

October 14, 2015

Mr. Russell Colby  
City of St. Charles  
2 E. Main Street  
Saint Charles, Illinois 60174

RE: 203 N. 3rd. Ave., St. Charles

Dear Mr. Colby,

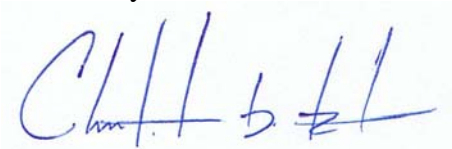
Per our phone conversation, we would like the historic preservation commission to take an initial look at a potential renovation/addition project to the residence located at 203 N. 3rd. Ave. in St. Charles. This home is located within the historic district and the RT-4 zoning district.

The main area of concern is the front of the home where the homeowners would like to remove an existing, one-story, enclosed front porch that has fallen into disrepair and replace it with a new, two-story enclosed porch. One issue that you and I discussed is that the porch is within the front yard setback and demolishing it would require a zoning variance if we wanted to rebuild. We've investigated the existing structure of this porch and it is not adequate to support a new second story above making demolition and replacement the only option for a two-story porch. I should also point out that this property is currently 416 sf over the maximum lot coverage allotment.

In order to start this project off in the correct direction, we are soliciting the opinion of the historic commission with regard to the two-story porch concept. This porch would have a similar function on the first floor as it does today and the second floor portion would become a sitting room off of an existing bedroom. Prior to starting any conceptual design sketches we would like to know if a two-story porch could potentially be granted a certificate of appropriateness by the historic commission. If that is a possibility, we will take the project in that direction but would then need guidance on which to do first; apply for a zoning variance or obtain a certificate of appropriateness from the historic commission.

Please take a look at the existing photographs of the home attached, as well as the preliminary site plan illustrating the legal non-conformity of the existing front porch and let me know if you need any additional information regarding this project.

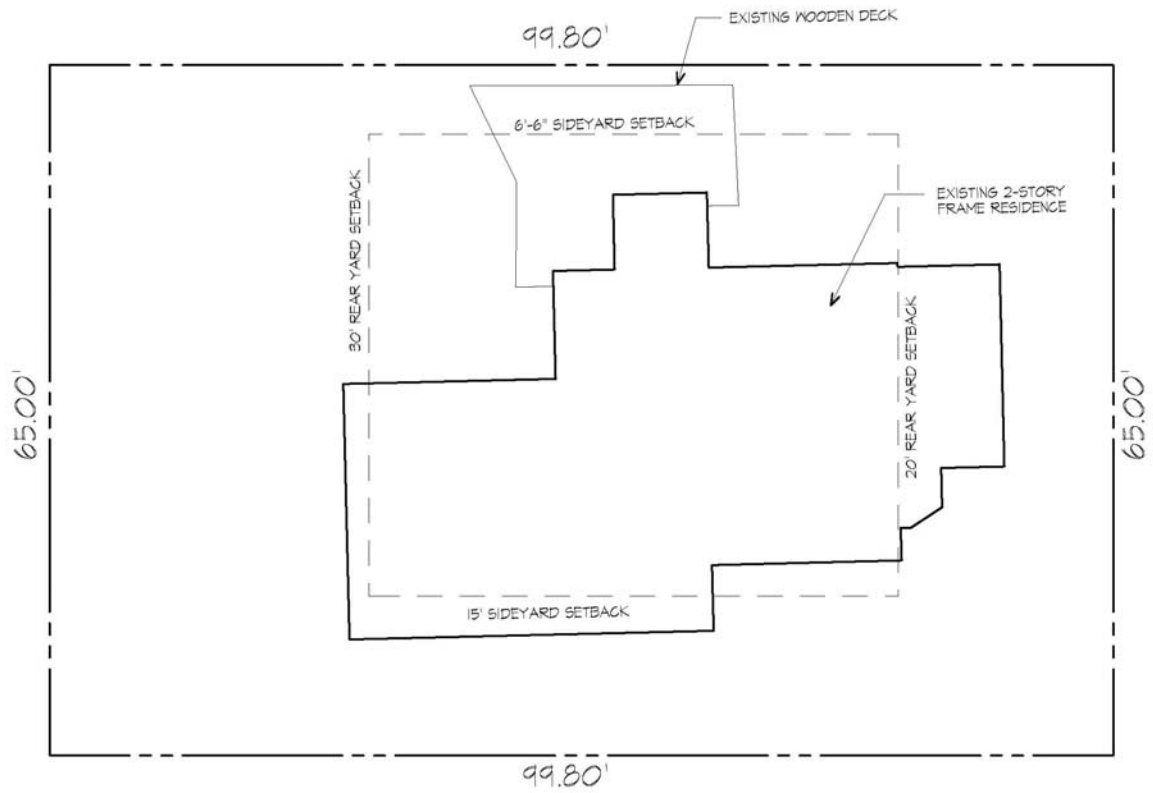
Sincerely,



Christopher D. Rosati  
Principal

CHRISTOPHER D. ROSATI  
ARCHITECT

1250 Souders Avenue, Elburn, Illinois 60119  
PHONE 630.346.5289 FAX 630.365.6634



**Existing Site Plan**



**Front Porch Viewed From East**

CHRISTOPHER D. ROSATI  
ARCHITECT

1250 Souders Avenue, Elburn, Illinois 60119  
PHONE 630.346.5289 FAX 630.365.6634





**Front Porch Viewed From Southeast**



**Front Porch Viewed From Northeast**

CHRISTOPHER D. ROSATI  
ARCHITECT

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