

Site Plan-Existing
1" = 20'-0"



McClellan Blakemore
Architects
400 North First Street
Rockford, Illinois 61107
T 815-227-0023
F 815-227-0024
Web www.m-b-wch.com



First Group
6801 Spring Creek Road
Rockford, Illinois 61114

Existing
Retail Building
Remodeling
to
Randall Shoppes

600-660 Randall Road
St. Charles, Illinois

THE CONTRACTOR SHALL DETERMINE EXACT DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL CONSULT ALL DRAWINGS WITH ACTUAL FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF McCLELLAN BLAKEMORE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN PERMISSION OF THE ARCHITECT.

NO.	DATE	DESCRIPTION
1)	1-10-14	Building Survey
2)	1-14-14	Drain Survey
3)	1-31-14	Owner Review
4)	2-10-14	City of St. Charles Prelim. Review

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Project No. 1406

Scale 1" = 20'-0"

Sheet Title **SITE PLAN-EXISTING**

Ref. North Sheet No. **C100**

PRELIMINARY

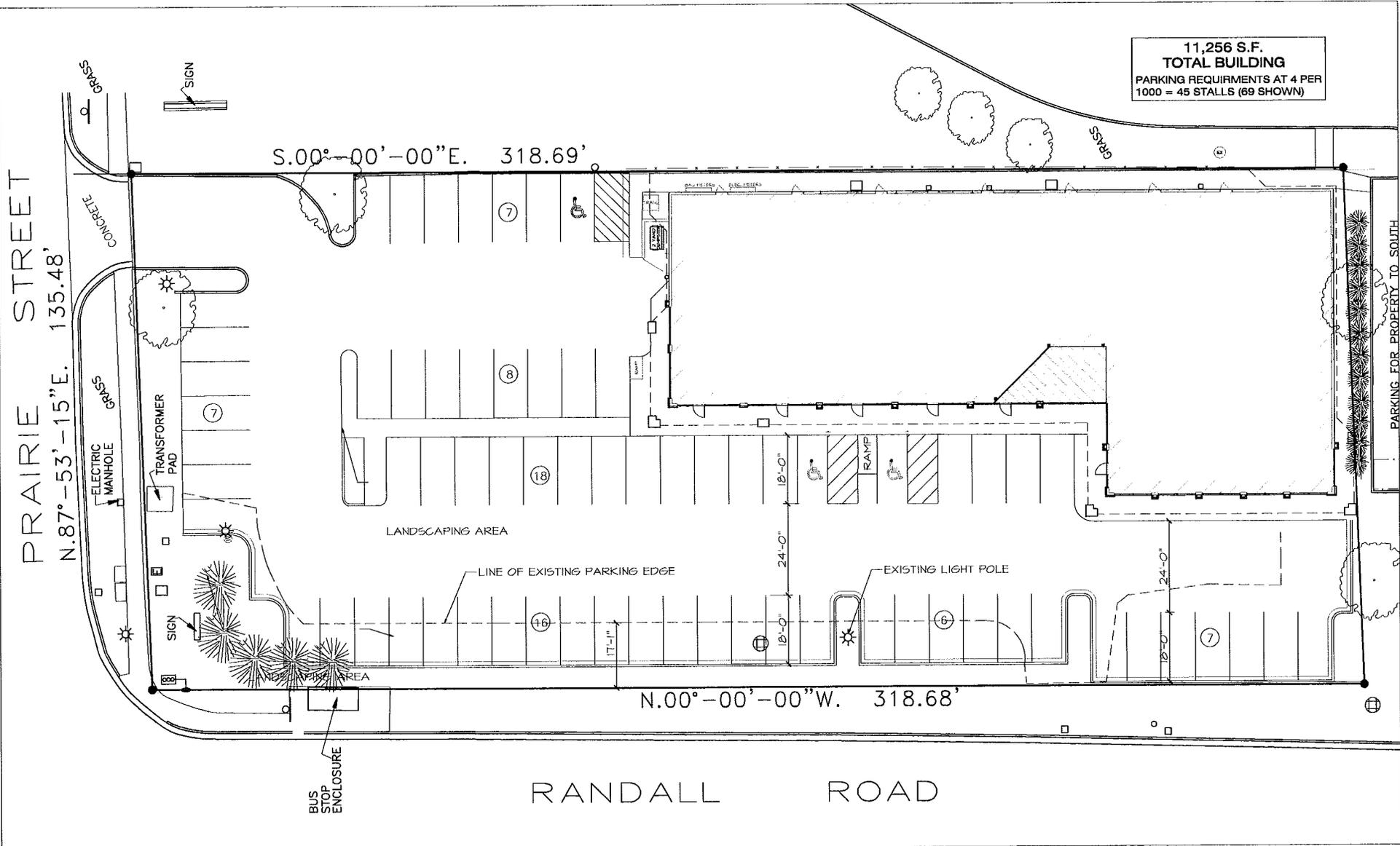
PRAIRIE STREET
N.87°-53'-15"E. 135.48'

11,256 S.F.
TOTAL BUILDING
PARKING REQUIREMENTS AT 4 PER
1000 = 45 STALLS (69 SHOWN)

S.00°-00'-00"E. 318.69'

N.00°-00'-00"W. 318.68'

RANDALL ROAD



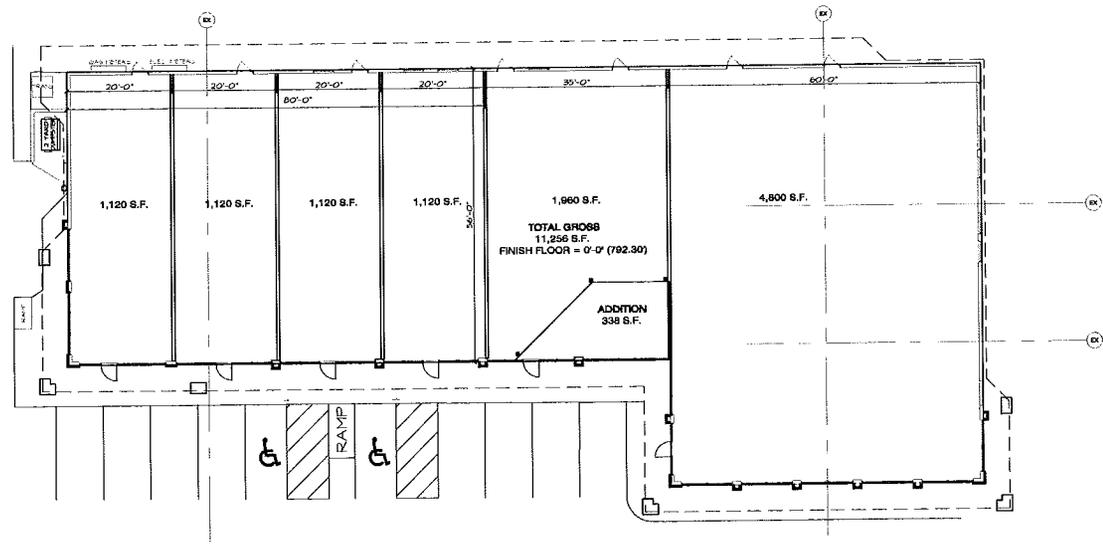
PARKING FOR PROPERTY TO SOUTH


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 Remodeling
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Randall Shoppes
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Floor Plan-Option 2
3/32" = 1'-0"

NO.	DATE	DESCRIPTION
1)	1-10-14	Building Survey
2)	1-14-14	Draft Survey
3)	1-21-14	Owner Review
4)	2-10-14	City of St. Charles Prelim. Review

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Project No. 1408

Scale 3/32" = 1'-0"

Sheet Title FLOOR PLAN OPTION TWO

Rev. North **Sheet No.** A101


PRELIMINARY



Building Option Two

RECEIVED
St. Charles, IL
MAY 22 2014
CDD
Planning Division



New Office/Retail Building

Randall Shoppes - St. Charles, Illinois

date: 2/10/14



Building Option Two

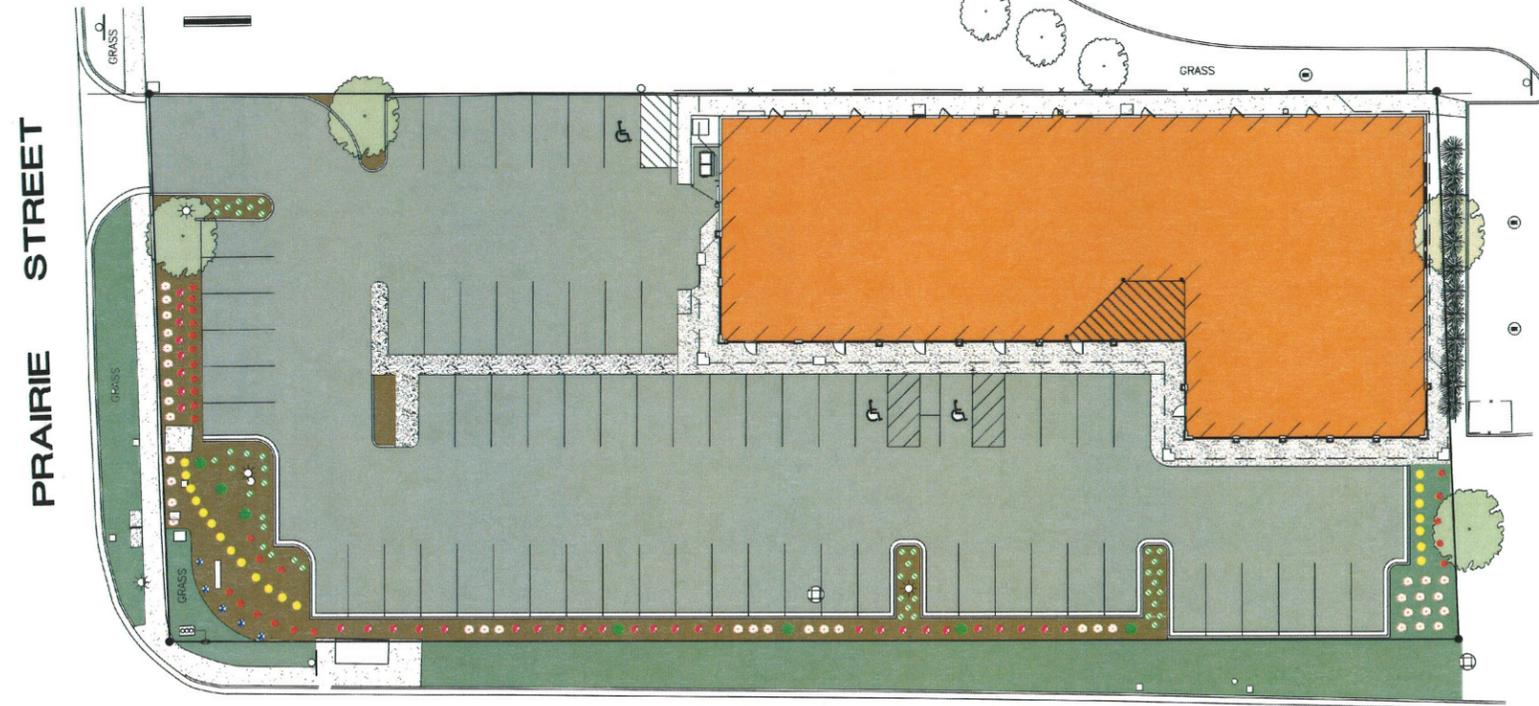
RECEIVED
St. Charles, IL
MAY 22 2014
CDD
Planning Division



Conceptual Rendering
New Office/Retail Building

Randall Shoppes - St. Charles, Illinois

date: 2/10/14



RANDALL ROAD

PRAIRIE STREET

 **LANDSCAPE PLAN**
SCALE: 1" = 20'-0"

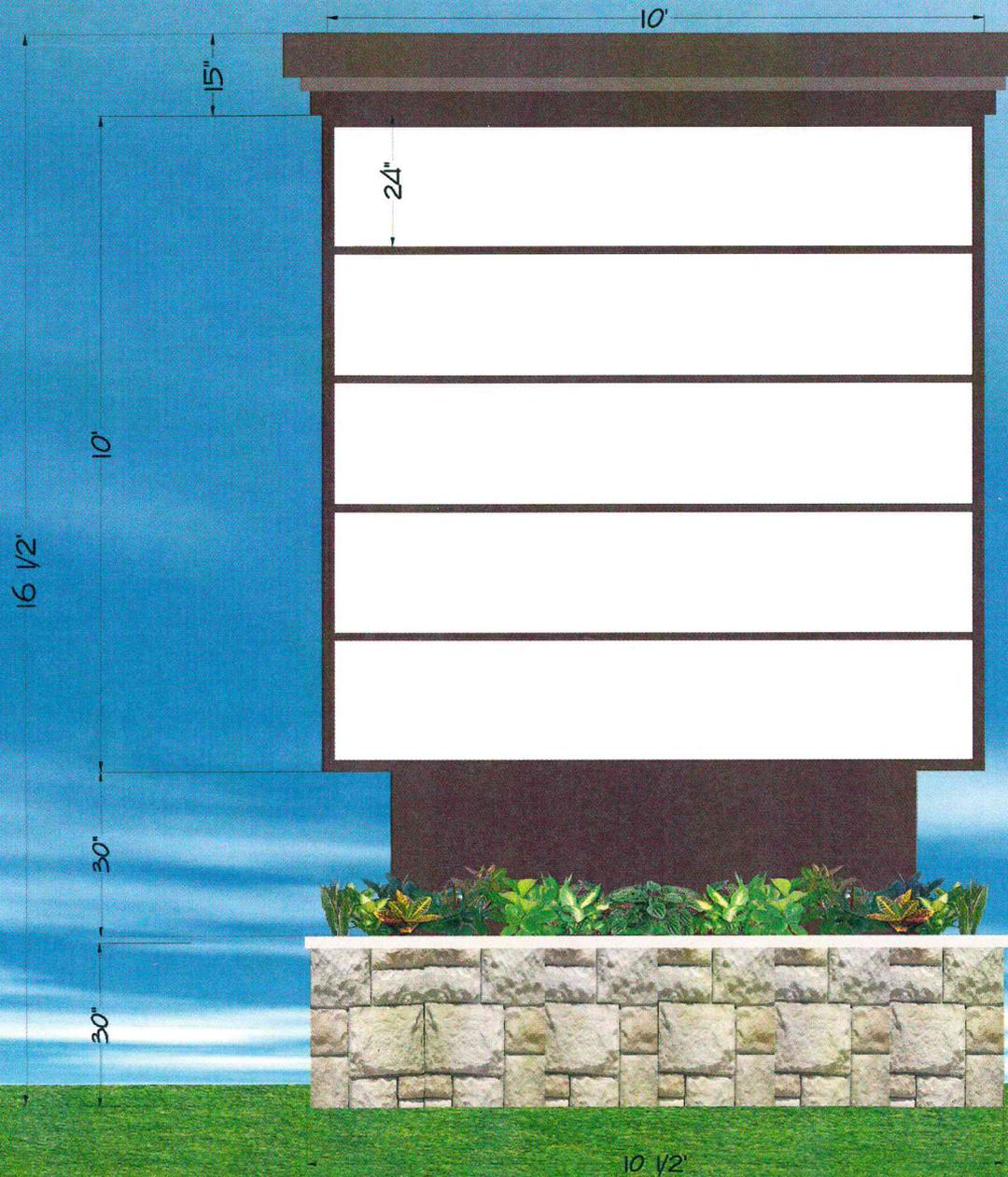
PLANT LIST			
KEY	BOTANNICAL NAME / COMMON NAME	QUANTITY	SIZE
	DENSE, YEW	33	24"
	TINA CRABAPPLE	7	2.5"
	KARL FOESTER GRASSES	20	1 GAL.
	CHICAGO FIRE BURNING BUSH	37	24"
	NEARLY WILD ROSES	25	18"
	GOLD MOUNT, SPIREA	44	18"
	BLUE RUG, JUNIPER	5	6"

REVISIONS	BY

A & T
LAWN CARE
AND
LANDSCAPING, INC

RANDALL RD.
ST. CHARLES, IL

DRAWN
JN
CHECKED
DATE
3-12-14
SCALE
1" = 20'-0"
JOB NO.
14010
SHEET
L-1
OF SHEETS



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Company First Rockford Group

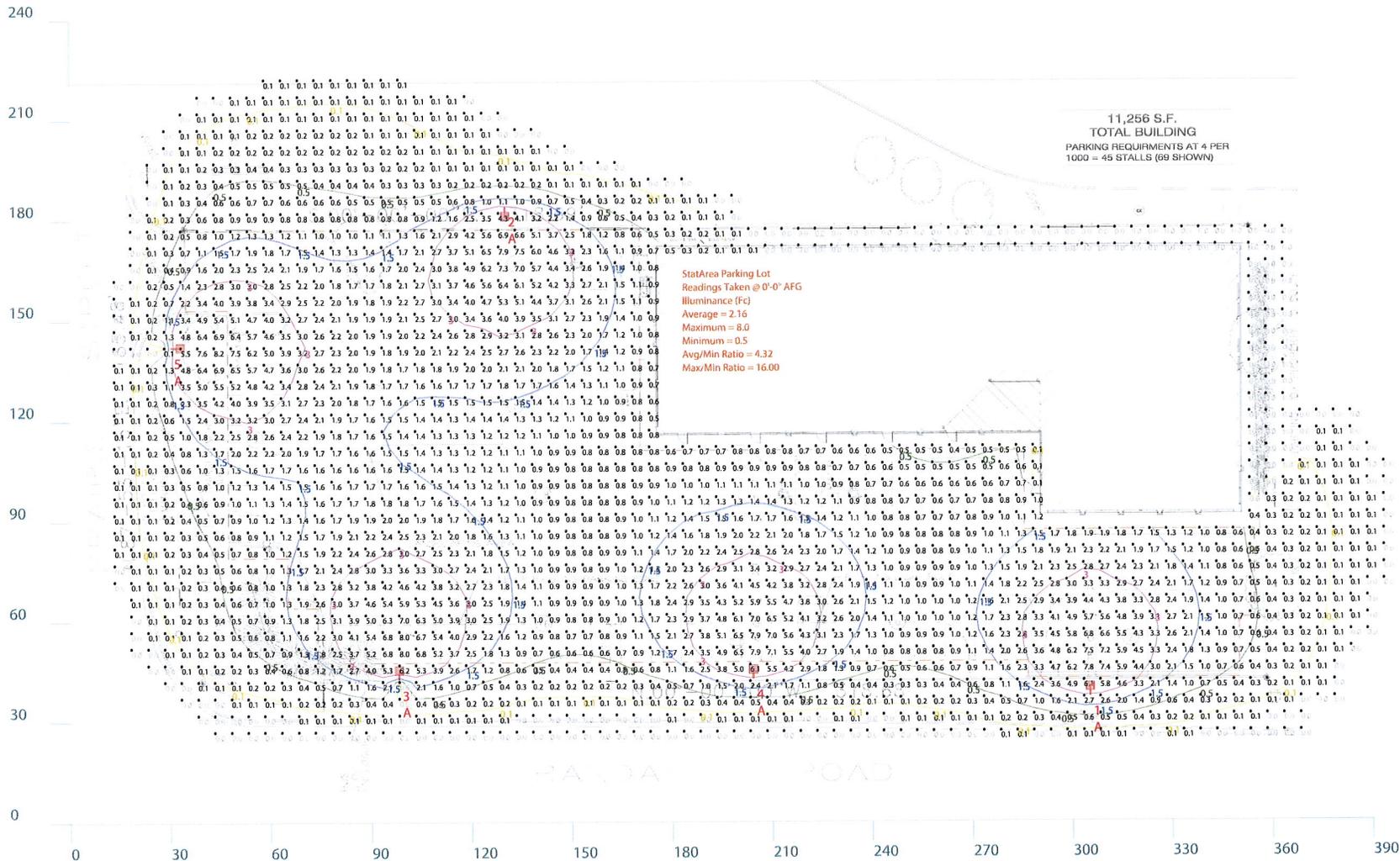
Date 03/05/14

Notes St. Charles Monument

Approval



ROCKFORD
PH: 282-4141
FAX: 282-4157



Scale: 1 inch = 30 Ft.



Tel: (888) 722-1000 Fax: (888) 722-1232
WWW.RABWEB.COM

Prepared For:
Agents Midwest Ltd.
775 Mittel Drive
Wood Dale, IL 60191
Tel: 630-616-8900
Fax: 630-616-8909

Job Name:
St Charles Parking
600 S. Randall Road
St. Charles, IL 60174
Lighting Layout
Version A

Scale: as noted

Date: 6/10/2014

Drawn By: BEL

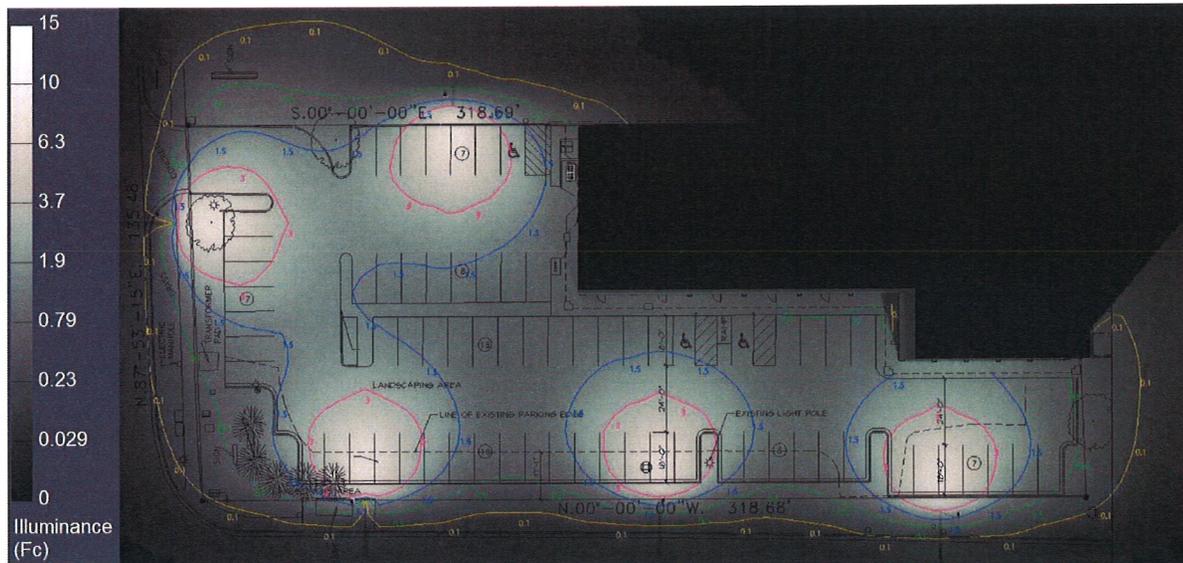
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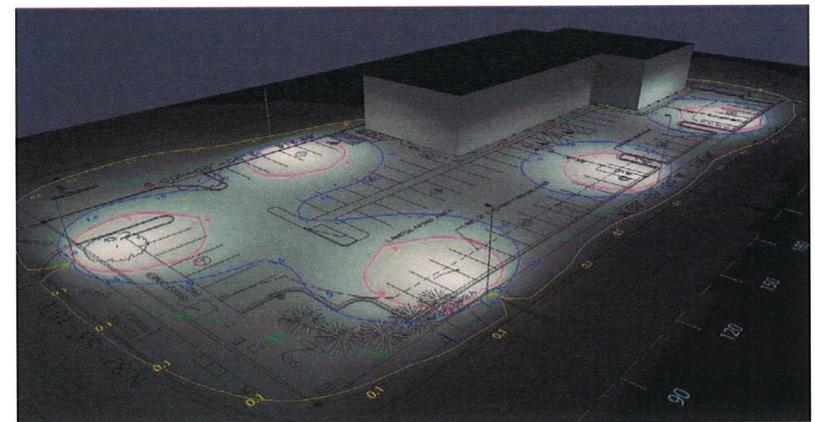
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Top View



Iso View

RAB
LIGHTING

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Job Name:
St Charles Parking
600 S. Randall Road
St. Charles, IL 60174
Lighting Layout
Version A

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Date: 6/10/2014

Drawn By: BEL

Filename: C:\Users\Brittany Lynch\Desktop\St Charles Parking\AGI files\St Charles Parking Layout 061014\AGI

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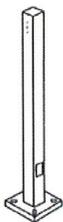
Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
CalcPts Ground Plane	Illuminance	Fc	1.33	8.2	0.0	N.A.	N.A.	Readings Taken @ 0'-0" AFG	5	5	Horizontal
StatArea Parking Lot	Illuminance	Fc	2.16	8.0	0.5	4.32	16.00	Readings Taken @ 0'-0" AFG			

Luminaire Schedule										
Symbol	Tag	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
	A	5	ALED4T150	SINGLE	14349	1.000	LED Area Light Type IV 150W Cool	155.7	155.7	778.5

Expanded Luminaire Location Summary								
LumNo	Tag	Label	X	Y	Z	Orient	Tilt	
1	A	ALED4T150	308	38.5	25	90	0	
2	A	ALED4T150	133	182.5	25	270	0	
3	A	ALED4T150	101	44	25	90	0	
4	A	ALED4T150	207	44	25	90	0	
5	A	ALED4T150	34.5	142	25	0	0	
Total Quantity: 5								



A : ALED4T150



PS4-11-25D2
QTY : 5

NOTES:

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.



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St. Charles, IL 60174
Lighting Layout
Version A

Scale: as noted

Date: 6/10/2014

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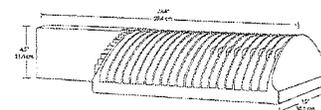
Filename: C:\User\Mattlynch\Desktop\St Charles Parking\AGI Files\St Charles Parking Layout 061014.AGI

ALED4T150

Specification grade area lights available in IES Type IV distributions. Suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. Mounts to 4" square steel poles at 20-35°. Replaces up to 400W metal halide. Patent pending management system. 5 Year Warranty.

Color: Bronze

Weight: 32.0 lbs



LED Info

Watts: 150W
 Color Temp: 5000K (Cool)
 Color Accuracy: 65
 L70 Lifespan: 100000
 LM79 Lumens: 14,349
 Efficacy: 92 LPW

Driver Info

Type: Constant Current
 120V: 1.31A
 208V: 0.80A
 240V: 0.69A
 277V: 0.60A
 Input Watts: 156W
 Efficiency: 96%

Technical Specifications

UL Listing:

Suitable for wet locations.

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Effective Projected Area:

EPA = 0.75

LEDs:

Multi-chip, high-output, long-life LEDs

Drivers:

Two Drivers, Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:

4.7% at 120V, 13.3% at 277V

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures.

Surge Protection:

4kV

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C.

Thermal Management:

Superior thermal management with external Air-Flow fins.

Housing:

Die-cast aluminum housing, lens frame and mounting arm.

Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High-temperature silicone gaskets

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

RAB
LIGHTING

Tech Help Line: 888 RAB-1000

Email: sales@rabweb.com

On the web at: www.rabweb.com

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Note: Specifications are subject to change without notice

Page 1 of 2

ALED4T150 - continued

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have been received the Department of Energy "Lighting Facts" label.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Replacement:

The ALED150 replaces 400W Metal Halide Area Lights.

California Title 24:

See ALED4T150/D10, ALED4T150/BL, ALED4T150/PCS, ALED4T150/PCS2, or ALED4T150/PCT for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.



PS4-11-25D2

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

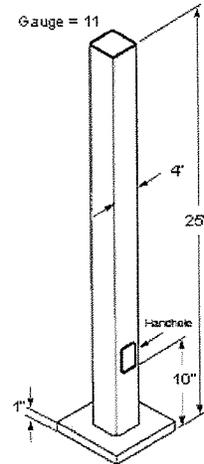
Weight: 168.0 lbs

Lamp Info

Type: N/A
Watts: 0W
Shape/Size: N/A
Base: N/A
ANSI: N/A
Hours: 0
Lamp Lumens: 0
Efficacy: N/A

Ballast Info

Type: N/A
120V: N/A
208V: N/A
240V: N/A
277V: N/A
Input Watts: 0W
Efficiency: N/A



Technical Specifications

CSA Listed:

Suitable for wet locations.

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover.

Base Plates:

36,000 p.s.i. minimum yield.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage.

Color:

Bronze powder coating.

Terms of Sale:

Pole Terms of Sale is available .

Height:

25 FT.

Weight:

168 lbs.

Gauge:

11

Wall Thickness:

1/8".

Shaft Size:

4".

Hand Hole Dimensions:

3" x 6".

Bolt Circle:

9".

Base Dimension:

10".

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available .

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge.

MaxEPA's/Max Weights:

70MPH 4.5 ft_/135 lb

80MPH 2.3 ft_/80 lb

90MPH 0.8 ft_/35 lb.

RAB

LIGHTING

Tech Help Line: 888 RAB-1000

Email: sales@rabweb.com

On the web at: www.rabweb.com

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Note: Specifications are subject to change without notice

Page 1 of 1

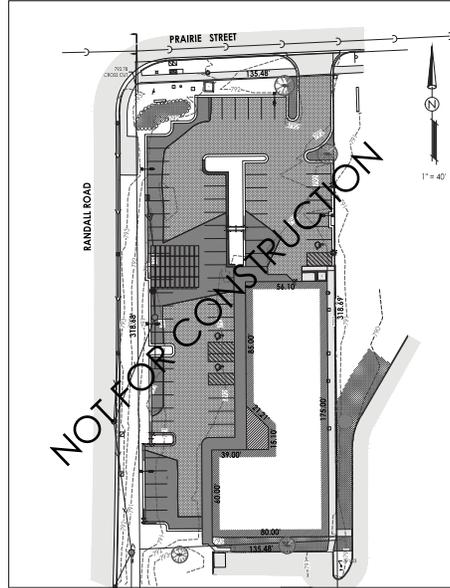
INDEX

- Sheet #1 Cover
- Sheet #2 Existing Conditions
- Sheet #3 Overall Site Plan
- Sheet #4 Grading & Storm Water Pollution Prevention Plan
- Sheet #5 Details

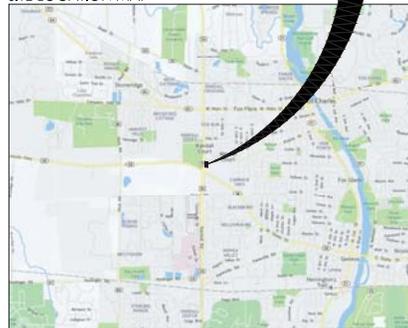
600-660 S. Randall Road St. Charles 2014

CONTACT:
J.U.L.I.E.
DIAL: 811
PRIOR TO ANY CONSTRUCTION

600-660 S. Randall Road
CITY OF St. Charles
Kane CO., IL
DEVELOPER:
First Rockford Group
PREPARED BY: CES, INC., 700 W. LOCUST ST.,
BELLEVILLE, IL 62008 PHONE: (815) 546-6435
FAX: (815) 544-0421
ILLINOIS DESIGN FIRM NO. 184-001260



SITE LOCATION MAP



	Existing EX. ROW	Proposed ROW
Right of Way	- - - - -	- - - - -
Fence	⊘	⊘
Utility Pole	⊘	⊘
Utility Pole w/ street light	⊘	⊘
Coy Anchor	→	→
Street Light	⊘	⊘
Gas Main	G	G
Overhead Electric Line	—OHE	—OHE
Underground Electric Line	—UGEL	—UGEL
Electric Pedestal	[E]	[E]
Electric Transformer	[E]	[E]
Overhead Telephone Line	—OHT	—OHT
Underground Telephone Line	—UGT	—UGT
Underground Fiber Optic Line	—FIO	—FIO
Telephone Pedestal	[T]	[T]
Valve Box & Valve	⊘	⊘
Valve Vault & Valve	⊘	⊘
Fire Hydrant with Valve Box	⊘	⊘
Fire Hydrant	⊘	⊘
Water Main	—WM	—WM
Water Service With Curb Stop Box	⊘	⊘
Storm Manhole	⊘	⊘
Storm Catch Basin	⊘	⊘
Curb Inlet Type 700	⊘	⊘
Storm Sewer	—SS	—SS
Sanitary Manhole	⊘	⊘
Sanitary Cleanout	⊘	⊘
Sanitary Sewer	—SS	—SS
Proposed Sanitary Service @ 1.0% Minimum	—SS	—SS
Sign	—S	—S
Property Line	—PL	—PL
Building Setback Line	—BSL	—BSL

Elevations are based on
City of St. Charles Vertical Control Network
Station STC 07 Elevation = 790.80 NAVD 88
Site Benchmark is finished floor of existing
building = 792.66 NAVD 88

ADDRESS: 600-660 S. RANDALL RD.
ST. CHARLES, IL 62074
PIN: 09-33-002-001
LOT SIZE: 0.991 ACRES
LAND USE: EXISTING MULTITENANT COMMERCIAL/RETAIL BUILDING
ZONING: BC - COMMUNITY BUSINESS DISTRICT
SURROUNDING ZONING - ALL BC - COMMUNITY BUSINESS DISTRICT

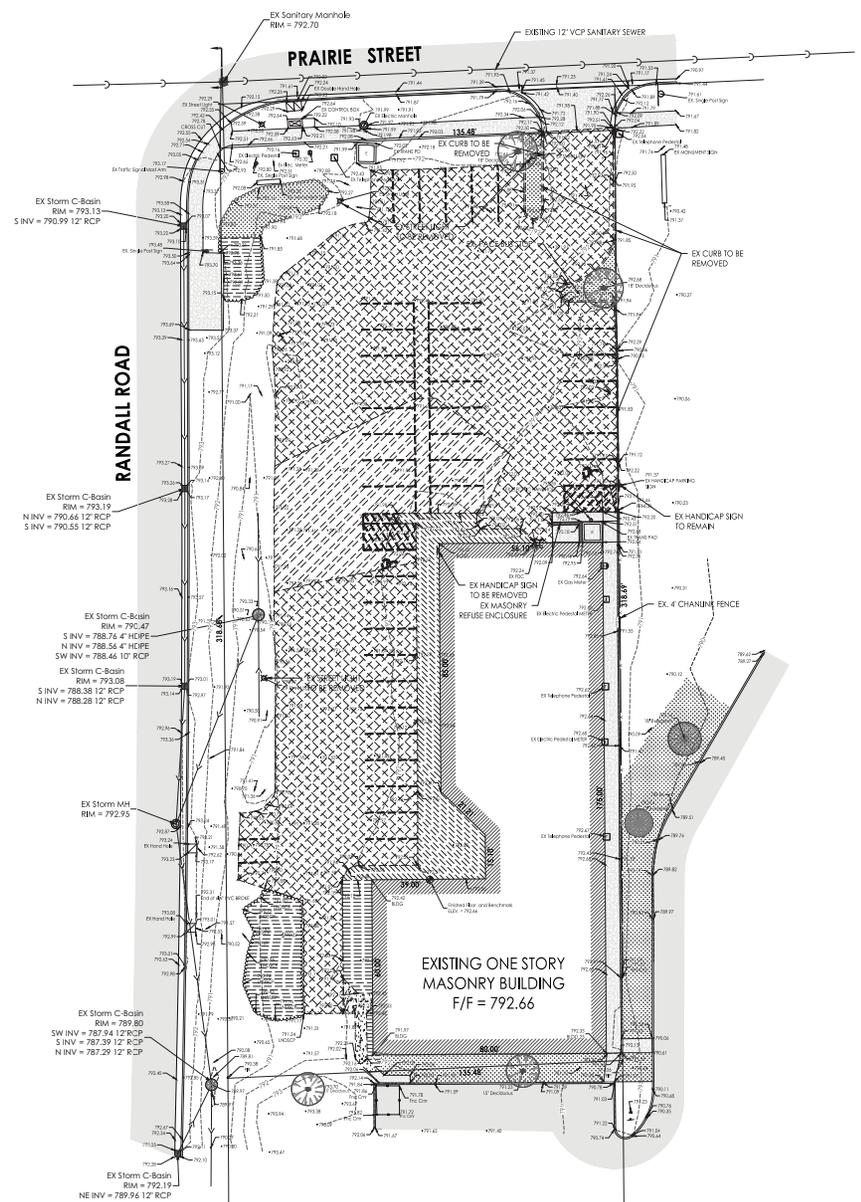
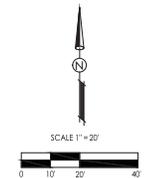
DEVELOPER:
DYN ROTE LLC,
6801 SPRING CREEK RD.,
ROCKFORD, IL 61114
(815) 229-3000

SEAL COVERS SHEETS 1-5
KEVIN C. BUNGE, PE DATE
EXPIRES 11/30/2015

NOI	APPD	NOI	APPD
• No Known Impacts	• Approved Planning	• No Known Impacts	• Approved Planning
• Contractor Coordination Required			
Gas Company	Telephone 1	Telephone 2	Fiber Optics
Cable TV	Electric	Regional Pipeline	Other Overheads
Other Undergrounds	Rocklands	ACDES - Wetlands	Natural Land Institute
IL Nature Preserve Commission	BPA Sanitary	BPA Water	BPA NOI
DNR - Endangered Species	DNR-SWR	EMVA (Flood Zones)	BPA (historic)
Local Sanitary District	Local Water District	Local Drainage District	Highway
County Stormwater Agency	Township	Municipal Engineering	Local Fire Dept.
Local Fire Dept.	Local Fire Approval	Park District/Forest Preserve	DOT - Access & Traffic
DOT - Drainage	DOT - Utilities	DOT - Landscaping	DOT - Local Roads
SEWCD/NRCS			



CONTACT:
J.U.L.I.E.
 DIAL: 811
 PRIOR TO ANY CONSTRUCTION



PAVEMENT LEGEND

-  EX. HMA PAVEMENT
-  EX. CONCRETE PAVEMENT/SIDEWALK
-  EX. LANDSCAPED AREA
-  EX. HMA TO BE REMOVED (SURFACE ONLY)
-  EX. HMA TO BE REMOVED (FULL DEPTH)
-  EX. CONCRETE SIDEWALK TO BE REMOVED
-  EX. LANDSCAPED AREA TO BE REMOVED

Elevations are based on
 City of St. Charles Vertical Control Network
 Station STC 07 Elevation = 790.80 NAVD 88
 Site Benchmark is finished floor of existing
 building = 792.66 NAVD 88



Date	Revision	By

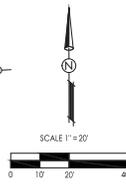
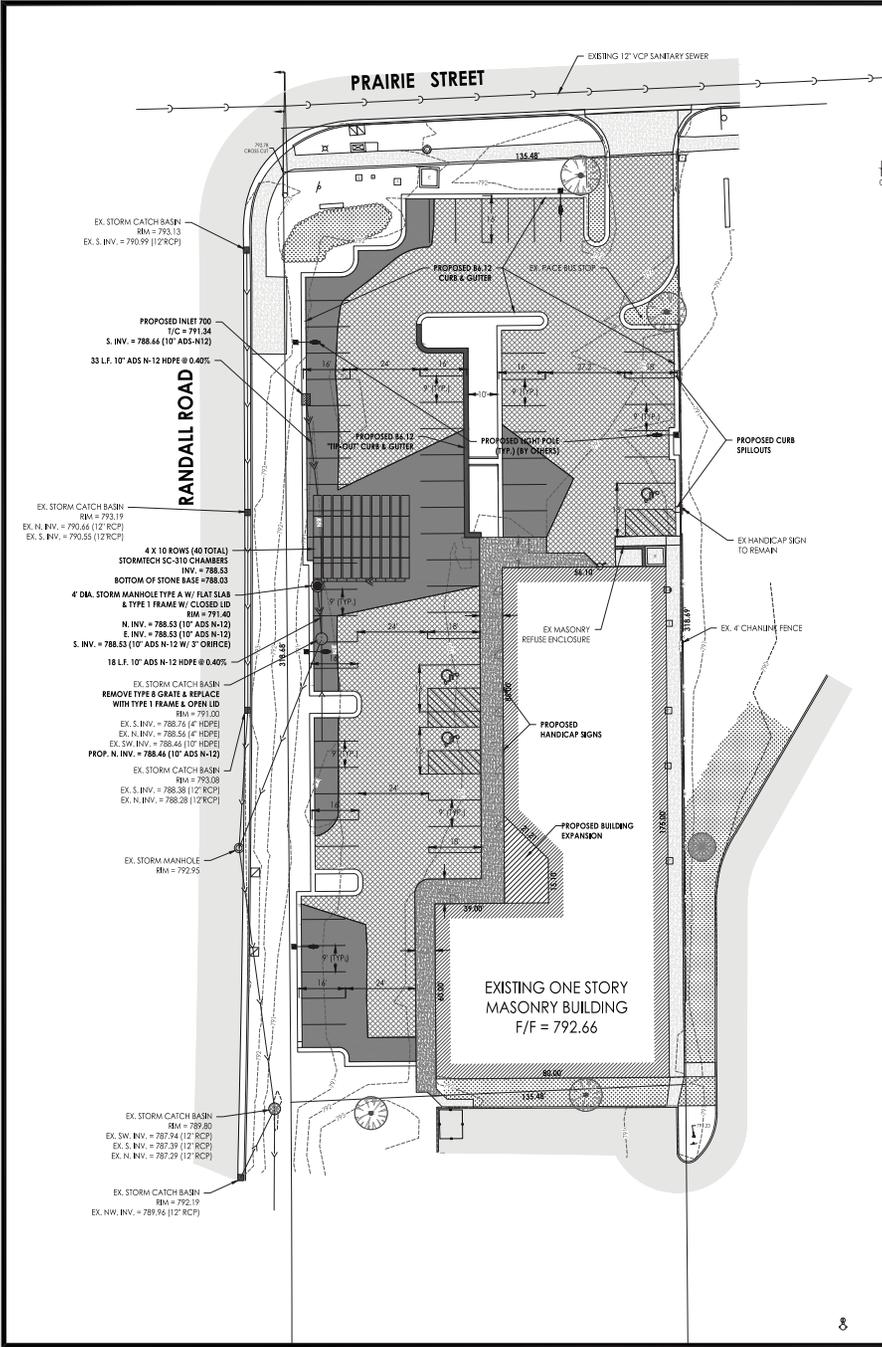
600-660 S. Randall Road
 Existing Conditions & Demolition Plan

CHECKED BY: KGB	DRAWN BY: JAB	SHEET: 06/20/14	Sheet
DATE: 06/20/14	DATE: 06/20/14	3602_BASE.dwg	2 of 5



700 WEST LOCUST ST., BELVIDERE, IL 61008
 (815) 347-8655 FAX (815) 344-0621
 ILLINOIS DESIGN FIRM NO. 184-007240

CONTACT:
J.U.L.I.E.
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 PRIOR TO ANY CONSTRUCTION



THICKENED EDGE P.C. CONCRETE SIDEWALK (4'*)
 THE WORK SHALL CONFORM TO SECTION 424 OF THE STANDARD SPECIFICATIONS.
 SURFACE SHALL BE SCORED IN FIVE (5) FOOT SQUARES WITH A CORNERED BROOM FINISH. TROWEL JOINTS WHICH ARE AT RIGHT ANGLES TO THE EDGE OF THE WALK, SHOULD BE PLACED AT THREE FOOT INTERVALS. THESE JOINTS SHALL BE AT LEAST 1-1/2 INCHES DEEP AND NOT LESS THAN 1/8 INCHES WIDE, BUT NOT MORE THAN 1/4 INCH WIDE. THE CONCRETE SHALL BE STRUCK OFF, CONSOLIDATED, AND FINISHED TO A TRUE AND EVEN SURFACE. CONSOLIDATIONS SHALL BE BY VIBRATION WITH A VIBRATORY SCREED.
 EXPANSION JOINTS (3/4 INCH) SHALL BE PLACED IN THE SIDEWALKS AT INTERVALS OF 40 FEET. THEY SHALL ALSO BE PLACED BETWEEN THE NEW SIDEWALKS AND THE EXISTING SIDEWALKS. ASPHALT JOINTS ON TREE JOINTS WITH RUBBER JOINT SEALERS SHALL BE USED. EXPANSION JOINTS (6 INCH) SHALL BE PLACED BETWEEN ALL EXISTING STRUCTURES AND THE NEW SIDEWALKS.
 SIDEWALKS SHALL BE 4 INCHES THICK PER TYPICAL SECTION ON SHEET 2 OF THE CONSTRUCTION DRAWINGS. A COMPACTED SUB-BASE SHALL BE BENEATH ALL SIDEWALK CONSTRUCTION INCIDENTAL TO THE ITEM AND NO EXTRA COMPENSATION WILL BE AWARDED.
 CURING AND PROTECTION SHALL BE IN ACCORDANCE WITH ARTICLE 1022 OF THE STANDARD SPECIFICATIONS.
 EARTH EXCAVATION SHALL CONFORM TO SECTION 202 OF THE STANDARD SPECIFICATIONS, INCLUDING EXCAVATION AND REMOVAL OF EARTH AND AGGREGATE MATERIALS, WHERE SIDEWALKS DO NOT EXIST CURRENTLY, AND GRADE TO ELEVATIONS AS DESIGNATED ON THE DRAWINGS.
 RESTORATION ADJACENT TO THE PROPOSED SIDEWALK AND NOT SHOWN ON THESE PLANS INCLUDING TOPSOIL, SEEDING AND MULCH SHALL BE INCIDENTAL TO THE PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 THIS ITEM WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER SQUARE FOOT FOR THICKENED EDGE PORTLAND CEMENT CONCRETE SIDEWALK. THIS PRICE SHALL INCLUDE SUBGRADE PREPARATION.

4" TOPSOIL, CLASS 1A SEEDING, & MULCH METHOD 2 OR EROSION CONTROL BLANKET
 THE WORK SHALL CONSIST OF REPAIRING ALL DISTURBED AREAS WITH 4" OF TOPSOIL. TOPSOIL MATERIAL SHALL BE INDIGENOUS TO LAKE COUNTY AND MAY BE USED PROVIDED IT MEETS WITH THE REQUIREMENTS OF ARTICLE 101.03 OF THE STANDARD SPECIFICATIONS. EROSION CONTROL BLANKET WORK SHALL CONSIST OF TURNING, TRANSPORTING, AND PLACING EROSION BLANKET OVER SEEDED AREAS IN ACCORDANCE WITH DOT SECTION 251 WITHIN 24 HOURS AFTER THE END OF CONSTRUCTION.
 ALL TURF OR GRASS LAWN AREAS, NOT DESIGNATED FOR INSTALLATION OF NEW SIDEWALKS, LANDSCAPING PLAN BY OTHERS, DRIVEWAY OR DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED TO THE SATISFACTION OF THE OWNER. RESTORATION OF THE PROJECT AREA SHALL BE COMPLETED ON A MONTHLY BASIS. RESTORATION SHALL INCLUDE BACKFILLING THE AREAS WITH SUITABLE EMBANKMENT MATERIAL AND A MINIMUM OF 1" OF TOPSOIL IN ACCORDANCE WITH SECTION 211 OF THE STANDARD SPECIFICATIONS. FINAL SHARING, TRIMMING, AND FINISHING SHALL BE IN ACCORDANCE WITH SECTION 210 OF THE STANDARD SPECIFICATIONS. SEEDING SHALL BE A CLASS 1A SALT TOLERANT LAWN MIXTURE IN ACCORDANCE WITH SECTION 250 OF THE STANDARD SPECIFICATIONS. MULCH METHOD 2 SHALL BE INSTALLED OVER ALL RESTORED AREAS IN ACCORDANCE WITH SECTION 251 OF THE STANDARD SPECIFICATIONS. MULCH SHALL BE APPLIED TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION TO INCLUDE THE CONTRACTOR GUARANTEE A 75 PERCENT UNIFORM GROWTH WITHIN THE SEEDING SEEDING PERIOD AFTER ONE GROWING SEASON. WITH ONE GROWING SEASON, AREAS NOT SUSTAINING 75 PERCENT UNIFORM GROWTH SHALL BE RESEEDING OR RESEED AS DETERMINED BY THE ENGINEER. AT NO ADDITIONAL COST TO THE CONTRACTOR.
 GUARANTEE: ALL SEEDED AREAS SHALL BE MAINTAINED AS SPECIFIED INCLUDING WATERING FOR 30 DAYS AFTER INSTALLATION. SCATTERED BASE SPOTS NO LARGER THAN TWO SQUARE FEET WILL BE ALLOWED UP TO A MAXIMUM OF ANY SEEDED AREA. LARGER AREAS SHALL BE RESEEDING AND REPLACED AT THE CONTRACTOR'S EXPENSE.
 THIS ITEM SHALL BE PAID INCIDENTAL TO THE PRICE BID PER HMA PAVEMENT.

EROSION AND SEDIMENT CONTROL
 THE ITEM INCLUDES FURNISHING ALL LABOR AND MATERIALS REQUIRED TO INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES FOR THE DURATION OF THE PROJECT. EROSION CONTROL ITEMS SHALL INCLUDE BUT NOT BE LIMITED TO Silt Fence, Temporary Ditch Check, Inlet Protection, and BMPs. PRIOR TO DISTURBING THE SITE PERMITS, Silt Fence SHALL BE INSTALLED AS INDICATED ON PLANS. THE CONTRACTOR SHALL BE REQUIRED TO FURNISH AND INSTALL EROSION AND SEDIMENT CONTROL ITEMS PER THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND EROSION AND SEDIMENT CONTROL PLAN, AS WELL AS PER THE USACE AND DOT/CONSTRUCTION BY REFERENCE IN THIS DOCUMENT. THE ITEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 280 OF THE STANDARD SPECIFICATIONS.
 THE CONTRACTOR SHALL ALSO MAINTAIN ACCESS TO INSPECTIONS AND DOCUMENTATION TO SATISFY SWPPP REQUIREMENTS OF THE EPA PER GENERAL NPDES PERM NO. IL010.
 THE WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER LINEAR FOOT FOR Silt Fence, PER EACH FOR Inlet Protection and LUMP SUM FOR EROSION AND SEDIMENT CONTROL MAINTENANCE.

AGGREGATE BASE COURSE, TYPE B, 10"
 THE WORK SHALL CONFORM TO SECTION 351 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 PAYMENT SHALL BE AT THE CONTRACT UNIT PRICE PER SQUARE YARD FOR AGGREGATE BASE COURSE, TYPE B, 10".

EX. AGGREGATE BASE PREP
 THE CONTRACTOR SHALL PREPARE THE EXISTING AGGREGATE BASE, INCLUDING A VARIABLE DEPTH OF AGGREGATE BASE COURSE, TYPE B TO CONSTRUCT THE PARKING LOT TO THE PROPOSED GRADES.
 THIS ITEM SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE BID PER SQUARE YARD FOR EX. AGGREGATE BASE PREP.

MUNICIOUS MATERIALS (PRIME COAT)
 ASPHALT MC-30 SHALL BE USED FOR CONSTRUCTING THE ITEM AND SHALL BE APPLIED AT THE RATE WITHIN THE LIMITS SPECIFIED IN THE STANDARD SPECIFICATIONS OR AS SPECIFIED BY THE ENGINEER. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER GALLON FOR MUNICIOUS MATERIALS (PRIME COAT). CONTRACTOR SHALL PROVIDE TRUCK TICKETS PRIOR TO PAYMENT FOR THIS ITEM.
HOT MIX ASPHALT SURFACE COURSE, MIX C, NSD, 1.5"
HOT MIX ASPHALT BINDER COURSE, NSD, 1.5"
 THIS ITEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 406 OF THE STANDARD SPECIFICATIONS. HOT MIX ASPHALT SURFACE COURSE, MIX C, NSD & BINDER COURSE, NSD.
 VIBRATING ROLLERS WILL NOT BE ALLOWED UNLESS SPECIFIED BY THE ENGINEER. IN THE ABSENCE OF A VIBRATORY ROLLER, DRUMS SHALL BE 50% MINIMUM UNLESS SPECIFIED BY THE ENGINEER.
 IN SECTION 406.04.G OF THE PARAGRAPH STARTING WITH "JOINTS BETWEEN OLD AND NEW PAVEMENT..." SHALL BE MODIFIED TO READ: JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAYS WORK OR WHEN THE TEMPERATURES OF THE PREVIOUSLY Laid MATERIALS DROPS BELOW 150 DEGREES, TO INSURE THOROUGH AND CONTINUOUS BOND, THE CONTACT SURFACE SHALL BE SPRAYED OR PAINTED WITH A THIN UNIFORM COATING OF ASPHALT SS-1.
 BASE OR PAYMENT SHALL BE SQUARE YARD FOR HOT MIX ASPHALT SURFACE COURSE, MIX C, NSD, 1.5" & HOT MIX ASPHALT BINDER COURSE, NSD, 1.5". RECYCLED MATERIAL WILL NOT BE ALLOWED.

WHITE PAINT PAVEMENT MARKING, 4"
 THE WORK SHALL CONFORM TO SECTION 780 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. PAINT SHALL BE INSTALLED WHEN AIR TEMPERATURE IS 50° F OR ABOVE AND DRYING.
 PAYMENT SHALL BE AT THE CONTRACT UNIT PRICE PER LINEAR FOOT FOR WHITE PAINT PAVEMENT MARKING, 4".

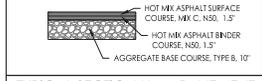
P.C. CONCRETE CURB, TYPE B6.12
 CURB & GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 406 OF THE I.D.O.T. STANDARD SPECIFICATIONS. THE CONCRETE CURB & GUTTER SHALL BE TYPE B6.12 UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION PLANS. THE CONTRACTOR IS CALLED UPON TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS-SECTION TO DETERMINE THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB. THE CONCRETE SHALL BE CLASS B. IT SHALL HAVE AN AIR CONTENT OF NOT LESS THAN 5% NOR MORE THAN 7% OF THE VOLUME OF THE CONCRETE. IT SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT 14 DAYS. TEST CYLINDERS SHALL BE TAKEN AND THE CERTIFIED COMPRESSION TEST RESULTS SUBMITTED TO THE CITY ENGINEER.
 REINFORCING BARS SHALL BE RUN CONTINUOUSLY THROUGH ITS LENGTH, EXCEPT AT EXPANSION JOINTS. AT EACH EXPANSION JOINT PROVIDE TWO (2) 1/2" LONG NO. 4 SMOOTH BARS WITH EXPANSION CAPS AND 3/4" PREWELDED, NON-STRUCTURING JOINT FILLER. EXPANSION JOINTS ARE TO BE PROVIDED AT ALL SQUARE CORNERS, 5' TO 10' EITHER SIDE OF STRUCTURES AND 100' INTERVALS.
 CONTRACTION JOINTS SHALL BE SAWED AT A MAXIMUM OF TEN FEET (10') SPACING. THE CONTRACTION JOINTS SHALL BE CUT IN THE UPPER 1/3 OF CURBS AND GUTTERS WITHIN 24 HOURS OF PLACEMENT.
 ALL CURBS AND GUTTER SHALL BE BROOM FINISHED. FINISHED SURFACES OF ALL NEWLY CONSTRUCTED CURB AND GUTTER SHALL BE COATED WITH ANTI-SPLASH AND CURING COMPOUND APPROVED BY THE CITY ENGINEER.
 CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. NO HONEYCOMBS OF THE CURB AND GUTTER WILL BE ACCEPTED.
 CURB SPLILOSING AND CURB GRADING DETAIL SHALL BE INCIDENTAL TO THIS PAY ITEM.
 BACKFILLING OF CURBS SHALL BE COMPLETED PRIOR TO PLACEMENT OF ROADWAY BASE-COURSE.
 PAYMENT SHALL BE AT THE CONTRACT UNIT PRICE PER LINEAR FOOT FOR P.C. CONCRETE CURB & GUTTER, B6.12.

PAVEMENT LEGEND

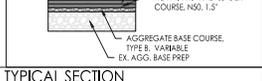
-  EX. HMA PAVEMENT
-  EX. CONCRETE PAVEMENT/SIDEWALK
-  EX. LANDSCAPED AREA
-  PROPOSED HMA PAVEMENT (FULL DEPTH)
-  PROPOSED HMA PAVEMENT (AGG. BASE PREP. - HMA)
-  PROPOSED THICKENED EDGE CONCRETE SIDEWALK

NOTE: SEE LANDSCAPING PLAN BY OTHERS FOR LANDSCAPING REQUIREMENTS

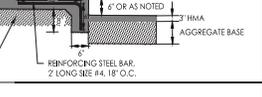
TYPICAL SECTION HMA PAVEMENT (FULL DEPTH)



TYPICAL SECTION HMA PAVEMENT



TYPICAL SECTION THICKENED EDGE SIDEWALK



Date	Revision	By

600-660 S. Randall Road
 Overall Site Plan

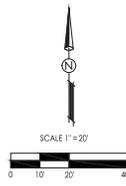
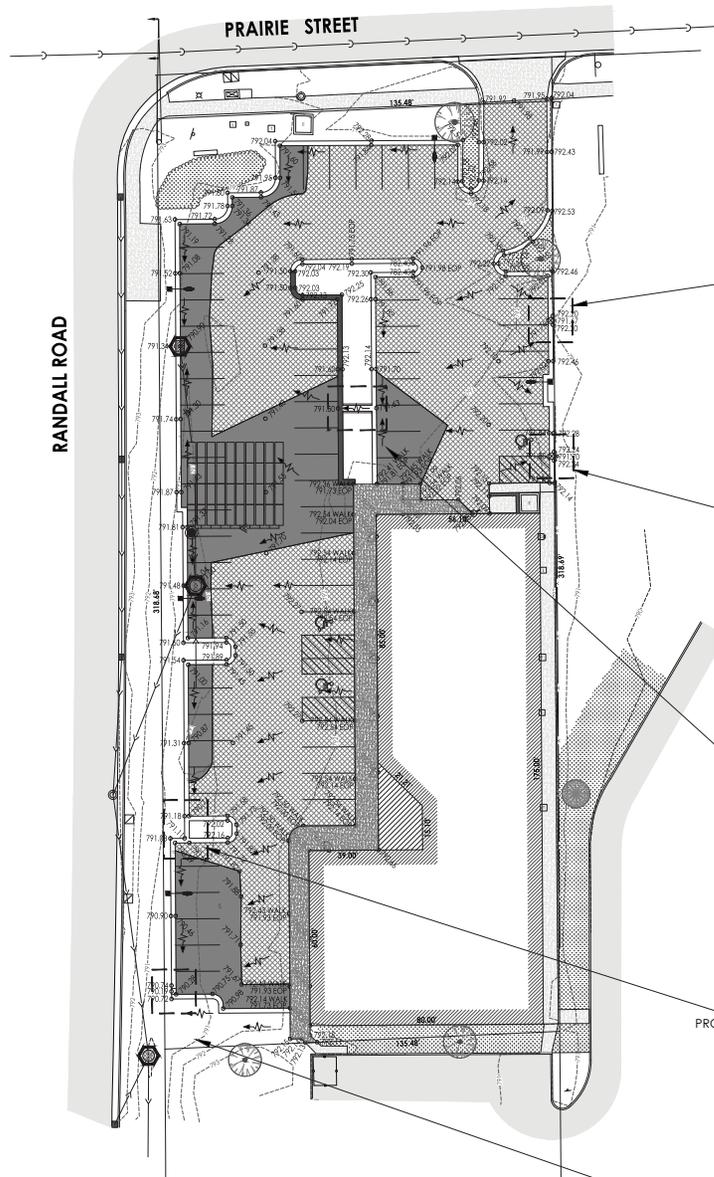
700 WEST LOCUST ST., BELLEVILLE, IL 61808
 (618) 340-8600 FAX (618) 340-8601
 ILLINOIS DESIGN FIRM NO. 184-00120

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 DATE: 05/20/14
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 DATE: 05/20/14

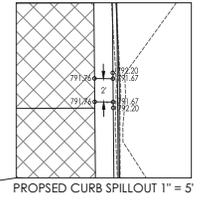
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 3 of 5

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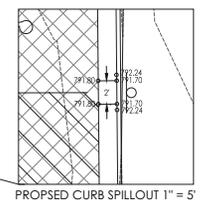


PAVEMENT LEGEND

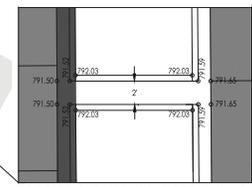
-  EX. HMA PAVEMENT
-  EX. CONCRETE PAVEMENT/SIDEWALK
-  EX. LANDSCAPED AREA
-  PROPOSED HMA PAVEMENT (FULL DEPTH)
-  PROPOSED HMA PAVEMENT (AGG. BASE PREP. - AGG. BASE VARIABLE & FINAL)
-  PROPOSED THICKENED EDGE CONCRETE SIDEWALK



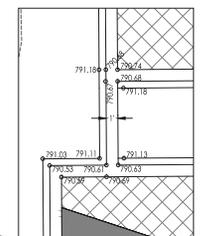
PROPOSED CURB SPILLOUT 1" = 5"



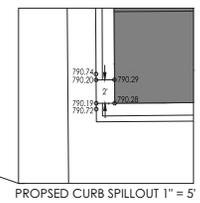
PROPOSED CURB SPILLOUT 1" = 5"



PROPOSED CURB GRADING DETAIL 1" = 5"



PROPOSED CURB GRADING DETAIL 1" = 5"



PROPOSED CURB SPILLOUT 1" = 5"

STORMWATER DETENTION POND CALC.						
1" CALCULATION						
ITEM	TOTAL SF	"C"	C/A			
TOTAL AREA	2995	4.46	1041			
BUILDING PAVEN AREA	2065	0	0			
GREEN AREA	0	0.13	0			
NET C =	0.95		2841			
2" ALLOWABLE CALCULATION						
A ₁ =	0.005	Ac.				
C ₁ =	0.100	(GOVERN)				
SA ₁ + CA =	0.007	C.F.A.				
DETENTION POND SIZING						
DURATION (HOURS)	INTENSITY (INCH)	C X A	INFLOW (CF/S)	RELEASE (CF/S)	STORAGE (CF)	REQ'D STORAGE (AC. FT.)
0.50	0.00	0.005	0	0.007	-0.01	0
0.67	10.02	0.065	0.65	0.007	0.65	0.008
0.53	7.00	0.065	0.48	0.007	0.45	0.012
0.50	5.00	0.065	0.37	0.007	0.36	0.016
0.66	4.00	0.065	0.30	0.007	0.29	0.018
0.53	4.00	0.065	0.26	0.007	0.25	0.017
1.00	3.00	0.065	0.23	0.007	0.23	0.019
1.00	2.50	0.065	0.19	0.007	0.18	0.023
2.00	2.00	0.065	0.15	0.007	0.14	0.023
3.00	1.60	0.065	0.10	0.007	0.10	0.024
4.00	1.30	0.065	0.08	0.007	0.08	0.024
5.00	1.10	0.065	0.07	0.007	0.06	0.027
6.00	0.97	0.065	0.06	0.007	0.06	0.028
7.00	0.85	0.065	0.06	0.007	0.05	0.028
24.00	0.307	0.065	0.02	0.007	0.01	0.026
					MAX =	0.028
						1248
						CU. FT.
OFFICE CALCULATIONS						
D = CA 20H	1.95					
H (FT)	0.007					
D (ALLOWABLE) (CF/S)	0.007					
C (IN. CONTAM.)	0.006					
C (QUALITY FT/S)	32.20					
A = OFFICE AREA (SQ. FT.)	0.001					
ROUND-OFFICE CAL. (SQ. FT.)	0.001					
						1" OFFICE
DETENTION VOLUME IN STORM TECH SC-310 CHAMBERS						
ST & CU FT. PER CHAMBER	38					
TOTAL CHAMBERS REQUIRED	48					
TOTAL CHAMBERS PROVIDED	1248					
						CU. FT. PROVIDED

EROSION AND SEDIMENT CONTROL NOTES:

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST REVISION.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY OF ST. CHARLES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING PUBLIC & DEVELOPMENT STREETS WHEN DEBRIS HAS BEEN TRACKED AND/OR WASHED ON THEM. THE CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP THE STREETS IF DIRECTED TO DO SO BY THE CITY OF ST. CHARLES. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONTROL DIRT ON THE STREET IN ACCORDANCE WITH PRACTICES IN THE ILLINOIS URBAN MANUAL.

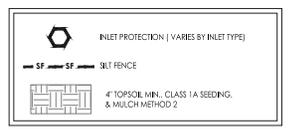
ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AND STABILIZED PRIOR TO SITE CLEARING AND GRADING. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. ALL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND AFTER EACH 1/2" RAINFALL EVENT AND 2" SNOWFALL EVENT AND AN INSPECTION RECORD SHALL BE MAINTAINED BY THE CONTRACTOR AT THE JOB SITE FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM THESE INSPECTIONS AND TO MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES IN SUCH A MANNER THAT THEY CONTINUE TO FUNCTION FOR THE DURATION OF THEIR INTENDED USE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM ALL TEMPORARY SEEDING.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY SEEDING WITHIN 14 DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE.

EROSION BLANKETS ARE TO BE INSTALLED ON ALL SLOPES STEEPER THAN 10%. EROSION BLANKETS WILL NOT BE REQUIRED IF SOO IS USED. IMMEDIATELY AFTER TOPSOILING, FERTILIZING, AND SEEDING ARE COMPLETE. INSTALLATION OF EROSION BLANKETS SHALL BE ACCORDING TO THE RECOMMENDATIONS OF THE MANUFACTURER. EROSION BLANKETS SHALL BE REINSPECTED PERIODICALLY AND AFTER EACH RAINFALL FOR DAMAGE OR DEGRADATION. DAMAGED OR DEPLETED EROSION BLANKETS SHALL BE REPAIRED OR REPLACED AS SOON AS POSSIBLE. TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED VIA PERMANENT MEASURES. PERMANENT VEGETATION AND STRUCTURES SHALL BE INSTALLED AND FUNCTIONAL AS SOON AS PRACTICAL DURING DEVELOPMENT. PERMANENT SEEDING, SOODING, OR LANDSCAPING SHALL BE COMPLETED WITHIN 7 DAYS OF FINAL TOPSOIL RE-Spread.

ALL STOCKPILES ARE TO BE PLACED AT A LOCATION SPECIFIED BY THE ENGINEER. ALL STOCKPILES ARE TO BE PROTECTED BY SILT FENCE ALONG THE DOWN SLOPE SIDES OF THE STOCKPILE OR AROUND THE ENTIRE PERIMETER IF DIRECTED TO DO SO BY THE ENGINEER, THE CITY OF ST. CHARLES, OR THEIR REPRESENTATIVES. ANY STOCKPILES THAT WILL REMAIN UNDISTURBED FOR LONGER THAN THREE WEEKS SHALL BE PROTECTED BY TEMPORARY SEEDING. SOIL STORAGE PILES CONTAINING MORE THAN 10 CUBIC YARDS OF MATERIAL SHALL NOT BE LOCATED WITH A DOWN SLOPE DRAINAGE LENGTH OF LESS THAN 25 FEET TO A ROAD, WAY OR DRAINAGE CHANNEL. COST OF TEMPORARY SEEDING SHALL BE INCLUDED PRICE BID FOR EROSION CONTROL LUMP SUM.

EROSION FABRICS IS NECESSARY FOR SILT TRAPS INSTALLED AT ALL STORM STRUCTURES WITH OPEN LIDS. ALL STORMWATER INLETS SHALL BE PROTECTED BY SILT TRAPS. EXCESSOR LOGS, EROSION FABRIC, OR OTHER METHODS APPROVED BY THE CITY OF ST. CHARLES. AFTER EACH RAINFALL EACH INLET SHALL BE INSPECTED. ANY INLET PROTECTION THAT HAS FAILED OR IS DAMAGED SHALL BE REPAIRED AS SOON AS POSSIBLE. SEDIMENT SHALL BE REMOVED AS PROVIDED TO PROVIDE FOR THE CONTINUED EFFECTIVENESS OF THE INLET PROTECTION TECHNIQUE IN USE.



Date	Revision	By

600-660 S. Randall Road
 Grading & Storm Water Pollution Prevention Plan

