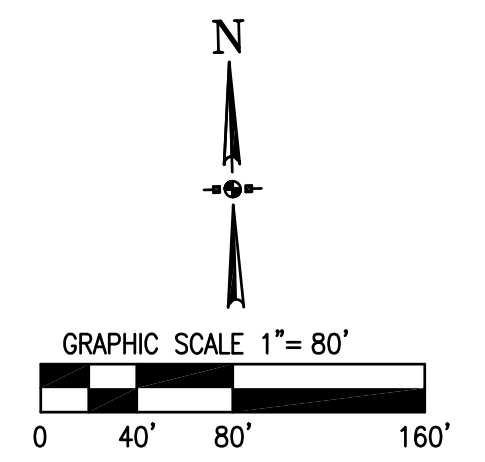
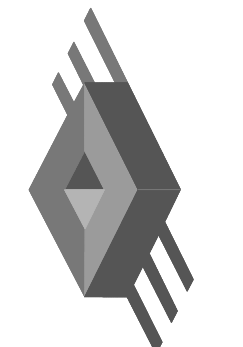


OVERALL SITE PLAN NOTES:
 BUILDING SIZES, LOCATIONS, AND CONFIGURATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE.



PRELIMINARY SITE PLAN
 THE QUAD ST. CHARLES
 3800 E. MAIN STREET
 ST. CHARLES, ILLINOIS

JACOB & HEFNER
 ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-4600, FAX: (630) 652-4001
 www.jacobandhefner.com



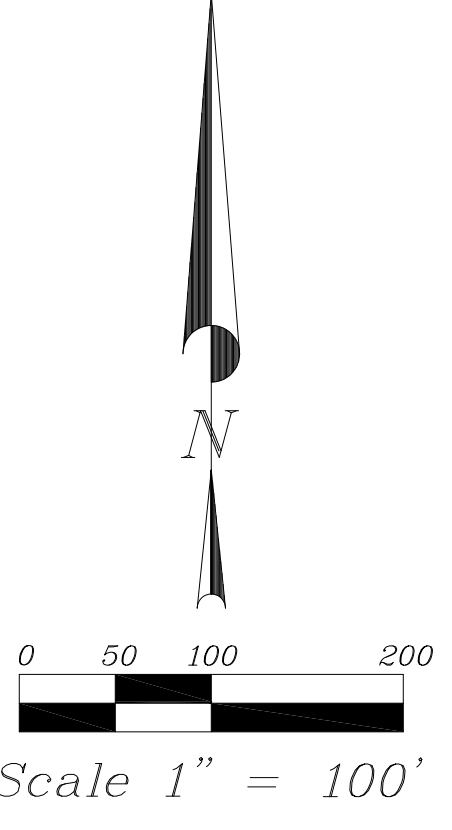
SC 3800 MAIN, LLC.

1" = 80'
 F021
 EX1

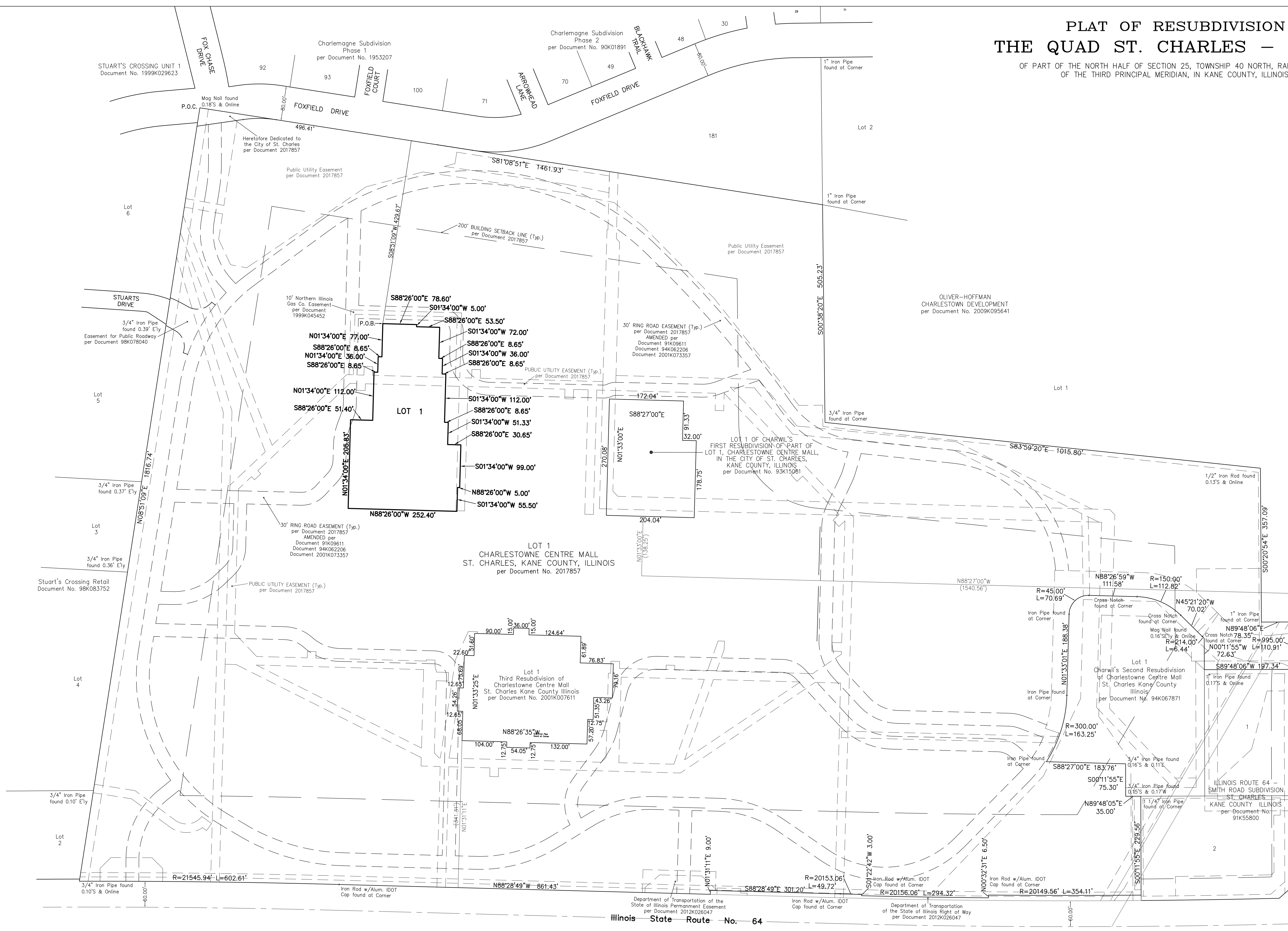
| NO. | REVISION | DATE |
|-----|--------------------|---------|
| 1 | ORIGINAL PLAN DATE | 9/15/14 |
| 2 | REVISED PER CITY | 9/15/14 |
| | DESIGNED BY | |
| | CHECKED BY | |

PLAT OF RESUBDIVISION THE QUAD ST. CHARLES — UNIT 1

OF PART OF THE NORTH HALF OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.



BASIS OF BEARINGS:
NAD 83, ILLINOIS STATE PLANE, EAST ZONE (1201)



Department of Transportation of the State of Illinois Permanent Easement per Document 2012K026047
 Illinois State Route No. 64
 Department of Transportation of the State of Illinois Right of Way per Document 2012K026047

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 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com
 Illinois Professional Design Firm
 License No. 184-003073 Exp. 4/30/15

| | |
|----------------|-----------------------|
| SURVEY NO.: | F021 |
| ORDERED BY: | THE KRAUSZ COMPANIES |
| DESCRIPTION: | PLAT OF RESUBDIVISION |
| DATE PREPARED: | FEBRUARY 25, 2014 |
| SCALE | 1" = 100' |
| DRAWN BY | CM |

PLAT OF RESUBDIVISION THE QUAD ST. CHARLES – UNIT 1

OF PART OF THE NORTH HALF OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

CERTIFICATE OF OWNER AND NOTARY

STATE OF _____)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT, HAS CAUSED THE SAME TO BE PLATTED AS INDICATED HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.
TO THE BEST OF THE OWNER'S KNOWLEDGE THE SCHOOL DISTRICT IN WHICH THE TRACT OF LAND LIES, IS IN THE FOLLOWING DISTRICT: ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

DATED AT _____
THIS ____ DAY OF _____ A.D., 201__

STATE OF _____)
) SS
COUNTY OF _____)

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING OWNER'S CERTIFICATE, AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE OR SHE SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT, FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS ____ DAY OF _____ A.D., 201__

(NOTARY PUBLIC)

(PRINTED SIGNATURE)
MY COMMISSION EXPIRES: _____
MY COUNTY OF RESIDENCE: _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED THIS ____ DAY OF _____, 201__ A.D.
CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED AND ACCEPTED THIS ____ DAY OF _____ A.D. 201__
CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS,

BY _____
MAYOR

ATTEST _____
CITY CLERK

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT, OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT THE CITY OF ST. CHARLES, THIS ____ DAY OF _____ A.D. 201__

BY _____
COLLECTOR OF SPECIAL ASSESSMENTS

DIRECTOR OF COMMUNITY DEVELOPMENT

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____ DO HEREBY CLARIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DATED AT THE CITY OF ST. CHARLES,
THIS ____ DAY OF _____ A.D. 201__

DIRECTOR OF COMMUNITY DEVELOPMENT

CERTIFICATE OF COUNTY CLERK

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT TAXES, NO UNPAID FORFEITED TAXES, NO UNPAID CURRENT GENERAL TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS,

THIS ____ DAY OF _____ IN THE YEAR 201__ A.D.

BY _____
COUNTY CLERK

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, CARL J. COOK, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003543, HAVE SURVEYED AND RESUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

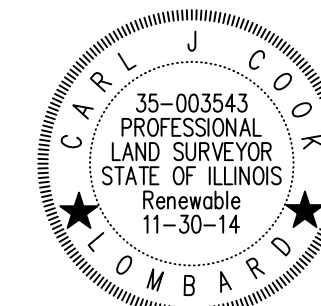
THAT PART OF LOT 1 OF CHARLESTOWNE CENTRE MALL ST. CHARLES, KANE COUNTY, ILLINOIS, BEING A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 2017857, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWESTERLY CORNER OF SAID LOT 1; THENCE SOUTH 81 DEGREES 08 MINUTES 51 SECONDS EAST ALONG THE MOST NORTHERLY LINE OF SAID LOT 1, A DISTANCE OF 496.41 FEET; THENCE SOUTH 08 DEGREES 51 MINUTES 09 SECONDS WEST, A DISTANCE OF 429.67 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 78.60 FEET; THENCE SOUTH 01 DEGREES 34 MINUTES 00 SECONDS WEST, A DISTANCE OF 5.00 FEET; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS WEST, A DISTANCE OF 72.00 FEET; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 8.65 FEET; THENCE SOUTH 01 DEGREES 34 MINUTES 00 SECONDS WEST, A DISTANCE OF 36.00 FEET; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 8.65 FEET; THENCE SOUTH 01 DEGREES 34 MINUTES 00 SECONDS WEST, A DISTANCE OF 112.00 FEET; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 8.65 FEET; THENCE SOUTH 01 DEGREES 34 MINUTES 00 SECONDS WEST, A DISTANCE OF 51.33 FEET; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 30.65 FEET; THENCE SOUTH 01 DEGREES 34 MINUTES 00 SECONDS WEST, A DISTANCE OF 99.00 FEET; THENCE NORTH 88 DEGREES 26 MINUTES 00 SECONDS WEST, A DISTANCE OF 5.00 FEET; THENCE SOUTH 01 DEGREES 34 MINUTES 00 SECONDS WEST, A DISTANCE OF 55.50 FEET; THENCE NORTH 88 DEGREES 26 MINUTES 00 SECONDS WEST, A DISTANCE OF 252.40 FEET; THENCE NORTH 01 DEGREES 34 MINUTES 00 SECONDS EAST, A DISTANCE OF 205.83 FEET; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 51.40 FEET; THENCE NORTH 01 DEGREES 34 MINUTES 00 SECONDS EAST, A DISTANCE OF 112.00 FEET; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 8.65 FEET; THENCE NORTH 01 DEGREES 34 MINUTES 00 SECONDS EAST, A DISTANCE OF 36.00 FEET; THENCE SOUTH 88 DEGREES 26 MINUTES 00 SECONDS EAST, A DISTANCE OF 8.65 FEET; THENCE NORTH 01 DEGREES 34 MINUTES 00 SECONDS EAST, A DISTANCE OF 77.00 FEET TO SAID POINT OF BEGINNING.

DIVIDING THE SAME INTO LOTS AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND RESUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

ACCORDING TO A SCALED INTERPRETATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX HAVING A MAP NUMBER OF 17089C0D0C FOR KANE COUNTY, ILLINOIS AND INCORPORATED AREAS, THE SUBJECT TRACT FALLS WITHIN PANEL NUMBER 17089C0270H. ACCORDING TO THIS MAP INDEX SHEET WHICH HAS A MAP REVISION DATE OF AUGUST 3, 2009, PANEL NUMBER 17089C0270H WAS NOT PRINTED BECAUSE IT CONTAINS NO SPECIAL FLOOD HAZARD AREAS.

GIVEN UNDER MY HAND AND SEAL AT LOMBARD, ILLINOIS,

THIS 26th DAY OF FEBRUARY, 2014.



ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003543
JACOB & HEFNER ASSOCIATES, INC.

| | |
|-----------------------|-----------------------|
| SURVEY NO.: | |
| ORDERED BY: | THE KRAUSZ COMPANIES |
| DESCRIPTION: | PLAT OF RESUBDIVISION |
| DATE PREPARED: | FEBRUARY 25, 2014 |
| SCALE | 1" = 100' |
| DRAWN BY | CM |



JACOB & HEFNER
ASSOCIATES
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com
Illinois Professional Design Firm
License No. 184-003073 Exp. 4/30/15

PRELIMINARY SITE IMPROVMENT PLANS

FOR

THE QUAD ST. CHARLES

ST. CHARLES, ILLINOIS

SC 3800 MAIN, LLC

F021
THE QUAD ST. CHARLES
2/26/14

LEGEND (JACOB AND HEFNER ASSOCIATES, INC.)

| PROPOSED | DESCRIPTION | EXISTING |
|----------|----------------------------------|----------|
| | STORM SEWER | |
| | WATER MAIN WITH SIZE | |
| | SANITARY SEWER | |
| | RIGHT-OF-WAY | |
| | CONTOUR | |
| | SPOT GRADE | |
| | SANITARY MANHOLE | |
| | STORM MANHOLE | |
| | STORM INLET | |
| | STORM CATCH BASIN | |
| | FIRE HYDRANT | |
| | PRESSURE CONNECTION | |
| | GATE VALVE W/MAULT | |
| | STREET LIGHT | |
| | STREET LIGHT W/MAST | |
| | OVERFLOW DIRECTION | |
| | CURB | |
| | SILT FENCE | |
| | ROAD SIGN | |
| | UNDERGROUND ELECTRIC | |
| | UNDERGROUND GAS | |
| | UTILITY POLE | |
| | DEPRESSED CURB FOR RAMP/DRIVEWAY | |
| | TOP OF FOUNDATION | |
| | GARAGE FLOOR, AT REAR OF GARAGE | |
| | TOP OF CURB, DEPRESSED | |
| | TOP OF RETAINING WALL | |
| | RIM FOR STRUCTURES | |
| | RISER FOR SANITARY SERVICE | |
| | HIGH/NORMAL WATER LEVEL | |
| | TRANSFORMER | |
| | FENCE LINE | |
| | GUARD RAIL | |
| | FORCE MAIN | |
| | UNDERGROUND TELEPHONE | |
| | UNDERGROUND ELECTRIC | |
| | OVERHEAD ELECTRIC | |
| | GAS LINE | |



LOCATION MAP
CHARLESTOWNE MALL
3800 E MAIN ST
ST CHARLES, KANE COUNTY, IL

NOTES:

- EXISTING CONDITIONS, BOUNDRIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
- SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION OS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

CONTACTS:

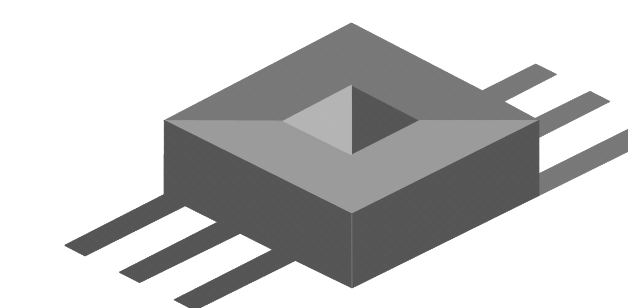
| | |
|---|--|
| <p>APPLICANT SC 3800 MAIN, LLC CONTACT: DAVID E. PYLE 44 MONTGOMERY ST, SUITE 3300 SAN FRANCISCO, CA 94104 (P) (415) 732-5600 (F) (415) 732-5699</p> | <p>DEVELOPMENT ENGINEERING DIVISION CONTACT: CHRISTOPHER TIEDT, P.E. 2 E. MAIN ST ST. CHARLES, IL 60174 (P) (630) 443-3677 (F) (630) 377-4062</p> |
| <p>CIVIL ENGINEER JACOB & HEFNER ASSOCIATES, INC. CONTACT: BILL BOHNE, P.E. 1910 S. HIGHLAND AVENUE, SUITE 100 LOMBARD, IL 60148 (P) (630) 652-4600 (F) (630) 652-4601 CITY OF ST. CHARLES</p> | <p>PLANNING DIVISION CONTACT: RUSSELL COLBY 2 E. MAIN ST ST. CHARLES, IL 60174 (P) (630) 762-6925 (F) (630) 377-4062</p> |

| No. | Description | Date |
|-----------|-------------------|---------|
| 2 | REVISED PER OWNER | 2/26/14 |
| 1 | ISSUED FOR REVIEW | 9/19/13 |
| REVISIONS | | |

DRAWING INDEX

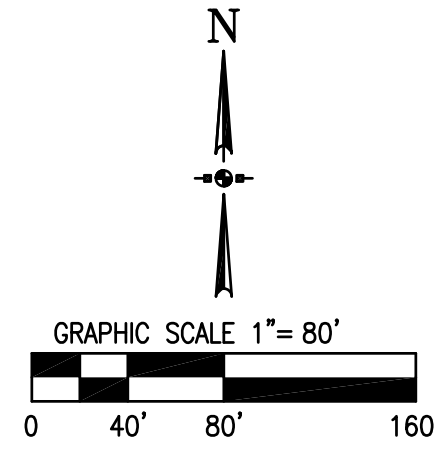
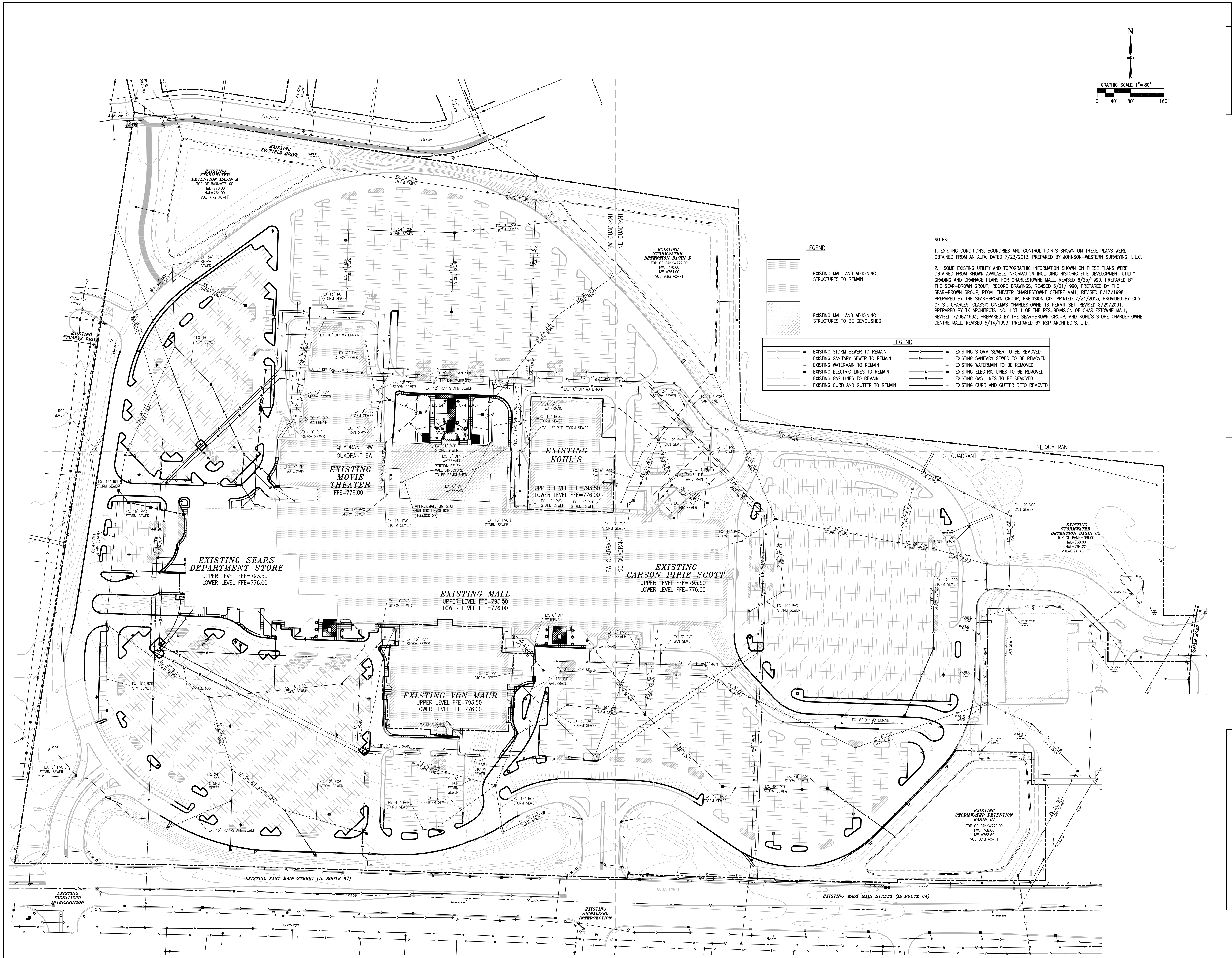
| SHEET | TITLE |
|-------|--------------------------------------|
| C1.0 | COVER SHEET |
| C2.0 | OVERALL EXISTING CONDITIONS PLAN |
| C2.1 | PAVEMENT DEMOLITION PLAN NE QUADRANT |
| C2.2 | PAVEMENT DEMOLITION PLAN SE QUADRANT |
| C2.3 | PAVEMENT DEMOLITION PLAN SW QUADRANT |
| C2.4 | PAVEMENT DEMOLITION PLAN NW QUADRANT |
| C2.5 | UTILITY DEMOLITION PLAN NE QUADRANT |
| C2.6 | UTILITY DEMOLITION PLAN SE QUADRANT |
| C2.7 | UTILITY DEMOLITION PLAN SW QUADRANT |
| C2.8 | UTILITY DEMOLITION PLAN NW QUADRANT |
| C3.0 | OVERALL PROPOSED SITE PLAN |
| C3.1 | PROPOSED PAVING PLAN NE QUADRANT |
| C3.2 | PROPOSED PAVING PLAN SE QUADRANT |
| C3.3 | PROPOSED PAVING PLAN SW QUADRANT |
| C3.4 | PROPOSED PAVING PLAN NW QUADRANT |
| C4.0 | OVERALL GRADING PLAN |
| C4.1 | GRADING PLAN NE QUADRANT |
| C4.2 | GRADING PLAN SE QUADRANT |
| C4.3 | GRADING PLAN SW QUADRANT |
| C4.4 | GRADING PLAN NW QUADRANT |
| C5.0 | OVERALL UTILITY PLAN |
| C5.1 | UTILITY PLAN NE QUADRANT |
| C5.2 | UTILITY PLAN SE QUADRANT |
| C5.3 | UTILITY PLAN SW QUADRANT |
| C5.4 | UTILITY PLAN NW QUADRANT |

MUNICIPALITY: ST CHARLES
COUNTY: KANE
TOWNSHIP: 40N
RANGE: 8E
SECTION: 25

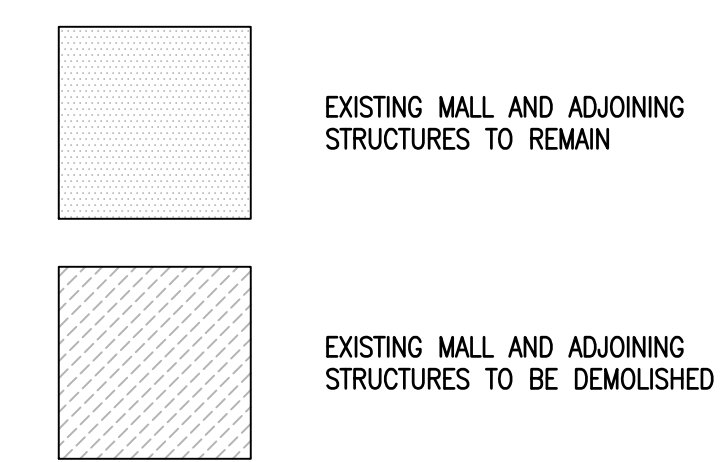


JACOB & HEFNER
ASSOCIATES

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PHONE: (630) 652-4600, FAX: (630) 652-4601
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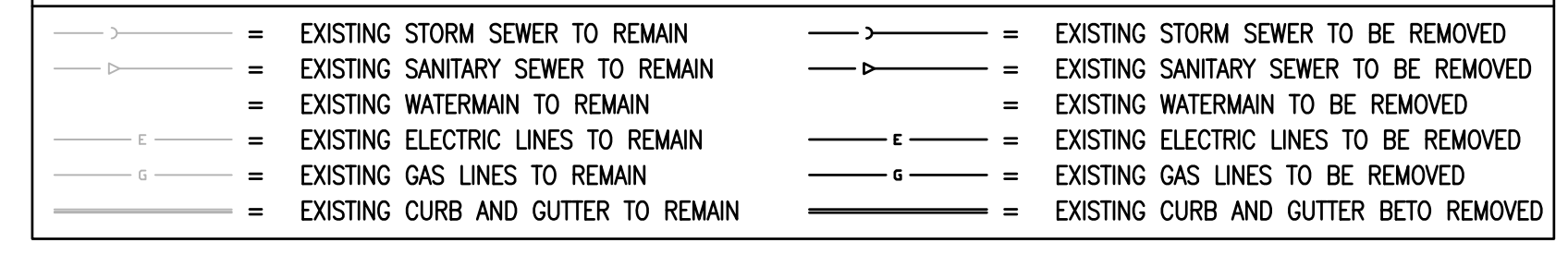
LEGEND



NOTES:

1. EXISTING CONDITIONS, BOUNDRIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
2. SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION OS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

LEGEND



OVERALL EXISTING CONDITIONS PLAN

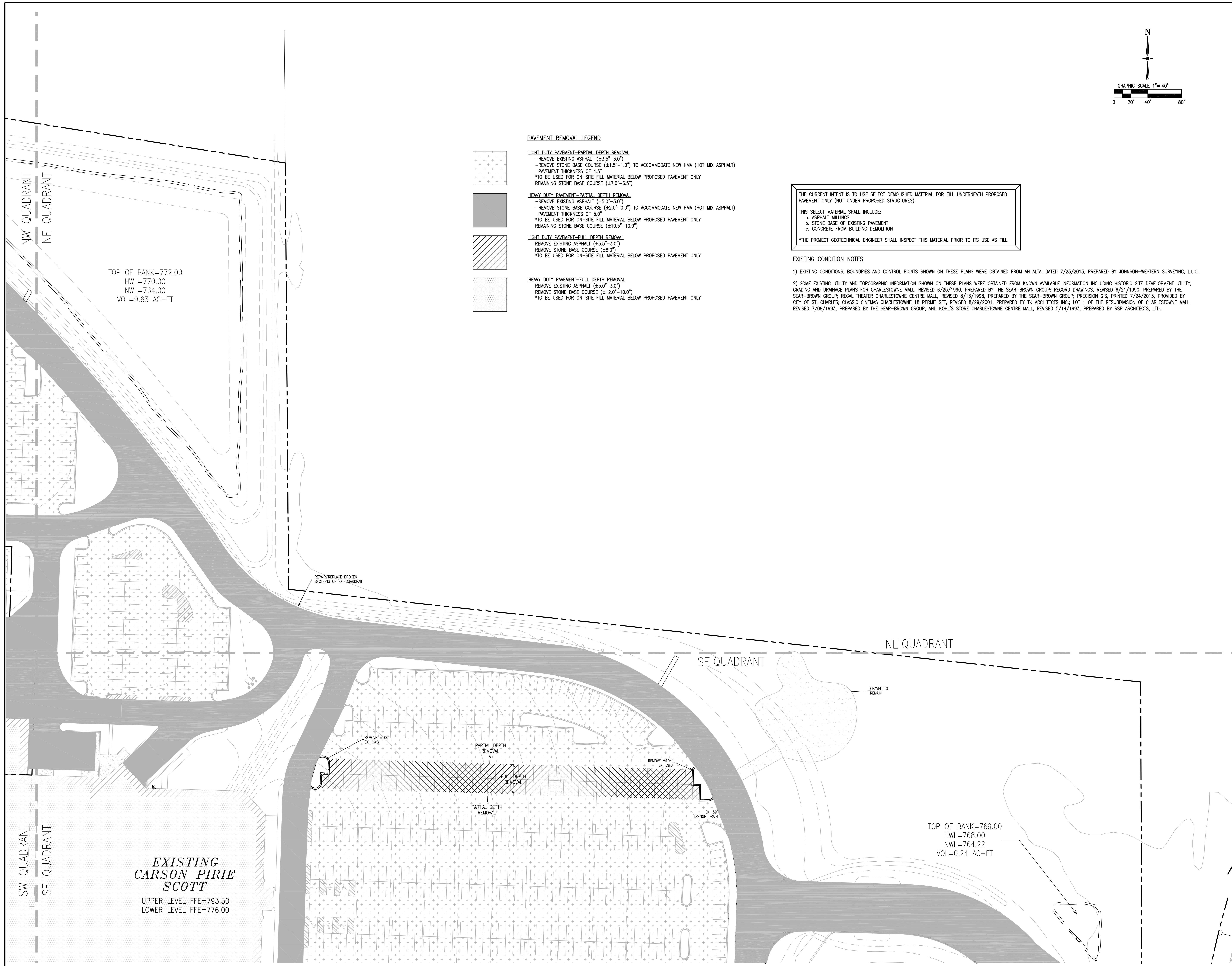
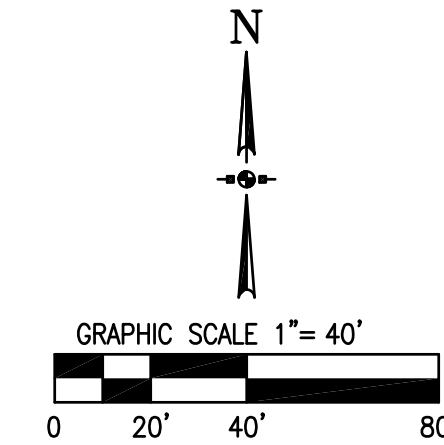
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

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PHONE: (630) 652-6008, FAX: (630) 652-6001
www.jacobandhefner.com

SC 3800 MAIN, LLC.

1"=80'
F021
C2.0

| | | | |
|---|--------------------|---------|------------|
| 2 | REVISED PER OWNER | 2/29/14 | DATE |
| 1 | ORIGINAL PLAN DATE | 2/6/14 | DATE |
| | DESIGNED BY | | CHECKED BY |



- PAVEMENT REMOVAL LEGEND**
- LIGHT DUTY PAVEMENT—PARTIAL DEPTH REMOVAL**
 -REMOVE EXISTING ASPHALT (±3.5"–3.0")
 -REMOVE STONE BASE COURSE (±1.5"–1.0") TO ACCOMMODATE NEW HMA (HOT MIX ASPHALT)
 PAVEMENT THICKNESS OF 4.5"
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 REMAINING STONE BASE COURSE (±7.0"–6.5")
 - HEAVY DUTY PAVEMENT—PARTIAL DEPTH REMOVAL**
 -REMOVE EXISTING ASPHALT (±5.0"–3.0")
 -REMOVE STONE BASE COURSE (±2.0"–0.0") TO ACCOMMODATE NEW HMA (HOT MIX ASPHALT)
 PAVEMENT THICKNESS OF 5.0"
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 REMAINING STONE BASE COURSE (±10.5"–10.0")
 - LIGHT DUTY PAVEMENT—FULL DEPTH REMOVAL**
 REMOVE EXISTING ASPHALT (±3.5"–3.0")
 REMOVE STONE BASE COURSE (±8.0")
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 - HEAVY DUTY PAVEMENT—FULL DEPTH REMOVAL**
 REMOVE EXISTING ASPHALT (±5.0"–3.0")
 REMOVE STONE BASE COURSE (±12.0"–10.0")
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY

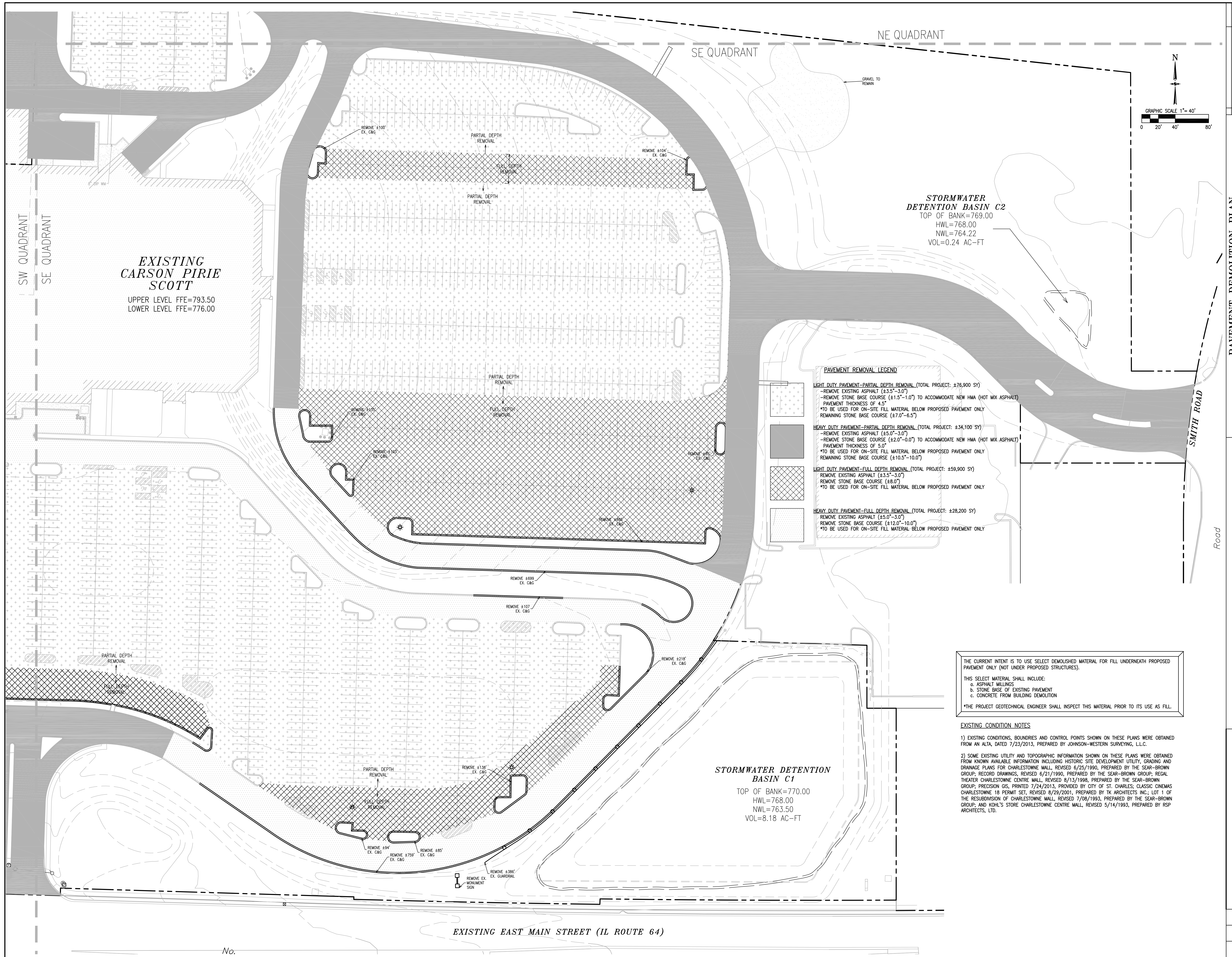
THE CURRENT INTENT IS TO USE SELECT DEMOLISHED MATERIAL FOR FILL UNDERNEATH PROPOSED PAVEMENT ONLY (NOT UNDER PROPOSED STRUCTURES).

THIS SELECT MATERIAL SHALL INCLUDE:
 a. ASPHALT MILLINGS
 b. STONE BASE OF EXISTING PAVEMENT
 c. CONCRETE FROM BUILDING DEMOLITION

*THE PROJECT GEOTECHNICAL ENGINEER SHALL INSPECT THIS MATERIAL PRIOR TO ITS USE AS FILL.

- EXISTING CONDITION NOTES**
- EXISTING CONDITIONS, BOUNDARIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
 - SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION GIS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

| | |
|---|-------------------|
| PAVEMENT DEMOLITION PLAN | |
| NE QUADRANT | SW QUADRANT |
| THE QUAD ST. CHARLES | |
| 3800 E. MAIN STREET | |
| ST. CHARLES, ILLINOIS | |
| JACOB & HEFNER ASSOCIATES | |
| 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148 PHONE: (630) 652-6000, FAX: (630) 652-6001 www.jacobandhefner.com | |
| SC 3800 MAIN, LLC. | |
| 1"=40' | |
| F021 | |
| C2.1 | |
| DESIGNED BY: _____ | CHECKED BY: _____ |
| DATE: 2/6/14 | DATE: 2/6/14 |



NE QUADRANT

SE QUADRANT

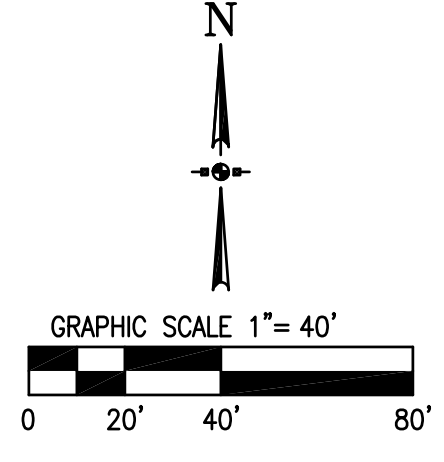
SW QUADRANT
SE QUADRANT

**EXISTING
CARSON PIRIE
SCOTT**

UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

**STORMWATER
DETENTION BASIN C2**
TOP OF BANK=769.00
HWL=768.00
NWL=764.22
VOL=0.24 AC-FT

**STORMWATER DETENTION
BASIN C1**
TOP OF BANK=770.00
HWL=768.00
NWL=763.50
VOL=8.18 AC-FT



PAVEMENT REMOVAL LEGEND

- LIGHT DUTY PAVEMENT-PARTIAL DEPTH REMOVAL (TOTAL PROJECT: ±76,900 SY)**
 - REMOVE EXISTING ASPHALT (±3.5"-3.0")
 - REMOVE STONE BASE COURSE (±1.5"-1.0") TO ACCOMMODATE NEW HMA (HOT MIX ASPHALT)
 - PAVEMENT THICKNESS OF 4.5"
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 - REMAINING STONE BASE COURSE (±7.0"-6.5")
- HEAVY DUTY PAVEMENT-PARTIAL DEPTH REMOVAL (TOTAL PROJECT: ±34,100 SY)**
 - REMOVE EXISTING ASPHALT (±5.0"-3.0")
 - REMOVE STONE BASE COURSE (±2.0"-0.0") TO ACCOMMODATE NEW HMA (HOT MIX ASPHALT)
 - PAVEMENT THICKNESS OF 5.0"
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 - REMAINING STONE BASE COURSE (±10.5"-10.0")
- LIGHT DUTY PAVEMENT-FULL DEPTH REMOVAL (TOTAL PROJECT: ±59,900 SY)**
 - REMOVE EXISTING ASPHALT (±3.5"-3.0")
 - REMOVE STONE BASE COURSE (±8.0")
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
- HEAVY DUTY PAVEMENT-FULL DEPTH REMOVAL (TOTAL PROJECT: ±28,200 SY)**
 - REMOVE EXISTING ASPHALT (±5.0"-3.0")
 - REMOVE STONE BASE COURSE (±12.0"-10.0")
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY

THE CURRENT INTENT IS TO USE SELECT DEMOLISHED MATERIAL FOR FILL UNDERNEATH PROPOSED PAVEMENT ONLY (NOT UNDER PROPOSED STRUCTURES).
THIS SELECT MATERIAL SHALL INCLUDE:
a. ASPHALT MILLINGS
b. STONE BASE OF EXISTING PAVEMENT
c. CONCRETE FROM BUILDING DEMOLITION
*THE PROJECT GEOTECHNICAL ENGINEER SHALL INSPECT THIS MATERIAL PRIOR TO ITS USE AS FILL.

- EXISTING CONDITION NOTES**
- 1) EXISTING CONDITIONS, BOUNDARIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
 - 2) SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION GIS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

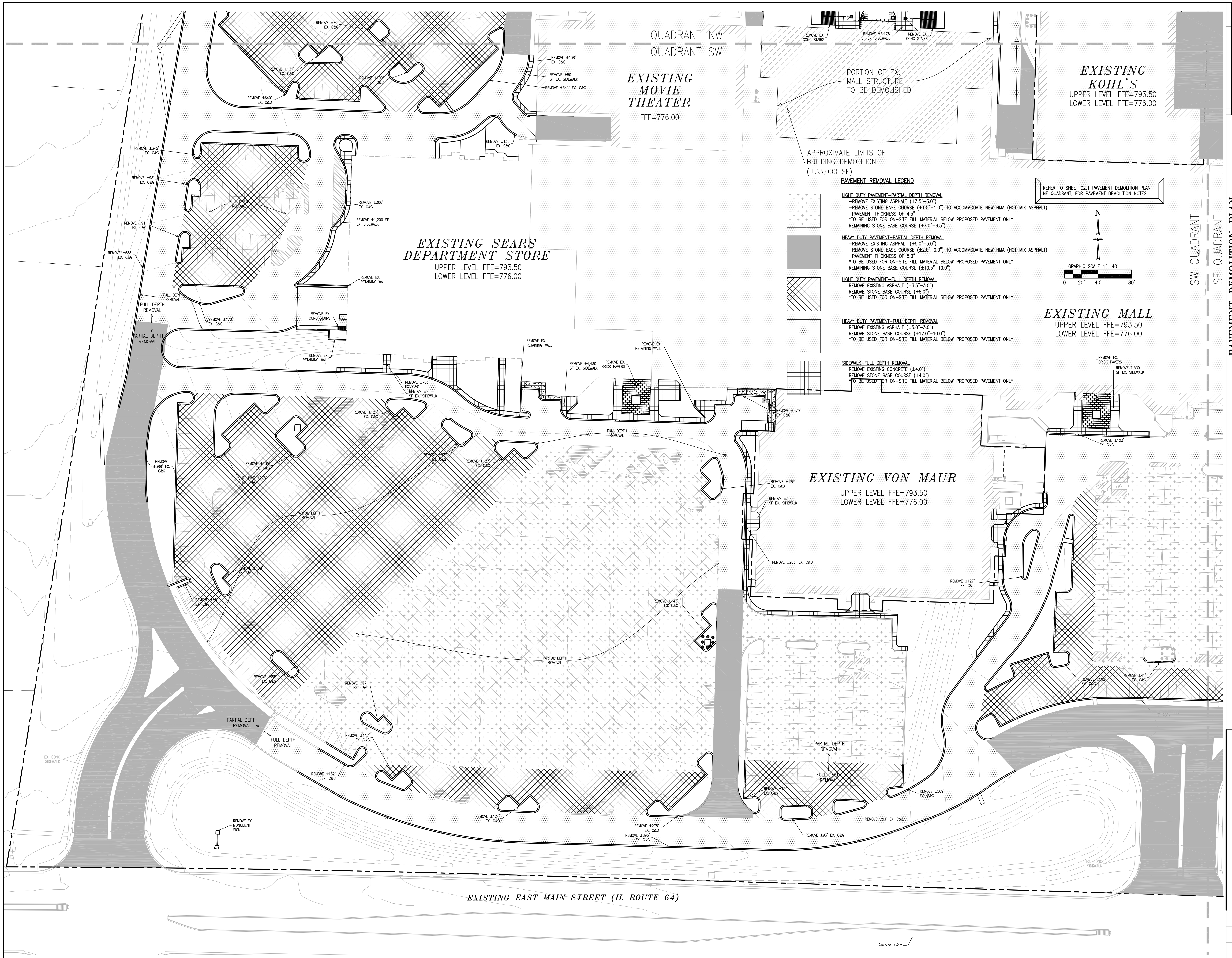
PAVEMENT DEMOLITION PLAN
SE QUADRANT
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

**JACOB & HEFNER
ASSOCIATES**
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
PHONE: (630) 652-4608, FAX: (630) 652-4601
www.jacobandhefner.com

SC 3800 MAIN, LLC.

1"=40'
F021
C2.2

| | | | |
|---|--------------------|---------|------------|
| 2 | REVISED PER OWNER | 2/26/14 | DATE |
| 1 | ORIGINAL PLAN DATE | 2/6/14 | DATE |
| | DESIGNED BY | | CHECKED BY |



QUADRANT NW
QUADRANT SW

EXISTING MOVIE THEATER
FFE=776.00

EXISTING SEARS DEPARTMENT STORE
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

EXISTING VON MAUR
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

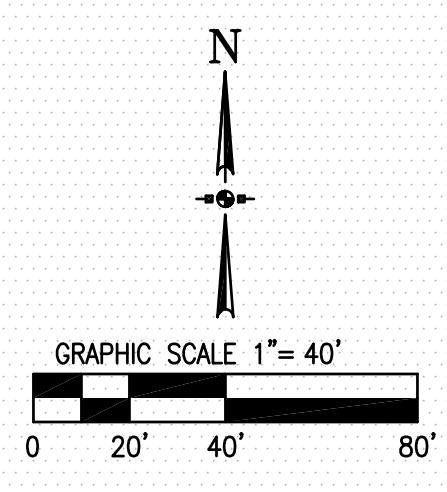
EXISTING KOHL'S
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

APPROXIMATE LIMITS OF BUILDING DEMOLITION
(±33,000 SF)

PAVEMENT REMOVAL LEGEND

- LIGHT DUTY PAVEMENT—PARTIAL DEPTH REMOVAL**
 - REMOVE EXISTING ASPHALT (±3.5"–3.0")
 - REMOVE STONE BASE COURSE (±1.5"–1.0") TO ACCOMMODATE NEW HMA (HOT MIX ASPHALT)
 - PAVEMENT THICKNESS OF 4.5"
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 - REMAINING STONE BASE COURSE (±7.0"–6.5")
- HEAVY DUTY PAVEMENT—PARTIAL DEPTH REMOVAL**
 - REMOVE EXISTING ASPHALT (±5.0"–3.0")
 - REMOVE STONE BASE COURSE (±2.0"–0.0") TO ACCOMMODATE NEW HMA (HOT MIX ASPHALT)
 - PAVEMENT THICKNESS OF 5.0"
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 - REMAINING STONE BASE COURSE (±10.5"–10.0")
- LIGHT DUTY PAVEMENT—FULL DEPTH REMOVAL**
 - REMOVE EXISTING ASPHALT (±3.5"–3.0")
 - REMOVE STONE BASE COURSE (±8.0")
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
- HEAVY DUTY PAVEMENT—FULL DEPTH REMOVAL**
 - REMOVE EXISTING ASPHALT (±5.0"–3.0")
 - REMOVE STONE BASE COURSE (±12.0"–10.0")
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
- SIDEWALK—FULL DEPTH REMOVAL**
 - REMOVE EXISTING CONCRETE (±4.0")
 - REMOVE STONE BASE COURSE (±4.0")
 - *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY

REFER TO SHEET C2.1 PAVEMENT DEMOLITION PLAN
NE QUADRANT, FOR PAVEMENT DEMOLITION NOTES.



EXISTING MALL
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

PAVEMENT DEMOLITION PLAN
SW QUADRANT
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
PHONE: (630) 652-6008, FAX: (630) 652-6001
www.jacobandhefner.com

SC 3800 MAIN, LLC.

1"=40'
F021
C2.3

| | |
|--------------------|---------|
| DATE | 2/26/14 |
| CHECKED BY | |
| DESIGNED BY | |
| APPROVED BY | |
| ORIGINAL PLAN DATE | 2/26/14 |
| REVISION PER OWNER | |

THE CURRENT INTENT IS TO USE SELECT DEMOLISHED MATERIAL FOR FILL UNDERNEATH PROPOSED PAVEMENT ONLY (NOT UNDER PROPOSED STRUCTURES).

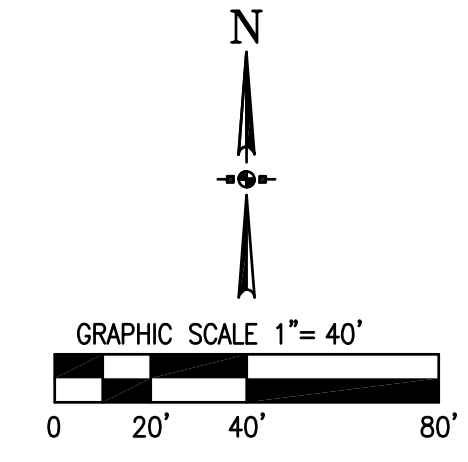
THIS SELECT MATERIAL SHALL INCLUDE:

- ASPHALT MILLINGS
- STONE BASE OF EXISTING PAVEMENT
- CONCRETE FROM BUILDING DEMOLITION

*THE PROJECT GEOTECHNICAL ENGINEER SHALL INSPECT THIS MATERIAL PRIOR TO ITS USE AS FILL.

EXISTING CONDITION NOTES

- EXISTING CONDITIONS, BOUNDARIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
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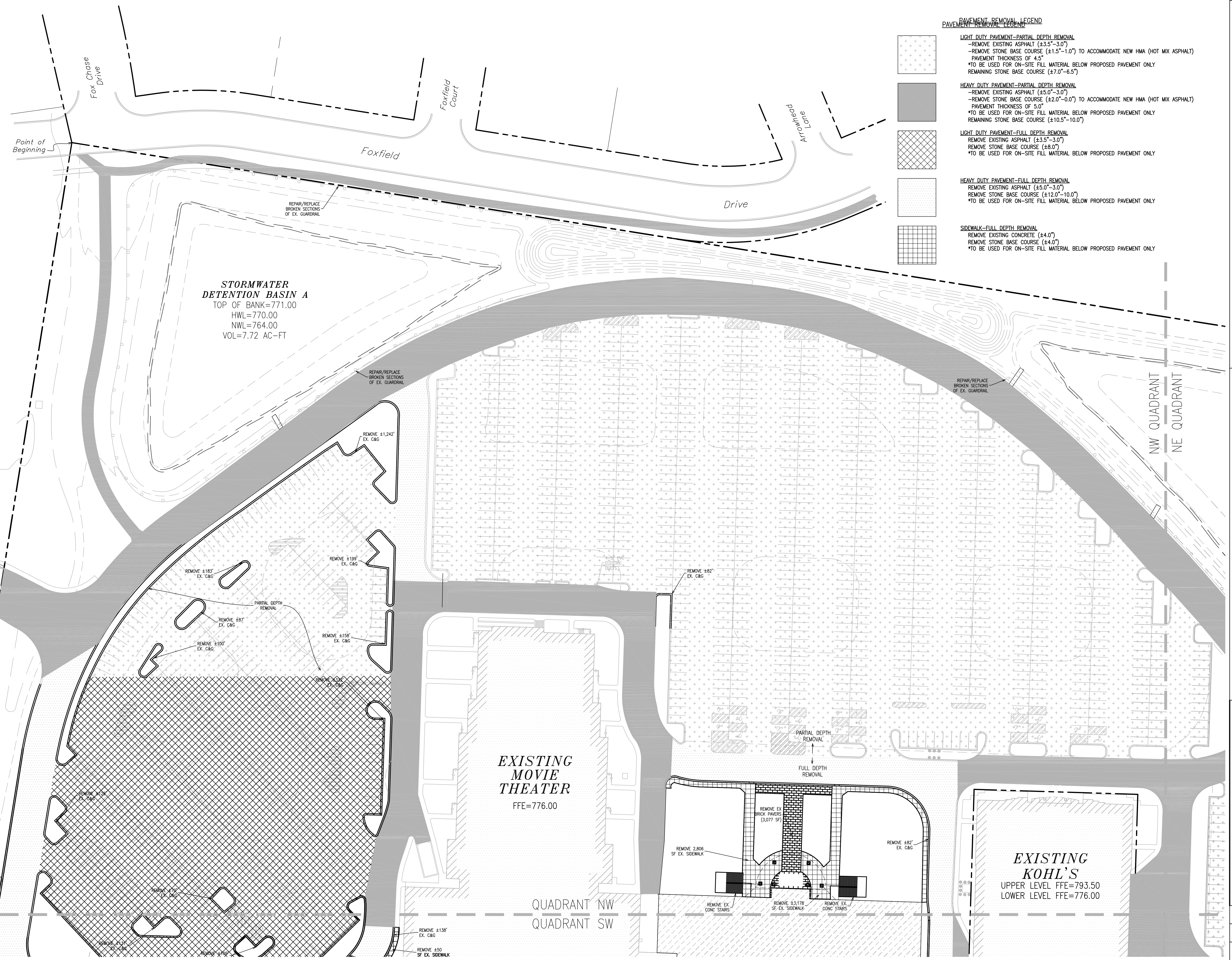
PAVEMENT REMOVAL LEGEND

- LIGHT DUTY PAVEMENT-PARTIAL DEPTH REMOVAL**
 -REMOVE EXISTING ASPHALT (+3.5'-3.0")
 -REMOVE STONE BASE COURSE (+1.5'-1.0") TO ACCOMMODATE NEW HMA (HOT MIX ASPHALT)
 PAVEMENT THICKNESS OF 4.5"
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 REMAINING STONE BASE COURSE (+7.0'-6.5")
- HEAVY DUTY PAVEMENT-PARTIAL DEPTH REMOVAL**
 -REMOVE EXISTING ASPHALT (+5.0'-3.0")
 -REMOVE STONE BASE COURSE (+2.0'-0.0") TO ACCOMMODATE NEW HMA (HOT MIX ASPHALT)
 PAVEMENT THICKNESS OF 5.0"
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
 REMAINING STONE BASE COURSE (+10.5'-10.0")
- LIGHT DUTY PAVEMENT-FULL DEPTH REMOVAL**
 REMOVE EXISTING ASPHALT (+3.5'-3.0")
 REMOVE STONE BASE COURSE (+8.0")
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
- HEAVY DUTY PAVEMENT-FULL DEPTH REMOVAL**
 REMOVE EXISTING ASPHALT (+5.0'-3.0")
 REMOVE STONE BASE COURSE (+12.0'-10.0")
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY
- SIDEWALK-FULL DEPTH REMOVAL**
 REMOVE EXISTING CONCRETE (+4.0")
 REMOVE STONE BASE COURSE (+4.0")
 *TO BE USED FOR ON-SITE FILL MATERIAL BELOW PROPOSED PAVEMENT ONLY

STORMWATER DETENTION BASIN A
 TOP OF BANK=771.00
 HWL=770.00
 NWL=764.00
 VOL=7.72 AC-FT

EXISTING MOVIE THEATER
 FFE=776.00

EXISTING KOHL'S
 UPPER LEVEL FFE=793.50
 LOWER LEVEL FFE=776.00



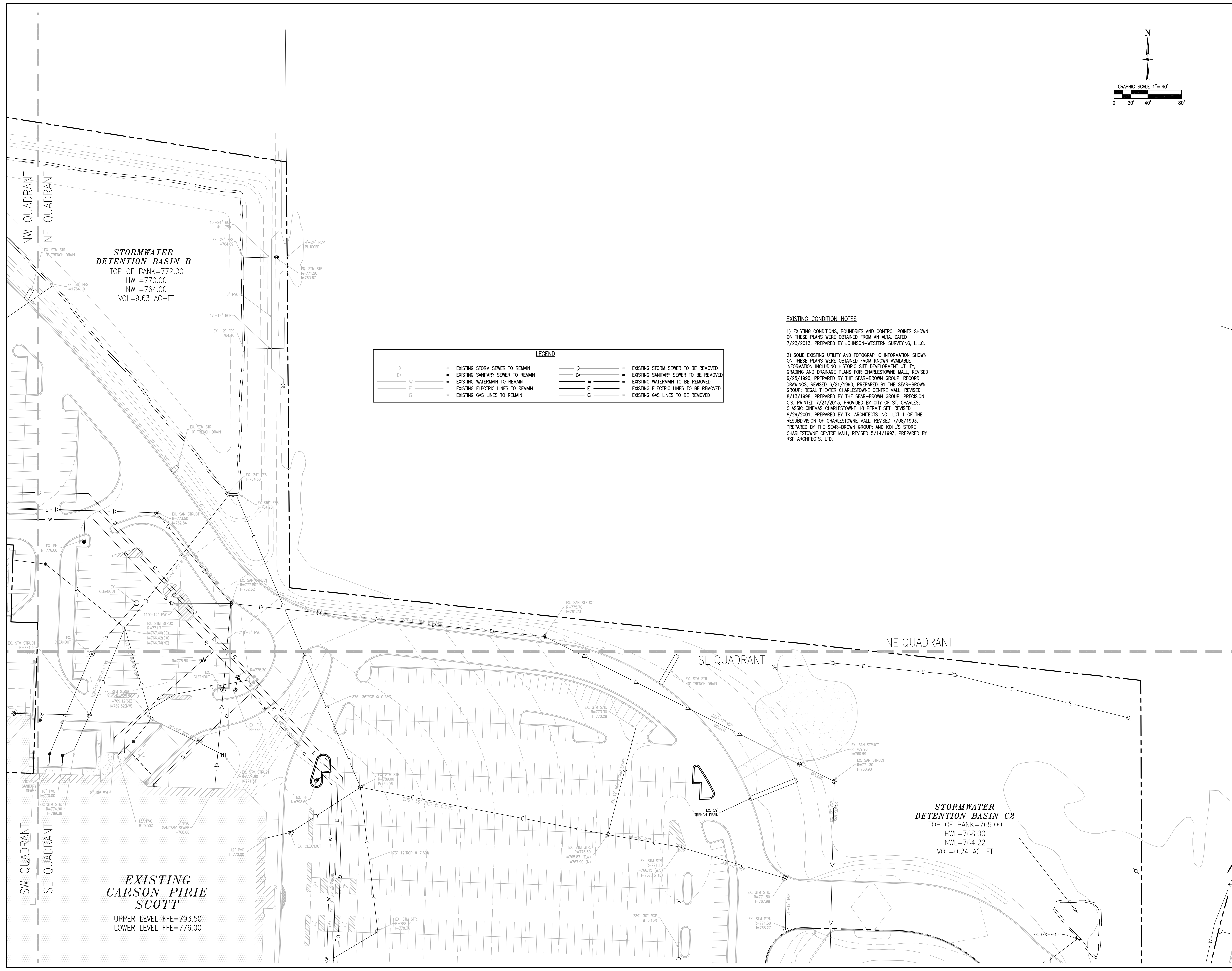
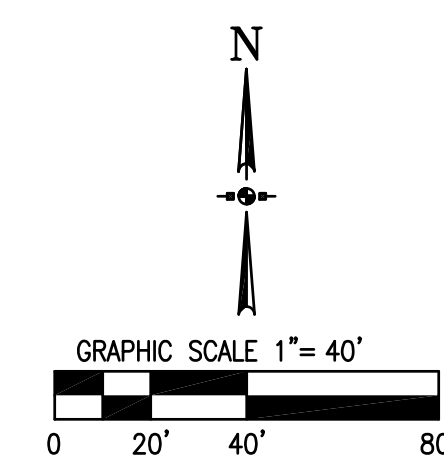
PAVEMENT DEMOLITION PLAN
 NW QUADRANT
 THE QUAD ST. CHARLES
 3800 E. MAIN STREET
 ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-6000, FAX: (630) 652-6001
 www.jacobandhefner.com

SC 3800 MAIN, LLC.

1"=40'
 F021
 C2.4

| | |
|--------------------|---------|
| DATE | 2/26/14 |
| CHECKED BY | |
| DESIGNED BY | |
| ASSIGNED BY | |
| ORIGINAL PLAN DATE | 2/26/14 |
| REVISION PER OWNER | 2/26/14 |



**STORMWATER
DETENTION BASIN B**
TOP OF BANK=772.00
HWL=770.00
NWL=764.00
VOL=9.63 AC-FT

**EXISTING
CARSON PIRIE
SCOTT**
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

**STORMWATER
DETENTION BASIN C2**
TOP OF BANK=769.00
HWL=768.00
NWL=764.22
VOL=0.24 AC-FT

LEGEND

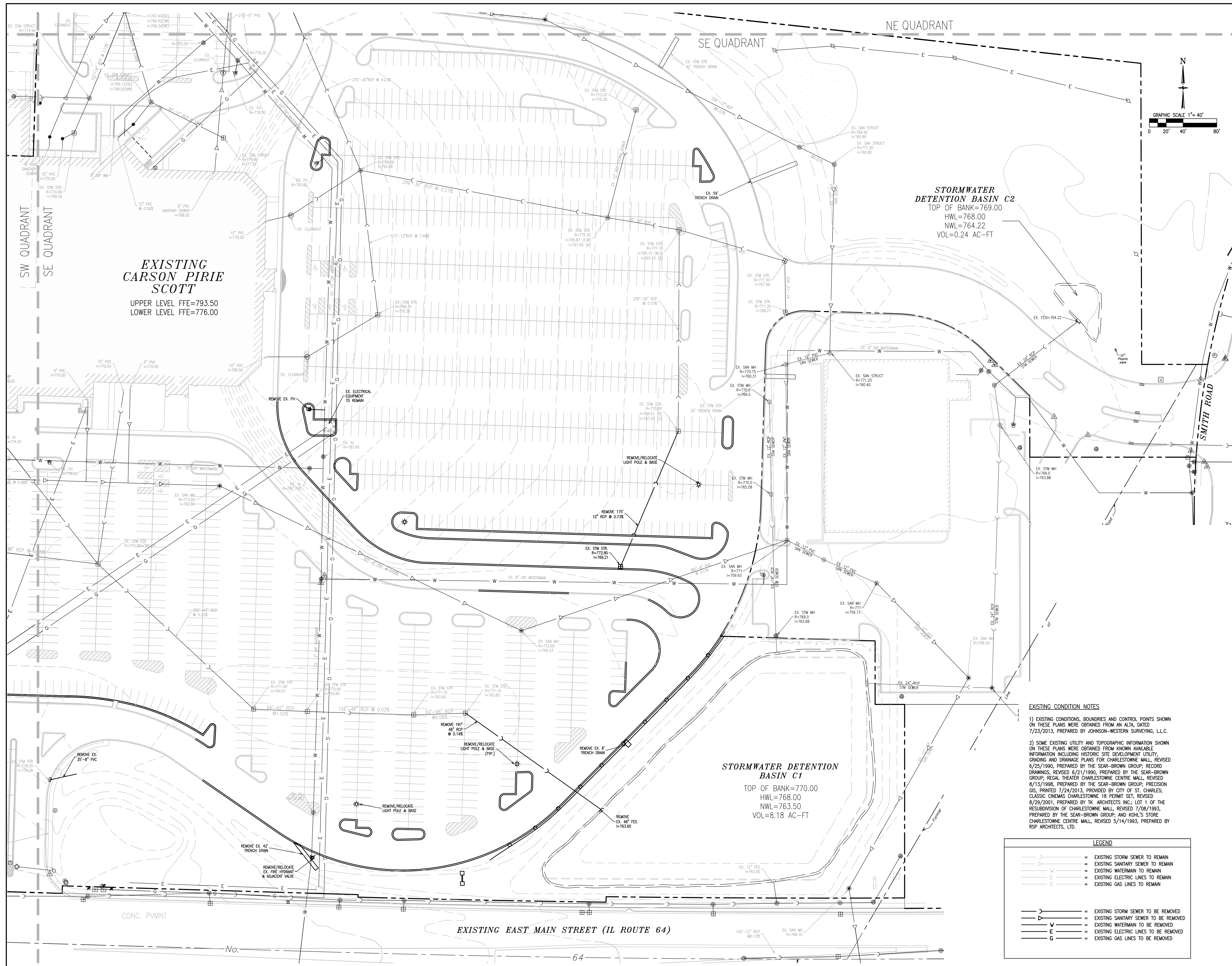
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|--|-------------------------------------|--|---|
| | = EXISTING STORM SEWER TO REMAIN | | = EXISTING STORM SEWER TO BE REMOVED |
| | = EXISTING SANITARY SEWER TO REMAIN | | = EXISTING SANITARY SEWER TO BE REMOVED |
| | = EXISTING WATERMAIN TO REMAIN | | = EXISTING WATERMAIN TO BE REMOVED |
| | = EXISTING ELECTRIC LINES TO REMAIN | | = EXISTING ELECTRIC LINES TO BE REMOVED |
| | = EXISTING GAS LINES TO REMAIN | | = EXISTING GAS LINES TO BE REMOVED |

EXISTING CONDITION NOTES

1) EXISTING CONDITIONS, BOUNDRIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.

2) SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP, RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION GIS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

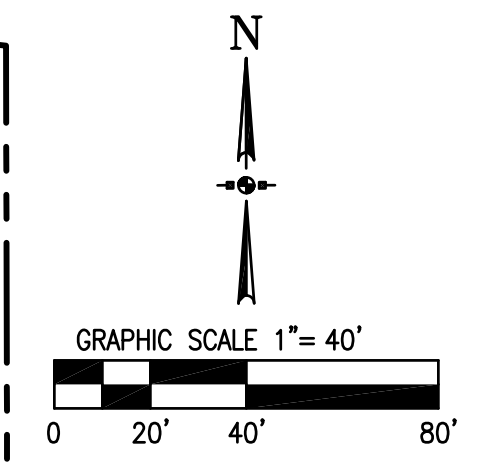
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|--|---|------------|------|------|---|--------------------|------|--------|--------|
| UTILITY DEMOLITION PLAN NE QUADRANT THE QUAD ST. CHARLES 3800 E. MAIN STREET ST. CHARLES, ILLINOIS | JACOB & HEFNER ASSOCIATES 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com | | | | | | | | |
| SC 3800 MAIN, LLC. | 1" = 40' F021 C2.5 | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DESIGNED BY</td> <td style="width: 50%;">CHECKED BY</td> </tr> <tr> <td>DATE</td> <td>DATE</td> </tr> </table> | DESIGNED BY | CHECKED BY | DATE | DATE | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DESIGNED PER OWNER</td> <td style="width: 50%;">DATE</td> </tr> <tr> <td>2/6/14</td> <td>2/6/14</td> </tr> </table> | DESIGNED PER OWNER | DATE | 2/6/14 | 2/6/14 |
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| DATE | DATE | | | | | | | | |
| DESIGNED PER OWNER | DATE | | | | | | | | |
| 2/6/14 | 2/6/14 | | | | | | | | |



**EXISTING
CARSON PIRIE
SCOTT**
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

**STORMWATER
DETENTION BASIN C2**
TOP OF BANK=769.00
HWL=768.00
NWL=764.22
VOL=0.24 AC-FT

**STORMWATER DETENTION
BASIN C1**
TOP OF BANK=770.00
HWL=768.00
NWL=763.50
VOL=8.18 AC-FT



EXISTING CONDITION NOTES

- 1) EXISTING CONDITIONS, BOUNDARIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
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LEGEND

| | |
|--|---------------------------------------|
| | EXISTING STORM SEWER TO REMAIN |
| | EXISTING SANITARY SEWER TO REMAIN |
| | EXISTING WATERMAIN TO REMAIN |
| | EXISTING ELECTRIC LINES TO REMAIN |
| | EXISTING GAS LINES TO REMAIN |
| | EXISTING STORM SEWER TO BE REMOVED |
| | EXISTING SANITARY SEWER TO BE REMOVED |
| | EXISTING WATERMAIN TO BE REMOVED |
| | EXISTING ELECTRIC LINES TO BE REMOVED |
| | EXISTING GAS LINES TO BE REMOVED |

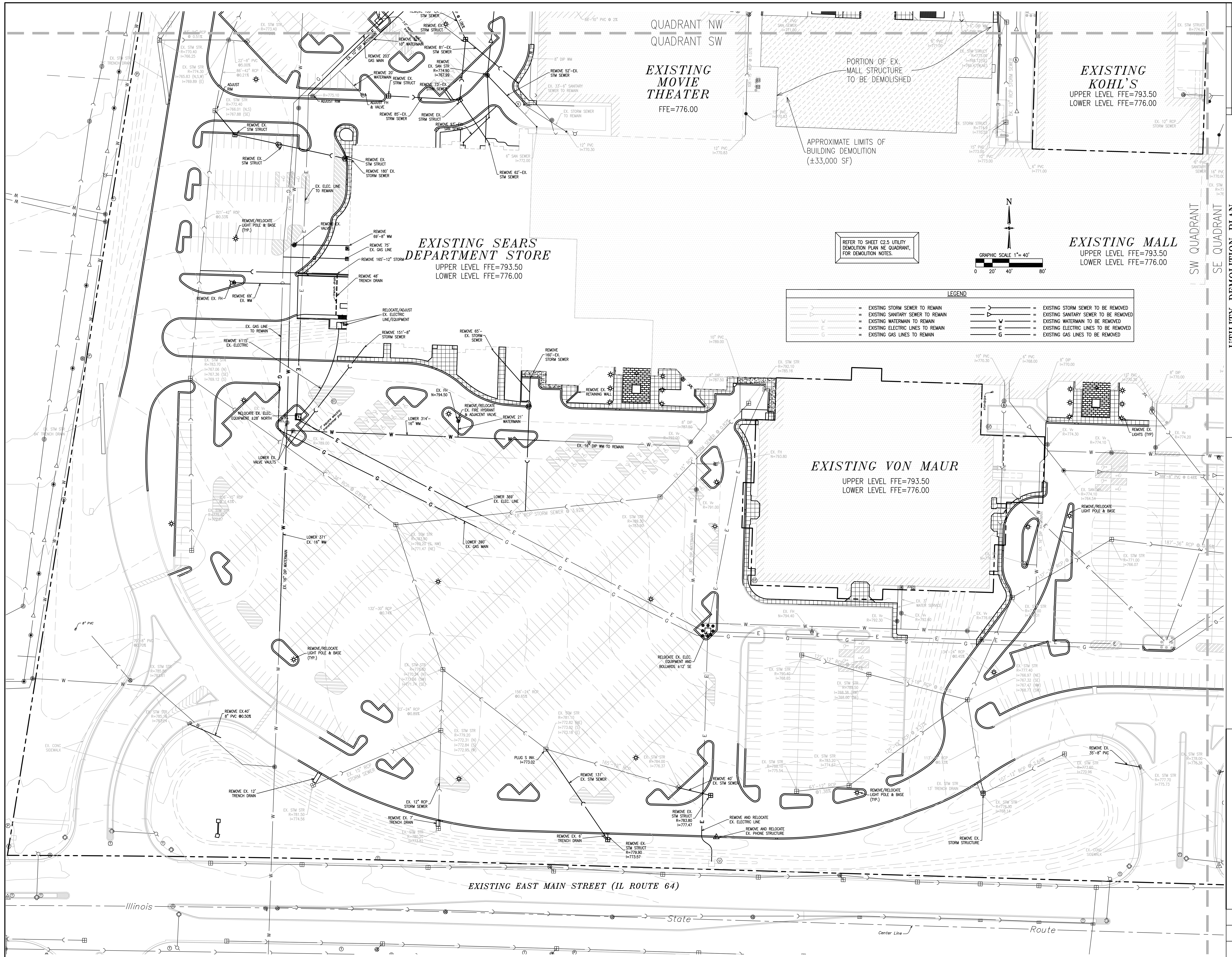
UTILITY DEMOLITION PLAN
SE QUADRANT
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SC 3800 MAIN, LLC.

1"=40'
F021
C2.6

| | |
|---------|-------------|
| 2/26/14 | DATE |
| 2/26/14 | DESIGNED BY |
| 2/26/14 | CHECKED BY |



QUADRANT NW
QUADRANT SW

EXISTING MOVIE THEATER
FFE=776.00

PORTION OF EX. MALL STRUCTURE TO BE DEMOLISHED

EXISTING KOHL'S
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

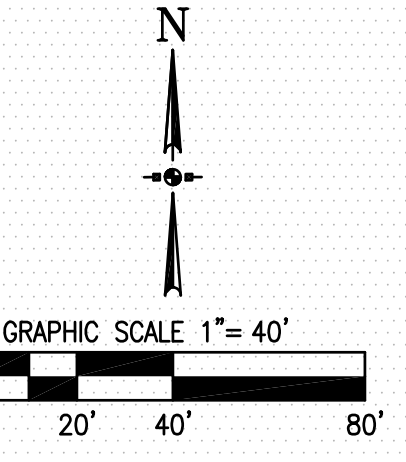
EXISTING SEARS DEPARTMENT STORE
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

EXISTING MALL
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

EXISTING VON MAUR
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

EXISTING EAST MAIN STREET (IL ROUTE 64)

REFER TO SHEET C2.5 UTILITY DEMOLITION PLAN NE QUADRANT, FOR DEMOLITION NOTES.



LEGEND

| | | | |
|-------------------------------|-------------------------------------|------------------------------|---|
| — (with arrow pointing right) | = EXISTING STORM SEWER TO REMAIN | — (with arrow pointing left) | = EXISTING STORM SEWER TO BE REMOVED |
| — (with arrow pointing right) | = EXISTING SANITARY SEWER TO REMAIN | — (with arrow pointing left) | = EXISTING SANITARY SEWER TO BE REMOVED |
| — (with arrow pointing right) | = EXISTING WATERMAIN TO REMAIN | — (with arrow pointing left) | = EXISTING WATERMAIN TO BE REMOVED |
| — (with arrow pointing right) | = EXISTING ELECTRIC LINES TO REMAIN | — (with arrow pointing left) | = EXISTING ELECTRIC LINES TO BE REMOVED |
| — (with arrow pointing right) | = EXISTING GAS LINES TO REMAIN | — (with arrow pointing left) | = EXISTING GAS LINES TO BE REMOVED |

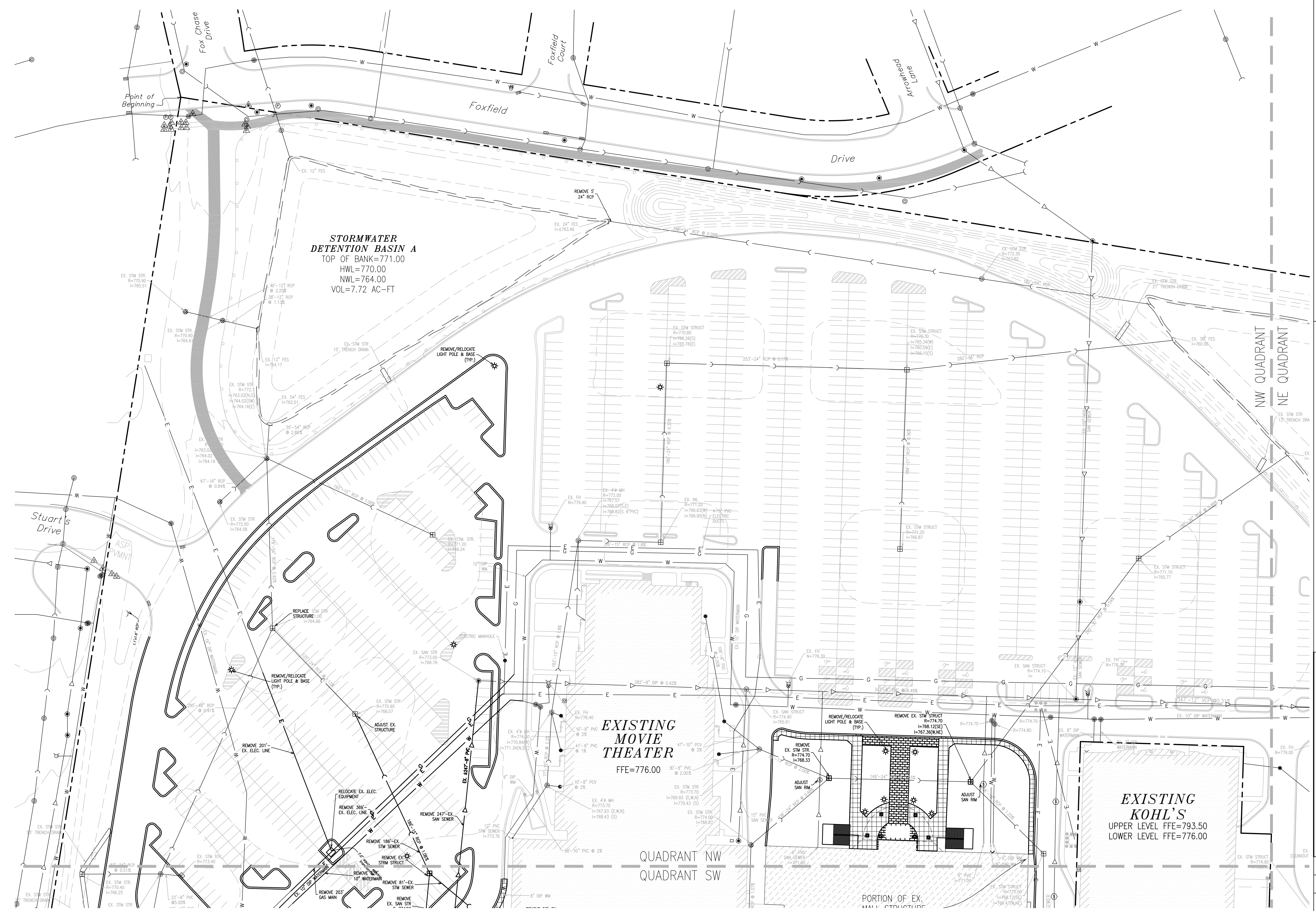
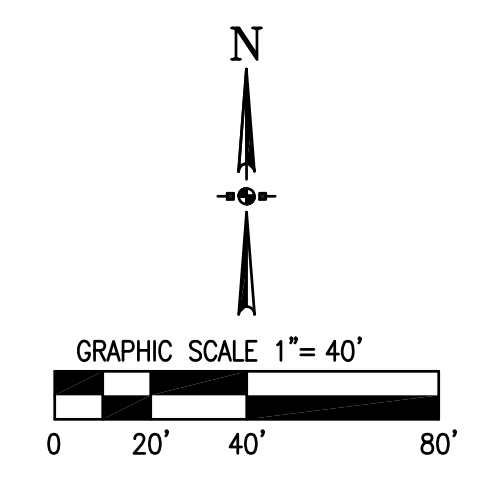
| | |
|---|---------------------------|
| DATE | 2/26/14 |
| DESIGNED BY | JACOB & HEFNER ASSOCIATES |
| CHECKED BY | JACOB & HEFNER ASSOCIATES |
| UTILTY DEMOLITION PLAN | |
| SW QUADRANT | |
| SE QUADRANT | |
| THE QUAD ST. CHARLES | |
| 3800 E. MAIN STREET | |
| ST. CHARLES, ILLINOIS | |
| JACOB & HEFNER ASSOCIATES | |
| 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148 | |
| PHONE: (630) 652-4600, FAX: (630) 652-4601 | |
| www.jacobandhefner.com | |
| SC 3800 MAIN, LLC. | |
| 1"=40' | |
| F021 | |
| C2.7 | |

| LEGEND | |
|--------|---|
| | = EXISTING STORM SEWER TO REMAIN |
| | = EXISTING SANITARY SEWER TO REMAIN |
| | = EXISTING WATERMAIN TO REMAIN |
| | = EXISTING ELECTRIC LINES TO REMAIN |
| | = EXISTING GAS LINES TO REMAIN |
| | = EXISTING STORM SEWER TO BE REMOVED |
| | = EXISTING SANITARY SEWER TO BE REMOVED |
| | = EXISTING WATERMAIN TO BE REMOVED |
| | = EXISTING ELECTRIC LINES TO BE REMOVED |
| | = EXISTING GAS LINES TO BE REMOVED |

EXISTING CONDITION NOTES

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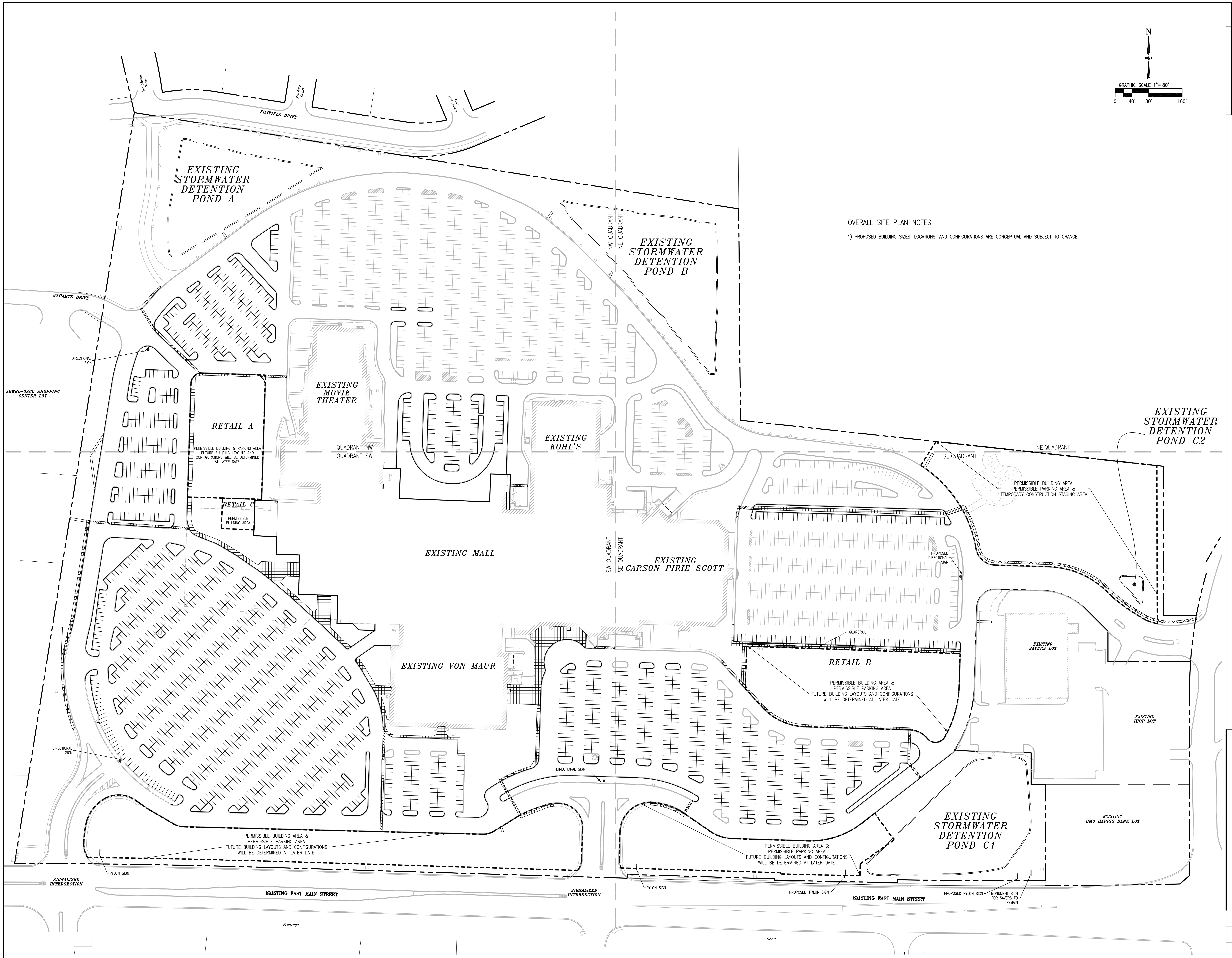
UTILITY DEMOLITION PLAN
 NW QUADRANT
 THE QUAD ST. CHARLES
 3800 E. MAIN STREET
 ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-6000, FAX: (630) 652-6001
 www.jacobandhefner.com

SC 3800 MAIN, LLC.

1"=40'
 F021
 C2.8

| NO. | REVISION | DATE |
|-----|--------------------|--------|
| 2 | REVISED PER OWNER | 2/6/14 |
| 1 | ORIGINAL PLAN DATE | 2/6/14 |
| | DESIGNED BY | |
| | CHECKED BY | |

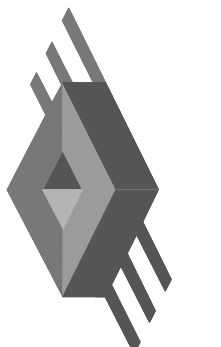


OVERALL SITE PLAN NOTES
 1) PROPOSED BUILDING SIZES, LOCATIONS, AND CONFIGURATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE.

OVERALL PROPOSED SITE PLAN

THE QUAD ST. CHARLES
 3800 E. MAIN STREET
 ST. CHARLES, ILLINOIS

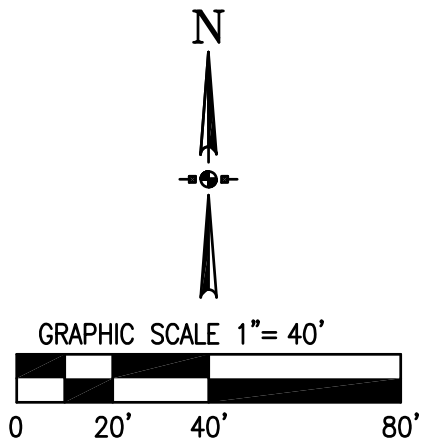
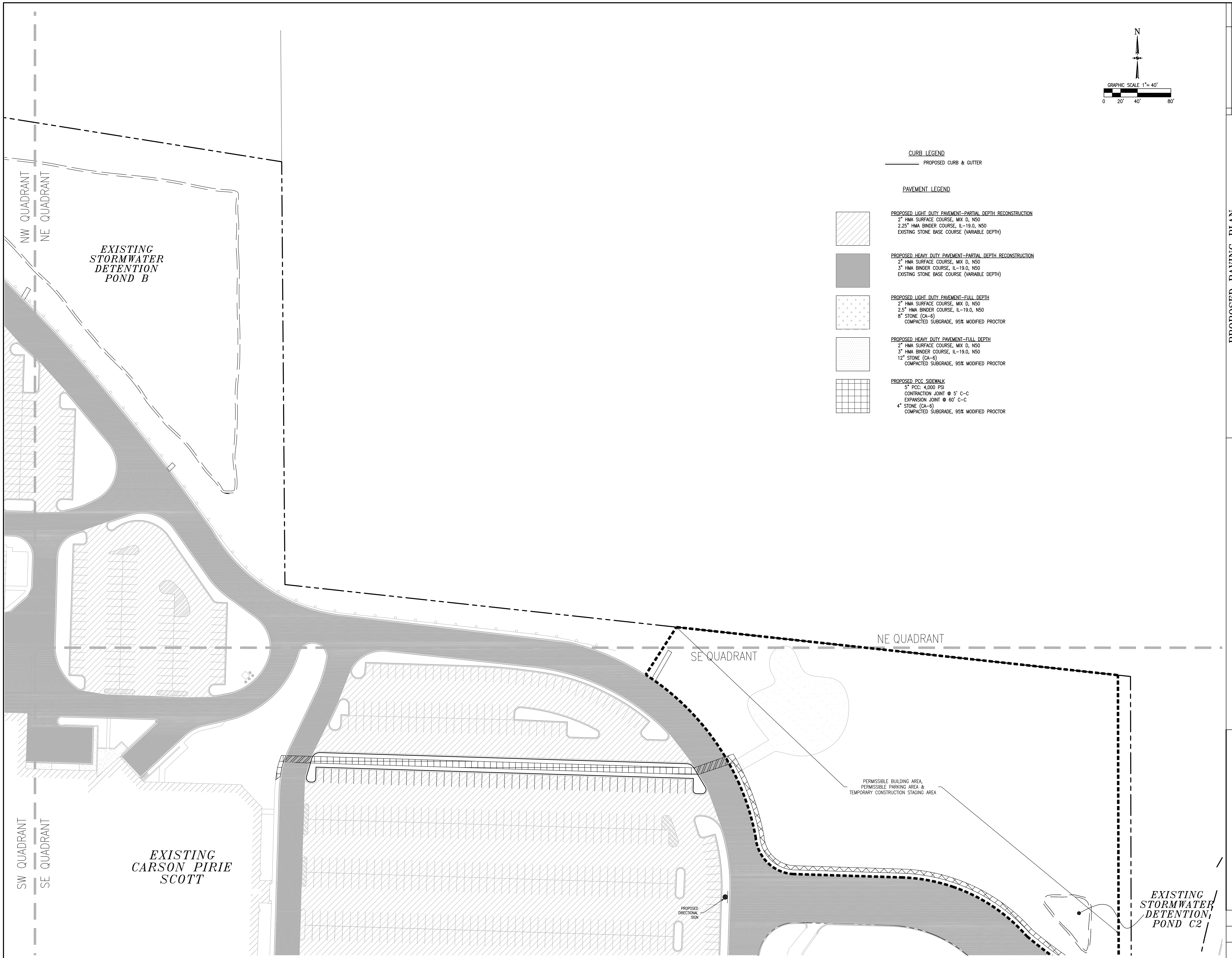
JACOB & HEFNER ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com



SC 3800 MAIN, LLC.

1"=80'
 F021
 C3.0

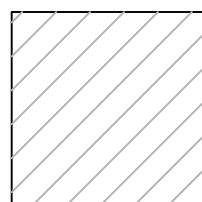
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|---|--------------------|---------|------------|
| 2 | REVISED PER OWNER | 2/26/14 | DATE |
| 1 | ORIGINAL PLAN DATE | 2/6/14 | DATE |
| | DESIGNED BY | | CHECKED BY |



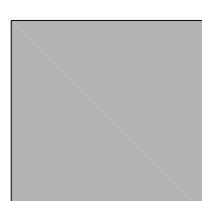
CURB LEGEND

PROPOSED CURB & GUTTER

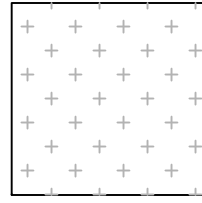
PAVEMENT LEGEND



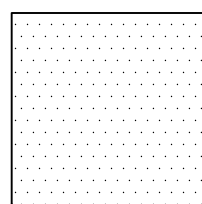
PROPOSED LIGHT DUTY PAVEMENT—PARTIAL DEPTH RECONSTRUCTION
 2" HMA SURFACE COURSE, MIX D, N50
 2.25" HMA BINDER COURSE, IL-19.0, N50
 EXISTING STONE BASE COURSE (VARIABLE DEPTH)



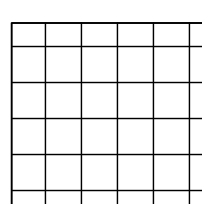
PROPOSED HEAVY DUTY PAVEMENT—PARTIAL DEPTH RECONSTRUCTION
 2" HMA SURFACE COURSE, MIX D, N50
 3" HMA BINDER COURSE, IL-19.0, N50
 EXISTING STONE BASE COURSE (VARIABLE DEPTH)



PROPOSED LIGHT DUTY PAVEMENT—FULL DEPTH
 2" HMA SURFACE COURSE, MIX D, N50
 2.5" HMA BINDER COURSE, IL-19.0, N50
 8" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR



PROPOSED HEAVY DUTY PAVEMENT—FULL DEPTH
 2" HMA SURFACE COURSE, MIX D, N50
 3" HMA BINDER COURSE, IL-19.0, N50
 12" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR



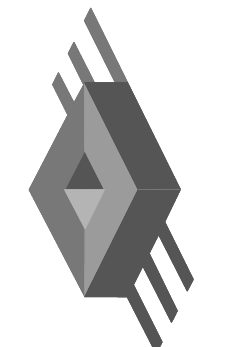
PROPOSED PCC SIDEWALK
 5" PCC: 4,000 PSI
 CONTRACTION JOINT @ 5' C-C
 EXPANSION JOINT @ 60' C-C
 4" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR

PERMISSIBLE BUILDING AREA,
 PERMISSIBLE PARKING AREA &
 TEMPORARY CONSTRUCTION STAGING AREA

| | |
|-------------|---------|
| DESIGNED BY | DATE |
| 2/26/14 | 2/26/14 |
| CHECKED BY | DATE |
| | |

PROPOSED PAVING PLAN
NE QUADRANT
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

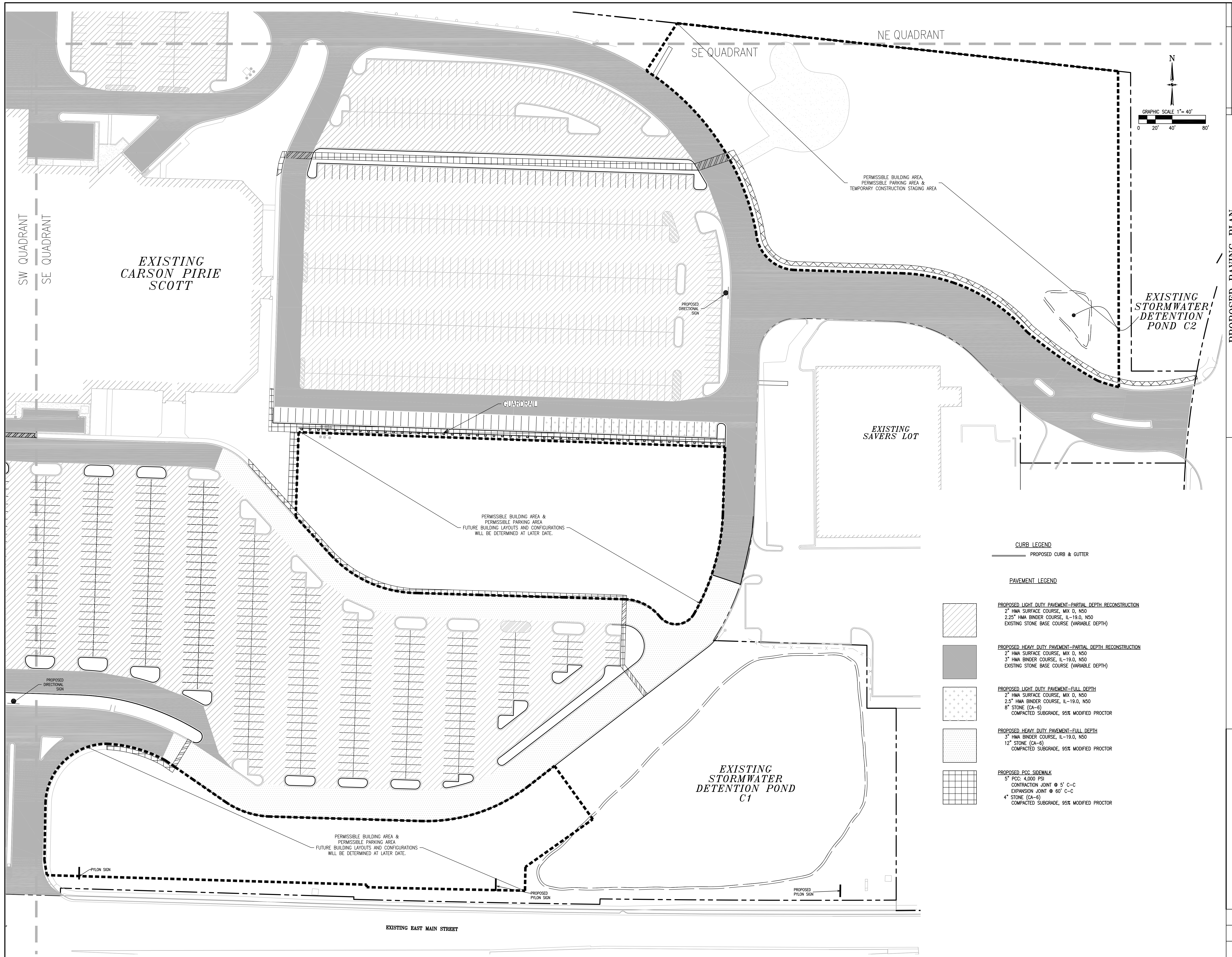
JACOB & HEFNER
 ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com



SC 3800 MAIN, LLC.

1" = 40'
 F021
 C3.1

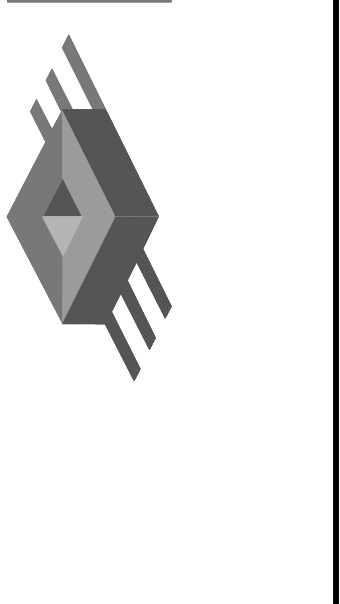
EXISTING
STORMWATER
DETENTION
POND C2



| | | | |
|---|--------------------|---------|------------|
| 2 | REVISED PER OWNER | 2/26/14 | DATE |
| 1 | ORIGINAL PLAN DATE | 2/26/14 | DATE |
| | DESIGNED BY | | CHECKED BY |

PROPOSED PAVING PLAN
 SE QUADRANT
 THE QUAD ST. CHARLES
 3800 E. MAIN STREET
 ST. CHARLES, ILLINOIS

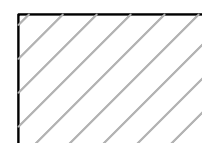

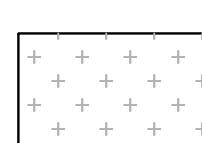

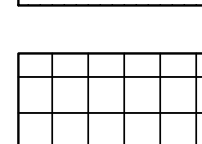
JACOB & HEFNER ASSOCIATES
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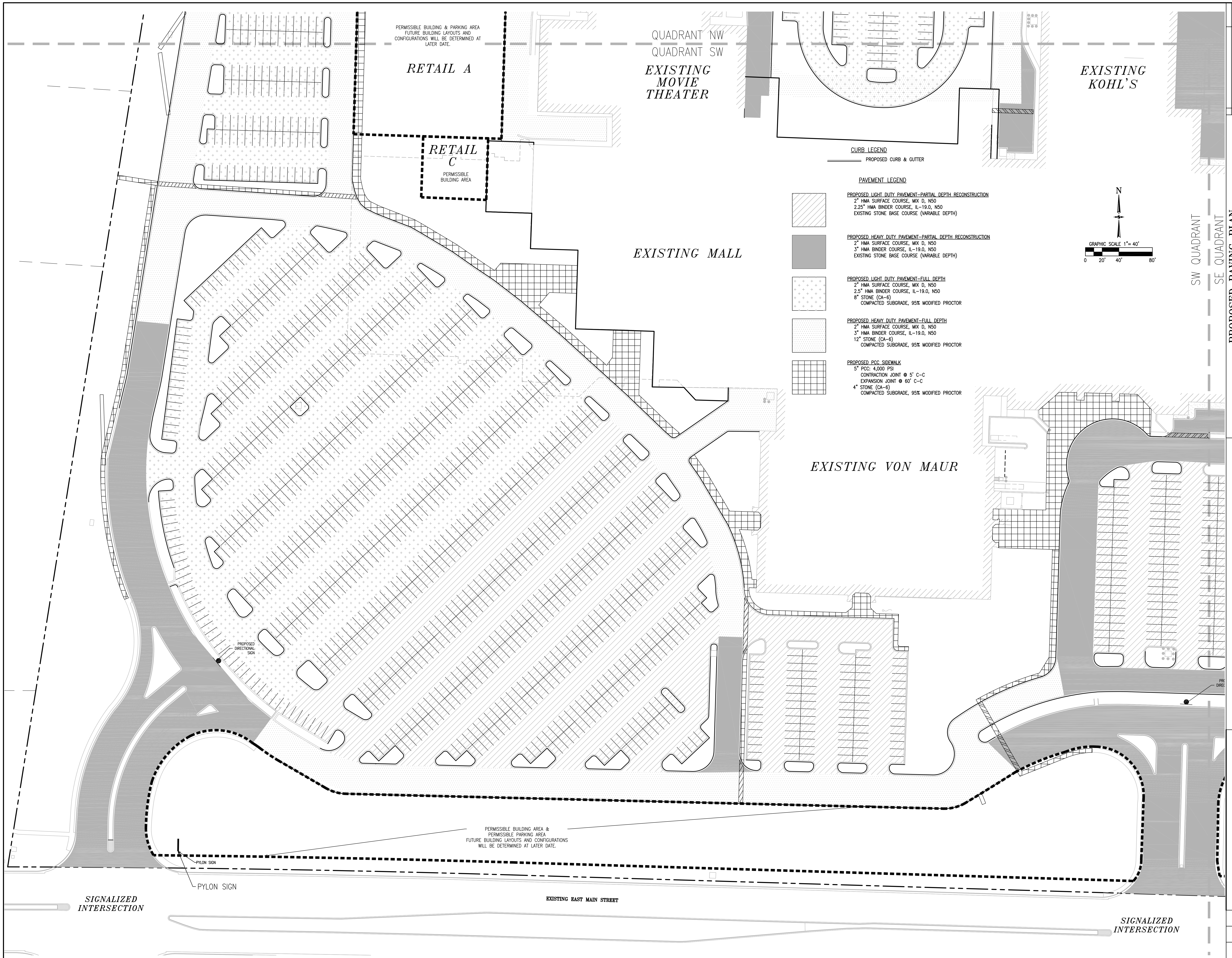


SC 3800 MAIN, LLC.
 1"=40'
 F021
 C3.2

CURB LEGEND
 PROPOSED CURB & GUTTER

PAVEMENT LEGEND

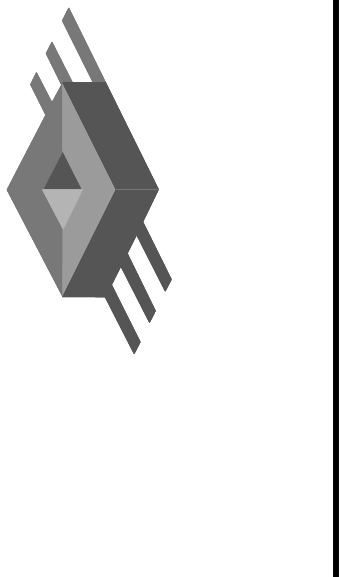
-  PROPOSED LIGHT DUTY PAVEMENT—PARTIAL DEPTH RECONSTRUCTION
 2" HMA SURFACE COURSE, MIX D, N50
 2.25" HMA BINDER COURSE, IL-19.0, N50
 EXISTING STONE BASE COURSE (VARIABLE DEPTH)
-  PROPOSED HEAVY DUTY PAVEMENT—PARTIAL DEPTH RECONSTRUCTION
 2" HMA SURFACE COURSE, MIX D, N50
 3" HMA BINDER COURSE, IL-19.0, N50
 EXISTING STONE BASE COURSE (VARIABLE DEPTH)
-  PROPOSED LIGHT DUTY PAVEMENT—FULL DEPTH
 2" HMA SURFACE COURSE, MIX D, N50
 2.5" HMA BINDER COURSE, IL-19.0, N50
 8" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
-  PROPOSED HEAVY DUTY PAVEMENT—FULL DEPTH
 3" HMA BINDER COURSE, IL-19.0, N50
 12" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
-  PROPOSED PCC SIDEWALK
 5" PCC: 4,000 PSI
 CONTRACTION JOINT @ 5' C-C
 EXPANSION JOINT @ 60' C-C
 4" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR



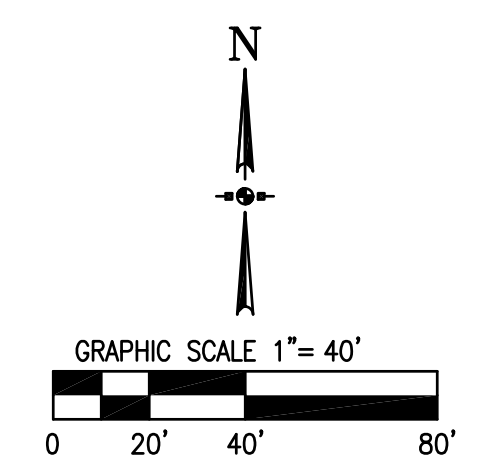
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| 2 | REVISED PER OWNER | 2/26/14 | DATE |
| 1 | ORIGINAL PLAN DATE | 2/26/14 | DATE |
| | DESIGNED BY | | CHECKED BY |

PROPOSED PAVING PLAN
SW QUADRANT
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

JACOB & HEFNER
ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com

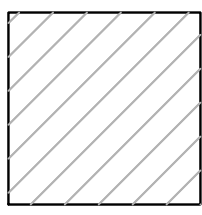
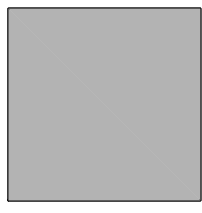
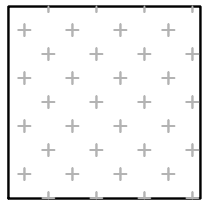
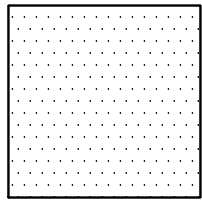
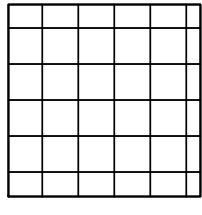


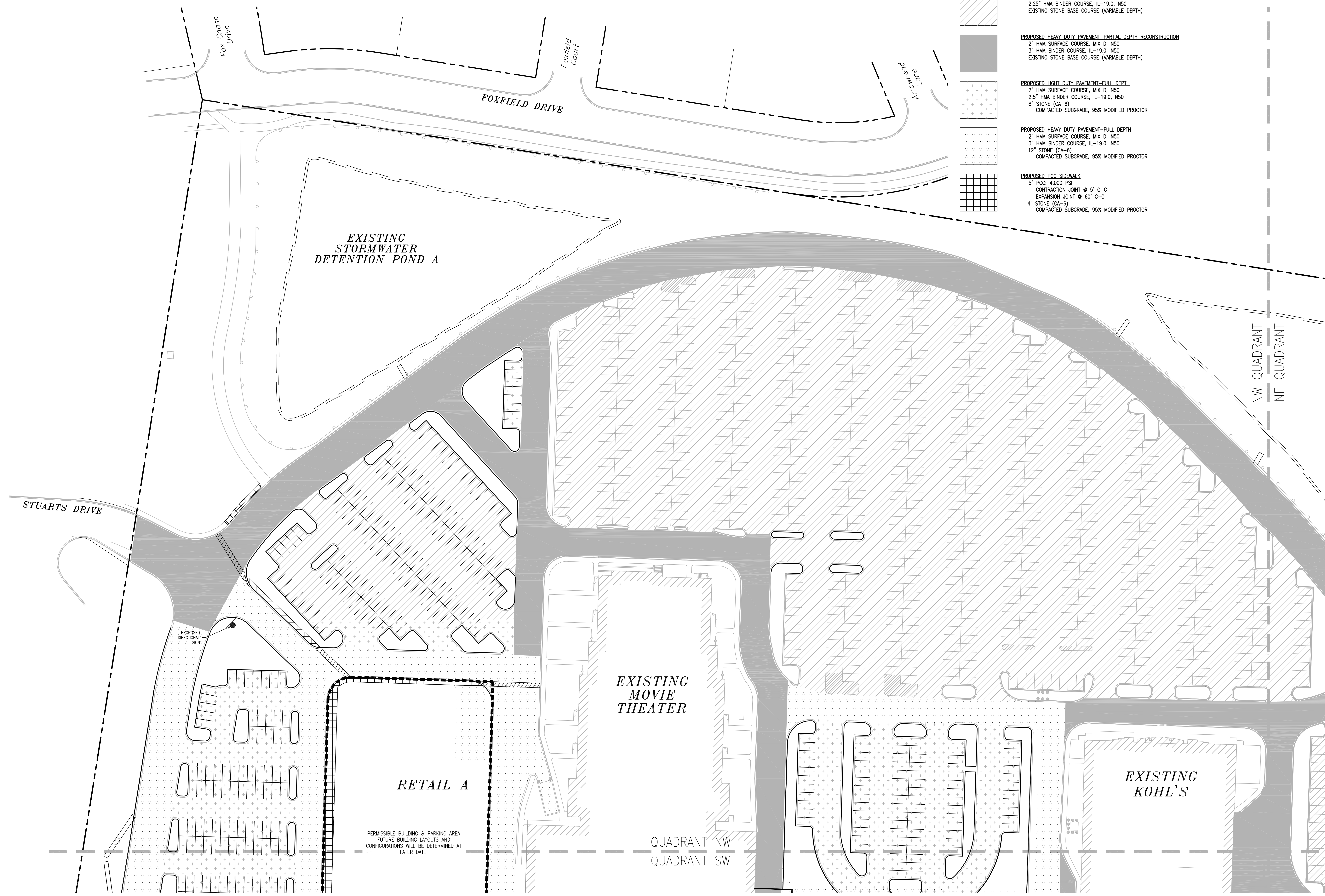
SC 3800 MAIN, L.L.C.
 1"=40'
 F021
 C3.3



CURB LEGEND
 ——— PROPOSED CURB & GUTTER

PAVEMENT LEGEND

-  PROPOSED LIGHT DUTY PAVEMENT—PARTIAL DEPTH RECONSTRUCTION
 2" HMA SURFACE COURSE, MIX D, NSO
 2.25" HMA BINDER COURSE, IL-19.0, NSO
 EXISTING STONE BASE COURSE (VARIABLE DEPTH)
-  PROPOSED HEAVY DUTY PAVEMENT—PARTIAL DEPTH RECONSTRUCTION
 2" HMA SURFACE COURSE, MIX D, NSO
 3" HMA BINDER COURSE, IL-19.0, NSO
 EXISTING STONE BASE COURSE (VARIABLE DEPTH)
-  PROPOSED LIGHT DUTY PAVEMENT—FULL DEPTH
 2" HMA SURFACE COURSE, MIX D, NSO
 2.5" HMA BINDER COURSE, IL-19.0, NSO
 8" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
-  PROPOSED HEAVY DUTY PAVEMENT—FULL DEPTH
 2" HMA SURFACE COURSE, MIX D, NSO
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 12" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
-  PROPOSED PCC SIDEWALK
 5" PCC, 4,000 PSI
 CONTRACTION JOINT @ 5' C-C
 EXPANSION JOINT @ 60' C-C
 4" STONE (CA-6)
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR



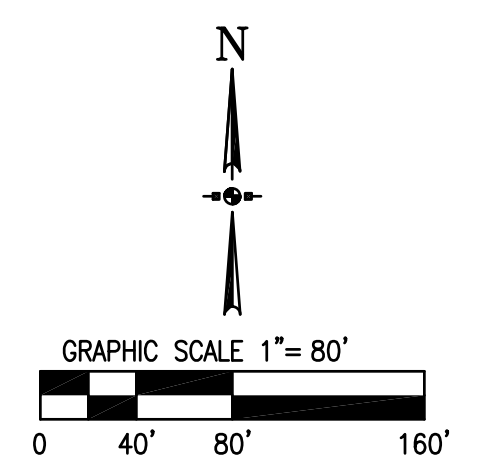
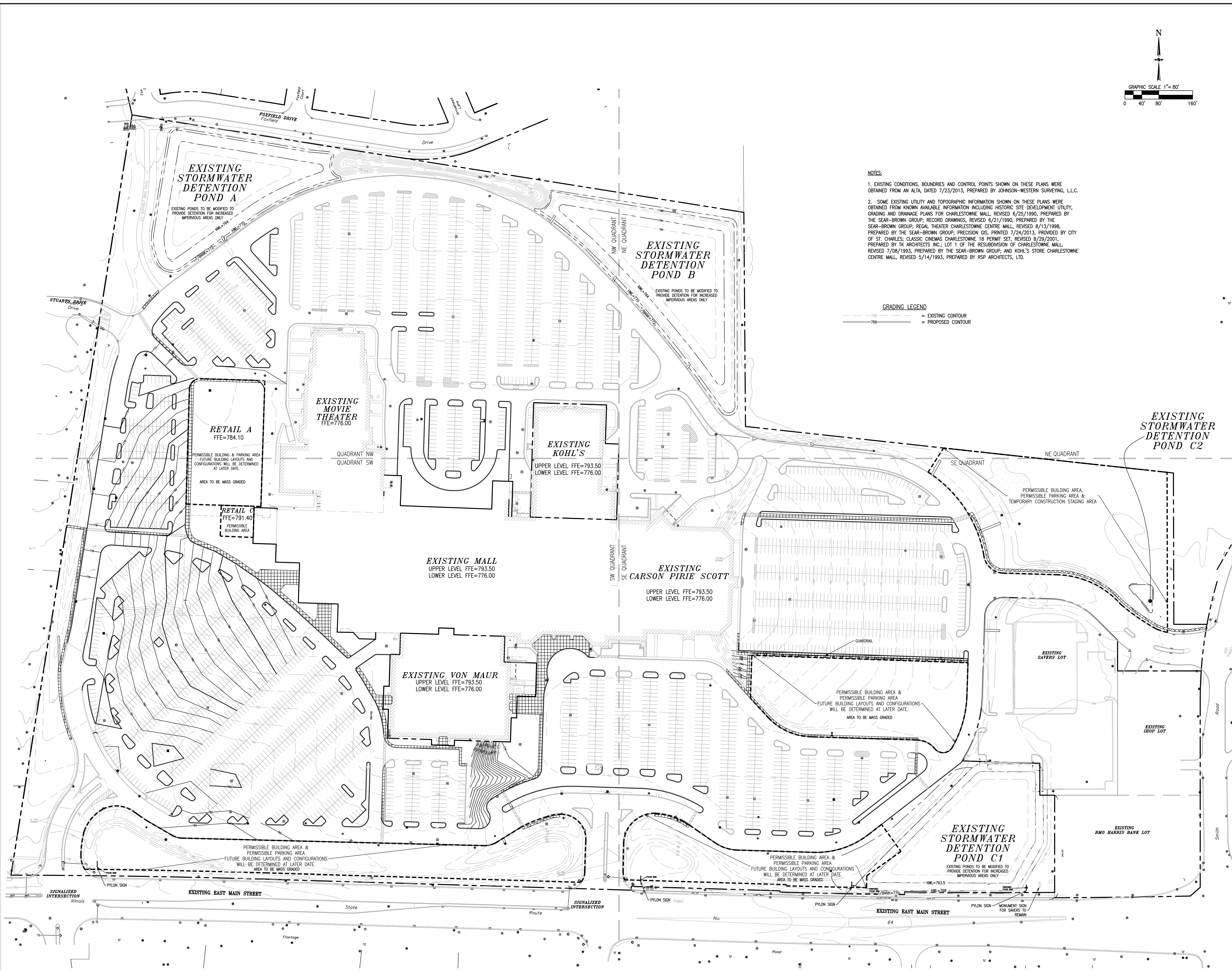
PROPOSED PAVING PLAN
 NW QUADRANT
 THE QUAD ST. CHARLES
 3800 E. MAIN STREET
 ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com

SC 3800 MAIN, LLC.

1"=40'
 F021
 C3.4

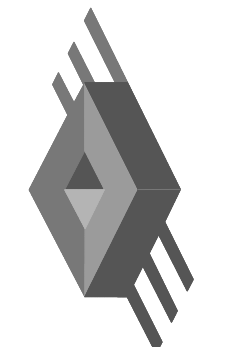
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| DESIGNED BY: | DATE: |
| CHECKED BY: | DATE: |
| APPROVED BY: | DATE: |
| 2/29/14 | 2/29/14 |
| 1 ORIGINAL PLAN DATE | |
| 1 REVISION DATE | |



| | |
|---------|--------------------|
| 2/29/14 | DATE |
| 2 | REVISION PER OWNER |
| 1 | ORIGINAL PLAN DATE |
| | DESCRIPTION |
| | DESIGNED BY |
| | CHECKED BY |

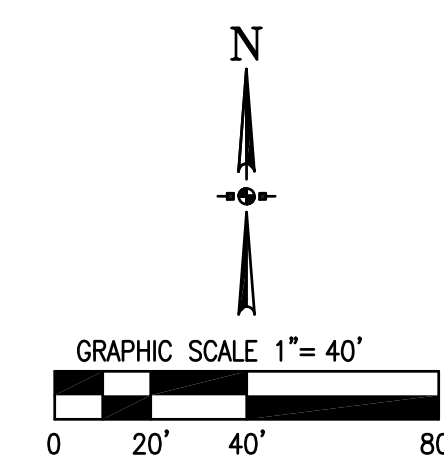
OVERALL GRADING PLAN
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com



SC 3800 MAIN, L.L.C.

1"=80'
F021
C4.0

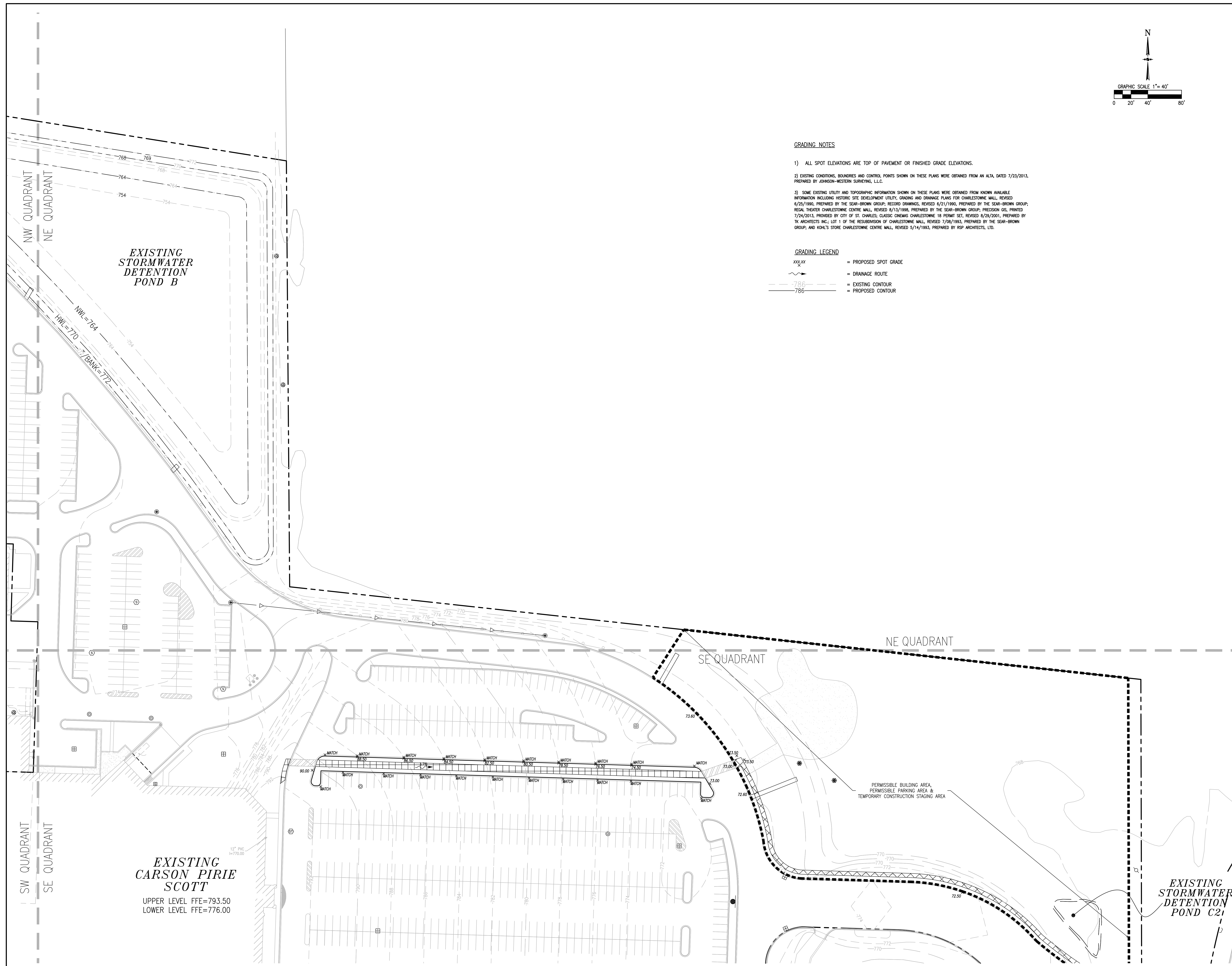


GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) EXISTING CONDITIONS, BOUNDRIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
- 3) SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTONNE MALL, REVISED 6/28/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; RECAL THEATER CHARLESTONNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION OS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES, CLASSIC CINEMAS CHARLESTONNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTONNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTONNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

GRADING LEGEND

- xxx.xx = PROPOSED SPOT GRADE
- = DRAINAGE ROUTE
- 786- = EXISTING CONTOUR
- 786 = PROPOSED CONTOUR



**EXISTING
STORMWATER
DETENTION
POND B**

**EXISTING
CARSON PIRIE
SCOTT**
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

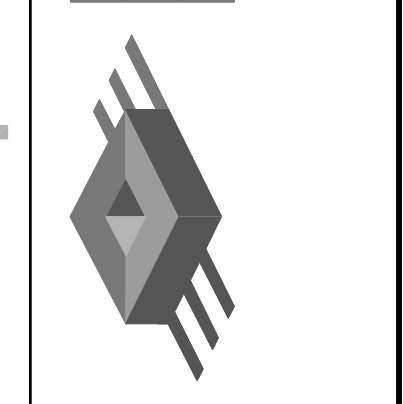
PERMISSIBLE BUILDING AREA,
PERMISSIBLE PARKING AREA &
TEMPORARY CONSTRUCTION STAGING AREA

**EXISTING
STORMWATER
DETENTION
POND C2**

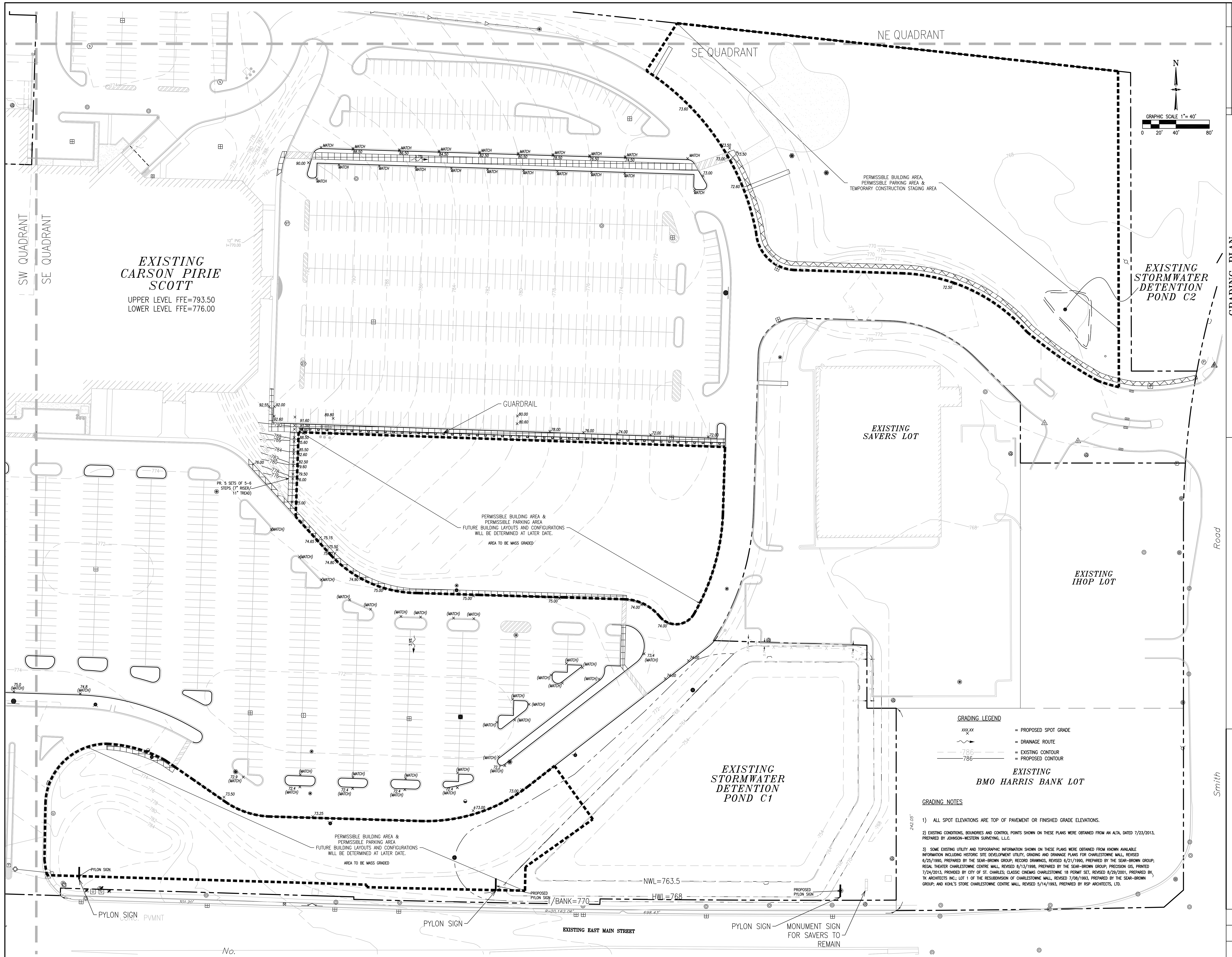
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|-------------|--------|
| DESIGNED BY | DATE |
| DESIGNED BY | 2/6/14 |
| CHECKED BY | 2/6/14 |
| DATE | |

GRADING PLAN
NE QUADRANT
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

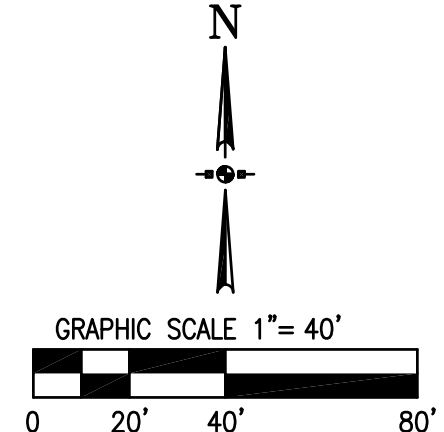
JACOB & HEFNER
ASSOCIATES
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
PHONE: (630) 652-6000, FAX: (630) 652-6001
www.jacobandhefner.com



SC 3800 MAIN, LLC.
1"=40'
F021
C4.1



**EXISTING
CARSON PIRIE
SCOTT**
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00



GRADING LEGEND

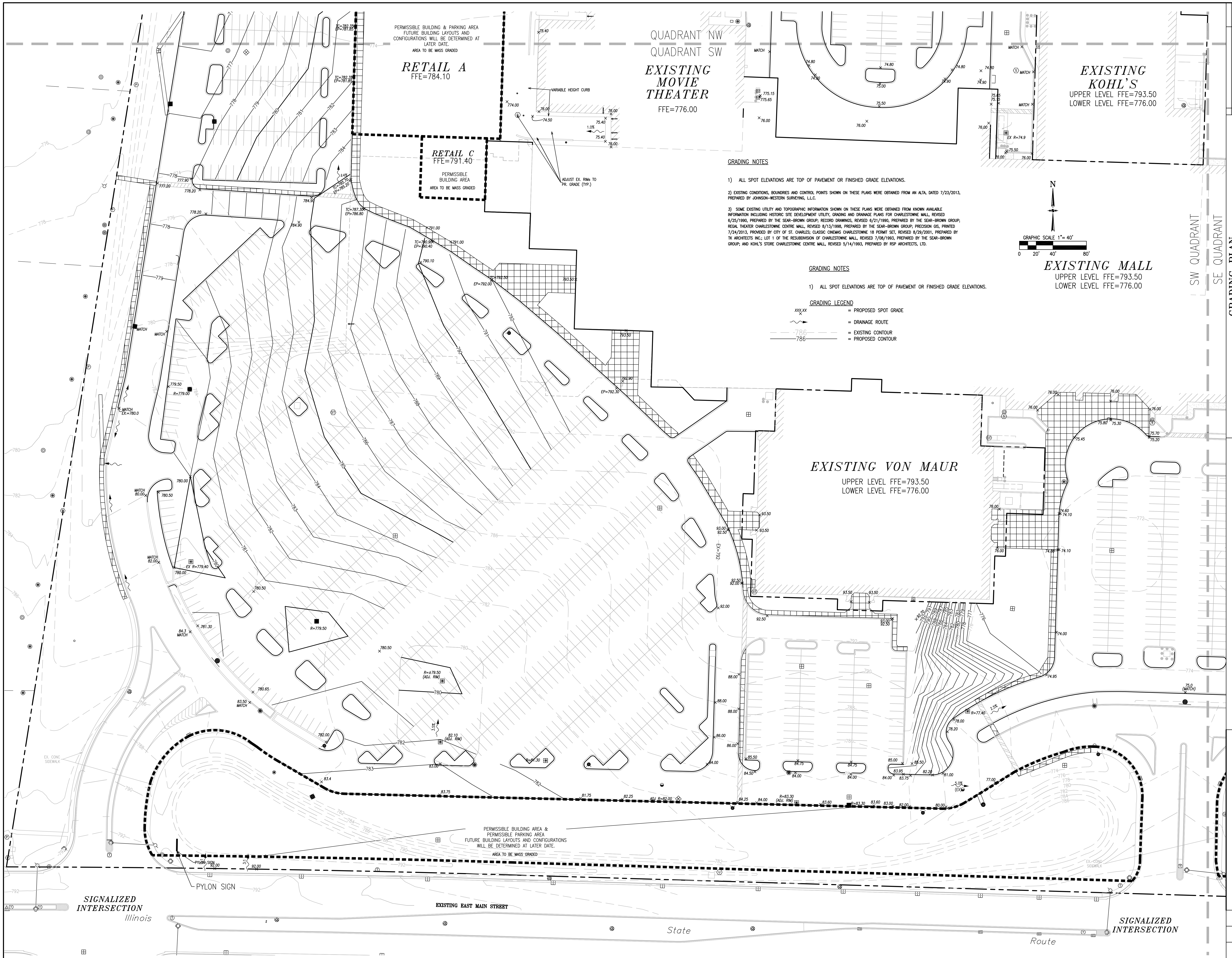
- xxx.xx = PROPOSED SPOT GRADE
- - - - - = DRAINAGE ROUTE
- 786- = EXISTING CONTOUR
- 786 = PROPOSED CONTOUR

**EXISTING
BMO HARRIS BANK LOT**

GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) EXISTING CONDITIONS, BOUNDARIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
- 3) SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 4/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION GIS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES, CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

| | |
|--|---|
| <p>GRADING PLAN SE QUADRANT THE QUAD ST. CHARLES 3800 E. MAIN STREET ST. CHARLES, ILLINOIS</p> | <p>JACOB & HEFNER ASSOCIATES 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148 PHONE: (630) 652-6000, FAX: (630) 653-6001 www.jacobandhefner.com</p> |
| <p>SC 3800 MAIN, LLC.</p> | |
| <p>1"=40' F021 C4.2</p> | |



PERMISSIBLE BUILDING & PARKING AREA
 FUTURE BUILDING LAYOUTS AND
 CONFIGURATIONS WILL BE DETERMINED AT
 LATER DATE.
 AREA TO BE MASS GRADED

RETAIL A
 FFE=784.10

PERMISSIBLE BUILDING AREA
 AREA TO BE MASS GRADED

RETAIL C
 FFE=791.40

QUADRANT NW
 QUADRANT SW

**EXISTING
 MOVIE
 THEATER**
 FFE=776.00

**EXISTING
 KOHL'S**
 UPPER LEVEL FFE=793.50
 LOWER LEVEL FFE=776.00

GRADING NOTES

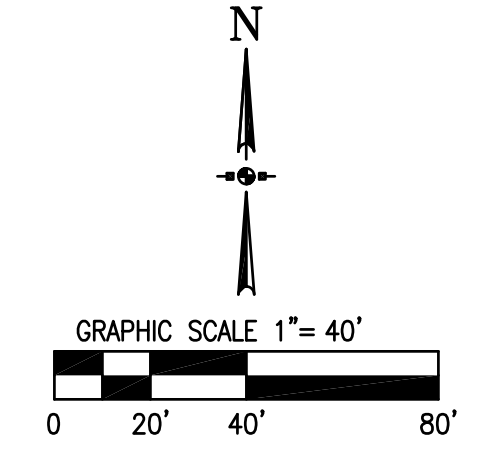
1) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.

2) EXISTING CONDITIONS, BOUNDARIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.

3) SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTONE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTONE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP, PRECISION GIS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTONE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TW ARCHITECTS INC.; LOT 1 OF THE REVISIONS OF CHARLESTONE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTONE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

GRADING LEGEND

xxx.xx x = PROPOSED SPOT GRADE
 --- = DRAINAGE ROUTE
 -786- = EXISTING CONTOUR
 -786 = PROPOSED CONTOUR



EXISTING MALL
 UPPER LEVEL FFE=793.50
 LOWER LEVEL FFE=776.00

EXISTING VON MAUR
 UPPER LEVEL FFE=793.50
 LOWER LEVEL FFE=776.00

PERMISSIBLE BUILDING AREA &
 PERMISSIBLE PARKING AREA
 FUTURE BUILDING LAYOUTS AND
 CONFIGURATIONS WILL BE DETERMINED AT
 LATER DATE.
 AREA TO BE MASS GRADED

**SIGNALIZED
 INTERSECTION**
 Illinois

EXISTING EAST MAIN STREET

State

Route

**SIGNALIZED
 INTERSECTION**

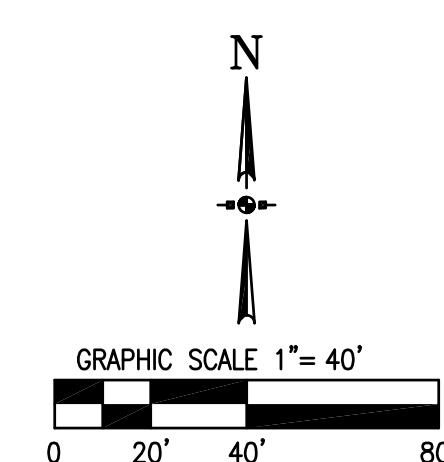
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|---|---------------|
| DESIGNED BY: JACOB & HEFNER ASSOCIATES | DATE: 2/26/14 |
| CHECKED BY: JACOB & HEFNER ASSOCIATES | DATE: 2/26/14 |
| DESIGNED PER OWNER: JACOB & HEFNER ASSOCIATES | DATE: 2/26/14 |
| ORIGINAL PLAN DATE: JACOB & HEFNER ASSOCIATES | DATE: 2/26/14 |

GRADING PLAN
 SW QUADRANT
 THE QUAD ST. CHARLES
 3800 E. MAIN STREET
 ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com

SC 3800 MAIN, LLC.

1"=40'
 F021
 C4.3

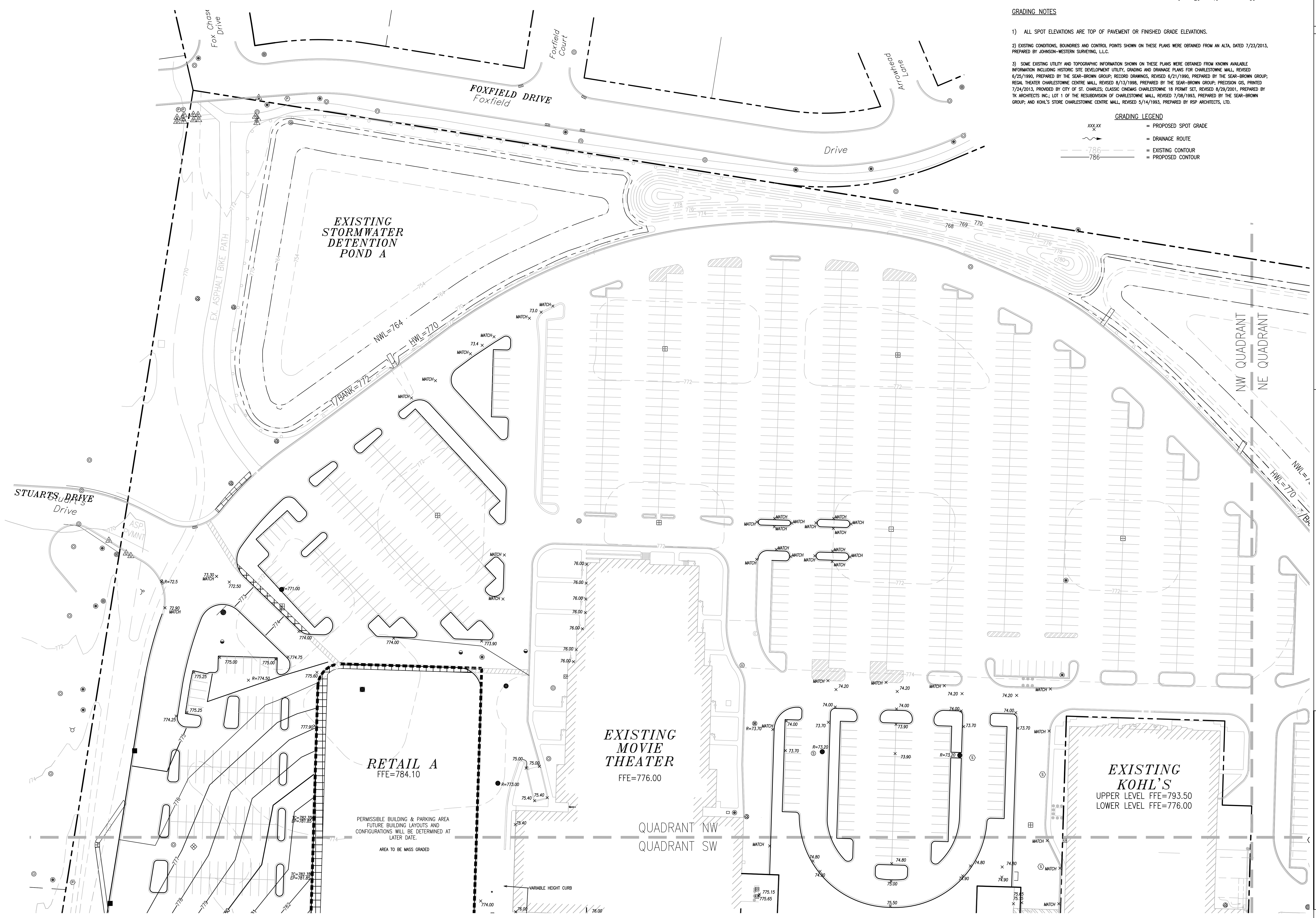


GRADING NOTES

- 1) ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) EXISTING CONDITIONS, BOUNDARIES AND CONTROL POINTS SHOWN ON THESE PLANS WERE OBTAINED FROM AN ALTA, DATED 7/23/2013, PREPARED BY JOHNSON-WESTERN SURVEYING, L.L.C.
- 3) SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION GS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

GRADING LEGEND

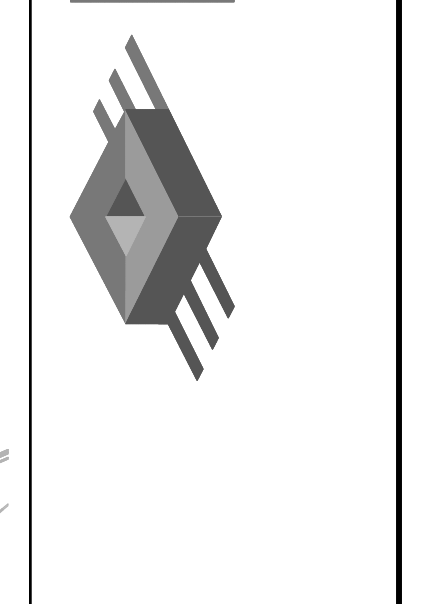
| | |
|--------|-----------------------|
| xxx.xx | = PROPOSED SPOT GRADE |
| --- | = DRAINAGE ROUTE |
| -786 | = EXISTING CONTOUR |
| -786 | = PROPOSED CONTOUR |



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|-------------|------|
| DESIGNED BY | DATE |
| CHECKED BY | DATE |
| APPROVED BY | DATE |

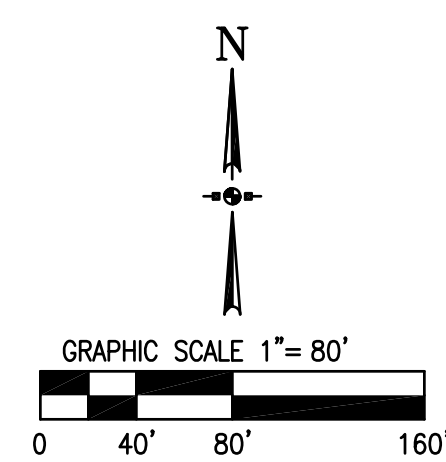
GRADING PLAN
NW QUADRANT
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-6000, FAX: (630) 652-6001
 www.jacobandhefner.com



SC 3800 MAIN, L.L.C.

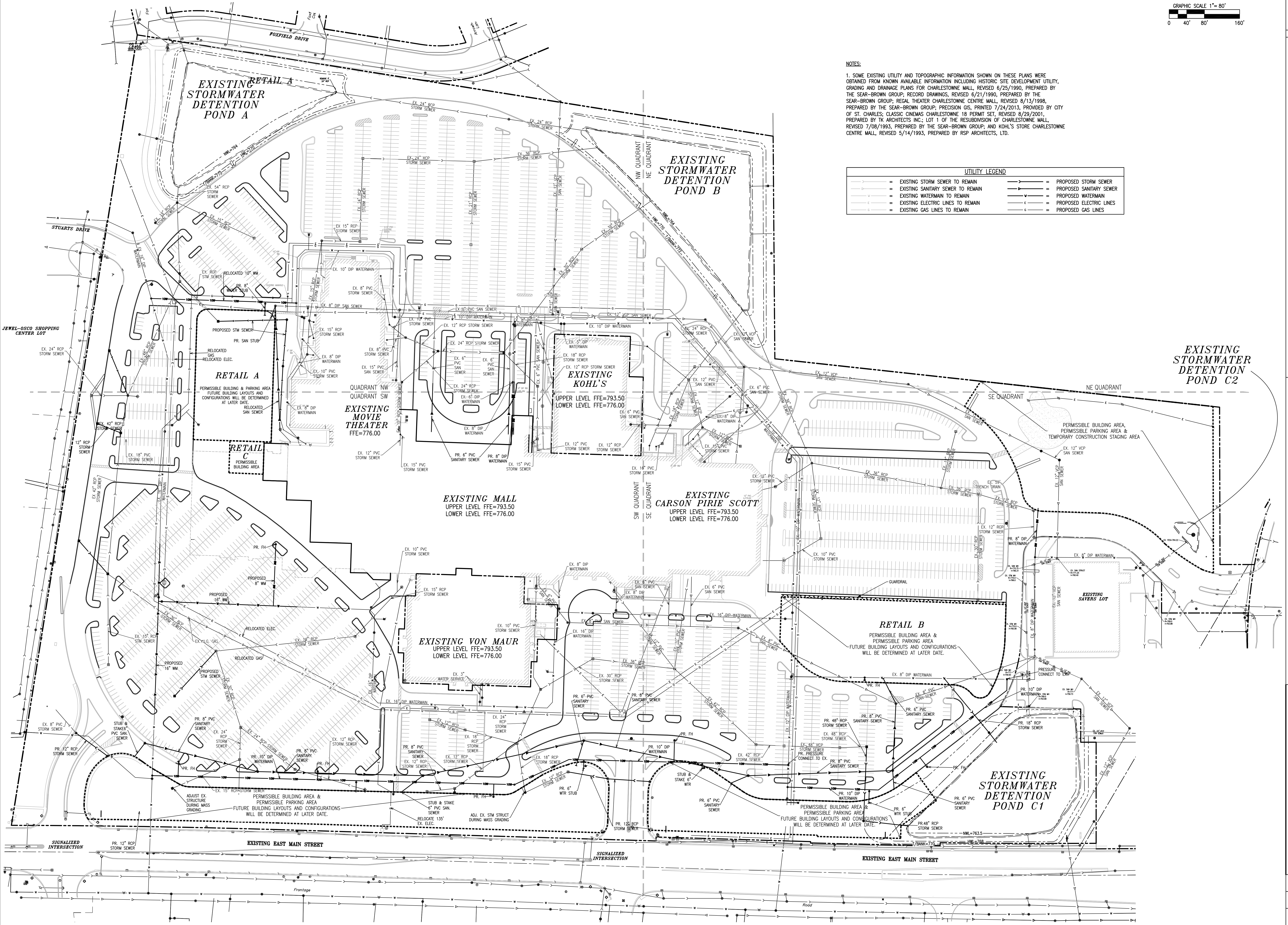
1"=40'
 F021
 C4.4



NOTES:

1. SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 8/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION GIS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

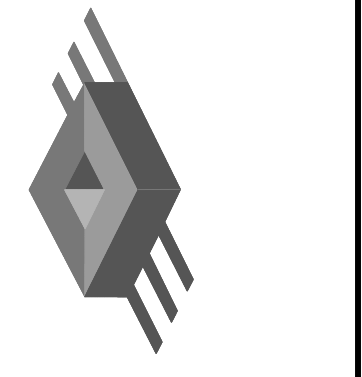
| UTILITY LEGEND | |
|----------------|-----------------------------------|
| | EXISTING STORM SEWER TO REMAIN |
| | EXISTING SANITARY SEWER TO REMAIN |
| | EXISTING WATERMAIN TO REMAIN |
| | EXISTING ELECTRIC LINES TO REMAIN |
| | EXISTING GAS LINES TO REMAIN |
| | PROPOSED STORM SEWER |
| | PROPOSED SANITARY SEWER |
| | PROPOSED WATERMAIN |
| | PROPOSED ELECTRIC LINES |
| | PROPOSED GAS LINES |



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| DESIGNED BY | 2/26/14 |
| CHECKED BY | 2/26/14 |
| DATE | |

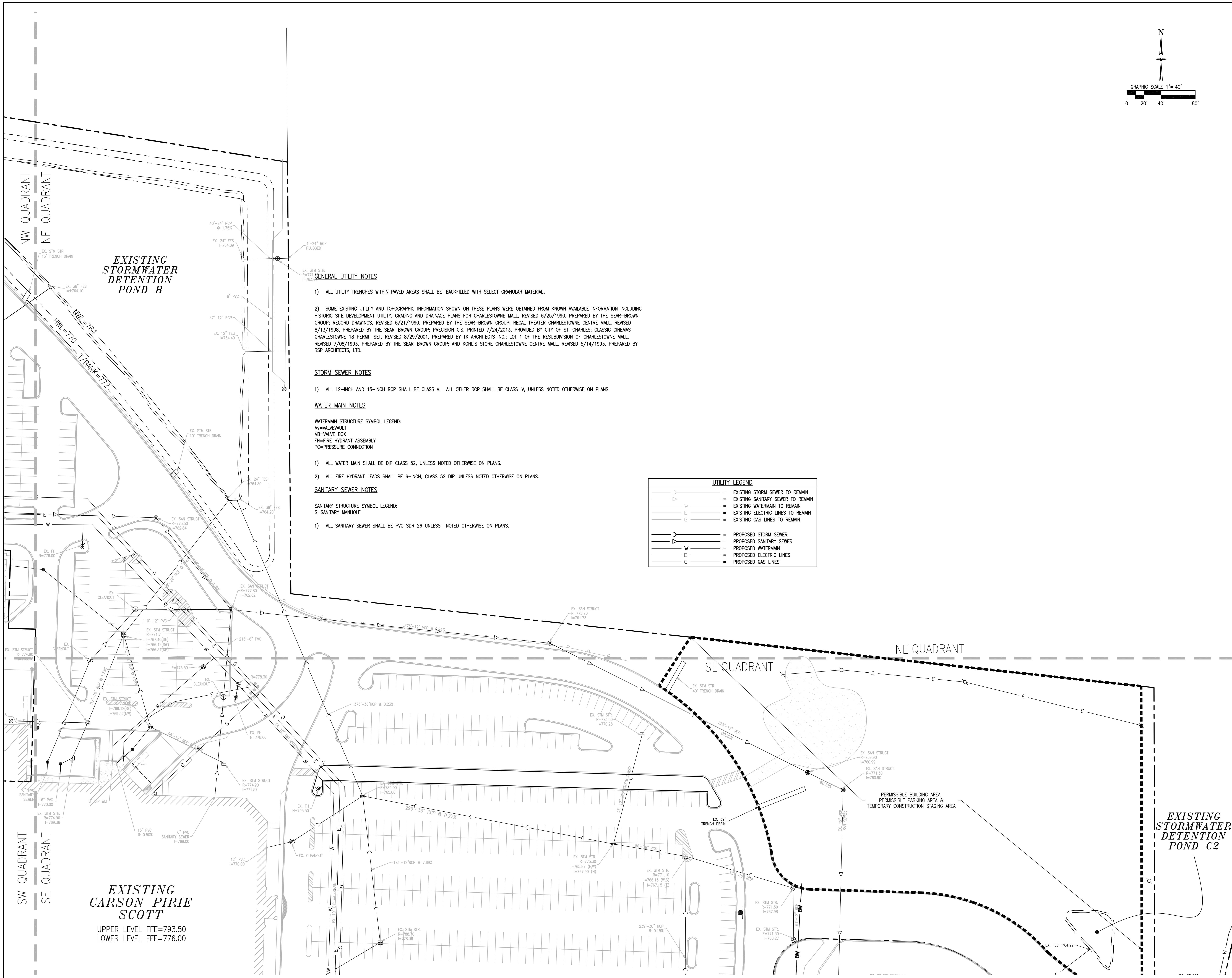
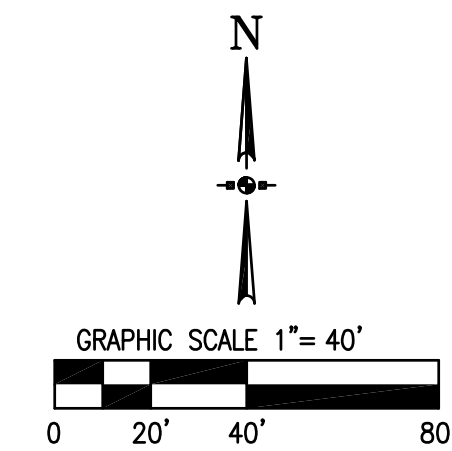
OVERALL UTILITY PLAN
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-4608, FAX: (630) 652-4601
 www.jacobandhefner.com



SC 3800 MAIN, LLC.

1"=80'
 F021
 C5.0



GENERAL UTILITY NOTES

- 1) ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED WITH SELECT GRANULAR MATERIAL.
- 2) SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRECISION GIS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

STORM SEWER NOTES

- 1) ALL 12-INCH AND 15-INCH RCP SHALL BE CLASS V. ALL OTHER RCP SHALL BE CLASS IV, UNLESS NOTED OTHERWISE ON PLANS.

WATER MAIN NOTES

WATERMAIN STRUCTURE SYMBOL LEGEND:
 V=VALVE VAULT
 VB=VALVE BOX
 FH=FIRE HYDRANT ASSEMBLY
 PC=PRESSURE CONNECTION

- 1) ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON PLANS.
- 2) ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON PLANS.

SANITARY SEWER NOTES

SANITARY STRUCTURE SYMBOL LEGEND:
 S=SANITARY MANHOLE

- 1) ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.

| UTILITY LEGEND | |
|----------------|-------------------------------------|
| | = EXISTING STORM SEWER TO REMAIN |
| | = EXISTING SANITARY SEWER TO REMAIN |
| | = EXISTING WATERMAIN TO REMAIN |
| | = EXISTING ELECTRIC LINES TO REMAIN |
| | = EXISTING GAS LINES TO REMAIN |
| | = PROPOSED STORM SEWER |
| | = PROPOSED SANITARY SEWER |
| | = PROPOSED WATERMAIN |
| | = PROPOSED ELECTRIC LINES |
| | = PROPOSED GAS LINES |

EXISTING STORMWATER DETENTION POND B

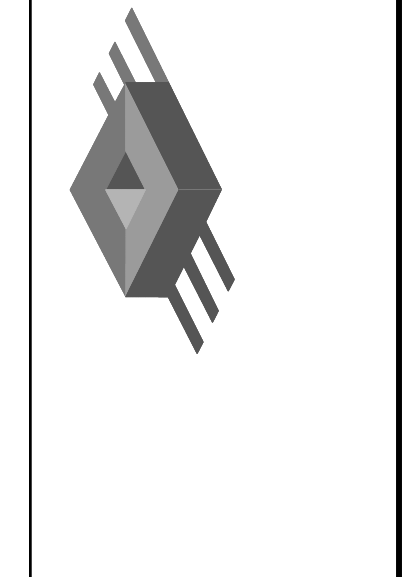
EXISTING CARSON PIRIE SCOTT
 UPPER LEVEL FFE=793.50
 LOWER LEVEL FFE=776.00

EXISTING STORMWATER DETENTION POND C2

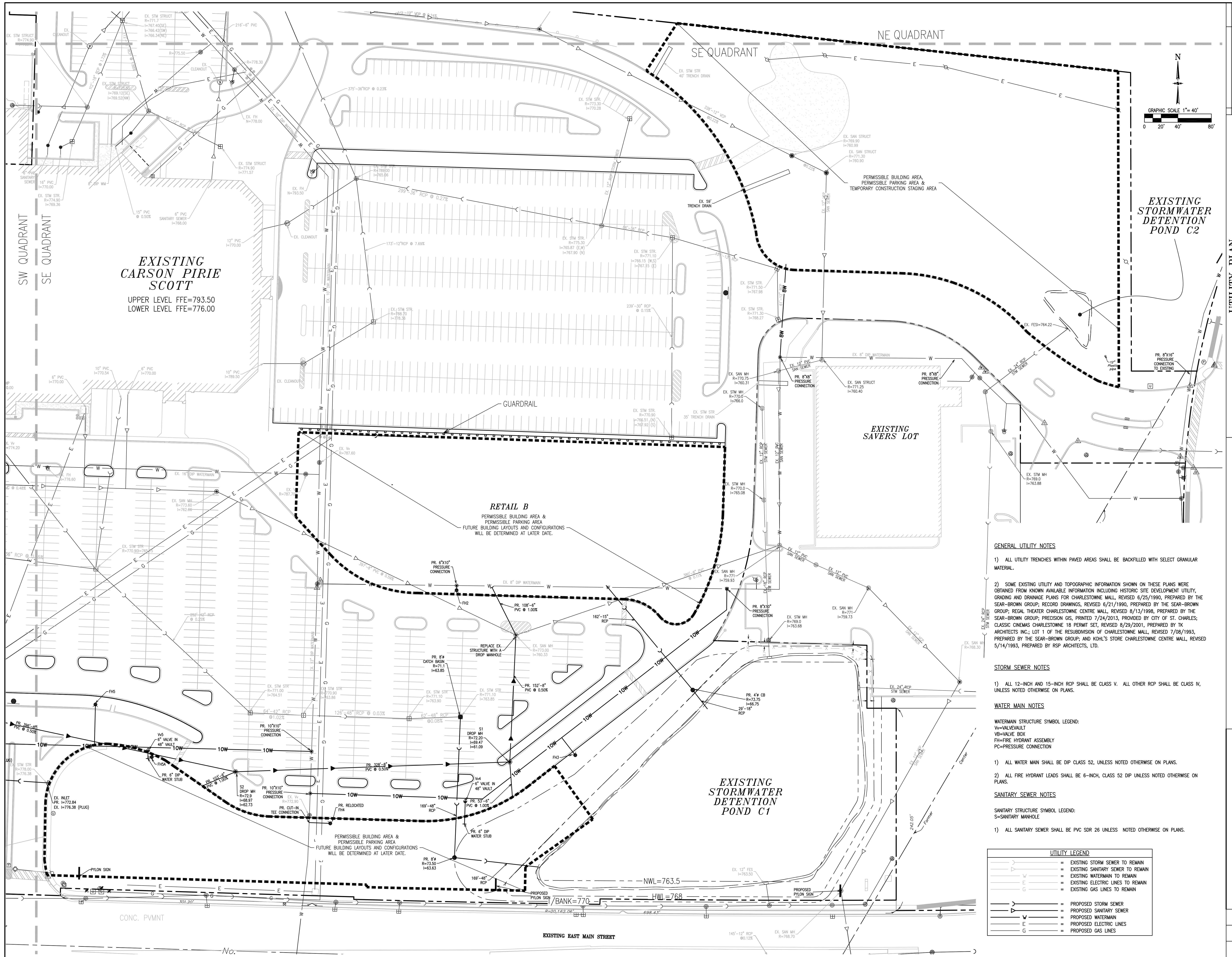
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| DESIGNED BY | DATE |
| 2/26/14 | 2/26/14 |
| CHECKED BY | DATE |
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UTILITY PLAN
 NE QUADRANT
 THE QUAD ST. CHARLES
 3800 E. MAIN STREET
 ST. CHARLES, ILLINOIS

JACOB & HEFNER ASSOCIATES
 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148
 PHONE: (630) 652-6000, FAX: (630) 652-6001
 www.jacobandhefner.com



SC 3800 MAIN, LLC.
 1"=40'
 F021
 C5.1



**EXISTING
CARSON PIRIE
SCOTT**
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

RETAIL B
PERMISSIBLE BUILDING AREA &
PERMISSIBLE PARKING AREA
FUTURE BUILDING LAYOUTS AND CONFIGURATIONS
WILL BE DETERMINED AT LATER DATE.

**EXISTING
STORMWATER
DETENTION
POND C1**

**EXISTING
STORMWATER
DETENTION
POND C2**

- GENERAL UTILITY NOTES**
- 1) ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED WITH SELECT GRANULAR MATERIAL.
 - 2) SOME EXISTING UTILITY AND TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE OBTAINED FROM KNOWN AVAILABLE INFORMATION INCLUDING HISTORIC SITE DEVELOPMENT UTILITY, GRADING AND DRAINAGE PLANS FOR CHARLESTOWNE MALL, REVISED 6/25/1990, PREPARED BY THE SEAR-BROWN GROUP; RECORD DRAWINGS, REVISED 6/21/1990, PREPARED BY THE SEAR-BROWN GROUP; REGAL THEATER CHARLESTOWNE CENTRE MALL, REVISED 8/13/1998, PREPARED BY THE SEAR-BROWN GROUP; PRESSION CS, PRINTED 7/24/2013, PROVIDED BY CITY OF ST. CHARLES; CLASSIC CINEMAS CHARLESTOWNE 18 PERMIT SET, REVISED 8/29/2001, PREPARED BY TK ARCHITECTS INC.; LOT 1 OF THE RESUBDIVISION OF CHARLESTOWNE MALL, REVISED 7/08/1993, PREPARED BY THE SEAR-BROWN GROUP; AND KOHL'S STORE CHARLESTOWNE CENTRE MALL, REVISED 5/14/1993, PREPARED BY RSP ARCHITECTS, LTD.

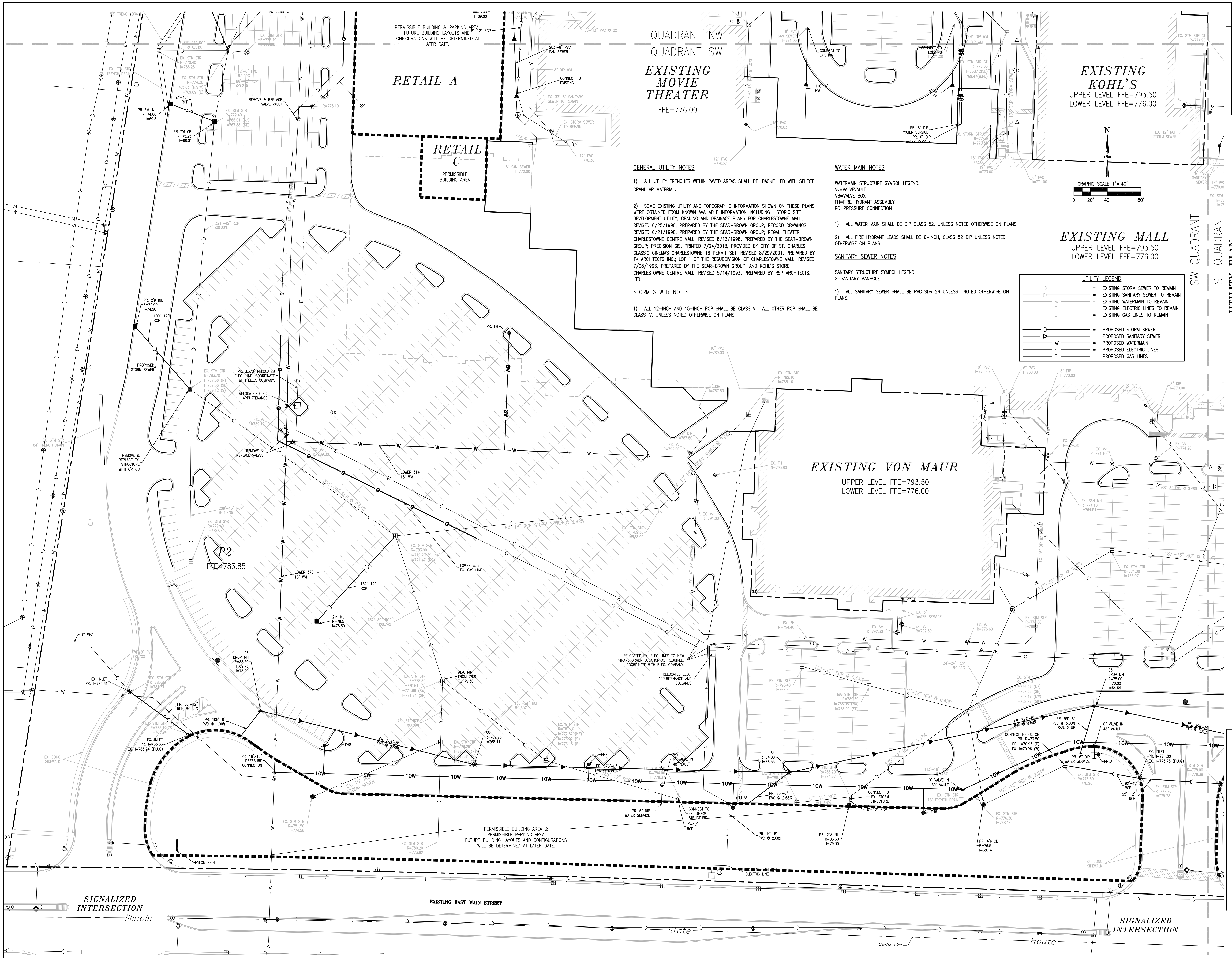
- STORM SEWER NOTES**
- 1) ALL 12-INCH AND 15-INCH RCP SHALL BE CLASS V. ALL OTHER RCP SHALL BE CLASS IV, UNLESS NOTED OTHERWISE ON PLANS.

- WATER MAIN NOTES**
- WATERMAIN STRUCTURE SYMBOL LEGEND:
 W=VALVEVAULT
 VB=VALVE BOX
 FH=FIREFYDRANT ASSEMBLY
 FC=PRESSURE CONNECTION
- 1) ALL WATER MAIN SHALL BE DIP CLASS 52, UNLESS NOTED OTHERWISE ON PLANS.
 - 2) ALL FIRE HYDRANT LEADS SHALL BE 6-INCH, CLASS 52 DIP UNLESS NOTED OTHERWISE ON PLANS.

- SANITARY SEWER NOTES**
- SANITARY STRUCTURE SYMBOL LEGEND:
 S=SANITARY MANHOLE
- 1) ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.

| UTILITY LEGEND | |
|----------------|-------------------------------------|
| | = EXISTING STORM SEWER TO REMAIN |
| | = EXISTING SANITARY SEWER TO REMAIN |
| | = EXISTING WATERMAIN TO REMAIN |
| | = EXISTING ELECTRIC LINES TO REMAIN |
| | = EXISTING GAS LINES TO REMAIN |
| | = PROPOSED STORM SEWER |
| | = PROPOSED SANITARY SEWER |
| | = PROPOSED WATERMAIN |
| | = PROPOSED ELECTRIC LINES |
| | = PROPOSED GAS LINES |

| | |
|--|-------------|
| UTILITY PLAN | |
| SE QUADRANT | |
| THE QUAD ST. CHARLES | |
| 3800 E. MAIN STREET | |
| ST. CHARLES, ILLINOIS | |
| <p>JACOB & HEFNER ASSOCIATES 1910 S. Highland Avenue, Suite 100, Lombard, IL 60148 PHONE: (630) 652-4608, FAX: (630) 652-4601 www.jacobandhefner.com</p> | |
| 2/26/14 | DATE |
| 2/26/14 | DESIGNED BY |
| 2/26/14 | CHECKED BY |
| 2/26/14 | APPROVED BY |
| SC 3800 MAIN, LLC. | |
| 1"=40' | |
| F021 | |
| C5.2 | |



PERMISSIBLE BUILDING & PARKING AREA
FUTURE BUILDING LAYOUTS AND CONFIGURATIONS WILL BE DETERMINED AT LATER DATE.

QUADRANT NW
QUADRANT SW
EXISTING MOVIE THEATER
FFE=776.00

EXISTING KOHL'S
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

RETAIL A

RETAIL C
PERMISSIBLE BUILDING AREA

EXISTING VON MAUR
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

P2
FFE=783.85

EXISTING MALL
UPPER LEVEL FFE=793.50
LOWER LEVEL FFE=776.00

GENERAL UTILITY NOTES

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WATER MAIN NOTES

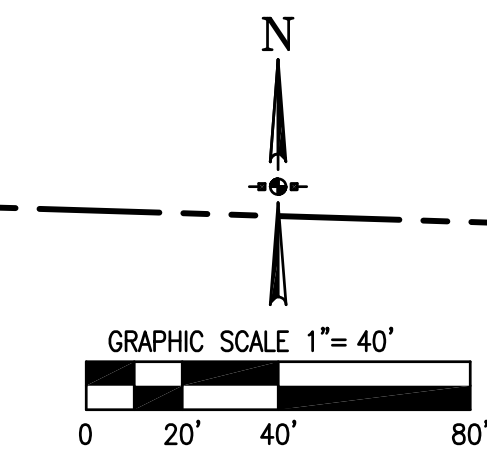
WATERMAIN STRUCTURE SYMBOL LEGEND:
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SANITARY SEWER NOTES

SANITARY STRUCTURE SYMBOL LEGEND:
S=SANITARY MANHOLE

- 1) ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.

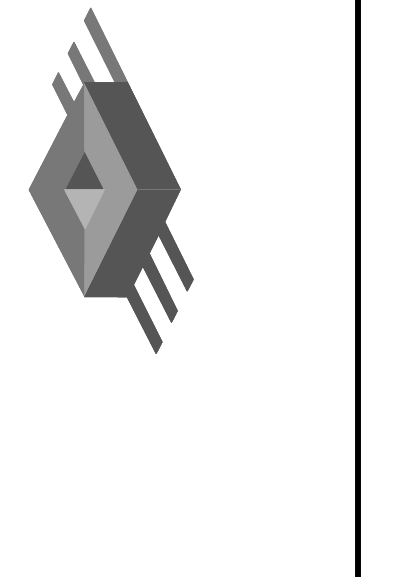


| UTILITY LEGEND | |
|----------------|-----------------------------------|
| | EXISTING STORM SEWER TO REMAIN |
| | EXISTING SANITARY SEWER TO REMAIN |
| | EXISTING WATERMAIN TO REMAIN |
| | EXISTING ELECTRIC LINES TO REMAIN |
| | EXISTING GAS LINES TO REMAIN |
| | PROPOSED STORM SEWER |
| | PROPOSED SANITARY SEWER |
| | PROPOSED WATERMAIN |
| | PROPOSED ELECTRIC LINES |
| | PROPOSED GAS LINES |

| | |
|-------------|----------------|
| DATE | 2/26/14 |
| DESIGNED BY | JACOB & HEFNER |
| CHECKED BY | JACOB & HEFNER |
| DATE | 2/26/14 |
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| CHECKED BY | JACOB & HEFNER |

UTILITY PLAN
SW QUADRANT
SE QUADRANT
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

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SC 3800 MAIN, LLC.

1"=40'
F021
C5.3

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WATER MAIN NOTES

WATERMAIN STRUCTURE SYMBOL LEGEND:

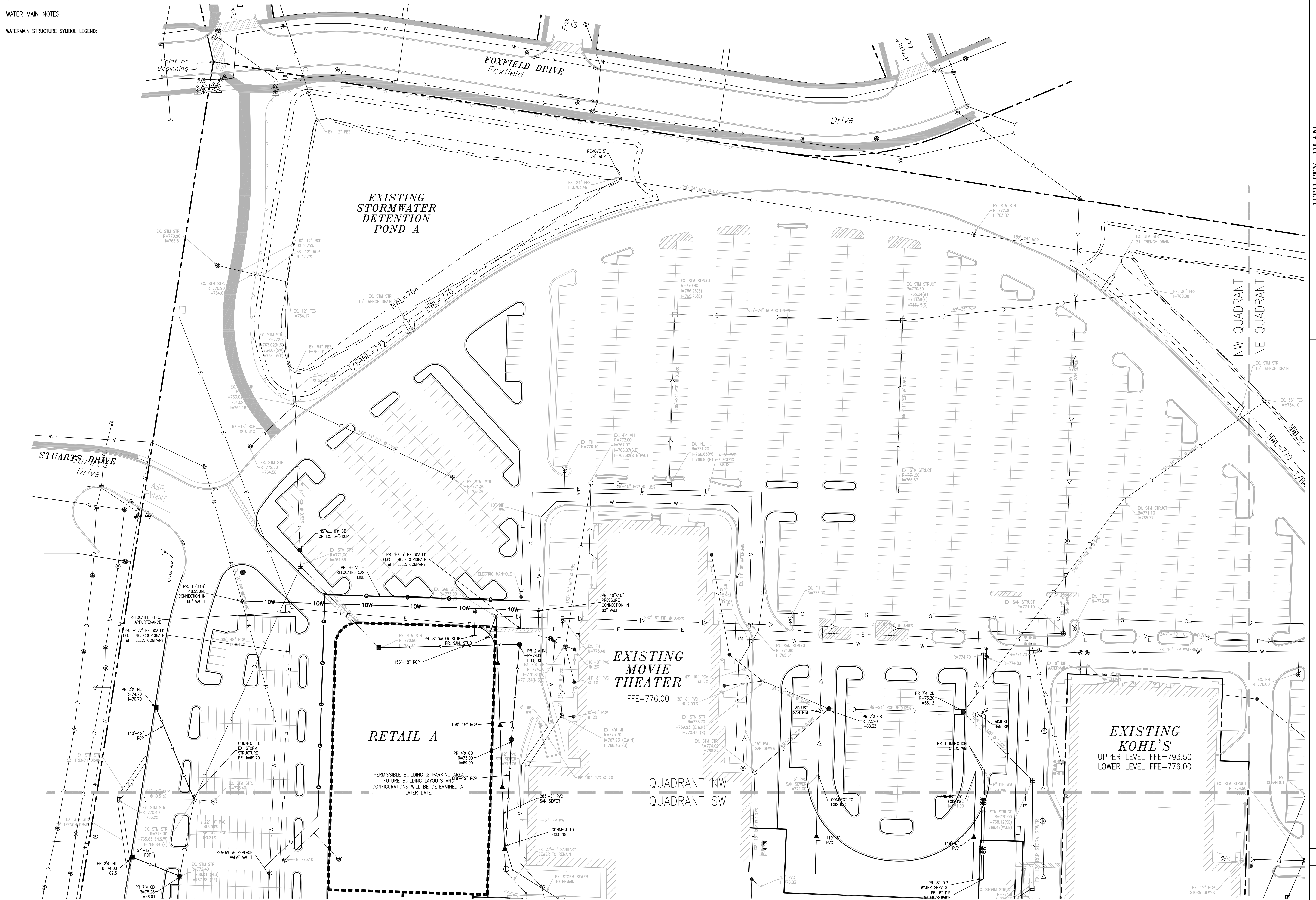
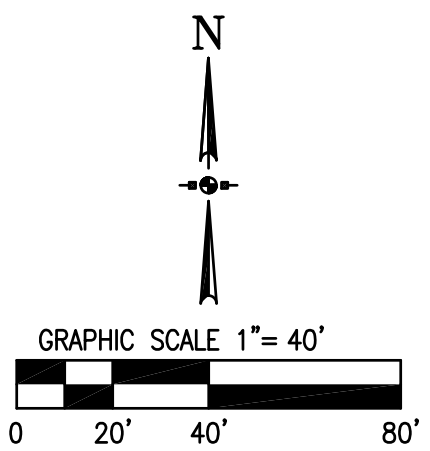
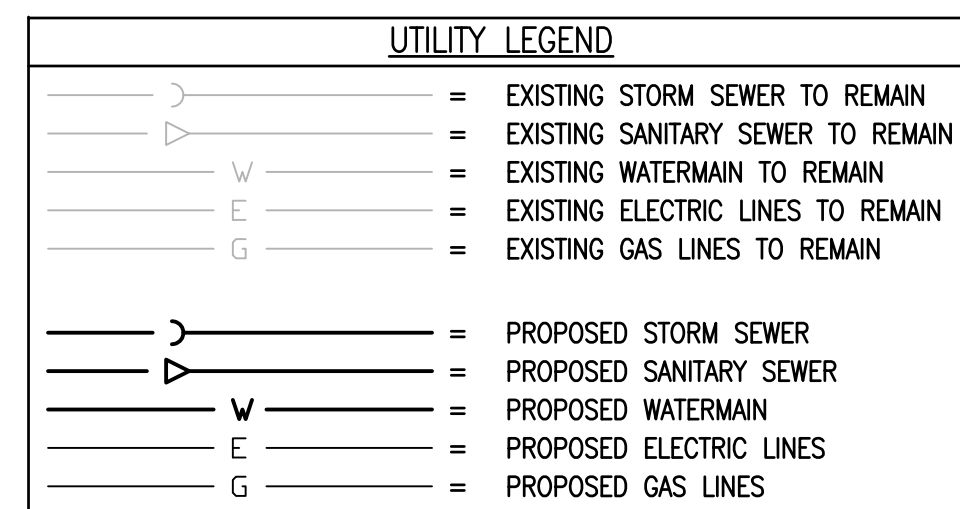
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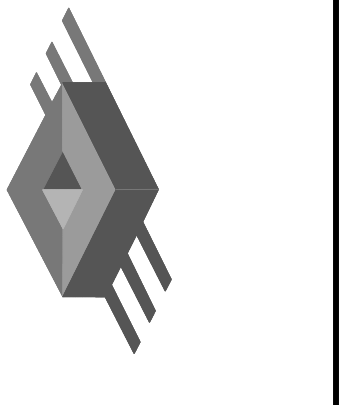
- 1) ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.



| NO. | DATE | DESCRIPTION | BY | CHKD. |
|-----|---------|--------------------|----|-------|
| 1 | 2/6/14 | ORIGINAL PLAN DATE | | |
| 2 | 2/26/14 | REVISED PER OWNER | | |
| | | DESIGNED BY | | |
| | | CHECKED BY | | |

UTILITY PLAN
NW QUADRANT
THE QUAD ST. CHARLES
3800 E. MAIN STREET
ST. CHARLES, ILLINOIS

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