

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984



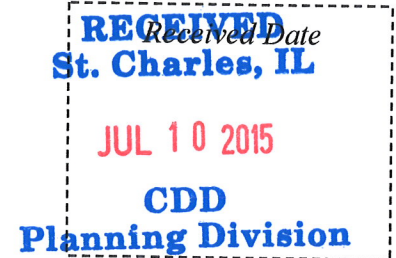
COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**SPECIAL USE APPLICATION**

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

<b>For City Use</b>	
Project Name:	<u>1500 Rt. 38 - CVS</u>
Project Number:	<u>2015 -PR- 013</u>
Application Number:	<u>2015 -AP- 023</u>



*To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.*

*City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: 1500 Route 38, St. Charles, Illinois 60174	
	Parcel Number (s): 09-33-329-054	
	Proposed Name: 1500 Route 38 Planned Unit Development	
<b>2. Applicant Information:</b>	Name TMC Illinois, LLC, an Indiana Limited Liability Company	Phone c/o Andrew E. Kolb, Esq. (630) 513-9800
	Address c/o Andrew E. Kolb, Esq. Vanek, Larson, & Kolb, LLC 200 W. Main St. St. Charles, Illinois 60174	Fax (630) 513-9802
		Email akolb@vlklawfirm.com
<b>3. Record Owner Information:</b>	Name 1500 Lincoln Highway, LLC an Illinois Limited Liability Company	Phone c/o David Meek, Esq. (847) 433-2442, Ext 153
	Address c/o David Meeks, of Counsel Becker Gurian, 513 Central Ave. Suite 400 Highland Park, IL 60035-3266 with copy to: Keating Resources, 719 Shady Ave., Geneva, IL 60134, attn: Gerard I. Keating	Fax (847) 433-2025
		Email david@beckergurian.com

**Please check the type of application:**

- Special Use for Planned Unit Development - PUD Name:** 1500 Route 38 Planned Unit Development
  - New PUD
  - Amendment to existing PUD- Ordinance #: N/A
  - PUD Preliminary Plan filed concurrently
  
- Other Special Use (from list in the Zoning Ordinance):** N/A
  - Newly established Special Use
  - Amendment to an existing Special Use Ordinance #: N/A

**Information Regarding Special Use:** See attached Rider

Comprehensive Plan designation of the property: See Attached Development Rider

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? B-3 Service Business District with Special Use as a Planned Unit Development per ordinance 1982-2-6

What is the property currently used for? Vacant

If the proposed Special Use is approved, what improvements or construction are planned?  
See attached Development Rider

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**For Special Use Amendments only:**

Why is the proposed change necessary?  
N/A

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What are the proposed amendments? (Attach proposed language if necessary)  
N/A

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**Note for existing buildings:**

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

**Attachment Checklist:**

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**□ APPLICATION FEE:**

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

**□ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**□ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**□ PROOF OF OWNERSHIP and DISCLOSURE:**

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**□ LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper

**□ PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

**□ FINDINGS OF FACT:**

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

**□ LIST OF PROPERTY OWNERS WITHIN 250 FT.:**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

□ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

□ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

□ **TRAFFIC STUDY:** If requested by the Director of Community Development.

*Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.*

□ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

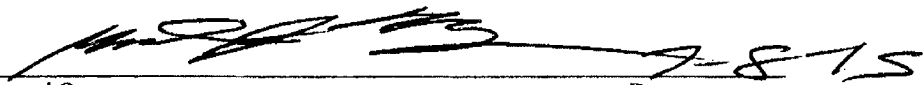
□ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
  - a. Location, height, intensity and fixture type of all proposed exterior lighting
  - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

  
\_\_\_\_\_  
Record Owner Date

  
\_\_\_\_\_  
Applicant or Authorized Agent Date

# CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)



*\*For Special Use for PUD or PUD Amendment applications.\**

*The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.*

*As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.*

*(You may utilize this form or provide the responses on another sheet.)*

1500 Lincoln Highway Planned Unit Development

7/8/15

*PUD Name*

*Date*

**From the St. Charles Zoning Ordinance, Section 17.04.410.3:**

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

**i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

See Exhibit A incorporated herein and attached hereto.

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**ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

**Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:**

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

See Exhibit A incorporated herein and attached hereto.

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**iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

As outlined in Applicant's Rider to Application for Development Approvals (incorporated herein), the public will be served by the full-service CVS Pharmacy® retail store complete with drive-through facility as well as the adjacent retail-office building to be constructed on lot two of Applicants proposed subdivision. See also Exhibit A incorporated herein.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Applicant's buildings, roadways, and stormwater drainage system will strictly adhere to applicable codes and ordinances and are provided as part of the overall Planned Unit Development. See also Exhibit A incorporated herein.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

Applicants proposed Planned Unit Development replaces an existing planned unit development, from the 1980's housing an abandoned bank building. The proposed PUD will not be injurious to the surrounding community and will encourage further economic development. See also Exhibit A incorporated herein.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed economic development is consistent with the prior PUD and will not impede the normal and orderly development in the area. The proposed development is not inconsistent with the 2013 City of St. Charles Comprehensive Plan. See also Exhibit A incorporated herein.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.



Applicant's proposed PUD will not endanger the health, welfare, or safety of the surrounding area given that Applicant's proposed use is consistent with the prior PUD and will provide a benefit to the surrounding community. See also Exhibit A incorporated herein.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Applicant will adhere to all applicable codes. See also departures set forth within Exhibit A incorporated here in. See also Rider to Application for Development Approvals.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Applicant is redeveloping an existing PUD housing an abandoned bank building. The new PUD will house a brand new CVS Pharmacy® building complete with drive-through facility. In addition Applicant proposes to develop on lot two a 4,620 square foot office/retail building. These new developments will increase tax revenue to the City of St. Charles and encourage further economic development in the vicinity as well as further the economic well-being of the city. Applicant hereby incorporates the Rider to Application for Development Approvals.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

See Exhibit B attached.

## Exhibit A

### **Background:**

The property that is the subject of this Application is approximately 2.7267 acres in dimension and is located at the Northwest Corner of Lincoln Highway (Illinois Route 38) and 14<sup>th</sup> Street in the Municipality of St. Charles, Illinois. The underlying property is currently owned by 1500 LINCOLN HIGHWAY, LLC, an Illinois limited liability company (the “**Property Owner**”) and will be leased to the operator HIGHLAND PARK CVS, L.L.C. an Illinois limited liability company pursuant to separate Ground Lease. The Ground Lease will govern only Lot 1 as depicted on Applicant’s Preliminary Plat of Subdivision. The Subject Property currently is vacant and the current building located on the Subject Property is not occupied.

The underlying zoning classification of the Subject Property where the proposed CVS Pharmacy® is to be located is within the BR Regional Business District (formerly B-3 Service Business District) with a Special Use as a Planned Unit Development in accordance with Ordinance No. 1982-Z-6 (“**Ordinance 1982-Z-6**”, recorded on April 19, 1982 as Document No. 1614145, and including amendments 1983-Z-8, 1987-Z-2 and 1988-Z-4).

In accordance with Ordinance 1982-Z-6, the Subject Property was re-zoned to BR Regional Business with a special use as a Planned Unit Development filed by the State Bank of St. Charles as Trustee under Trust No. T-303. The State Bank of St. Charles no longer operates on the Subject Property and the building is vacant.

The Subject Property is comprised currently of a single lot. Applicant proposes to subdivide the existing property into two separate lots of record by gaining approval of and recording a Final Plat of Subdivision. The lot depicted on Applicant’s Preliminary Plat of Subdivision as “Lot 1” will house the proposed future newly constructed CVS Pharmacy® building. The existing building located on Lot 1 (formerly the State Bank of St. Charles) will be demolished in its entirety and accommodate the newly constructed CVS Pharmacy® store complete with drive-through facility.

The remaining lot (depicted as “**Lot 2**”) on Applicant’s Preliminary Plat of Subdivision will house a proposed future retail/office mixed-use building. Lot 2 will not be subject to a lease with CVS Pharmacy® and will be retained by the underlying property owner, 1500 Lincoln Highway, LLC, an Illinois limited liability company (the “**Property Owner**”). The Property Owner proposes to develop Lot 2 with a single story 4,620 sf multi-tenant retail/office building with up to four tenants in 1,128 square feet of leased premises.

Applicant proposes to eliminate the existing Planned Unit Development on the property (previously established by Ordinance 1982-Z-6) with a new Planned Unit Development allowing: (a) “Retail Pharmacy / Drug Store with Drive-Through Facility” as an enumerated permitted use on Lot 1 of the Subject Property and (b) Multi-Tenant Retail / Office as an enumerated permitted use on Lot 2 of the Subject Property.

## **Exhibit B**

In accordance with the City of St. Charles, Illinois 2013 Comprehensive Plan prepared in conjunction with Planning Consultant Houseal Lavigne Associates, LLC, the Subject Property is designated within the “*Neighborhood Commercial*” land use designation. Pursuant to the Comprehensive Plan, areas designated as Neighborhood Commercial are intended for smaller-scale retail and service commercial areas geared toward providing for the daily shopping, service and convenience needs of surrounding neighborhoods. Uses in the neighborhood commercial areas should be of a scale and intensity to be considered generally compatible with adjacent and nearby residential uses. Grocery stores, gasoline service stations, pharmacies, personal and financial services, small office uses, convenience and specialty retailers, and more are appropriate. (See 2013 Comprehensive Plan at p. 46).

Applicant proposes pharmacy, retail, and small office uses on the Subject Property. These proposed uses for the Subject Property are compatible with the Comprehensive Plan of the City of St. Charles and satisfy the long-term objectives clearly outlined in the 2013 Comprehensive Plan.

**RIDER TO APPLICATION  
FOR DEVELOPMENT APPROVALS**

Applicant, TMC ILLINOIS 2, LLC, an Indiana limited liability company (“**Applicant**”), together with the underlying property owner 1500 LINCOLN HIGHWAY, LLC, an Illinois limited liability company, for their Application for Development Approvals, states as follows:

**I. General Background.**

- 1.1 The property that is the subject of this Application is approximately 2.7267 acres in dimension and is located at the Northwest Corner of Lincoln Highway (Illinois Route 38) and 14<sup>th</sup> Street in the Municipality of St. Charles, Illinois (the "**Subject Property**" legally described as set forth within Exhibit A attached hereto). The underlying property is currently owned by 1500 LINCOLN HIGHWAY, LLC, an Illinois limited liability company (the "**Property Owner**") and will be leased to the operator HIGHLAND PARK CVS, L.L.C. an Illinois limited liability company pursuant to separate Ground Lease. The Ground Lease will govern only Lot 1 as depicted on Applicant’s Preliminary Plat of Subdivision. The Subject Property currently is vacant and the current building located on the Subject Property is not occupied.
- 1.2 The underlying zoning classification of the Subject Property where the proposed CVS Pharmacy® is to be located is within the BR Regional Business District (formerly B-3 Service Business District) with a Special Use as a Planned Unit Development in accordance with Ordinance No. 1982-Z-6 (“**Ordinance 1982-Z-6**”, recorded on April 19, 1982 as Document No. 1614145, and including amendments 1983-Z-8, 1987-Z-2 and 1988-Z-4).

In accordance with Ordinance 1982-Z-6, the Subject Property was re-zoned to BR Regional Business with a special use as a Planned Unit Development filed by the State Bank of St. Charles as Trustee under Trust No. T-303. The State Bank of St. Charles no longer operates on the Subject Property.

- 1.3 The Subject Property is comprised currently of a single lot. Applicant proposes to subdivide the existing property into two separate lots of record by gaining approval of and recording a Final Plat of Subdivision. The lot depicted on Applicant’s Preliminary Plat of Subdivision as “Lot 1” will house the proposed future newly constructed CVS Pharmacy® building. The existing building located on Lot 1 (formerly the State Bank of St. Charles) will be demolished in its entirety and accommodate the newly constructed CVS Pharmacy® store complete with drive-through facility.

The remaining lot (depicted as “**Lot 2**”) on Applicant’s Preliminary Plat of Subdivision will house a proposed future retail/office mixed-use building. Lot 2 will not be subject to a lease with CVS Pharmacy® and will be retained by the underlying property owner, 1500 Lincoln Highway, LLC, an Illinois limited liability company (the “Property Owner”). The Property Owner proposes to develop Lot 2 with a single story 4,620 sf multi-tenant retail/office building with up to four tenants in 1,128 square feet of leased premises.

Applicant proposes to eliminate the existing Planned Unit Development on the property (previously established by Ordinance 19982-Z-6) with a new Planned Unit Development allowing: (a) “Retail Pharmacy / Drug Store with Drive-Through Facility” as an enumerated permitted use on Lot 1 of the Subject Property and (b) Multi-Tenant Retail / Office as an enumerated permitted use on Lot 2 of the Subject Property.

1.4 Applicant proposes to develop Lot 1 of the Subject Property with an approximate 13,225 square foot CVS Pharmacy® building with a Drive-Through window offering, among others, for up to 24 hours per day, the following goods and services and engaging in the following activities:

- a) The sale of pharmaceuticals;
- b) The sale of grocery products;
- c) The sale of health care and cosmetics products;
- d) The sale of alcoholic beverages as otherwise allowed under the City’s liquor ordinance;
- e) The sale of cameras and camera supplies;
- f) The providing of film processing services;
- g) The sale of other products and the rendering of other services customarily sold or rendered in a full-service, modern drug store.

## **II. Development Requests**

Applicant seeks the following development approvals and variances at this time. With respect to any variances pertaining to signage, Applicant incorporates herein its Sign Package and the measurements contained therein.

- (a) Application for a Special Use as a Planned Unit Development.** Applicant requests a Special Use for a Planned Unit Development in accordance with Sections 17.04.400 - 17.04.430 of the Zoning Ordinance of the City of St. Charles, Illinois. Applicant proposes to eliminate the existing Planned Unit Development on the property (previously established by Ordinance 19982-Z-6) and proposes to replace the prior PUD with a new Planned Unit Development allowing within the body of the Ordinance granting the new PUD: (a) “Retail Pharmacy / Drug Store with Drive-Through Facility” as an enumerated permitted use on Lot 1 of the Subject Property; and (b) Multi-Tenant Retail / Office as an enumerated permitted use on Lot 2 of the Subject Property.
- (b) PUD Preliminary Plan Application Approval** – Applicant requests PUD Preliminary Plan Application approval in accordance with Sections 17.04.400 - 17.04.430 of the Zoning Ordinance of the City of St. Charles, Illinois. Applicant proposes to eliminate the existing Planned Unit Development on the property (previously established by Ordinance 19982-Z-6) and proposes to replace the prior PUD with a new Planned Unit Development allowing: (a) “Retail Pharmacy / Drug Store with Drive-Through Facility” as an enumerated permitted use on Lot 1 of the Subject Property and (b) Multi-Tenant Retail / Office as an enumerated permitted use on Lot 2 of the Subject Property.
- (c) Preliminary Plat of Subdivision Approval** – Applicant requests approval of its Preliminary Plat of Subdivision and Final Plat of Subdivision Approval in accordance with Sections 16.04.070 and 16.040.080 of the Municipal Code of the City of St. Charles.
- (d) Planned Unit Development Departures** – Section 17.04.400(B) of the Municipal Code of the City of St. Charles states that “Unless otherwise approved in accordance with this Chapter, Development of the PUD shall conform to the requirements applicable to the underlying zoning district or districts in which the PUD is located, and all Land Improvements shall be designed and constructed in accordance with the provisions of Title 16, Subdivisions and Land Improvement, of the St. Charles Municipal Code. PUD’s, however, may allow for relief from the minimum requirements applicable to the underlying zoning district and subdivision ordinance in situations where the City Council finds that:

- a) Conforming to the requirements would inhibit creative design that serves community goals; and
- b) Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Applicant requests the following “departures” or “relief” from the requirement that Applicant’s PUD conform to the zoning and subdivision ordinances of the City of St. Charles. In addition to the departures listed below, Applicant requests all additional departures or relief that may be subsequently identified as necessary for the proposed development:

- (a) **Departure (Lot 1) (Interior Side Yard Requirement – Building Set-Backs)** - Applicant requests relief from Section 17.14.030 (Table 17.14.-2) of the Municipal Code of the City of St. Charles. This Section and Table require a 15’ Building Set-Back. Applicant proposes a 6’ building set-back (equating to a 9’ deficiency as compared to code which mandates 15’).

Basis: The proposed two-lot subdivision contains interior lot lines between Lots 1 and 2 that are positioned in points of shared access between these lots. The imposition of building set-back between Lots 1 and 2 will interrupt the flow of traffic between the lots and prohibit shared access. Further, given that the subdivision is positioned on a corner and given that Lot 2 has no access to Route 38, uninterrupted shared access is critical to the commercial success of Lot 2. The imposition of interior building set-backs will interrupt the natural flow of the proposed site and will negatively impact access to Lot 2 from Route 38.

The site also is unique and presents a difficult challenge to Applicant given the existing 20’ utility easement shifts Applicant’s proposed parking lot and CVS Pharmacy® building to the North and to the East along both 14<sup>th</sup> Street and Illinois Route 38. Applicant is losing the benefit of a considerable portion of the developable lot based upon the easement. The Property Owner proposes to develop Lot 2 with a single story 4,620 sf multi-tenant retail/office building with up to four tenants in 1,128 square feet of leased premises. The benefits of a two lot subdivision with two viable uses will generate significant tax revenue for the City of St. Charles, will provide jobs to the community and will outweigh the detriment of mandating 15’ building-set back along the interior lot lines.

- (b) **Departure (Lots 1 and 2) (Building Foundation Landscaping)** – Applicant requests relief from Section 17.26.080 of the Municipal Code of the City of St. Charles. Applicant proposes to eliminate the required 8’ strip of foundation landscaping per code. Pursuant to Section 17.26.080, the minimum width of planting beds for building foundation landscaping shall be eight feet (8’) measured perpendicular to the building. Applicant proposes to eliminate the requirement of foundation landscaping entirely given the site dimension and presence of the 20’ public utility easement. Applicant proposes to eliminate this requirement for all proposed structures located on both Lot 1 and Lot 2.

Basis: Applicant proposes to completely eliminate the requirement of building foundation landscaping. The site also is unique and presents a difficult challenge to Applicant given the existing 20’ utility easement shifts Applicant’s proposed parking lot and CVS Pharmacy® building to the North and to the East along both 14<sup>th</sup> Street and Illinois Route 38. Applicant is losing the benefit of a considerable portion of the developable lot based upon the easement. The imposition of the required 8’ strip of foundation landscaping will prohibit Applicant’s proposed development as Applicant will need to reduce the number of parking spaces or alternatively reduce the size of its prototype building to accommodate the 8’ strip

surrounding the CVS Pharmacy® building. The benefits of a two lot subdivision with two viable uses will generate significant tax revenue for the City of St. Charles, will provide jobs to the community and will outweigh the detriment of eliminating foundation landscaping. Parking in the manner and form presented by Applicant is a critical function of obtaining corporate approvals.

- (c) **Departure (Lots 1 and 2) (Interior Parking Lot Landscaping)** – Applicant request relief from Section 17.26.090 of the Municipal Code of the City of St. Charles. Section 17.26.090(c)(2)(a) of the Municipal Code requires a minimum of (10%) of the interior area of the parking lot shall be devoted to landscaping. (10% of interior parking area of 44,861 sf required equates to 4,486 sf of landscaping per code). Applicant proposes 3,769 square feet resulting in a square footage deficiency of 717. Applicant seeks to reduce the required square footage of interior parking lot landscape areas (including landscaping islands and other required interior landscape area) by approximately 717 square feet in accordance with Applicant’s Landscape Plan.

Basis: The site is unique and presents a difficult challenge to Applicant given the existing 20’ utility easement shifts Applicant’s proposed parking lot and CVS Pharmacy® building to the North and to the East along both 14<sup>th</sup> Street and Illinois Route 38. Applicant is losing the benefit of a considerable portion of the developable lot based upon the easement and needs to take full advantage of every available space for parking to accommodate the proposed retail use. Additionally, given that Lot 2 is set back considerably from Route 38 with an access from a private drive, visibility to Lot 2 is critical to potential retail users necessitating the reduction in parking lot landscaping. Reducing landscaping requirements will not negatively impact the look of the site. The benefits of a two lot subdivision with two viable uses will generate significant tax revenue for the City of St. Charles, will provide jobs to the community and will outweigh the detriment of reducing landscaping requirements.

- (d) **Departure (Lots 1 and 2) (Interior Parking Lot Shade Trees)** – Applicant requests relief from Section 17.26.090 of the Municipal Code of the City of St. Charles. Applicant seeks to reduce the required number of shade trees to be located within the interior parking lot. Per code, Applicant is required to provide 28 shade trees (4,486 sf required for interior parking lot landscaping/160 = 28). Applicant is proposing 14 new shade trees and proposes to leave 2 existing shade trees thereby leaving a deficiency of 12 shade trees.

Basis: The site is unique and presents a difficult challenge to Applicant given the existing 20’ utility easement shifts Applicant’s proposed parking lot and CVS Pharmacy® building to the North and to the East along both 14<sup>th</sup> Street and Illinois Route 38. Applicant is losing the benefit of a considerable portion of the developable lot based upon the easement and needs to take full advantage of every available space for parking to accommodate the proposed retail use. Additionally, given that Lot 2 is set back considerably from Route 38 with an access from a private drive, visibility to Lot 2 is critical to potential retail users necessitating the reduction in parking lot landscaping.

With respect to the proposed development, the number of required shade trees will reduce visibility of both the CVS Pharmacy® building and the commercial building within Lot 2. Motorists traveling along Route 38 need to be able to view both commercial / retail buildings from the primary arterial roadway. Reducing landscaping requirements will not negatively impact the look of the site.

- (e) **Departure (Lot 2) – Minimum Lot Size.** Applicant requests relief from the requirement set forth in Table 17.14.-2 of the Municipal Code of the City of St. Charles which requirement mandates a Minimum Lot Size of 1 acre. With respect to Lot 2, the proposed acreage is .5521 acres.

Basis: The site is unique and presents a difficult challenge to Applicant given the existing 20' utility easement shifts Applicant's proposed parking lot and CVS Pharmacy® building to the North and to the East along both 14<sup>th</sup> Street and Illinois Route 38. Applicant is losing the benefit of a considerable portion of the developable lot based upon the easement and needs to take full advantage of every available space. The Property Owner proposes to develop Lot 2 with a single story 4,620 sf multi-tenant retail/office building with up to four tenants in 1,128 square feet of leased premises. The benefits of a two lot subdivision with two viable uses will generate significant tax revenue for the City of St. Charles and will provide jobs to the community. The benefits of Applicant's proposed subdivision outweigh the negative aspect of Lot 2 being smaller than one acre. Further, because of the layout of Lot 1 and Lot 2 and the shared access, there is a seamless connection between the two lots in the subdivision reducing concerns regarding the dimension of Lot 2.

- (f) **Departure (Lot 1 and Lot 2) – Distance between Landscape Islands.** Section 17.27.090 of the Code provides "the maximum distance between landscape islands should be approximately 60 to 100 feet. Applicant proposes 107 feet in accordance with Applicant's site plan submitted herewith resulting in a deviation of 7'.

Basis: The site is unique and presents a difficult challenge to Applicant given the existing 20' utility easement shifts Applicant's proposed parking lot and CVS Pharmacy® building to the North and to the East along both 14<sup>th</sup> Street and Illinois Route 38. Applicant is losing the benefit of a considerable portion of the developable lot based upon the easement and needs to take full advantage of every available space. The Property Owner proposes to develop Lot 2 with a single story 4,620 sf multi-tenant retail/office building with up to four tenants in 1,128 square feet of leased premises. Given that the proposed development is upon multiple lots, a seamless transition between lots is critical.

The imposition of additional landscape islands to accommodate the minimum distances will reduce the number of available parking spaces and further the additional landscaping will obstruct the view of building proposed on Lot 2 from IL Route 38. Applicant proposes only a 7' deviation to this requirement.

- (g) **Departure (Lot 1) – EIFS.** Section 17.06.030(E)(2) itemizes prohibited materials which include Exterior Insulated Finished Systems (EIFS) comprised of polystyrene foam panels, regardless of base or finish coat or treatment, located less than ten (10') feet above grade, or over more than ten percent (10%) of any building wall. Applicant needs no departure regarding the requirement that its EIFS be located more than 10' above grade. Applicant requests departures for each façade of the CVS Building regarding the square footage of the EIFS per façade in accordance with the following calculations:



EIFS PERCENTAGES:

SOUTHWEST ELEVATION: 594 SQFT EIFS/2914 SQFT TOTAL=20.4%  
SOUTHEAST ELEVATION: 522 SQFT EIFS/1939 SQFT TOTAL=26.9%  
NORTHEAST ELEVATION: 472 SQFT EIFS/2457 SQFT TOTAL=19.2%  
NORTHWEST ELEVATION: 396 SQFT EIFS/1497 SQFT TOTAL=26.5%  
DRIVE-THRU AREA: 63 SQFT EIFS/ 724 SQFT TOTAL=8.7%

In support of its request for a Departure to exceed the 10% maximum requirement pertaining to EIFS, Applicant states that the use of EIFS is primarily located behind existing signage in order to boost visibility of the CVS signage. The only other use of the EIFS is in the front of the building on the ladder above the front entrance which serves only as an architectural design feature. EIFS is also located along the Cornice as an additional architectural feature and coats the steel structure. The EIFS provides a contemporary offset.

With respect to signage, the EIFS acts as a uniform surface backdrop for the CVS® lettering to be easily and safely identified by passing motorists. Signage is a critical element to the project. The site is unique and presents a difficult challenge to Applicant given the existing 20' utility easement shifts Applicant's proposed parking lot and CVS Pharmacy® building to the North and to the East along both 14<sup>th</sup> Street and Illinois Route 38. Applicant is losing the benefit of a considerable portion of the developable lot based upon the easement and needs to take full advantage of every available space for parking to accommodate the proposed retail use.

- (h) **Additional Departures** – Applicant requests all additional Departure as are necessary to comport Applicant's site plan, elevations, engineering drawings, plat of subdivision and submission materials to all applicable codes and ordinances of the City of St. Charles, Illinois.

### **III. Submission Materials**

Along with the filing of its Application, and in support thereof, the Applicant has submitted to the City of St. Charles a binder (the “**Binder**”) containing the following materials (collectively the “**Development Submittals**”). The following table indicates the Tabs of the Binder at which the various Development Submittals may be found:

<b>TAB</b>	<b>DESCRIPTION OF DEVELOPMENT SUBMITTAL</b>
1	Cover Letter
2	Rider to Application for Development Approvals
3	Special Use Application – Planned Unit Development
4	PUD Preliminary Plan Application
5	Preliminary Plat of Subdivision Application
6	City of St. Charles Reimbursement of Fees Agreement
7	Criteria for Planned Unit Development (PUDs)
8	Non-Residential Zoning Compliance Table
9	Trip Generation Comparison Letter – Proposed CVS/Pharmacy
10	Kane-DuPage Soil and Water Conservation District Land Use Opinion
11	List of Property Owners within 250 Feet
12	Chicago Title Insurance Company – Title Commitment
13	Endangered Species Consultation Report
14	CVS Sign Package
15	ALTA/ACSM Land Title and Topographic Survey
16	Preliminary Plat of Subdivision
17	Site Plan – Preliminary Layout and Paving Plan
18	Preliminary Engineering / Landscaping Plans
19	CVS Building Elevations
20	Retail Building Elevations
21	Photometric Plan
22	Preliminary Stormwater Report
23	Drawing Requirements Checklist
24	Electronic Files

**III. PUD Criteria**

Applicant incorporates herein the Criteria for Planned Unit Developments (PUDs) at Tab #7 of Applicant's Development Binder.

**IV. Miscellaneous.**

Applicant requests that copies of all notices given to Applicant hereunder (or in connection with the actions requested to be taken herein) be sent to the following parties:

TMC Illinois 2, LLC  
c/o Tom Crowley  
President  
T.M. Crowley & Associates, Inc.  
1165 N. Clark St., Suite 305  
Chicago, Illinois 60610

with additional copy to:

Andrew E. Kolb, Esq.  
Vanek, Larson & Kolb, LLC  
200 W. Main Street  
St. Charles, Illinois 60174  
Phone: 630-513-9800  
Fax: 630-513-9802

**akolb@vklawfirm.com**

## NONRESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: CVS/Retail – NWC of Rte. 38 and S. 14<sup>th</sup> Street

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR	Ordinance #:	
Minimum Lot Area	1 Ac.		2.17 Ac. (Lot 1) 0.55 Ac. (Lot 2)
Minimum Lot Width	None		-
Maximum Building Coverage	30%		14% (Lot 1) 19% (Lot 2)
Maximum Gross Floor Area per Building	None		-
Maximum Building Height	40 ft		22'-4" (Lot 1) 20'-4" (Lot 2)
Front Yard	20 ft (Building and Paving)		20 ft (Lots 1&2) (Bldg and Paving)
Interior Side Yard	15 ft (Building) None (Paving)		6 ft (Lot 1) 39 ft (Lot 2)
Exterior Side Yard	20 ft (Building and Paving)		55' (Lot 1) 32' (Lot 2)
Minimum Rear Yard	30 ft (Building) None (Paving)		115' (Lot 1) 52' (Lot 2)
Landscape Buffer Yard <sup>2</sup>	None		-
% Overall Landscaped Area	15%		29% (Lots 1 & 2)
Building Foundation Landscaping	8' wide		None (Lot 1) 4' N, 3' W (Lot 2)
% Interior Parking Lot Landscaping	10% (4,486 sf)		3,769 sf (Lots 1 & 2)
Interior Parking Lot Shade Trees	4,486/160=28 trees		16 trees (Lots 1 & 2)
# of Parking spaces	53 Spaces (Lot 1) 19 Spaces (Lot 2)		72 Spaces (Lot 1) 19 Spaces (Lot 2)
Parking Stall Dimensions	9'x18'		9'x18'
Drive-through Stacking Spaces (if applicable)	5 spaces (Lot 1) 0 Spaces (Lot 2)		7 spaces (Lot 1) 0 Space (Lot 2)

<sup>2</sup>Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, RT or RM District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.

# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

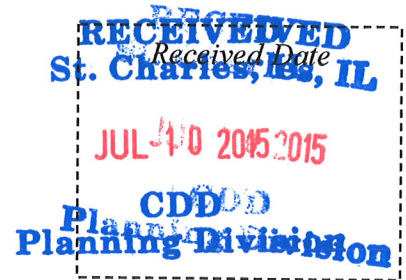


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## PUD PRELIMINARY PLAN APPLICATION

<b>For City Use</b>	
Project Name:	<u>1500 Rt. 38 - CVS</u>
Project Number:	<u>2015 -PR- 013</u>
Application Number:	<u>2015 -AP- 021</u>



*To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.*

*When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.*

*The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: 1500 Route 38, St. Charles, Illinois 60174	
	Parcel Number (s): 09-33-329-054	
	Proposed PUD Name: 1500 Route 38 Planned Unit Development	
<b>2. Applicant Information:</b>	Name TMC Illinois, LLC, an Indiana Limited Liability Company	Phone c/o Andrew E. Kolb, Esq. (630) 513-9800
	Address c/o Andrew E. Kolb, Esq. Vanek, Larson, & Kolb, LLC 200 W. Main St. St. Charles, Illinois 60174	Fax (630) 513-9802
		Email akolb@vklawfirm.com
<b>3. Record Owner Information:</b>	Name 1500 Lincoln Highway, LLC an Illinois Limited Liability Company	Phone c/o David Meek, Esq. (847) 433-2442, Ext 153
	Address c/o David Meeks, of Counsel Becker Gurian, 513 Central Ave. Suite 400 Highland Park, IL 60035-3266 with copy to: Keating Resources, 719 Shady Ave., Geneva, IL 60134, attn: Gerard I. Keating	Fax (847) 433-2025
		Email david@beckergurian.com

**Please check the type of application:**

- New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development**
  - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

**Subdivision of land:**

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
  - Final Plat of Subdivision Application filed concurrently
  - Final Plat of Subdivision Application to be filed later

**Attachment Checklist:**

*If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

*Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.*

- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

- REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

□ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

□ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

□ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

□ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

□ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

□ **SITE/ENGINEERING PLAN:**

**PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
  - Location, height, intensity and fixture type of all proposed exterior lighting
  - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:



- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

□ **ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

□ **TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, “Tree Preservation Requirements for Preliminary Plans”.

□ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

□ **STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

□ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

**☐ PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

**☐ SCHEDULE: Construction schedule indicating:**

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

**☐ PARK AND SCHOOL LAND/CASH WORKSHEETS**

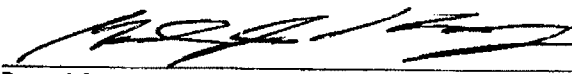
For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

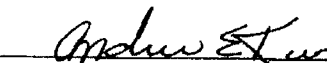
**☐ INCLUSIONARY HOUSING SUMMARY & WORKSHEET:**

For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

  
Record Owner \_\_\_\_\_ Date 7/8/15

  
Applicant or Authorized Agent \_\_\_\_\_ Date 7/8/15

**CITY OF ST. CHARLES**  
TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

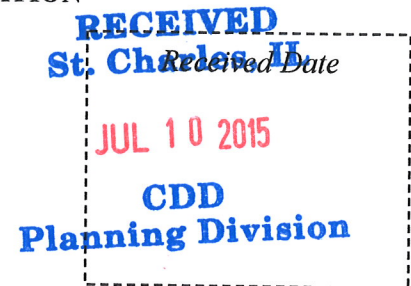


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**PRELIMINARY PLAT OF SUBDIVISION APPLICATION**

<b>For City Use</b>	
Project Name:	<u>1500 Rt. 38 - CVS</u>
Project Number:	<u>2015 -PR- 013</u>
Application No.	<u>2015 -AP- 022</u>



*To request preliminary approval of a subdivision, complete this application and submit it with all required attachments to the Planning Division.*

*When the application is complete City staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the proposed subdivision on a Plan Commission meeting agenda.*

*The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: 1500 Route 38, St. Charles, Illinois 60174	
	Parcel Number (s): 09-33-329-054	
	Proposed Subdivision Name: 1500 Route 38 Planned Unit Development	
<b>2. Applicant Information:</b>	Name TMC Illinois, LLC, an Indiana Limited Liability Company	Phone c/o Andrew E. Kolb, Esq. (630) 513-9800
	Address c/o Andrew E. Kolb, Esq. Vanek, Larson, & Kolb, LLC 200 W. Main St. St. Charles, Illinois 60174	Fax (630) 513-9802
		Email akolb@vklawfirm.com
<b>3. Record Owner Information:</b>	Name 1500 Lincoln Highway, LLC an Illinois Limited Liability Company	Phone c/o David Meek, Esq. (847) 433-2442, Ext 153
	Address c/o David Meeks, of Counsel Becker Gurian, 513 Central Ave. Suite 400 Highland Park, IL 60035-3266 with copy to: Keating Resources, 719 Shady Ave., Geneva, IL 60134, attn: Gerard I. Keating	Fax (847) 433-2025
		Email david@beckergurian.com

**Please check the type of application:**

- Preliminary Plat of Subdivision** (Final Plat of Subdivision to be filed later)
- Combined Preliminary-Final Review Process** (Final Plat Application filed concurrently)

**This application is not required for:**

- **Minor Subdivision** – File only a Minor Subdivision - Final Plat application (Minor Subdivision per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)
- **Planned Unit Developments - PUD** (The PUD Preliminary Plan Application should be filed instead)

**Attachment Checklist:**

*For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**APPLICATION FEE:**

Application fee in accordance with Appendix A of the Subdivision Code. Refer to attached Schedule of Application Fees.

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Exhibit B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, submit the attached Ownership Authorization form to permit the applicant to act on the owner's behalf. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions*

*or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

❑ **LEGAL DESCRIPTION:**

For entire subject property, on 8 1/2 x 11 inch paper

❑ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

❑ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

❑ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

❑ **PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans.

❑ **STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached).

**☐ TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

**☐ DEPARTURES FROM SUBDIVISION CODE STANDARDS:**

List any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and reasons for requesting each departure.

**☐ PARK AND SCHOOL LAND/CASH WORKSHEETS**


For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

**☐ INCLUSIONARY HOUSING SUMMARY & WORKSHEET:**

For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18. Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**


7-8-15  
 \_\_\_\_\_  
 Record Owner Date

  
 \_\_\_\_\_  
 Applicant or Authorized Agent 7/8/15  
Date

**CITY OF ST. CHARLES**  
 TWO EAST MAIN STREET  
 ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

**FINAL PLAT OF SUBDIVISION APPLICATION**

<b>For City Use</b>	
Project Name:	_____
Project Number:	_____ -PR- _____
Application Number:	_____ -AP- _____

<i>Received Date</i>
----------------------

*To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.*

*When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.*

*The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.*

<b>1. Property Information:</b>	Location: 1500 Route 38, St. Charles, Illinois 60174	
	Parcel Number (s): 09-33-329-054	
	Proposed Subdivision Name: 1500 Route 38 Planned Unit Development	
<b>2. Applicant Information:</b>	Name TMC Illinois 2, LLC, an Indiana Limited Liability Company	Phone c/o Andrew E. Kolb, Esq. (630) 513-9800
	Address c/o Andrew E. Kolb, Esq. Vanek, Larson & Kolb, LLC 200 W. Main Street St. Charles, Illinois 60174	Fax (630) 513-9802
		Email akolb@vlklawfirm.com
<b>3. Record Owner Information:</b>	Name 1500 Lincoln Highway, LLC, an Illinois Limited Liability Company	Phone c/o David Meeks, Esq. (847) 433-2442 Ext. 153
	Address c/o David Meeks, Of Counsel, Becker Gurian 513 Central Avenue, Suite 400, Highland Park, IL 60035 with copy to: Keating Resources, 719 Shady Ave., Geneva, IL 60134 ; Attn: Gerard Keating	Fax (847) 433-2025
		Email david@beckergurian.com

**Please check the type of application:**

- Subdivision:**
  - Preliminary Subdivision Plat was previously approved by the City
  - Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)
- Planned Unit Development (PUD):**
  - PUD Preliminary Plan was previously approved by the City
  - Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
  - PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

**Attachment Checklist:**

*For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**APPLICATION FEE:**

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

**REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**PROOF OF OWNERSHIP and DISCLOSURE:**

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).



*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

**□ PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

**□ SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

**□ FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

**□ ENGINEER'S COST ESTIMATE SPREADSHEET:**

See attached form.

**□ STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)**

**□ STORMWATER REPORT**

**□ FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT**

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

*A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.*

**□ COPIES OF THIRD PARTY PERMIT/APPROVALS**

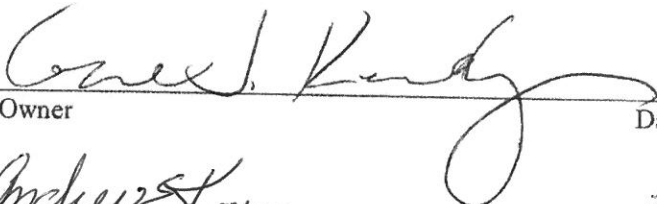
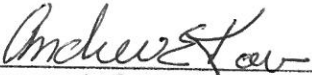
- Illinois EPA Water Pollution Control Permit for sanitary sewer extension

- Illinois EPA Division of Public Water Supplies Permit for water mains
- Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
- IDNR Office of Water Resources Permit (for work in flood plain)
- Wetlands Permit from Army Corps of Engineers
- Kane County DOT and/or IDOT signature on Final Plat (if applicable)
- Offsite easements and right of way necessary to construct the required Land Improvements

**WORKSHEETS (Residential Development only)**

- **PARK AND SCHOOL LAND/CASH WORKSHEETS:** For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.
- **INCLUSIONARY HOUSING WORKSHEET**

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

Record Owner	Date
	7/31/15
Applicant or Authorized Agent	Date
	7/31/15

**OWNER'S CONSENT TO DEVELOPMENT APPLICATION**

To: City of St. Charles, Illinois

Re: Development Application no. \_\_\_\_\_

Applicant / Petitioner: TMC Illinois 2, LLC


Property: The property that is the subject of this Application is approximately 2.7267 acres in dimension (i.e. including Lot 1 and Lot 2) and is located at the Northwest Corner of Lincoln Highway (IL. Route 38) and 14<sup>th</sup> Street in the Municipality of St. Charles, Illinois.

The undersigned, acting on behalf of the property owners, 1500 Lincoln Highway, LLC, an Illinois limited liability company, being the owner of record of the property which is the subject of the above-referenced Development Application ("**Subject Property**"), hereby consent to the filing and processing of the said Development Application by the applicant, TMC Illinois 2, LLC ("**Applicant**").

Dated: July 8, 2015

**OWNER:**

**1500 LINCOLN HIGHWAY, LLC**  
**an Illinois limited liability company**

By:   
Name: Gerard Keating  
Its: Manager

State of Indiana        )  
County of Hamilton    ) ss.

To: City of St. Charles, Illinois

**CERTIFICATION OF IDENTITY OF APPLICANT'S OFFICERS AND MEMBERS**

The undersigned, Thomas M. Crowley, being first duly sworn on oath, states that the following are the all of the managers and members of the Applicant, TMC Illinois 2, LLC, an Indiana limited liability company:

**Names of Members Having Greater Than a 7.5% Interest**

TMC FFS Developers 2, LLC, an Indiana limited liability company, being the 100% member of TMC Illinois 2, LLC (the Applicant).

<b><u>Name of Manager of TMC FFS Developers 2, LLC</u></b>	<b><u>Address of Manager</u></b>	<b><u>Telephone # of Manager</u></b>
TMC Managers, Inc. an Indiana corporation	501 Pennsylvania Pkwy, Suite 160 Indianapolis, Indiana 46280	317-574-7332

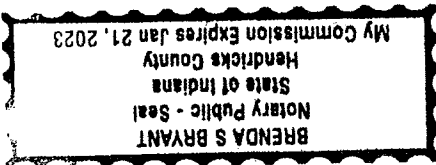
Dated this 9<sup>th</sup> day of July, 2015

TMC Illinois 2, LLC  
By: TMC Managers, Inc.

By: Christine Daumeyer  
Christine Daumeyer

Subscribed and sworn to  
before me this  
9<sup>th</sup> day of July, 2015

Brenda S. Bryant  
Notary Public



PRELIMINARY ENGINEERING PLANS  
FOR

**CVS/pharmacy**

LINCOLN HIGHWAY / IL RT 38 & 14TH STREET  
ST. CHARLES, ILLINOIS

**PROJECT TEAM**

DEVELOPER

T.M.C. Illinois 2 LLC  
501 Pennsylvania Parkway, Suite 160  
Indianapolis, IN 46280  
(312) 636 5630 voice  
(317) 574 7336 fax  
Contact: Charlie Haapala

ENGINEER

V3 Companies  
7325 Janes Avenue  
Woodridge, Illinois 60517  
(630) 724 9200 voice  
(630) 724 9202 fax

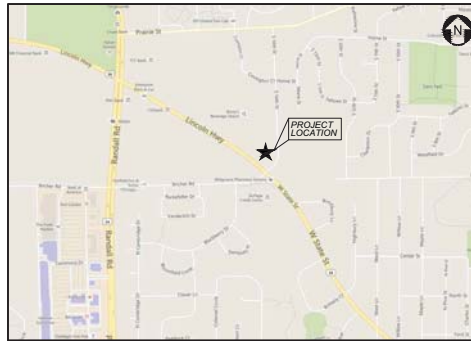
Project Manager : Brad Prischman, P.E., LEED AP  
Project Engineer: Steven Kranenborg

ARCHITECT

NORR, LLC  
719 Griswold Street, Suite 1000  
Detroit, Michigan 48226  
(313) 324 3100 voice  
(313) 324 3111 fax  
Contact: Ashley Dawson

LANDSCAPE ARCHITECT

Daniel Weinbach & Partners  
53 W. Jackson Boulevard, Suite 250  
Chicago, Illinois 60604  
(312) 427 2888 voice  
(312) 427 7648 fax  
Contact: Wendy Schulenberg



LOCATION MAP  
NO SCALE



VICINITY MAP  
NO SCALE

**INDEX OF DRAWINGS**

- C-0.0 PRELIMINARY TITLE SHEET
- C-1.0 PRELIMINARY LAYOUT AND PAVING PLAN
- C-2.0 PRELIMINARY GRADING / EROSION CONTROL PLAN AND DETAILS
- C-3.0 PRELIMINARY UTILITY PLAN
- C-4.0 PRELIMINARY CONSTRUCTION DETAILS
- C-4.1 PRELIMINARY CONSTRUCTION DETAILS
  
- L-1.0 LANDSCAPE PLAN
- L-2.0 LANDSCAPE DETAILS
- LT-1.0 TREE PRESERVATION PLAN



NEW NORTHERN - 13,225 B

STORE NUMBER: 10660  
LINCOLN HWY / IL RT 38 &  
14TH STREET  
KANE COUNTY  
ST. CHARLES, ILLINOIS  
DEAL TYPE: NEW  
CS PROJECT NUMBER: CS# 85081

**ENGINEER:**



V3 Companies  
7325 Janes Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
630.724.9202 fax  
www.v3co.com

**CONSULTANT:**

ARCHITECT  
NORR, LLC  
719 GRISWOLD STREET, SUITE 1000  
DETROIT, MICHIGAN 48226  
PHONE: (313) 324-3100

LANDSCAPE CONSULTANTS  
DANIEL WEINBACH & PARTNERS  
53 W. JACKSON BLVD., SUITE 250  
CHICAGO, ILLINOIS 60604  
PHONE: (312) 427-2888

**DEVELOPER:**

T.M.  
**CROWLEY**  
& ASSOCIATES  
501 PENNSYLVANIA PARKWAY, SUITE 160  
INDIANAPOLIS, IN 46280  
PHONE: 317.765.8800  
FAX: 317.574.7336

**SEAL:**

**REVISIONS/ SUBMITTALS:**

1	OWNER REVIEW	07-01-15
2	PUD REVIEW	07-06-15

DRAWING BY: DB

DATE: JULY 1, 2015

JOB NUMBER: 07188.149

TITLE: PRELIMINARY TITLE SHEET

SHEET NUMBER: C-0.0

COMMENTS  
NOT RELEASED FOR CONSTRUCTION

010 10407018.149.DWG - 7/01/2015 8:41 AM

**BENCHMARKS**

SOURCE

BENCHMARKS ESTABLISH VIA TRIMBLE VRS NETWORK DATUM IS NAVD83 GROUND SCALE FACTOR: 1.000576768  
STATION DESIGNATION: IL KANE 18 38 8 (PID A3J012) ELEVATION: 708 (PUBLISHED), 707.90 (MEASURED) DATUM: NAVD83  
DESCRIPTION: THE STATION IS LOCATED 200 FT WEST OF CENTERLINE OF KANEVILLE RD, 61.6 FT NORTH OF FABYAN PARKWAY CENTERLINE, 168.4 FT EAST OF A 48 INCH MAPLE TREE, 115 FT NORTHEAST TO THE CORNER OF A GUARDRAIL CROSSING MILL CREEK, 300 FT EAST OF THE CENTERLINE OF MILL CREEK, 190 FT NORTH OF PK NAIL IN POWER POLE, AND 2 FT SOUTH OF ORANGE FIBERGLASS WITNESS POST. NOTE - ACCESS TO DATUM POINT THROUGH 6 INCH LOGO CAP. DATUM POINT IS 0.45 FT BELOW CAP.  
STATION DESIGNATION: IL KANE 20 40 8 (PID A3J022) ELEVATION: 771 (PUBLISHED), 770.83 (MEASURED) DATUM: NAVD83  
DESCRIPTION: STATION IS LOCATED 85 FT SOUTH OF CENTERLINE OF CRANE RD, 56 FT WEST OF CENTERLINE OF RANDALL RD, 155 FT SOUTHWEST OF POWER POLE, 122 FT SOUTH SOUTHEAST OF PP, 85 FT NORTHEAST OF PP, 34 FT EAST OF FENCE LINE, 4.4 FT EAST OF CONCRETE DITCH, 53 FT SOUTH SOUTHEAST OF 24 INCH CONCRETE CULVERT, AND 2 FT EAST OF ORANGE FIBERGLASS WITNESS. NOTE - ACCESS TO DATUM POINT THROUGH 6 INCH LOGO CAP. DATUM POINT IS 0.57 FT BELOW CAP.

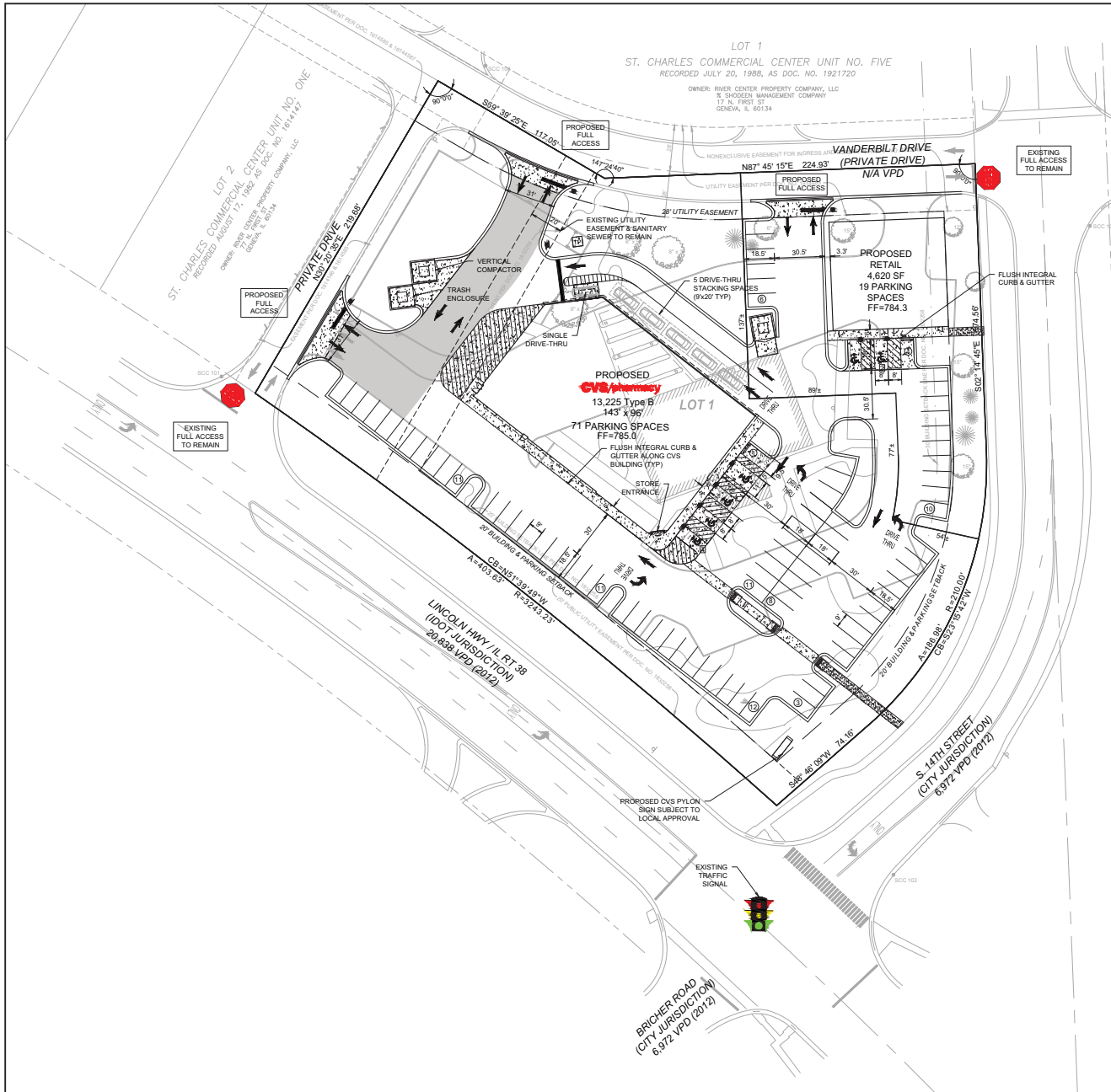
SITE

STATION DESIGNATION: SBM #1 ESTABLISHED BY: V3 DATE: 03-31-15 ELEVATION: 782.03 (MEASURED) DATUM: NAVD83  
DESCRIPTION: TAG BOLT ON FIRE HYDRANT ON THE WEST SIDE OF 14TH STREET, 15% SOUTHERLY FROM NORTHEAST CORNER OF SURVEYED PROPERTY.  
STATION DESIGNATION: SBM #2 ESTABLISHED BY: V3 DATE: 03-31-15 ELEVATION: 782.66 (MEASURED) DATUM: NAVD83  
DESCRIPTION: TAG BOLT ON FIRE HYDRANT ON THE WEST SIDE OF 14TH STREET, NEAR SOUTHEAST CORNER OF SURVEYED PROPERTY.  
STATION DESIGNATION: SBM #3 ESTABLISHED BY: V3 DATE: 03-31-15 ELEVATION: 786.00 (MEASURED) DATUM: NAVD83  
DESCRIPTION: NORTHWESTERLY FLANGE BOLT ON FIRE HYDRANT ON WEST SIDE OF ENTRANCE TO SMALL PARKING LOT AT NORTHWEST CORNER OF SURVEYED PROPERTY.



Joint  
Utility  
Locating  
Information  
for  
Excavators

Call 48 hours before you dig



- NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
  3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  4. ALL CURB AND GUTTER SHALL BE 66.12 UNLESS OTHERWISE NOTED.
  5. REFER TO UTILITY PLAN FOR PROPOSED EASEMENTS.
  6. ALL SITE SIGNAGE SHALL BE IN CONFORMANCE WITH M.U.T.C.D.
  7. WITHIN GREENSPACE AREAS WITHIN RIGHT-OF-WAY, CVS GENERAL CONTRACTOR SHALL GRADE DISTURBED AREAS TO POSITIVELY DRAIN, DISPOSE OF SURPLUS EXCAVATION SPOILS OFF-SITE, RESTORE DISTURBED AREAS WITH TOPSOIL MATERIAL AND SEEDED BLANKET PER THE LANDSCAPE PLAN(S) AND SPECIFICATIONS, CITY SPECIFICATIONS AND/OR ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT) SPECIFICATIONS.

**PAVING LEGEND**  
(PAVEMENT THICKNESSES TO BE DETERMINED BY GEOTECHNICAL ENG.)

REGULAR BITUMINOUS PAVEMENT	1.5" HOT MIX ASPHALT SURFACE COURSE, M.X.D. N60 2" HOT MIX ASPHALT BINDER COURSE, I.B. N60 PRIMECOAT PER ARTICLE 4.6 OF DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 3" AGGREGATE BASE COURSE
HEAVY DUTY BITUMINOUS PAVEMENT	1.5" HOT MIX ASPHALT SURFACE COURSE, M.X.D. N60 2" HOT MIX ASPHALT BINDER COURSE, I.B. N60 PRIMECOAT PER ARTICLE 4.6 OF DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 3" AGGREGATE BASE COURSE
CONCRETE PAVEMENT (REINFORCED)	6" P.C. CONCRETE PAVEMENT WITH 66.12 W2.3/W2.9 WWF 4" AGGREGATE BASE COURSE (CA-6)
PRIVATE CONCRETE SIDEWALK WITH INTEGRAL CURB (REINFORCED) - ALONG CVS BUILDING ONLY	6" P.C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE (CA-6)
PUBLIC CONCRETE SIDEWALK (REINFORCED)	6" P.C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE (CA-6)
FULL DEPTH PAVEMENT PATCH	MATCH EXISTING ASPHALT PAVEMENT SECTION

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	[Symbol]	PROPERTY LINE (EXTERIOR)
[Symbol]	[Symbol]	LOT LINE (INTERIOR)
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	FENCE LINE
[Symbol]	[Symbol]	CENTERLINE
[Symbol]	[Symbol]	CURB & GUTTER
[Symbol]	[Symbol]	DEPRESSED CURB & GUTTER

**CURB LEGEND**

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	STANDARD PITCH 66.12 CONCRETE CURB AND GUTTER
[Symbol]	[Symbol]	REVERSED PITCH 66.12 CONCRETE CURB AND GUTTER
[Symbol]	[Symbol]	66.12 CONCRETE DEPRESSED CURB AND GUTTER

**SITE SUMMARY**

ZONING	BR - REGIONAL BUSINESS DISTRICT
SITE AREA	TOTAL: 2.7287 AC. CVS: 2.1166 AC. RETAIL: 0.6121 AC.
<b>PARKING SUMMARY</b>	PROVIDED: CVS PHARMACY: # ACCESSIBLE SPACES: 2 # STANDARD SPACES: 17 TOTAL CVS SPACES: 19 RETAIL SITE: # ACCESSIBLE SPACES: 2 # STANDARD SPACES: 17 TOTAL RETAIL SPACES: 19 REQUIRED MINIMUM (# SPACES PER 1,000 SF): CVS PHARMACY: 63 TOTAL CVS SPACES RETAIL SITE: 19 TOTAL RETAIL SPACES

**CVS pharmacy**  
NEW NORTHERN - 13,225 B  
STORE NUMBER: 10660  
LINCOLN HWY./IL RT 38 & 14TH STREET  
KANE COUNTY  
ST. CHARLES, ILLINOIS  
DEAL TYPE: NEW  
CS PROJECT NUMBER: CS# 85081

**ENGINEER:**  
V3 Companies  
7325 Jones Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
630.724.9202 fax  
www.v3co.com

**CONSULTANT:**  
ARCHITECT  
NORR, LLC  
719 ORISWOLD STREET, SUITE 1000  
DETROIT, MICHIGAN 48226  
PHONE: (313) 264-5100  
LANDSCAPE CONSULTANTS  
DANIEL WEINBACH & PARTNERS  
53 W. JACKSON BLVD., SUITE 250  
CHICAGO, ILLINOIS 60604  
PHONE: (312) 427-2888

**DEVELOPER:**  
T.M. CROWLEY & ASSOCIATES  
501 PENNSYLVANIA PARKWAY, SUITE 160  
INDIANAPOLIS, IN 46280  
PHONE: 317.705.8800  
FAX: 317.574.7336

**SEAL:**

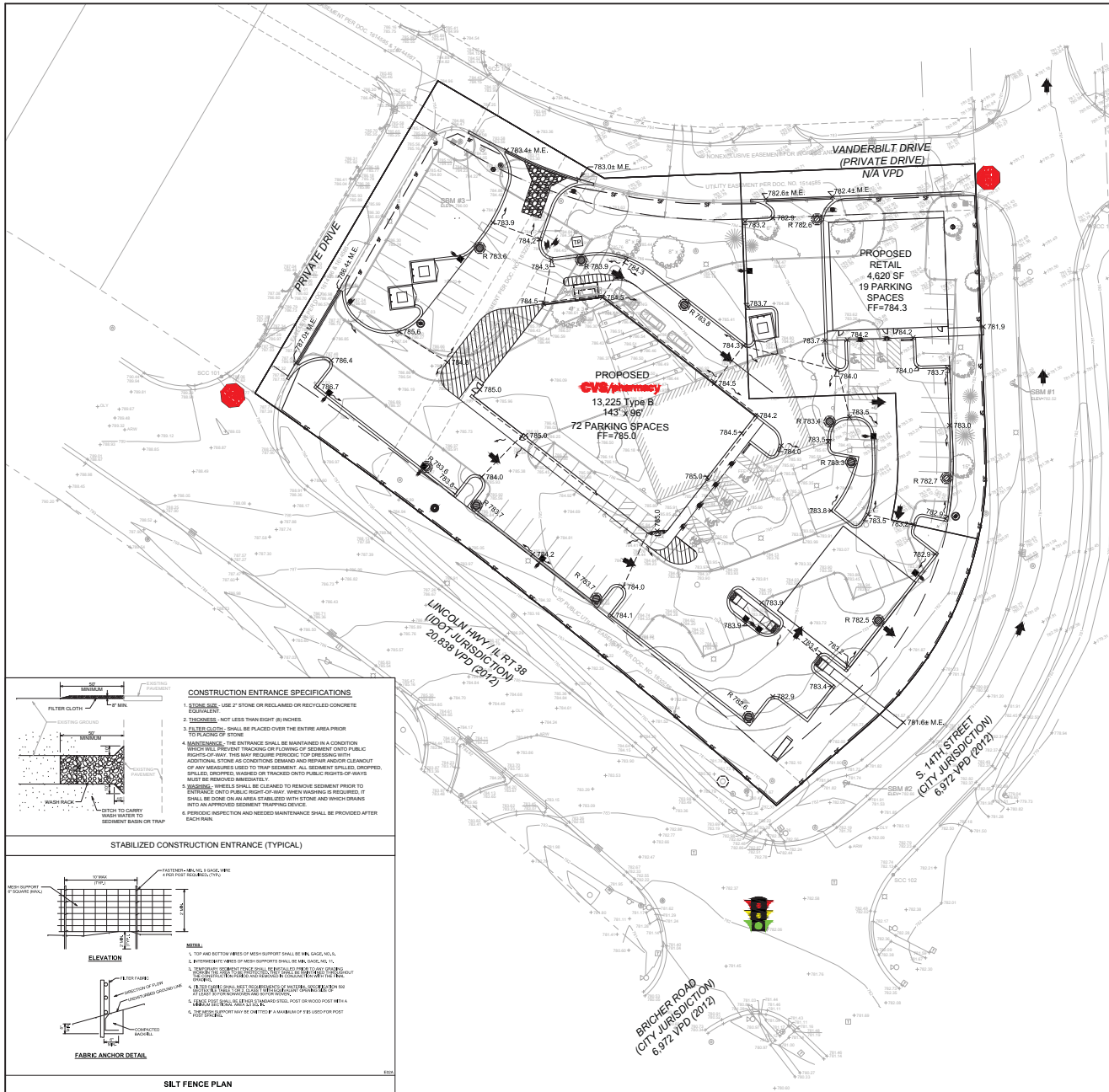
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DRAWING BY: DB  
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TITLE: PRELIMINARY LAYOUT AND PAVING PLAN  
SHEET NUMBER:

**C-1.0**

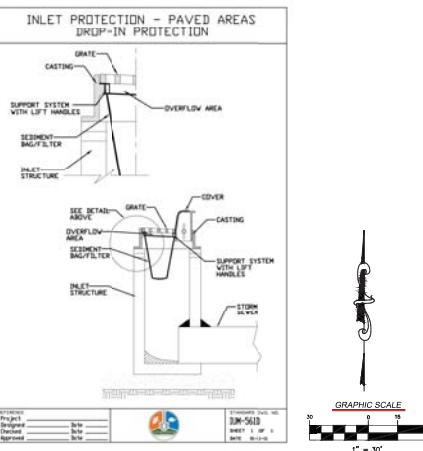
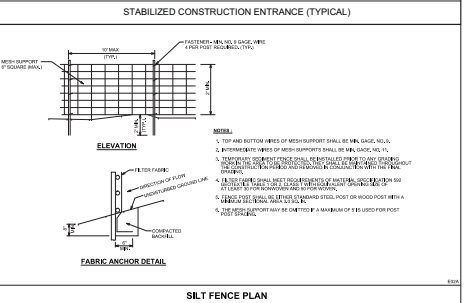
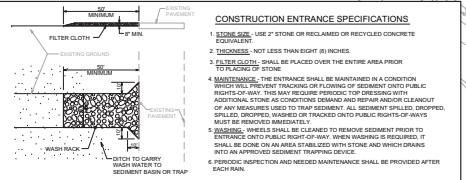
COMMENTS  
NOT RELEASED FOR CONSTRUCTION



- GENERAL NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURBS AND GUTTERS REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
  2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
  3. PROVIDE 1.5% MAX (1.0% MIN) CROSS SLOPE AND 4.0% MAX LONGITUDINAL SLOPE ON ALL SIDEWALKS TO COMPLY WITH THE ILLINOIS ACCESSIBILITY CODE.
  4. MINIMUM OF 6" OF TOPSOIL SHALL BE RESPIRED IN ALL DISTURBED AND NON-PAVED AREAS. SEE LANDSCAPE PLANS FOR ADDITIONAL REQUIREMENTS. GREENSPACE AREA SUBGRADE SHALL BE COMPACTED A MINIMUM OF 91% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).
  5. EXISTING GRADING AND UTILITY INFORMATION SHOWN IS BASED ON BEST AVAILABLE RECORDS AT THIS TIME. SITE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS BEFORE ORDERING MATERIALS OR STARTING WORK.
  6. SEE GEOTECHNICAL SUBSURFACE REPORT BY ECS MIDWEST, LLC, DATED APRIL 13, 2015 FOR RECOMMENDATIONS.
  7. BUILDING SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY, AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) 3,000+ PSI BEARING (MINIMUM). CONTRACTOR TO IMPORT FILL BENEATH BUILDING PAD; IF REQUIRED, FILL SHALL BE IMPORTED FROM LOCAL QUARRY OR SUPPLIER (CONTRACTOR TO IDENTIFY MATERIAL SOURCE AND AT LEAST ONE ALTERNATE SOURCE IN BID). MATERIAL SHALL BE FROST RESISTANT.
  8. PAVEMENT SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY, AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) 3,000+ PSI BEARING (MINIMUM).
  9. WITHIN GREENSPACE AREAS WITHIN RIGHT-OF-WAY, CVS GENERAL CONTRACTOR SHALL GRADE DISTURBED AREAS TO POSITIVELY DRAIN. DISPOSE OF SURPLUS EXCAVATION SOILS OFF-SITE, AND RESTORE DISTURBED AREAS WITH TOPSOIL MATERIAL AND SPECIFICATIONS AND/OR CITY / KANE COUNTY SPECIFICATIONS.
  10. EROSION CONTROL TO BE PROVIDED AND MAINTAINED PER KANE COUNTY, EPA AND CITY REQUIREMENTS.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		CONTOUR
		SPOT ELEVATION
		STORMWATER FLOW DIRECTION
		STORMWATER OVERFLOW ROUTE



**CVS pharmacy**  
 NEW NORTHERN - 13,225 B  
 STORE NUMBER: 10660  
 LINCOLN HWY / ILL RT 38 & 14TH STREET  
 KANE COUNTY  
 ST. CHARLES, ILLINOIS  
 DEAL TYPE: NEW  
 CS PROJECT NUMBER: CS# 85081

**ENGINEER:**  
  
 V3 Companies  
 7325 James Avenue  
 Woodridge, IL 60077  
 630.724.9200 phone  
 630.724.9202 fax  
 www.v3co.com

**CONSULTANT:**  
 ARCHITECT  
 NORR, LLC  
 719 ORISWOLD STREET, SUITE 1000  
 DETROIT, MICHIGAN 48226  
 PHONE: (313) 264-3100

LANDSCAPE CONSULTANTS  
 DANIEL WEINBACH & PARTNERS  
 53 W. JACKSON BLVD., SUITE 250  
 CHICAGO, ILLINOIS 60604  
 PHONE: (312) 427-2888

**DEVELOPER:**  
 T.M.  
**CROWLEY & ASSOCIATES**  
 501 PENNSYLVANIA PARKWAY, SUITE 160  
 INDIANAPOLIS, IN 46280  
 PHONE: 317.705.8800  
 FAX: 317.574.7398

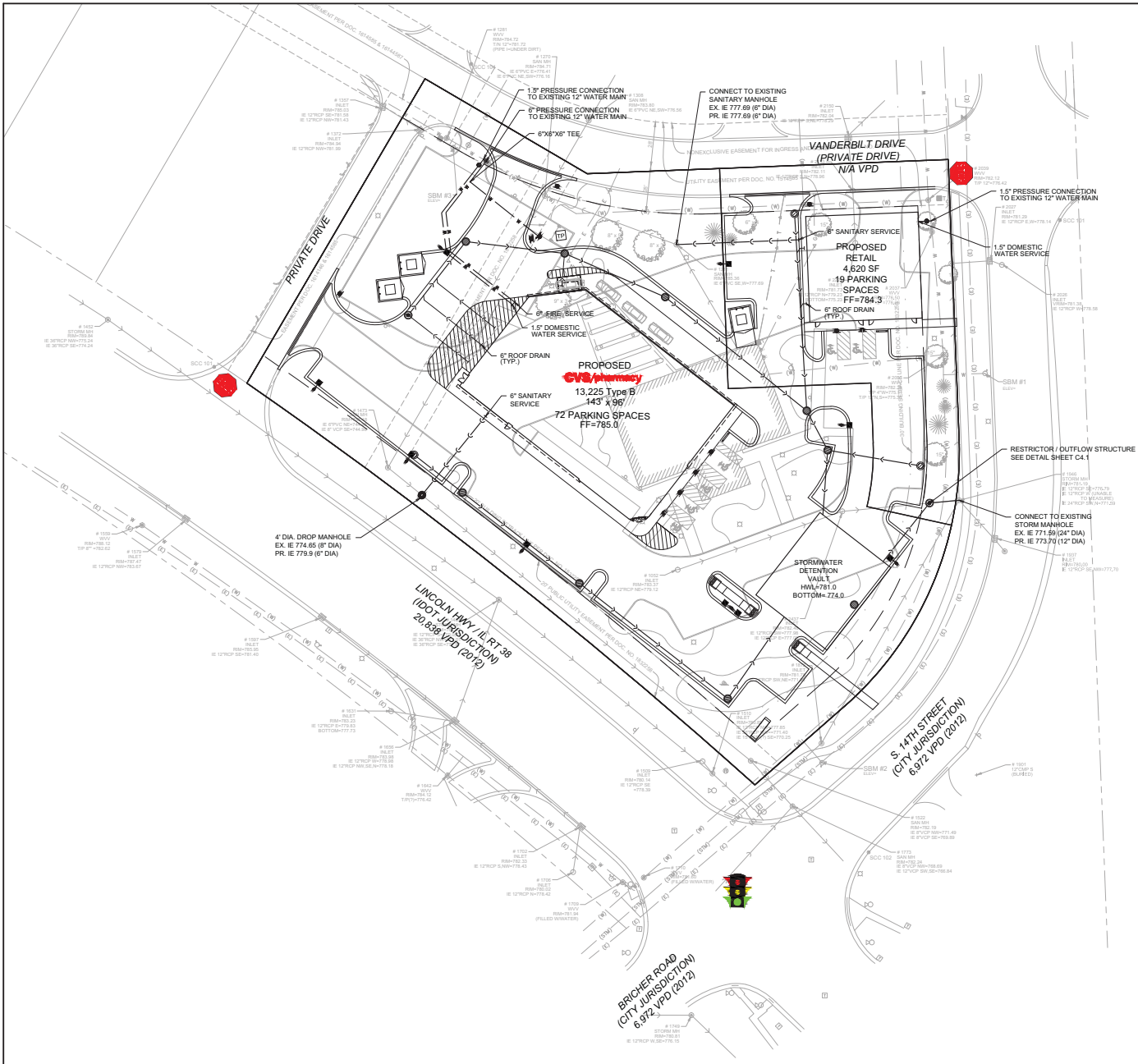
**SEAL:**

REVISIONS/ SUBMITTALS:  
 1 OWNER REVIEW 07-01-15  
 2 PUD REVIEW 07-06-15

DRAWING BY: DB  
 DATE: JULY 1, 2015  
 JOB NUMBER: 07188.149  
 TITLE: PRELIMINARY GRADING / EROSION CONTROL PLAN & DETAILS  
 SHEET NUMBER: C-2.0

COMMENTS  
 NOT RELEASED FOR CONSTRUCTION

CGI 0807198.H42.DWG - 7/1/2015 8:50 AM



**NOTES:**

- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. SITE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS DURING CONSTRUCTION.
- UNDERGROUND UTILITY INFORMATION IS BASED ON SURVEY DOCUMENTS PREPARED BY V3 COMPANIES, ATLAS INFORMATION AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR TO CALL LULULEE HOTLINE (81 OR 1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- FOR PROPOSED STRUCTURES ALONG CURB LINE REFER TO MANHOLE LOCATION DETAIL IN CONSTRUCTION DETAILS.
- UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2504 OR APPROVED EQUAL AND FRAME AND CLOSED LID STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1713 OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL ALSO CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.
- STORM AND SANITARY STRUCTURES SHALL BE TYPE "A" UNLESS OTHERWISE NOTED.
- SEE LANDSCAPE PLAN FOR PROPOSED TREE LOCATIONS.
- ALL STRUCTURE LIDS SHALL BE MARKED "STORM SERVICE", "SANITARY SERVICE" OR "WATER MAIN" AS APPROPRIATE.
- SEE SITE ELECTRICAL PLANS BY NORR, LLC FOR ELECTRICAL ROUTING AND DETAILS.
- THRUST BLOCKS ARE REQUIRED AT ALL BENDS, TEES, AND PLUGS FOR ALL PROPOSED WATER MAIN.
- ALL WATER MAIN SHALL BE DUCTILE-IRON PIPE CLASS 52 WITH PUSH-ON TYPE JOINTS UNLESS OTHERWISE SPECIFIED.
- CVS GENERAL CONTRACTOR TO RESTORE OFF-SITE EXCAVATION LIMITS DISTURBED BY UTILITY COMPANIES INSTALLING SERVICES FOR THE CVS DEVELOPMENT PER THE TURF RESTORATION REQUIREMENTS NOTED ON APPLICABLE LANDSCAPE DRAWINGS. CVS GENERAL CONTRACTOR SHALL GRADE DISTURBED AREAS TO POSITIVELY DRAIN, DISPOSE OF SURPLUS EXCAVATION SPOOLS OFF SITE, AND RESTORE DISTURBED AREAS WITH TOPSOIL MATERIAL AND SEEDING BLANKET PER THE LANDSCAPE PLANS) AND SPECIFICATIONS, CITY SPECIFICATIONS AND/OR DUPAGE COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- POLYETHYLENE ENCLOSURE SHALL BE PROVIDED FOR ALL WATER MAIN IMPROVEMENTS.
- ALL STORM SEWER SHALL BE 12" RCP UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE 8" PVC UNLESS OTHERWISE NOTED.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM SEWER
		COMBINED SEWER
		WATER MAIN
		UNDERGROUND FIBER OPTIC
		UNDERGROUND ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD ELECTRIC
		OVERHEAD TELEPHONE
		OVERHEAD WIRE
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		LIGHT STANDARD
		OVERHEAD UTILITY POLE

**CVS pharmacy**  
 NEW NORTHERN - 13,225 B  
 STORE NUMBER: 10660  
 LINCOLN HWY / IL RT 38 & 14TH STREET  
 KANE COUNTY  
 ST. CHARLES, ILLINOIS  
 DEAL TYPE: NEW  
 CS PROJECT NUMBER: CS# 85081

**ENGINEER:**  
  
 V3 Companies  
 7325 James Avenue  
 Woodridge, IL 60517  
 630.724.9200 phone  
 630.724.9202 fax  
 www.v3co.com

**CONSULTANT:**  
 ARCHITECT  
 NORR, LLC  
 719 ORISWOLD STREET, SUITE 1000  
 DETROIT, MICHIGAN 48226  
 PHONE: (313) 264-3100  
 LANDSCAPE CONSULTANTS  
 DANIEL WEINBACH & PARTNERS  
 53 W. JACKSON BLVD., SUITE 250  
 CHICAGO, ILLINOIS 60604  
 PHONE: (312) 427-2888

**DEVELOPER:**  
 T.M.  
**CROWLEY & ASSOCIATES**  
 501 PENNSYLVANIA PARKWAY, SUITE 160  
 INDIANAPOLIS, IN 46280  
 PHONE: 317.765.8800  
 FAX: 317.574.7398

**SEAL:**

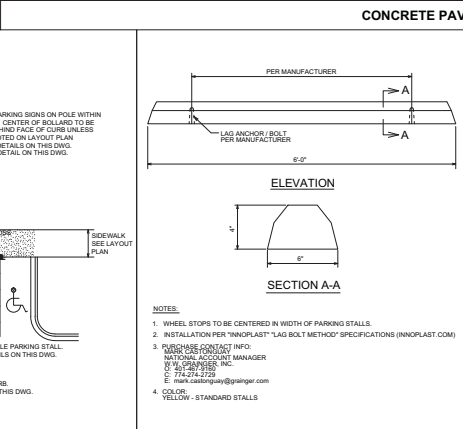
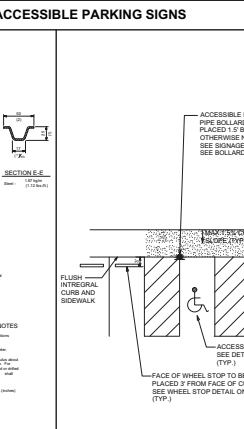
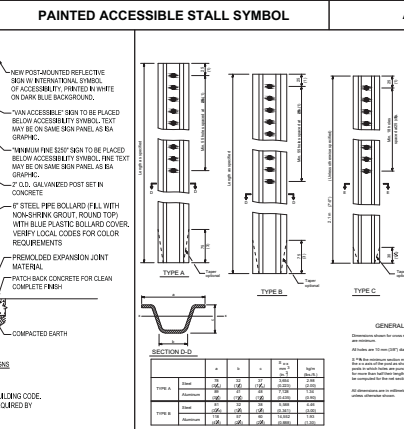
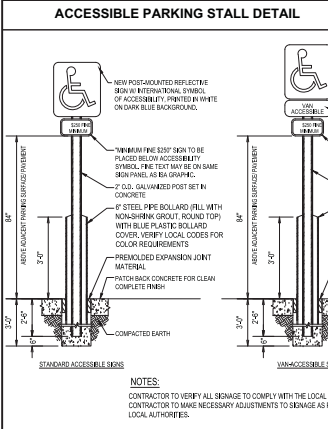
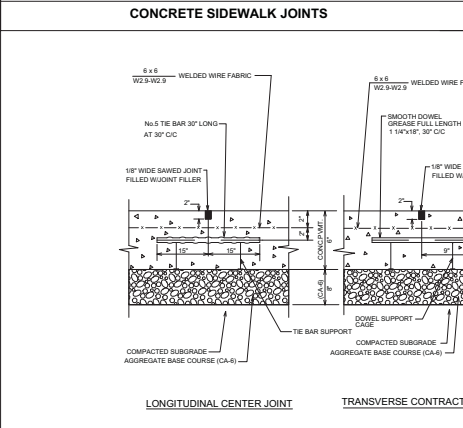
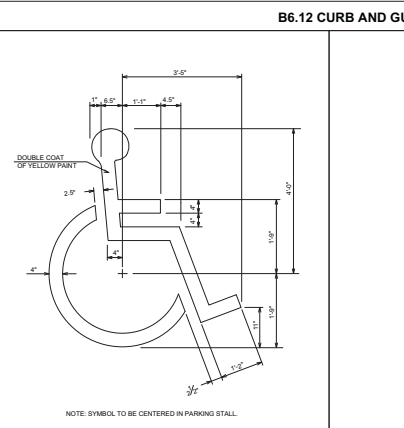
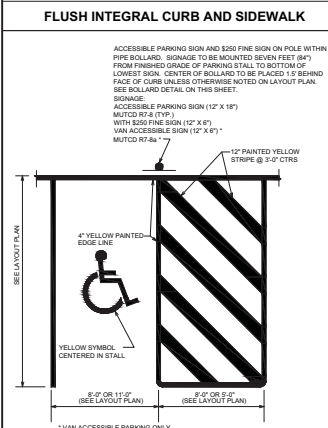
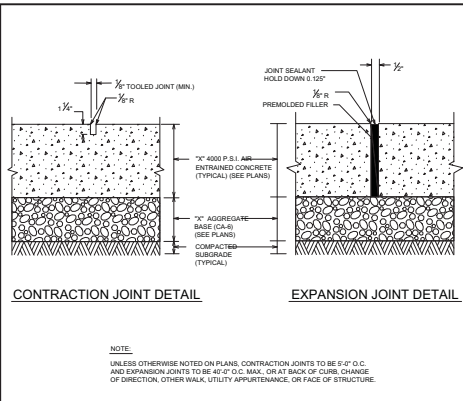
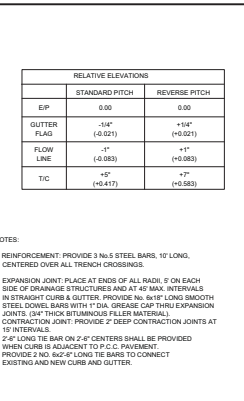
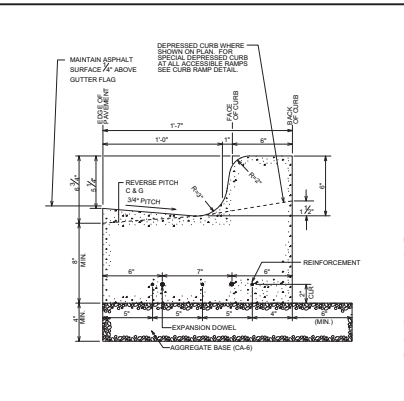
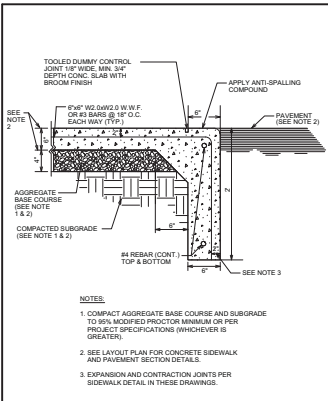
REVISIONS/ SUBMITTALS:	
1 OWNER REVIEW	07-01-15
2 PUD REVIEW	07-06-15

DRAWING BY: DB  
 DATE: JULY 1, 2015  
 JOB NUMBER: 07188.149  
 TITLE: PRELIMINARY UTILITY PLAN  
 SHEET NUMBER:

**C-3.0**

COMMENTS  
 NOT RELEASED FOR CONSTRUCTION





**CVS pharmacy**

NEW NORTHERN - 13,225 B

STORE NUMBER: 10660

LINCOLN HWY I/IL RT 38 & 14TH STREET

KANE COUNTY

ST. CHARLES, ILLINOIS

DEAL TYPE: NEW

CS PROJECT NUMBER: CS# 85081

**ENGINEER:**

**V**

V3 Companies

7325 James Avenue

Woodridge, IL 60517

630.724.9200 phone

630.724.9202 fax

www.v3co.com

**CONSULTANT:**

**ARCHITECT:**

NOHR, LLC

719 ORISWOLD STREET, SUITE 1000

DETROIT, MICHIGAN 48226

PHONE: (313) 264-3100

**LANDSCAPE CONSULTANTS:**

DANIEL WEINBACH & PARTNERS

53 W. JACKSON BLVD., SUITE 250

CHICAGO, ILLINOIS 60604

PHONE: (312) 427-2888

**DEVELOPER:**

T.M.

**CROWLEY & ASSOCIATES**

501 PENNSYLVANIA PARKWAY, SUITE 160

INDIANAPOLIS, IN 46280

PHONE: 317.705.8800

FAX: 317.574.7398

**SEAL:**

**REVISIONS/ SUBMITTALS:**

NO.	OWNER REVIEW	07-01-15
1	PUD REVIEW	07-06-15

**DRAWING BY:** DB

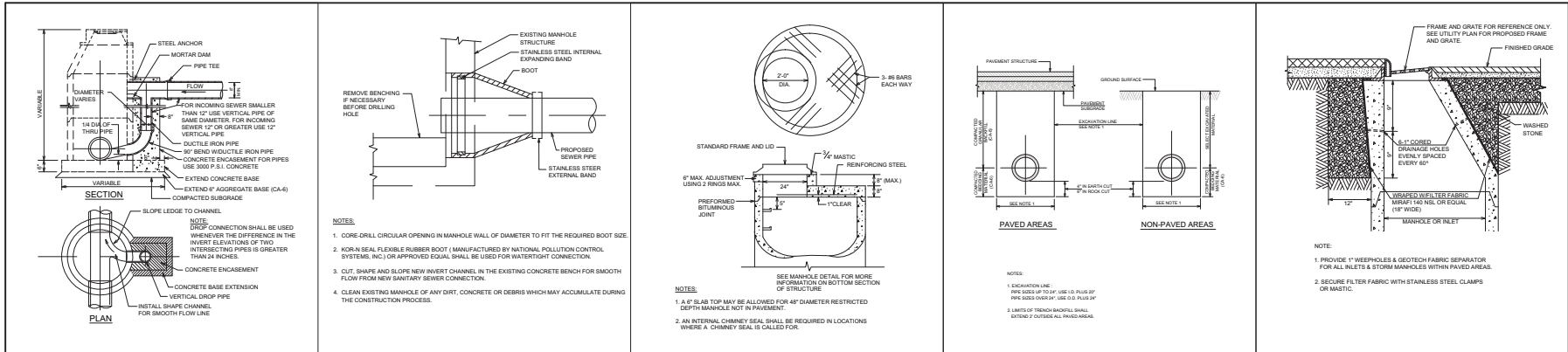
**DATE:** JULY 1, 2015

**JOB NUMBER:** 07188.149

**TITLE:** PRELIMINARY CONSTRUCTION DETAILS

**SHEET NUMBER:** C-4.0

**COMMENTS:** NOT RELEASED FOR CONSTRUCTION



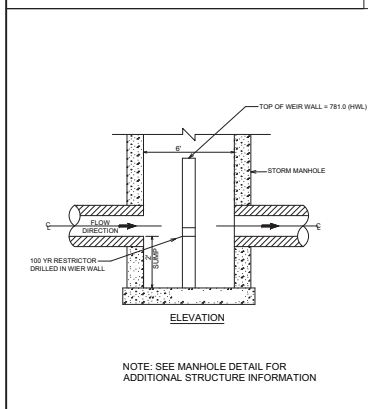
DROP CONNECTION TO SANITARY SEWER MANHOLE

SEWER CONNECTION TO EXISTING MANHOLE

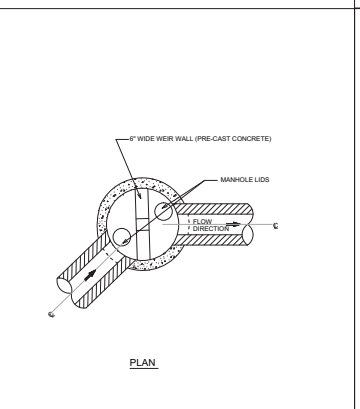
FLAT TOP SLAB FOR RESTRICTED DEPTH MH

TRENCH BACKFILL SECTIONS FOR STORM SEWER

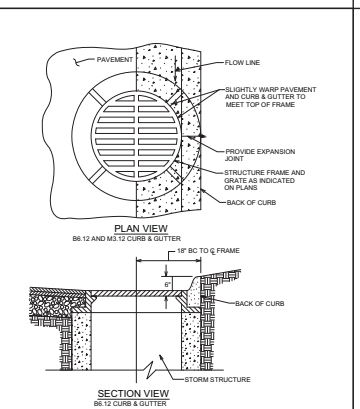
STORM MANHOLE SUBGRADE DRAINAGE



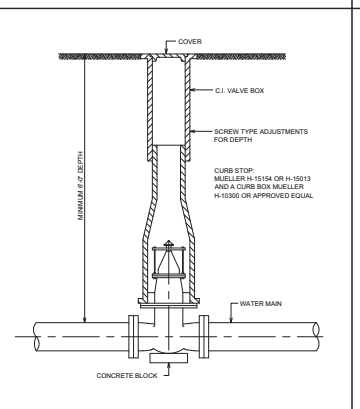
RESTRICTOR MANHOLE DETAIL



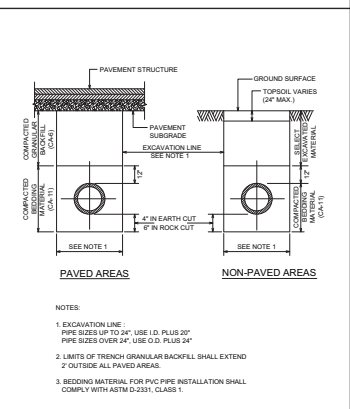
FRAME IN CURB LOCATION DETAIL



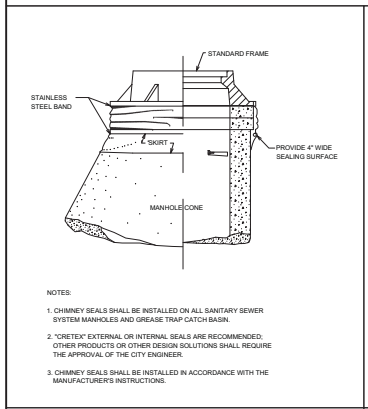
CURB STOP VALVE BOX DETAIL



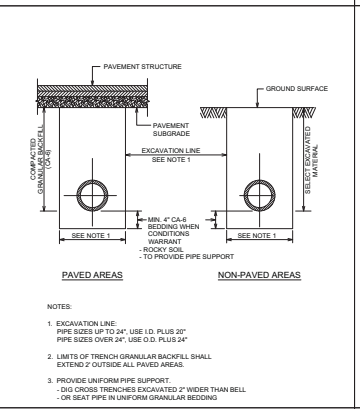
TRENCH BACKFILL SECTIONS FOR PVC SANITARY SEWER



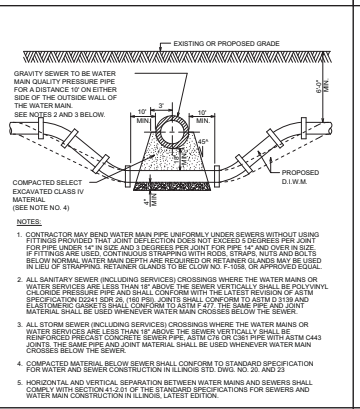
TRENCH BACKFILL SECTIONS FOR WATER MAIN



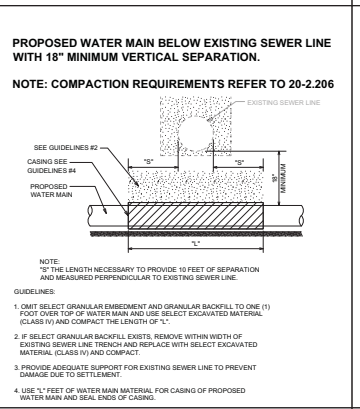
EXTERNAL CHIMNEY SEAL



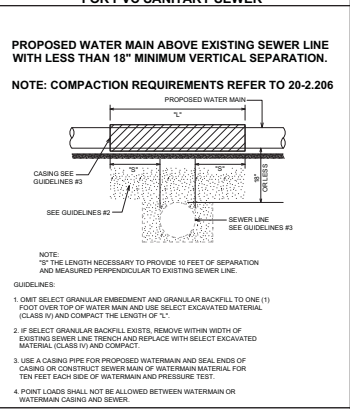
TRENCH BACKFILL SECTIONS FOR WATER MAIN



WATER MAIN CROSSING DETAIL



WATER AND SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)



WATER AND SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)

**CVS**  
pharmacy

NEW NORTHERN - 13,225 B  
STORE NUMBER: 10660  
LINCOLN HWY I-11 RT 38 &  
14TH STREET  
KANE COUNTY  
ST. CHARLES, ILLINOIS  
DEAL TYPE: NEW  
CS PROJECT NUMBER: CS# 85081

ENGINEER:

V3 Companies  
7325 James Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
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PHONE: 317.765.8800  
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SEAL:

REVISIONS/ SUBMITTALS:

1	OWNER REVIEW	07-01-15
2	PUD REVIEW	07-06-15

DRAWING BY: DB  
DATE: JULY 1, 2015  
JOB NUMBER: 07188.149

TITLE:  
**PRELIMINARY CONSTRUCTION DETAILS**

SHEET NUMBER:  
**C-4.1**

COMMENTS  
NOT RELEASED FOR CONSTRUCTION

\* Z = LUMINAIRE MOUNTING HEIGHT A.F.G.

Lum#	Label	X	Y	Z *	Orient	Tilt
1	A	847	273	28	177.709	0
2	A	646	353	28	40.236	0
3	B	658	136	28	90	0
4	B	567	136	28	90	0
5	B	494	136	28	90	0
6	D90	767	320	28	38.167	0
7	F	502	254	28	0	0
8	G2	783	188	28	0	0
9	OB	578	283	9.33	0	0
10	OB	580	281	9.33	0	0
11	OB	582	287	9.33	0	0
12	OB	584	285	9.33	0	0
13	OC	704.2	195.7	18	0	0
14	S2	591.72	288.73	16.66	0	0
15	S6	656.84	193.12	16.66	0	0
16	S6	703.73	288.73	16.66	0	0
17	S6	706.91	244.26	16.66	90	0
18	S6	666.33	265.62	16.66	45	0
19	S6	670.58	269.86	16.66	45	0
20	S6	674.83	274.1	16.66	45	0
21	S6	679.07	278.35	16.66	45	0
22	S6	683.29	282.57	16.66	45	0
23	S6	687.54	286.84	16.66	45	0
24	S6	691.73	288.73	16.66	0	0
25	S6	691.73	288.73	16.66	0	0
26	S6	685.73	288.73	16.66	0	0
27	S6	679.73	288.73	16.66	0	0
28	S6	673.73	288.73	16.66	0	0
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35	S6	631.73	288.73	16.66	0	0
36	S6	625.73	288.73	16.66	0	0
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38	S6	613.73	288.73	16.66	0	0
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41	S6	595.73	288.73	16.66	0	0
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43	S6	706.91	256.26	16.66	90	0
44	S6	706.91	262.26	16.66	90	0
45	S6	706.91	268.26	16.66	90	0
46	S6	706.91	274.26	16.66	90	0
47	S6	706.91	280.26	16.66	90	0
48	S6	706.91	286.26	16.66	90	0
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52	S6	632.84	193.12	16.66	0	0
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60	S6	584.84	193.12	16.66	0	0
61	S6	578.84	193.12	16.66	0	0
62	S6	572.84	193.12	16.66	0	0
63	S6	566.84	193.12	16.66	0	0
64	WP	584.2	207.2	12	180	0
65	WP	584.2	232.2	12	180	0
66	WP	584.2	257.2	12	180	0
67	WS	707.1	220	7	315	0
68	WS	700	193	7	315	0

HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

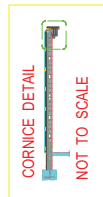
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☐	A	2	CL1-60L-4K-4 (Hubbell Ltg)	SINGLE	141	12036	0.950	0.950	1.000	0.903
☐	B	3	CL1-60L-4K-3-BC (Hubbell Ltg)	SINGLE	143.5	7728	0.950	0.950	1.000	0.903
☐	D90	1	CL1-90L-4K-5M (Hubbell Ltg)	SINGLE	207.8	18522	0.950	0.950	1.000	0.903
☐	F	1	CL1-60L-4K-2-BC (Hubbell Ltg)	SINGLE	141.9	7998	0.950	0.950	1.000	0.903
☐	G2	1	QTY 2 - CL1-90L-4K-5W N2 (Hubbell Ltg)	BACK-BACK	206.9	17394	0.950	0.950	1.000	0.903
○	OB	4	PT2013-E0155	SINGLE	19.9	1130	0.950	0.900	1.000	0.855
○	OC	1	EVO 41/29 8AR 120	SINGLE	48.9	3108	0.950	0.950	1.000	0.903
☐	S2	1	ECVLXWET-2-120-4K-2780	GROUP	N.A.	N.A.	N.A.	N.A.	N.A.	0.903
☐	S6	49	ECVLXWET-6-120-4K-2780	GROUP	N.A.	N.A.	N.A.	N.A.	N.A.	0.903
☐	WP	3	DSXW1 LED 10C 1000 40K TFTM MVOLT	SINGLE	40	3065	0.950	0.950	1.000	0.903
☐	WS	2	AZ-SL-LED75-4K-(2)EBU-BB-CTB-BZ	SINGLE	77.3	5187	0.950	0.950	1.000	0.903

POLE SPEC FOR CIMARRON:

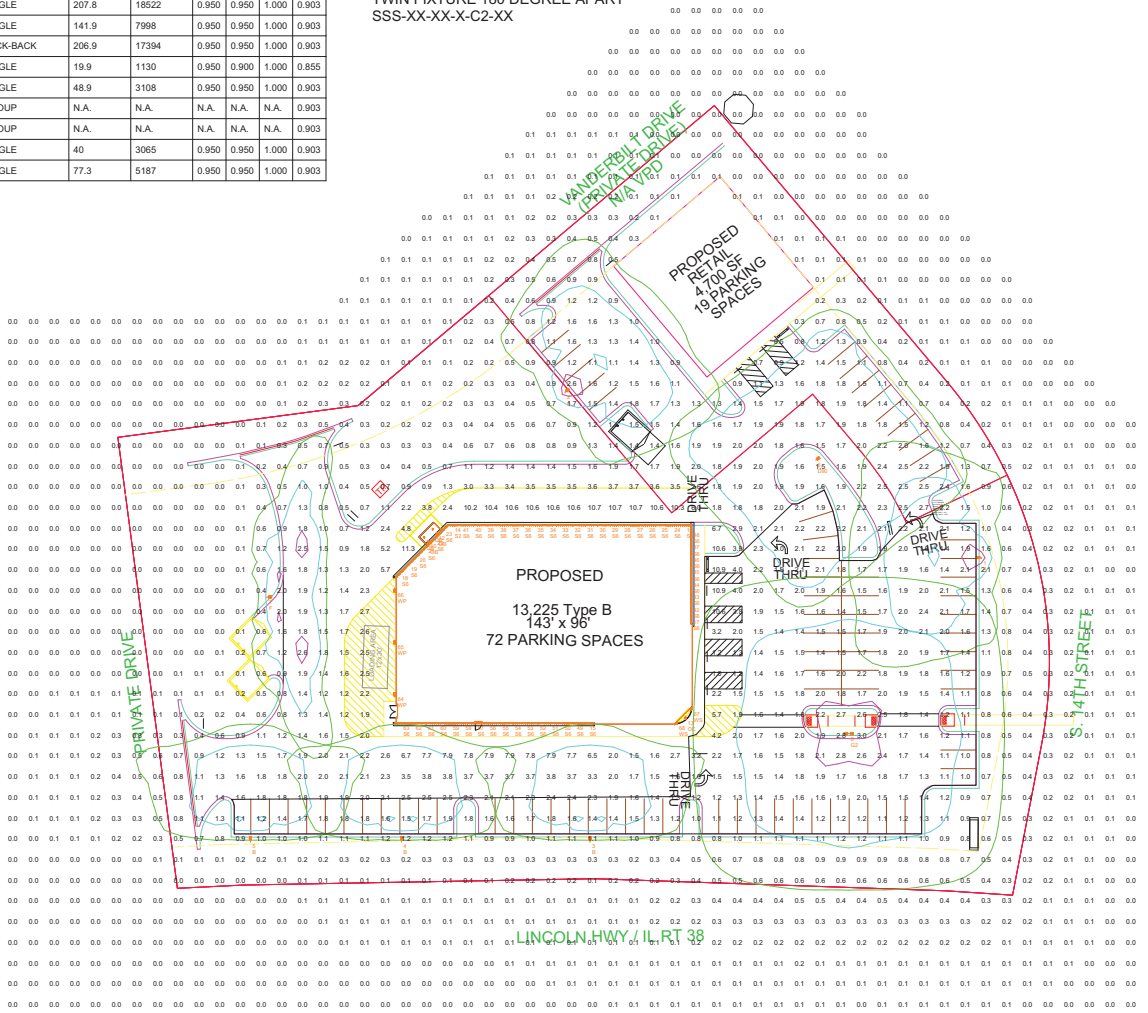
SINGLE FIXTURE  
SSS-XX-XX-X-A2-XX

TWIN FIXTURE 180 DEGREE APART  
SSS-XX-XX-X-C2-XX

Label	Description	Units	Avg	Max	Min	Avg/Min	Max/Min
CVS PARKING	1.0 FC MINIMUM	Fc	1.90	10.9	1.0	1.90	10.90



**FOR PRICING CONTACT**  
**NESCO**  
 40 Hudson Rd  
 Canton, MA 02021  
 Tel: 781-828-9494  
 Fax: 781-575-1398  
 E-Mail: CVSpans@nescoweb.com



1 THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AND FIELD SURVEYING AND MEASUREMENTS ARE THE RESPONSIBILITY OF THE OWNER. HUBBELL LIGHTING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OR THE LOCATION, ORIENTATION, MOUNTING HEIGHT, ETC. PROVIDED BY THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2 LUMINAIRE DATA IS BASED ON MANUFACTURER'S DATA UNDER NORMAL OPERATING CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE.

3 CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

DESIGNED BY: [Signature] DATE: 5/24/2015  
 DRAWN BY: [Signature] DATE: 5/24/2015  
 CHECKED BY: [Signature] DATE: 5/24/2015

**CVS #10660**  
 ST. CHARLES, IL

HUBBELL LIGHTING  
 1100 LINDEN BLVD  
 STURBECK, MA 01581

1575265

NOT A CONSTRUCTION DOCUMENT - FOR DESIGN PURPOSES ONLY



DANIEL WEINBACH  
&  
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Landscape Architects

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LANDSCAPE CALCULATIONS

INTERIOR PARKING LOT LANDSCAPE

10% OF INTERIOR PARKING AREA REQUIRED  
4730 SF INTERIOR PARKING AREA  
473 SF INTERIOR LANDSCAPE REQUIRED  
3,934 SF INTERIOR LANDSCAPE PROVIDED

REQUIRED INTERIOR SHADE TREES

473 SF / 16'Ø = 30  
30 SHADE TREES REQUIRED  
1 SHADE TREE PROVIDED

PUBLIC STREET FRONTAGE & PARKING LOT LANDSCAPING

REQUIRED TREES = 1 SHADE, EVERGREEN OR ORNAMENTAL TREE REQUIRED  
FOR EVERY 50 LF OF PUBLIC STREET FRONTAGE

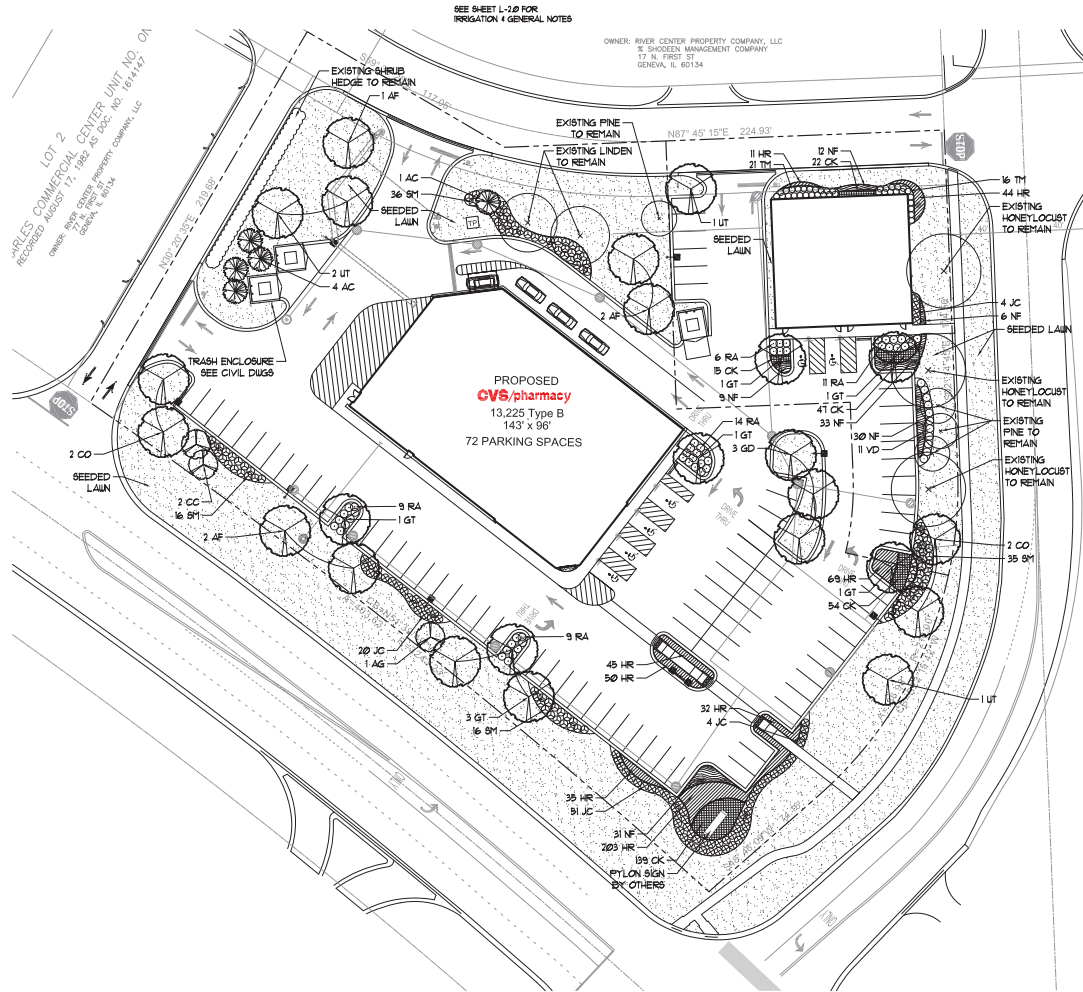
LINCOLN HWY / IL RT 38 FRONTAGE = 366 LF  
8 TREES REQUIRED  
8 TREES PROVIDED

6.14TH STREET FRONTAGE = 416 LF

9 TREES REQUIRED (3 PROPOSED, 6 EXISTING)

PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
<b>DECIDUOUS TREES - SINGLE STEM</b>						
AF	ACER X FRIEDRIANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	25" CAL.	B4B	5	BRANCHED UP 6'
CO	CELTIS OCCIDENTALIS	HICKBERRY	25" CAL.	B4B	4	BRANCHED UP 6'
GO	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	25" CAL.	B4B	3	BRANCHED UP 6'
GT	GLEIDITSIA TRIACANTHOS INERFIS 'SKYLINE'	SKYLINE HONEYLOCUST	25" CAL.	B4B	8	BRANCHED UP 6'
UT	ULMUS X 'MORTON GLOSSY'	TRIUMPH ELM	25" CAL.	B4B	4	BRANCHED UP 6'
<b>EVERGREEN TREES</b>						
AC	ABIES CONCOLOR	WHITE FIR	6' HT.	B4B	5	
<b>ORNAMENTAL TREES</b>						
AG	APELANCHER X G. 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	6' HT.	B4B	1	CLUMP FORM
CC	CERCIS CANADENSIS	REDBUD	6' HT.	B4B	2	
<b>DECIDUOUS AND EVERGREEN SHRUBS</b>						
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24" HT 4 SPD	B4B/CONT.	79	
RA	RHUS AROMATICA 'GRO-LOW'	GRO LOW SUMAC	3 GAL.	B4B/CONT.	49	
SM	STRONGA 'MEYERS' 'PALIBY'	DWARF KOREAN LILAC	36" HT 4 SPD	B4B/CONT.	103	
TH	TAXUS X MEDIA 'TAUNTON'	TAUNTON YEW	24" HT 4 SPD	B4B/CONT.	31	
VD	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	30" HT 4 SPD	B4B/CONT.	11	
<b>PERENNIALS</b>						
HR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	CONT.	489	SPACED 18" O.C.
CK	HEMEROCALLIS 'LITTLE WINE CUP'	LITTLE WINE CUP DAYLILY	1 GAL.	CONT.	211	EVENLY MIXED
CK	CALAMAGROSTIS A. KARL FOERSTER	FEATHER REED GRASS	1 GAL.	CONT.	211	
NF	NEPETA X FAASSENTI	FAASSENTI CATMINT	1 GAL.	CONT.	21	



LANDSCAPE PLAN  
SCALE: 1"=30'-0"

Revisions

8.	
7.	
6.	
5.	
4.	
3.	ISSUED FOR REVIEW 08/04/15
2.	ISSUED FOR REVIEW 07/07/15
1.	CITY SUBMITTAL 07/09/15

Project

CVS  
PHARMACY

LINCOLN HWY / IL RT 38 & 14TH STREET  
ST. CHARLES, ILLINOIS

LANDSCAPE  
PLAN

Date 07/28/15	Project No. DWP-15-143
Scale AS NOTED	Sheet No.
Drawn By EB	L-1.0
Approved WS	





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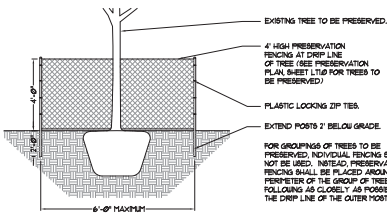
LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING

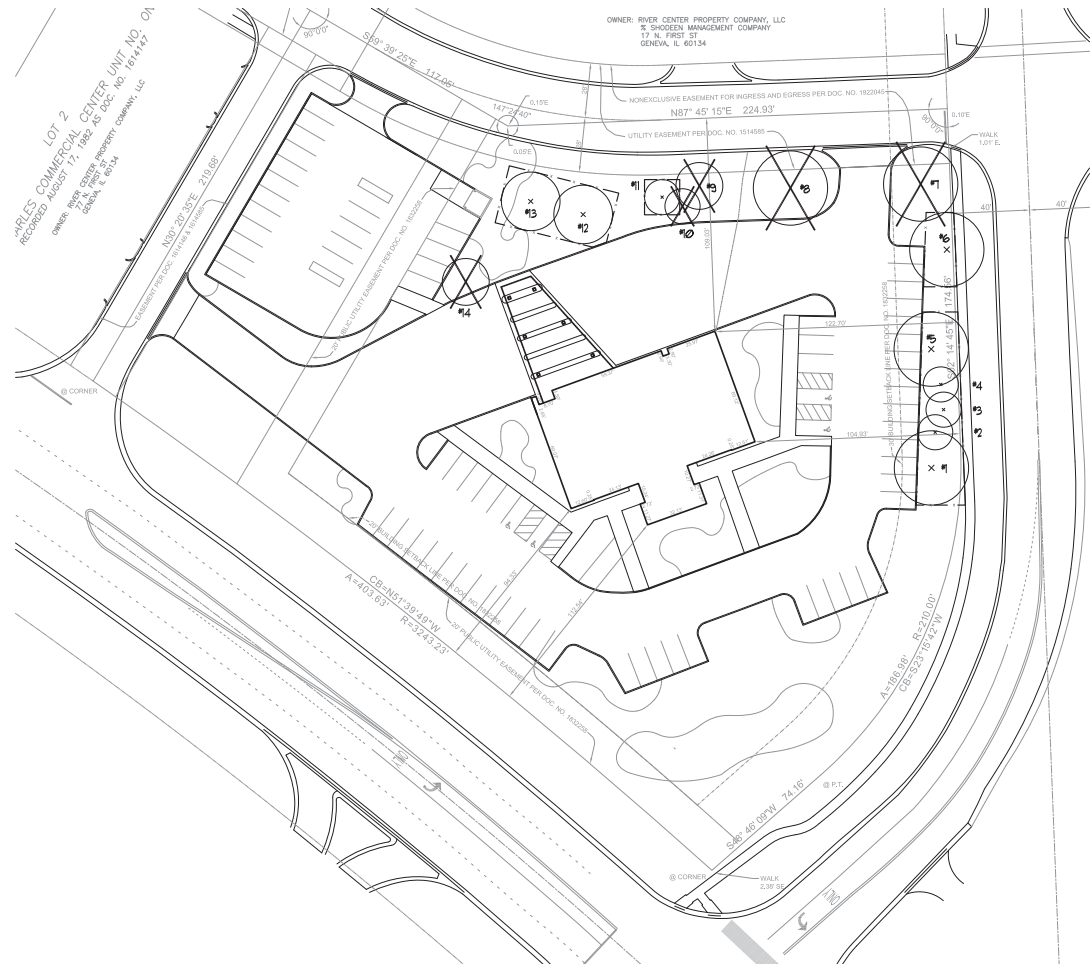
TREE SURVEY

TREE NO.	SPECIES	SIZE	CONDITION
#1	HONEYLOCUST	15" CAL.	GOOD
#2	PINE	14" CAL.	GOOD
#3	PINE	12" CAL.	GOOD
#4	PINE	12" CAL.	GOOD
#5	HONEYLOCUST	14" CAL.	GOOD
#6	HONEYLOCUST	16" CAL.	GOOD
#7	HONEYLOCUST	14" CAL.	GOOD - REMOVE
#8	HONEYLOCUST	15" CAL.	GOOD - REMOVE
#9	BIRCH	6" x 4 CAL.	GOOD - REMOVE
#10	PINE	10" CAL.	GOOD - REMOVE
#11	PINE	14" CAL.	GOOD
#12	LINDEN	8" x 3 CAL.	GOOD
#13	LINDEN	8" x 5 CAL.	GOOD
#14	LINDEN	8" x 3 CAL.	GOOD - REMOVE

FENCING SHALL BE LOCATED AS SHOWN ON THE TREE PRESERVATION PLAN (LT10). FENCE SHALL BE PLACED SO THAT THE POSTS FACE THE TREE. AFTER INSTALLING ALL POSTS, TIGHTLY WRAP THE FABRIC ACROSS THE POSTS TO PREVENT SLIPPING. POSTS SHALL BE PLACED 4' MAXIMUM OF 4" ON CENTER. SAFETY FENCE FABRIC SHALL BE ORANGE CONTRACTOR'S GRADE SMOOTH TOP DIAMOND PLASTIC FENCE. POSTS SHALL BE 6" LONG HEAVY DUTY GALVANIZED STEEL 1" DIAMETER SET TO A DEPTH OF 2' BELOW GRADE. POST SHALL NOT BE DRIVEN INTO EXISTING ROOTS. LOCKING TIES SHALL BE 8" PLASTIC LOCKING ZIP TIES, 4 PER POST. ANY ALTERATIONS TO THE FENCING LAYOUT MUST BE APPROVED BY LANDSCAPE ARCHITECT.



2 TREE PRESERVATION DETAIL - SNOW MESH FENCING  
NOT TO SCALE



1 TREE PRESERVATION PLAN  
SCALE: 1"=30'-0"

Revisions

8.	
7.	
6.	
5.	
4.	
3.	ISSUED FOR REVIEW 08/04/15
2.	ISSUED FOR REVIEW 07/07/15
1.	CITY SUBMITTAL 07/06/15

Project

CVS  
PHARMACY

LINCOLN HWY / ILL RT 38 & 14TH STREET  
ST. CHARLES, ILLINOIS

Sheet Title  
TREE  
PRESERVATION  
PLAN

Date 07/28/15	Project No. DWPF-15-143
Scale AS NOTED	Sheet No.
Drawn By EB	LT-1.0
Approved WS	



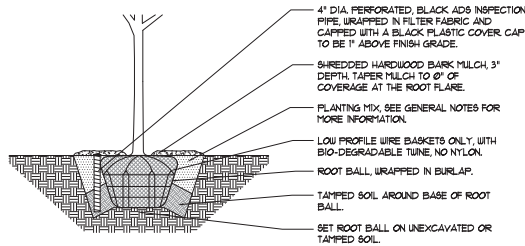


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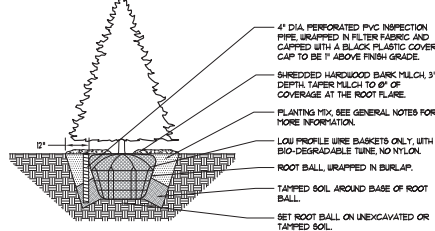
53 W. Jackson Blvd.  
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Chicago, IL 60604  
312 427-2868  
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LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES UP TO 4" CALIPER OR 2' HEIGHT, REMOVE APPROXIMATELY 5% -10% OF THE OVERALL BRANCHING. FOR TREES OVER 4" CALIPER OR 2' HEIGHT, REMOVE APPROXIMATELY 25%-30% OF THE OVERALL BRANCHING. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO UN-TIE AND REMOVE TUNE FROM AROUND ROOT FLARE OF TREE AT THE END OF THE WARRANTY PERIOD.



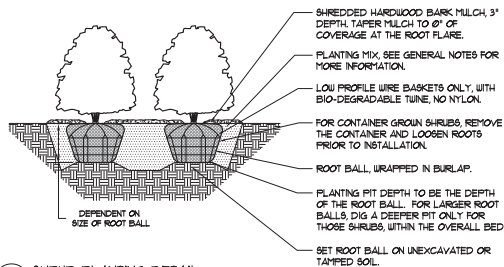
1 DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND REMOVE ANY DOUBLE LEADERS. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO UN-TIE AND REMOVE TUNE FROM AROUND ROOT FLARE AT THE END OF THE WARRANTY PERIOD.



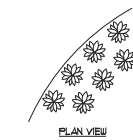
2 EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. SHRUB PIT WIDTH TO BE EXTENDED 9" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST SHRUB PIT FOR DRAINAGE PRIOR TO INSTALLING SHRUB. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB PLUMB. STRAIGHTEN SHRUB IF SETTLING OCCURS. MULCH LIMITS FOR SHRUBS TO EXTEND TO ALL EDGES OF PLANTING BEDS, SEE PLANS FOR BED LAYOUTS. CONTRACTOR TO UN-TIE AND REMOVE TUNE FROM AROUND ROOT FLARE AT THE TIME OF PLANTING.



3 SHRUB PLANTING DETAIL  
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / GROUNDCOVER BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS, SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.



4 PERENNIAL AND GROUNDCOVER PLANTING DETAIL  
NOT TO SCALE

#### IRRIGATION NOTES

1. A PLASTIC, AUTOMATIC, TIER-ACTIVATED IRRIGATION SYSTEM SHALL BE PROVIDED FOR LAWN AREAS, PLANT BEDS AND TREES. LAWN AREAS SHALL BE ON A SEPARATE ZONE THAN PLANT BEDS.
2. PROVIDE LOW APPLICATION RATE ROTARY AND FINE FOG SPRAY HEADS AS APPROPRIATE FOR THE PARTICULAR SIZE AND SHAPE OF LAWN AREAS, WITH 40% HEAD TO HEAD SPACING. THERE SHALL BE NO OVER SPRAY ON BUILDINGS, ROADS OR SIDEWALKS. PROVIDE DRIP LINE IRRIGATION FOR PLANT BEDS.
3. PROVIDE WATER CONNECTIONS, BACKFLOW PREVENTERS AND IRRIGATION CONTROLLERS INSIDE THE BUILDING.
4. SIZE BOOSTER PUMP, IF REQUIRED, TO PROVIDE 50 GPM AND 40 PSI AT THE SPRINKLER HEADS.
5. PROVIDE SLEEVING AS NECESSARY AND COORDINATE SLEEVING INSTALLATION WITH THE GENERAL CONTRACTOR TO ELIMINATE FUTURE DAMAGE TO INSTALLED PAVEMENT.
6. ALL IRRIGATION EQUIPMENT SHALL BE BY TORO RAINBOW, NELSON OR HUNTER.
7. THE IRRIGATION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING THE DESIGN OF THE SYSTEM, INDICATING LAYOUT, WATER CONNECTION HEADS, VALVES, PIPING, CONTROLLER, OTHER RELATED EQUIPMENT AND THE ASSOCIATED ELECTRICAL DIAGRAMS FOR APPROVAL PRIOR TO CONSTRUCTION.
8. PROVIDE AN AUTOMATIC RAIN SHUT-OFF.
9. PROVIDE A QUICK COUPLER IN OR ADJACENT TO EACH VALVE BOX, AND AT INTERVALS ALONG THE MAIN WITHIN 60' OF ALL NEW PLANTS, OR AS INDICATED ON THE PLANS. QUICK COUPLERS SHALL BE ONE PIECE BRASS (7) SINGLE SLOT VALVES WITH VINYL COVER AND HOSE SAUVE.
10. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR BLOWING OUT THE SYSTEM BY AIR COMPRESSION IN THE FALL FOLLOWING INSTALLATION AND TURNING ON THE SYSTEM IN THE FOLLOWING SPRING.
11. THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTLING OR BACKFILLED AREAS BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
12. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL AND STATE STANDARDS, CODES AND ORDINANCES.

#### GENERAL NOTES

1. ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WITH PROJECTS OF SIMILAR SIZE AND TYPE.
3. SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT THE TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
4. QUANTITIES SHOWN ON THE DRAWING AND IN THE PLANT LIST ARE PROVIDED ONLY FOR THE CONTRACTOR'S CONVENIENCE. THE NUMBER OF PLANT SYMBOLS SHOWN ON THE DRAWINGS SUPERSEDES ALL QUANTITIES PROVIDED. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES ON THE DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANTS PER THE PLANT SYMBOLS SHOWN ON THE DRAWINGS.
5. ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRASS, PLANT OR MATERIALS PLACEMENT, NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.
6. CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING PLANTS, LAWN AREA, FENCES, SITE FEATURES AND PAVING TO REMAIN. ANY DAMAGE TO THESE EXISTING AREAS OR FEATURES SHALL BE REPLACED BY THE CONTRACTOR AT THEIR EXPENSE. DAMAGED LAWN AREAS SHALL BE TILLED, RE-GRADED, TOPSOIL ADDED AS NEEDED AND BE REFORCED WITH SOO. REPLACED FEATURES, PLANTS AND SOO SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR.
7. PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT THE NATURAL OR ENGINEERED DRAINAGE FLOW PATTERN. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DRAINAGE CONCERN.
8. IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE PEARLE LOAM OR SANDY LOAM, COMPRISED OF BETWEEN 20% AND 50% SILT, 5% AND 20% CLAY, AND 30% AND 40% SAND. THE PH LEVEL SHALL BE BETWEEN 6.0 AND 7.2 AND THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 3% AND 8%. TOPSOIL SHALL BE FREE OF SEEDS, STONES, LARGE CLUMPS, ROOTS, LEAVES AND TWIGS, AND SHALL NOT BE DELIVERED WHILE IN A FROZEN OR MOIST CONDITION. CONTRACTOR SHALL PROVIDE A RECENT SOIL TEST ANALYSIS FOR ALL SOIL TO BE USED. THE ANALYSIS MUST INCLUDE THE INFORMATION REQUIRED ABOVE. IF TESTED TOPSOIL REQUIRES ADJUSTMENTS TO COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL ADJUST THE TOPSOIL, RE-TEST AND RESUBMIT THE ANALYSIS FOR APPROVAL PRIOR TO BEGINNING THE TOPSOIL ON SITE.
9. EXISTING TOPSOIL FROM ON SITE THAT HAS BEEN STOCKPILED MAY BE USED IF IT MEETS THE REQUIREMENTS FOR IMPORTED TOPSOIL. THIS INCLUDES CONDUCTING SOIL TEST ANALYSIS AND ADDING ADJUSTMENTS AS NEEDED SO THAT THE SOIL COMPLES WITH THE REQUIREMENTS.
10. LAWN SEEDING SHALL BE A TALL FESCUE BLEND, SUCH AS RHIZOMATOUS TALL FESCUE (RTF) OR BLACK BEAUTY, AVAILABLE FROM CENTRAL SOO FARMS. BLUEGRASS BLEND SEEDING IS NOT ACCEPTABLE UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL FURNISH GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.
11. ALL PLANT MATERIAL MUST BE SPECIFIC QUALITY, TRUE TO SPECIES AND VARIETY, WITH FULL DENSE AND HEALTHY FORMS. PLANTS THAT ARE NOT SPECIFEN QUALITY WILL NOT BE ACCEPTED. ALL PLANTS MUST HAVE BEEN LOCALLY NURSERY, LOCATED WITHIN 50 MILES OF THE PROJECT SITE, AND THAT HAS BEEN INSPECTED AND CERTIFIED BY THE ILLINOIS DEPARTMENT OF AGRICULTURE FOR THE CURRENT YEAR.
12. ALL DECIDUOUS TREES AND ALL SHRUBS THAT ARE 36" TALL OR TALLER ARE TO HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS WITH SIZES THAT MEET THE STANDARDS OF THE AMERICAN NURSERYMEN'S ASSOCIATION.
13. ALL BALLED AND BURLAPPED MATERIALS SHALL BE INSPECTED AND TAGGED AT THE NURSERY BY THE LANDSCAPE ARCHITECT, PRIOR TO DIGGING. PRE-DUG OR HEEL-D STOCK WILL NOT BE ACCEPTED, WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
14. PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES:  
DECIDUOUS TREES AND SHRUBS: APR 1 THROUGH DEC 1  
EVERGREEN TREES AND SHRUBS: APR 1 THROUGH NOV 1  
PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS: MAY 1 THROUGH OCT 31
15. TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP A MINIMUM OF ONE INCH PER HOUR, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.
16. PLANTING MIX FOR ALL PLANTINGS SHALL BE AS FOLLOWS. MIXING OF PLANTING MIX COMPONENTS SHALL BE THOROUGHLY BLENDED OUTSIDE THE PLANTING PITS, PRIOR TO PLANTING.  
TREES AND SHRUBS: 10% TOPSOIL, 5% SAND, 5% PINE FINES  
PERENNIALS AND ANNUALS: 50% TOPSOIL, 25% SAND, 25% PINE FINES
17. FOR PLANTING MIXES, SAND SHALL BE ANGULAR, COARSE SAND AND PINE FINES SHALL BE 3/8" SOUTHERN PINE BARK FINES.
18. THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING UPON SUBSTANTIAL COMPLETION FOR "ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE OR OUTSTANDING ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "ACCEPTANCE".
19. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF "ACCEPTANCE". AT OR NEAR THE END OF THE GUARANTEED PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR "FINAL ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY REPLACED OR REPAIRED, REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "FINAL ACCEPTANCE".

Revisions	
8.	
7.	
6.	
5.	
4.	
3.	ISSUED FOR REVIEW 08/04/15
2.	ISSUED FOR REVIEW 07/07/15
1.	CITY SUBMITTAL 07/09/15

Project

CVS  
PHARMACY

LINCOLN HWY / ILL RT 38 & 14TH STREET  
ST. CHARLES, ILLINOIS

Sheet Title

LANDSCAPE  
DETAILS

Date 07/28/15 Project No. DWP-15-143

Scale NOT TO SCALE Sheet No.

Drawn By EB L-2.0

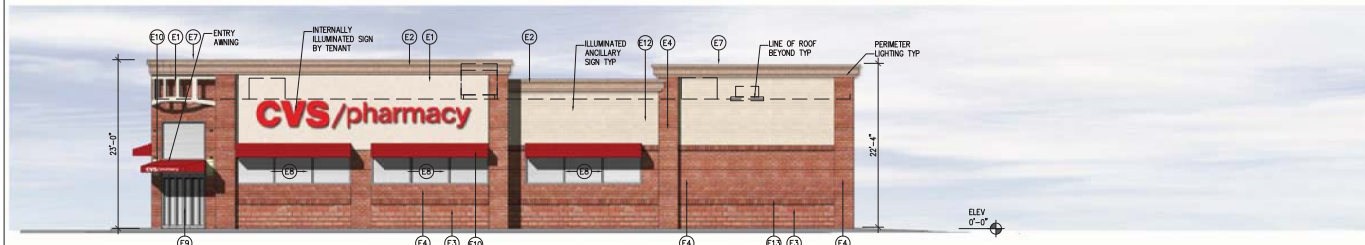
Approved WS





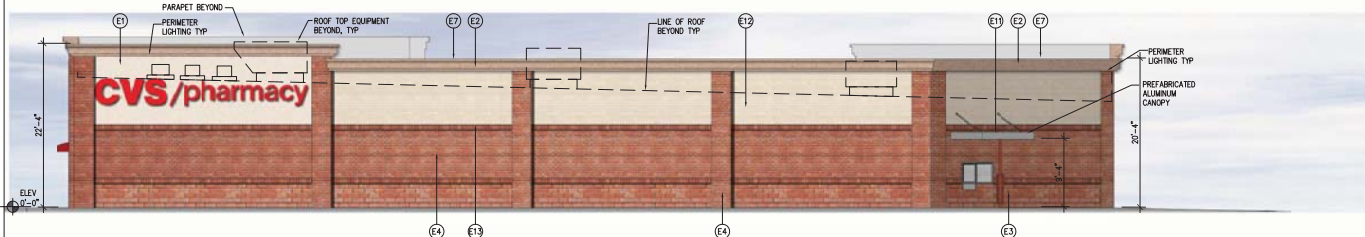
SOUTHWEST ELEVATION - LINCOLN HWY / IL RT 38

SCALE: 1/8"



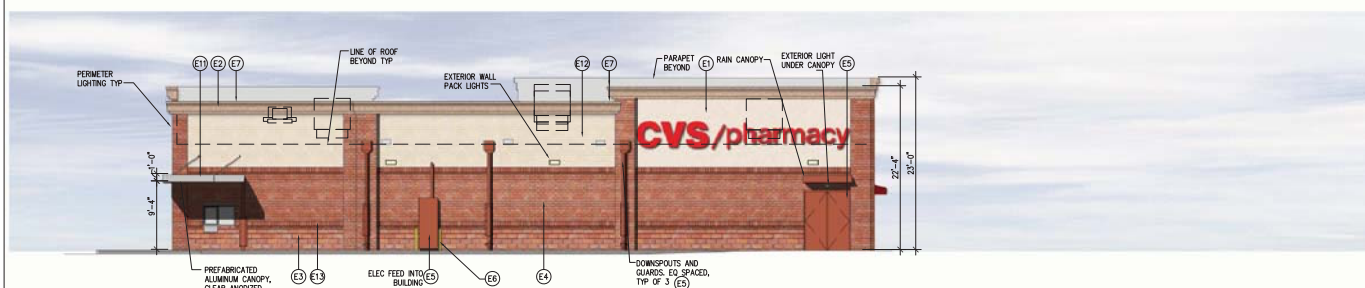
SOUTHEAST ELEVATION - SOUTH 14TH STREET

SCALE: 1/8"



NORTHEAST ELEVATION

SCALE: 1/8"



NORTHWEST ELEVATION

SCALE: 1/8"

EXTERIOR FINISH SCHEDULE				
TAG	MATERIAL / DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR	NOTES
(1)	EPFS / DEFS	S10 LOTUSAN SYSTEM 191 STU/LI, LOTUSAN 1.5	N406-0029 PEACHY BEIGE	INSTALLED PER MANUF. SPECIFICATIONS
(2)	EPFS	S10 LOTUSAN SYSTEM 191 STU/LI, LOTUSAN 1.5	N405-0021 RAFTER/TAL	CORNICE
(3)	SPLIT FACE CMU	OLDCASTLE ARCHITECTURAL	A-296-R GARNET	HOLCM ENVIROCORE MORTAR CORAL
(4)	STRUCTURAL BRICK	OLDCASTLE ARCHITECTURAL	A-296-R GARNET	HOLCM ENVIROCORE MORTAR CORAL
(5)	PAINT	BENJAMIN MOORE	2174-30 SEDONA CLAY	HOLLOW MET. DOORS, FRAMES, DOWNSPOUTS
(6)	BOLLARD COVER	MINIPLAST BOLLARD/GARD BC752, OR BC422	YELLOW	TYP FOR ALL PIPE BOLLARDS
(7)	PREFINISHED METAL COILING		COLOR TO MATCH "2" EPFS	
(8)	ALUM STOREFRONT		CLEAR ANODIZED	
(9)	ALUM AUTOMATIC DOOR	STANLEY DURAGLIDE 5300	6686-0020 1050 RED	
(10)	FABRIC AWNING	SUNBELLA AWNINGS		SUPPLIED & INSTALLED BY GC
(11)	ALUMINUM CANOPY	MAPES ARCHITECTURAL CANOPIES	CLASS II CLEAR ANODIZED	
(12)	STRUCTURAL BRICK ACCENT	OLDCASTLE ARCHITECTURAL	A-297-R SOFT COTTON	HOLCM ENVIROCORE MORTAR HARWOOD YELLOW
(13)	8" HIGH SCORED CMU	OLDCASTLE ARCHITECTURAL	A-296-R GARNET	HOLCM ENVIROCORE MORTAR CORAL

NOTE: SIGNAGE UNDER SEPARATE PERMIT. REFER TO APPROVED SIGNAGE PACKAGE FROM SIGNAGE VENDOR FOR SIZES AND LOCATIONS OF SIGNS. EXTERIOR SIGNAGE TO BE EXPANSION ANCHORED.

LEGEND  
 (X) - RE: EXTERIOR FINISH SCHEDULE

EIFS PERCENTAGES:

SOUTHWEST ELEVATION:	594 SQFT EPFS/2914 SQFT TOTAL=20.4%
SOUTHEAST ELEVATION:	522 SQFT EPFS/1939 SQFT TOTAL=26.9%
NORTHEAST ELEVATION:	472 SQFT EPFS/2457 SQFT TOTAL=19.2%
NORTHWEST ELEVATION:	396 SQFT EPFS/1497 SQFT TOTAL=26.5%
DRIVE-THRU AREA:	43 SQFT EPFS/724 SQFT TOTAL=5.7%



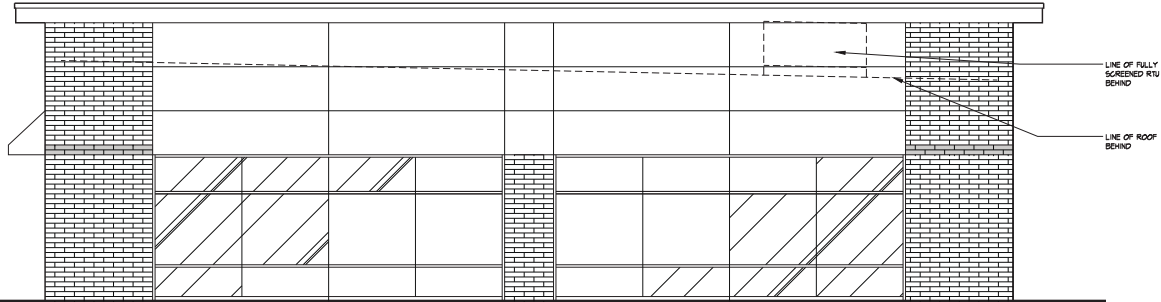
150 West Jefferson  
 Suite 1300  
 Detroit, MI 48226  
 www.norr.com

CVS STORE #10660/ CS #85881, LINCOLN HWY RT 38 & 14TH STREET ST. CHARLES, IL

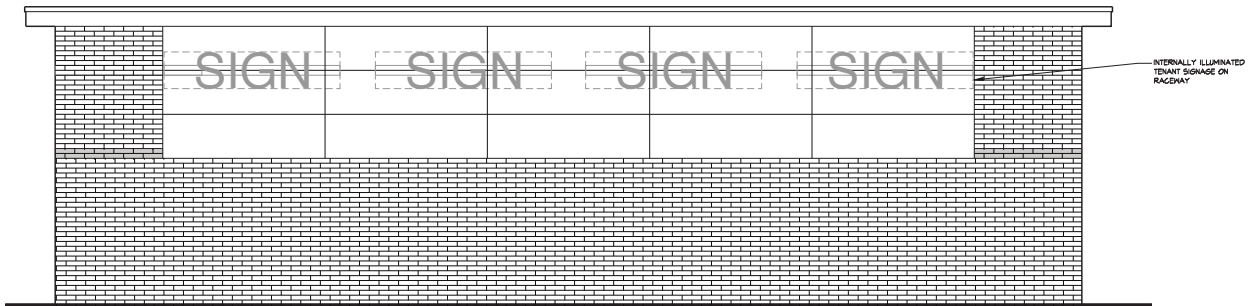
**CVS/pharmacy**



1 SOUTH ELEVATION (FACING LINCOLN HWY/ RTE 38)  
SCALE: 1/4" = 1'-0"



2 EAST / WEST ELEVATION (FACING 14TH ST. SHOWN)  
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION (FACING VANDERBILT DR.)  
SCALE: 1/4" = 1'-0"



**SORCE ARCHITECTURE**

1500 LINCOLN HWY / IL RTE 38  
ST. CHARLES, ILLINOIS

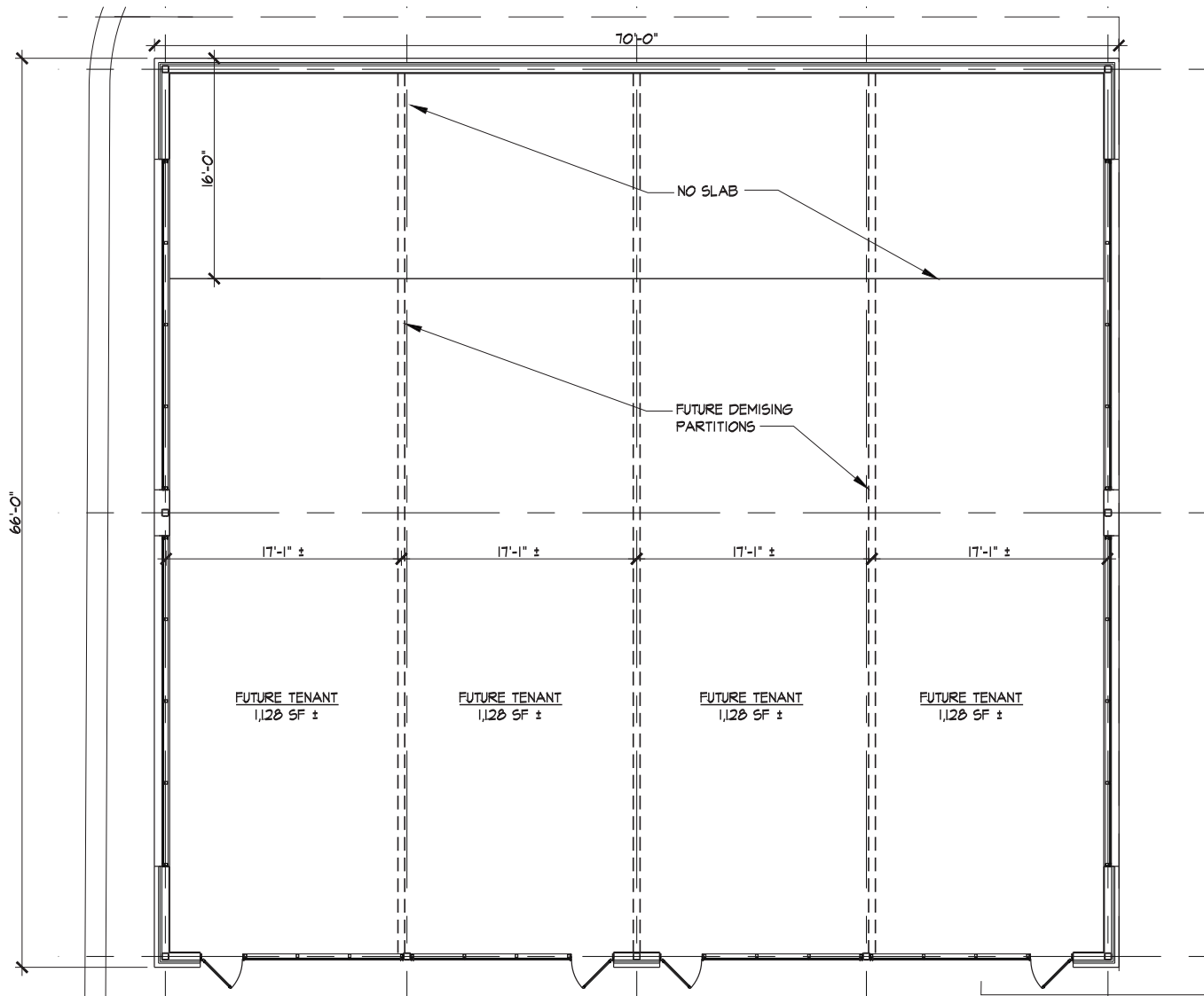
EXPIRES 11/30/16

PROJECT # 1513  
DRAWN BY KL  
CHECKED BY RPS  
START DATE 06.01.2015  
SHEET TITLE OUTLOT ELEVATIONS  
SHEET NUMBER

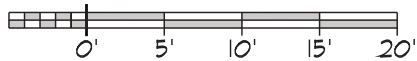
REV	DATE	DESCRIPTION

**A1**





**CONCEPT FLOOR PLAN** (APPROX. 4,620 SF.)  
 DD.1 SCALE: 1/8" = 1'-0"



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**SORCE ARCHITECTURE**  
 3030 SALT CREEK LN. SUITE 122 ARLINGTON HEIGHTS, IL 60005 PHONE: 847.292.2600 FAX: 847.394.6972 WWW.SORCEARCHITECTURE.COM

**RETAIL / OFFICE**  
**1500 LINCOLN HWY**  
**St. CHARLES, ILLINOIS**

DATE:  
06.17.2015  
**DD.1**

# Permit Package

7/31/2015

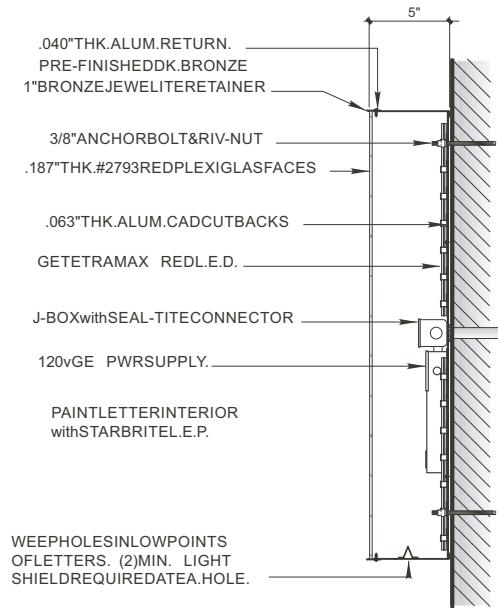
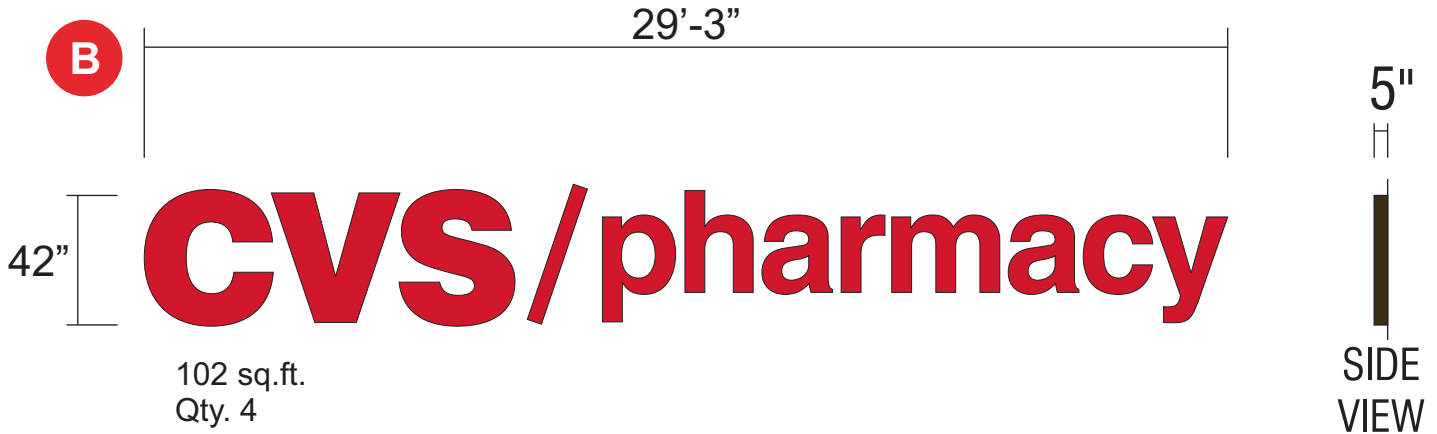


**CVS CS 85881**  
**NWC Lincoln Hwy & S 14th**  
**St. Charles, IL**

Prepared for CVS By:



1418 Elmhurst Rd.  
Elk Grove Village  
Illinois 60007



**L.E.D.LETTERSECTION**

N.T.S.



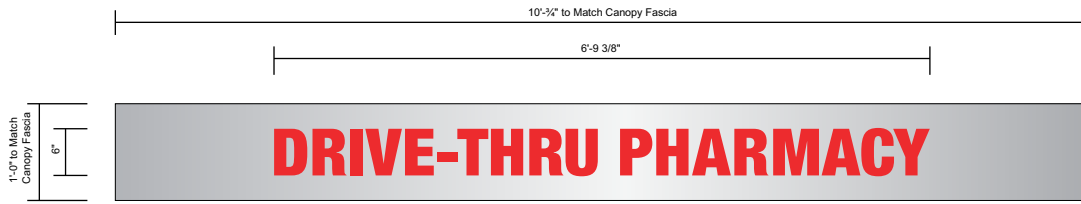
1418 Elmhurst Rd.  
Elk Grove Village  
Illinois 60007

**CVS CS 85881**  
**NWC Lincoln Hwy & S 14th**  
**St. Charles, IL**

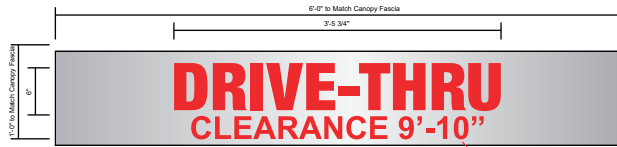
Date: 7/6/2015

Revisions:


**B7**

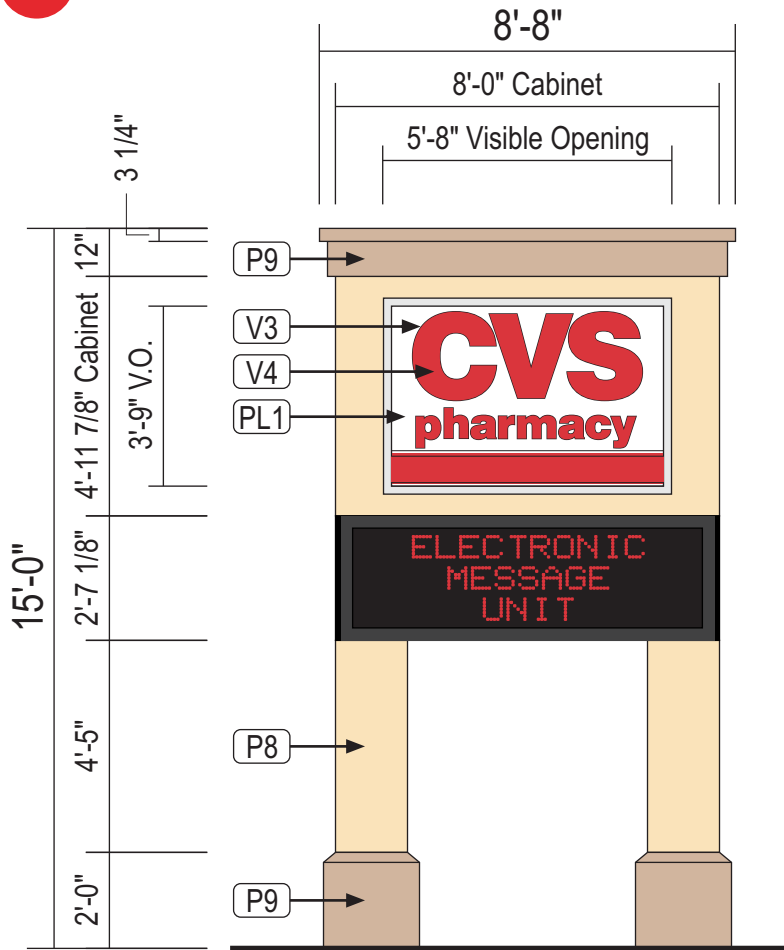


**B8**



For Reference Only  
Final Clearance Height TBD per Specific Site Location


**A1**



Qty. 1  
43.0 Sq. Ft.



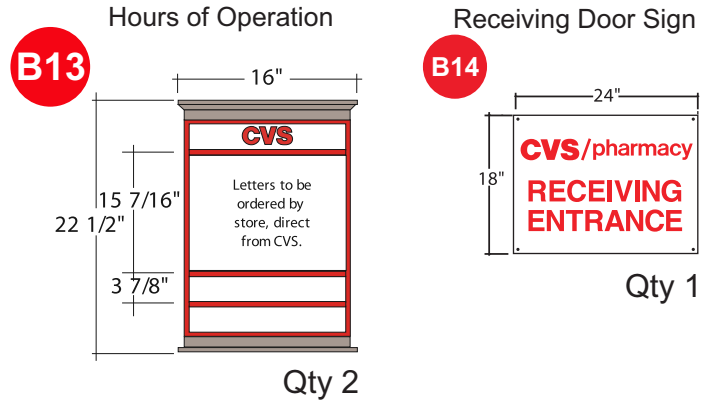
1418 Elmhurst Rd.  
Elk Grove Village  
Illinois 60007

**CVS CS 85881**  
**NWC Lincoln Hwy & S 14th**  
**St. Charles, IL**

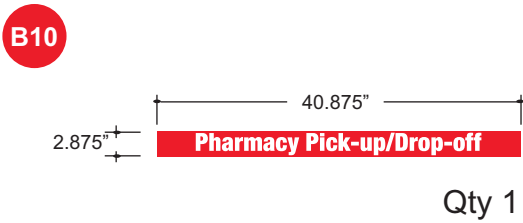
Date: 7/6/2015

Revisions:


**Window and Door Signs**

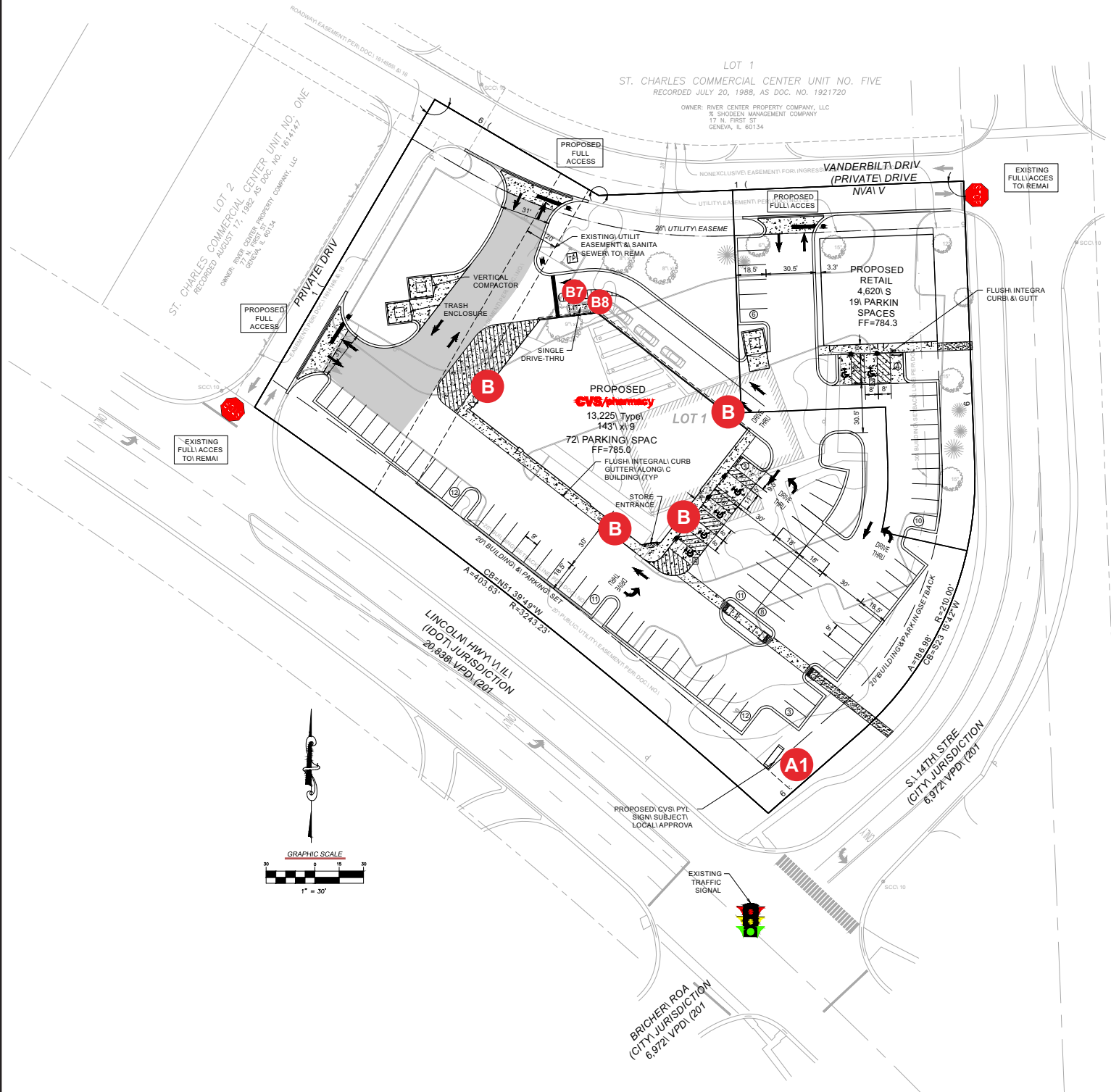


**Drive Thru Signs**



**Temporary Signs**



\* Site plan is for general sign location only.

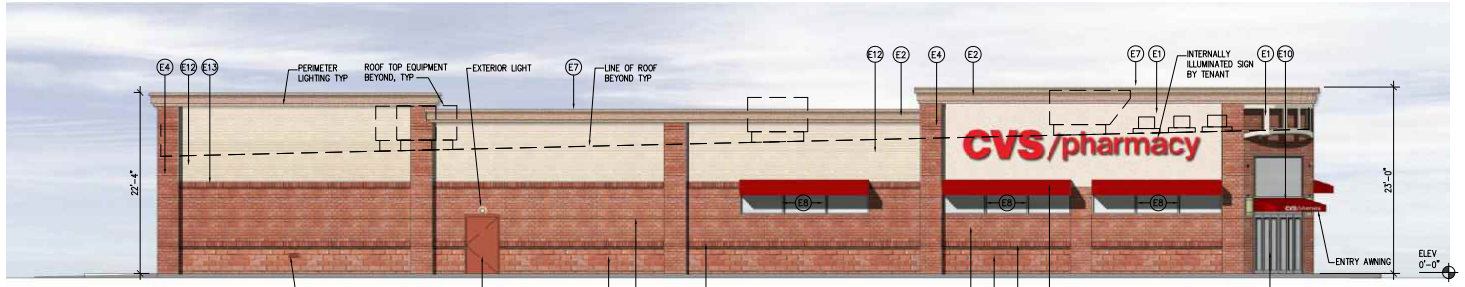


1418 Elmhurst Rd.  
Elk Grove Village  
Illinois 60007

**CVS CS 85881**  
**NWC Lincoln Hwy & S 14th**  
**St. Charles, IL**

Date: 7/6/2015

Revisions:



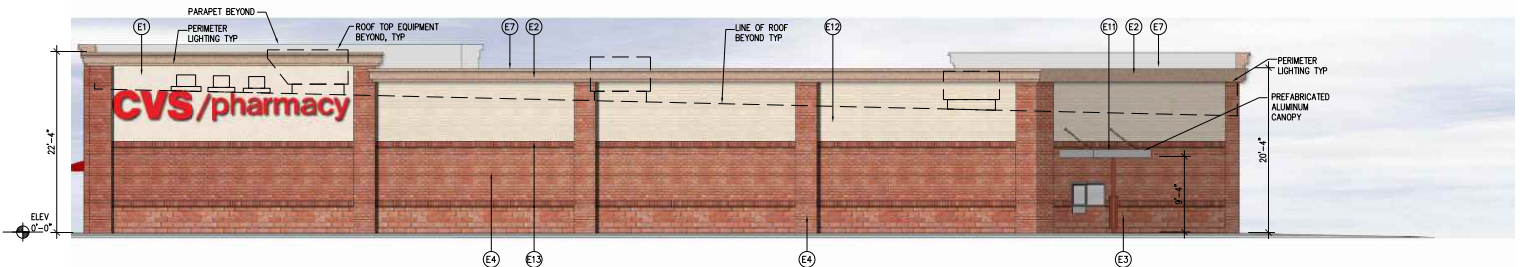
**SOUTHWEST ELEVATION - LINCOLN HWY / IL RT 38**

SCALE: 1/8"



**SOUTHEAST ELEVATION - SOUTH 14TH STREET**

SCALE: 1/8"



**NORTHEAST ELEVATION**

SCALE: 1/8"



**NORTHWEST ELEVATION**

SCALE: 1/8"

\* Elevations are for general sign location only. Building materials and design details may not be reflected.



1418 Elmhurst Rd.  
Elk Grove Village  
Illinois 60007

**CVS CS 85881**  
**NWC Lincoln Hwy & S 14th**  
**St. Charles, IL**

Date: 7/6/2015

Revisions:






## TRIP GENERATION COMPARISON LETTER

### PROPOSED CVS/PHARMACY #10660 Northwest Corner of Lincoln Highway (IL 38) and 14<sup>th</sup> Street St. Charles, Illinois

**Prepared by:**

V3 Companies  
7325 Janes Avenue  
Woodridge, Illinois 60517

Peter Reinhofer, P.E.

**Prepared for:**

T.M. Crowley & Associates  
501 Pennsylvania Parkway, Suite 250  
Indianapolis, IN 46280

**Submitted to:**

City of St. Charles

**July 7, 2015**

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#### **Introduction**

CVS is proposing to redevelop the property at the northwest corner of the intersection of Lincoln Highway/IL 38 and 14<sup>th</sup> Street in the City of St. Charles, Illinois. The purpose of this letter is to compare the vehicle trip generation estimates of the proposed development to the existing land uses.

#### **Existing Conditions**

The site has an existing two story building of approximately 16,000 square feet with a drive-through and is currently vacant. For the purposes of this analysis, it is assumed that the ground floor was a drive-in bank of approximately 6,575 square feet and the remaining area office space of approximately 9,425 square feet. The site is currently accessed by three full access driveways, two driveways on Vanderbilt Drive and a third driveway on the shared roadway to the west. Table 1 illustrates the trip generation of the existing drive-in bank and office space utilizing the trip rates from the Institute of Transportation Engineers' (ITE) *Trip Generation Manual, 9<sup>th</sup> Edition*.

**Table 1 – Existing Trip Generation**

Land Use	ITE Code	Quantity	Units	Daily Total	AM Peak Hour			PM Peak Hour		
					In	Out	Total	In	Out	Total
General Office	710	9,425	SF	104	13	2	15	2	12	14
Drive-In Bank	912	6,575	SF	974	45	34	79	80	80	160
<b>TOTAL</b>				<b>1,078</b>	<b>58</b>	<b>36</b>	<b>94</b>	<b>82</b>	<b>92</b>	<b>174</b>

**Proposed Development**

The proposed improvements include demolition of the existing two story building and drive-through and the construction of a 13,225 square foot CVS/Pharmacy with drive-through and a 4,620 square foot retail building. Access to the proposed development will remain the same with the two full access driveways on Vanderbilt Drive and a full access on the shared roadway to the west but with slight modifications to the locations and widths. It is anticipated that the CVS/Pharmacy and retail building will be constructed and occupied by summer 2016. Table 2 illustrates the trip generation of the proposed development.

**Table 2 – Proposed Development Trip Generation**

Land Use	ITE Code	Quantity	Units	Daily Total	AM Peak Hour			PM Peak Hour		
					In	Out	Total	In	Out	Total
Pharmacy/Drugstore with Drive-through	710	13,225	SF	1,282	24	22	46	66	65	131
Shopping Center	820	4,620	SF	197	2	2	4	8	9	17
<b>TOTAL</b>				<b>1,479</b>	<b>26</b>	<b>24</b>	<b>50</b>	<b>74</b>	<b>74</b>	<b>148</b>

**Trip Generation Comparison**

The trip generation for the drive-in bank and office land uses was compared to the CVS/Pharmacy and retail building in order to determine the difference in trip generation for the proposed development. Table 3 illustrates the comparison in trip generation of the existing site and the proposed development.

**Table 3 – Trip Generation Comparison**

Development Scenario	Daily Total	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Existing (Drive-in bank and office)	1,078	58	36	94	82	92	174
Proposed Development (Pharmacy and retail)	1,479	26	24	50	74	74	148
<b>DIFFERENCE</b>	<b>401</b>	<b>-32</b>	<b>-12</b>	<b>-44</b>	<b>-8</b>	<b>-18</b>	<b>-26</b>

As shown in Table 3, the proposed redevelopment of the site to a CVS/Pharmacy and retail building will result in an additional 401 vehicle trips throughout the day. However, during the weekday peak hours when traffic is highest on the adjacent roadway network, the proposed

land uses will generate 44 less trips during the am peak hour and 26 less trips during the pm peak hour when compared to the drive-in bank and office uses.

### **Conclusions**

CVS is proposing to redevelop the property at the northwest corner of the intersection of Lincoln Highway/IL 38 and 14<sup>th</sup> Street in the City of St. Charles, Illinois. The site currently consists of a vacant drive-in bank and office space. The proposed improvements will include the construction of a 13,225 square foot CVS/Pharmacy with a drive-through window and a 4,620 square foot retail building, which is anticipated to be open in summer 2016.

Using the trip rates from the latest version of ITE's *Trip Generation Manual*, the proposed development will generate an additional 401 vehicle trips throughout the day, but will generate 44 less trips during the weekday am peak hour and 26 less trips during the weekday pm peak hour, when travel volumes are highest on the adjacent roadway network. The proposed access plan for the CVS/Pharmacy and retail building will remain the same as the existing site with three full access driveways.

Based on the results of this analysis, the traffic generated by the proposed development will not significantly impact the surrounding roadway network when compared to the existing land uses particularly during the weekday am and pm peak hours when the redevelopment will generate fewer trips than the existing site.

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land uses will generate 44 less trips during the am peak hour and 26 less trips during the pm peak hour when compared to the drive-in bank and office uses.

### **Conclusions**

CVS is proposing to redevelop the property at the northwest corner of the intersection of Lincoln Highway/IL 38 and 14<sup>th</sup> Street in the City of St. Charles, Illinois. The site currently consists of a vacant drive-in bank and office space. The proposed improvements will include the construction of a 13,225 square foot CVS/Pharmacy with a drive-through window and a 4,620 square foot retail building, which is anticipated to be open in summer 2016.

Using the trip rates from the latest version of ITE's *Trip Generation Manual*, the proposed development will generate an additional 401 vehicle trips throughout the day, but will generate 44 less trips during the weekday am peak hour and 26 less trips during the weekday pm peak hour, when travel volumes are highest on the adjacent roadway network. The proposed access plan for the CVS/Pharmacy and retail building will remain the same as the existing site with three full access driveways.

Based on the results of this analysis, the traffic generated by the proposed development will not significantly impact the surrounding roadway network when compared to the existing land uses particularly during the weekday am and pm peak hours when the redevelopment will generate fewer trips than the existing site.

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