	<b>AGENDA ITEM EXECUTIVE SUMMARY</b>												
	Title:	Plan Commission Recommendation to approve a Preliminary and Final Plat of Subdivision for the Kirk Road St. Charles Subdivision											
	Presenter:	Russell Colby											
<i>Please check appropriate box:</i>													
	Government Operations				Government Services								
X	Planning & Development – (9/14/15)				City Council								
	Public Hearing												
<table border="1" style="width: 100%;"> <tr> <td>Estimated Cost:</td> <td>N/A</td> <td>Budgeted:</td> <td>YES</td> <td></td> <td>NO</td> <td></td> </tr> </table>							Estimated Cost:	N/A	Budgeted:	YES		NO	
Estimated Cost:	N/A	Budgeted:	YES		NO								
If NO, please explain how item will be funded:													
<b>Executive Summary:</b>													
<p>The subject property comprises 15 acres of a 33 acre parcel of undeveloped agricultural land along the east side of Kirk Road, south of the Legacy Business Park. The entire parcel of undeveloped land was annexed into the City in 2005 along with the Legacy Business Park. The property is zoned M2 Limited Manufacturing.</p> <p>Venture One Acquisitions, LLC proposes a subdivision to create a 15-acre building lot on the northern portion of the undeveloped parcel. The proposed development is a 257,920 sf. industrial building (with 180,000 sf. to be constructed initially) for AJR Filtration. (The southern portion of the larger parcel extending to Division Street would not be subdivided at this time.)</p> <p>The Committee is reviewing the subdivision only, not the actual development plans for the building on the lot. However, this information has been provided to understand the anticipated site plan in relation to the proposed lot.</p> <p>Staff has found the application materials to be complete and the combined Preliminary and Final Plat of Subdivision to be substantially in compliance with the all code requirements, subject to the applicant submitting revised plans addressing the outstanding staff review comments.</p> <p><b>Plan Commission Review</b> The Plan Commission reviewed the application on August 18, 2015. The Commission voted 9-0 to recommend approval of the Preliminary and Final Plat of Subdivision.</p>													
<b>Attachments:</b> <i>(please list)</i>													
Plan Commission Resolution, Staff Report, Applications for Preliminary and Final of Subdivision, plans													
<b>Recommendation / Suggested Action</b> <i>(briefly explain):</i>													
Staff recommends approval of the combined Preliminary and Final Plat of Subdivision, contingent upon resolution of staff comments prior to City Council action.													
<i>For office use only:</i>		<i>Agenda Item Number: 3a</i>											

**City of St. Charles, Illinois**  
**Plan Commission Resolution No. 13-2015**

**A Resolution Recommending Approval of a Preliminary and Final Plat of  
Subdivision for Kirk Road St. Charles Subdivision (Venture One  
Acquisitions, LLC)(Kirk Road south of Legacy Business Park)**

**Passed by Plan Commission on August 18, 2015**

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review Preliminary and Final Plats of Subdivision; and

WHEREAS, the Plan Commission has reviewed the Preliminary and Final Plat of Subdivision for Kirk Road St. Charles Subdivision (Venture One Acquisitions, LLC) (Kirk Road south of Legacy Business Park) received July 20, 2015; and

WHEREAS, the Plan Commission finds approval of said Preliminary and Final Plat of Subdivision to be in the best interest of the City of St. Charles.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval for Kirk Road St. Charles Subdivision (Venture One Acquisitions, LLC) (Kirk Road south of Legacy Business Park) received July 20, 2015; contingent upon the resolution of all staff comments prior to City Council action, including a detailed engineering review; and approval by Kane County for the right-in, right-out access to Kirk Rd.

Voice Vote:

Ayes: Wallace, Kessler, Holderfield, Schuetz, Doyle, Frio, Macklin-Purdy, Pretz, Spruth

Nays: None

Absent:

Motion Carried.

PASSED, this 18th day of August 2015.

---

Chairman  
St. Charles Plan Commission

Community & Economic Development  
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



**Staff Report**

**TO:** Chairman Todd Bancroft  
And the Members of the Planning & Development Committee

**FROM:** Russell Colby  
Planning Division Manager

**RE:** Kirk Road St. Charles Subdivision

**DATE:** September 8, 2015

**I. APPLICATION INFORMATION:**

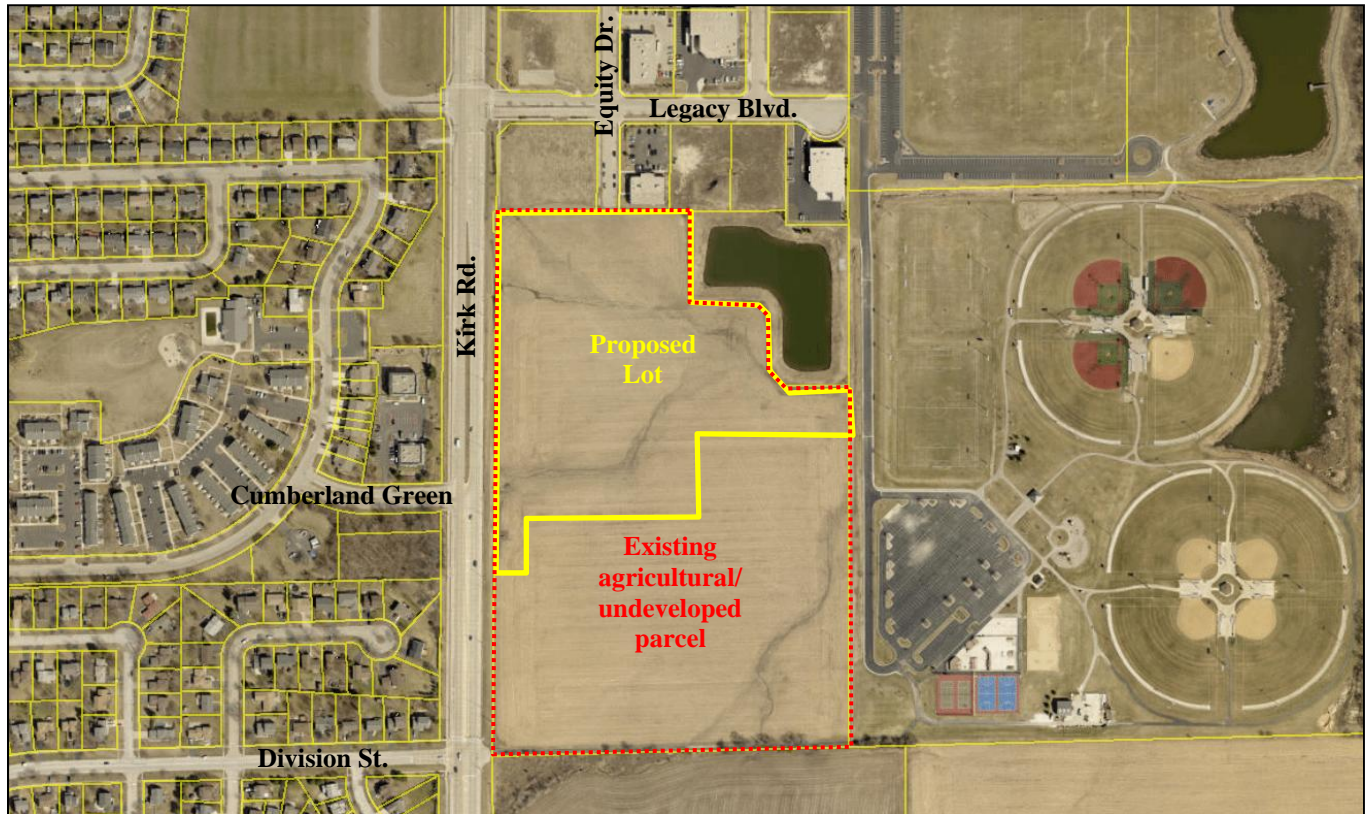
**Project Name:** Kirk Road St. Charles Subdivision

**Applicant:** Venture One Acquisitions, LLC

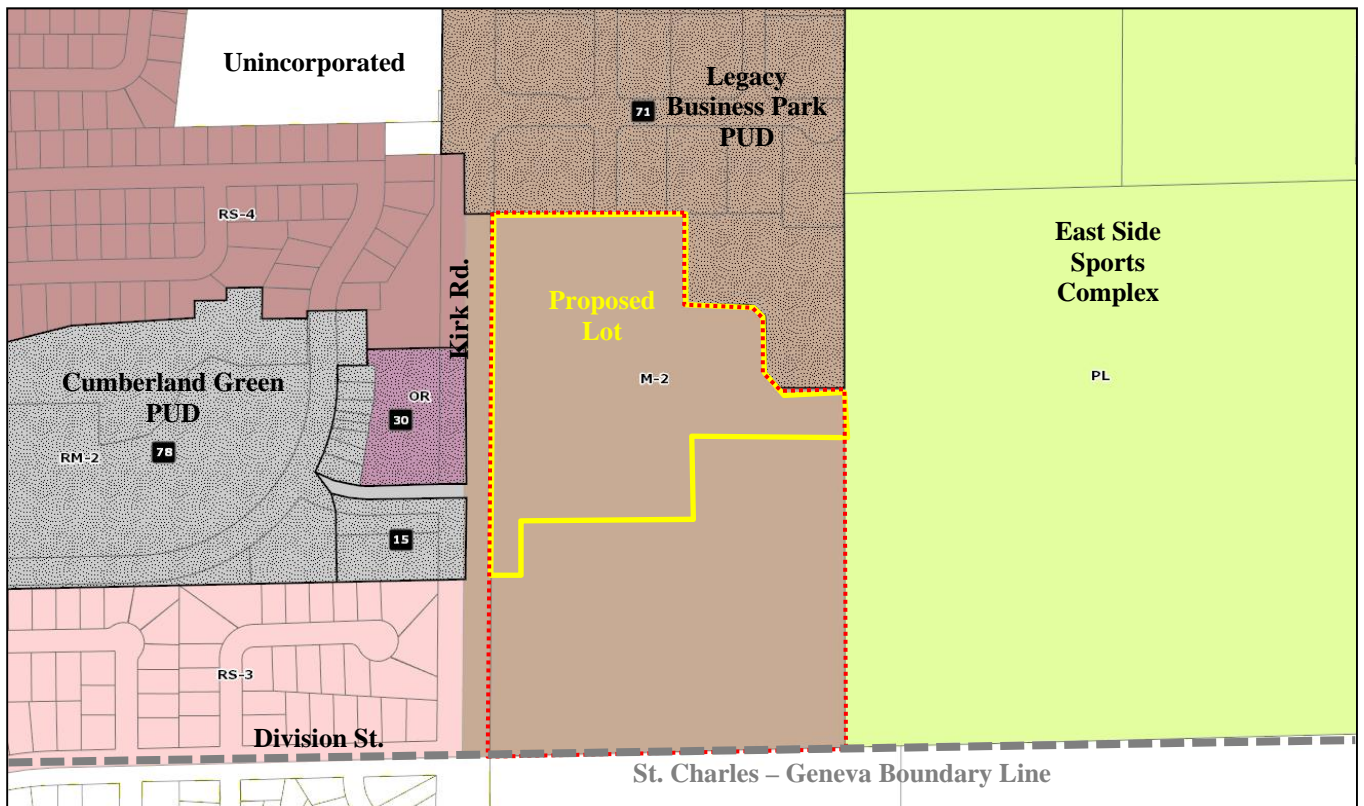
**Purpose:** Create lot for industrial building

<b>General Information:</b>		
<b>Site Information</b>		
Location	East of Kirk Road, south of Legacy Business Park	
Acres	15 acres acres	
Applications	Preliminary and Final Plat of Subdivision	
Applicable Zoning Code	Title 16, Subdivision Code	
Sections/ Ordinances	Title 17, Zoning Code, Chapter 17.16- M2 Limited Manufacturing District	
<b>Existing Conditions</b>		
Land Use	Agricultural / Undeveloped	
Zoning	M2 – Limited Manufacturing District	
<b>Zoning Summary</b>		<b>Current Land Uses</b>
North	M2 – Limited Manufacturing District	Legacy Business Park – Light Industrial uses
East	PL – Public Lands	St. Charles Parking District – East Side Sports Complex
South	M2 – Limited Manufacturing District	Agricultural / Undeveloped
West	RS-4 Suburban Single Family OR Office Research RM-2 Medium Density Multi-Family	Single Family Residential Kensington School Cumberland Green Co-Op – Multi-Family Residential
<b>Comprehensive Plan Designation</b>		
Industrial/Business Park		

## Aerial Photograph



## Zoning Map





## II. PROJECT OVERVIEW:

### BACKGROUND

The subject property comprises 15 acres of a 33 acre parcel of undeveloped agricultural land along the east side of Kirk Road, south of the Legacy Business Park. The larger parcel extends south to Division Street. The south border is along the St. Charles/Geneva Township line, which is the agreed to future boundary line between St. Charles and Geneva.

The entire parcel of undeveloped land was annexed into the City in 2005 along with the Legacy Business Park. The property is zoned M2 Limited Manufacturing.

There is an annexation agreement on the property that provides for the site to be developed per the City's M2 zoning district. The agreement requires the extension of Division Street as an industrial collector street along the south border of the larger parcel. The Comprehensive Plans for both St. Charles and Geneva include the future extension of Division Street from Kirk Road to Kautz Road.

The Legacy Business Park to the north began constructed in 2005 and is partially completed, with a number of vacant lots. Most of the uses in the park are light industrial. Portions of the site that had been approved for retail/commercial and offices uses have not developed. The subdivision street network was constructed, including Legacy Boulevard, with a signalized intersection at Kirk Road. Legacy Blvd. also provides access to the East Side Sports Complex, located east of the subject property.

### PROPOSAL

The proposal is to subdivide to create a 15 acre building lot on the northern portion of the larger undeveloped parcel. The proposed development is a 257,920 sf. industrial building (with 180,000 sf. to be constructed initially). The southern portion of the larger parcel extending to Division Street would not be subdivided at this time.

## III. ANALYSIS OF PLANS

### ZONING COMPLIANCE

Committee is reviewing the subdivision only, not the actual development plans for the building on the lot. However, this information has been provided to understand the anticipated site plan in relation to the proposed lot. The proposed building lot meets all of the M2 zoning requirements, as shown in the table below.

	<b>M2 Zoning Standard</b>	<b>Proposed</b>
<b>Min. Lot Area</b>	None	14.99 acres
<b>Min. Lot Width</b>	None	871 ft.
<b>Max. Building Coverage</b>	60%	39.4%
<b>Max. Building Height</b>	60 ft.	TBD
<b>Front Yard</b>	40 ft.	40 ft. along Kirk Rd.
<b>Interior Side Yard</b>	Building: 20 ft., Parking 0 ft.	North Lot Line: Building: 81 ft. South Lot Line: Building: 20 ft.
<b>Rear Yard</b>	Building, 20 ft., Parking 0 ft.	East Lot Line: Building: 130 ft.
<b>Landscape Buffer Yard</b>	40 ft. adjacent to residential	40 ft. along Kirk Rd.

<b>Required Parking</b>	For Manufacturing, Light or Heavy, and Warehouse/Distribution 1 space per 1,000 sf of gross floor area	At full build out: 257 spaces required, 267 spaces provided.
-------------------------	---	--

### ACCESS

No new public streets are proposed as a part of the project. Full access to the lot will be from the existing street stub of Equity Drive on the north and from a proposed right-in/right-out access to Kirk Road at the south end of the proposed lot. All truck traffic will utilize Equity Drive.

Kirk Road is under the jurisdiction of the Kane County Department of Transportation (KDOT). Installation of the right-in/right-out access will require approval from Kane County. On August 18, 2015, the Kane County Board Transportation Committee reviewed the proposal and was supportive of the right-in/right-out access.

### TRAFFIC STUDY

A traffic study has been provided. The study finds that the proposed access is adequate for the site to be developed as proposed. This traffic study information is also being reviewed by KDOT in connection with the proposed new right-in/right-out access point.

Traffic studies were conducted in 2005 at the time the Legacy Business Park to the north was approved. Those traffic studies assumed development of the larger undeveloped parcel to the south, which includes the proposed lot, would occur with light industrial uses and potentially some other higher traffic generating retail or service uses. It was also assumed that traffic from the undeveloped parcel would have access to Kirk Road from both the Legacy Blvd. and Division St. traffic signals. As proposed, without cross access, traffic from the undeveloped parcel would be split between the two intersections (with traffic from the proposed lot not having access to future Division St.).

Quantifying future traffic from the undeveloped portions of Legacy Business Park is difficult because the site has not developed with the land uses that were anticipated. A number of higher traffic generating land uses were contemplated on certain lots, including commercial service/restaurant uses and office buildings. The City is not aware of any of these types of businesses having an interest in this location.

Information in the traffic study regarding the Phase II development and the design of Division Street will be reviewed at the time the southern portion of the larger parcel is proposed to be subdivided.

### FINAL PLAT OF SUBDIVISION

A Final Plat of Subdivision has been submitted. The plat appears to comply with all code requirements. The plat may need to be revised depending on revisions to the final engineering plans for the development of the proposed lot.

The final version of the plat will need to include a table listing all easement areas to be granted to the City.

Also, the Kirk Rd. frontage should be labelled on the Final Plat as the Front Yard.

### **ENGINEERING REVIEW**

Preliminary engineering plans are required to be submitted for a proposed subdivision that involves land improvements. In this case, because no streets are proposed, the land improvements required are relatively minimal and would be limited to constructing sidewalk and extending utilities along the frontage of Kirk Rd.

Because a building is being proposed for the property, final level engineering plans for the development of the lot have been submitted with the subdivision applications. The engineering improvements shown on the plans are mostly associated with the building itself.

Final engineering plans are subject to staff review and approval only. Plans have been reviewed by staff and comments have been provided to the developer. No major issues have been identified with the improvements shown on the plans.

A landscape plan has also been submitted. The required landscape areas have been provided on the plans and additional calculations have been requested to demonstrate compliance with the planting requirements.

### **IV. PLAN COMMISSION RECOMMENDATION**

The Plan Commission reviewed the Preliminary and Final Plat of Subdivision on August 18, 2015 and recommended approval, 9-0.

### **V. STAFF RECOMMENDATION**

Staff has found the application materials to be complete and the combined Preliminary and Final Plat of Subdivision to be substantially in compliance with the all code requirements, subject to the applicant submitting revised plans addressing the outstanding staff review comments.

Staff recommends approval of the combined Preliminary and Final Plat of Subdivision, contingent upon resolution of staff comments prior to City Council action.

### **VI. ATTACHMENTS**

- Applications
- Engineering and Subdivision plat documents
- Traffic Study

# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

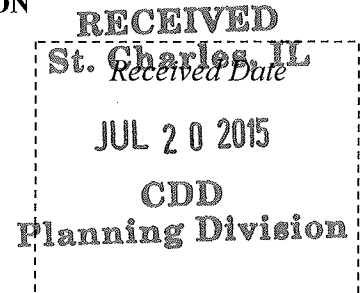


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## PRELIMINARY PLAT OF SUBDIVISION APPLICATION

<b>For City Use</b>	
Project Name:	<u>Kirk Rd. St. Charles Subdivision</u>
Project Number:	<u>2015</u> -PR- <u>014</u>
Application No.	<u>2015</u> -AP- <u>026</u>



To request preliminary approval of a subdivision, complete this application and submit it with all required attachments to the Planning Division.

When the application is complete City staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the proposed subdivision on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location: +/-1,000' north of the NEC of Kirk and Division	
	Parcel Number (s): 09-36-300-048	
	Proposed Subdivision Name: Kirk Road St. Charles Subdivision	
<b>2. Applicant Information:</b>	Name <u>VENTURE ONE ACQUISITIONS, LLC</u>	Phone <u>847-243-4306</u>
	Address <u>9500 W. BAYN MAWR AVENUE, SUITE 340</u> <u>ROSEMONT, IL 60018</u>	Fax <u>847-243-4307</u>
		Email <u>JEFFR@VENTUREONERO.COM</u>
<b>3. Record Owner Information:</b>	Name <u>EDWARD M. REGOLE REVOCABLE TRUST DATED 11/09/93</u>	Phone <u>630-594-7161</u>
	Address <u>P.O. Box 3411</u> <u>ST. CHARLES, IL 60174</u>	Fax <u>Same (but phone first)</u>
		Email <u>NONE</u>

**Please check the type of application:**

- ☐ **Preliminary Plat of Subdivision** (Final Plat of Subdivision to be filed later)  
☒ **Combined Preliminary-Final Review Process** (Final Plat Application filed concurrently)

**This application is not required for:**

- **Minor Subdivision** – File only a Minor Subdivision - Final Plat application (Minor Subdivision per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)
- **Planned Unit Developments - PUD** (The PUD Preliminary Plan Application should be filed instead)

**Attachment Checklist:**

*For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

☐ **APPLICATION FEE:**

Application fee in accordance with Appendix A of the Subdivision Code. Refer to attached Schedule of Application Fees.

☐ **REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Exhibit B of the Zoning Ordinance.

☐ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☐ **PROOF OF OWNERSHIP and DISCLOSURE:**

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, submit the attached Ownership Authorization form to permit the applicant to act on the owner's behalf. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).)

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions*



*or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

❑ **LEGAL DESCRIPTION:**

For entire subject property, on 8 1/2 x 11 inch paper

❑ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

❑ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

*Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.*

❑ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

*Fill out the online form, print the report and submit with this application.*

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

❑ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

❑ **PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans.

❑ **STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached).

❑ **TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

❑ **DEPARTURES FROM SUBDIVISION CODE STANDARDS:**

List any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and reasons for requesting each departure.

❑ **PARK AND SCHOOL LAND/CASH WORKSHEETS**

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

❑ **INCLUSIONARY HOUSING SUMMARY & WORKSHEET:**

For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

Edward J. Pegole Trustee      7/16/2015  
Record Owner      Date

Mark Hoode      7/16/15  
Applicant or Authorized Agent      Date

# CITY OF ST. CHARLES

TWO EAST MAIN STREET  
ST. CHARLES, ILLINOIS 60174-1984

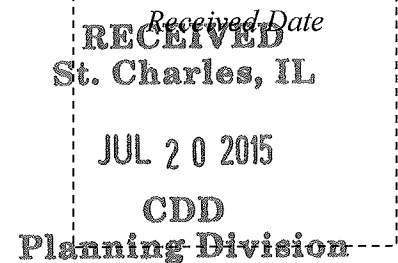


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

## FINAL PLAT OF SUBDIVISION APPLICATION

<b>For City Use</b>	
Project Name:	Kirk Rd. St. Charles Subdivision
Project Number:	2015 -PR- 014
Application Number:	2015 -AP- 027



To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.

When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

<b>1. Property Information:</b>	Location: +/-1,000' North of the NEC of Kirk and Division	
	Parcel Number (s): 09-36-300-048	
	Proposed Subdivision Name: Kirk Road St Charles Subdivision	
<b>2. Applicant Information:</b>	Name VENTURE ONE ACQUISITIONS, LLC	Phone 847-243-4300
	Address 7500 W. BRYAN MAWR AVENUE, SUITE 340 ROSEMONT, IL 60018	Fax 847-243-4303
		Email JEFF@VENTUREONERE.COM
<b>3. Record Owner Information:</b>	Name EDWARD N. REGOLE REVOCABLE TRUST DATED 11/09/97	Phone 630-584-7161
	Address P.O. Box 3411 ST. CHARLES, IL 60174	Fax Same (but please first)
		Email NAN?

**Please check the type of application:**



**Subdivision:**

- ☐ Preliminary Subdivision Plat was previously approved by the City  
☒ Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)



**Planned Unit Development (PUD):**

- ☐ PUD Preliminary Plan was previously approved by the City  
☐ Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)  
☐ PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

**Attachment Checklist:**

*For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.*

**☐ APPLICATION FEE:**

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

**☐ REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

**☐ REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

**☐ PROOF OF OWNERSHIP and DISCLOSURE:**

Submit one of the following:

- a) A current title policy report; or  
b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

*NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.*

❑ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

**Copies of Plans:**

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

❑ **SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

❑ **FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

❑ **ENGINEER'S COST ESTIMATE SPREADSHEET:**

See attached form.

❑ **STORMWATER MANAGEMENT PERMIT APPLICATION** (if not already filed)

❑ **STORMWATER REPORT**

❑ **FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT**

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

*A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.*

❑ **COPIES OF THIRD PARTY PERMIT/APPROVALS**

- Illinois EPA Water Pollution Control Permit for sanitary sewer extension



- Illinois EPA Division of Public Water Supplies Permit for water mains
- Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
- IDNR Office of Water Resources Permit (for work in flood plain)
- Wetlands Permit from Army Corps of Engineers
- Kane County DOT and/or IDOT signature on Final Plat (if applicable)
- Offsite easements and right of way necessary to construct the required Land Improvements

☐ **WORKSHEETS (Residential Development only)**

- PARK AND SCHOOL LAND/CASH WORKSHEETS: For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.
- INCLUSIONARY HOUSING WORKSHEET

**I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.**

Edward H. Regole Trustee 7/16/2015  
Record Owner Date

Mark G. Hodge 7/16/15  
Applicant or Authorized Agent Date

**OWNERSHIP DISCLOSURE FORM  
LAND TRUST**

STATE OF ILLINOIS     )  
                                      ) SS.  
KANE COUNTY            )

I, Edward M. Regole, being first duly sworn on oath depose and say that I am  
Sole Trustee  
Trust Officer of Edward M. Regole Revocable Trust, and that the following  
dated 11/9/93  
persons are all of the beneficiaries of Land Trust No. \_\_\_\_\_:  
the trust

<u>Edward M. Regole</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: Edward M. Regole, Trustee  
Trust Officer

Subscribed and Sworn before me this 16th day of  
July, 20 15.

Dawn M. Wexell  
Notary Public

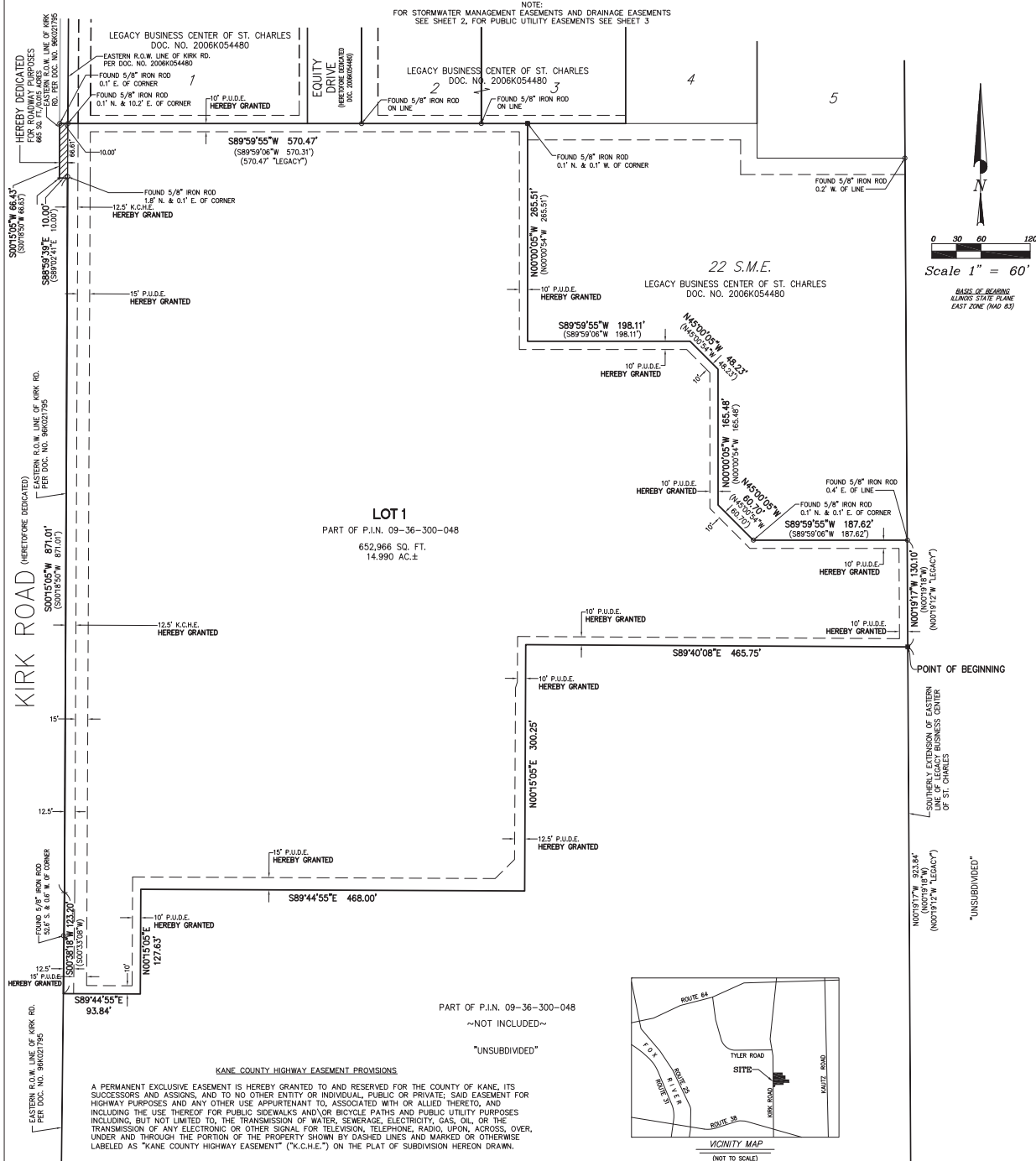


P.I.N. NUMBER:  
PART OF 09-36-300-048

OF

PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 40, NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, KANE COUNTY, ILLINOIS.

NOTE:  
FOR STORMWATER MANAGEMENT EASEMENTS AND DRAINAGE EASEMENTS  
SEE SHEET 2. FOR PUBLIC UTILITY EASEMENTS SEE SHEET 3



AN IRREVOCABLE PERPETUITY EASEMENT IS HEREBY GRANTED TO AND RESERVED FOR THE COUNTY OF KANE, ITS SUCCESSORS AND ASSIGNS, AND TO NO OTHER ENTITY OR INDIVIDUAL, PUBLIC OR PRIVATE, SAID EASEMENT FOR THE HIGHWAY PURPOSES AND OTHER USE APPURTINANT TO, ASSOCIATED WITH OR RELATED TO, THE EASEMENT INCLUDING THE USE THEREOF FOR PUBLIC SIDEWALKS AND/OR BICYCLE PATHS AND PUBLIC UTILITY PURPOSES INCLUDING, BUT NOT LIMITED TO, THE TRANSMISSION OF WATER, SEWERAGE, ELECTRICITY, GAS, OIL, OR THE TRANSMISSION OF ANY ELECTRONIC OR OTHER SIGNAL FOR TELEVISION, TELEPHONE, RADIO, UPON, ACROSS, OVER AND UNDER AND THROUGH THE PORTION OF THE PROPERTY SHOWN BY DASHED LINES AND MARKED OR OTHERWISE LABELED AS "KANE COUNTY HIGHWAY EASEMENT" ("K.C.H.E.") ON THE PLAT OF SUBDIVISION HEREON DRAWN.

~~PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS~~

[illegible]

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERMING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREES WILL BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT OBSTRUCT THE EASEMENT. THE GRANTEES SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OR SAID CITY OF ST. CHARLES. THE GRANTEES SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, SHRUBS, OR OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES.

FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEES IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREUNDER, THE GRANTEES SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, SHRUBS, OR OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES.

NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK TO BACKFILL AND MOUND SO AS TO RETURN THE EASEMENT TO THE ORIGINAL CONDITION, OR BETTER, IN AN EASEMENT CONDITION.

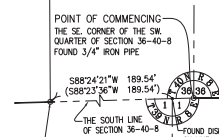
**LEGEND**

- |          |                                    |
|----------|------------------------------------|
| ■        | CONCRETE MONUMENT TO BE SET        |
| ○ F.I.R. | FOUND IRON ROD                     |
| K.C.H.E. | KANE COUNTY HIGHWAY EASEMENT       |
| S.M.E.   | STORMWATER MANAGEMENT EASEMENT     |
| P.U.E.   | PUBLIC UTILITY EASEMENT            |
| P.U.D.E. | PUBLIC UTILITY & DRAINAGE EASEMENT |
| D.E.     | DRAINAGE EASEMENT                  |

NOTES:

- 1). IRON RODS WITH CAPS WILL BE SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
- 2). ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- 3). THE SUBJECT SITE IS CURRENTLY ZONED M-2 "LIMITED MANUFACTURING" PER THE PER THE CITY OF ST. CHARLES 2015 ZONING MAP PUBLISHED MARCH 1, 2015.

AREA TABLE	
LOT 1	652,966 SQ. FT. / 14.990 AC.
R.O.W. TO BE DEDICATED	665 SQ. FT. / 0.015 AC.
TOTAL	653,631 SQ. FT. / 15.005 AC.



Survey No.:	D524j		
Ordered By.:	VENTURE ONE REAL ESTATE		
Description:	PLAT OF SUBDIVISION		
Date Prepared:	JULY 17, 2015		
Scale:	1" = 60'	Field Work:	KW/SM/KG
		Prepared By:	REW



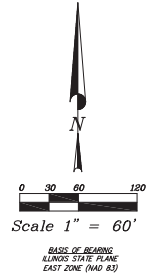
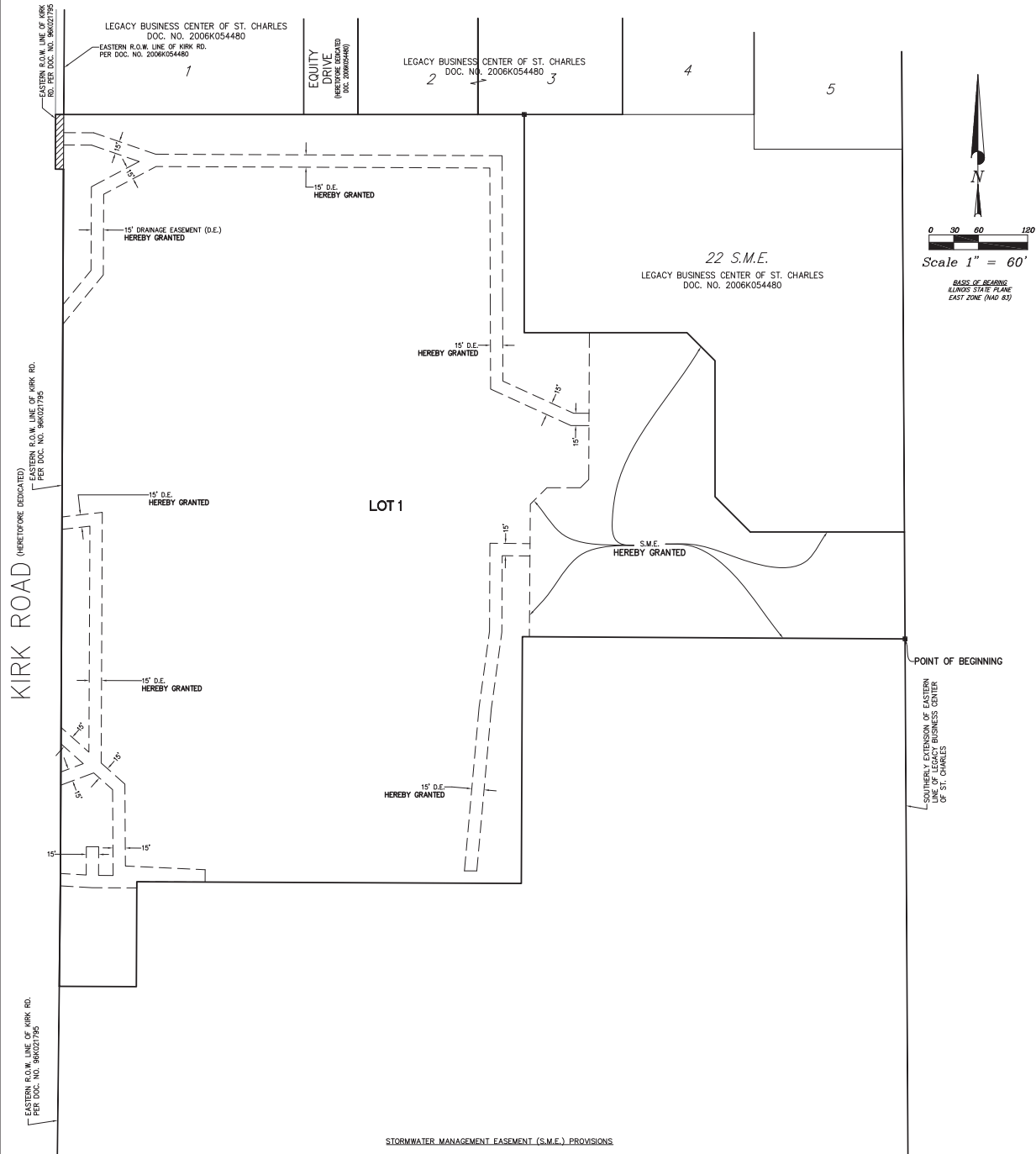
**JACOB & HEFNER**  
**ASSOCIATES**  
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148  
PHONE: (630) 652-6600, FAX: (630) 652-6601  
[www.jacobandhefner.com](http://www.jacobandhefner.com)  
Illinois Professional Design Firm  
License No. 184-003073 Exp. 4/30/17

P.L.N. NUMBER:  
PART OF 09-36-300-048

# KIRK ROAD ST. CHARLES SUBDIVISION

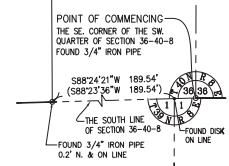
OF

PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 40, NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL  
MERIDIAN, KANE COUNTY, ILLINOIS.



## STORMWATER MANAGEMENT EASEMENT (S.M.E.) PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER MANAGEMENT EASEMENT" (S.M.E.) ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENOVATING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER MANAGEMENT. THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE STORMWATER MANAGEMENT EASEMENT SHALL BE BINDING ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS. NO PERSON SHALL DESTROY OR MODIFY SLOPES OR OTHERWISE AFFECT THE STORMWATER MANAGEMENT EASEMENT WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY STORMWATER MANAGEMENT EASEMENT AREA DISTURBED BY UNAUTHORIZED ACTIVITIES.



Survey No.:	D524J
Ordered By:	VENTURE ONE REAL ESTATE
Description:	PLAT OF SUBDIVISION
Date Prepared:	JULY 17, 2015
Scale:	1" = 60'
Field Work:	NW/SM/NO
Prepared By:	RRW

SHEET 2 OF 4

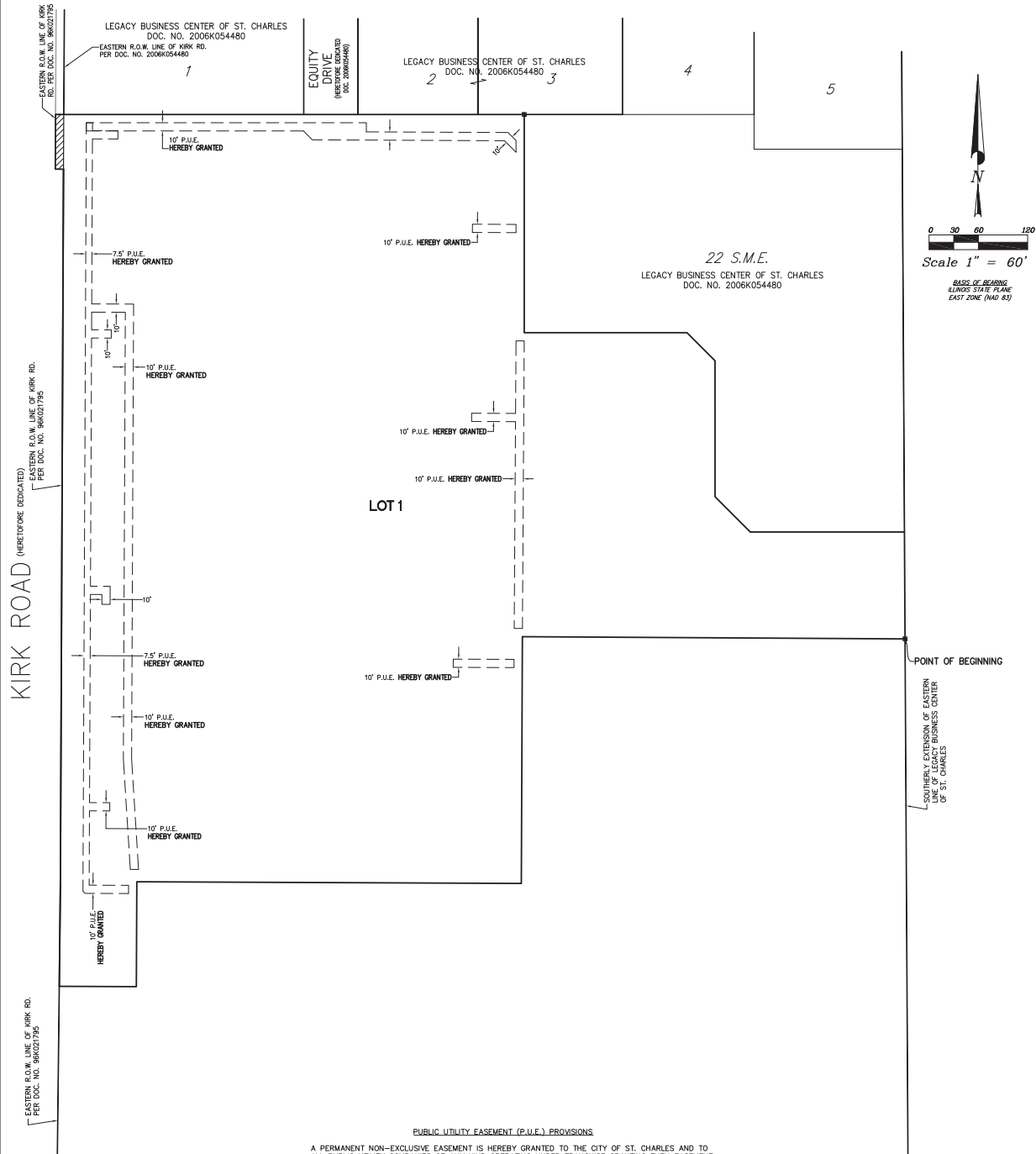
**JACOB & HEFNER ASSOCIATES**  
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148  
PHONE: (630) 652-6608, FAX: (630) 652-6601  
www.jacobandhefner.com  
Illinois Professional Design Firm  
License No. 194-000773 Exp. 4/30/17

P.L.N. NUMBER:  
PART OF 09-36-300-048

# KIRK ROAD ST. CHARLES SUBDIVISION

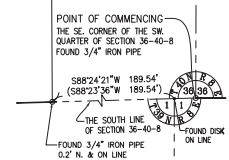
OF

PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 40, NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL  
MERIDIAN, KANE COUNTY, ILLINOIS.



## PUBLIC UTILITY EASEMENT (P.U.E.) PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT (P.U.E.) ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO SAID GRANTEEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS. IN THE EVENT UTILITY MAINTENANCE IS PERFORMED WITHIN THE UTILITY EASEMENT, THE CITY OF ST. CHARLES WILL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, PAVING, FENCES, SIDEWALKS, CURBING, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.



Survey No.:	D524J
Ordered By:	VENTURE ONE REAL ESTATE
Description:	PLAT OF SUBDIVISION
Date Prepared:	JULY 17, 2015
Scale:	1" = 60'
Field Work:	NW/2M/20
Prepared By:	REY

SHEET 3 OF 4



**JACOB & HEFNER**  
ASSOCIATES  
1110 S. Highland Avenue, Suite 100, Lombard, IL 60148  
PHONE: (630) 652-6608, FAX: (630) 652-6601  
www.jacobandhefner.com  
Illinois Professional Design Firm  
License No. 194-000773 Exp. 4/30/17



# KIRK ROAD ST. CHARLES SUBDIVISION

OF

PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 40, NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, KANE COUNTY, ILLINOIS.

## OWNER'S CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

THIS IS TO CERTIFY THAT \_\_\_\_\_ IS THE OWNER OF THE PROPERTY DESCRIBED IN THE ANNEXED PLAT AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, PLATTED, AND RECORDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

PURSUANT TO SECTION 1.005 OF THE PLAT ACT, 765 ILCS 205, THIS DOCUMENT SHALL SERVE AS THE NOTARIZED STATEMENT CONCERNING THE SCHOOL DISTRICT STATEMENT TO BE SUBMITTED SIMULTANEOUSLY WITH THE FINAL PLAT OF KIRK ROAD ST. CHARLES SUBDIVISION, IN KANE COUNTY, ILLINOIS.

TO THE BEST OF THE OWNER'S KNOWLEDGE THE SCHOOL DISTRICT(S) IN WHICH THE TRACT OF LAND LIES, IS IN THE FOLLOWING DISTRICT(S):

ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

(OWNER NAME/ADDRESS)

BY: \_\_\_\_\_

ITS: \_\_\_\_\_

## NOTARY CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE

AFORSAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

BY: \_\_\_\_\_  
NOTARY PUBLIC COMMISSION EXPIRES

## CERTIFICATE OF COUNTY CLERK

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

I, \_\_\_\_\_, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT TAXES, NO UNPAID FORFEITED TAXES, NO UNPAID CURRENT GENERAL TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ IN THE YEAR 2015 A.D.

BY \_\_\_\_\_  
COUNTY CLERK

## CERTIFICATE OF COUNTY ENGINEER

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

THIS PLAT HAS BEEN APPROVED BY THE KANE COUNTY ENGINEER WITH RESPECT TO ROADWAY ACCESS TO \_\_\_\_\_ PURSUANT TO ILCS CHAPTER 765 PARAGRAPH 205/2.

DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

\_\_\_\_\_  
COUNTY ENGINEER

## CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT, OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT THE CITY OF ST. CHARLES, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

BY \_\_\_\_\_  
COLLECTOR OF SPECIAL ASSESSMENTS

## DIRECTOR OF COMMUNITY DEVELOPMENT

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

I, \_\_\_\_\_ DO HEREBY CLARIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DATED AT THE CITY OF ST. CHARLES,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

DIRECTOR OF COMMUNITY DEVELOPMENT

## PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015 A.D.

CITY OF ST. CHARLES PLAN COMMISSION

\_\_\_\_\_  
CHAIRMAN

## CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS,

BY \_\_\_\_\_  
MAYOR

ATTEST \_\_\_\_\_  
CITY CLERK

## SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS IS TO CERTIFY THAT I, TIMOTHY G. WOLFE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 36; THENCE SOUTH 88 DEGREES 24 MINUTES 21 SECONDS WEST (BASIS OF BEARINGS - ILLINOIS STATE PLANE COORDINATES - EAST ZONE (NAD83)) ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER SECTION 189.54 FEET TO THE SOUTHERLY EXTENSION OF THE EASTERN LINE OF LEGACY BUSINESS CENTER OF ST. CHARLES RECORDED MAY 18, 2006, AS DOCUMENT NUMBER 200603054480 IN THE OFFICE OF THE RECORDER, KANE COUNTY, ILLINOIS; THENCE NORTH 00 DEGREES 19 MINUTES 17 SECONDS WEST ALONG SAID SOUTHERLY EXTENSION 923.84 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING NORTH 00 DEGREES 19 MINUTES 17 SECONDS WEST ALONG SAID SOUTHERLY EXTENSION 130.10 FEET TO THE SOUTHEASTERN CORNER OF SAID LEGACY BUSINESS CENTER OF ST. CHARLES (THE FOLLOWING SEVEN (7) COURSES ARE ALONG THE SOUTHERN LINE OF SAID LEGACY BUSINESS CENTER OF ST. CHARLES SUBDIVISION: 1) THENCE SOUTH 89 DEGREES 59 MINUTES 55 SECONDS WEST 187.62 FEET; 2) THENCE NORTH 45 DEGREES 00 MINUTES 05 SECONDS WEST 60.70 FEET; 3) THENCE NORTH 00 DEGREES 00 MINUTES 05 SECONDS WEST 165.48 FEET; 4) THENCE NORTH 45 DEGREES 00 MINUTES 05 SECONDS WEST 48.23 FEET; 5) THENCE SOUTH 89 DEGREES 59 MINUTES 55 SECONDS WEST 198.11 FEET; 6) THENCE NORTH 00 DEGREES 00 MINUTES 05 SECONDS WEST 265.51 FEET; 7) THENCE SOUTH 89 DEGREES 59 MINUTES 55 SECONDS WEST 570.47 FEET TO THE SOUTHWESTERN CORNER OF SAID LEGACY BUSINESS CENTER OF ST. CHARLES, SAID POINT ALSO BEING ON THE EASTERN LINE OF KIRK ROAD AS CONVEYED TO THE COUNTY OF KANE BY A TRUSTEE'S DEED RECORDED AS DOCUMENT NUMBER 96K021795 IN THE OFFICE OF THE RECORDER, KANE COUNTY, ILLINOIS (THE FOLLOWING FOUR (4) COURSES ARE ALONG SAID EASTERN LINE OF KIRK ROAD): 1) THENCE SOUTH 00 DEGREES 15 MINUTES 05 SECONDS WEST 66.43 FEET; 2) THENCE SOUTH 89 DEGREES 59 MINUTES 39 SECONDS EAST 10.00 FEET; 3) THENCE SOUTH 00 DEGREES 15 MINUTES 05 SECONDS WEST 871.01 FEET TO AN ANGLE POINT IN SAID EASTERLY LINE; 4) THENCE SOUTH 00 DEGREES 38 MINUTES 18 SECONDS WEST 123.20 FEET; THENCE SOUTH 89 DEGREES 44 MINUTES 55 SECONDS EAST 93.84 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 05 SECONDS EAST 127.63 FEET; THENCE SOUTH 89 DEGREES 44 MINUTES 55 SECONDS EAST 468.00 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 05 SECONDS EAST 300.25 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 08 SECONDS EAST 465.75 FEET TO THE POINT OF BEGINNING IN KANE COUNTY, ILLINOIS, CONTAINING 15.005 ACRES, MORE OR LESS.

THE PLAT HEREON DRAWN IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND ACCURATELY DEPICTS SAID PROPERTY, DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. I FURTHER CERTIFY THAT ACCORDING TO A SCALED INTERPRETATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX HAVING A MAP NUMBER OF 17089C0270H FOR KANE COUNTY, ILLINOIS AND INCORPORATED AREAS, THE SUBJECT TRACT FALLS WITHIN PANEL NUMBER 17089C0270H. ACCORDING TO THIS MAP INDEX SHEET WHICH HAS A MAP REVISION DATE OF JULY 17, 2012, PANEL NUMBER 17089C0270H WAS NOT PRINTED, NO SPECIAL FLOOD HAZARD AREAS EXIST.

GIVEN UNDER MY HAND AND SEAL, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

TIMOTHY G. WOLFE  
JACOB & HEFNER ASSOCIATES, INC.  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-003535  
MY LICENSE EXPIRES NOVEMBER 30, 2016



**JACOB & HEFNER**  
ASSOCIATES  
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148  
PHONE: (630) 652-6608, FAX: (630) 652-6601  
www.jacobandhefner.com  
Illinois Professional Design Firm  
License No. 194-000973 Exp. 4-30-17

Survey No.:	D524J
Ordered By:	VENTURE ONE REAL ESTATE
Description:	PLAT OF SUBDIVISION
Date Prepared:	JULY 17, 2015
Scale:	1" = 60'
Field Work:	NW/24/70
Prepared By:	RW

SHEET 4 OF 4



# SITE IMPROVEMENT PLANS

FOR

## 180,000 SF BUILD-TO-SUIT

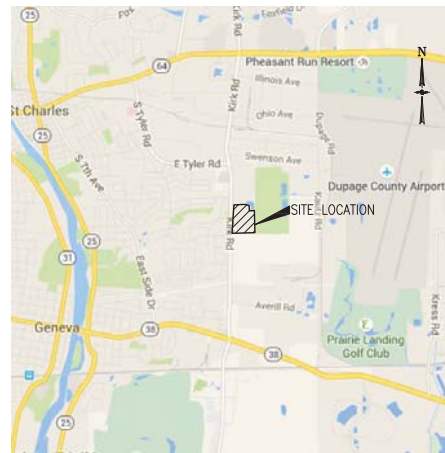
ST. CHARLES, ILLINOIS  
VENTURE ONE REAL ESTATE, LLC.

D524j  
180,000 SF BUILD-TO-SUIT  
7/17/15

### DRAWING INDEX

SHEET	TITLE
C1.0	COVER
C2.0	GENERAL NOTES & TYPICAL SECTIONS
C3.0	OVERALL EXISTING CONDITIONS & DEMOLITION PLAN
C3.1	EXISTING CONDITIONS & DEMOLITION PLAN - NORTH SECTION
C3.2	EXISTING CONDITIONS & DEMOLITION PLAN - SOUTH SECTION
C4.0	OVERALL DIMENSIONAL CONTROL & PAVING PLAN
C4.1	DIMENSIONAL CONTROL, SIGNAGE, STRIPING & PAVING PLAN - NORTH
C4.2	DIMENSIONAL CONTROL, SIGNAGE, STRIPING & PAVING PLAN - SOUTH
C5.0	OVERALL GRADING PLAN
C5.1	GRADING PLAN - NORTH SECTION
C5.2	GRADING PLAN - SOUTH SECTION
C5.3	DETAILED GRADING PLAN
C5.4	PUBLIC SIDEWALK DETAILED GRADING PLAN
C5.5	PUBLIC SIDEWALK DETAILED GRADING PLAN
C6.0	OVERALL UTILITY PLAN
C6.1	UTILITY PLAN - NORTH SECTION
C6.2	UTILITY PLAN - SOUTH SECTION
C6.3	SANITARY SEWER PLAN AND PROFILE SHEET 1
C6.4	SANITARY SEWER PLAN AND PROFILE SHEET 2
C6.5	UNDERDRAIN PLAN
C7.0	OVERALL EROSION CONTROL PLAN
C8.0	STORMWATER POLLUTION PREVENTION PLAN
C8.1	EROSION CONTROL DETAILS
C9.0	SPECIFICATIONS
C10.0-C10.3	DETAILS

PROPOSED	DESCRIPTION	EXISTING
	STORM SEWER WATER MAIN WITH SIZE SANITARY SEWER RIGHT-OF-WAY CONTOUR SPOT GRADE SANITARY MANHOLE STORM STRUCTURE STORM INLET FIRE HYDRANT PRESSURE CONNECTION GATE VALVE W/W/ULT STREET LIGHT STREET LIGHT W/W/AST OVERFLOW DIRECTION CURB & GUTTER SALT FENCE ROAD SIGN UNDERGROUND ELECTRIC UNDERGROUND GAS UTILITY POLE DEPRESSED CURB FOR RAMP/DRIVEWAY TOP OF FOUNDATION GARAGE FLOOR, AT REAR OF GARAGE TOP OF CURB, DEPRESSED TOP OF RETAINING WALL RM FOR STRUCTURES RISER FOR SANITARY SERVICE HIGH/NORMAL WATER LEVEL TRANSFORMER FENCE LINE GUARD RAIL FORCE MAIN UNDERGROUND TELEPHONE OVERHEAD ELECTRIC GAS LINE	



LOCATION MAP  
NOT TO SCALE

#### BENCHMARK & LOCATIONS:

##### REFERENCE BENCHMARK:

KANE COUNTY 30 ROD MONUMENT DESIGNATED 36-40-8, A BULLET-HEAD MONUMENT FOUND AT THE SOUTHEAST CORNER OF THE INTERSECTION OF KIRK ROAD AND SWENSON AVENUE AND IS LOCATED 54.50 FEET EAST OF THE NORTHBOUND KIRK ROAD CENTERLINE AND 121.50 FEET SOUTH OF SWENSON AVENUE CENTERLINE AT 2.20 FEET EAST OF CONCRETE SIDEWALK.

ELEVATION = 779.20 FEET (KANE COUNTY DATUM - NAVD83)

##### SITE BENCHMARKS:

BM 1:  
CUT SQUARE ON THE EAST SIDE OF CONCRETE BASE OF THE FIRST LIGHT STANDARD LYING SOUTH OF LEGACY BOULEVARD IN THE EAST RIGHT OF WAY OF KIRK ROAD.  
ELEVATION = 786.18

BM 2:  
CUT SQUARE ON THE EAST SIDE OF CONCRETE BASE OF THE FIRST LIGHT STANDARD LYING NORTH OF DIVISION STREET IN THE EAST RIGHT OF WAY OF KIRK ROAD.  
ELEVATION = 800.74

No.	Description	Date
1	ORIGINAL PLAN DATE	7/17/15
REVISIONS		

ENGINEER MATTHEW J. KRAMER MKRAMER@JACOBANDHEFNER.COM ILLINOIS REGISTRATION NO. 062-064896 EXPIRES 11/30/2015 ENGINEER ONLY CERTIFIES SHEETS	DATE _____
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPOSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND MARKED "FOR CONSTRUCTION".	



JACOB & HEFNER  
ASSOCIATES

1910 S. Highland Avenue, Suite 100, Lombard, IL 60148

PHONE: (630) 652-4600, FAX: (630) 652-4601

www.jacobandhefner.com

WARNING



CALL BEFORE  
YOU DIG

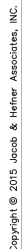
(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

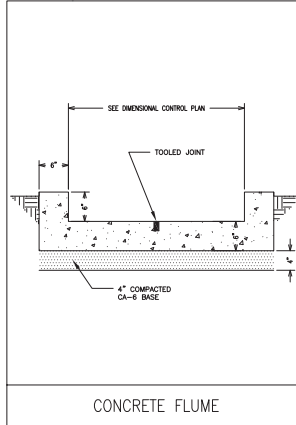
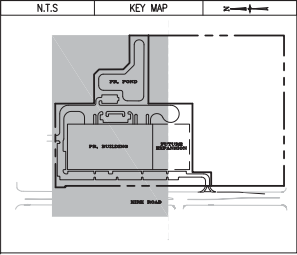
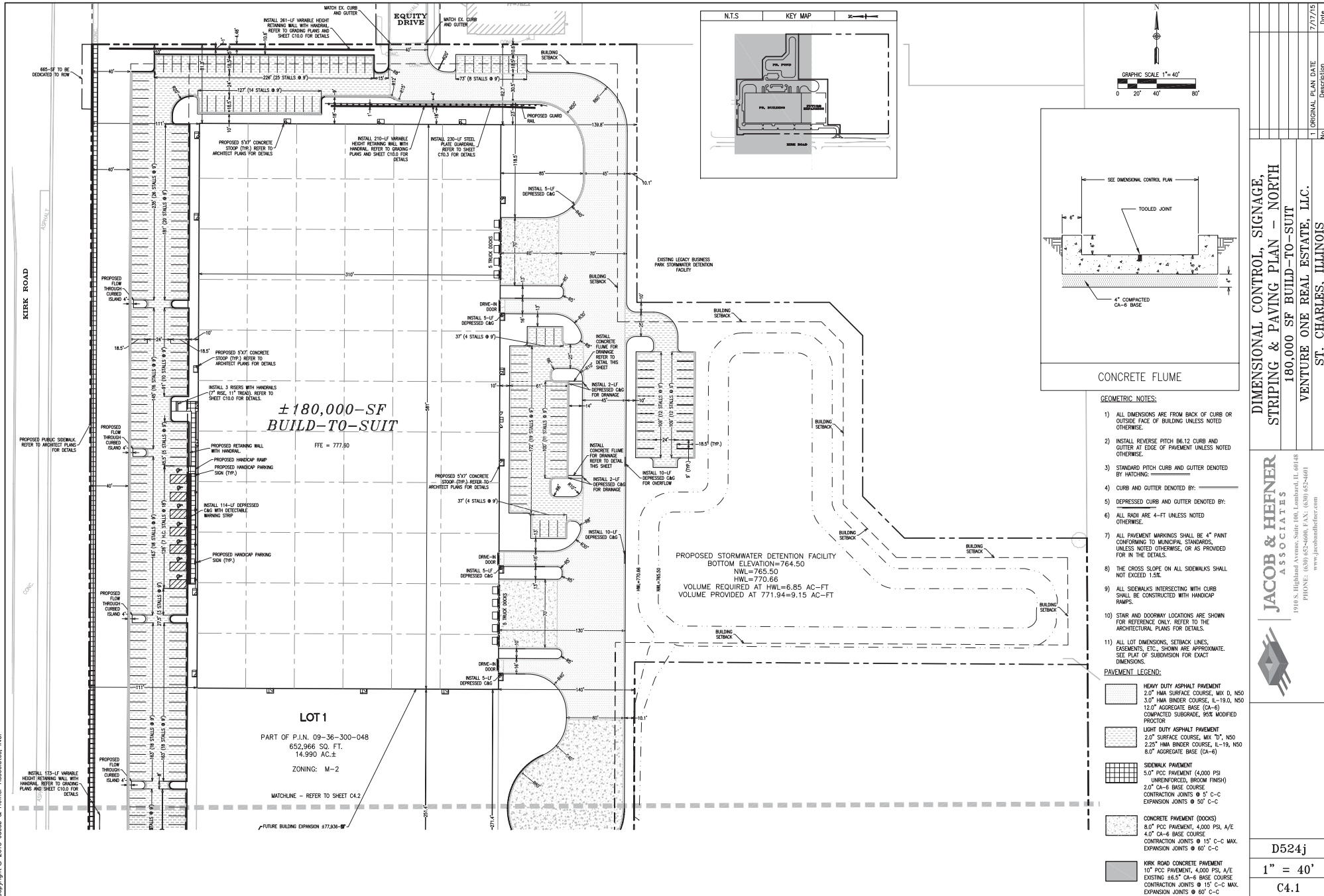
Municipality: St. Charles  
County: Kane  
Township: 40N  
Range: 8E  
Section: 36



Know what's below.  
Call before you dig.

FOR REVIEW PURPOSES ONLY





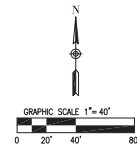
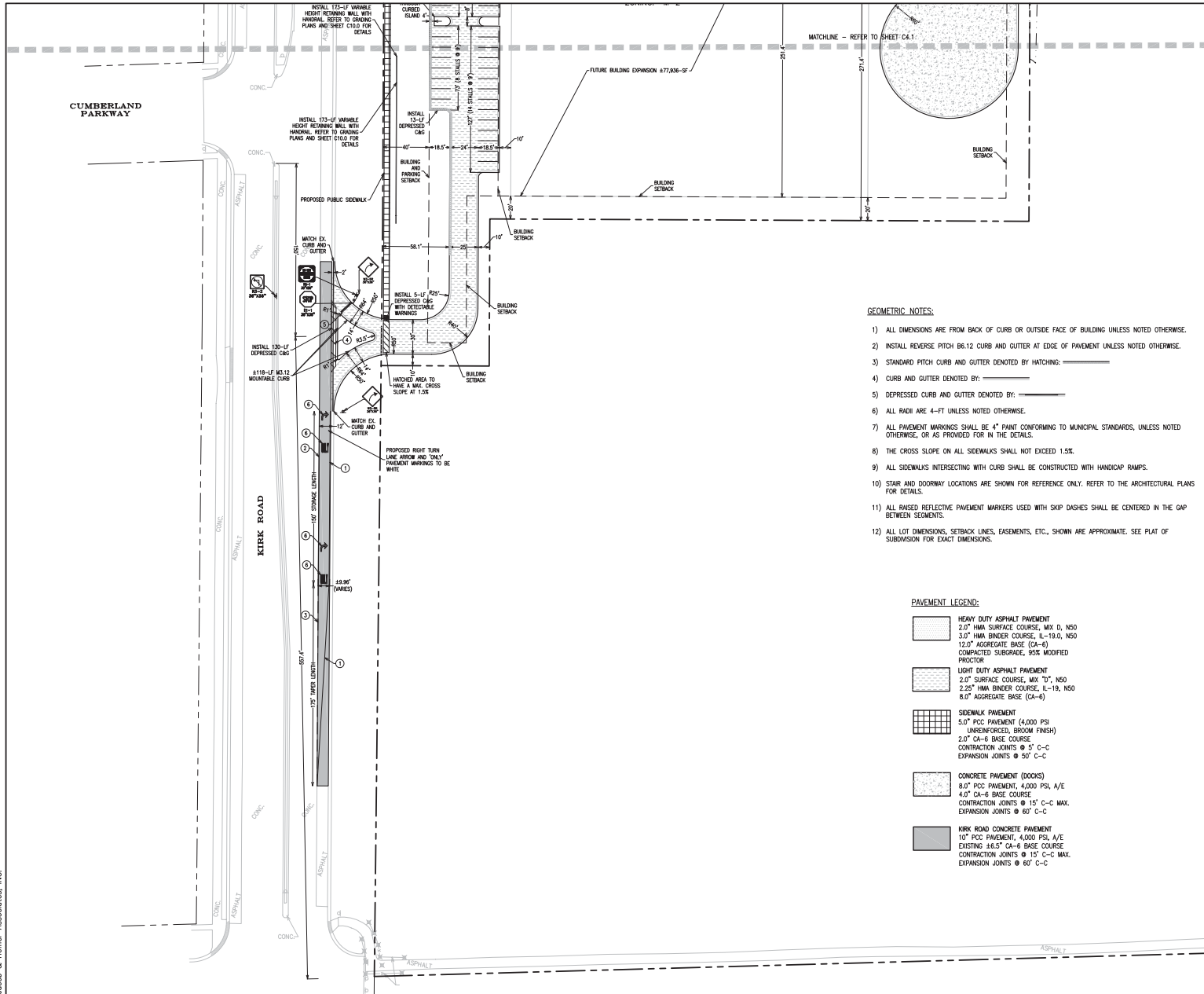
GEOMETRIC NOTES:

- 1) ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- 2) INSTALL REVERSE PITCH B&I2 CURB AND GUTTER AT EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- 3) STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING:
- 4) CURB AND GUTTER DENOTED BY:
- 5) DEPRESSED CURB AND GUTTER DENOTED BY:
- 6) ALL RADII ARE 4'-FT UNLESS NOTED OTHERWISE.
- 7) ALL PAVEMENT MARKINGS SHALL BE 4" PAINT CONFORMING TO MUNICIPAL STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- 8) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1:50.
- 9) ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.
- 10) STAR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS.
- 11) ALL LOT DIMENSIONS, SETBACK LINES, BASEMENTS, ETC., SHOWN ARE APPROXIMATE. SEE PLAN OF SUBDIVISION FOR EXACT DIMENSIONS.

PAVEMENT LEGEND:

- HEAVY DUTY ASPHALT PAVEMENT  
2.0" HMA SURFACE COURSE, MIX D, NSO  
3.0" HMA BINDER COURSE, L-19.0, NSO  
12.0" AGGREGATE BASE (CA-6)  
COMPACTED SUBGRADE, 85% MODIFIED PROCTOR
- LIGHT DUTY ASPHALT PAVEMENT  
2.0" SURFACE COURSE, MIX D, NSO  
2.25" HMA BINDER COURSE, L-19.0, NSO  
8.0" AGGREGATE BASE (CA-6)
- SIDEWALK PAVEMENT  
5.0" PCC PAVEMENT (4,000 PSI UNREINFORCED, BROOM FINISH)  
2.0" CA-6 BASE COURSE  
CONTRACTION JOINTS @ 5' C-C  
EXPANSION JOINTS @ 50' C-C
- CONCRETE PAVEMENT (DOCKS)  
8.0" PCC PAVEMENT, 4,000 PSI, A/E  
4.0" CA-6 BASE COURSE  
CONTRACTION JOINTS @ 15' C-C MAX.  
EXPANSION JOINTS @ 60' C-C
- KIRK ROAD CONCRETE PAVEMENT  
10" PCC PAVEMENT, 4,000 PSI, A/E  
EXISTING ±6.5" CA-6 BASE COURSE  
CONTRACTION JOINTS @ 15' C-C MAX.  
EXPANSION JOINTS @ 60' C-C

DIMENSIONAL CONTROL, SIGNAGE, STRIPING & PAVING PLAN - NORTH		1 ORIGINAL PLAN DATE	7/17/15	Date
180,000 SF BUILD-TO-SUIT		No.		
VENTURE ONE REAL ESTATE, LLC.		Description		
ST. CHARLES, ILLINOIS				
JACOB & HEFNER ASSOCIATES				
1910 S. Highland Avenue, Suite 108, Lombard, IL 60148				
PHONE: (630) 652-6600, FAX: (630) 652-6601				
www.jacobandhefner.com				
D524j				
1" = 40'				
C4.1				



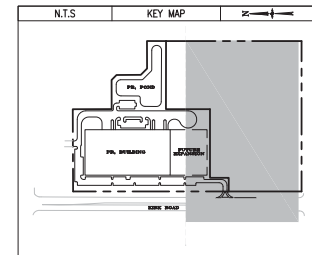
**GEOMETRIC NOTES:**

- 1) ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- 2) INSTALL REVERSE PITCH B6.12 CURB AND GUTTER AT EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- 3) STANDARD PITCH CURB AND GUTTER DENOTED BY HATCHING: \_\_\_\_\_
- 4) CURB AND GUTTER DENOTED BY: \_\_\_\_\_
- 5) DEPRESSED CURB AND GUTTER DENOTED BY: \_\_\_\_\_
- 6) ALL RADI ARE 4'-FT UNLESS NOTED OTHERWISE.
- 7) ALL PAVEMENT MARKINGS SHALL BE 4" PAINT CONFORMING TO MUNICIPAL STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- 8) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 9) ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.
- 10) STAR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS.
- 11) ALL RAISED REFLECTIVE PAVEMENT MARKERS USED WITH SKIP DASHES SHALL BE CENTERED IN THE GAP BETWEEN SEGMENTS.
- 12) ALL LOT DIMENSIONS, SETBACK LINES, EASEMENTS, ETC., SHOWN ARE APPROXIMATE. SEE PLAT OF SUBDIVISION FOR EXACT DIMENSIONS.

**PAVEMENT LEGEND:**

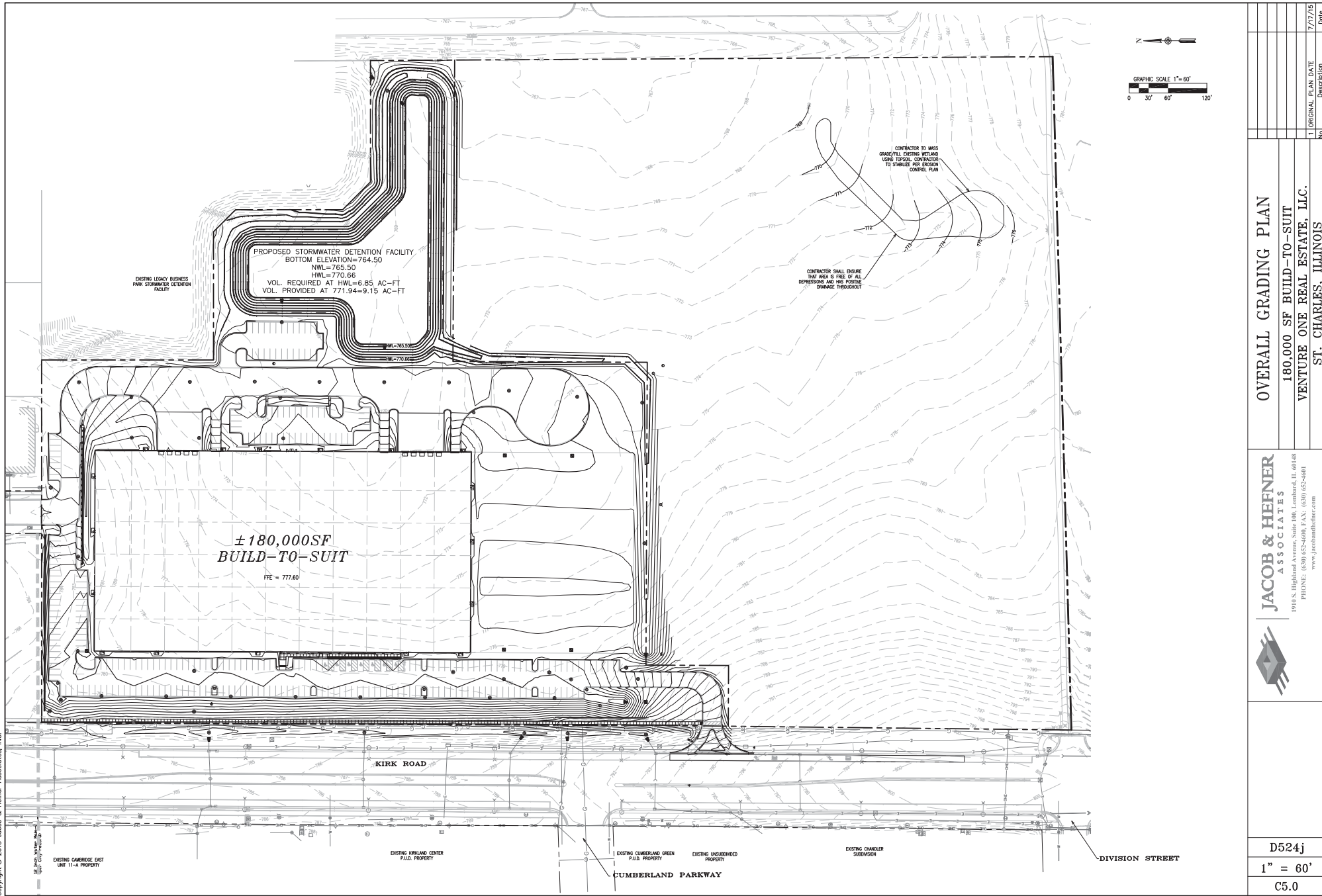
- HEAVY DUTY ASPHALT PAVEMENT**  
2.0" HMA SURFACE COURSE, MIX D, N50  
3.0" HMA BINDER COURSE, IL-19.0, N50  
12.0" AGGREGATE BASE (CA-4)  
COMPACTED SUBGRADE, 95% MODIFIED PROCTOR
- LIGHT DUTY ASPHALT PAVEMENT**  
2.0" SURFACE COURSE, MIX "D", N50  
2.25" HMA BINDER COURSE, IL-19, N50  
8.0" AGGREGATE BASE (CA-4)
- SIDEWALK PAVEMENT**  
8.0" PCC PAVEMENT (4,000 PSI UNREINFORCED, BROOM FINISH)  
2.0" CA-6 BASE COURSE  
CONTRACTION JOINTS @ 15' C-C  
EXPANSION JOINTS @ 50' C-C
- CONCRETE PAVEMENT (DOCKS)**  
8.0" PCC PAVEMENT, 4,000 PSI, A/E  
4.0" CA-6 BASE COURSE  
CONTRACTION JOINTS @ 15' C-C MAX.  
EXPANSION JOINTS @ 60' C-C
- KIRK ROAD CONCRETE PAVEMENT**  
10" PCC PAVEMENT, 4,000 PSI, A/E  
EXISTING 4.65" CA-6 BASE COURSE  
CONTRACTION JOINTS @ 15' C-C MAX.  
EXPANSION JOINTS @ 60' C-C

KIRK ROAD PAVEMENT MARKING LEGEND	
①	4" SOLID LINE - WHITE
②	6" SOLID LINE - WHITE
③	6" DOTTED LINE - WHITE (2" DASH, 6" SKIP)
④	12" SOLID LINE - WHITE
⑤	24" STOP BAR - WHITE
⑥	LETTERS AND SYMBOLS - WHITE
NOTE: ALL PAVEMENT MARKINGS WITHIN KIRK ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC	

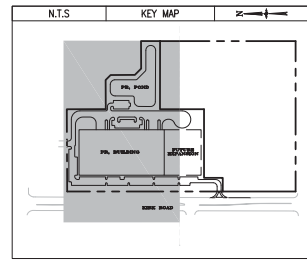
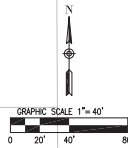
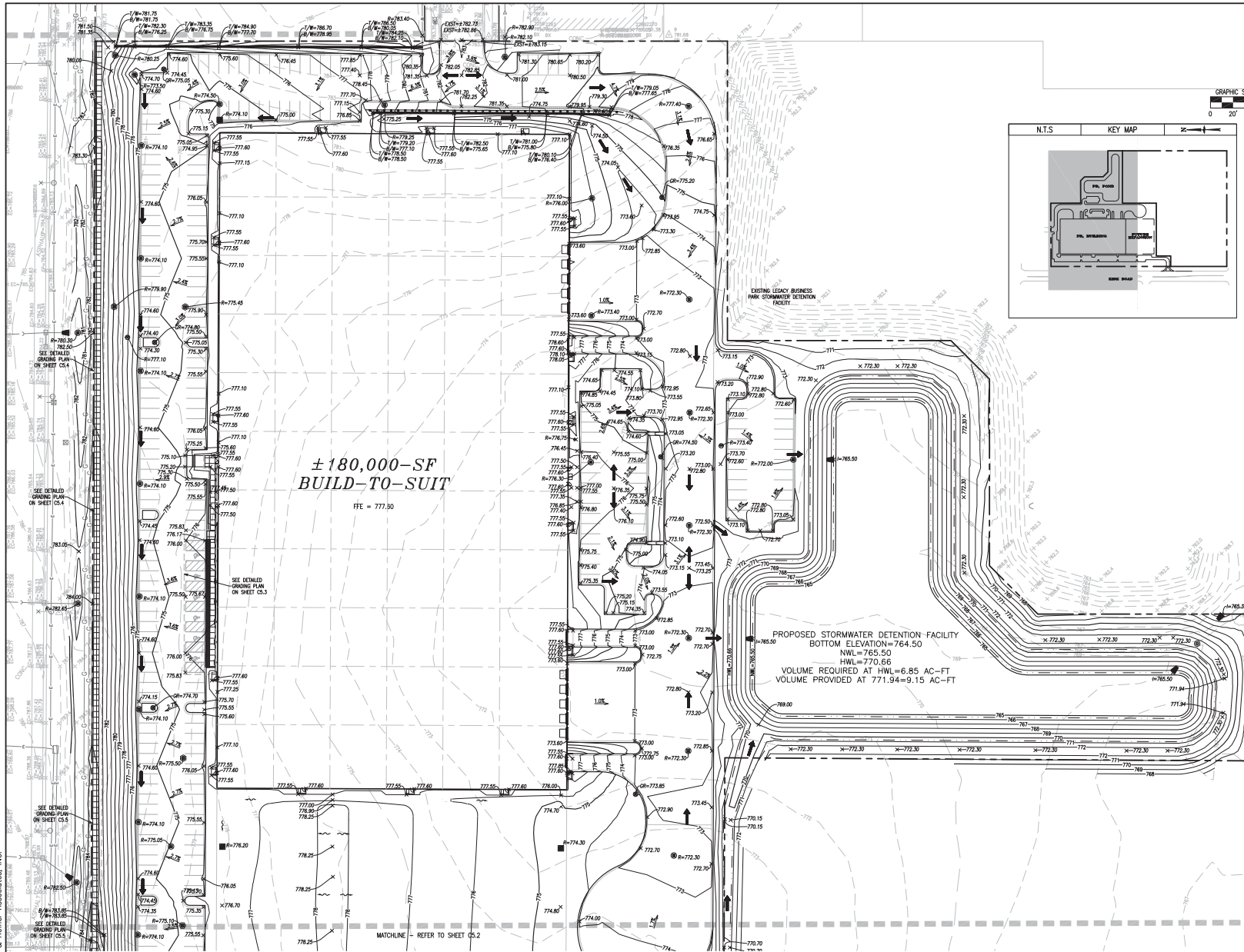


<b>DIMENSIONAL CONTROL, SIGNAGE, STRIPING &amp; PAVING PLAN - SOUTH</b>	
<b>180,000 SF BUILD-TO-SUIT</b>	
<b>VENTURE ONE REAL ESTATE, LLC.</b>	
<b>ST. CHARLES, ILLINOIS</b>	
1	ORIGINAL PLAN DATE
No.	Description
7/17/15	Date
<b>JACOB &amp; HEFNER ASSOCIATES</b>	
1910 S. Highland Avenue, Suite 108, Lombard, IL 60148	
PHONE: (630) 652-4600, FAX: (630) 652-4601	
www.jacobandhefner.com	
D524j	
1" = 40'	
C4.2	





OVERALL GRADING PLAN		1 ORIGINAL PLAN DATE	7/17/15
180,000 SF BUILD-TO-SUIT		No.	Date
VENTURE ONE REAL ESTATE, LLC.		Description	
ST. CHARLES, ILLINOIS			
JACOB & HEFNER ASSOCIATES		D524j	
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148		1" = 60'	
PHONE: (630) 652-4600, FAX: (630) 652-4601		C5.0	
www.jacobandhefner.com			



**GRADING NOTES:**

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 4) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 5) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 6) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 7) THE SLOPE THROUGHOUT ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 1.5% IN ALL DIRECTIONS.
- 8) DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 4%. IF THE DRIVEWAY LAYOUT OR LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
- 9) PROPOSED RETAINING WALLS SHALL BE DESIGNED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STRUCTURAL DESIGN.
- 10) RETAINING WALL TYPE AND COLOR SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- 11) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.
- 12) OVERLAND FLOOD ROUTE DENOTED BY: →
- 13) 100-YR STORM SLOPE DENOTED BY: →
- 14) ALL WALLS SHALL HAVE HANDRAILS INSTALLED ALONG TOP SIDE

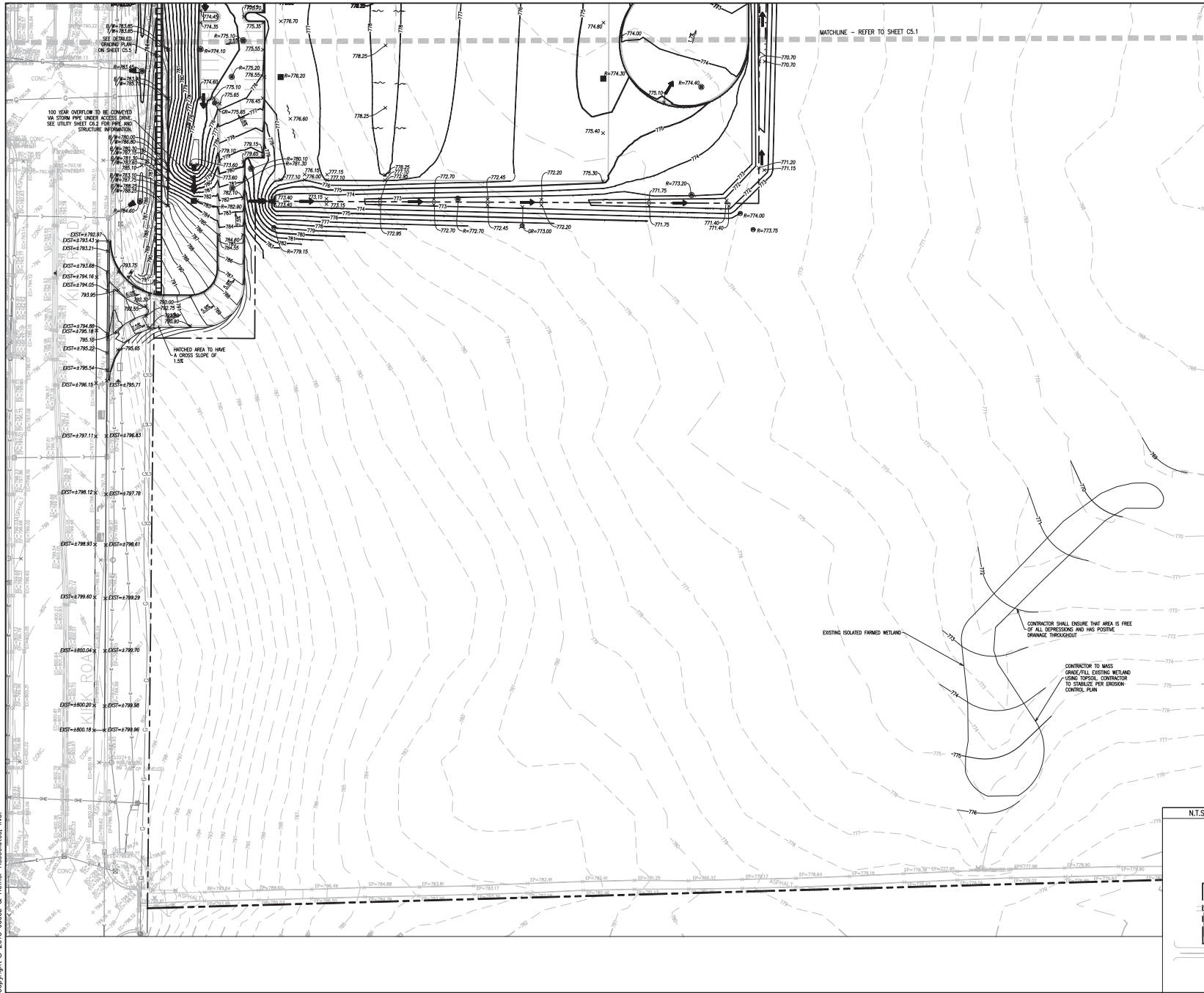
**GRADING LEGEND:**

- xxx.xx = PROPOSED SPOT GRADE  
 1/xx-xxx.xx = PROPOSED GRADE AT TOP OF WALL  
 8/xx-xxx.xx = PROPOSED GRADE AT BOTTOM OF WALL  
 EX=xxx.xx = EXISTING SPOT GRADE  
 --- = DRAINAGE FLOW ARROWS



**ADA GRADING NOTES:**

- 1) ALL SIDEWALKS INTERSECTING WITH CURBS SHALL BE CONSTRUCTED WITH HANDICAP ACCESSIBLE CURB RAMP UNLESS OTHERWISE NOTED. SEE DETAIL FOR HANDICAP CURB RAMP CONSTRUCTION.
- 2) ALL HANDICAP ACCESSIBLE CURB RAMP SHALL BE CONSTRUCTED WITH DETECTABLE WARNING SURFACES. SEE DETAIL FOR DETECTABLE WARNING SURFACE CONSTRUCTION.
- 3) CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%. HANDICAP ACCESSIBLE ROUTE DENOTED BY: ---
- 4) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 5) THE PAVEMENT SLOPE WITHIN HANDICAP ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.






<b>GRADING PLAN - NORTH SECTION</b> 180,000 SF BUILD-TO-SUIT VENTURE ONE REAL ESTATE, LLC. ST. CHARLES, ILLINOIS		1 ORIGINAL PLAN DATE	7/17/15
		No.	Description
<b>JACOB &amp; HEFNER ASSOCIATES</b> 1910 S. Highland Avenue, Suite 108, Lombard, IL 60148 PHONE: (630) 652-6400, FAX: (630) 652-6401 www.jacobandhefner.com		D524j 1" = 40' C5.1	




GRADING NOTES:

- 1) ALL SPOT ELEVATIONS ARE THE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS.
- 2) ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
- 4) ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
- 5) SEE SPECIFICATIONS FOR SUBGRADE AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
- 6) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 7) THE SLOPE THROUGHOUT ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 1.5% IN ALL DIRECTIONS.
- 8) DRIVEWAY SLOPES SHALL BE BETWEEN 2% AND 4%. IF THE DRIVEWAY LAYOUT OR LOCATION IS ALTERED, THE SLOPE SHALL BE CHECKED FOR SLOPE LIMITS.
- 9) PROPOSED RETAINING WALLS SHALL BE DESIGNED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE STRUCTURAL DESIGN.
- 10) RETAINING WALL TYPE AND COLOR SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- 11) REFER TO ARCHITECTURAL PLANS FOR RAILING AND STAIRS DETAILS.
- 12) OVERLAND FLOOD ROUTE DENOTED BY: 
- 13) 100-YR STORM SEWER DENOTED BY: 
- 14) ALL WALLS SHALL HAVE HANDRAILS INSTALLED ALONG TOP SIDE

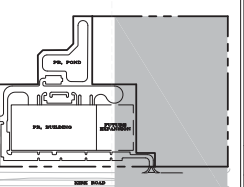
GRADING LEGEND:

-  = PROPOSED SPOT GRADE
-  = PROPOSED GRADE AT TOP OF WALL
-  = PROPOSED GRADE AT BOTTOM OF WALL
-  = EXISTING SPOT GRADE
-  = DRAINAGE FLOW ARROWS

ADA GRADING NOTES:

- 1) ALL SIDEWALKS INTERSECTING WITH CURBS SHALL BE CONSTRUCTED WITH HANDICAP ACCESSIBLE CURB RAMPS UNLESS OTHERWISE NOTED. SEE DETAIL FOR HANDICAP CURB RAMP CONSTRUCTION.
- 2) ALL HANDICAP ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING SURFACES. SEE DETAIL FOR DETECTABLE WARNING SURFACE CONSTRUCTION.
- 3) CROSS SLOPE WITHIN HANDICAP ACCESSIBLE ROUTE SHALL NOT EXCEED 1.5%. HANDICAP ACCESSIBLE ROUTE DENOTED BY: 
- 4) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 5) THE PAVEMENT SLOPE WITHIN HANDICAP ACCESSIBLE PARKING STALLS AND ADJACENT LOADING ZONES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.

KEY MAP



GRADING PLAN - SOUTH SECTION

180,000 SF BUILD-TO-SUIT  
VENTURE ONE REAL ESTATE, LLC.

ST. CHARLES, ILLINOIS

JACOB & HEFNER  
ASSOCIATES

1910 S. Highland Avenue, Suite 100, Lombard, IL 60148  
PHONE: (630) 652-4600, FAX: (630) 652-4601  
www.jacobandhefner.com



D524j

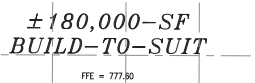
1" = 40'

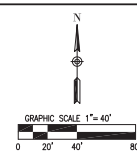
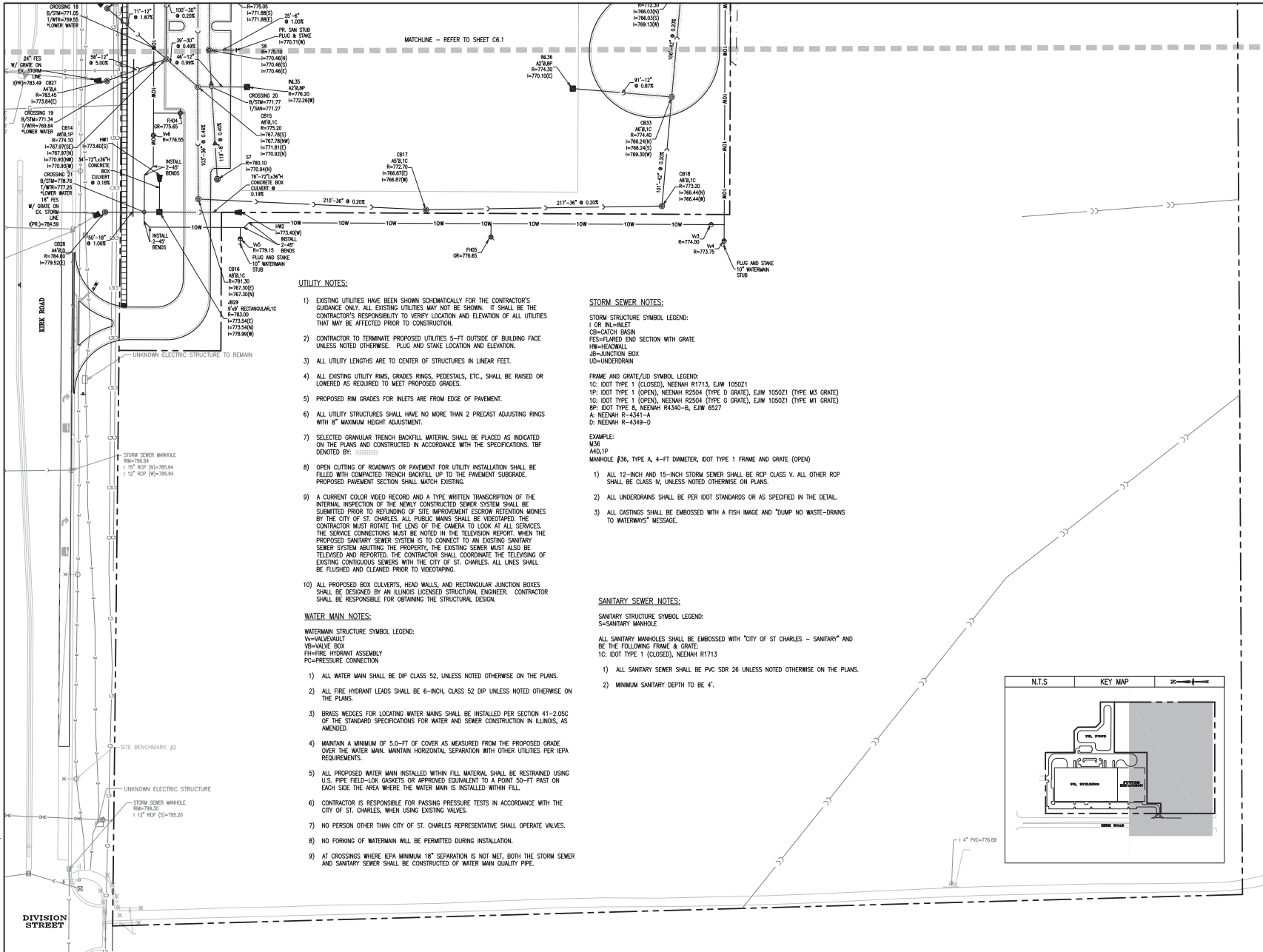
C5.2

1	ORIGINAL PLAN DATE	7/17/15
No.	Description	Date









UTILITY PLAN - SOUTH SECTION		No.	1
180,000 SF BUILD-TO-SUIT		Description	7/17/15
VENTURE ONE REAL ESTATE, LLC.		No.	1
ST. CHARLES, ILLINOIS		Date	7/17/15
D524j			
1" = 40'			
C6.2			



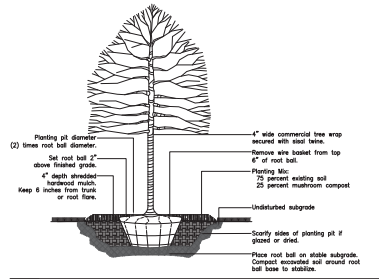
# Plant List

Shade Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACM	5	2.5"	Acer myriophyllum 'Morton'	State Street Myrtle Maple	BB
ACN	3	2.5"	Acer Freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	BB
ACN	12	2.5"	Acer Argenteum	Black Maple	BB
APN	15	6"	Acer Prinosideratum 'Autumnland'	Autumnland Norway Maple	BB
CEO	14	2.5"	Celtis occidentalis 'Prairie Pride'	Prairie Pride Common Hackberry	BB
GPS	12	2.5"	Ulmus glaberrimus 'Princeton Sentry'	Princeton Sentry Elm	BB
GTS	21	2.5"	Gleditsia triacanthos var. 'Inermis'	Skyline Thornless Honeylocust	BB
QUB	4	2.5"	Quercus bicolor	Swamp White Oak	BB
QUC	4	2.5"	Quercus muhlenbergii	Chinquapin Oak	BB
ULM	16	2.5"	Ulmus x Morton Glazey	Trumpf Elm	BB

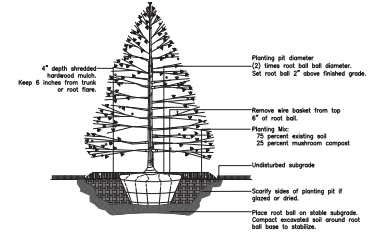
Evergreen Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
PDO	9	6"	Picea glauca 'Demata'	Black Hills Spruce	BB
PNB	15	6"	Picea canadensis	Norway Spruce	BB
PIC	22	6"	Picea pungens	Colorado Green Spruce	BB
PNO	11	6"	Picea canadensis	Section Spruce	BB

Shrubs					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
CLE	27	24"	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	BB
COR	72	30"	Cotoneaster acutifolius	Peking Cotoneaster	BB
FNB	89	24"	Forseythia viridissima 'Savannah'	Bronze Dwarf Forsythia	BB
SPP	13	24"	Spiraea x humilis 'Froebel'	Froebel Spirea	BB
SMK	130	30"	Smilax latifolia 'Miss Kim'	Miss Kim Dwarf Lilac	BB
VBW	68	24"	Viburnum dentatum 'Christm'	Blue Mufin Arrowwood Viburnum	BB

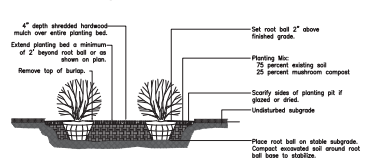
Perennials and Ornamental Grasses					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACH	35	#1	Achillea 'Moonshine'	Moonshine Yarrow	Container
ALL	40	#1	Allium 'Summer Beauty'	Summer Beauty Allium	Container
HRK	24	#1	Hemerocallis 'Happy Returns'	Happy Returns Daylily	Container
SCN	23	#1	Schizanthus luteus	Little Bluebell	Container



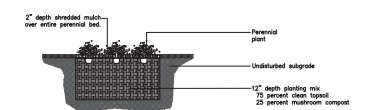
## Detail Deciduous Tree Planting



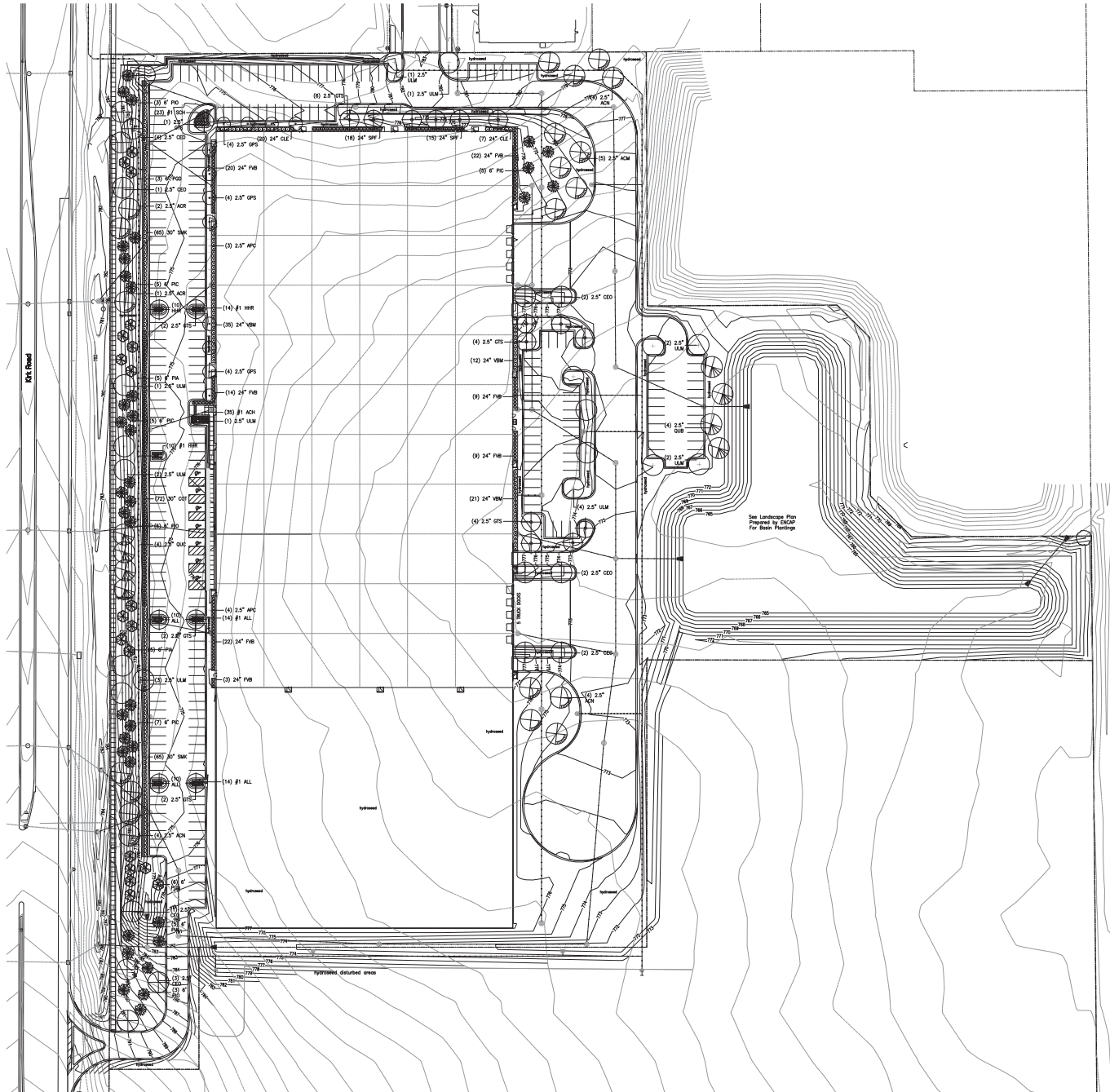
## Detail Evergreen Tree Planting



## Detail Shrub Planting



## Detail Perennial Planting



100,000 S.F.  
Build-To-Suit

Kirk Road  
St. Charles, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
300 N. Main Street, Suite 100, St. Charles, IL 60158  
T 618.326.0000 F 618.326.0001

McCALLUM ASSOCIATES

JACOB & TURNER ASSOCIATES  
1000 N. Main Street, Suite 100, St. Charles, IL 60158  
T 618.326.0000 F 618.326.0001

Landscape Plan

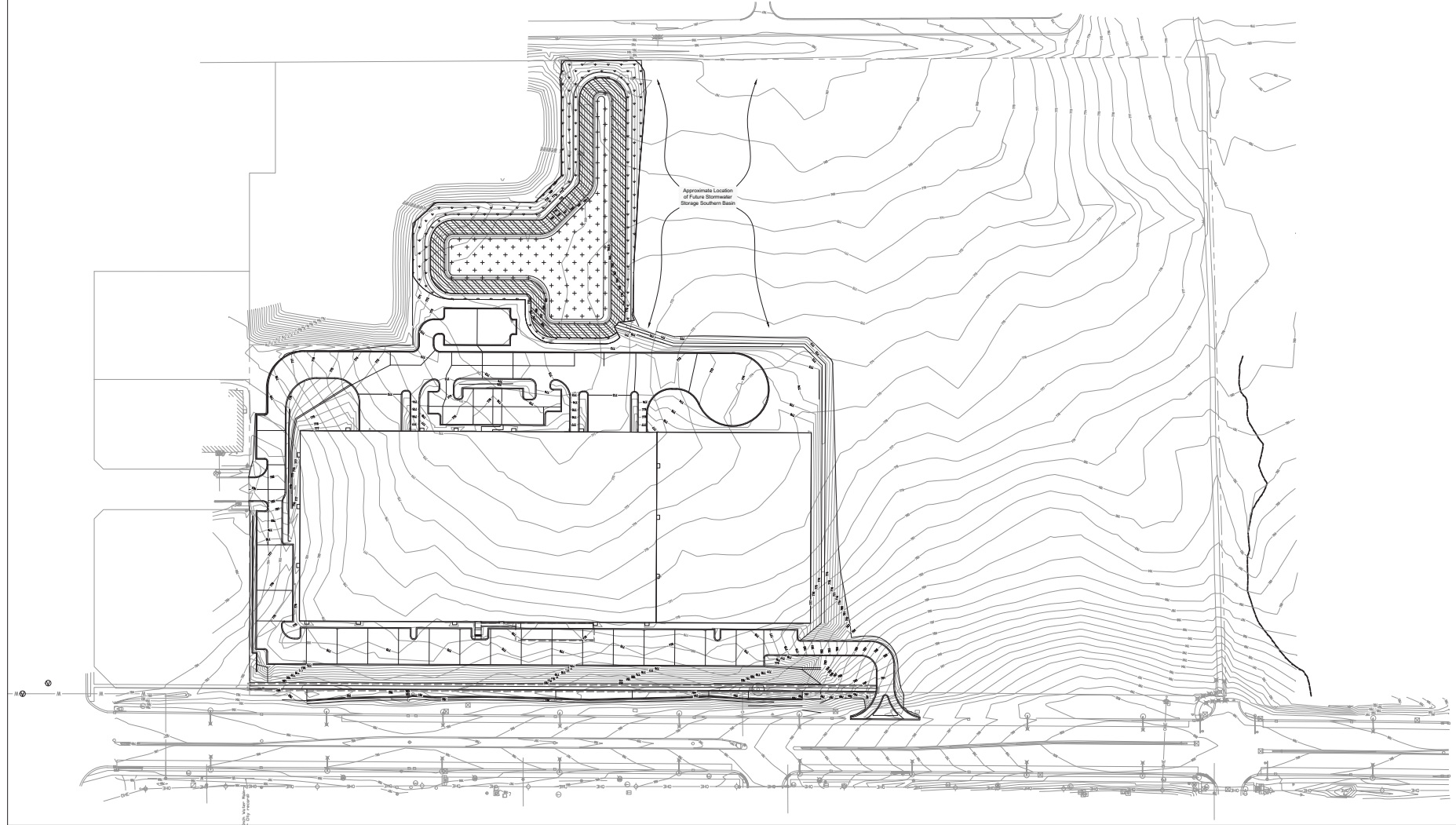
1 Original Plan Date 07/21/16  
Mark Description Date  
Issuance

Number  
43826

Scale  
1" = 40'

File  
43826.PIA

Sheet  
L10



2585 Wagner Court, DeKalb, IL 60115  
(O) 815.748.4500 (F) 815.748.4258  
www.encapinc.net

#### LEGEND:

- UPLAND PRAIRIE SEED MIX  
(0.75 Acres Total)
- WET TO MESIC SEED MIX  
(0.69 Acres Total)
- EMERGENT PLUGS  
(0.86 Acres Total)

\*Acreages corrected for slope as appropriate

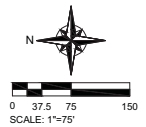
## NATIVE LANDSCAPE PLAN KIRK ROAD BUSINESS PARK

ENCAP PROJECT NUMBER: 15-0123C  
July 16, 2015

CLIENT:  
Venture One Real Estate  
9500 Bryn Mawr, Suite 340  
Rosemont, Illinois 60018

ENGINEER:  
Jacob & Heffner Associates, Inc.  
1910 S. Highland Avenue, Suite 100  
Lombard, Illinois 60148

EROSION CONTROL MATTING		
S-75	Basin & Slopes	8860
C-125	NVL	3173



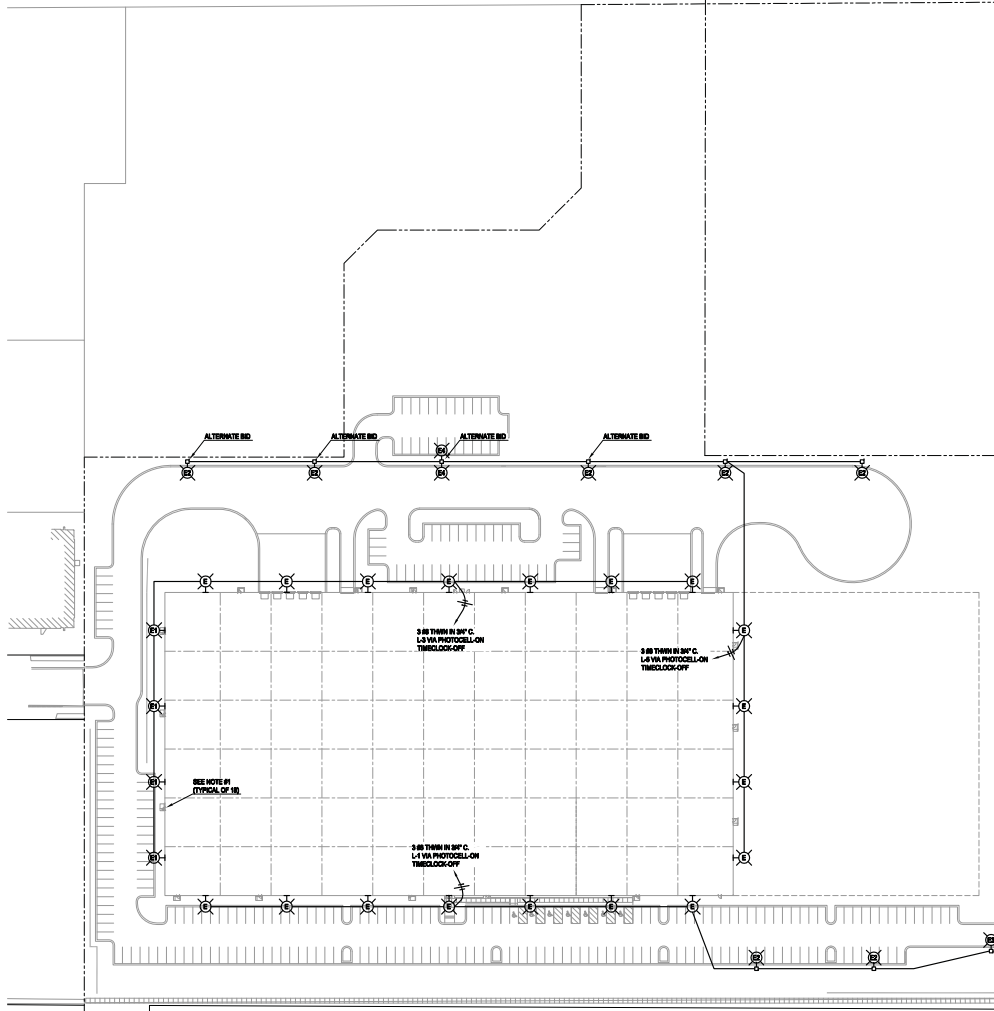
Base Drawing Provided by Jacob & Heffner Associates, Inc.

CREATED BY: JHM	
DRAWN BY: JHM	
REVIEWED BY: JHM	
DATE	REVISIONS

SHEET  
1 OF 2



---



PANEL 'L'									
CRCT NO.	BWR	DESCRIPTION	PHASE			DESCRIPTION	BWR	CRCT NO.	
			A	B	C				
1	1P20	EXTERIOR LIGHTING	220V			SPACE	1P20	2	
3	1P20	EXTERIOR LIGHTING		220V		SPACE	1P20	4	
5	1P20	EXTERIOR LIGHTING			220V	SPACE	1P20	6	
7	1P20	SPACE	240V			SPACE	1P20	8	
9	1P20	SPACE				SPACE	1P20	10	
11	1P20	SPACE				SPACE	1P20	12	
13		SPACE				SPACE		14	
15		SPACE				SPACE		16	
17		SPACE				SPACE		18	
19		SPACE				SPACE		20	
21		SPACE				SPACE		22	
23		SPACE				SPACE		24	
25		SPACE				SPACE		26	
27		SPACE				SPACE		28	
29		SPACE				SPACE		30	
31		SPACE				SPACE		32	
33		SPACE				SPACE		34	
35		SPACE				SPACE		36	
37		SPACE				SPACE		38	
39		SPACE				SPACE		40	
41		SPACE				SPACE		42	

VOLTAGE: 277/480 VOLT, 3 PHASE, 4 WIRE

TOTAL PHASE A: 3,145

TOTAL PHASE B: 2,200

TOTAL PHASE C: 2,200

TOTAL PANEL: 7,543

TOTAL AMP: 0

DEMAND WATT: DEMAND AMP:

BOLD CAT. # NF

☐ MAIN BREAKER ☐ MAIN LOAD ONLY

☐ AMP: 200 ☐ AG AMP:

☐ FEED THROUGH LOAD ☐ SUB FEED LOAD

☐ FLUSH ☐ SURFACE

COMMENTS:

ELECTRICAL SITE PLAN  
SCALE 1"=8'-0"

NOTES:  
1. E.C. TO FURNISH AND INSTALL FIXTURE TYPE 1P AT EACH MAIN DOOR. WIRE TO PANEL 'L', CRCT 7 VIA PHOTOCELL-ON/OFF.

**KORNACKI & ASSOCIATES, INC.**  
CONSULTING ELECTRICAL ENGINEERS

3403 SOUTH WESTBORO DRIVE  
NEW BERN, N.C. 28558  
(919) 794-3323 FAX (919) 794-3014

**ELECTRICAL SITE PLAN**

2015 SITE IMPROVEMENT PLANS

VENTURE ONE REAL ESTATE, LLC.

ST. CHARLES, ILLINOIS

AS NOTED

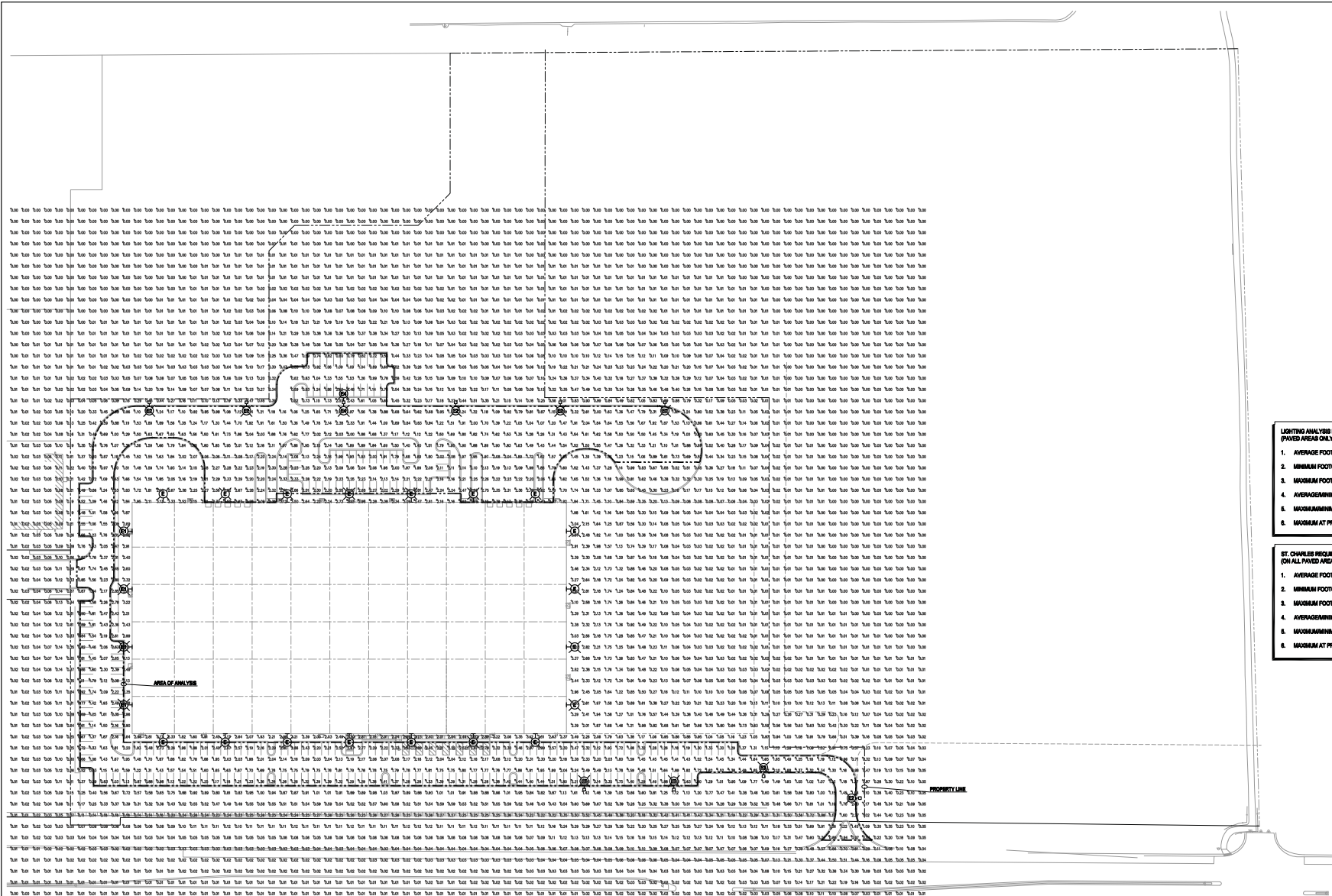
15060

E1

ISSUED FOR PERMIT & BID

7/16/15

Date



PHOTOMETRIC SITE PLAN  
SCALE 1"=40'

- LIGHTING ANALYSIS NOTES:  
(PAVED AREAS ONLY)
1. AVERAGE FOOTCANDLES: 1.76
  2. MINIMUM FOOTCANDLES: 0.89
  3. MAXIMUM FOOTCANDLES: 3.52
  4. AVERAGE/MINIMUM RATIO: 3.41
  5. MAXIMUM/MINIMUM RATIO: 8.81
  6. MAXIMUM AT PROPERTY LINE IS LESS THAN 2 F.C.

- ST. CHARLES REQUIREMENTS:  
(ON ALL PAVED AREAS)
1. AVERAGE FOOTCANDLES: N/A
  2. MINIMUM FOOTCANDLES: N/A
  3. MAXIMUM FOOTCANDLES: N/A
  4. AVERAGE/MINIMUM RATIO: LESS THAN 4:1
  5. MAXIMUM/MINIMUM RATIO: N/A
  6. MAXIMUM AT PROPERTY LINE: LESS THAN 2 F.C.

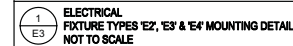


Corporation Registration #184205371  
**KORNACKI & ASSOCIATES, INC.**  
CONSULTING ELECTRICAL ENGINEERS  
3405 SOUTH WESTBORO DRIVE  
NEW LENOX, IL 60155  
(815) 794-3333 FAX (815) 794-3014

AS NOTED	
15060	
E2	
PHOTOMETRIC SITE PLAN	
2015 SITE IMPROVEMENT PLANS	
VENTURE ONE REAL ESTATE, LLC.	
ST. CHARLES, ILLINOIS	
No.	Description
7/16/15	ISSUED FOR PERMIT & BID

[illegible]

---



**JACOB & HEFNER**  
**ASSOCIATES**

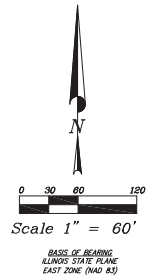
1910 S. Highland Avenue, Suite 100, Lombard, IL 60148  
PHONE: (630) 652-4606, FAX: (630) 652-4601  
[www.jacobandhefner.com](http://www.jacobandhefner.com)

 One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.271.8041 • Fax: 770.918.1288 • [www.lithonia.com](http://www.lithonia.com) W51-182  
© 2011-2015 Acuity Brands Lighting, Inc. All rights reserved. Rev. 01/06/15

AS NOTED
15060
E3

# PLAT OF EASEMENT

PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 40, NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, KANE COUNTY, ILLINOIS.



Survey No.:	D524j		
Ordered By.:	VENTURE ONE REAL ESTATE		
Description:	PLAT OF EASEMENT		
Date Prepared:	JULY 16, 2015		
Scale:	1" = 60'	Field Work:	KW/SM/KC
		Prepared By:	REW

doi:10.1371/journal.pone.0252474.g002

P.L.N. NUMBER:  
PART OF 09-36-300-048

# PLAT OF EASEMENT

OF

PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 40, NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL  
MERIDIAN, KANE COUNTY, ILLINOIS.

## OWNER'S CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

THIS IS TO CERTIFY THAT \_\_\_\_\_ IS THE OWNER OF THE PROPERTY DESCRIBED  
IN THE ATTACHED PLAT AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, PLATTED, AND  
RECORDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES  
HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

(OWNER NAME/ADDRESS)

BY: \_\_\_\_\_

ITS: \_\_\_\_\_

## NOTARY CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE

OF SAID COUNTY, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE  
THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT APPEARED BEFORE  
ME THIS DAY IN PERSON AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET  
FORTH.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

BY: \_\_\_\_\_

NOTARY PUBLIC

COMMISSION EXPIRES

## CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT, OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS  
OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED  
IN THE PLAT.

DATED AT THE CITY OF ST. CHARLES, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

BY \_\_\_\_\_  
COLLECTOR OF SPECIAL ASSESSMENTS

## CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.  
CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS,

BY \_\_\_\_\_  
MAYOR

ATTEST \_\_\_\_\_  
CITY CLERK

## COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

I, THE UNDERSIGNED, AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT

INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS,

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015 AT \_\_\_\_ O'CLOCK \_\_\_\_ M.

RECORDER OF DEEDS

PLEASE TYPE/PRINT NAME

## CERTIFICATE OF COUNTY CLERK

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

I, \_\_\_\_\_, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY  
CERTIFY THAT THERE ARE NO DELINQUENT TAXES, NO UNPAID FORFEITED TAXES, NO UNPAID CURRENT  
GENERAL TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE  
ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED  
PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ IN THE YEAR 2015 A.D.

BY \_\_\_\_\_  
COUNTY CLERK

## PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO  
ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT  
RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND  
TO THEIR SUCCESSORS AND ASSIGNS (HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES"), IN, UPON,  
ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC  
UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF EASEMENT HEREON DRAWN FOR THE PURPOSE OF  
INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING,  
REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL  
SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR  
APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND  
RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH  
BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED  
TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS  
ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE  
ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED  
FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR  
MAINTAINING THE UNINTERRUPTED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM  
WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT  
IS HEREBY GRANTED TO SAID GRANTEE TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR  
OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID  
UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID  
EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERMING SHALL BE PLACED ON OR IN SAID  
EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAWING, FENCES, SIDEWALKS, AND OTHER  
PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS  
USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE  
PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN  
SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST.  
CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND  
LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST.  
CHARLES.

FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEE(S) OF ITS EASEMENT RIGHTS  
GRANTED HEREIN, THE GRANTEE(S) SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION  
INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING  
PROVIDED, HOWEVER, THE GRANTEE(S) SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL  
AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN  
GENERALLY CLEAN AND WORKMANLIKE CONDITION.

## SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DU PAGE ) SS

I, TIMOTHY G. WOLFE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE PREPARED THE  
ABOVE PLAT FOR THE PURPOSE OF GRANTING EASEMENTS.

GIVEN UNDER MY HAND AND SEAL, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

TIMOTHY G. WOLFE  
JACOB & HEFNER ASSOCIATES, INC.  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-003535  
MY LICENSE EXPIRES NOVEMBER 30, 2016



Survey No.:	D524J
Ordered By:	VENTURE ONE REAL ESTATE
Description:	PLAT OF EASEMENT
Date Prepared:	JULY 16, 2015
Scale:	1" = 60'
Field Work:	KW/SM/HS
Prepared By:	HSW



**JACOB & HEFNER**  
ASSOCIATES  
1918 S. Highland Avenue, Suite 100, Lombard, IL 60148  
PHONE: (630) 652-4608, FAX: (630) 652-4601  
www.jacobandhefner.com  
Illinois Professional Design Firm  
License No. 034-000373 Exp. 4/30/17



Sam  
Schwartz  
Engineering  
D.P.C.

Industrial Development  
Kirk Road  
Traffic Impact Study - **DRAFT**  
St. Charles, Illinois  
July 2015



## **INTRODUCTION**

Sam Schwartz Engineering, D.P.C (SSE) was retained by Jacob & Hefner Associates, Inc. to conduct a traffic impact analysis for the proposed industrial development located on the east side of Kirk Road, between Legacy Boulevard and Division Street in St. Charles, Illinois. The site location is illustrated on **Figure 1**.

As proposed, the site will be developed in two separate phases with the first phase (Building 1) consisting of an initial 180,000 square-foot building with a potential expansion area of 77,920 square feet. The occupant of this building will be relocating from their existing space on Swenson Avenue. The second phase of the site is proposed as a 255,440 square-foot building (Building 2). Access is initially proposed via a connection with Equity Drive and a right-in/right-out drive on Kirk Road south of Cumberland Parkway. The second phase will include the construction of a private drive aligned with Division Street with two site access driveways on the private drive.

The following report presents and documents SSE's methodology, data collection, analyses, and identifies improvements, as necessary, to mitigate impacts the development's traffic may have on the adjacent roadway network.





Not to Scale



## EXISTING CONDITIONS

SSE conducted field visits to collect relevant information pertaining to existing land uses in the area, the surrounding roadway network, existing traffic volumes, traffic controls, and roadway lane usage at all critical intersections. This section of the report provides a description of these existing characteristics.

### Site Location

The site is located on the east side of Kirk Road, between Legacy Boulevard and Division Street in St. Charles, Illinois and immediately adjacent to Geneva. The site currently agricultural land. Adjacent land uses consist of residential use to the west, industrial use to the north, recreational use to the east, and agriculture to the south of the site.

### Existing Street Characteristics

**Kirk Road** is a north/south principal arterial that extends along the west side of the site. It is identified by Kane County as a County Freeway and by IDOT as a Strategic Regional Arterial. At its signalized intersection with Legacy Boulevard, Kirk Road provides a left-turn lane, two through lanes, and a right turn lane in the northbound direction, and a left-turn and two through lanes in the southbound direction. At its unsignalized intersection with Cumberland Parkway, Kirk Road provides a left-turn and two through lanes in the northbound direction and two through lanes and a right-turn lane in the southbound direction. At its signalized intersection with Division Street, Kirk Road provides two through lanes and a left-turn lane in the northbound direction, and two through lanes and a right-turn lane in the southbound direction. Kirk Road is under the jurisdiction of Kane County with a posted speed limit of 45 miles per hour in the vicinity of the site.

**Legacy Boulevard** is an east/west local roadway serving the Legacy business park and connecting the East Side Sport Complex. At its signalized intersection with Kirk Road, Legacy Boulevard provides a left-turn lane, a through lane, and a right-turn lane in the westbound direction, and a left-turn lane and a shared through/right-turn lane in the eastbound direction. At the Legacy Drive and Equity Drive intersection, eastbound traffic is free flow and the other three approaches are under stop sign control.

**Equity Drive** is a north/south local roadway serving a number of industrial buildings north of the proposed site. At its unsignalized intersection with Legacy Boulevard, Equity Drive provides a wide paved travel lane in both directions under STOP sign control.

**Cumberland Parkway** is an east/west local roadway serving the Cumberland residential development. At its unsignalized intersection with Kirk Road, Cumberland Parkway provides a wide paved travel lane, operating as a left-turn and right-turn lane under STOP sign control.

**Division Street** is an east/west major collector with a posted speed limit of 25 miles per hour. At its signalized intersection with Kirk Road, Division Street provides a separate left-turn and right-turn lane.

### Existing Traffic Volumes

Existing traffic volumes were determined by manual traffic counts conducted in June 2015 during weekday morning (6:00 to 9:00 AM) and weekday evening (3:00 to 6:00 PM) at the following intersections:

- Kirk Road and Legacy Boulevard
- Legacy Boulevard and Equity Drive
- Kirk Road and Cumberland Parkway
- Kirk Road and Division Street

These peak periods were chosen since they coincide with the typical peak traffic periods of the proposed development and the adjacent street traffic.

Based on traffic count data retrieved from the Illinois Department of Transportation website, the average daily traffic on Kirk Road in the vicinity of the development is 27,300 vehicles (year 2014). The average daily traffic on Division Street by Kirk Road is 2,200 vehicles (year 2014).

The existing peak hour volumes are illustrated on **Figure 2**. Summaries of the traffic count data are contained in the Appendix of this report.

### Existing Operations

The effectiveness of an intersection's operation is measured in terms of Level of Service ("LOS"), which is assigned a letter from A to F based on the average total delay experienced by each vehicle passing through an intersection. Level of Service A is the highest (best traffic flow and least delay), Level of Service E represents saturated or at-capacity conditions, and Level of Service F is the lowest (oversaturated conditions). The minimum intersection LOS that is generally accepted by industry standards is LOS "D."

An intersection capacity analysis was utilized to analyze the study intersection for the weekday morning and weekday evening peak hours using the methodologies outlined in the *Highway Capacity Manual (HCM)*<sup>1</sup>. The results in **Table 1** show that all overall, each intersection operates at a LOS A or B with some individual movements on the minor approaches operating at LOS D or E. The worksheets containing the intersection analyses are provided in the Appendix.

---

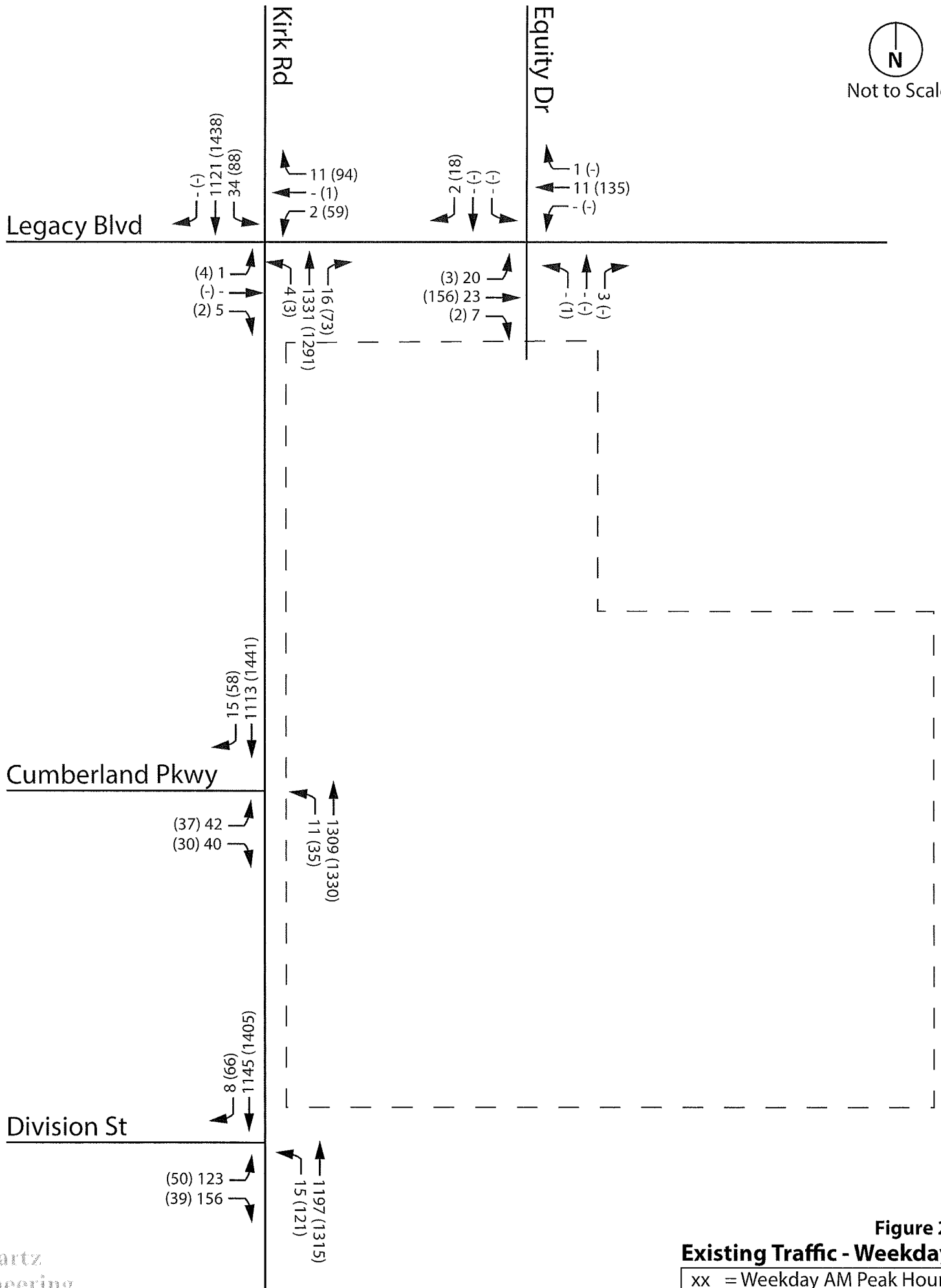
<sup>1</sup>Highway Capacity Manual, Transportation Research Board, National Research Council, Washington, D.C., 2010.

**Table 1: Existing Intersection Level-of-Service**

Intersection/Peak Hour/Lane	Weekday AM Peak Hour		Weekday PM Peak Hour	
	Delay <sup>A</sup>	LOS <sup>B</sup>	Delay	LOS
<b>Kirk Rd at Legacy Blvd</b>				
Legacy Blvd EB	8.8	A	41.3	D
Legacy Blvd WB	11.6	B	36.1	D
Kirk Rd NB	3.3	A	5.2	A
Kirk Rd SB	2.7	A	4.8	A
<b>Overall Intersection</b>	<b>3.1</b>	<b>A</b>	<b>6.6</b>	<b>A</b>
<b>Legacy Blvd at Equity Dr</b>				
<b>Overall Intersection</b>	<b>7.4</b>	<b>A</b>	<b>8.4</b>	<b>A</b>
<b>Kirk Rd at Cumberland Pkwy</b>				
Cumberland Pkwy EB	28.9	D	45.5	E
Kirk Rd NBL	11.4	B	14.5	B
<b>Kirk Rd at Division St</b>				
Division St EB	42.4	D	56.0	E
Kirk Rd NB	5.4	A	3.3	A
Kirk Rd SB	7.9	A	4.8	A
<b>Overall Intersection</b>	<b>10.4</b>	<b>B</b>	<b>5.6</b>	<b>A</b>

<sup>A</sup> Average control delay in seconds per vehicle.

<sup>B</sup> Level of service.



## FUTURE TRAFFIC CHARACTERISTICS

This section of the report presents the traffic characteristics associated with the proposed development and evaluates the impact of future traffic on the area street system. This includes discussions regarding site development plans, site-generated traffic volumes and their distributions on the surrounding roadway network. Site access, site traffic assignment, and future traffic volumes and horizon years are also discussed.

### Development Plans

As proposed, the site will ultimately be developed with 513,360 square feet of light industrial or distribution uses. Currently, there are only plans to construct 180,000 square feet to be occupied by AJR Filtration, a manufacturing company relocating to the site from Swenson Avenue. Construction is expected to occur in 2015 and occupancy is expected to occur in 2016. The 180,000 square-foot AJR building, as well as a potential future expansion area of 77,920 square feet, will make up the first phase of the project for the purpose of this study and is referred to as Phase I. The remaining 255,400 square feet (Phase II) is speculative and construction timing has yet to be determined.

Access to Phase I is proposed via a full access drive on Equity Drive, and a right-in/right-out (RIRO) access drive on Kirk Road, located 557 feet north of Division and 150 feet south of Cumberland. The RIRO will provide cross access between Phase I and Phase II of the site and will only be used by automobiles. All truck traffic will use Equity Drive and Legacy Boulevard. Access to Phase II is proposed via a private drive aligned intersecting Kirk Road opposite Division Street and providing two access drives on the north side of the drive. All truck traffic associated with Phase II will use the private drive.

### Future Roadway Plans

No capacity improvements are currently programmed in the County's TIP in the study area. According to the City of Geneva, its future long-range land use and transportation plans indicate both Division Street and Geneva Street will be extended east to provide a connection with Kautz Road.

### Trip Generation

The estimates of traffic to be generated by the site are based upon the proposed land use and size. Trip generation rates determined from a survey of the existing site were used to estimate the volume of traffic generated by the proposed development. The total trips to be generated for the proposed development are detailed in **Table 2**, broken down by phase. The trip generation rate calculation is contained in the Appendix.

**Table 2: Estimated Site Trip Generation**

Land Use / Size	AM Peak Hour			PM Peak Hour			Daily
	In	Out	Total	In	Out	Total	
<b>Proposed Site (513,360 SF)</b>							
Phase I – 257,920 SF	35	5	40	9	47	56	1,131
Phase II – 255,440 SF	34	5	39	9	47	56	1,120
<b>Total</b>	<b>69</b>	<b>10</b>	<b>79</b>	<b>18</b>	<b>94</b>	<b>112</b>	<b>2,251</b>

### **Directional Distribution**

The anticipated directional distribution of site traffic is dependent upon various factors including the proposed land use and development layout, the adjacent roadway network, access locations, population. Trucks and automobile traffic were given separate distributions since truck traffic will be oriented on the major roadway system and automobiles/employees will utilize the local roadway system to the west. The anticipated directional distribution of the expected generated site traffic is shown in on **Figure 3**.

### **Site Traffic Assignment**

The site-generated traffic volumes were assigned to the external roadway system and proposed site access system based on the directional distribution as identified above. Since the site will be developed in two separate phases, two site-generated assignments are provided **Figure 4** illustrates the site traffic assignment to and from the proposed development upon completion of Phase I of the project only. **Figure 5** illustrates the site traffic assignment upon completion of both Phase I and Phase II.

### **Traffic Growth**

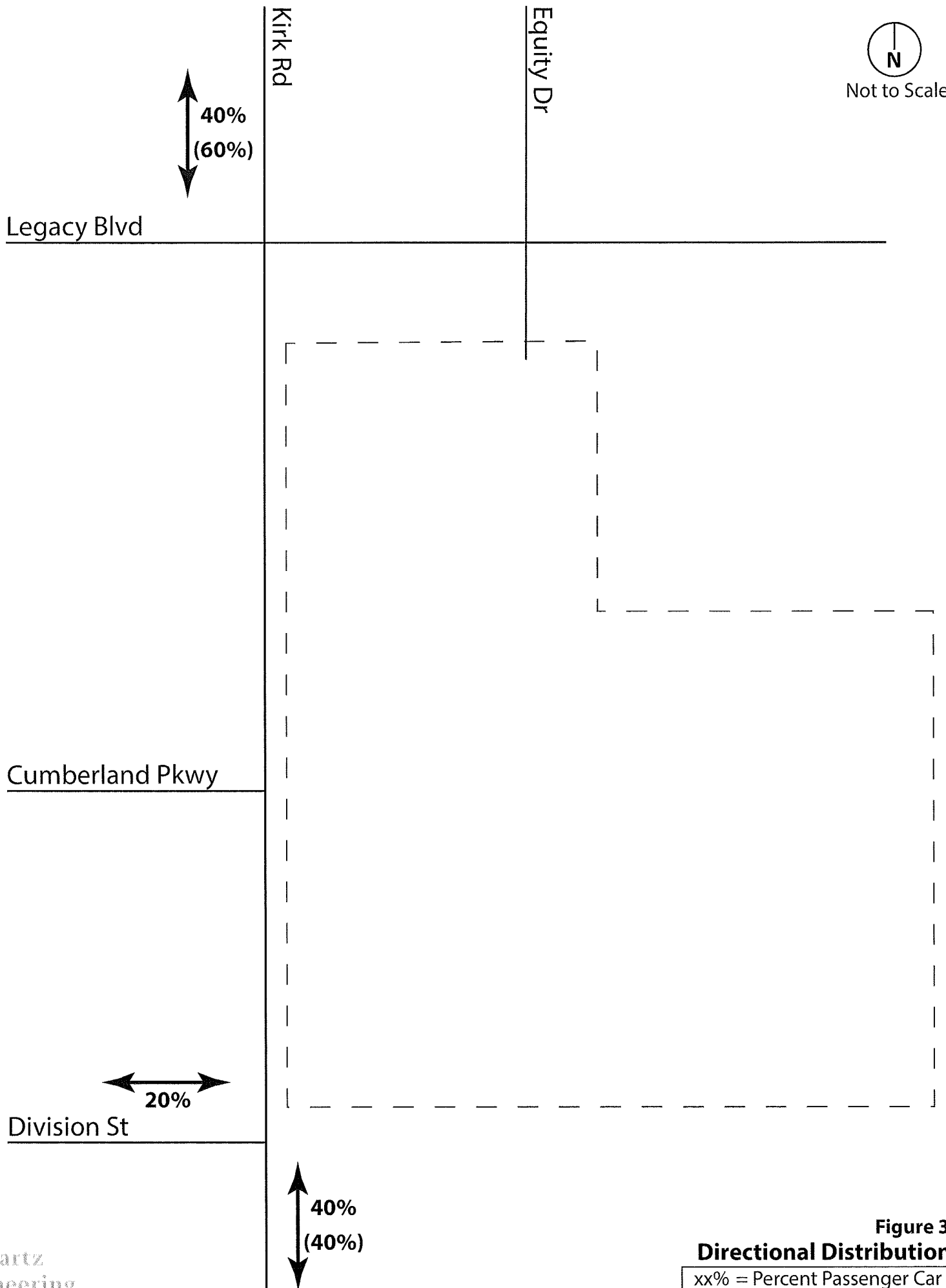
In order to account for non-site background growth in traffic, the following two considerations were included in the traffic analysis:

- In accordance with KDOT requirements, future traffic volume conditions were developed for a ten-year growth horizon. For the purpose of this study and based on discussions with KDOT, traffic volumes along Kirk Road are assumed to experience an overall annual, compounded growth rate of one (1) percent per year. Thus, for a 2025 condition, a total 10.4% growth factor was applied to existing traffic.
- In addition, the area south of the site in Geneva is comprised of 130 acres of agricultural land that will potentially be developed in the future. Based on discussions with the City of Geneva, the area is zoned Light Industrial, Office and Research. There are currently no plans for development of the area. However, as requested by KDOT, traffic associated with the potential development within Geneva was also quantified generally assuming a business park type of use that would be served by the extension of the drive opposite Division Street, as well as other access points. Trip generation calculations for the 130 acres is included in the Appendix.

### **Total Traffic Development Conditions**

Three different future development conditions were developed to represent the total traffic assignments at various phases of the project and area development.

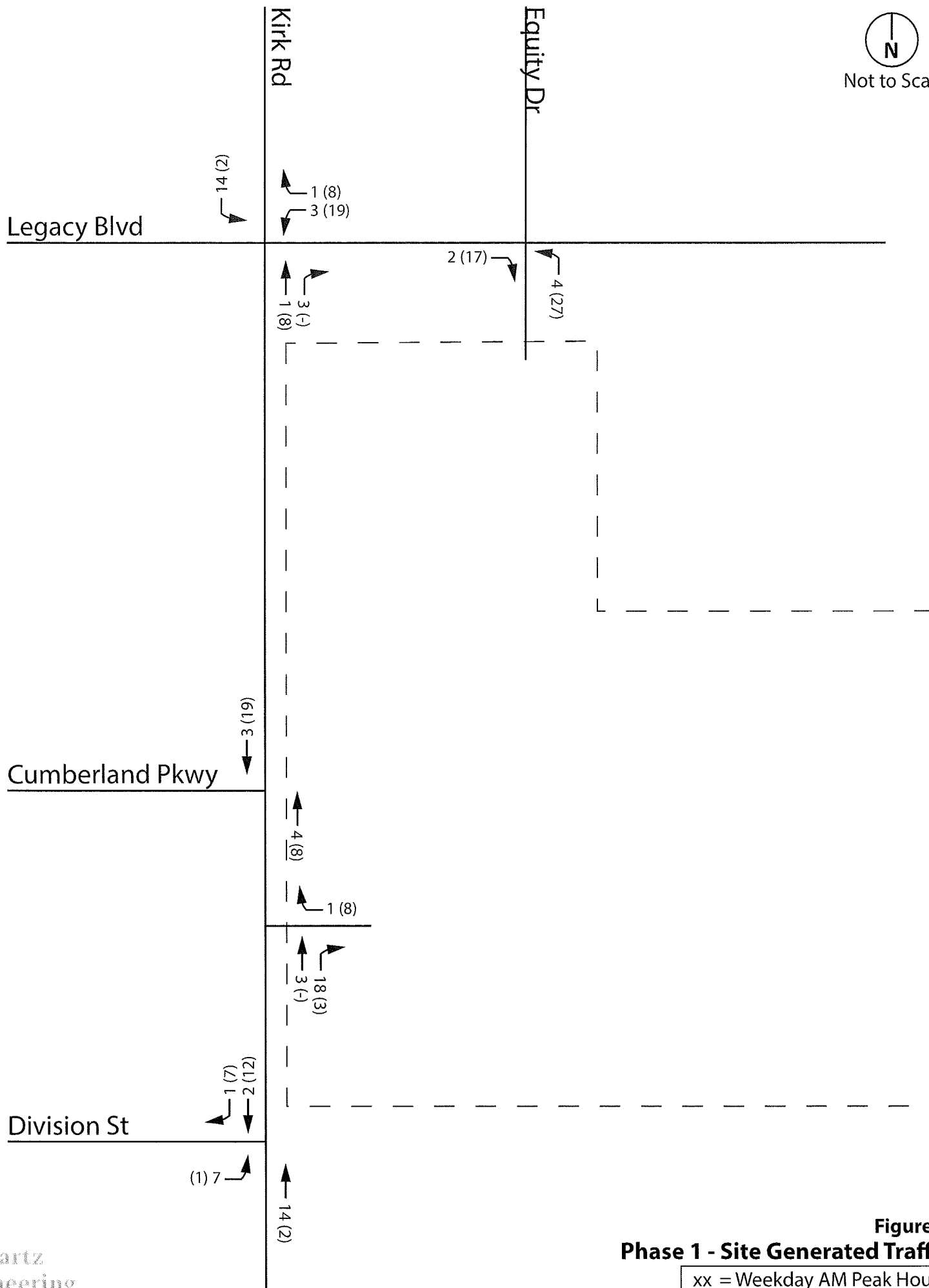
- Existing plus Phase I Site Traffic – This condition, shown in **Figure 6**, represents traffic volumes when Phase I of the site is built and was determined by combining Figure 2 with Figure 4.
- 2025 Build traffic volumes – This condition, shown in **Figure 7**, represents full construction of the project (Phase I and Phase II) and ten years (10.4%) of general ambient growth in traffic.
- 2025 Build plus Background – This condition, shown in **Figure 8**, represents 2025 Build traffic from Figure 7 combined with additional traffic upon construction of 130 acres of Business Park to the south.





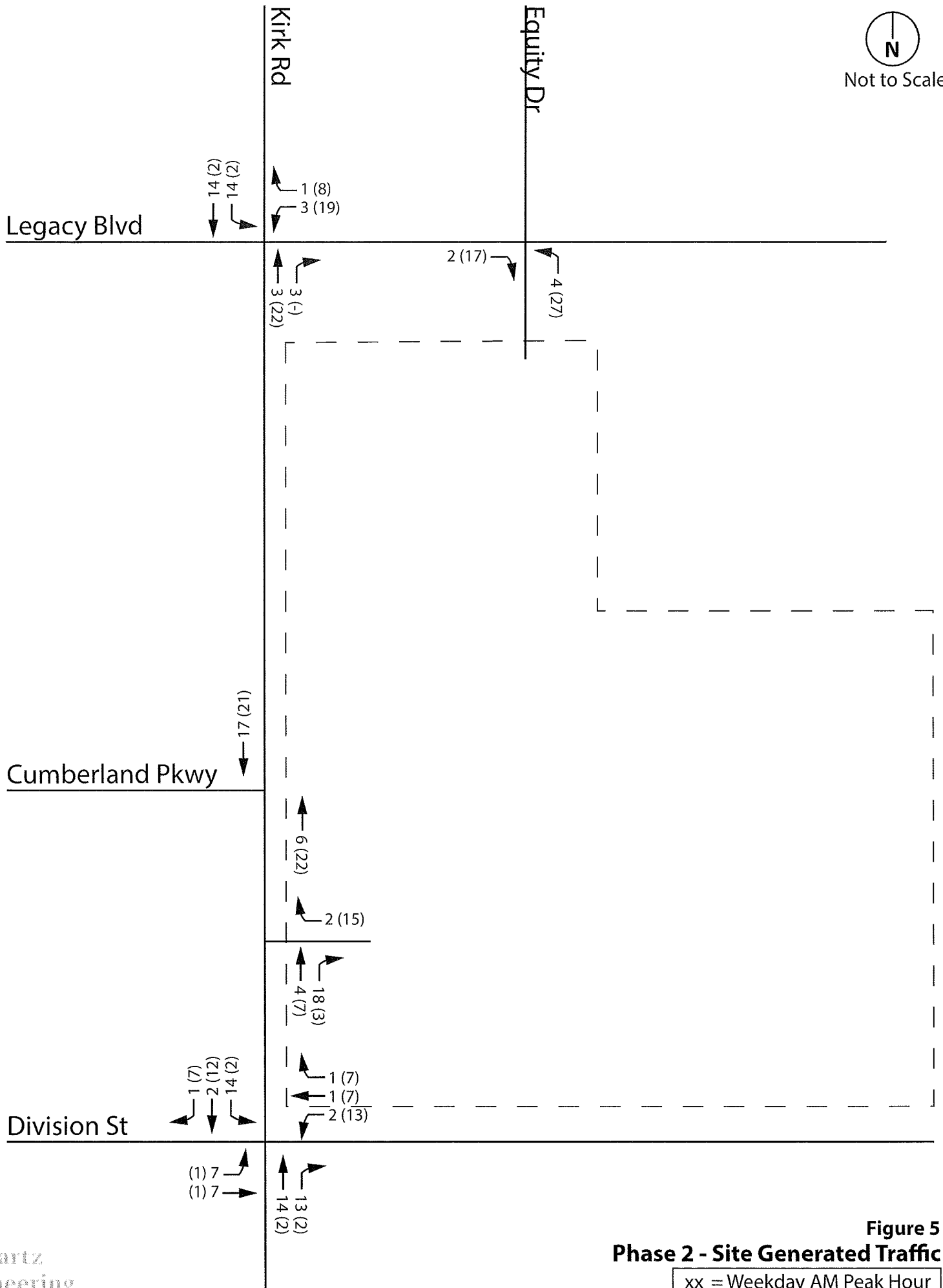


Not to Scale



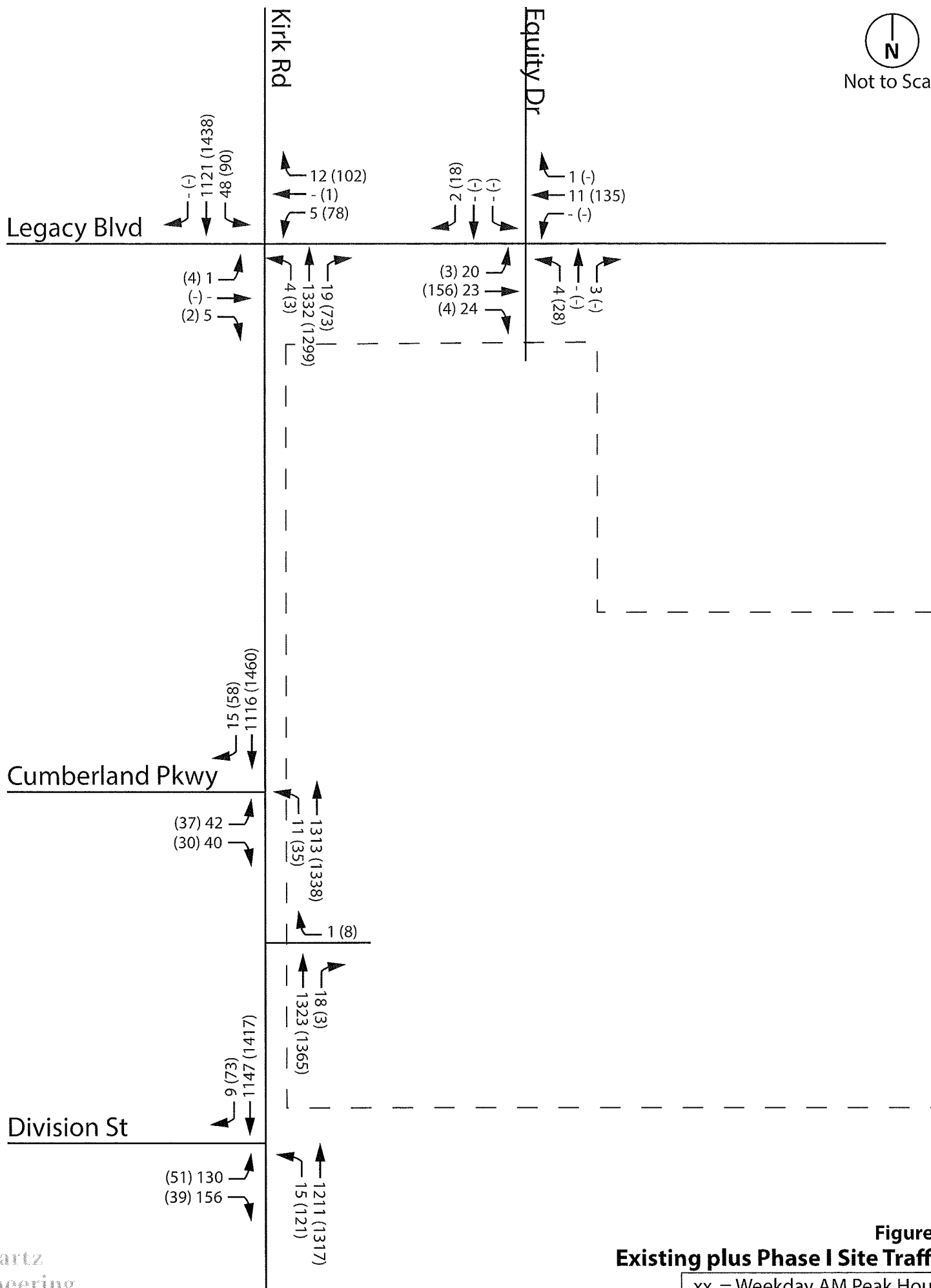
**Figure 4**  
**Phase 1 - Site Generated Traffic**

xx = Weekday AM Peak Hour  
(xx) = Weekday PM Peak Hour





Not to Scale

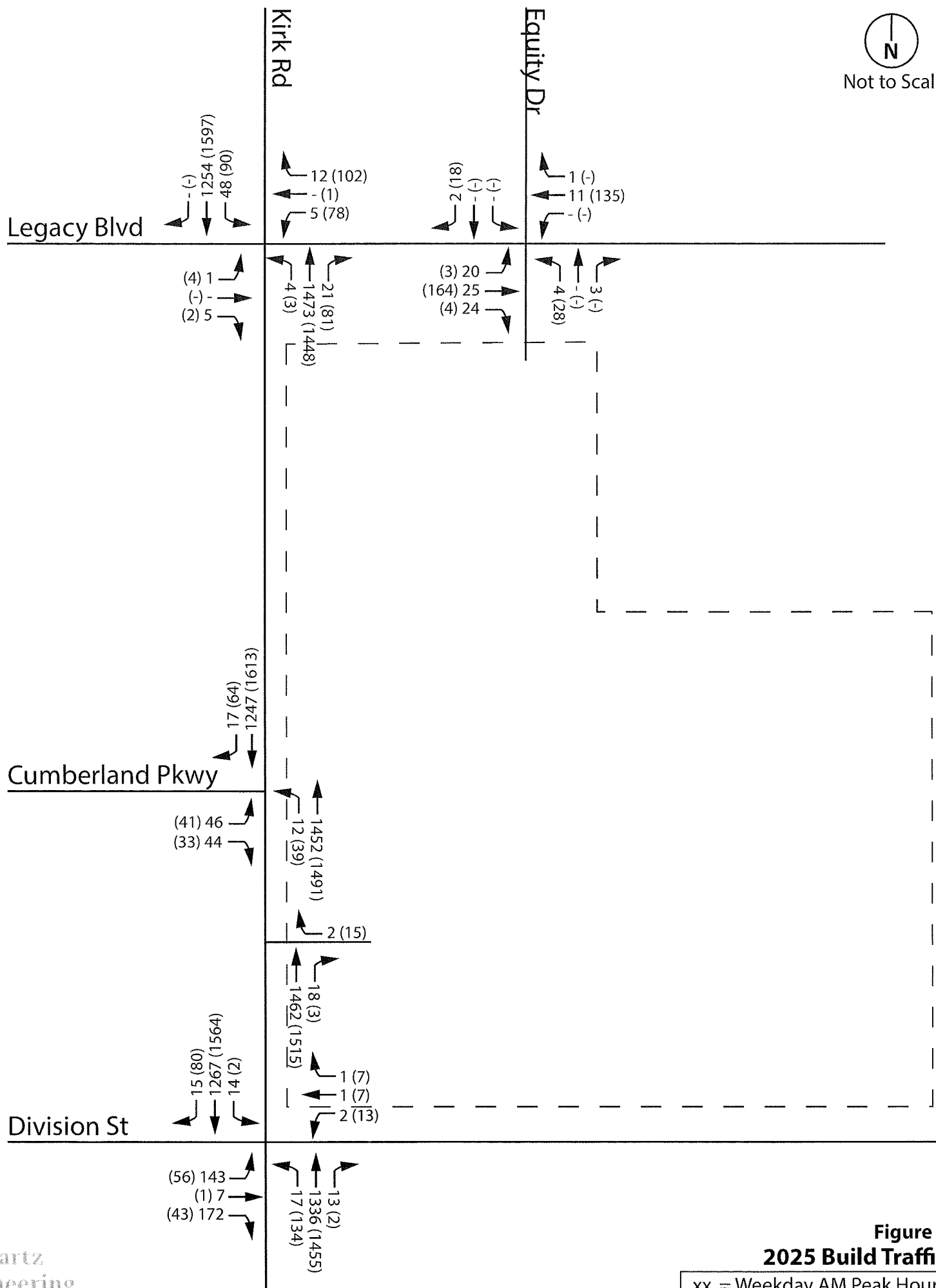


**Figure 6**  
**Existing plus Phase I Site Traffic**

xx = Weekday AM Peak Hour  
(xx) = Weekday PM Peak Hour

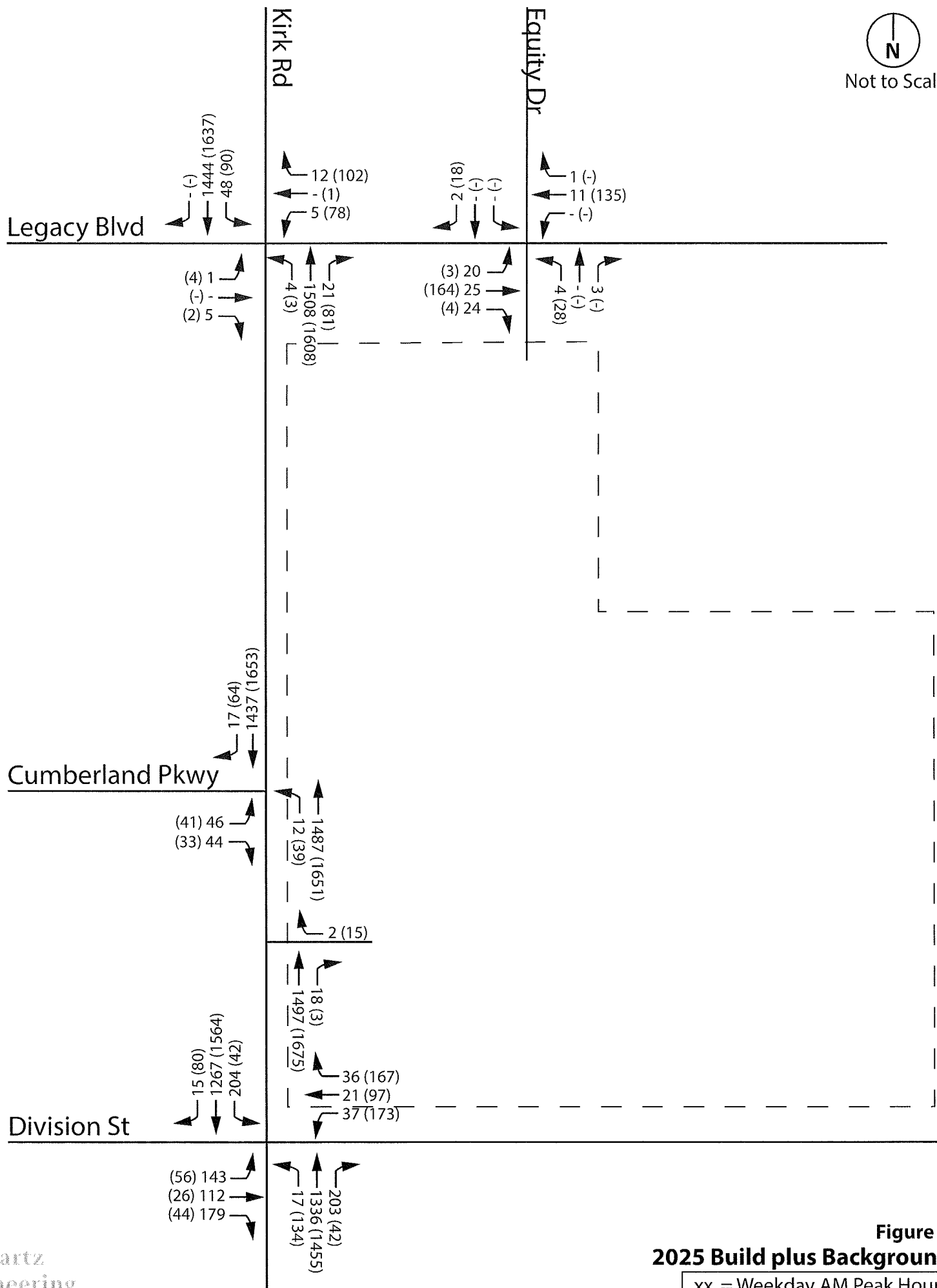


Not to Scale





Not to Scale



## ANALYSIS

Analyses were conducted to determine whether the adjacent roadway network would be able to accommodate the needs of the proposed development. The analyses conducted include capacity analyses for future traffic conditions at the study intersections and the examination of turn lane needs.

### Capacity Analysis

Capacity analyses were conducted for assessing the various future traffic conditions using Synchro 8. Summaries of the capacity analysis results indicating the LOS for all study intersections are presented in **Table 3** for Existing plus Phase I Site. The 2025 Build development capacity results are summarized in **Table 4**. The 2025 Build and Background development capacity results are summarized in **Table 5**. All output worksheets used for these analyses are contained in the Appendix.

**Table 3: Future Intersection Level-of-Service – Existing plus Phase I Site Traffic**

Intersection/Peak Hour/Lane	Weekday AM Peak Hour		Weekday PM Peak Hour	
	Delay <sup>A</sup>	LOS <sup>B</sup>	Delay	LOS
<b>Kirk Rd at Legacy Blvd</b>				
Legacy Blvd EB	8.8	A	41.3	D
Legacy Blvd WB	17.5	B	41.2	D
Kirk Rd NB	4.3	A	5.4	A
Kirk Rd SB	3.1	A	4.9	A
<b>Overall Intersection</b>	<b>3.9</b>	<b>A</b>	<b>7.3</b>	<b>A</b>
<b>Legacy Blvd at Equity Dr</b>				
<b>Overall Intersection</b>	<b>7.3</b>	<b>A</b>	<b>8.5</b>	<b>A</b>
<b>Kirk Rd at Cumberland Pkwy</b>				
Cumberland Pkwy EB	29.2	D	47.3	E
Kirk Rd NBL	11.4	B	14.7	B
<b>Kirk Blvd at RIRO</b>				
RIRO WB	14.7	B	15.3	C
<b>Kirk Rd at Division St</b>				
Division St EB	43.1	D	56.1	E
Kirk Rd NB	5.7	A	3.4	A
Kirk Rd SB	7.9	A	5.0	A
<b>Overall Intersection</b>	<b>10.6</b>	<b>B</b>	<b>5.7</b>	<b>A</b>

<sup>A</sup> Average control delay in seconds per vehicle.

<sup>B</sup> Level of service.

**Table 4: Future Intersection Level-of-Service – 2025 Build**

Intersection/Peak Hour/Lane	Weekday AM Peak Hour		Weekday PM Peak Hour	
	Delay <sup>A</sup>	LOS <sup>B</sup>	Delay	LOS
<b>Kirk Rd at Legacy Blvd</b>				
Legacy Blvd EB	9.2	A	41.3	D
Legacy Blvd WB	17.6	B	40.8	D
Kirk Rd NB	3.7	A	5.9	A
Kirk Rd SB	3.2	A	5.5	A
<b>Overall Intersection</b>	<b>3.5</b>	<b>A</b>	<b>7.6</b>	<b>A</b>
<b>Legacy Blvd at Equity Dr</b>				
<b>Overall Intersection</b>	<b>7.3</b>	<b>A</b>	<b>8.5</b>	<b>A</b>
<b>Kirk Rd at Cumberland Pkwy</b>				
Cumberland Pkwy EB	38.5	E	72.9	F
Kirk Rd NBL	12.3	B	16.6	C
<b>Kirk Blvd at RIRO</b>				
RIRO WB	16.0	C	17.0	C
<b>Kirk Rd at Division St</b>				
Division St EB	51.1	D	48.0	D
Private Dr WB	49.0	D	54.2	D
Kirk Rd NB	7.1	A	6.7	A
Kirk Rd SB	5.3	A	9.0	A
<b>Overall Intersection</b>	<b>11.1</b>	<b>B</b>	<b>9.5</b>	<b>B</b>

<sup>A</sup> Average control delay in seconds per vehicle.

<sup>B</sup> Level of service.

**Table 5: Future Intersection Level-of-Service – 2025 Build with Background Development**

Intersection/Peak Hour/Lane	Weekday AM Peak Hour		Weekday PM Peak Hour	
	Delay <sup>A</sup>	LOS <sup>B</sup>	Delay	LOS
<b>Kirk Rd at Legacy Blvd</b>				
Legacy Blvd EB	9.2	A	40.8	D
Legacy Blvd WB	17.6	B	38.5	D
Kirk Rd NB	3.2	A	4.2	A
Kirk Rd SB	3.6	A	6.3	A
<b>Overall Intersection</b>	<b>3.5</b>	<b>A</b>	<b>7.0</b>	<b>A</b>
<b>Legacy Blvd at Equity Dr</b>				
<b>Overall Intersection</b>	<b>7.3</b>	<b>A</b>	<b>8.5</b>	<b>A</b>
<b>Kirk Rd at Cumberland Pkwy</b>				
Cumberland Pkwy EB	53.8	F	82.8	F
Kirk Rd NBL	13.9	B	17.1	C
<b>Kirk Blvd at RIRO</b>				
RIRO WB	16.3	C	18.8	C
<b>Kirk Rd at Division St</b>				
Division St EB	48.1	D	44.3	D
Private Dr WB	32.1	C	57.1	E
Kirk Rd NB	18.6	B	15.8	B
Kirk Rd SB	14.0	B	16.2	B
<b>Overall Intersection</b>	<b>20.6</b>	<b>C</b>	<b>21.6</b>	<b>C</b>

<sup>A</sup> Average control delay in seconds per vehicle.

<sup>B</sup> Level of service.

## Findings

### Kirk Road and Legacy Boulevard

Comparison of existing and future build condition capacity analyses at the intersection of Kirk Road and Legacy Boulevard show the intersection approaches will continue to operate at an overall LOS A under all total traffic development conditions. The development described herein will have minimal effect upon the operations of this intersection. The existing roadway geometry is adequate to accommodate future and site traffic.

### Legacy Boulevard and Kirk Road and RIRO

As part of Building I of the site development plan, a RIRO access drive is proposed located approximately 557 feet north of the traffic signal at Division Street and approximately 150 feet south of Cumberland Parkway. This conforms to Access Level 2 guidelines of KDOT's access regulations. The access drive will provide cross access within the site and will serve automobile traffic only. The site plan shows truck traffic will not use the RIRO. A northbound separate right-turn lane should be installed on Kirk Road serving the RIRO which will require a full depth removal of replacement of the existing shoulder. Capacity analyses indicate the RIRO will operate at LOS C or better during any peak hour.

### Kirk Road and Division Street/Private Drive

Under existing plus Building I site traffic, this intersection is expected to continue to operate at LOS B or better as very little new traffic will be added to the intersection. No roadway improvements are necessary under this condition.

Under the 2025 Build condition, a fourth leg of the intersection will be provided under traffic signal control as a private drive will be extended east of Kirk Road aligned with Division Street to serve Phase II/Building 2 of the site. Future analyses under this condition considered providing two outbound lanes on both approaches of Division Street striped as a separate left-turn and a shared through/right-turn lane. It also considered providing a separate southbound left-turn lane and a northbound right-turn lane on Kirk Road. With these improvements, as well as modified signal phasing, the intersection will operate at an overall LOS B during the weekday morning and evening peak hours.

Under the 2025 Build plus Background condition, capacity analyses indicate the additional traffic related to the 130 acres of development may require that the drive and Division Street be widened to three outbound lanes providing a separate left-turn, through and right-turn lane on both approaches. With additional signal phasing modifications (right-turn overlap) and the additional lane, the intersection is projected to operate at LOS C with minimal additional green time given to east-west movements. This intersection should be reexamined as development occurs and additional access is provided along the private drive.



## CONCLUSION

A traffic impact study was conducted for the proposed industrial development on Kirk Road in St. Charles, Illinois. Based on the conducted analyses, the following conclusions were developed:

- The proposed development will be constructed in two different phases and both phases will generate limited trips during the peak hours of the adjacent streets. Each building/phase is expected to individually generate approximately 40-56 bi-directional weekday peak hour trips, for a total of 80-112 bi-directional trips when both buildings are complete.
- Analyses were conducted for several future development conditions to determine what roadway improvements are needed as a result of the site and when they are required. The following summarizes the improvements required for each Phase I and Phase II of site development.
  - Phase I:
    - Provide RIRO access on Kirk Road at 150 feet south of Cumberland Parkway and 557 feet north of Division Street.
    - Provide a northbound separate right-turn lane on Kirk Road at the RIRO. Based on discussions with KDOT and the results of the capacity analyses, the turn lane should provide a storage length of 150' with a 175' taper length.
  - Phase II:
    - Extend roadway east to form the fourth leg of the Kirk Road/Division Street signalized intersection. Intersection geometric improvements should include a separate westbound left-turn lane, a westbound shared through/right-turn lane, a southbound left-turn lane, and a northbound right-turn lane. The existing eastbound right-turn lane on Division Street will need to be restriped as a shared through/right-turn lane.
    - The improvements will also require new signal phasing to include a southbound left-turn protected phase (arrow) and east/west left-turn protected phases (arrow). As a result, KDOT requires that all traffic signal equipment will need to be upgraded.
    - It should be noted that there is an existing bike path that extends east of Kirk Road from Division Street that would need to be relocated.
- It is recommended that the intersection of Kirk Road and Division Street be reexamined as the agricultural land south of the intersection develops to determine the need for additional geometric improvements beyond those listed about serving the proposed site. Traffic impacts from the development described herein will be mitigated with the proposed improvements.