCRETE TO BE PRESSURE TREATED.
12. PROVIDE FIRESTOPPING MATERIAL AT ALL PENETRATIONS AND OUTSIDE STUD BAILS AT A LEVEL OF EACH FLOOR OR CEILING AND AT JUNCTION OF ROOF FRAMING AND WALL.
13. CONTRACTORS TO PROVIDE CONSTRUCTION BARRIERS/ FENCING AS REQUIRED TO PROTECT THE PUBLIC AND MAINTAIN SECURITY OF THE SITE.
14. PROVIDE RFL & VAPOR BARRIER UNDER FLOOR SLAB.

SPECIAL SAFETY NOTE:

ALL CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS OTHERS AND IN THE CARE OF THE PROPERTY OF THE PROJECT. THE CONTRACTOR SHALL ASSURE THAT ALL PRACTICES AND MEET ALL APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OR OTHER GOVERNING REGULATIONS OF THE STATE OF ILLINOIS. THE CONTRACTOR SHALL INDICATE ANY SAFETY AND HAZARD INFORMATION ON THE DRAWINGS. THE CONTRACTOR SHALL INDICATE ANY SAFETY AND HAZARD INFORMATION ON THE DRAWINGS. THE CONTRACTOR SHALL INDICATE ANY SAFETY AND HAZARD INFORMATION ON THE DRAWINGS. THE CONTRACTOR SHALL INDICATE ANY SAFETY AND HAZARD INFORMATION ON THE DRAWINGS.

THE ARCHITECT IS NOT OVERSEEING THE CONSTRUCTION OF THIS BUILDING. THE USE OF THESE DRAWINGS BY ANY CONTRACTOR, SUBCONTRACTOR, BUILDER, TRADESMAN OR WORKER SHALL INSTIGATE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT.

THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. AND FURTHER SHALL HOLD THE ARCHITECT HARMLESS FOR COSTS AND PROBLEMS ARISING FROM THE NEGLIGENCE OF CONTRACTOR, SUBCONTRACTOR, TRADESMAN OR WORKMAN. THE USE OF THESE DRAWINGS ALSO IMPLIES THAT THE ARCHITECT SHALL TAKE NO RESPONSIBILITY FOR THE PLAN USER'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWING OR CONTRACT DOCUMENTS.

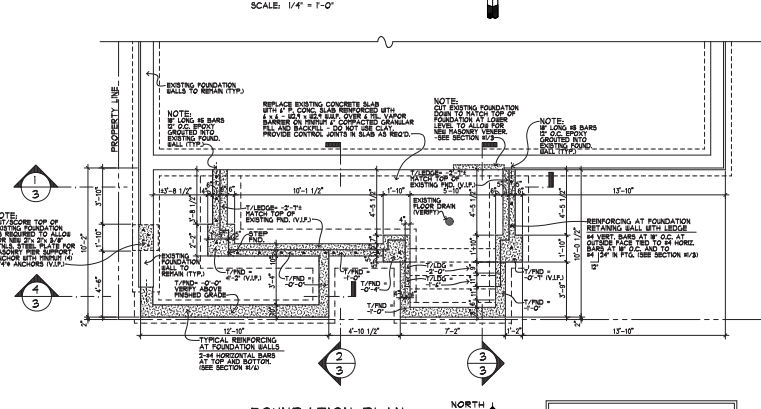
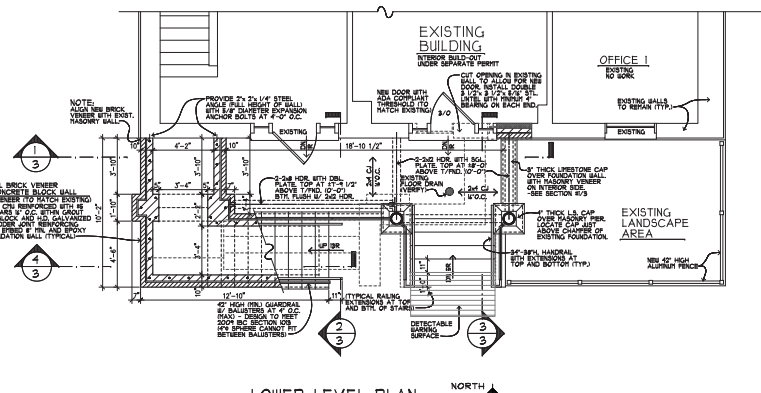
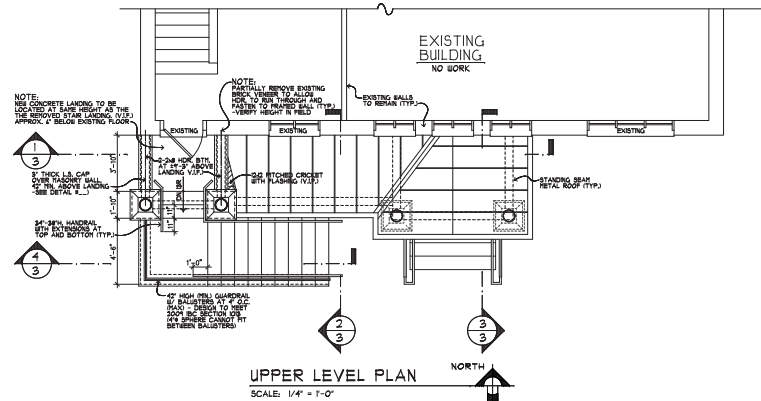
THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED BASED ON ASSUMPTIONS THAT COULD NOT BE VERIFIED DUE TO THE FACT THAT THE REMODELING OF THIS EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXHIBING ADEQUATE SURETY OF KNOWLEDGE OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE CLIENT AGREES TO THE FULLEST EXTENT OF THE ARCHITECT'S ASSUMPTIONS AND HOLD THE ARCHITECT HARMLESS FROM ANY CLAIM, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE) FOR INJURY, ECONOMIC LOSS ARISING OR ALLEGEDLY ARISING OUT OF THE DAMAGES, LIABILITIES OR COSTS ATTRIBUTABLE TO THE LACK OF KNOWLEDGE OF EXISTING CONDITIONS.

2012 INTERNATIONAL ENERGY CONSERVATION CODE:

1. THE THERMAL ENVELOPE OF THE NEW BUILD-OUT SHALL FOLLOW THE PRESCRIPTIVE METHOD PERFORMANCE CALCULATIONS AND SPECIFICATION SHEETS FOR ALTERNATIVE QUALIFICATION CRITERIA FROM AN IBC APPROVED SOFTWARE PROGRAM. MEASUREMENTS SHALL BE TAKEN FROM THESE DRAWINGS AND CONSTRUCTION SHALL BE SUBORDINATE TO THE PERFORMANCE SPECIFICATIONS.
2. ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (ATTIC ACCESS) SHALL BE RECONSTRUCTED AND INSULATED TO A LEVEL EQUIVALENT TO THE SURROUNDING SURFACE. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPROMISING THE INSULATION.
3. NEW GLAZED PENETRATION (U-FACTOR) PER 2012 IECC (IF APPLICABLE)
 - FIXED: 0.35 MAX.
 - OPERABLE: 0.35 MAX.
 - ENTRANCE DOORS: 0.35 MAX.
4. VERIFY AND MEET ALL MINIMAL AIR LEAKAGE REQUIREMENTS PER CODE. THE BUILDING THERMAL ENVELOPE SHALL BE DURELY SEALED TO PREVENT AIR INFILTRATION. THIS SEALED AND INSULATED PENETRATION SHALL BE FINISHED WITH AN AIR BARRIER MATERIAL, SUITABLE PLST OR SOLID MATERIAL.
5. PROVIDE PROGRAMMABLE THERMOSTATS AS REQUIRED.
6. SUPPLY DUCTS IN ATTIC SHALL BE INSULATED TO A MINIMUM R-8 ALL OTHER UNCONDITIONED SPACES SHALL BE INSULATED TO A MINIMUM R-10 FOR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.
7. A MINIMUM 50% PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING SHALL BE ENERGY EFFICIENT.
8. A PERMANENT ENERGY CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION BY THE DISTRIBUTION.

DOOR HARDWARE NOTE

ALL HINGES SHALL BE RATED FOR HEAVY DUTY COMMERCIAL USE. ACCESSIBLE DOOR HARDWARE (CLOSERS, HANDLES, ETC) SHALL MEET ADA AND ADA REQUIREMENTS (LEVER HANDLES). ALL HARDWARE ON ACCESSIBLE DOORS, HANDLES, PULLS, LATCHES AND CLOSERS SHALL BE KEYS WITH LEVER ACTION AND SHALL NOT INCLUDE TOOTH GRASPING, TOOTH FINCHING, OR TURNING OF THE KEYS TO OPERATE. POCKET DOOR HARDWARE SHALL BE EMPLOYED AND USABLE ON BOTH SIDES WHEN DOOR IS FULLY OPEN. THE MAXIMUM FORCE FOR PUSHING OR PULLING A DOOR SHALL BE: EXTERIOR HINGED DOORS --- 8.5 LBS. SLIDING & FOLDING DOORS --- 5 LBS.



DRAWING SHEET INDEX	
NO.	DESCRIPTION
1	FOUNDATION PLAN, LOWER & UPPER LEVEL, PLANS AND GENERAL NOTES
2	ROOF PLAN AND ELECTRICAL PLANS
3	ELEVATIONS AND SECTIONS

SHEETS AS LISTED ABOVE WERE PREPARED UNDER ARCHITECT'S SUPERVISION.

JAN. 31, 2014 - FOR REVIEW - NOT FOR CONSTRUCTION
 PLOTTED: 1/29/2014



STATE OF ILLINOIS
DESIGN FIRM
REGISTRATION NUMBER
184002461

PROPOSED FACADE AND STAIR RENOVATION AT:
314 W. MAIN STREET
 ST. CHARLES, ILLINOIS 62414
 CROSSROAD CONSTRUCTION GROUP, INC.

Revisions:

Commission: 22801
 Issue Date:
 Drawn By: CDZ
 Project Location: 314 W. MAIN STREET, ST. CHARLES, ILLINOIS 62414
 LOWER & UPPER LEVEL PLANS & GEN. NOTES

Sheet:
1
 of 3

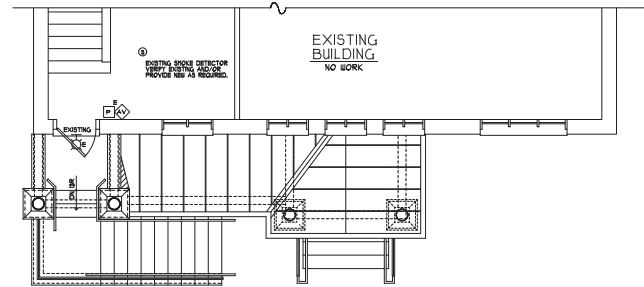
ALARM SYSTEM SCHEDULE	
	ALARM STROBE LIGHT AND HORN
	ALARM STROBE LIGHT ONLY
	MANUAL PULL STATION AT 42" APP.

NOTE:
ALARM SYSTEM IS EXISTING.
REPLACE, RELOCATE OR PROVIDE
NEW AS REQUIRED TO MEET CODE.
VERIFY WITH FIRE DEPARTMENT.

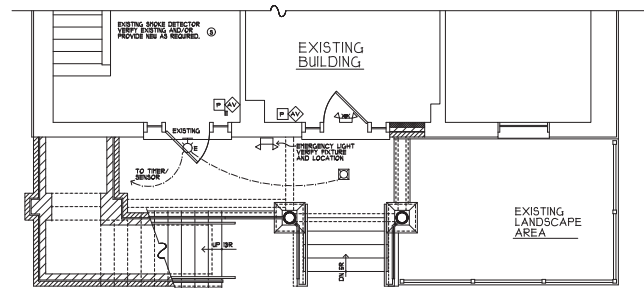
NOTE:
ELECTRICAL LIGHTING, SWITCHES
AND RECEPTACLES ARE EXISTING.
REPAIR, RELOCATE OR PROVIDE NEW
AS REQUIRED. VERIFY LOCATION OF
ALL ELECTRICAL, INCLUDING ENGINE
JACKS AND CABLE WITH OWNER/G.C.

ELECTRICAL SCHEDULE	
	CORRIDOR, EMERGENCY AND EXIT LIGHTING UNIT WITH 1 HOUR BATTERY BACKUP
	EMERGENCY LIGHTING w/ 10 PK. BATTERY BACKUP
	2 x 4 4-LAMP SURFACE MOUNTED FLUORESCENT
	2 x 2 SURFACE MTD. FLUORESCENT
	2 x 2 SURFACE MTD. FLUORESCENT NIGHT LIGHT
	2 x 4 SURFACE MTD. FLUORESCENT NIGHT LIGHT
	SINGLE DEDICATED OUTLET
	OUTLET AT STANDARD HEIGHT
	OUTLET AT HEIGHT NOTED IN INCHES
	QUADPLEX OUTLET
	GROUND FAULT INTERRUPT OUTLET
	CEILING OR FLOOR MOUNTED - 15 AMP
	SWITCH - SINGLE POLE
	SWITCH - TRIPLE POLE
	CABLE HOOK-UP
	UNDER CABINET FLUORESCENT
	BALL MOUNTED INCANDESCENT
	INCANDESCENT
	SUSPENDED INCANDESCENT
	RECESSED INCANDESCENT - DOWN LIGHT
	RECESSED INCANDESCENT - BALL MOUNT
	EXHAUST FAN ALL EXHAUST FANS TO VENT DIRECTLY TO EXTERIOR w/ RETAL DUCTWORK
	DATA 1 PHONE ROW/OUTLET IN WALL, POSSIBLE EXPOSED CONDUIT AT CEILING
	NO. INTERCONNECTABLE SMOKE DETECTORS w/ TV BATTERY BACKUP - CONNECT TO FIRE ALARM VERIFY LOCATION
	EXISTING JUNCTION BOX w/ CONDUIT TO TOP OF BALL
	DENOTES EXISTING AT SPECIFIED ELECTRICAL ITEM

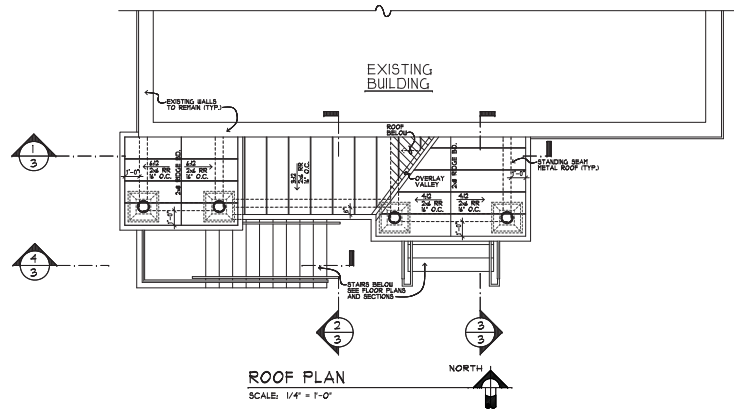
ELECTRICAL NOTES:
E.C. SHALL FOLLOW THE 2008 NEC AND ALL OTHER LOCAL CODES AND ORDINANCES. E.C. TO OBTAIN ALL PERMITS, BONDS, AND LICENSES. VERIFY ELECTRICAL SERVICE SIZE REQUIRED. ALL NEW ELECTRICAL SERVICING MUST BE INSTALLED WITHIN METALLIC CONDUIT. NEW RECEPTACLES SHALL BE MOUNTED NO LESS THAN 18" CENTERED ABOVE FLOOR AND NEW SWITCHES SHALL BE MOUNTED NO MORE THAN 48" CENTERED ABOVE FLOOR UNLESS SPECIAL EQUIPMENT DICTATES OTHERWISE. ALL EXHAUST FANS MUST VENT OUTSIDE THE BUILDING. VERIFY TYPE AND LOCATION OF ALL ELECTRICAL SWITCHES, RECEPTACLES AND LIGHTING FIXTURES WITH G.C./OWNER.



UPPER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



LOWER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



STATE OF ILLINOIS
DESIGN PROFESSIONAL REGISTRATION NUMBER
184002451

PROPOSED FACADE AND STAIR RENOVATION AT:
314 W. MAIN STREET
ST. CHARLES, ILLINOIS 62234
CROSSROAD CONSTRUCTION GROUP, INC.

Revisions:

Commission: 2301
Issue Date:
Drawn By: CDZ
ELECTRICAL PLANS

JAN. 31, 2014 - FOR REVIEW - NOT FOR CONSTRUCTION



White door with a small window.

Window with white frame and muntins.

Window with white frame and muntins.

Window with white frame and muntins.

Window with white frame and muntins.

Window with white frame and muntins.

Window with white frame and muntins.

Dark door with a small window.

Dark door with a small window.

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