

**AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. TODD BANCROFT – CHAIRMAN
MONDAY, DECEMBER 14, 2015 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. FIRE DEPARTMENT**
 - a. Recommendation to approve an Ordinance extending the Residential Sprinkler Moratorium until December 31, 2016.
- 4. COMMUNITY & ECONOMIC DEVELOPMENT**
 - a. Plan Commission recommendation to approve a Map Amendment, Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Corporate Reserve – Lot 8 (Corporate Reserve PUD) and recommendation to direct staff to schedule a public hearing for an amendment to the Corporate Reserve Annexation Agreement.
 - b. Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for 2623 Lincoln Highway, Metro Storage (Bricher Commons PUD) and recommendation to direct staff to schedule a public hearing for an amendment to the Bricher Commons Annexation Agreement.
 - c. Recommendation to approve a Minor Change to PUD Preliminary Plan for Costco Wholesale Fuel Facility, 215 S. Randall Rd. (Zylstra PUD).
 - d. Historic Preservation Commission recommendation to approve historic landmark designation for 215 N. 3rd Ave., Locke-Marchialette House.
 - e. Plan Commission recommendation to approve a Preliminary Streetscape Plan for First Street Phase 3 (First Street Redevelopment PUD).
 - f. Informational presentation on the Inclusionary Housing Ordinance.
- 5. ADDITIONAL BUSINESS**
- 6. EXECUTIVE SESSION**
 - Personnel
 - Pending Litigation
 - Probable or Imminent Litigation
 - Property Acquisition
 - Collective Bargaining

- 7. ADDITIONAL ITEMS FROM MAYOR, COUNCIL, STAFF OR CITIZENS.**
- 8. ADJOURNMENT**



AGENDA ITEM EXECUTIVE SUMMARY

Title: Extension of Residential Sprinkler Moratorium Until December 31, 2016

Presenter: Fire Chief Joseph Schelstreet

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development (12/14/15)		City Council

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

Executive Summary:

On January 1, 2012, the residential building code requirement for the installation of fire sprinklers in all newly constructed 1 and 2-family residential structures within the City of St. Charles went in to effect. This occurred in accordance with the provisions of the 2009 editions of the International Residential Code and the National Fire Protection Association Life Safety Code as adopted by the City Council on July 19, 2010. At the time of adoption, the City Council implemented a temporary moratorium on the residential fire sprinkler provision due to the economic climate. At this time, staff from Building and Code Enforcement as well as from the Fire Department are working together to adopt the 2015 edition of the International Residential Code. Additionally, the Fire Department is also communicating with the Fire Departments in Geneva and Batavia in an attempt to entertain like language in all three communities. Therefore, staff requests that Council extend the current moratorium on the residential sprinkler requirement until December 31, 2016 in order to further evaluate opportunities and offer additional information.

Attachments: *(please list)* Proposed ordinance extending the residential sprinkler moratorium until December 31, 2016

Recommendation / Suggested Action *(briefly explain):* Staff requests approval of the ordinance extending the residential sprinkler moratorium until December 31, 2016

For office use only:

Agenda Item Number: 3a

City of St. Charles

Ordinance No. _____

**An Ordinance Amending the St. Charles Municipal Code – Title 15,
“Buildings and Construction”, Chapter 15.04 “Building Code”, Section
15.04.020 "One-Family and Two-Family Residences”**

WHEREAS, the City of St. Charles has previously adopted by reference the 2009 International Residential Code for One and Two Family Dwellings, by International Code Council, Inc., with certain modifications thereto; and

WHEREAS, the City Council found it to be in the interest of the City of St. Charles and the local building community to defer implementation of the requirement for residential fire sprinklers until December 31, 2015, and

WHEREAS, the City of St. Charles is currently entertaining the adoption of the 2015 International Residential Code for One and Two Family Dwellings, by the International Code Council, Inc., with certain modifications thereto; and

WHEREAS, the City Council now finds it to be in the interest of City of St. Charles to determine what the outcome and impact of implementation of residential sprinklers will be to the City of St. Charles;

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, to defer implementation of the requirement for residential fire sprinklers in One and Two-Family Residences as outlined in Section 15.04.020 of the City of St. Charles Municipal Code until December 31, 2016.

That after the adoption and approval hereof the Ordinance shall (A) be printed or published in book or pamphlet form, published by the authority of the City Council, or (B) within thirty (30) days after the adoption and approval hereof, be published in a newspaper in and with a general circulation within the City of St. Charles.

Presented to the City Council of the City of St. Charles, Illinois this ____ day of _____, 2015.

Passed by the City Council of the City of St. Charles, Illinois this _____ day of _____, 2015.

Approved by the Mayor of the City of St. Charles, Illinois this ____ day of _____, 2015.

Mayor

Attest:

City Clerk

Approved as to Form:

City Attorney

Council Vote:

Ayes: _____

Nays: _____

Abstain: _____

Absent: _____

Date: _____



AGENDA ITEM EXECUTIVE SUMMARY

Title:	Plan Commission recommendation to approve a Map Amendment, Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Corporate Reserve – Lot 8 (Corporate Reserve PUD) and recommendation to direct staff to schedule a public hearing for an amendment to the Corporate Reserve Annexation Agreement.
Presenter:	Ellen Johnson

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (12/14/15)		City Council
	Public Hearing		

Estimated Cost:	N/A	Budgeted:	YES	NO	
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If NO, please explain how item will be funded:

Executive Summary:

The subject property, a 22.6 acre vacant parcel north of Woodward Drive, is Lot 8 of the Corporate Reserve of St. Charles PUD. The PUD ordinance identifies the property for use as an office park.

The applicant, Corporate Reserve Development Partners, LLC, is proposing to amend the PUD to permit a single-family residential development on Lot 8. Details of the proposal are as follows:

- Rezone the property from O/R Office/Research to RS-4 Suburban Single-Family Residential.
- Construct 78 single-family homes on lots of at least 5,200 sq. ft.
- Primary access provided by continuation of Corporate Reserve Boulevard, north of Woodward Dr.
- Secondary access provided via a private road that runs along the east property line.
- 1.02 acre park site and trail connection to the Great Western Trail.

The Land Use Plan designation for the property is Industrial/Business Park, however the Plan states this site, “may also be appropriate for residential uses, provided densities and built form are similar to that of adjacent residential parcels.” A Concept Plan similar to what is now proposed was reviewed in July 2015.

Plan Commission Recommendation

The Plan Commission held a public hearing on 11/17/15. The Commission recommended approval, upon resolution of outstanding staff comments, by a vote of 5-1, with the following conditions:

1. That the rear elevations of homes backing up to Woodward Dr. incorporate additional articulation.
2. That monotony code standards be adopted for the development.

The applicant has been asked to provide a list of the types of standards that the monotony code will address. This list will be included in the PUD ordinance. The builder will be required to provide the monotony code to the City for review by staff prior to the City signing the Final Plat.

Plan Commission Chairman Todd Wallace has provided a memo explaining the reasons for his dissenting vote.

Annexation Agreement

The property is subject to an annexation agreement. The annexation agreement has the existing PUD ordinance for the property attached as an exhibit; therefore the agreement must be amended in order for the City to approve the zoning applications. The amendment to the annexation agreement is outside the purview of the Plan Commission.

Amending the annexation agreement is an independent City Council consideration in addition to the Map Amendment and PUD amendment. Following a recommendation from the Committee, staff will proceed with scheduling a public hearing for an annexation agreement amendment. The Council has discretion to approve or deny the annexation agreement amendment.

Attachments: <i>(please list)</i>	
Plan Commission Resolution, Staff Report, Park District Letter, Memo from Todd Wallace, Applications for Map Amendment, Special Use, PUD Preliminary Plan, and Final Plat of Subdivision	
Recommendation / Suggested Action <i>(briefly explain):</i>	
Plan Commission recommendation to approve a Map Amendment, Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Corporate Reserve – Lot 8 (Corporate Reserve PUD) and recommendation to direct staff to schedule a public hearing for an amendment to the Corporate Reserve Annexation Agreement.	
<i>For office use only:</i>	<i>Agenda Item Number: 4a</i>

City of St. Charles, Illinois
Plan Commission Resolution No. 22-2015

**A Resolution Recommending Approval of a Map Amendment, Amendment to
Special Use for PUD, PUD Preliminary Plan and Final Plat of Subdivision for
Corporate Reserve at St. Charles –Lot 8
(Corporate Reserve Development Partners, LLC)**

Passed by Plan Commission on November 17, 2015

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review Map Amendments, Special Uses, PUD Preliminary Plans, and Final Plats of Subdivision; and,

WHEREAS, the Plan Commission has held a public hearing and has reviewed the petitions for Map Amendment, Special Use for PUD, PUD Preliminary Plan and Final Plat of Subdivision for Corporate Reserve at St. Charles –Lot 8 (Corporate Reserve Development Partners, LLC); and,

WHEREAS, in accordance with Section 17.04.320.D, the Plan Commission has considered the following findings for Map Amendment:

FINDINGS OF FACT FOR MAP AMENDMENT

1. The existing uses and zoning of nearby property.

The existing uses of nearby property include single family attached residential, open space, industrial business park, and undeveloped land. Zoning of nearby properties include RM1 – Mixed Medium– Density, PL - Public Land, OR- Office/Research, and BC - Community Business

2. The extent to which property values are diminished by the existing zoning restrictions.

The subject property value is diminished under the current zoning and will increase in value if the proposed zoning within the jurisdiction of the City of St. Charles is granted. Values of surrounding properties will not be diminished based on the proposed zoning amendment.

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public.

The current zoning for the subject property does not produce any perceptible public benefits.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification.

The property is currently zoned as O-R Office Research under the jurisdiction of the City of St.

Charles. The development of the property under the O-R Office Research zoning classification is physically feasible, however, the developer finds current market conditions to be more favorable to the development of single family homes rather than office/industrial use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located.

Corporate Reserve north of Woodward was rezoned from BC Community Business to OR Office Research in 2008, when the PUD for the site was approved.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district.

Market analyses of the subject property have determined that single-family housing would be a viable and desirable use for the property.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

The City's Comprehensive Plan calls out Industrial/Business Park for the subject property, however, lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed amendment does not correct an error or omission in the Zoning Map.

9. The extent to which the proposed amendment creates nonconformities.

The proposed amendment will create minor nonconformities with the new zoning. Please see the attached "Summary of Code Standards & Departures" for proposed departures from the new zoning

10. The trend of development, if any, in the general area of the property in question.

The frontage between IL Route 64 and Woodward Drive, from Peck Road to Oak Street, has been slow to develop. To west of the site, north of Woodward Drive, is Remington Glen, a townhome development, approved as RM-1 zoning in 2004. To the east of the site, north of Wood Drive, is Regency Estates. Regency Estates was originally approved in 2006 as a townhome development, however, construction of the townhomes units halted. The development was then acquired by a new homebuilder and a PUD change to single family was approved in 2011 (the zoning district remained RM-1). The home builder executed a complete buildout of small lot residential with minimum lot sizes of 5,000 square feet. Remington Glen, however, still has remaining lots where townhomes have not been built. The most recent and successful trend of development in the area is for small lot single family residential homes.

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENT

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development. procedure stated in Section 17.04.400.A**

See attached "The Corporate Reserve Public Benefits" document provided by applicant.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**
 - A. Conforming to the requirements would inhibit creative design that serves community goals, or**
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements**

Lot 8 of the Corporate Reserve provides a 1.0 acre community park space, landscaping, buffering, and screening, and efficient site design that conformance to the standards listed above. With the requested minimal variations from a few of the RS-4 standards, the development will still comply with the spirit and intent of the above listed standards. The residential development as proposed provides usable internal open space and access to nearby off-site amenities via regional trail connections.

- iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The proposed Special Use will serve the public convenience through the addition of community park space. The proposed Lot 8 of the Corporate Reserve will provide a 1.0 acre park as part of the site improvements. The park is intentionally located at the southeast corner of the site, exterior to the proposed street network, to allow residents from nearby subdivisions, such as Remington Glen and Regency Estates, to easily access the proposed park.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

Adequate and sufficient utilities, access roads, drainage, and other necessary facilities will be provided as part of the site improvements to the property.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity. Values of surrounding properties will not be diminished based on the proposed special use.

- D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

The establishment of the proposed special use will not impede the normal and orderly development and improvement of the surrounding property.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The establishment, maintenance, and operation of the proposed special use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

The proposed Special Use for Lot 8 of the Corporate Reserve conforms to all existing Federal, State, and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

- G. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Lot 8 of the Corporate Reserve brings an increased density of residents to a concentration of retailers and commercial establishments in the City. This provides a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increased future tax revenue to the City.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Lot 8 of the Corporate Reserve brings an increased density of residents to a concentration of retailers and commercial establishments in the City. This provides a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increased future tax revenue to the City.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The City's Comprehensive Plan calls out Industrial/Business Park for the subject property, however, lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of a Map Amendment from O/R Office/Research District to RS-4 Suburban Single-Family Residential District, Amendment to Special Use for PUD, PUD Preliminary Plan and Final Plat of Subdivision for Corporate Reserve at St. Charles –Lot 8 (Corporate Reserve Development Partners, LLC) subject to resolution of all staff comments prior to City Council action, and subject to the following condition:

1. That rear elevations of the homes backing up to Woodward Drive have additional detail and that monotony code standards be adopted for the development.

Roll Call Vote:

Ayes: Kessler, Frio, Pretz, Doyle, Spruth
Nays: Wallace
Absent: Holderfield, Schuetz, Macklin-Purdy
Motion Carried: 5-1

PASSED, this 17th day of November 2015.



Chairman
St. Charles Plan Commission

Community & Economic Development
 Planning Division

Phone: (630) 377-4443
 Fax: (630) 377-4062



Staff Report

TO: Chairman Todd Bancroft
 And Members of the Planning & Development Committee

FROM: Ellen Johnson, Planner

RE: Map Amendment, Amendment to Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision for Corporate Reserve at St. Charles – Lot 8 (Corporate Reserve PUD)

DATE: December 8, 2015

I. APPLICATION INFORMATION:

Project Name: The Corporate Reserve at St. Charles – Lot 8

Applicant: Corporate Reserve Development Partners, LLC

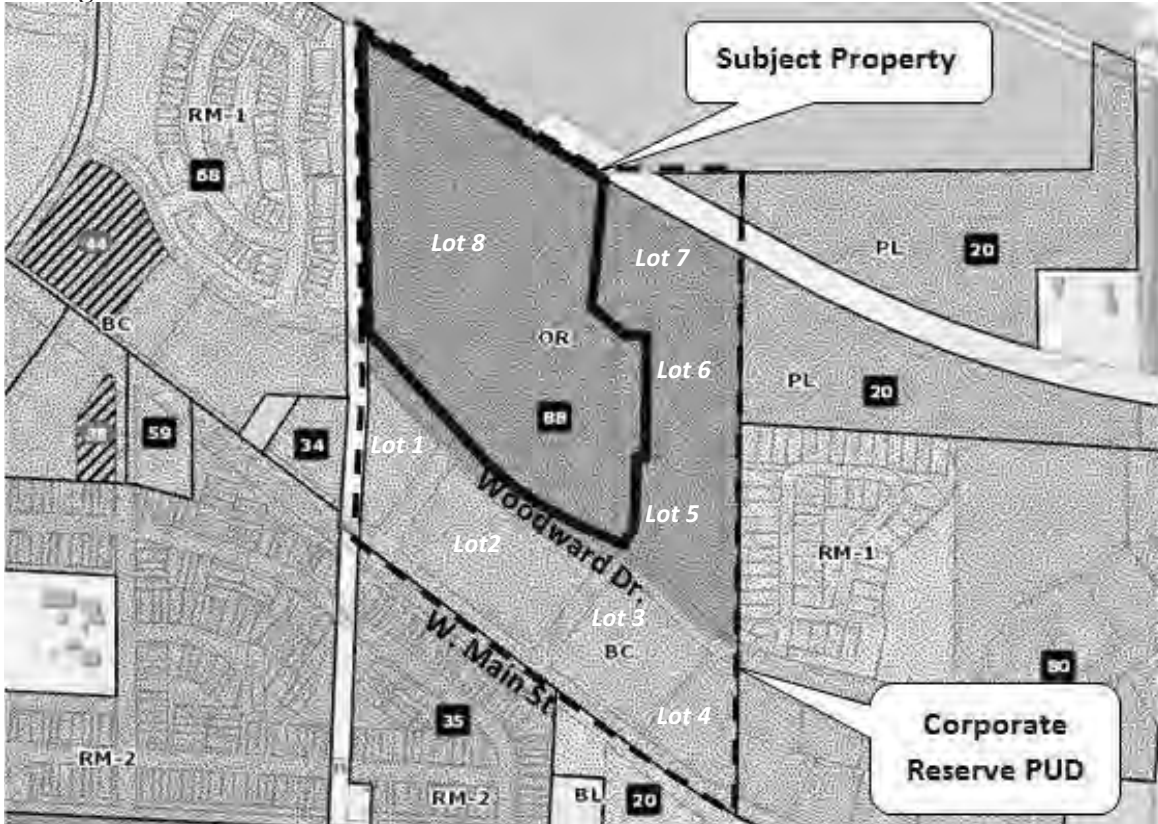
Purpose: Residential subdivision consisting of 78 single-family lots

General Information:		
Site Information		
Location	Woodward Dr. at Corporate Reserve Blvd. and Cardinal Dr. (north side of Woodward Dr.)	
Acres	22.6 acres (985,724 sf)	
Application:	Map Amendment Special Use (PUD) PUD Preliminary Plan Final Plat of Subdivision	
Applicable City Code Sections	Title 17, Chapter 17.12 - Residential Districts Title 16 Subdivisions and Land Improvement	
Existing Conditions		
Land Use	Vacant	
Zoning	O/R- Office/Research District & PUD (Corporate Reserve of St. Charles)	
Zoning Summary		
North	N/A – unincorporated	Kane County Forest Preserve
East	O/R- Office/Research District & PUD (Corporate Reserve of St. Charles)	Stormwater detention area, two office buildings, vacant parcel
South	BC- Community Business & PUD (Corporate Reserve of St. Charles)	Vacant parcels
West	RM-1- Mixed Medium Density Residential & PUD (Remington Glen)	Townhome development
Comprehensive Plan Designation		
Industrial/Business Park		

Aerial Photo



Zoning



II. OVERVIEW

A. PROPERTY HISTORY

The subject property, a 22.6 acre vacant parcel, is Lot 8 of the Corporate Reserve of St. Charles Planned Unit Development (PUD). The PUD was approved in 2008 under Ordinance No. 2008-Z-18, “An Ordinance Rezoning Property and Granting a Special Use as a Planned Unit Development for Corporate Reserve of St. Charles PUD (A Portion of the West Gateway PUD).”

A total of eight (8) lots are within the PUD (see zoning map on page 2 for lot locations). The four (4) lots north of Woodward Dr., constituting approximately 34 acres, were designated for office use and zoned O/R- Office/Research District. The four (4) parcels south of Woodward Dr., constituting approximately 12 acres, were zoned BC-Community Business and were intended for commercial use.

The PUD Ordinance included approval of a PUD Preliminary Plan for the following lots:

- Lots 1, 4, and 7- open space/stormwater detention (constructed).
- Lot 6- two single-story office buildings (constructed).
- Lot 5- two single-story office buildings (yet to be constructed).

A PUD Preliminary Plan has not been approved for the remaining lots. These lots are currently vacant. However, a conceptual “sketch plan” was approved with the PUD Ordinance, which illustrated the following:

- Lot 3- one single-story office building.
- Lot 2- commercial/retail space fronting Rt. 64.
- **Lot 8**- two five-story office buildings, two single-story office buildings, and three parking decks.

In 2012, zoning applications were submitted for a multi-family residential development on Lot 8. This plan included 231 residential units. Plan Commission recommended approval of the applications with a vote of 4-3. Planning & Development Committee unanimously recommended denial of the application. The applications were withdrawn before going to City Council for vote.

B. 2015 CONCEPT PLAN

In June 2015, the Plan Commission reviewed a concept plan submitted by Corporate Reserve Development Partners, LLC, to develop 81 single-family homes on the property.

Both the Plan Commission and Planning and Development Committee expressed support for the change in land use to single-family residential, and also stated that a zoning designation of RS-4 would be more appropriate than the proposed RT-3 zoning. Both groups also expressed concern that the lots may be too small, and that a larger backyard should be provided.

C. PROPOSAL

Corporate Reserve Development Partners, LLC, applicant and owner, is proposing to amend the Corporate Reserve PUD ordinance to permit a single-family residential development on Lot 8 of the PUD. Details of the proposal are as follows:

- Rezone the property from O/R Office Research to RS-4 Suburban Single-Family Residential District.

- Construct 78 single-family homes on lots at least 5,200 sq. ft.
- Primary access provided by continuation of Corporate Reserve Boulevard, north of Woodward Dr.
- Secondary access provided via an extension of Cardinal Drive, an existing private road that runs along the east property line and also provides access to the office buildings adjacent to the east.
- Dedicate a 1.02 acre park to the St. Charles Park District.
- Internal network of sidewalks on both sides of the streets.
- Trail connection to the Great Western Trail.

The following Zoning Applications have been submitted in support of this project:

1. **Map Amendment** to rezone the property from O/R Office Research to RS-4 Suburban Single-Family Residential District.
2. **Special Use for PUD** to amend the Corporate Reserve of St. Charles PUD ordinance to permit single-family residential on the subject property and to create unique development standards for development of the property.
3. **PUD Preliminary Plan** for approval of the preliminary engineering and landscape plans, and preliminary plat of subdivision.
4. **Final Plat of Subdivision** to approve the plat that will be recorded with the County to formally plat the development.

III. ANALYSIS

A. COMPREHENSIVE PLAN

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the site as “Industrial/Business Park.” The Plan states:

“Areas designated for industrial/business park are intended to accommodate a variety of uses ranging from light assembly, storage and distribution, low intensity fabrication operations, research and “tech” industry applications, intense commercial service uses, and more. These areas are also intended to provide for business park/office park uses, which could include “stand along” office buildings and complexes or several buildings incorporated into a “campus like” setting.”

However, the site is also called out in the Residential Areas Framework Plan as one of two sites labeled “D” (p.45). The plan states:

*Although designated as Industrial/Business Park within the Land Use Plan, these sites **may also be appropriate for residential uses, provided densities and built form are similar to that of adjacent residential parcels.***

Staff Comments

- A map illustrating the location and densities of nearby residential developments is attached. The density for the proposed development is 3.5 units per acre. The densities of the three nearest residential developments range from 3.7 to 5.9 units per acre (including open space and stormwater detention).

B. ZONING REVIEW

The applicant is proposing to rezone the property to the RS-4 Suburban Single-Family Residential District as the underlying zoning for the subject portion of the PUD. The Zoning Ordinance states the purpose of the RS-4 district is as follows:

“To accommodate medium to high-density single-family residential development in the City.”

Staff Comments:

- The RS-4 zoning is consistent with the zoning of newer single-family developments west of Randall Rd., such as Reneaux Manor (RS-3) and Harvest Hills (RS-4).

The table below compares the RS-4 zoning requirements with both the Concept Plan and the proposed plan. Deviations from the RS-4 district that are required to accommodate the development as proposed are denoted in ***bold italics***.

	RS-4 District	Concept Plan	<u>Proposed Plan</u>
Min. Lot Area	6,600 sf	<i>5,200 sf</i>	<i>5,200 sf</i>
Min. Lot Width	60 ft.	<i>52 ft.</i>	<i>43.65 ft.</i> (Lot 16) (Typical lot width: 52 ft.)
Max. Building Coverage	30%	<i>50%</i>	<i>38.5%</i>
Max. Building Height	34 ft. or 2 stories, whichever is less	TBD	TBD
Min. Front Yard	20 ft.	20 ft.	20 ft.
Min. Interior Side Yard	Combined width of 14 ft., neither less than 5 ft.	<i>5 ft.</i>	<i>6 ft.</i>
Min. Exterior Side Yard	15 ft.	15 ft.	25 ft.
Min. Rear Yard	30 ft.	<i>20 ft.</i>	30 ft.
Off-Street Parking	2 per unit	2 per unit	2 per unit

The applicant is requesting deviations from the lot area, lot width, building coverage, and interior side yard requirements.

C. SITE LAYOUT

Principal features of the site layout include the following:

- Primary access to the site is provided from Woodward Dr. via an extension of Corporate Reserve Blvd., which connects to W. Main St.
- Secondary access is provided via an extension of Cardinal Drive, an existing private road that runs along the east property line and also provides access to the office buildings adjacent to the east. The Homeowners Association will be responsible for maintenance of this road.

- Five parcels will be owned by the Homeowners Association. These parcels cover the detention area; common area along Woodward Dr; private drive extension and common area adjacent to the east property line; and landscape area at the southeast corner of “B Street” and “C Drive”.
- Lots will be accessed from the internal road network, which includes a ring road and additional road splitting the center portion in two.
- Roads will be 33 ft. in width, allowing for on-street parking on both sides of the street.
- Garages will be attached and front loaded.
- The existing bike path along Woodward Dr. will remain and an internal network of sidewalks will be provided on both sides of the internal roads.
- The existing detention pond access trail at the northeast corner of the site will be relocated to the east, towards the detention pond to provide room for the new lots.
- An additional trail at the northwest side will connect to the existing trail that runs north of Woodward Drive and connects to the Great Western Trail.
- Landscaping is provided along Woodward Dr. and Corporate Reserve Blvd., and along the eastern property line, adjacent to the office buildings.
- A 1.02 acre park is provided at the southeast corner of the property.
- A development identification sign is shown at the entrance of Corporate Reserve Blvd., however this sign is not reflected on the engineering plans.

Staff Comments

- The development identification sign must be a monument-style sign and must meet the requirements of **Ch. 17.28 Signs**.
- The applicant has been asked to add the sign to the engineering plans and provide a design rendering.

D. LANDSCAPE PLAN

A landscape plan has been submitted which includes trees lining the streets and landscaping of the HOA-owned areas.

- The plan does not include the detention area at the north end of the site. A landscape plan for this area was previously approved by the City when the pond was created.
- A variety of evergreen trees are provided along the east property line adjacent to the office buildings to provide screening.
- The street trees will be subject to spacing and species requirements as determined by Public Works.
- An 8 ft. wooden privacy fence is proposed along the rear lot lines of the properties backing up to Woodward Dr.

Staff Comments

- Per **Section 17.22.020.C Fences and Walls**, fences on lots in residential districts abutting a nonresidential use or vacant property zoned for nonresidential use may be up to 8 ft. tall. A 6 ft. fence may be considered as an alternative to soften the appearance of the fence from Woodward Dr. Existing nearby residential developments have a more open appearance along Woodward Dr.
- The PUD ordinance and/or the covenants for the project will specify that fences along Woodward Dr. must be of a unified design.

E. BUILDING DESIGN

Architectural elevations have not been submitted as part of the PUD proposal, as a builder for the development has yet to be identified. The Zoning Ordinance does not include any design standards or guidelines for single-family homes in RS Suburban Residential zoning districts.

F. ENGINEERING REVIEW

The applicant has been provided with detailed engineering review comments. The comments are technical in nature and will not have a significant impact on the layout of the development. Comments will need to be addressed prior to City Council approval.

G. TRAFFIC STUDY

The applicant has submitted a Traffic Impact Study prepared by KLOA. The study assessed existing traffic conditions and the impact of the proposed development on traffic conditions in the area to determine any necessary improvements. The study concludes that no traffic control or geometric improvements are needed to accommodate the proposed development.

The City commissioned HLR, Inc. to review the KLOA Traffic Impact Study. This review compares the findings of the KLOA study with two previous traffic studies that had been prepared for Corporate Reserve based on past development proposals. HLR found that the traffic generated from the proposed single-family development is significantly less than the anticipated traffic generated from the two previous development proposals: office park (2008) and apartment complex (2012).

HLR found the methodology and findings of KLOA's study to be reasonable and that the existing infrastructure is sufficient to absorb the traffic expected to be added by the proposed development.

H. PLAT OF SUBDIVISION

A Final Plat of Subdivision has been submitted. 78 single-family lots are proposed, along with a park outlot that will be conveyed to the Park District, and five parcels that will be owned by the HOA, covering the common areas. Minor comments regarding the Plat have been provided to the applicant and will need to be addressed prior to City Council approval.

I. INCLUSIONARY HOUSING

The Inclusionary Housing Ordinance is currently suspended, meaning the requirement to provide affordable units or fee in-lieu thereof is set a zero. A proposal to amend the Inclusionary Housing Ordinance has been discussed, but no action has been taken by City Council. Based on the Planning and Development Committee discussion on 11/9/15, it is likely that if the Inclusionary Housing Ordinance is reinstated, developments for which zoning applications have already been filed, such as Corporate Reserve Lot 8, will be exempt from the requirements.

J. SCHOOL AND PARK CONTRIBUTIONS

School and Park Land-Cash worksheets have been completed and submitted. Copies of the worksheets and plans have been forwarded to the school and park districts for comment.

The applicant is proposing a combination land/cash donation to the St. Charles Park District, which includes dedication of a 1.02 park site at the southeast corner and a 0.17 acre parcel on the northwest side covering the trail connection to the existing asphalt trail running along the west property line. The Park District has submitted a letter stating that the Board is agreeable to the proposal.

K. ANNEXATION AGREEMENT

Property within the Corporate Reserve PUD is subject to the provisions of an annexation agreement between the City and property owner. Staff has consulted with the City Attorney and has determined that the Annexation Agreement should be terminated in respect to Lot 8, as the agreement is no longer relevant to the proposed development of the property. A public hearing will be held at a City Council meeting regarding this termination.

IV. **PLAN COMMISSION RECOMMENDATION**

The Plan Commission held a public hearing on 11/17/15. The Commission voted 5-1- to recommend approval, subject to resolution of staff comments, with the following conditions:

1. That the rear elevations of homes backing up to Woodward Dr. incorporate additional articulation.
2. That monotony code standards be adopted for the development.

The applicant has been asked to provide a list of the types of standards that the monotony code will address. This list will be included in the PUD ordinance. The builder will be required to provide the monotony code to the City for review by staff, along with other covenants that pertain to the development, prior to the City signing the Final Plat of Subdivision.

After the 11/17/15 meeting, Plan Commission Chairman Todd Wallace provided a memo explaining the reasons for his dissenting vote.

V. **ATTACHMENTS**

- Map of surrounding residential densities
- HLR review memo of Traffic Impact Study, dated 11/13/15
- Letter from Park District, dated 12/3/15
- Memo from Plan Commission Chairman Todd Wallace, dated 11/25/15
- Applications for Map Amendment, Special Use for PUD, PUD Preliminary Plan, and Final Plat of Subdivision; received 10/15/15
- Plan documents
- KLOA Traffic Study, dated 8/7/15

Surrounding Residential Developments

Densities:

Gross calculation w/ detention areas:

Corporate Reserve- 3.5 units/acre

Regency Estates- 3.7 units/acre

Remington Glen- 5.9 units/acre

Reneaux Manor- 5.4 units/acre

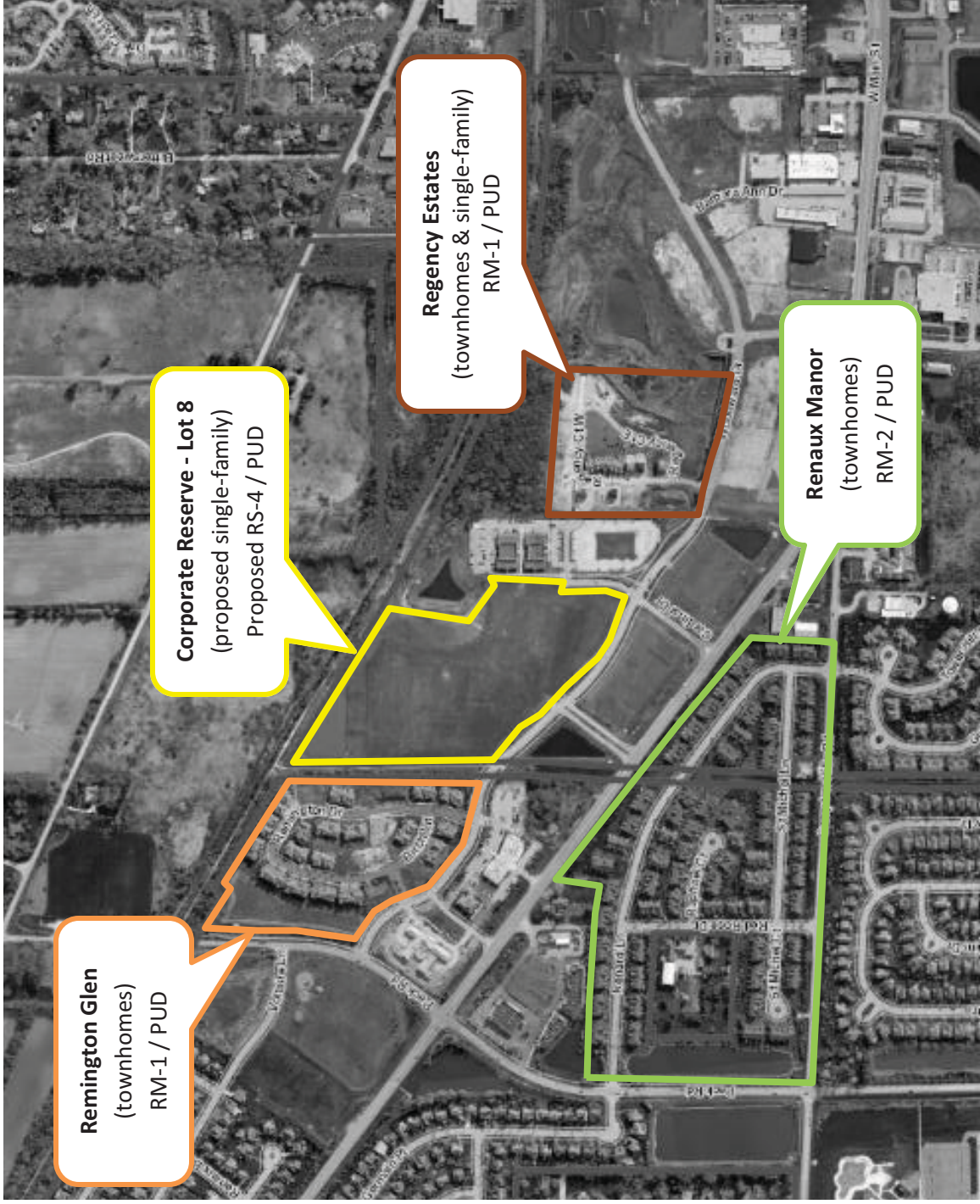
Net calculation w/out detention areas:

Corporate Reserve- 3.9 units/acre

Regency Estates- 4.8 units/acre

Remington Glen- 7.4 units/acre

Reneaux Manor- 5.9 units/acre





Memorandum

To: City of St. Charles, ATTN: Chris Bong, PE
From: Alexander S. Garbe, PE, PTOE
Date: 11/13/2015
Re: Corporate Reserve Residential Development Traffic Impact Study Review Comments

Hampton, Lenzini and Renwick, Inc. (HLR) has reviewed the August 2015 Traffic Impact Study prepared by KLOA for the proposed Corporate Reserve Residential Development to be located north of Woodward Drive between Cardinal Drive and the Great Western Trail in St. Charles, Illinois. Review Comments are provided below.

Note that HLR has prepared Traffic Impact Studies on behalf of the City of St. Charles relative to several previous iterations of development plans for this site. The Traffic Impact Studies include one for Cardinal Property in 2008 and one for Corporate Reserve in 2012. Per direction of the City, HLR has kept these previous studies under consideration while reviewing the current study.

General Comments

1. No substantial issues were found with the report. The assumptions, analyses, and conclusions appear to be reasonable.
2. Signal warrant analyses should be included in the appendix of the report for reference. However, a check revealed that the analyses by KLOA were correct based on the provided traffic volume data.

Comparison to Previous Studies

The development of the site in question has been presented in several iterations in recent years. In 2008, it was referred to as the Cardinal Property and was proposed to consist of 490,000 SF of office space. The office space never developed, and in 2012, the proposal was revised. The Corporate Reserve became the new name, and the site was to consist of 331 residential apartments. Again, the apartment space never developed. Currently, the Corporate Reserve name has been retained, but the site is planned to consist of 78 single family homes.

At each iteration, the key difference has been the reduction in anticipated traffic generation. The proposed office space was expected to generate between three and four times the traffic that was expected from the proposed apartments, depending on the peak hour observed. The current proposal of single family housing results in a further reduction to about 40% of the traffic expected from the apartments or about 10 to 15% of the originally planned 490,000 SF of office space. The table on the next page summarizes the changes in generated traffic. Each reduction in expected traffic further reduces the expected impact of the development on the surrounding roadway network.

There is additionally one significant difference between the current study and the one performed in 2012. In 2012, HLR was asked to consider the full development area, including outlots, as a future analysis scenario. That analysis resulted in recommendations for widening IL 64 and signaling its intersection with Corporate Reserve Boulevard. The reduction of the expected traffic from the particular site in question in the current study may impact the conclusions of the 2012 study. However, those findings have not been reevaluated. The volume of traffic generated by the single family housing is relatively low compared to the expected outlot uses. HLR recommends reevaluating the full development impact when the outlots are expected to be developed, as their uses will have the greater impact on the roadway network.

Comparison of Development Generated Traffic by Proposed Use

Study Year	Land Use	Independent Variable	Weekday AM Peak Hour			Weekday PM Peak Hour		
			In	Out	Total	In	Out	Total
2008	General Office	490,000 SF	572	78	650	104	520	624
2012	Apartments	331 Dwelling Units	34	135	169	133	72	205
2015	Single Family Housing	78 Dwelling Units	16	50	66	55	32	87

Conclusion

HLR finds the presented methodology and findings of KLOA's August 7, 2015, Traffic Impact Study for The Corporate Reserve Residential Development to be reasonable. The recommendation that no traffic control or geometric improvements are needed outside of the site is reasonable. The existing infrastructure is sufficient to adequately absorb the traffic expected to be added by this development.

If you have any questions, please contact us at 847.697.6700.



ST. CHARLES PARK DISTRICT • PARKS DEPARTMENT

8 North Avenue • St. Charles, IL 60174 • Ph: 630-584-1885 • Fax: 630-584-7413 • stcparks.org

December 3, 2015

Mr. Russell Colby
Planning Division Manager
City of St. Charles
Community Development Department
2 East Main Street
St. Charles, IL 60174

RE: Corporate Reserve

Dear Mr. Russell:

In response to your request for comment and our review of the concept plan rendering for the Corporate Reserve dated November 13, 2015, the Park District has the following comments and request with regard to the proposed plan.

The Park District Board of Commissioners has verbally agreed to the concept of a combination land and cash donation related to the Corporate Reserve subdivision. The 1.02 acre site identified by the developer in the southeast corner of the development at Cardinal and Woodward Drive is acceptable to the Park District for the land portion of the Land Cash Ordinance. In addition, we understand that a smaller parcel on the northwest corner of the development (.17 acres) would also be included in the land donation, providing access to the existing asphalt trail and a link to the Great Western.

Park staff would like to coordinate grading and seeding requirements for the site with the developer to ensure that land is suitable for public use and appropriate for the park amenities to be installed by the Park District at a later date.

We understand the balance of the land donation required would be paid in cash, approximately 1.41 acres.

If you have any questions or comments, or if the developer would be interested in meeting to discuss, please contact me at your convenience. Thank you.

Sincerely,

Laura M. Rudow

Laura Rudow
Superintendent of Parks and Planning

PC:

John Wessel, Assistant Superintendent of Planning, Construction and Design
Board of Park Commissioners

To: Todd Bancroft, Chairman
St. Charles Planning & Development Committee

From: Todd Wallace, Chairman
St. Charles Plan Commission

Re: Corporate Reserve at St. Charles – Lot 8
Application for Map Amendment
Application for Special Use for PUD
Application for PUD Preliminary Plan
Application for Final Plat of Subdivision

Date: November 25, 2015

On November 17, 2015, a public hearing was conducted by the Plan Commission for the above-referenced applications. The public hearing was closed and the Applications were considered for action. The Plan Commission voted to approve the Applications and I provided the only dissenting vote. Since that meeting, it has been requested that I provide reasoning for my dissention.

As a preliminary note, it is unusual that reasoning is not provided on the record when a member of the Plan Commission votes against an application. However, this was an unusual situation and I offered to provide my reasoning in the form of this memorandum.

First, it is incumbent on the Plan Commission to consider applications within the context of the City's Comprehensive Plan. For this particular property, the Comprehensive Plan clearly states that the intended development use is as Industrial/Business Park. I believe that the City carefully considered the long-range goals of growth and development in arriving at this determination.

Countering this designation is the fact that properties to the east and west are residential in character. However, I think that it is important to consider that both of these properties were intended to be attached townhome-like developments. The property to the west is Remington Glen, which followed the intent of the City's plan. However, the property to the east is Regency Estates, which was intended to be attached properties as well. However, as you know, the nature of this property was changed when the applicant for that property proposed, and ultimately built, single family detached houses. I was opposed to the use for that property for similar reasons to my opposition to the development plans for this property.

In short, I believed that the change of character for the Regency Estates property from attached to detached housing did not fit into the City's overall goal for the area of allowing more intense multi-family housing adjacent to commercial uses along the City's main thoroughfare. My feelings on this change of use continued as a basis for my negative vote on the present applications.

However, that feeling is tempered by my belief that property owners should not be unduly restricted in the development of their properties by a governmental authority. That is, if a change of use is necessitated by market conditions (where requiring an applicant to conform with previously-approved use would render the property valueless), then the governmental authority should be reasonable in facilitating that change of use, within reason.

It is that final clause that caused me to have concern about the proposed change in use for this property. I believed, and continue to believe, that allowing the change in use for the Regency Estates property was a mistake by the City. Allowing an adjoining property owner (the present Applicant) to rely on that surrounding use as a basis for a change in use serves only to compound that mistake.

As I look at this area and subsequent development of the City into the future, I believe that if we follow our Comprehensive Plan, this will be an odd pocket of low-quality, high-density detached single-family residential development that we will regret for decades to come. The City should be sensitive to market conditions to an extent, but more importantly, the City should remain committed to a long-term plan for growth and orderly development and the latter goal should generally transcend the former.

Evidencing that opinion is the fact that the Applicant in this case has created their plan to almost completely isolate this development from the surrounding parcels. Similar to Regency Estates, there is only one point of access into the development, and the plan calls for the development to be almost completely screened from the surrounding properties. I believe that this demonstrates my belief that this use is inappropriate for this site – if the applicant believed that detached single-family houses should exist on this site, then why would it be necessary to screen the property and limit access in such a manner?

Specifically, the Applicant's plans call for 8-foot stockade fencing along the entirety of Woodward Drive. In contrast, the adjoining properties utilize berming and landscaping to shield the residential units from this collector street. In addition, the applicant could not provide specifics on the units themselves. It was discussed at Plan Commission that the development should include a variety of unit types and facades. The problem with this is that the lot sizes are so small and the lot coverages so large, that regardless of a variety of front-facing facades, the rear faces of the units as viewed from Woodward Drive will result in a row of "boxes" stacked next to one another, absent of articulation or interest. Coupled with an 8-foot stockade fence and a single entry point, this development will appear more like a compound than a residential neighborhood.

I was not present at the meeting where the concept plan for these applications were discussed. To avoid unfairness to the applicant, I elected to foster discussion among the other Plan Commission members who were at that meeting and reserve what may have been an ill-informed opinion in favor of evidence presented by the applicant. However, the evidence presented did

not serve to sway my opinion, and only bolstered my resolve in opposing these applications, for the reasons set forth above.

In moving forward in your consideration of these applications, my opinion would be that if the Planning and Development Committee approves the requested development, conditions should be placed on the approval of the applications that require:

1. That additional points of entry/connection be explored and attempted.
2. That fencing along Woodward Drive as well as adjoining residential neighborhoods be dissuaded in favor of landscaping and berming.
3. That a restrictive requirement for variation of units be implemented.
4. That the rear faces of units abutting roadways or other residential uses have articulation/mixed materials, etc.
5. That the variance requested for excessive lot coverage be denied.

I hope that this memorandum provides you with the information requested. If you have any questions or if I can be of further assistance, please feel free to contact me.



INTRODUCTION

ABOUT THE DEVELOPER

Corporate Reserve Development Partners, LLC purchased the Corporate Reserve at St. Charles in October 2014. Corporate Reserve Development Partners, LLC is an affiliate of The Pauls Corporation.

The Pauls Corporation is a diversified real estate organization experienced in the acquisition, development and ownership of land and buildings in the United States and Canada. Headquartered in Denver, Colorado, The Pauls Corporation has a 30 year history of identifying and managing successful real estate opportunities during varied marketing conditions. Historically, The Pauls Corporation has developed and owned over 9.3 million s.f. of commercial real estate and over 6,000 units of residential property, including luxury condominiums, apartments and single family homes.

OVERVIEW OF THE SITE

The Corporate Reserve at St. Charles is a 45.56 acre commercial PUD development consisting of nine lots which began construction around 2009. Currently only two office buildings have been constructed north of Woodward Road at the eastern section of the Corporate Reserve development. The balance of the property which also includes frontage lots along IL Route 64 remains vacant. The current proposal by the Pauls Corporation is to amend the Corporate Reserve PUD to allow for single family residential use on the 22.63 acre Lot 8 which fronts along the north side of Woodward Drive. The proposed residential neighborhood plan consists of 78 single family homes on average lot sizes of 6,458 square feet. The proposed residential development will also include a one acre neighborhood park to be dedicated to the St. Charles Park District.

The Corporate Reserve neighborhood features a number of positive qualities that make the site a premium location for residential development. These features include views to extensive adjacent open spaces, direct access to IL Route 64; walkability to local commercial services; close proximity to 11.4 acres of St. Charles Park District parkland; and, is located under one half mile to regional commercial along Randall Road.





ADJACENT LAND USES

Adjacent to the west of the subject site there is a Nicor Gas easement with a north-south regional trail connecting to the Great Western Trail. Just beyond the trail to the west is Remington Glen, an attached single-family townhome development. To the north there is extensive open space with attractive vista. This open space is partially owned by the Forest Preserve District of Kane County. Adjacent to the east there are two single story office structures and an additional building pad for a third structure. Further to the east is the Regency Estates, a single-family detached residential neighborhood with one original townhome structure. The south boundary of the subject site is defined by Woodward Drive with landscaped stormwater management parcels and retail lots between Woodward Drive and IL Route 64.



DISTRICTS

The site is located within the following service districts:



St. Charles Public Library



Elgin Community College District #509



St. Charles Park District



St. Charles 303 School District

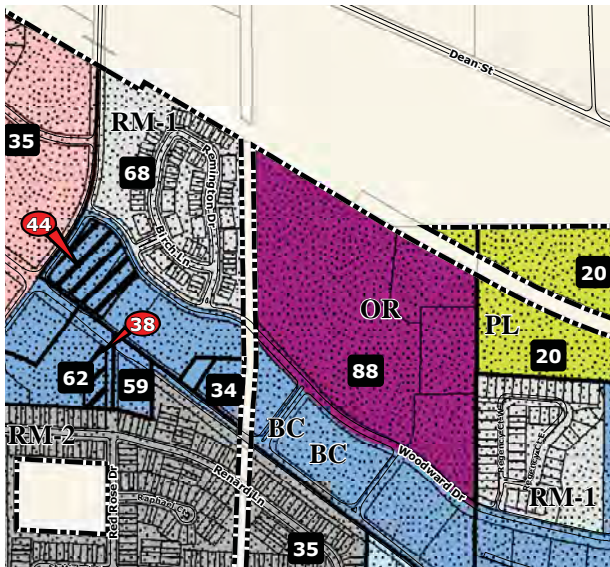


St. Charles 303 Fire Department

ST. CHARLES 303 SCHOOL DISTRICT: The estimated student yield by grade has been determined via the School Land Cash Worksheet provided with this application. School-age children attending St. Charles public schools will attend the Davis and Richmond Elementary schools, Wredling Middle School, and St. Charles East High School.

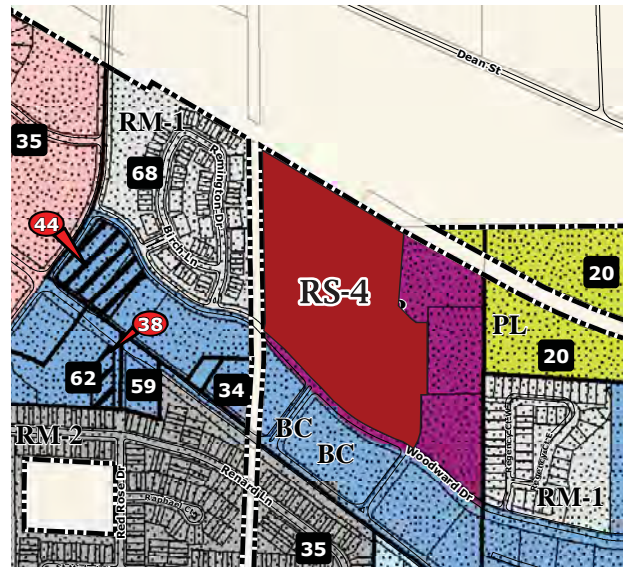
ST. CHARLES FIRE DEPARTMENT: Note that the St. Charles Fire Department has determined the “Maximum Projected Travel Distance by Time Intervals for the subject site. The property is serviced by the shortest emergency response interval, with an emergency response time of 0-4 minutes.

ST. CHARLES PARK DISTRICT: The St. Charles Park District has determined that that there should be an approximate one acre neighborhood park site provided as a part of the development site plan.



CURRENT ZONING

Currently, the parcel carries a zoning designation of O-R Office Research as part of existing PUD Ordinance No. 2008-2-18. The Corporate Reserve of St. Charles is comprised of nine (9) lots totaling approximately 45.56 acres. The subject property is Lot 8 and consists of about 50% of the total developable land area. The proposed development will require an amendment to the existing PUD.



PROPOSED ZONING

In addition to an amendment to the existing PUD, Corporate Reserve Development Partners, LLC proposes a RS-4 Suburban Single-Family Residential District base zoning. The purpose of the RS-4 zoning is to accommodate medium to high-density single-family residential development in the City. The proposed plan and zoning district is consistent with surrounding residential uses. The Corporate Reserve RS-4 PUD will include appropriate variations based on the development lot sizes and site plan.



COMPREHENSIVE LAND USE

Corporate Reserve Development Partners land use will change from Industrial/Business Park to Single Family Detached Residential. However, no comprehensive plan changes are necessary since the Comprehensive Plan list Single Family Detached Residential as an alternative land use to Industrial/Business Park.



ACCESS & CIRCULATION

Primary access to the site is provided via the continuation of Corporate Reserve Boulevard at Woodward Drive. A secondary access is provided off of Cardinal Drive, which will be used as a shared access drive between the owners of the subject property and users of the office buildings east of the site. Internal circulation of the site is generally provided by an outer ring looped roadway with one east-west cross street.



TRAILS

The Corporate Reserve site plan facilitates regional trail connectivity at both the northwest corner of the site plan and along the existing Woodward Drive trail. The site will be connected to the Great Western trail through a segment of trail between lots 14 and 15 and also via the existing Woodward Drive trail. A second trail segment is proposed just north of the 1.02 acre park site and will connect the Corporate Reserve development to the existing trail east of Cardinal Drive.



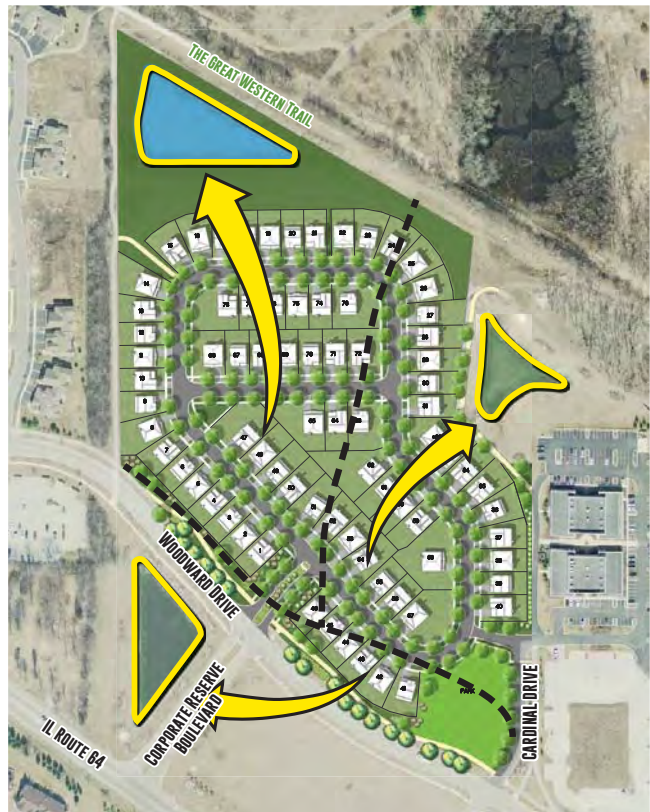
PARKLAND

A 1.02 acre public park space is provided adjacent to lot 40 along Woodward Drive. The park is intentionally located at the southeast corner of the site, exterior to the proposed street network, to allow residents from nearby subdivisions, such as Remington Glen and Regency Estates, to access the proposed park via the existing Woodward Drive multi-use trail.



STORMWATER MANAGEMENT & DRAINAGE

Stormwater management requirements for the Corporate Reserve development have been checked against the original development proposal for ORI uses and are in compliance current City of St. Charles stormwater ordinances. There are three (3) existing separate stormwater management facilities on the subject property or nearby within the Corporate Reserve overall development. All drainage runoff associated with the new site plan will be directed to one of the existing basins. The existing stormwater basins will be maintained by the Corporate Reserve business and homeowner associations.



UTILITIES

The property has access to existing water main, sanitary sewer, and storm sewer. There is 12" water main along the north side of Woodward Drive and 10" water main along the east side of the site from Cardinal Drive extended north approximately 700 feet. The proposed water main will tie in at these two locations creating a loop through the site. There is existing sanitary sewer along the south side of Woodward Drive and also sanitary sewer at the far northwest corner of the property. Most of the property, based on topography, will drain via gravity to the northwest sanitary sewer connection. The existing storm sewer piping is minimal in length and most of the site will drain with the construction of a new storm sewer network. All new storm sewer will be directed to one of the existing detention facilities.



THE CORPORATE RESERVE PUBLIC BENEFITS

The following describes how the Lot 8 of the Corporate Reserve PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance.

PURPOSES OF THE PUD PROCESS

- 1 *To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.*

The proposed Corporate Reserve neighborhood is has a strong sense of place with well-defined boundaries including open space, trails and Woodard Drive. While the neighborhood has defined edges and a focal point public park creating an active meeting location for neighbors. The proposed Corporate Reserve neighborhood is also well connected to adjacent and nearby residential communities and other community amenities via a regional trail system that border the south and west edges. The proposed neighborhood is connected to the near Great Western Trail and to the Peck Road trail that terminates at the James O’Breen Community Park.

- 2 *To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.*

Lot 8 of the Corporate Reserve provides a sidewalk network on both sides of internal streets to promote connection and walkability within the development. Trail connections are provided at strategic locations to provide pedestrian connections from the development to the external sidewalk and trail network. A trail connection is provided between lots 14 and 15 for access to the existing north-south (Nicor) trail which connects to the Great Western Trail to the north of the property. An additional path is provided north of the proposed public neighborhood park to provide access to the sidewalk/path system along Woodward Drive, making other open space and recreational facilities, such as Renaux Manor Park and James O’Breen Community Park, easily accessible to Lot 8 residents.

Additionally, a 1.02 public park site is located along Woodward Drive at the southeast corner of Lot 8. The park is intentionally placed at an exterior location of the site in order to best serve residents of adjacent neighborhoods.

- 3 *To encourage a harmonious mix of land uses and a variety of housing types and prices.*

Lot 8 of the Corporate Reserve will provide single family homes whose character is harmonious with existing surrounding land uses.

- 4 *To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.*

There are no environmentally sensitive areas that exist on Lot 8 of the Corporate Reserve. The subject site has been previously mass graded and improved with stormwater management basins and utilities.



5 *To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.*

Lot 8 of the Corporate Reserve brings an increased density of residents to a concentration of retailers and commercial establishments in the City. This new neighborhood will provide a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increased future tax revenue to the City.

Lot 8 of the Corporate Reserve effectively utilizes existing infrastructure. Proposed utilities for the development will tie into existing infrastructure along Woodward and Cardinal Drive. Stormwater drainage from the site will be carried to existing detention basins either on or adjacent to the property. Street improvements for the development will be continued from existing curb cuts off of Woodward and Cardinal Drive.

6 *To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.*

The proposed Lot 8 development will establish a desirable land use on an otherwise underutilized property. The development is highly favored by nearby homeowners as evidenced in a petition from residents of the Remington Glen and Regency Estates neighborhoods submitted to the City in June 2015.

7 *To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies, and the community.*

Corporate Reserve Development Partners has prioritized working positively and collaboratively with community stakeholders, including residents from the Remington Glen and Regency Estates adjacent neighborhoods, the St. Charles Park District, and various departments, boards, and commissions from the City of St. Charles from the beginning of the development process. Efforts such as resident meetings, site visits with the Park District, and collaboration meetings with staff were held to ensure all parties are satisfied with the end product of the development process.



CORPORATE RESERVE SITE DATA & LOT STANDARDS

TYPICAL LOT DIAGRAM



SITE DATA

The proposed land plan includes 78 single family lots with a minimum lot area of 5,200 square feet, a maximum lot area of 14,032.5 square feet, and an average lot area of 6,458 square feet. Many homes have minimum lots greater than 5,200 square feet.

Of the total 22.63 acre site, residential lots constitute 11.57 acres.

Lot 8 Corporate Reserve homes will be set back a minimum of twenty (20) feet from the right-of-way line, set back a minimum of six (6) feet on the side, and setback a minimum of thirty (30) feet in the rear.

Existing Jurisdiction/Zoning:	City of St. Charles/ OR
Proposed Jurisdiction/Zoning:	City of St. Charles/ RS-4
Front Yard Setback:	20'
Side Yard Setback:	6'
Rear Yard Setback:	30'
Single Family Lots:	78
Minimum Lot Area:	5,200 S.F.
Average Lot Area:	6,458 S.F.
Area in Lots:	11.57 acres
H.O.A. Parcels:	5.23 acres
Public Park:	1.02 acres
Internal Roadway Right-of-Way:	4.81 acres
Total Land Area:	22.63 acres



SUMMARY OF CODE STANDARDS & DEPARTURES

Design Standards	Village RS-4 Standard	Code Section	Proposed Standards	Departure from RS-4
Minimum Lot Area:	6,600 sf	Table 17.12-2	5,200 sf	1,400 sf
Minimum Lot Width	60'	Table 17.12-2	52'	8'
Maximum Building Coverage	30%	Table 17.12-2	38.46%	8.46%
Maximum Building Height	34 ft or 2 stories, whichever is less	Table 17.12-2	2 stories	none
Minimum Front Yard*	20'	Table 17.12-2	20'	none
Minimum Interior Side Yard	Combined width of 14', neither less than 5'	Table 17.12-2	6'	2'
Exterior Side Yard**	15'	Table 17.12-2	20'	none
Minimum Rear Yard	30'	Table 17.12-2	30'	none

**Where 50% or more of the street frontage of a block has existing principal building setbacks less than the front yard or exterior side yard required by the zoning district, the required front yard or exterior side yard may be reduced to the average of the existing front or exterior side yard setbacks on that street frontage of the block. Only front yard setbacks shall be used to compute the reduced front yard setback; only exterior side yard setbacks shall be used to compute the reduced exterior side yard setback.*

***If a corner lot has insufficient width to provide the required exterior side yard and still maintain a buildable width of thirty-two feet, then the exterior side yard may be reduced so as to provide a buildable width of thirty two feet; provided that in no event shall the exterior side yard be reduced to less than thirty percent of the width of the lot.*



LOT 8 - THE CORPORATE RESERVE OF ST. CHARLES
SITE PLAN

Project Number | 14-0256
 Date | 10-12-15

Developer:

Corporate Reserve Development
 Partners, LLC
 270 Saint Paul Street
 Denver, CO 80206
 T: (303) 371-9000

Planner:



Wills Burke Kelsey Associates, Ltd.
 116 West Main Street
 St. Charles, Illinois
 T: (630) 443-7755
 www.wbkengineering.com

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

ZONING MAP AMENDMENT APPLICATION

CITYVIEW	
Project Name:	<u>Lot 8 - The Corporate Reserve at St. Charles</u>
Project Number:	<u>2015 -PR- 010</u>
Application Number:	<u>2015 -AP- 042</u>



Instructions:

To request a zoning map amendment (rezoning) for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a Plan Commission public hearing or meeting date.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 37W750 Route 64, St. Charles, IL 60175	
	Parcel Number (s): 09-29-326-001 (Lot 8)	
	Proposed PUD Name: Lot 8 - The Corporate Reserve at St. Charles	
2. Applicant Information:	Name Corporate Reserve Development Partners, LLC, The Pauls Corporation	Phone (303) 801-0888
	Address 100 St. Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com
3. Record Owner Information:	Name Corporate Reserve Development Partners, LLC	Phone (303) 801-0888
	Address 100 St. Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com

Zoning and Use Information:

Comprehensive Plan Land Use Designation of the property: Industrial / Business Park w/ alternative for residential use

Current zoning of the property: OR - Office / Research PUD

Is the property a designated Landmark or in a Historic District? No

Current use of the property: Undeveloped

Proposed zoning of the property: RS-4

Proposed use of the property: Single Family Residential Homes

If the proposed Map Amendment is approved, what improvements or construction are planned? (An accurate site plan may be required to establish that the proposed improvement can meet the minimum zoning requirements)

78 single family homes with supporting right-of-way and park and open space.

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

✓ APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

✓ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

✓ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

✓ PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

✓ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

✓ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

✓ **SITE PLAN:**

Simple site plan drawn to scale to demonstrate that the property can meet the requirements of the proposed zoning district (parking requirements, setbacks, landscaping, etc.)

✓ **FINDINGS OF FACT:**

Fill out the attached form or submit responses on a separate sheet.

✓ **LIST OF PROPERTY OWNERS WITHIN 250 FT.**

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

✓ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

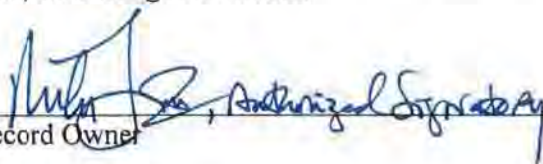
Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

✓ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnrecocat.state.il.us/ecopublic/>

Fill out the online form, print the report and submit with this application.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


Record Owner

10/9/15
Date


Applicant or Authorized Agent

10/9/15
Date

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF COLORADO)
) SS.
COUNTY OF DENVER)

I, Mike Serra III, being first duly sworn on oath depose and say that I am Authorized Signatory of Corporate Reserve Development Partners, LLC, an Colorado Limited Liability Company (L.L.C.), and that the following is the sole member and manager of the said L.L.C.:

SAINT JOSEPH CHARITABLE FOUNDATION

By: , Authorized Signatory

Subscribed and Sworn before me this 11th day of May, 20 15.


Notary Public

REBECCA TALADAY
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20034020980
MY COMMISSION EXPIRES JULY 14, 2015

**UNANIMOUS WRITTEN CONSENT OF
SOLE MEMBER AND MANAGER OF
CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC
(Regarding Execution of Documents)**

The undersigned, being the Sole Member and Manager (the “**Sole Member**”) of **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**, a Colorado limited liability company (the “**Company**”), hereby adopts the following preambles and resolutions and further certifies that said resolutions are in full for force and effect as of the date hereof:

Recitals:

A. **WHEREAS**, the Company was formed for the purpose of acquiring, managing, renovating and selling the certain commercial real property located within the State of Illinois (the “**Property**”);

B. **WHEREAS**, the undersigned has determined that it is in the best interests of the Company to authorize certain persons involved in the day-to-day operations of the Company to execute and deliver documents related to the management, renovating and selling of the Property;

NOW, THEREFORE, BE IT:

RESOLVED, that Peter J. Tobin is hereby authorized and empowered to execute and deliver on behalf of the Company land use applications, permit applications, and approval documents related to the PUD Amendment for Lot 8 of the Property;

RESOLVED FURTHER, that the undersigned hereby ratifies any and all actions taken by Peter J. Tobin prior to the date of these Resolutions to the extent that such actions are consistent with the scope and spirit of the authority conveyed hereby.

*[Remainder of this page left intentionally blank.
Signature page to follow.]*

**SIGNATURE PAGE TO
UNANIMOUS WRITTEN CONSENT OF
SOLE MEMBER AND MANAGER OF
CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC
(Regarding Execution of Documents)**

IN WITNESS WHEREOF, the undersigned has executed these Resolutions effective as of this 12th day of August, 2015.

SOLE MEMBER AND MANAGER:

SAINT JOSEPH CHARITABLE FOUNDATION

By: 

Name: J. Kevin Ray

Its: Trustee

**UNANIMOUS WRITTEN CONSENT OF
SOLE MEMBER AND MANAGER OF
CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC
(Regarding Execution of Documents)**

The undersigned, being the Sole Member and Manager (the "**Sole Member**") of **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**, a Colorado limited liability company (the "**Company**"), hereby adopts the following preambles and resolutions and further certifies that said resolutions are in full for force and effect as of the date hereof:

Recitals:

A. **WHEREAS**, the Company was formed for the purpose of acquiring, managing, renovating and selling the certain commercial real property located within the State of Illinois (the "**Property**");

B. **WHEREAS**, the undersigned has determined that it is in the best interests of the Company to authorize certain persons involved in the day-to-day operations of the Company to execute and deliver documents related to the management, renovating and selling of the Property;

NOW, THEREFORE, BE IT:

RESOLVED, that Brian Pauls, Mike Serra, Scott Sestak, Joe Wilson, Jodi Thurman and/or Adam Hudson are hereby authorized and empowered to execute and deliver on behalf of the Company documents and instruments, including, without limitation, construction contracts with contractors and sub-contractors, easements, well and septic tank permits, utility agreements, development agreements, sales contracts, closing documents, tenant leases or subleases and all documents relevant to comply with governmental agencies as applicable with the management and renovation of the Property;

RESOLVED FURTHER, that Truly Smith and Adam Hudson are authorized and empowered to execute the following closing documents and limited to these items specifically: conveyance or transfer documents, bills of sale, revenue reporting documents, affidavits pertaining to seller or transferor, agreement for taxes, utility agreement, fiduciary funds disclosure and any other ancillary documents (**with the exception of deeds and settlement statements**).

RESOLVED FURTHER, that the undersigned hereby ratifies any and all actions taken by Brian Pauls, Mike Serra, Scott Sestak, Joe Wilson, Jodi Thurman, Adam Hudson and/or Truly Smith prior to the date of these Resolutions to the extent that such actions are consistent with the scope and spirit of the authority conveyed hereby.

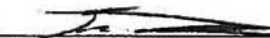
*[Remainder of this page left intentionally blank.
Signature page to follow.]*

**SIGNATURE PAGE TO
UNANIMOUS WRITTEN CONSENT OF
SOLE MEMBER AND MANAGER OF
CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC
(Regarding Execution of Documents)**

IN WITNESS WHEREOF, the undersigned has executed these Resolutions effective as of this 6th day of February, 2015.

SOLE MEMBER AND MANAGER:

SAINT JOSEPH CHARITABLE FOUNDATION

By: 
Name: Brian Pauls
Its: Authorized Signatory

FINDINGS OF FACT – MAP AMENDMENT



The St. Charles Zoning Ordinance requires the Plan Commission to consider factors listed below in making a recommendation to the City Council.

As an applicant, the “burden of proof” is on you to show why the proposed zoning is more appropriate than the existing zoning. Therefore, you need to “make your case” by explaining how the following factors support your proposal. If a factor does not apply to the property in question, indicate “not applicable” and explain why it does not apply.

Lot 8 - The Corporate Reserve at St. Charles
Project Name or Address

October 12, 2015
Date

From the Charles Zoning Ordinance, Section 17.04.320.D:

In making its recommendation to grant or deny an application for a Zoning Map Amendment, including changes to Zoning District and Overlay boundaries, the Plan Commission shall consider:

1. The existing uses and zoning of nearby property. *(Relate the proposed land use and zoning to the land use and zoning of other properties in the area)*

The existing uses of nearby property include single family attached residential, open space, industrial business park, and undeveloped land. Zoning of nearby properties include RM1 – Mixed Medium Density, PL - Public Land, OR- Office/Research, and BC - Community Business.

2. The extent to which property values are diminished by the existing zoning restrictions. *(Compare the value of the subject property and nearby properties under the current zoning to their potential value under the proposed zoning.)*

The subject property value is diminished under the current zoning and will increase in value if the proposed zoning within the jurisdiction of the City of St. Charles is granted. Values of surrounding properties will not be diminished based on the proposed zoning amendment

3. The extent to which the reduction of the property’s value under the existing zoning restrictions promotes the health, safety, morals or general welfare of the public. *(If the existing zoning decreases the value of the subject realty, does it also produce any perceptible public benefits?)*

The current zoning for the subject property does not produce any perceptible public benefits.

4. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property for one or more of the uses permitted under the existing zoning classification. *(Can the subject property reasonably be used for any of the uses currently permitted? Physical and market conditions may be considered.)*

The property is currently zoned as O-R Office Research under the jurisdiction of the City of St. Charles. The development of the property under the O-R Office Research zoning classification is physically feasible, however, the developer finds current market conditions to be more favorable to the development of single family homes rather than office/industrial use.

5. The length of time that the property has been vacant, as presently zoned, considered in the context of the land development in the area where the property is located. *(If a property has been vacant longer than other similar properties in the area, it may be an indicator that the existing zoning is inappropriate.)*

Corporate Reserve north of Woodward was rezoned from BC Community Business to OR Office Research in 2008, when the PUD for the site was approved.

6. The evidence, or lack of evidence, of the community's need for the uses permitted under the proposed district. *(Development trends, market forces, and the Comprehensive Plan may be considered.)*

Market analyses of the subject property have determined that single-family housing would be a viable and desirable use for the property.

7. The consistency of the proposed amendment with the City's Comprehensive Plan.

The City's Comprehensive Plan calls out Industrial/Business Park for the subject property, however, lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

8. Whether the proposed amendment corrects an error or omission in the Zoning Map.

The proposed amendment does not correct an error or omission in the Zoning Map.

9. The extent to which the proposed amendment creates nonconformities. *(Generally it is not appropriate to rezone a property unless it can comply with the requirements of the new zoning.)*

The proposed amendment will create minor nonconformities with the new zoning. Please see the attached "Summary of Code Standards & Departures" for proposed departures from the new zoning.

10. The trend of development, if any, in the general area of the property in question. *(New development, redevelopment, changes in use, or other changes in the area may help to justify a change in zoning.)*

The frontage between IL Route 64 and Woodward Drive, from Peck Road to Oak Street, has been slow to develop. To west of the site, north of Woodward Drive, is Remington Glen, a townhome development, approved as RM-1 zoning in 2004. To the east of the site, north of Wood Drive, is Regency Estates. Regency Estates was originally approved in 2006 as a townhome development, however, construction of the townhomes units halted. The development was then acquired by a new home-builder and a PUD change to single family was approved in 2011 (the zoning district remained RM-1). The home builder executed a complete buildout of small lot residential with minimum lot sizes of 5,000 square feet. Remington Glen, however, still has remaining lots where townhomes have not been built. The most recent and successful trend of development in the area is for small lot single family residential homes.

Plan Commission recommendation shall be based upon the preponderance of the evidence presented and the Commission shall not be required to find each Finding of Fact in the affirmative to recommend approval of an application for Map Amendment.

RESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: Lot 8 - The Corporate Reserve at St. Charles

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: RS-4	Ordinance #:	
Minimum Lot Area	6,600 sf		5,200 sf
Minimum Lot Width	60 ft		52 ft
Maximum Building Coverage	30%		38.46%
Maximum Building Height	34 ft or 2 stories, whichever is less		2 stories
Minimum Front Yard	20 ft		20 ft
Interior Side Yard	Combined width of 14 ft, neither less than 5 ft		6 sf
Exterior Side Yard	15 ft		20 ft
Minimum Rear Yard	30 ft		30 ft
% Overall Landscape Area	n/a		n/a
Building Foundation Landscaping	n/a		n/a
% Interior Parking Lot Landscape	n/a		n/a
Landscape Buffer Yards ¹	n/a		n/a
# of Parking spaces	n/a		n/a

¹ Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, or RT District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	<u>Lot 8 - The Corporate Reserve at St. Charles</u>
Project Number:	<u>2015 -PR- 010</u>
Application Number:	<u>2015 -AP- 043</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 37W750 Route 64, St. Charles, IL 60175	
	Parcel Number (s): 09-29-326-001 (Lot 8)	
	Proposed Name: Lot 8 - The Corporate Reserve at St. Charles	
2. Applicant Information:	Name Corporate Reserve Development Partners, LLC, The Pauls Corporation	Phone (303) 801-0888
	Address 100 St. Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com
3. Record Owner Information:	Name Corporate Reserve Development Partners, LLC	Phone (303) 801-0888
	Address 100 St. Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name:** Lot 8 - The Corporate Reserve at St. Charles
- New PUD
- Amendment to existing PUD- Ordinance #: 2008-2-18
- PUD Preliminary Plan filed concurrently
- Other Special Use (from list in the Zoning Ordinance):** _____
- Newly established Special Use
- Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: Industrial / Business Park w/ alternative for residential use

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? OR - Office / Research PUD

What is the property currently used for? Undeveloped

If the proposed Special Use is approved, what improvements or construction are planned?

78 single family homes with supporting right-of-way and park and open space.

For Special Use Amendments only:

Why is the proposed change necessary?

The proposed changes are necessary to allow residential development on the property, which is currently approved for commercial/office development.

What are the proposed amendments? (Attach proposed language if necessary)

The proposed amendments are to facilitate the change to the RS-4 zoning district with variations. A 79 lot single family site plan and a table of departures is included with this application.

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

✓ APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

✓ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

✓ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

✓ PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City’s Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City’s Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

✓ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

✓ PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

✓ FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit “Criteria for PUD” for any PUD application; “Findings for Special Use” for all other Special Use applications.*)

✓ LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

✓ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

✓ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

✓ **TRAFFIC STUDY:** If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

✓ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

✓ **SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)**

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)



For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the “burden of proof” is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

Lot 8 - The Corporate Reserve at St. Charles
PUD Name

October 12, 2015
Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

Please see “The Corporate Reserve Public Benefits” of the Introduction section of this submittal.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

Lot 8 of the Corporate Reserve provides a 1.0 acre community park space, landscaping, buffering, and screening, and efficient site design that conformance to the standards listed above. With the requested minimal variations from a few of the RS-4 standards, the development will still comply with the spirit and intent of the above listed standards. The residential development as proposed provides usable internal open space and access to nearby off-site amenities via regional trail connections.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The proposed Special Use will serve the public convenience through the addition of community park space. The proposed Lot 8 of the Corporate Reserve will provide a 1.0 acre park as part of the site improvements. The park is intentionally located at the southeast corner of the site, exterior to the proposed street network, to allow residents from nearby subdivisions, such as Remington Glen and Regency Estates, to easily access the proposed park.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Adequate and sufficient utilities, access roads, drainage, and other necessary facilities will be provided as part of the site improvements to the property.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed special use will not be injurious to the use and enjoyment of other property in the immediate vicinity. Values of surrounding properties will not be diminished based on the proposed special use.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The establishment of the proposed special use will not impede the normal and orderly development and improvement of the surrounding property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The establishment, maintenance, and operation of the proposed special use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use for Lot 8 of the Corporate Reserve conforms to all existing Federal, State, and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

Lot 8 of the Corporate Reserve brings an increased density of residents to a concentration of retailers and commercial establishments in the City. This provides a great deal of additional revenue opportunities for local businesses to help invigorate local retailers in the area as well as increased future tax revenue to the City.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

The City's Comprehensive Plan calls out Industrial/Business Park for the subject property, however, lists Single Family Detached Residential as an alternative land use to Industrial/Business Park, which is consistent with the proposed amendment.

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	<u>Lot 8 - The Corporate Reserve at St. Charles</u>
Project Number:	<u>2015 -PR- 010</u>
Application Number:	<u>2015 -AP- 040</u>



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 37W750 Route 64, St. Charles, IL 60175	
	Parcel Number (s): 09-29-326-001 (Lot 8)	
	Proposed PUD Name: Lot 8 - The Corporate Reserve at St. Charles	
2. Applicant Information:	Name Corporate Reserve Development Partners, LLC, The Pauls Corporation	Phone (303) 801-0888
	Address 100 St. Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com
3. Record Owner Information:	Name Corporate Reserve Development Partners, LLC	Phone (303) 801-0888
	Address 100 St. Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com

Please check the type of application:

- New proposed PUD- Planned Unit Development** (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development**
 - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
 - Final Plat of Subdivision Application filed concurrently
 - Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

APPLICATION FEE: Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

✓ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

✓ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

✓ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

✓ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

✓ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

✓ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including (detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

✓ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

✓ **ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

✓ **TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, “Tree Preservation Requirements for Preliminary Plans”.

✓ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

✓ **STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

✓ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

✓ **PUBLIC BENEFITS, DEPARTURES FROM CODE:**

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

✓ **SCHEDULE:** Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

✓ **PARK AND SCHOOL LAND/CASH WORKSHEETS**


For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

✓ **INCLUSIONARY HOUSING SUMMARY & WORKSHEET:**

For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 _____, Authorized Signatory 10/9/15
Record Owner Date

 _____ 10/9/15
Applicant or Authorized Agent Date



PARK LAND/CASH WORKSHEET

City of St. Charles, Illinois

Name of Development Lot 8 - The Corporate Reserve at St. Charles
 Date Submitted: October 12, 2015
 Prepared by: Pete Tobin

Type of Dwelling	# Dwelling Units (DU)	Population Generation per Unit	Estimated Population
Detached Single Family			
➤ 3 Bedroom	39	DU x 2.899	= 113.06
➤ 4 Bedroom	39	DU x 3.764	= 146.80
➤ 5 Bedroom	0	DU x 3.770	= 0
Attached Single Family			
➤ 1 Bedroom	0	DU x 1.193	= 0
➤ 2 Bedroom	0	DU x 1.990	= 0
➤ 3 Bedroom	0	DU x 2.392	= 0
➤ 4 Bedroom	0	DU x 3.145	= 0
Apartments			
➤ Efficiency	0	DU x 1.294	= 0
➤ 1 Bedroom	0	DU x 1.758	= 0
➤ 2 Bedroom	0	DU x 1.914	= 0
➤ 3 Bedroom	0	DU x 3.053	= 0
Totals	<u>78</u>		<u>259.86</u>
	Total Dwelling Units		Estimated Total Population

Park Site Requirements

Estimated Total Population 259.86 x .010 Acres per capita = 2.60 Acres

Cash in lieu of requirements -

Total Site Acres 1.41 acres x \$240,500 (Fair Market Value per Improved Land) = \$ 339,105.00

(1.02 acre park and 0.17 acre trail corridor subtracted from the required 2.60 acres)

SCHOOL LAND/CASH WORKSHEET

City of St. Charles, Illinois

Name of Development	Lot 8 - The Corporate Reserve at St. Charles
Date Submitted:	October 12, 2015
Prepared by:	Pete Tobin



Estimated Student Yield by Grades

Type of Dwelling	# of dwelling Units (DU)	Elementary (Grades K to 5)		Middle (Grades 6 to 8)		High (Grades 9 to 12)	
Detached Single Family							
➤ 3 Bedroom	39	DU x .369	= 14.391	DU x .173	= 6.747	DU x .184	= 7.176
➤ 4 Bedroom	39	DU x .530	= 20.67	DU x .298	= 11.622	DU x .360	= 14.04
➤ 5 Bedroom	0	DU x .345	= 0	DU x .248	= 0	DU x .300	= 0
Attached Single Family							
➤ 1 Bedroom	0	DU x .000	= 0	DU x .000	= 0	DU x .000	= 0
➤ 2 Bedroom	0	DU x .088	= 0	DU x .048	= 0	DU x .038	= 0
➤ 3 Bedroom	0	DU x .234	= 0	DU x .058	= 0	DU x .059	= 0
➤ 4 Bedroom	0	DU x .322	= 0	DU x .154	= 0	DU x .173	= 0
Apartments							
➤ Efficiency	0	DU x .000	= 0	DU x .000	= 0	DU x .000	= 0
➤ 1 Bedroom	0	DU x .002	= 0	DU x .001	= 0	DU x .001	= 0
➤ 2 Bedroom	0	DU x .086	= 0	DU x .042	= 0	DU x .046	= 0
➤ 3 Bedroom	0	DU x .234	= 0	DU x .123	= 0	DU x .118	= 0

Totals 78 TDU 35.06 TE 18.37 TM 21.22 TH

School Site Requirements

Type	# of students	Acres per student	Site Acres
Elementary (TE)	35.06	x .025	= .88
Middle (TM)	18.37	x .0389	= .71
High (TH)	21.22	x .072	= 1.53

Total Site Acres 3.12

Cash in lieu of requirements -

3.12 (Total Site Acres) x \$240,500 (Fair Market Value per Improved Land) = \$ 750,360.00

INCLUSIONARY HOUSING ORDINANCE WORKSHEET



Name of Development	Lot 8 - The Corporate Reserve at St. Charles
Date Submitted:	October 12, 2015
Prepared by:	Pete Tobin

Affordable Unit Requirement Calculation

Range of Unit Counts	# of Units Proposed in Development		% of Affordable Units Required based on development size		% of requirement that currently applies based on most recent Affordable Housing Survey (0, 25, 50, 75 or 100%) *Contact City for current requirement*		# of Affordable Units Required
1 to 10 Units	0	X	5%	X	0%	=	0
11 to 50 Units	0	X	10%	X	0%	=	0
More Than 50 Units	81	X	15%	X	0%	=	0

Fee In-Lieu Calculation

Range of Unit Counts	# of Affordable Units Required (from table above)	# of Affordable Units Proposed to Pay the Fee-In-Lieu		Fee-In-Lieu Amount Per Unit		Total Fee-In-Lieu Amount
1 to 10 Units <i>(Fee allowed for 100% of Required Affordable Units)</i>			X	\$104,500	=	
11 to 50 Units <i>(Fee allowed for maximum 50 % of Required Affordable Units)</i>			X	\$104,500	=	
More Than 50 Units <i>(With Housing Commission recommendation, fee is allowed for up to 50 % of Required Affordable Units)</i>			X	\$104,500	=	

What is the justification for requesting to pay the fee-in-lieu to reduce the number of affordable units constructed?

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

FINAL PLAT OF SUBDIVISION APPLICATION

For City Use	
Project Name:	<u>Lot 8 - The Corporate Reserve</u>
Project Number:	<u>2015 -PR- 010</u> at St. Charles
Application Number:	<u>2015 -AP- 038</u>



To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.

When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: 37W750 Route 64, St. Charles, IL 60175	
	Parcel Number (s): 09-29-326-001 (Lot 8)	
	Proposed Subdivision Name: Lot 8 - The Corporate Reserve at St. Charles	
2. Applicant Information:	Name Corporate Reserve Development Partners, LLC, The Pauls Corporation	Phone (303) 801-0888
	Address 100 St. Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com
3. Record Owner Information:	Name Corporate Reserve Development Partners, LLC	Phone (303) 801-0888
	Address 100 St. Paul Street, #300 Denver, CO 80206	Fax
		Email pete.tobin@paulscorp.com

Please check the type of application:

Subdivision:

- Preliminary Subdivision Plat was previously approved by the City
- Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)

Planned Unit Development (PUD):

- PUD Preliminary Plan was previously approved by the City
- Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
- PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

✓ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

✓ **SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the plat.

✓ **FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:**

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

✓ **ENGINEER'S COST ESTIMATE SPREADSHEET:**

See attached form.

✓ **STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)**

✓ **STORMWATER REPORT**

✓ **FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT**

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.

✓ **COPIES OF THIRD PARTY PERMIT/APPROVALS**

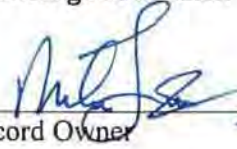
- Illinois EPA Water Pollution Control Permit for sanitary sewer extension

- Illinois EPA Division of Public Water Supplies Permit for water mains
- Notice of Intent (NOI) letter/permit for NPDES Stormwater Discharge for sites 5 acres and larger
- IDNR Office of Water Resources Permit (for work in flood plain)
- Wetlands Permit from Army Corps of Engineers
- Kane County DOT and/or IDOT signature on Final Plat (if applicable)
- Offsite easements and right of way necessary to construct the required Land Improvements

✓ WORKSHEETS (Residential Development only)

- PARK AND SCHOOL LAND/CASH WORKSHEETS: For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.
- INCLUSIONARY HOUSING WORKSHEET

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 , Authorized Signatory 10/9/15
 Record Owner Date

 10/9/15
 Applicant or Authorized Agent Date



MEMO TO FILE

Date: October 5, 2015

Project #: 14-0256

Project Name: Corporate Reserve

Author: Lacey Lawrence, RLA

Subject: Tree Preservation Plan

WBK surveyed the property on January 2, 2015 and no existing trees were found to have a DBH (diameter at breast height) of 6" or more, therefore a Tree Preservation Plan was not prepared. Existing trees and shrubs located along Woodward Drive and the north detention pond however, will remain in place. Trees and shrubs located along the northeast detention pond will be removed in areas there they will be impacted by the new trail alignment. Existing plant material along Woodward and the northeast detention pond were surveyed on September 28, 2015 and are shown on the Final Landscape Plan.

LEGAL DESCRIPTION

LOT 8, IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 28, 2009 AS DOCUMENT NUMBER 2009005931, IN KANE COUNTY, ILLINOIS.

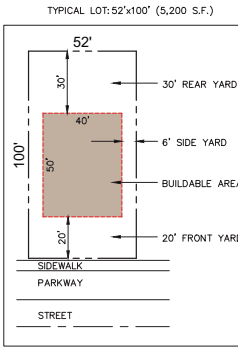
PROJECT DATA

PROPOSED LAND USE:
 DETACHED SINGLE FAMILY
 RESIDENTIAL

EXISTING ZONING CLASSIFICATION:
 O-R OFFICE RESEARCH

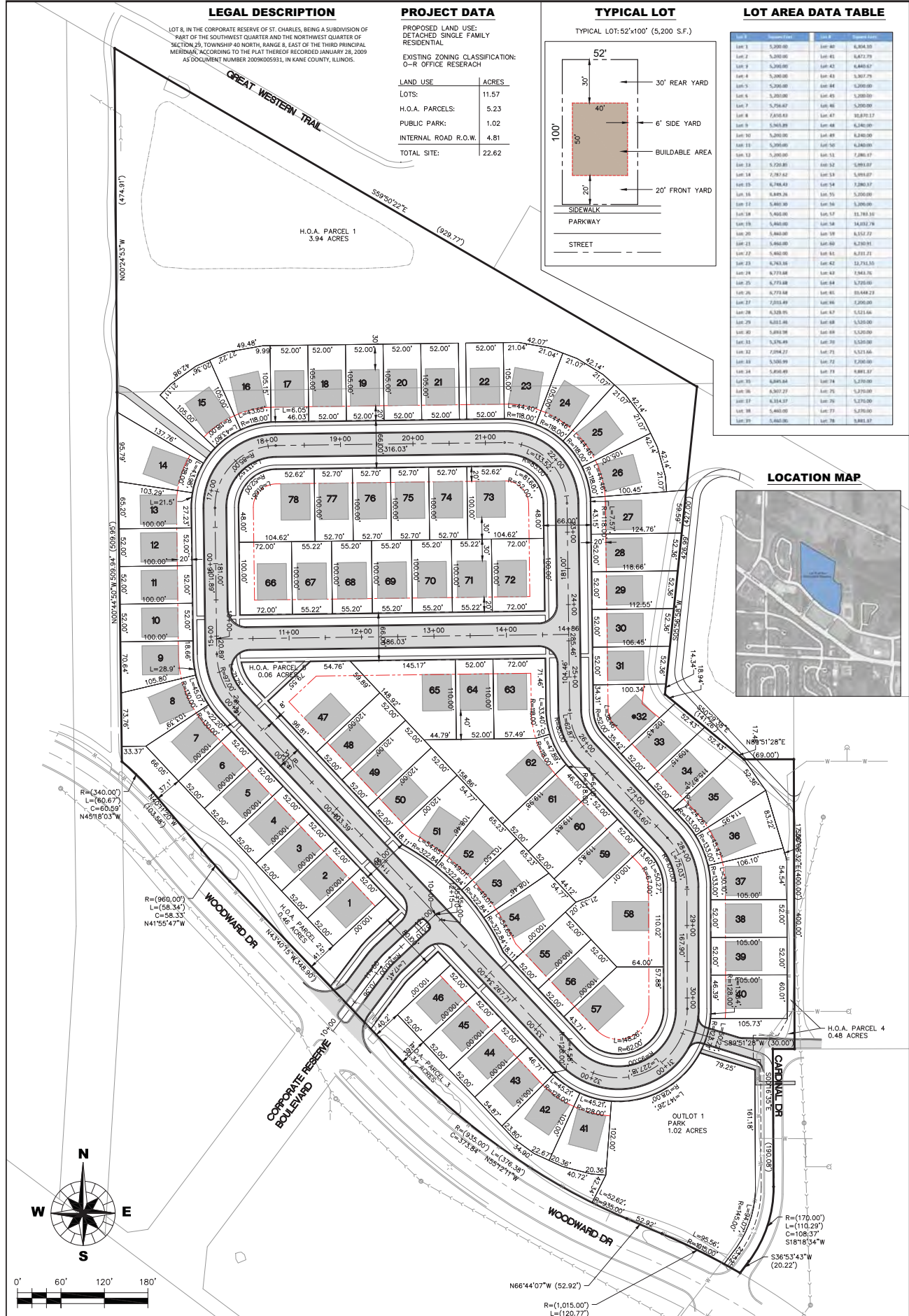
LAND USE	ACRES
LOTS:	11.57
H.O.A. PARCELS:	5.23
PUBLIC PARK:	1.02
INTERNAL ROAD R.O.W.:	4.81
TOTAL SITE:	22.62

TYPICAL LOT



LOT AREA DATA TABLE

Lot 1	5,200.00	Lot 40	6,854.30
Lot 2	5,200.00	Lot 41	6,471.75
Lot 3	5,200.00	Lot 42	6,440.67
Lot 4	5,200.00	Lot 43	5,307.75
Lot 5	5,200.00	Lot 44	5,200.00
Lot 6	5,200.00	Lot 45	5,200.00
Lot 7	5,200.00	Lot 46	5,200.00
Lot 8	7,600.00	Lot 47	32,870.37
Lot 9	5,200.00	Lot 48	5,200.00
Lot 10	5,200.00	Lot 49	5,200.00
Lot 11	5,200.00	Lot 50	6,240.00
Lot 12	5,200.00	Lot 51	7,280.17
Lot 13	5,200.00	Lot 52	5,993.07
Lot 14	5,200.00	Lot 53	5,993.07
Lot 15	6,700.00	Lot 54	7,280.17
Lot 16	6,700.00	Lot 55	5,200.00
Lot 17	5,200.00	Lot 56	5,200.00
Lot 18	5,200.00	Lot 57	5,200.00
Lot 19	5,200.00	Lot 58	34,032.79
Lot 20	5,200.00	Lot 59	6,151.22
Lot 21	5,200.00	Lot 60	6,200.00
Lot 22	5,200.00	Lot 61	6,200.00
Lot 23	6,700.00	Lot 62	32,710.50
Lot 24	6,700.00	Lot 63	7,941.76
Lot 25	6,700.00	Lot 64	5,200.00
Lot 26	6,700.00	Lot 65	5,200.00
Lot 27	6,700.00	Lot 66	5,200.00
Lot 28	6,700.00	Lot 67	5,200.00
Lot 29	6,700.00	Lot 68	5,200.00
Lot 30	6,700.00	Lot 69	5,200.00
Lot 31	6,700.00	Lot 70	5,200.00
Lot 32	6,700.00	Lot 71	5,200.00
Lot 33	6,700.00	Lot 72	5,200.00
Lot 34	6,700.00	Lot 73	5,200.00
Lot 35	6,700.00	Lot 74	5,200.00
Lot 36	6,700.00	Lot 75	5,200.00
Lot 37	6,700.00	Lot 76	5,200.00
Lot 38	6,700.00	Lot 77	5,200.00
Lot 39	6,700.00	Lot 78	5,200.00
Lot 40	6,700.00	Lot 79	5,200.00
Lot 41	6,700.00	Lot 80	5,200.00



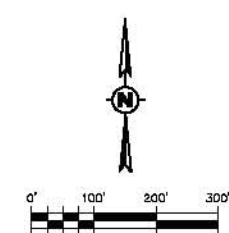
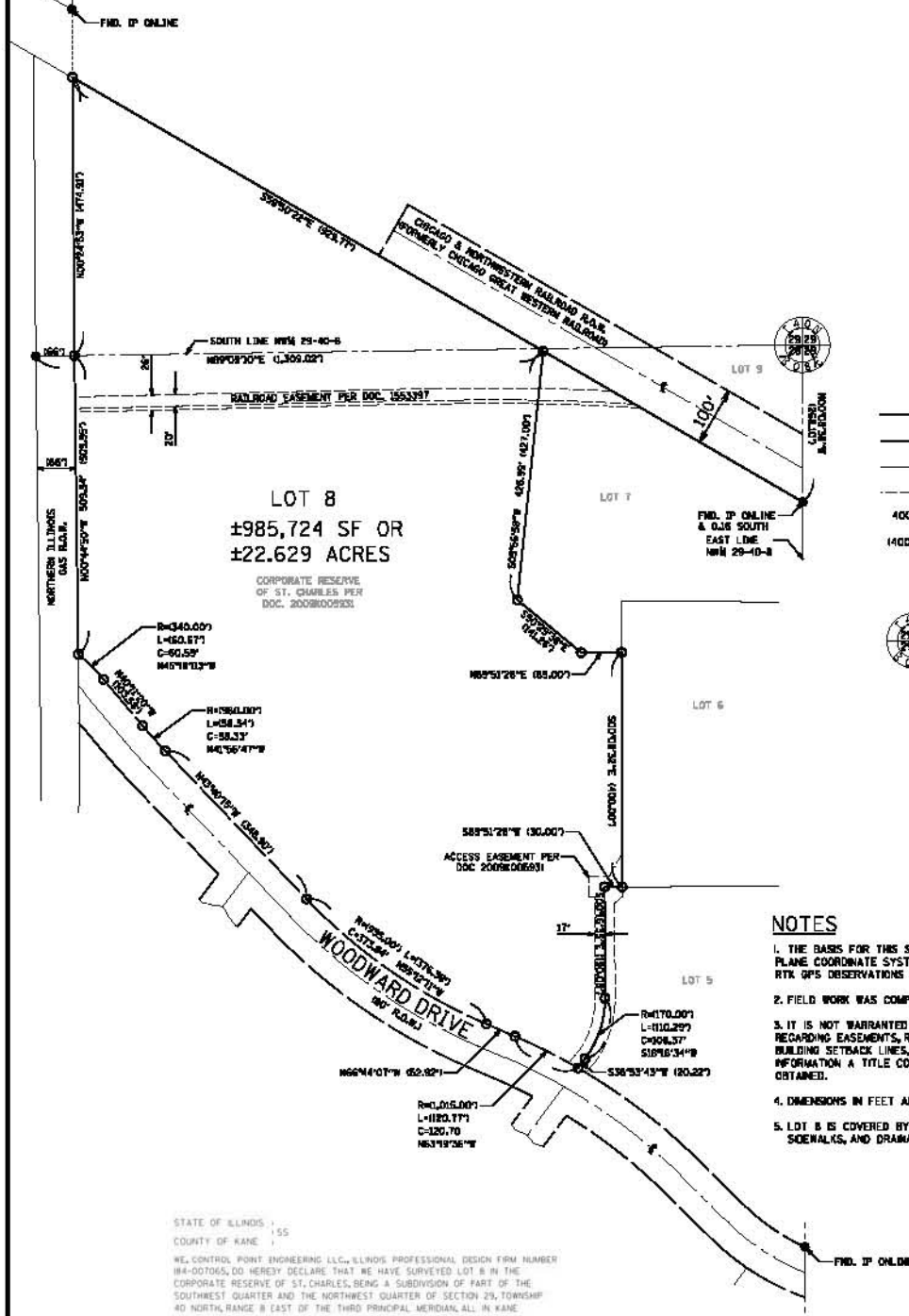
LOCATION MAP



	WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	CLIENT: CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAULS ST. SUITE #300 DENVER, CO. 80206 303-801-0888	DSGN: CMH DWN: GMP CHKD: CMH SCALE: 1" = 60' PP.DWG	TITLE: CORPORATE RESERVE CITY OF ST. CHARLES PRELIMINARY PLAT
		PROJECT NO: 14026 DATE: 09-25-2013 DRAWING NO: 22024 SHEET: 1 OF 1	NO. DATE NATURE OF REVISION	

PLAT OF SURVEY

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009K005931, ALL IN KANE COUNTY, ILLINOIS.



- ### LEGEND
- SURVEYED PROPERTY
 - RIGHT OF WAY LINE
 - EX. EASEMENT LINE
 - QUARTER SECTION LINE
 - MEASURED OR CALC'D SURVEY DATA
 - RECORD OR PRIOR SURVEY DATA
 - FOUND IRON PIPE OR IRON REBAR
 - SET 1/2" X 24" IRON PIPE
 - QUARTER SECTION CORNER

- ### NOTES
1. THE BASIS FOR THIS SURVEY IS GRID NORTH OF THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, BASED ON MULTIPLE AVERAGED RTK GPS OBSERVATIONS REFERENCE TO THE TRIMBLE VHS NETWORK.
 2. FIELD WORK WAS COMPLETED 5/19/16.
 3. IT IS NOT WARRANTED THAT THIS PLAT CONTAINS COMPLETE INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, RIGHT OF WAY, BUILDING SETBACK LINES, AND OTHER ENCUMBRANCES. FOR COMPLETE INFORMATION A TITLE COMMITMENT FOR TITLE INSURANCE SHOULD BE OBTAINED.
 4. DIMENSIONS IN FEET AND DECIMALS.
 5. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, SIGNALS, AND DRAINAGE PER DOCUMENT 2009K005931

STATE OF ILLINOIS :
 COUNTY OF KANE : 155

WE, CONTROL POINT ENGINEERING LLC, ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER WA-007065, DO HEREBY DECLARE THAT WE HAVE SURVEYED LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS AND THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY, GIVEN UNDER MY HAND AND SEAL THIS 15TH DAY OF MAY, 2016 AT BATAVIA, ILLINOIS.

Rudy P. Dixon
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
 RUDY P. DIXON
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3832
 MY LICENSE EXPIRES NOVEMBER 30, 2016
 DESIGN FIRM LICENSE EXPIRES APRIL 30, 2017

CONTROL POINT ENGINEERING LLC
 1840 LYON ROAD
 BATAVIA, IL 60110
 PHONE: (630) 482-8341

CLIENT : **WILLS BURKE KELSEY & ASSOCIATES LTD.**
 116 W. MAIN ST., SUITE 201
 ST. CHARLES, IL 60174

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PLAT OF SURVEY

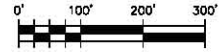
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES

SCALE: 1"=100'

PLOT DATE: 04/20/11
 USER NAME: MJS/CHANCE
 FILE NAME: 041111.dwg

FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A
 SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF
 SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN,
 ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 26, 2009 AS DOCUMENT NO.
 2009K005931, ALL IN KANE COUNTY, ILLINOIS.



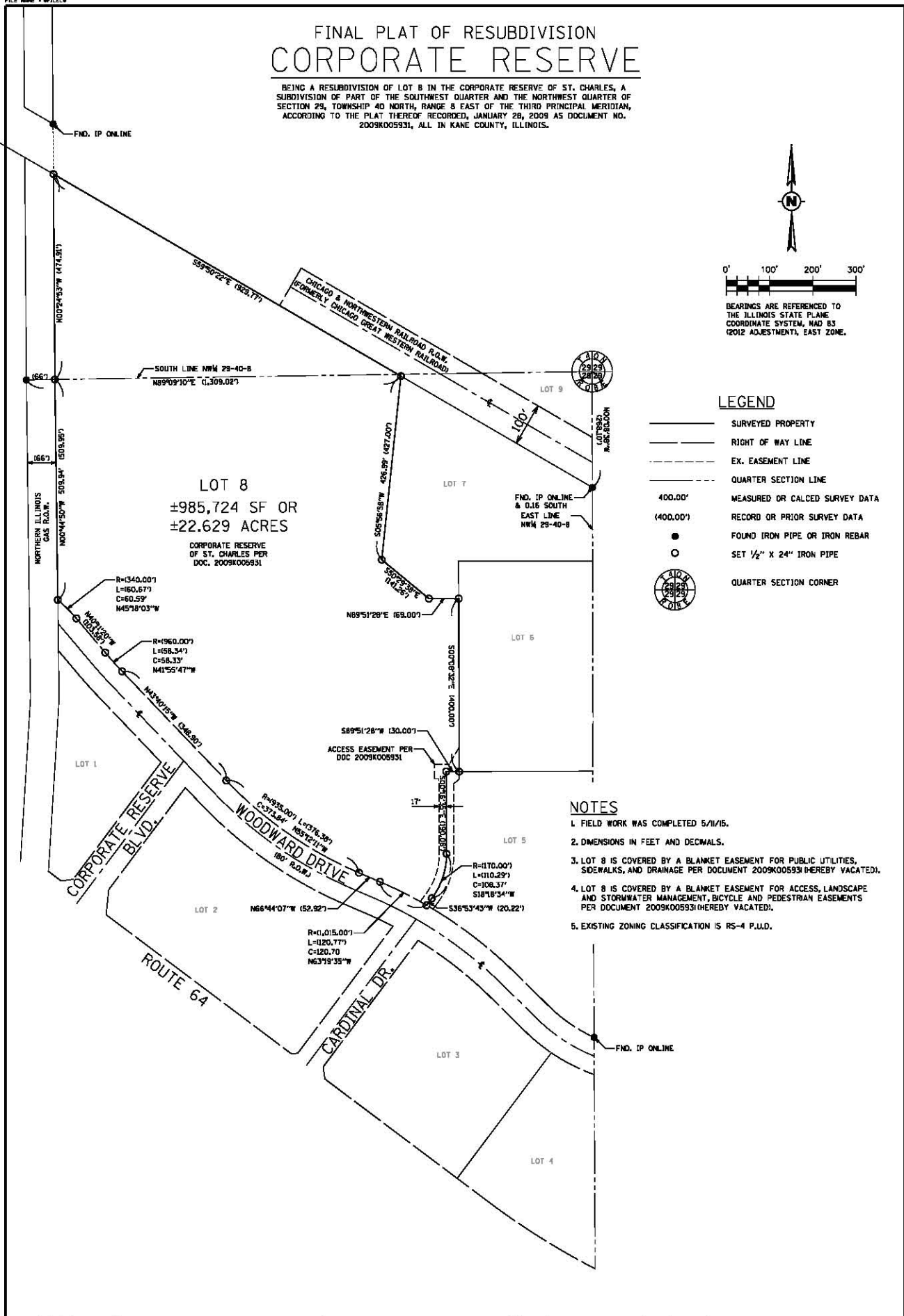
BEARINGS ARE REFERENCED TO
 THE ILLINOIS STATE PLANE
 COORDINATE SYSTEM, NAD 83
 (2011 ADJUSTMENT), EAST ZONE.

LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- QUARTER SECTION LINE
- 400.00'
- (400.00')
- MEASURED OR CALCULATED SURVEY DATA
- RECORD OR PRIOR SURVEY DATA
- FOUND IRON PIPE OR IRON REBAR
- SET 1/2" X 24" IRON PIPE
- QUARTER SECTION CORNER

NOTES

1. FIELD WORK WAS COMPLETED 5/11/11.
2. DIMENSIONS IN FEET AND DECIMALS.
3. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, SIDEWALKS, AND DRAINAGE PER DOCUMENT 2009K005931 (HEREBY VACATED).
4. LOT 8 IS COVERED BY A BLANKET EASEMENT FOR ACCESS, LANDSCAPE AND STORMWATER MANAGEMENT, BICYCLE AND PEDESTRIAN EASEMENTS PER DOCUMENT 2009K005931 (HEREBY VACATED).
5. EXISTING ZONING CLASSIFICATION IS RS-4 P.U.D.



CONTROL POINT ENGINEERING LLC
 1240 LYON ROAD
 BATAVIA, IL 60510
 PHONE: (630) 482-2341

CLIENT: **THE PAULS CORPORATION**
 270 SAINT PAUL ST.
 DENVER, CO 80206

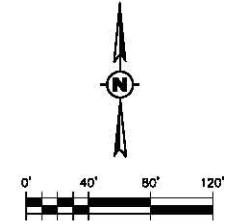
1		DSGN.	RPD
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SCALE: 1"=100'
PLAT OF RESUBDIVISION
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES

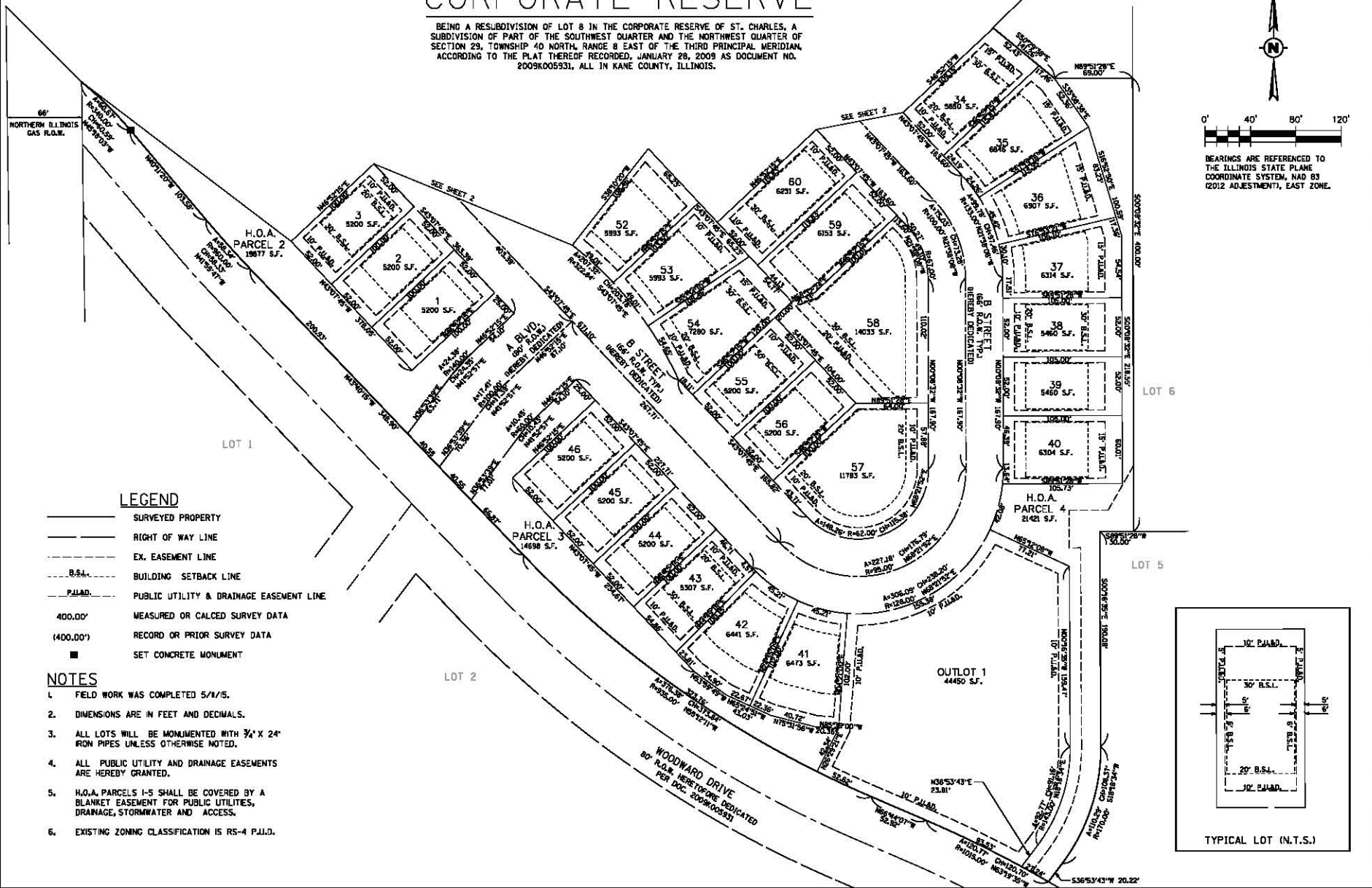
PROJECT NO. 10009
 DATE: 04/20/11
 SHEET 1 OF 8
 DRAWN BY: MJS

FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009K005931, ALL IN KANE COUNTY, ILLINOIS.

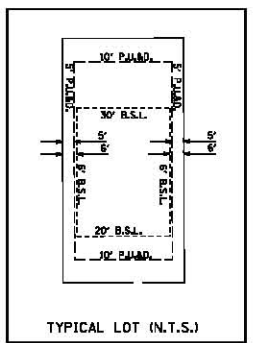


BEARINGS ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2012 ADJUSTMENT), EAST ZONE.



- LEGEND**
- SURVEYED PROPERTY
 - RIGHT OF WAY LINE
 - EX. EASEMENT LINE
 - B.S.L. BUILDING SETBACK LINE
 - P.U.D. PUBLIC UTILITY & DRAINAGE EASEMENT LINE
 - 400.00' MEASURED OR CALCD SURVEY DATA
 - (400.00') RECORD OR PRIOR SURVEY DATA
 - SET CONCRETE MONUMENT

- NOTES**
1. FIELD WORK WAS COMPLETED 5/1/15.
 2. DIMENSIONS ARE IN FEET AND DECIMALS.
 3. ALL LOTS WILL BE MONUMENTED WITH 3/4" X 24" IRON PIPES UNLESS OTHERWISE NOTED.
 4. ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS ARE HEREBY GRANTED.
 5. H.O.A. PARCELS 1-5 SHALL BE COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, DRAINAGE, STORMWATER AND ACCESS.
 6. EXISTING ZONING CLASSIFICATION IS RS-4 P.U.D.



PLAT OF RESUBDIVISION
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES

NO.	DATE	REVISION DESCRIPTION
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CLIENT : FALLS CORPORATION
THRU BAIN BRADY DENVER, CO 80205

CONTROL POINT ENGINEERING LLC
1240 LYON ROAD
BATAVIA, IL 60510
PHONE: (630) 489-2341



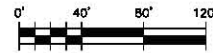
PROJECT NO. 15-000
DATE: 9/18/15
SHEET 2 OF 5
DRAWING NO.

PL2

PLAT DATE: 04/2015
SHEET NO.: RESUBDIVISION
FILE NO.: 011114

FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO. 2009K005931, ALL IN KANE COUNTY, ILLINOIS.



BEARINGS ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2012 ADJUSTMENT), EAST ZONE.

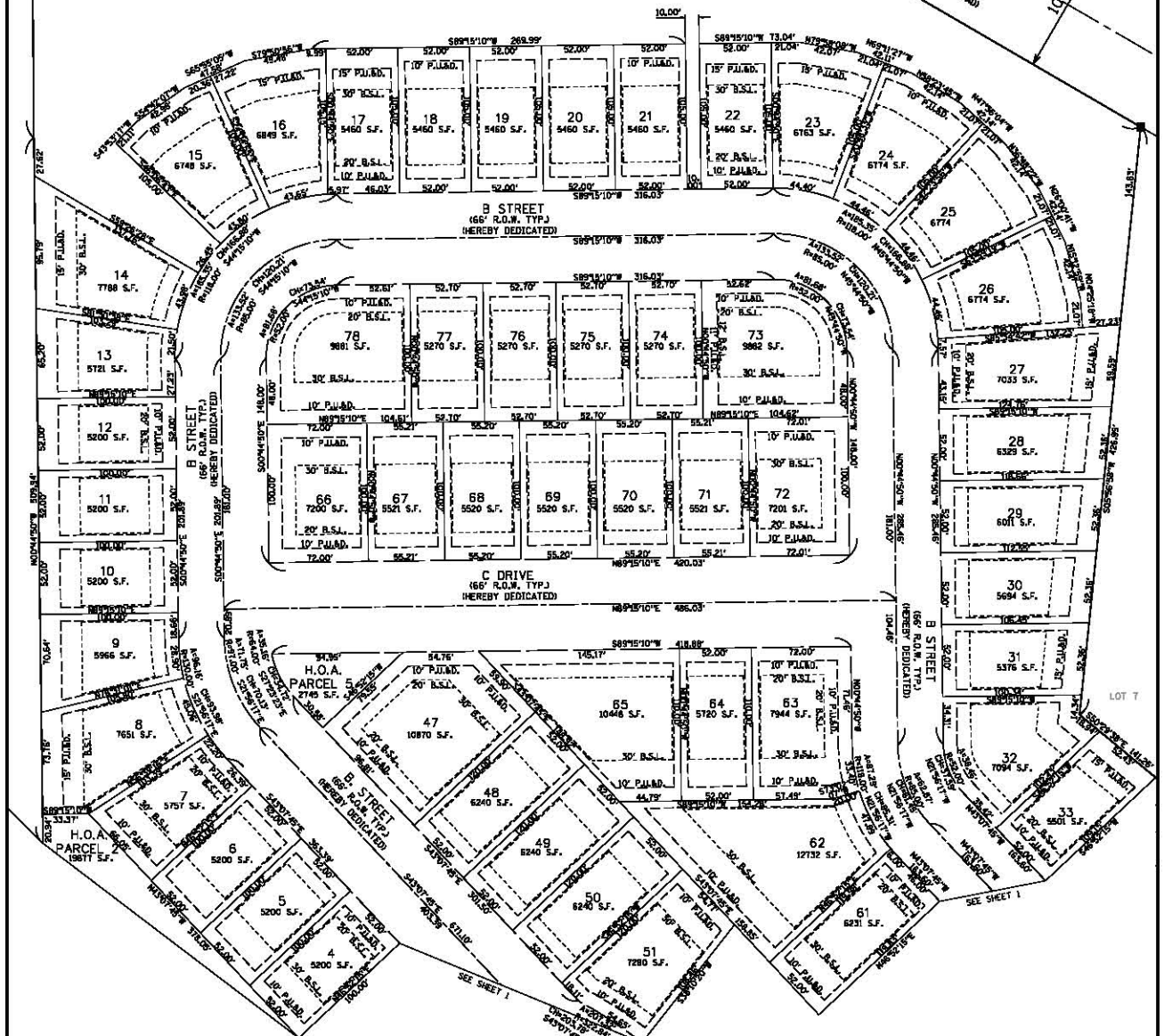
LEGEND

- SURVEYED PROPERTY
- RIGHT OF WAY LINE
- EX. EASEMENT LINE
- B.S.L. BUILDING SETBACK LINE
- P.U.A.D. PUBLIC UTILITY & DRAINAGE EASEMENT LINE
- MEASURED OR CALC'D SURVEY DATA
- RECORD OR PRIOR SURVEY DATA
- SET CONCRETE MONUMENT

NOTES

1. FIELD WORK WAS COMPLETED 5/14/15.
2. DIMENSIONS ARE IN FEET AND DECIMALS.
3. ALL LOTS WILL BE MONUMENTED WITH 3/4" X 24" IRON PIPES UNLESS OTHERWISE NOTED.
4. ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS ARE HEREBY GRANTED.
5. H.O.A. PARCELS 1-5 SHALL BE COVERED BY A BLANKET EASEMENT FOR PUBLIC UTILITIES, DRAINAGE, STORMWATER AND ACCESS.
6. EXISTING ZONING CLASSIFICATION IS RS-4 P.L.D.
7. SEE SHEET 2 FOR TYPICAL LOT LAYOUT.

H.O.A. PARCEL 1
11771 S.F.



CONTROL POINT ENGINEERING LLC
1340 LYON ROAD
BATAVIA, IL 60810
PHONE: (630) 482-2341

CLIENT: **THE PAULS CORPORATION**
270 SAINT PAUL ST
DENVER, CO 80206

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DESIGN: RPD
OWN: RPD
CHKD: RPD
SCALE: 1"=40'

PLAT OF RESUBDIVISION
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES

PLAT DATE - 04/26/09
SHEET NAME - RESUBDIVISION
FILE NAME - 041114

FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 26, 2009 AS DOCUMENT NO. 2009K005931, ALL IN KANE COUNTY, ILLINOIS.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.
"THIS IS TO CERTIFY THAT I, RUDY P. DIXON ILLINOIS LAND SURVEYOR NO. 3832, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 8 IN THE CORPORATE RESERVE OF ST. CHARLES, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 26, 2009 AS DOCUMENT NO. 2009K005931, ALL IN KANE COUNTY, ILLINOIS.

"GIVEN UNDER MY HAND AND SEAL AT _____, ILLINOIS, THIS _____ DAY OF _____, A.D. 20____"
ILLINOIS REGISTERED LAND SURVEYOR
NO. _____ "

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.
"THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREIN INDICATED.
ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING SUBDIVIDED AFORESAID, AND TO THE BEST OF THE OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

DATED THIS _____ DAY OF _____, A.D. 20____"

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.
"I, _____, A NOTARY PUBLIC, IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

"GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D. 20____, AT _____, ILLINOIS.

NOTARY PUBLIC

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.

"I, _____ COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

"I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.
"GIVEN UNDER MY HAND AND SEAL AT _____, ILLINOIS, THIS _____ DAY OF _____, A.D. 20____"

COUNTY CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
CITY OF ST. CHARLES) SS.

"APPROVED THIS _____ DAY OF _____, A.D. 20____,
CITY OF ST. CHARLES PLAN COMMISSION

CHAIRMAN

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF KANE) SS.
"I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS
DATED AT _____, ILLINOIS, THIS _____ DAY OF _____, A.D. 20____"

DIRECTOR OF COMMUNITY DEVELOPMENT (OR DESIGNER) CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS.
"I, _____, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT
DATED AT _____, ILLINOIS, THIS _____ DAY OF _____, A.D. 20____"

CITY COUNCIL CERTIFICATE

"APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D. 20____"

CITY COUNCIL OF CITY OF
ST. CHARLES, ILLINOIS

MAYOR
ATTEST:

CITY CLERK

SPECIAL FLOOD HAZARD AREA CERTIFICATE

"THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE CITY OF ST. CHARLES, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE FLOOD INSURANCE RATE MAP, PANEL NO. 17088C0261H DATED AUGUST 3, 2009.

ILLINOIS REGISTERED LAND SURVEYOR NO. 3832

PLEASE RETURN THE RECORDED MYLAR TO:
CITY OF ST. CHARLES
2. E. MAIN STREET
ST. CHARLES, IL 60174



CONTROL POINT ENGINEERING LLC
1240 LYON ROAD
BATAVIA, IL 60810
PHONE: (630) 482-2341

CLIENT : **THE PAULS CORPORATION**
270 SAINT PAUL ST.
DENVER, CO 80206

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NO.	DATE	REVISION DESCRIPTION	

DSGN.	RPD
DWN.	RPD
CHKD.	RPD
SCALE:	N/A

PLAT OF RESUBDIVISION
LOT 8 OF THE CORPORATE RESERVE OF ST. CHARLES

FINAL PLAT OF RESUBDIVISION CORPORATE RESERVE

BEING A RESUBDIVISION OF LOT B IN THE CORPORATE RESERVE OF ST. CHARLES, A
 SUBDIVISION OF PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF
 SECTION 29, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN,
 ACCORDING TO THE PLAT THEREOF RECORDED, JANUARY 28, 2009 AS DOCUMENT NO.
 2009K005931, ALL IN KANE COUNTY, ILLINOIS.

PUBLIC UTILITY EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES", IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO SAID GRANTEEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS. IN THE EVENT UTILITY MAINTENANCE IS PERFORMED WITHIN THE UTILITY EASEMENT, THE CITY OF ST. CHARLES WILL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, PAVING, FENCES, SIDEWALKS, CURBING, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

STORMWATER DETENTION EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO THEIR SUCCESSORS AND ASSIGNS, IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "STORMWATER DETENTION EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION AND ANY AND ALL MANHOLES, PIPES, CONNECTIONS, CATCH BASINS, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH STORMWATER DETENTION. THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK, NO BUILDING SHALL BE PLACED ON SAID EASEMENT PREMISES WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY OF ST. CHARLES. THE RESPONSIBILITY OF MAINTAINING THE DETENTION AREA EASEMENT SHALL BE BINDING ON THE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS OF THE LANDOWNERS. NO PERSON SHALL DESTROY OR MODIFY SLOPES OR OTHERWISE AFFECT THE DETENTION VOLUME WITHOUT HAVING FIRST RECEIVED WRITTEN APPROVAL FROM THE CITY OF ST. CHARLES. THE CITY SHALL HAVE THE RIGHT BUT NOT THE OBLIGATION TO RESTORE ANY DETENTION VOLUME LOST THROUGH UNAUTHORIZED ACTIVITIES.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE CITY OF ST. CHARLES AND TO ALL PUBLIC UTILITY COMPANIES OF ANY KIND OPERATING UNDER FRANCHISE GRANTING THEM EASEMENT RIGHTS FROM SAID CITY OF ST. CHARLES, INCLUDING BUT NOT LIMITED TO, AMERITECH AND NICOR AND TO THEIR SUCCESSORS AND ASSIGNS HEREIN COLLECTIVELY REFERRED TO AS "GRANTEES", IN, UPON, ACROSS, OVER, UNDER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPLACING, RENEWING, ALTERING, ENLARGING, REMOVING, REPAIRING, CLEANING, AND MAINTAINING ABOVE GROUND AND UNDERGROUND ELECTRICAL SYSTEMS, CABLE TELEVISION, COMMUNICATION, GAS, TELEPHONE OR OTHER UTILITY LINES OR APPURTENANCES, SANITARY AND STORM SEWERS, DRAINAGE WAYS, STORM WATER DETENTION AND RETENTION, WATER MAINS AND ANY AND ALL MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES AND WITHOUT LIMITATION, SUCH OTHER INSTALLATIONS AS MAY BE REQUIRED TO FURNISH PUBLIC UTILITY SERVICE TO ADJACENT AREAS TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE REAL ESTATE PLATTED HEREIN FOR THE NECESSARY PERSONNEL AND EQUIPMENT TO MAKE ANY OR ALL OF THE ABOVE WORK. THE PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES AND THE RESPECTIVE SUCCESSORS AND ASSIGNS FOR MAINTAINING THE UNINTERRUPTED AND UNIMPEDED CONVEYANCE, FLOW AND RUNOFF OF SURFACE STORM WATER ACROSS AND UPON THE AREAS DESIGNATED ON THIS PLAT AS DRAINAGE EASEMENT. THE RIGHT IS HEREBY GRANTED TO SAID GRANTEEES TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE DRAINAGE WAYS AND OPERATION OF OR ACCESS TO SAID UTILITY INSTALLATIONS, WITHOUT LIMITATION, IN, ON, UPON OR ACROSS, UNDER, OR THROUGH SAID EASEMENTS.

NO PERMANENT BUILDINGS, TREES, GARDENS, SHRUBS, OR BERWING SHALL BE PLACED ON OR IN SAID EASEMENTS, BUT THE EASEMENT AREAS MAY BE USED FOR PAVING, FENCES, SIDEWALKS, AND OTHER PURPOSES THAT DO NOT INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR STORM OR SANITARY SEWERS, OTHER UTILITY INSTALLATIONS SHALL BE SUBJECT TO THE PRIOR APPROVAL OF SAID CITY OF ST. CHARLES SO AS NOT TO INTERFERE WITH THE GRAVITY FLOW IN SAID SEWER OR SEWERS. UTILITY INSTALLATIONS, OTHER THAN THOSE MANAGED BY THE CITY OF ST. CHARLES, SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF ST. CHARLES, AS TO DESIGN AND LOCATION, AND ALL OTHER INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE CITY OF ST. CHARLES.

FOLLOWING ANY WORK TO BE PERFORMED BY THE GRANTEEES IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE GRANTEEES SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION INCLUDING, BUT NOT LIMITED TO, THE RESTORATION, REPAIR, OR REPLACEMENT OF ANY LANDSCAPING PROVIDED, HOWEVER, THE GRANTEEES SHALL BE OBLIGATED FOLLOWING ANY SUCH WORK, TO BACKFILL AND MOUND SO AS TO RETAIN SUITABLE DRAINAGE, REMOVE DEBRIS, AND LEAVE THE AREA IN GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PUBLIC ACCESS

PERMANENT NON-EXCLUSIVE EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF ST. CHARLES, IN, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC ACCESS EASEMENT" ON THE PLAT OF SUBDIVISION HEREON DRAWN, FOR THE PURPOSE OF ACCESS TO CITY OWNED UTILITIES AND OTHER GRANTED EASEMENTS, AS DEEMED NECESSARY BY THE CITY OF ST. CHARLES. THE RIGHT IS ALSO HEREBY GRANTED TO SAID CITY TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SAID UTILITY OR EASEMENT. NO PERMANENT BUILDINGS SHALL BE PLACED IN SAID EASEMENT, BUT SAME MAY BE USED FOR SHRUBS, LANDSCAPING, AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS.

(ORD. 2012-4-45 52.)



CONTROL POINT ENGINEERING LLC
 1240 LYON ROAD
 BATAVIA, IL 60810
 PHONE: (630) 482-2341

CLIENT :
THE PAULS CORPORATION
 270 SAINT PAUL ST
 DENVER, CO 80206

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7					
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9					
10	DATE	REVISION	DESCRIPTION		

PLAT OF RESUBDIVISION

LOT B OF THE CORPORATE RESERVE OF ST. CHARLES

SITE IMPROVEMENT PLANS FOR

CORPORATE RESERVE SUBDIVISION OF LOT 8

ST CHARLES, ILLINOIS

WBK PROJECT NO. 140256

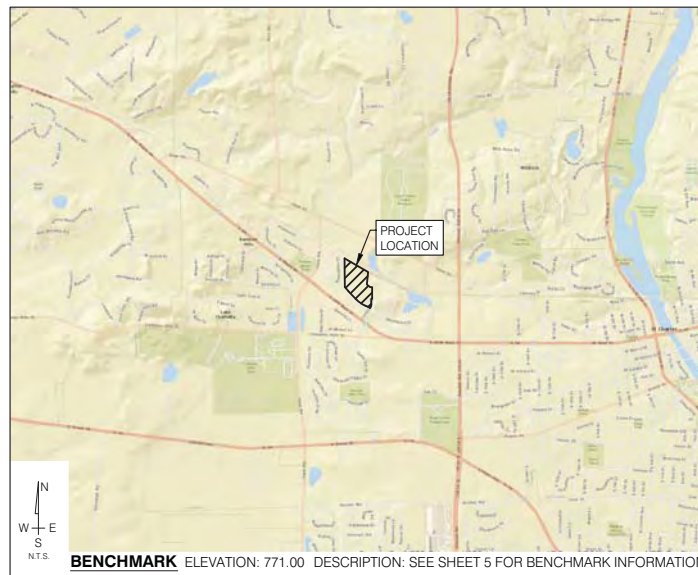
PLAN LEGEND

EXISTING	LINETYPES	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN (W SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	GUARDRAIL	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	SUMP STRUCTURE	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	VALVE & VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	TREE, EVERGREEN, SHRUB & PRICKLY PEAR TREE TO REMOVE	

PERMITS

AGENCY	DATE	PERMIT #

LOCATION MAP



SHEET INDEX

#	TITLE	DESCRIPTION
1	CV1	COVER SHEET
2-4	GN1-GN3	GENERAL NOTES AND SPECIFICATIONS
5	EC1	EXISTING CONDITIONS AND DEMOLITION PLAN
6-7	GM1-GM2	GEOMETRIC PLAN
8	OV1	OVERALL UTILITY PLAN
9-12	GM1-GM2	UTILITY PLAN
13-16	GR1-GR4	GRADING AND DRAINAGE PLAN
17-23	PP1-PP7	PLAN AND PROFILES
24-26	LP1-LP3	LANDSCAPING PLAN
27-28	SW1-SW2	STORMWATER POLLUTION PREVENTION PLAN
29-30	SE1-SE2	SOIL EROSION SEDIMENTATION CONTROL PLAN
32-36	DT1-DT5	DETAILS

REVISIONS

ORIGINAL PLAN DATE: 10-08-2015			
#	SHEET #	DESCRIPTION	DATE

CLIENT

CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC
270 ST. PAUL STREET, #300
DENVER, COLORADO 80206

CIVIL ENGINEER

ENGINEER _____ DATE _____ SEAL _____
KRISTINE E. MEYER, P.E.
ILLINOIS REGISTRATION NO.: 062-060877
EXPIRATION DATE: 11/30/2015
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER.

LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECT _____ DATE _____ SEAL _____
LACEY J. LAWRENCE, R.L.A.
ILLINOIS REGISTRATION NO.: 157-001412
EXPIRATION DATE: 08/31/2017
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER.



CALL J.U.L.I.E. 1-800-892-0123
48 HOURS BEFORE YOU DIG
CITY OF ST. CHARLES, KANE COUNTY
SW 1/4 SECTION 29, T40N, R8E



WILLS BURKE KELSEY ASSOCIATES LTD.
116 WEST MAIN STREET, SUITE 201, ST. CHARLES, ILLINOIS 60174
P: 630.443.7755 F: 630.443.0533 WWW.WBKENGINEERING.COM
PROFESSIONAL DESIGN FIRM NO. 184-002079
EXPIRATION DATE: 04/30/2017

GENERAL NOTES

- 1. REFERENCED SPECIFICATIONS AND CODES
A. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), ADOPTED JANUARY 1, 2012 AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, ADOPTED JANUARY 1, 2015 BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION...
B. THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, 2014, 7TH EDITION, EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK.
C. THE STANDARD SPECIFICATIONS FOR SEWAGE WORKS, LATEST VERSIONS.
D. TECHNICAL POLICY STATEMENTS OF THE IEPA, DIVISION OF PUBLIC WATER SUPPLIES AND DIVISION OF WATER POLLUTION CONTROL, LATEST VERSIONS.
E. TECHNICAL STANDARDS FOR WATER WORKS, BY THE GREAT LAKES UPPER MISSISSIPPI RIVER BOARD OF STATE SANITARY ENGINEERS ("10 STATES STANDARDS"), LATEST VERSIONS.
F. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST VERSION.
G. THE AMERICANS WITH DISABILITIES ACT, THE ILLINOIS ACCESSIBILITY CODE AND THE FAIR HOUSING ACT, LATEST VERSIONS.
H. THE ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL, AND IEPA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST VERSIONS.
I. U.S. SOIL CONSERVATION SERVICE FIELD ENGINEERING HANDBOOK, LATEST VERSION.
J. ALL CODES AND ORDINANCES OF KANE COUNTY AND THE CITY OF ST. CHARLES.
K. ALL REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
L. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THE WORK. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THESE IMPROVEMENTS.
M. CITY OF ST. CHARLES ENGINEERING DESIGN AND INSPECTION POLICY MANUAL, LATEST VERSION.
N. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISION SHALL APPLY.
2. UTILITY LOCATIONS
A. TO THE BEST OF OUR KNOWLEDGE, EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITH PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS.
B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL EXISTING UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123 AND THE AGENCY HAVING JURISDICTION OVER LOCAL WATER, SEWER AND ELECTRICAL SYSTEMS, FOR UTILITY LOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.
C. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
3. UTILITY COORDINATION
A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION SEQUENCING WHICH COORDINATES WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.
C. THE OWNER, ENGINEER, ALL GOVERNING AGENCIES AND UTILITY COMPANIES SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS.
4. COMMENCING CONSTRUCTION
A. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND

- INSPECTION OF THE PROJECT.
J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.
K. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE AGENCY HAVING JURISDICTION. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE COUNTY AND TOWNSHIP PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
L. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
6. INDEMNIFICATION
A. HOLD HARMLESS: THE CONTRACTOR, AS A CONDITION OF THE CONTRACT, HEREBY AGREES TO ASSUME THE ENTIRE RESPONSIBILITY AND LIABILITY FOR, AND DEFENSE OF, AND TO PAY AND REDEMPT AND HOLD THE OWNER, THE ENGINEER, THE CITY, THEIR ENGINEERS, AGENTS AND EMPLOYEES HARMLESS FROM ALL CLAIMS FOR DAMAGES OR INJURY OR DEATH RESULTING THEREFROM TO ANY AND ALL PERSONS, INCLUDING EMPLOYEES OR AGENTS OR ANY PERSON OR FIRM WHO ENGAGES IN WORK UPON THE PROJECT, ARISING OUT OF THE CONDUCT OF THE CONTRACTOR ARISING OUT OF THE PERFORMANCE OF THIS AGREEMENT OR ANY WORK RELEVANT THERETO, OR ARISING OUT OF ANY FEDERAL, STATE OR LOCAL STATUTE, RULE, REGULATION OR ORDINANCE, INCLUDING BUT NOT LIMITED TO THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS ACT (OSHA).
B. ALL COSTS, FEES AND EXPENSES, INCLUDING, BY WAY OF EXAMPLE AND WITHOUT LIMITATION, REASONABLE ATTORNEY'S FEES, COURT COSTS, COURT REPORTER'S FEES, TRANSPORT COSTS, SUBPOENA FEES AND COSTS, WITNESS FEES, SERVICE COSTS, AND DOCUMENT REPRODUCTION COSTS INCURRED BY THE COUNTY AS A RESULT OF ANY CLAIMS FOR DAMAGE OR INJURY AS ENUMERATED ABOVE SHALL BE PAID BY THE CONTRACTOR.
C. THE CONTRACTOR(S) SHALL NAME WILLIS BURKE KELSEY ASSOC., LTD., CITY OF ST. CHARLES AND CONSULTANT DOWNS CONSTRUCTION OBSERVATION FOR THE CITY AS ADDITIONAL NAME INSURED ON ALL LIABILITY INSURANCE POLICIES AND SHALL PROVIDE THE CITY AND WKB WITH CERTIFICATES OF INSURANCE PRIOR TO COMMENCEMENT OF ANY WORK.

EARTHWORK NOTES

- 1. GENERAL
A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.
B. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING OFFSITE AND INTO OR STANDING IN EXCAVATED AREAS.
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF EROSION CONTROL BARRIER FENCING, ETC. TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC. SHALL OCCUR PRIOR TO ANY CONSTRUCTION ACTIVITIES.
D. EXCESS MATERIALS, IF NOT UTILIZED AS FILL SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR AT A PREVIOUSLY APPROVED SITE.
E. GEOTEXTILE FABRIC, IF AUTHORIZED BY THE OWNER, SHALL BE "MIRAFI 160" OR EQUAL AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
2. TOPSOIL EXCAVATION INCLUDES:
A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY AND APPROPRIATE EROSION CONTROL MEASURES FOR STOCKPILE.
C. TOPSOIL STOCKPILED FOR RESPAED SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIALS BEING USED IN THE TOPSOIL AND/OR THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR PROPERLY DISPOSED OF OFF-SITE.
D. FURNISH AND PLACE TOPSOIL SHALL INCLUDE HAULING AND SPREADING 6" OF APPROVED TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER.
E. NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED AS PER (SSRBC) ARTICLE 205.06.
3. EARTH EXCAVATION INCLUDES:
A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
B. PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS AS DESIGNATED ON THE PLANS AND SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED

- IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION, IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
C. COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS, SHALL BE ACCORDING TO (SSRBC) ARTICLE 205.06.
4. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS CONSULTANT WITH THE CONCURRENCE OF THE OWNER.
5. SUB-GRADE PREPARATION
A. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR AGGREGATE BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
B. PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND AGGREGATE BASE COURSE, THE CONTRACTOR SHALL PROVIDE, AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND AGGREGATE BASE MATERIAL. THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT BY THE SOILS CONSULTANT AND THE CITY OF ST. CHARLES. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:
1) SCARIFY, DISC AND AERATE.
2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
3) REMOVE AND REPLACE WITH GRANULAR MATERIAL.
4) USE OF GEOTEXTILE FABRIC. MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE 1/4" TO 1/2", IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.
C. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE GRADED TO WITHIN 0.04 FEET (1/2") OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB, SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
D. PRIOR TO PLACEMENT OF THE AGGREGATE BASE COURSE, THE SUBGRADE MUST BE APPROVED BY THE SOILS CONSULTANT AND THE CITY OF ST. CHARLES ENGINEER.
E. ALL MATERIALS BEING UTILIZED FOR TOPSOIL OR SPECIFIED IN LANDSCAPING PRACTICE SHALL BE CONSISTENT OF A NON-CONTAMINATED CONDITION AS LISTED IN THE CDD, TIER 1 CATEGORY. ALL MATERIALS NOT MEETING THESE STANDARDS BUT DESIGNATED TO REMAIN ON SITE SHALL BE SPECIFICALLY NOTED AND SHOWN ON ALL AS-BUILT PLANS.
7. MISCELLANEOUS: THE CONTRACTOR SHALL
A. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
B. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

CORPORATE RESERVE SUBDIVISION OF LOT 8 GENERAL NOTES AND SPECIFICATIONS

Table with columns: DATE, SCALE, SHEET NO., TOTAL SHEETS, etc.

CLIENT: CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER

WILLIS BURKE KELSEY ASSOCIATES LTD. 140256 DATE: 10-08-2015 DRAWING NO. 2 OF 38 SHEET: G9N1

PROJECT NO. 140256 DATE: 10-08-2015 DRAWING NO. 2 OF 38 SHEET: G9N1

WATERMAIN NOTES

1. PIPE MATERIALS: WATERMANS SHALL BE CONSTRUCTED OF A BITUMINOUS COATED, CEMENT LINED DUCTILE IRON PIPE, CLASS S2, CONFORMING ANSI A-21.51 (AWWA C151). CEMENT MORTAR LINING SHALL CONFORM TO ANSI A-21.4 (AWWA C-104). THE JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS. ALL DUCTILE IRON WATER MAIN AND FITTINGS SHALL BE POLYETHYLENE TUBE ENCASED. BRASS WEDGES ARE REQUIRED ON THE MAIN BELOW GRADE. WATERMAIN CALLED "OUT" AS HOPE. WATERMAIN SHALL BE CONSTRUCTED OF A HIGH-PERFORMANCE HDPE PE4710 RESIN MATERIAL, WITH A DR OF 17, CONFORMING TO ASTM D3350.
2. FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI AS21.10 (AWWA C-110).
3. JOINT RESTRAINT: ALL MECHANICAL JOINT FITTINGS SHALL HAVE RESTRAINING GLANDS INSTALLED. RESTRAINT DEVICE SHALL BE UN-FLANGE BY FORD COMPANY OR MEGALUG BY EBAA IRON. PUSH JOINT PIPE RESTRAINT SHALL BE FIELD LOCK GASKETS BY US PIPE OR SERIES 1700 MEGALUG OR SERIES 1390 PIPE RESTRAINT BY FORD. LENGTHS OF PIPE RESTRAINT SHALL BE DETERMINED FROM MANUFACTURERS INSTALLATION SPECIFICATIONS (REFER TO WATERMAIN RESTRAINT DETAIL).
4. WATER SERVICES: WATER SERVICE PIPE, 3" IN DIAMETER SHALL BE DUCTILE IRON PIPE, CEMENT LINED, CLASS S2, CONFORMING ANSI A-21.51 (AWWA C151).
5. VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAIN. 4" THROUGH 16" DIAMETER SHALL BE RIGHT-HAND CLOSING RESILIENT WEDGE GATE VALVES, CONFORMING TO AWWA STANDARD C-509 AS MANUFACTURED BY THE CLOW CORPORATION, WATEROUS COMPANY OR APPROVED EQUAL.
6. VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES PER THE CITY OF ST. CHARLES ENGINEERING DETAIL SHOWN ON DT2. THE FRAME AND LID SHALL BE NEENAH R-1713, OR EQUAL, WITH "ST. CHARLES WATER" EMBOSSED ON THE LID.
7. FIRE HYDRANTS: FIRE HYDRANTS SHALL CONFORM TO AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD, NO. C-502, LATEST REVISION, AND SHALL BE A MODEL SHOWN ON THE PLANS AND APPROVED BY THE CITY OF ST. CHARLES. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND TRENCH ADAPTER VALVE BOX. THE PUMPER CONNECTION SHALL FACE ROADWAY. HYDRANTS SHALL BE MUELLER SUPER CENTURION 200, WATEROUS PACER MODEL WB-67-250, OR CLOW MEDALLION. REFER TO DETAIL.

PROVIDE AND INSTALL FOUR MEGALUG JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE, AND BETWEEN THE AUXILIARY VALVE AND HYDRANT BARREL.

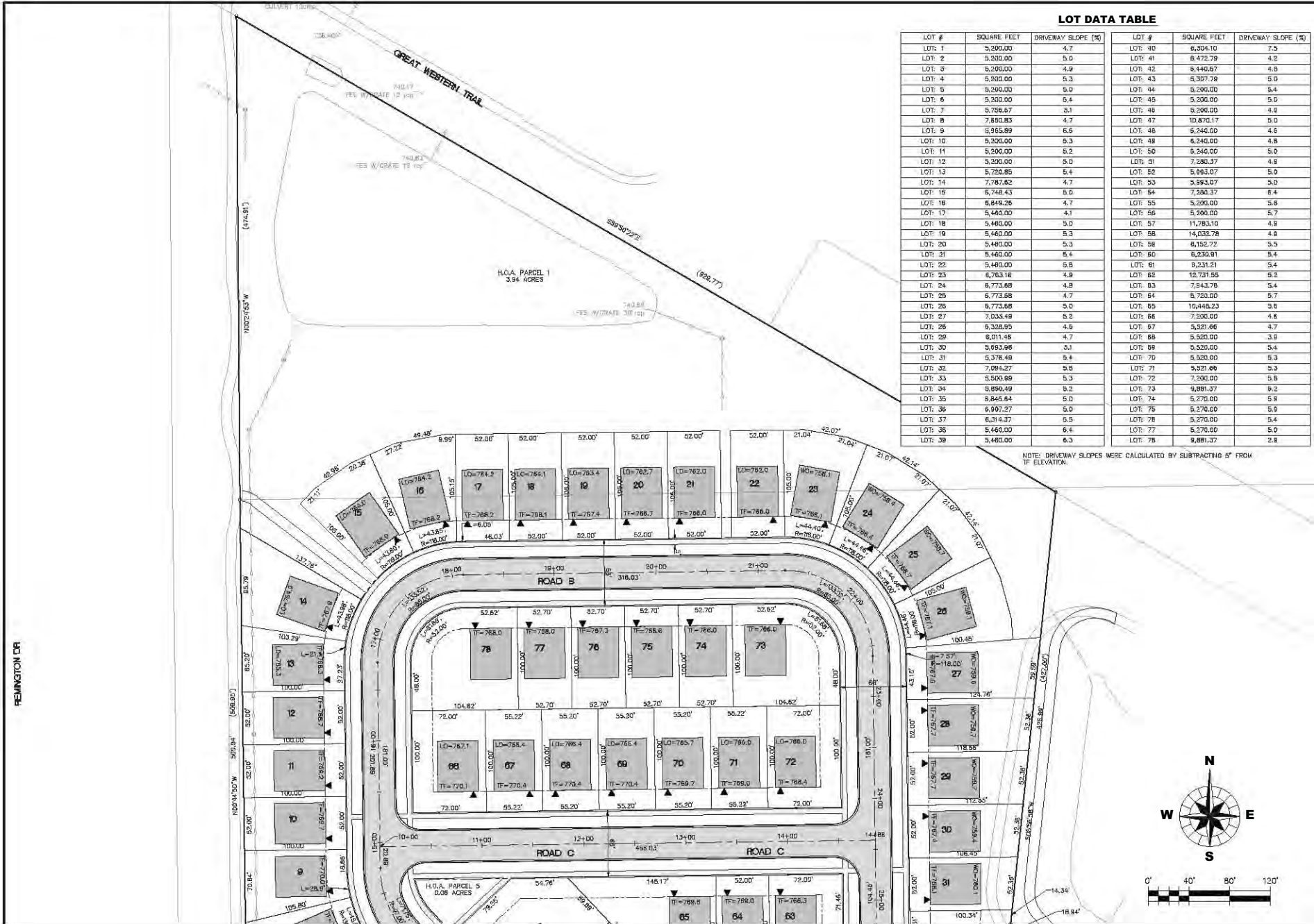
ALL HYDRANTS SHALL HAVE 6" MECHANICAL JOINT CONNECTION, 5-1/4" VALVE OPENING, 5' COVER OVER HYDRANT LATERAL, 6" VALVE ON THE LATERAL, "HYDRAFINDER" STANDARD HYDRANT LOCATOR, INSTALLED. VALVE BOX SHALL HAVE A VALVE BOX STABILIZER INSTALLED. (VALVE BOX ADAPTOR #2, TYPE A AS MADE BY ADAPTOR, INC. OR APPROVED EQUAL).
8. CORPORATION STOPS: CORPORATION STOPS SHALL BE COMPRESSION FITTINGS MUELLER B-2508-N (3/4", 1", 1-1/2", 2"), FORD FB1000-4-Q-NL 1", FORD FB1000-6-Q-NL 1-1/2", FORD FB1000-7-Q-NL 2", A.Y. McDONALD 74701-BQ (1", 1-1/2", 2"), OR Q SERIES BRASS.
9. CURB STOPS: CURB STOPS SHALL BE COMPRESSION FITTINGS MUELLER B-25155-N (3/4", 1", 1-1/2", 2"), FORD B-44-444-Q-NL 1", FORD B-44-666-Q-NL 1-1/2", FORD B-44-777-Q-NL 2", A.Y. McDONALD 76104-Q (1", 1-1/2", 2"), OR Q SERIES BRASS.
10. CURB BOX: MINNEAPOLIS PATTERN, LID MARKED "WATER".
11. BUFFALO TYPE BOX: FOR 1" THRU 2", MUELLER H-10300 COPPER SERVICE, AND A.Y. McDONALD, 5615 1-1/4".
12. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURERS CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.
13. BEDDING: ALL WATERMANS SHALL BE BEDDED ON 4" MIN. IDOT CA-7 VIRGIN CRUSHED LIMESTONE BEDDING PER THE CITY OF ST. CHARLES STANDARD DETAIL ON DTS.
14. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO 12" OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION.
15. A MINIMUM DEPTH OF COVER OF FIVE (5) FEET SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE TEN (10) FEET. VARIATIONS FROM THESE STANDARDS WILL REQUIRE APPROVAL OF ST. CHARLES ENGINEERING DIVISION.
16. PRE-CAST CONCRETE THRUST BLOCKING SHALL BE INSTALLED ON WATERMANS AT ALL BENDS, OF 22 1/2" AND LARGER.
17. IEPA WATERMAIN PROTECTION
 - A. HORIZONTAL SEPARATION:
 - a. WATERMANS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICES CONNECTION
 - b. WATERMANS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
 - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
 - THE WATERMAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
 - THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
 - c. BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF THE CONSTRUCTION WHEN IT IS IMPOSSIBLE TO MEET (a) OR (b) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

B. VERTICAL SEPARATION:

- a. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMANS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANCE FROM THE SEWER OR DRAIN.
 - b. BOTH THE WATERMANS AND SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION WHEN:
 - IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
 - THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.
 - c. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.
 - d. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN IS AT LEAST TEN FEET.
18. ALL WATERMANS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH AWWA C800 & C805, CITY OF ST. CHARLES ENGINEERING DESIGN & INSPECTION MANUAL AND STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.
19. ALL WATERMAIN THAT NEEDS TO BE SHUTDOWN FOR ANY REASON MUST BE COORDINATED WITH THE CITY OF ST. CHARLES WATER DIVISION 48 HOURS IN ADVANCE OF THE WORK.

THE CORPORATE RESERVE SUBDIVISION OF LOT 8	
GENERAL NOTES AND SPECIFICATIONS	
<p>CLIENT: CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER</p>	<p>PROJECT NO. 140256 DATE: 10-08-2015 DRAWING NO. 4 OF 38 SHEET: GN3</p>
<p>DESIGN: _____ DRAWN: _____ CHECKED: _____ SCALE: 1" = 100' DATE: _____ NATURE OF REVISION: _____</p>	<p>DATE: _____ NATURE OF REVISION: _____</p>





LOT DATA TABLE

LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)	LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)
LOT: 1	5,200.00	4.7	LOT: 40	6,304.10	7.5
LOT: 2	5,200.00	5.0	LOT: 41	8,472.79	4.2
LOT: 3	5,200.00	4.9	LOT: 42	5,440.67	4.6
LOT: 4	5,200.00	5.3	LOT: 43	5,307.79	5.0
LOT: 5	5,200.00	5.0	LOT: 44	5,200.00	5.4
LOT: 6	5,200.00	5.4	LOT: 45	5,200.00	5.0
LOT: 7	5,766.87	5.1	LOT: 46	5,200.00	4.8
LOT: 8	7,850.83	4.7	LOT: 47	10,870.17	5.0
LOT: 9	5,855.89	6.6	LOT: 48	5,240.00	4.6
LOT: 10	5,200.00	6.3	LOT: 49	6,240.00	4.8
LOT: 11	5,200.00	5.2	LOT: 50	5,240.00	5.0
LOT: 12	5,200.00	5.0	LOT: 51	7,280.37	4.8
LOT: 13	5,720.85	5.4	LOT: 52	5,993.07	5.0
LOT: 14	7,787.82	4.7	LOT: 53	5,993.07	5.0
LOT: 15	6,748.43	5.0	LOT: 54	7,280.37	6.4
LOT: 16	6,849.26	4.7	LOT: 55	5,200.00	5.8
LOT: 17	5,460.00	4.1	LOT: 56	5,200.00	5.7
LOT: 18	5,460.00	5.0	LOT: 57	11,783.10	4.8
LOT: 19	5,460.00	5.3	LOT: 58	14,032.78	4.8
LOT: 20	5,460.00	5.3	LOT: 59	6,132.73	3.5
LOT: 21	5,460.00	5.4	LOT: 60	6,030.01	5.4
LOT: 22	5,460.00	5.8	LOT: 61	5,231.21	5.4
LOT: 23	4,763.16	4.9	LOT: 62	12,731.53	5.2
LOT: 24	6,773.68	4.8	LOT: 63	7,943.78	5.4
LOT: 25	6,773.68	4.7	LOT: 64	5,720.00	5.7
LOT: 26	6,773.68	5.0	LOT: 65	10,448.23	3.6
LOT: 27	7,033.49	5.2	LOT: 66	7,200.00	4.6
LOT: 28	6,326.95	4.6	LOT: 67	5,321.66	4.7
LOT: 29	6,011.46	4.7	LOT: 68	5,520.00	3.9
LOT: 30	5,693.96	5.1	LOT: 69	5,520.00	5.4
LOT: 31	5,376.49	5.4	LOT: 70	5,520.00	5.3
LOT: 32	7,094.27	5.6	LOT: 71	5,321.66	5.3
LOT: 33	5,500.69	5.3	LOT: 72	7,200.00	5.8
LOT: 34	8,896.49	5.2	LOT: 73	9,081.37	6.2
LOT: 35	8,845.84	5.0	LOT: 74	5,270.00	5.8
LOT: 36	6,907.27	5.0	LOT: 75	5,270.00	5.0
LOT: 37	6,314.37	5.5	LOT: 76	5,270.00	5.4
LOT: 38	5,460.00	6.4	LOT: 77	5,270.00	5.0
LOT: 39	5,460.00	6.3	LOT: 78	9,881.37	2.8

NOTE: DRIVEWAY SLOPES WERE CALCULATED BY SUBTRACTING 5" FROM TF ELEVATION.

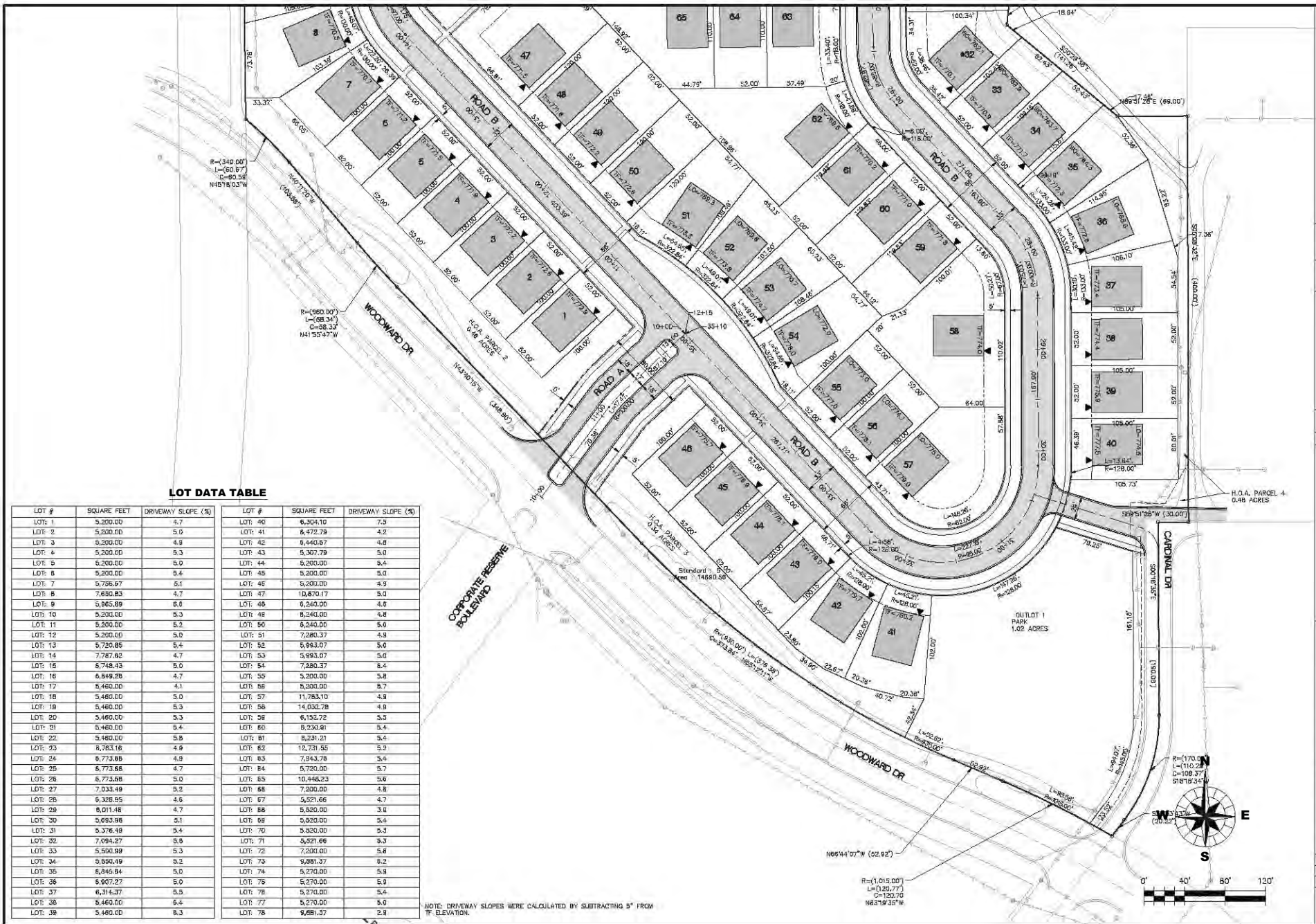
CORPORATE RESERVE SUBDIVISION OF LOT 8

GEOMETRIC PLAN

CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**
270 ST. PAUL STREET, #300
DENVER, COLORADO 80202
PHONE NUMBER

PROJECT NO. **142298**
 DATE: 10-08-2015
 DRAWING NO. **6 OF 36**
 SHEET:

GM1



LOT DATA TABLE

LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)	LOT #	SQUARE FEET	DRIVEWAY SLOPE (%)
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LOT: 3	5,200.00	4.9	LOT: 42	6,440.67	4.6
LOT: 4	5,200.00	5.3	LOT: 43	5,307.79	5.0
LOT: 5	5,200.00	5.0	LOT: 44	5,200.00	5.4
LOT: 6	5,200.00	5.4	LOT: 45	5,200.00	5.0
LOT: 7	5,796.97	5.1	LOT: 46	5,200.00	4.9
LOT: 8	7,690.83	4.7	LOT: 47	10,670.17	5.0
LOT: 9	5,865.89	6.6	LOT: 48	6,240.00	4.6
LOT: 10	5,200.00	5.3	LOT: 49	6,240.00	4.8
LOT: 11	5,200.00	5.2	LOT: 50	6,240.00	5.0
LOT: 12	5,200.00	5.0	LOT: 51	7,280.37	4.8
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LOT: 19	5,460.00	5.3	LOT: 58	14,032.78	4.9
LOT: 20	5,460.00	5.3	LOT: 59	6,152.72	5.5
LOT: 21	5,460.00	5.4	LOT: 60	8,230.91	5.4
LOT: 22	5,460.00	5.8	LOT: 61	8,231.21	5.4
LOT: 23	6,763.16	4.9	LOT: 62	12,731.55	5.2
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LOT: 26	6,773.85	5.0	LOT: 65	10,448.23	5.6
LOT: 27	7,033.49	5.5	LOT: 66	7,030.00	4.8
LOT: 28	5,338.95	4.5	LOT: 67	5,327.66	4.7
LOT: 29	6,011.88	4.7	LOT: 68	5,320.00	3.8
LOT: 30	5,693.96	5.1	LOT: 69	5,670.00	5.4
LOT: 31	5,376.49	5.4	LOT: 70	5,320.00	5.3
LOT: 32	7,094.27	5.6	LOT: 71	5,621.66	5.3
LOT: 33	5,500.99	5.3	LOT: 72	7,200.00	5.8
LOT: 34	5,850.49	5.3	LOT: 73	5,981.37	6.2
LOT: 35	8,845.84	5.0	LOT: 74	5,270.00	5.9
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LOT: 38	5,460.00	6.4	LOT: 77	5,270.00	5.0
LOT: 39	5,460.00	6.3	LOT: 78	5,691.37	2.9

NOTE: DRIVEWAY SLOPES WERE CALCULATED BY SUBTRACTING 5" FROM FF ELEVATION.

**CORPORATE RESERVE SUBDIVISION
OF LOT 8
GEOMETRIC PLAN**

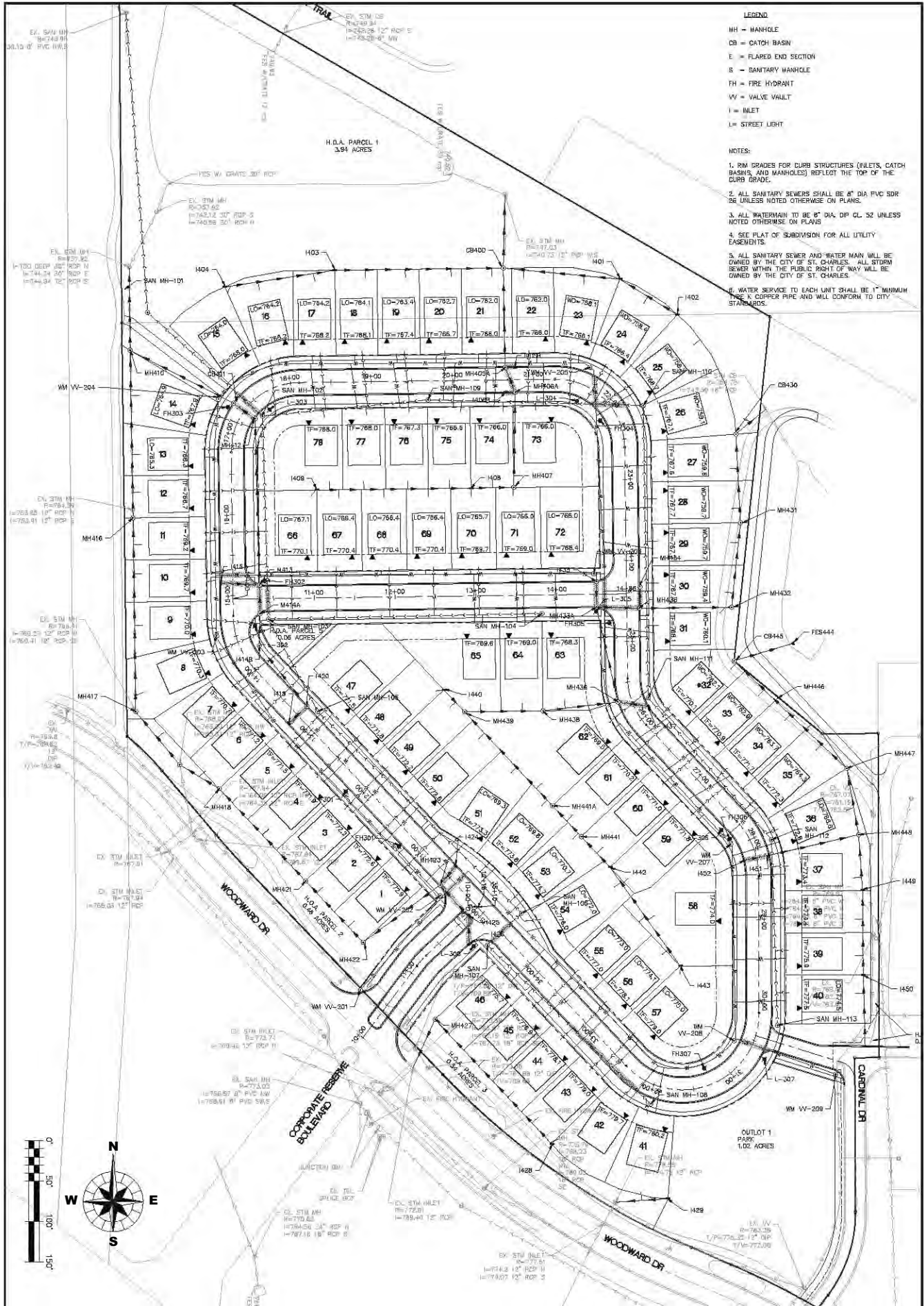
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CHECKED	CHD	CHD	CHD	SCALE: 1" = 40'	DATE: 10/08/2015
DATE	DATE	DATE	DATE	SCALE: 1" = 40'	DATE: 10/08/2015

**CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC
270 ST. PAUL STREET, #300
DENVER, COLORADO 80206
PHONE NUMBER**

**WILLS BUNKE KELSEY ASSOCIATES LTD.
2700 W. 24th AVE #201
SILVER SPRING, COLORADO 80110
(303) 443-7755**

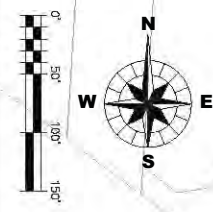
PROJECT NO. 142020
DATE: 10-08-2015
DRAWING NO. 7 OF 38
SHEET:

GM2

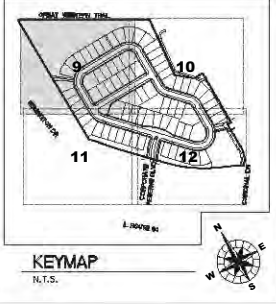


- LEGEND**
- MH = MANHOLE
 - CB = CATCH BASIN
 - E = FLARED END SECTION
 - S = SANITARY MANHOLE
 - FH = FIRE HYDRANT
 - VV = VALVE VAULT
 - I = INLET
 - SL = STREET LIGHT

- NOTES:**
1. RIM GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
 2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 35 UNLESS NOTED OTHERWISE ON PLANS.
 3. ALL WATERMAIN TO BE 8" DIA, DIP CL. 52 UNLESS NOTED OTHERWISE ON PLANS.
 4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
 5. ALL SANITARY SEWER AND WATER MAIN WILL BE OWNED BY THE CITY OF ST. CHARLES. ALL STORM SEWER WITHIN THE PUBLIC RIGHT OF WAY WILL BE OWNED BY THE CITY OF ST. CHARLES.
 6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.

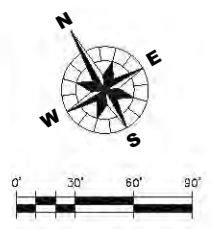


<p>PROJECT NO. 140008 DATE: 08/20/13 DRAWING NO. 8 OF 36 SHEET: 0V1</p>	<p>WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755</p>	<p>CLIENT: CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER</p>	<p>NO. DATE NATURE OF REVISION</p>	<p>DSGN. JSE DWN. JSE CHKD. JCL SCALE: 1" = 100' DV140256.DWG</p>	<p>TITLE CORPORATE RESERVE SUBDIVISION OF LOT 8 OVERALL UTILITY PLAN</p>
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- LEGEND**
- MH = MANHOLE
 - CS = CATCH BASIN
 - E = FLARED END SECTION
 - S = SANITARY MANHOLE
 - FH = FIRE HYDRANT
 - W = VALVE VAULT
 - I = INLET

- NOTES**
1. FIN GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
 2. ALL SANITARY SEWERS SHALL BE 8" DIA. PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.
 3. ALL WATER MAIN TO BE 8" DIA. DIP CL. 53 UNLESS NOTED OTHERWISE ON PLANS.
 4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
 5. ALL SANITARY SEWER AND WATER MAIN WILL BE OWNED BY THE CITY OF ST. CHARLES. ALL STORM SEWER WITHIN THE PUBLIC RIGHT OF WAY WILL BE OWNED BY THE CITY OF ST. CHARLES.
 6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.



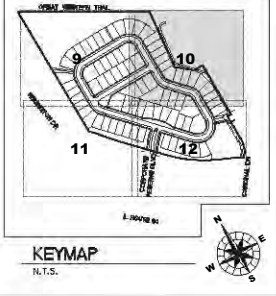
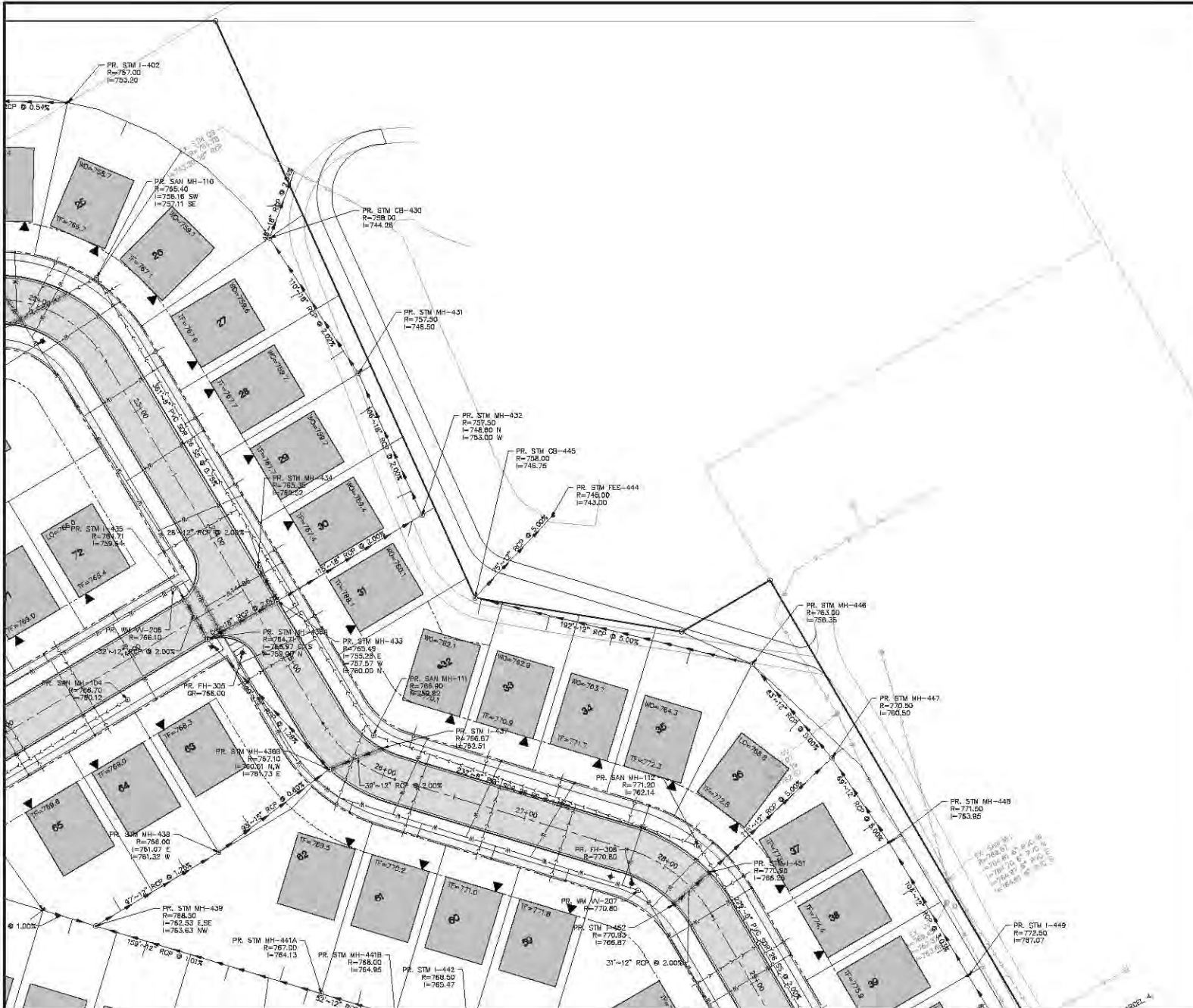
CORPORATE RESERVE SUBDIVISION OF LOT 8 UTILITY PLAN

CLIENT: WILLIS BURKE KELSEY ASSOCIATES LTD. DEVELOPMENT PARTNERS, LLC
270 ST. PAUL STREET, #300 DENVER, COLORADO 80206
PHONE NUMBER

PROJECT NO. 142298
DATE: 10-08-2015
DRAWING NO. 9 OF 38
SHEET:

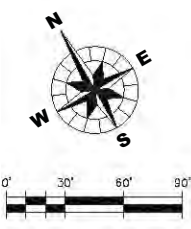
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DESIGN	DATE	BY	CHKD.	SCALE	DATE	NATURE OF REVISION



- LEGEND**
- MH = MANHOLE
 - CB = CATCH BASIN
 - E = FLARED END SECTION
 - S = SANITARY MANHOLE
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- NOTES**
1. FIN GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
 2. ALL SANITARY SEWERS SHALL BE 8" DIA. PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.
 3. ALL WATERMAIN TO BE 8" DIA. DIP CL. 53 UNLESS NOTED OTHERWISE ON PLANS.
 4. SEE PLAT OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
 5. ALL SANITARY SEWER AND WATER MAIN WILL BE OWNED BY THE CITY OF ST. CHARLES. ALL STORM SEWER WITHIN THE PUBLIC RIGHT OF WAY WILL BE OWNED BY THE CITY OF ST. CHARLES.
 6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.



**CORPORATE RESERVE
SUBDIVISION OF LOT 8
UTILITY PLAN**

DATE	BY	DESCRIPTION

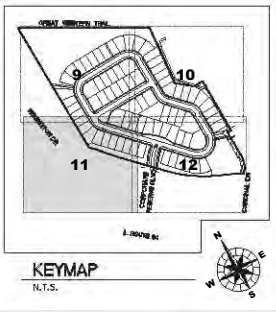
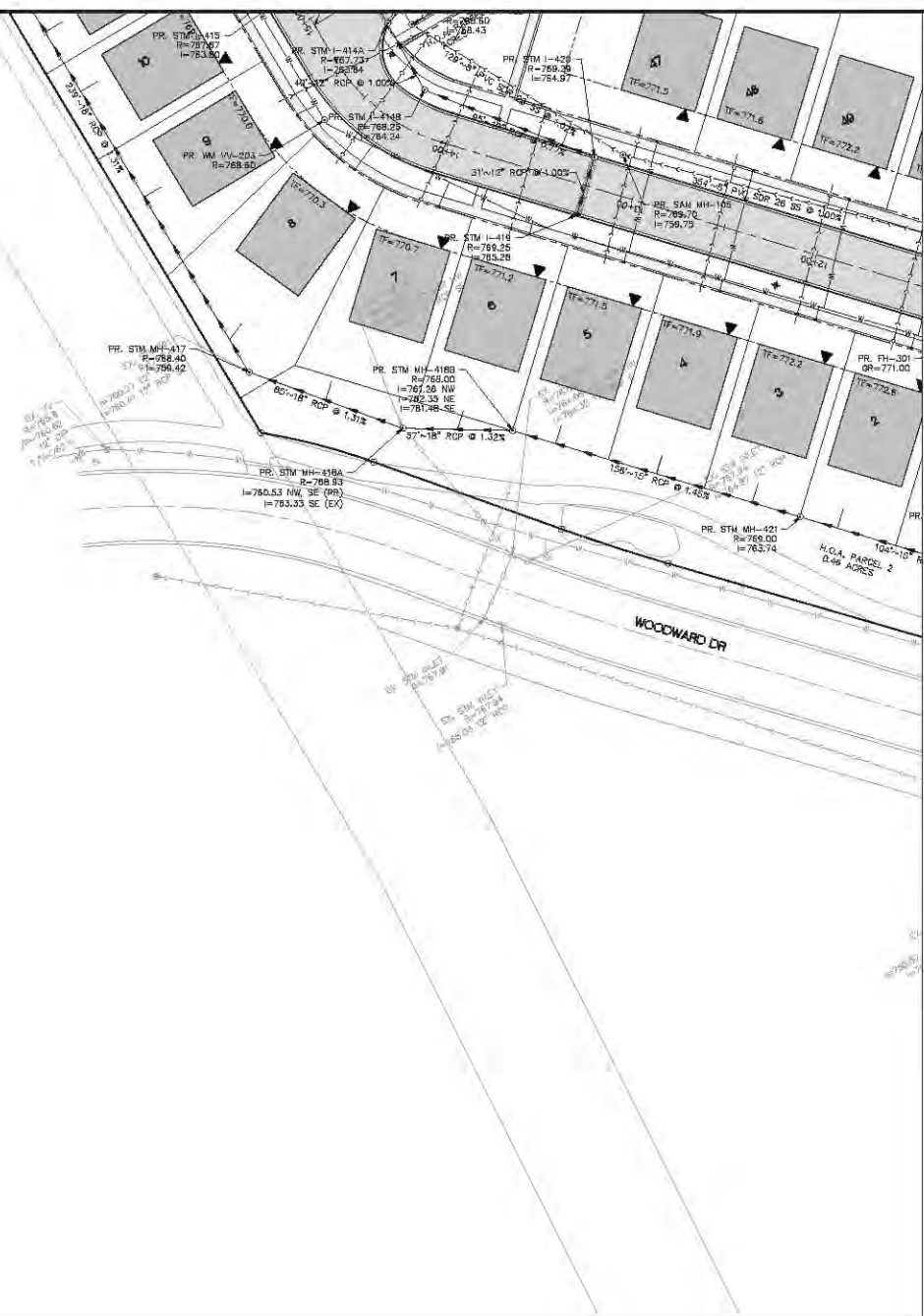
CLIENT:
CORPORATE RESERVE
DEVELOPMENT PARTNERS, LLC
270 ST. PAUL STREET, #300
DENVER, COLORADO 80206
PHONE NUMBER

WILLY BURKE KELLEY ASSOCIATES LTD.
2016
St. Charles, Illinois 60114
(630) 443-7755

PROJECT NO. 14202R
DATE: 10-08-2015
DRAWING NO. 100F 38
SHEET:

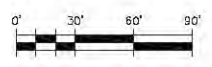
UT2

W/ADJOWNER



- LEGEND**
- MH = MANHOLE
 - CB = CATCH BASIN
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 2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.
 3. ALL WATERMAIN TO BE 8" DIA DIP CL. 53 UNLESS NOTED OTHERWISE ON PLANS.
 4. SEE PLAN OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
 5. ALL SANITARY SEWER AND WATER MAIN WILL BE OWNED BY THE CITY OF ST. CHARLES. ALL STORM SEWER WITHIN THE PUBLIC RIGHT OF WAY WILL BE OWNED BY THE CITY OF ST. CHARLES.
 6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.



**CORPORATE RESERVE
SUBDIVISION OF LOT 8
UTILITY PLAN**

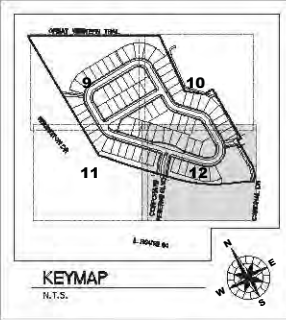
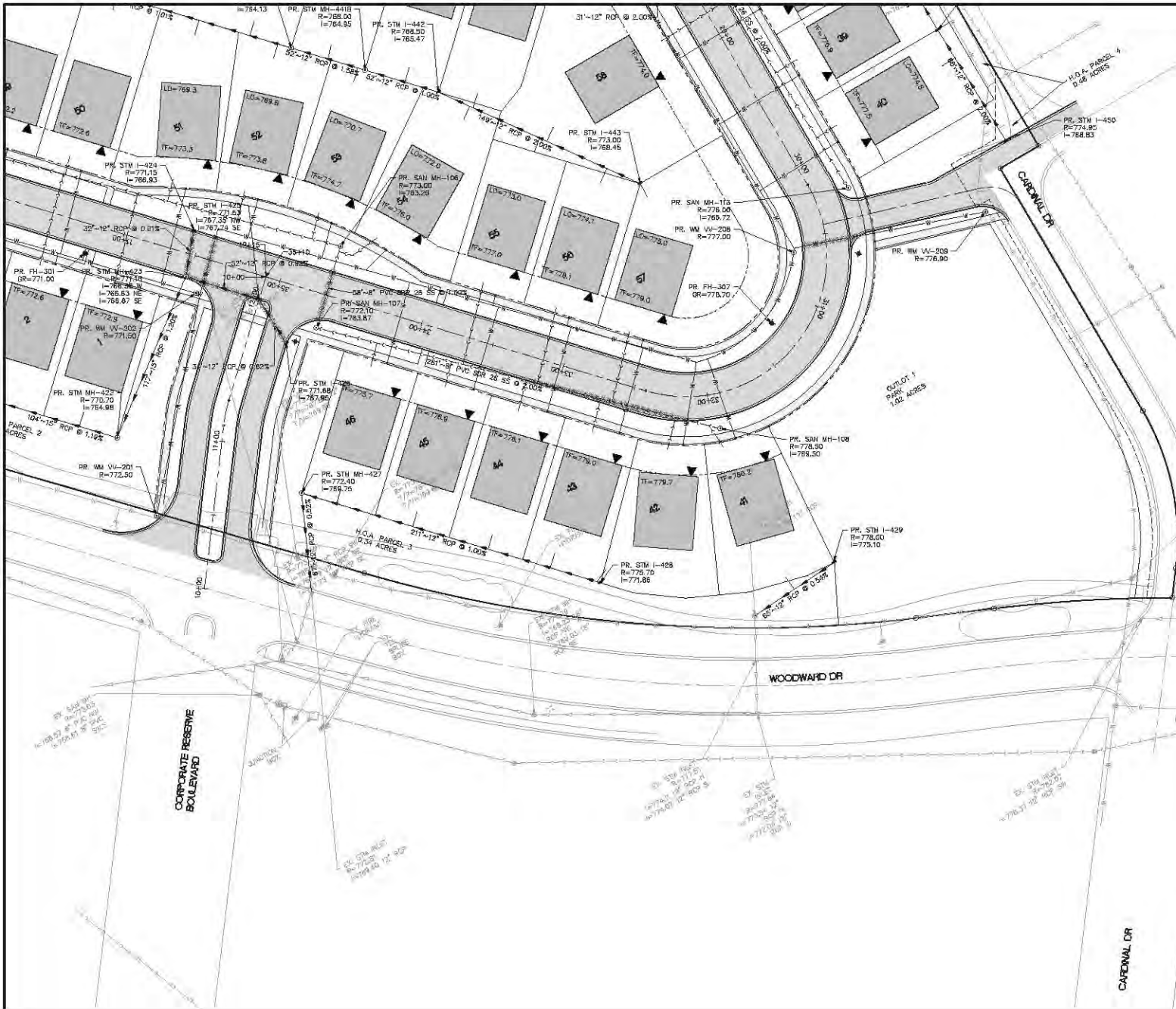
NO.	DATE	NUMBER OF REVISIONS	BY	DATE

CLIENT:
CORPORATE RESERVE
DEVELOPMENT PARTNERS, LLC
270 ST. PAUL STREET, #300
DENVER, COLORADO 80206
PHONE NUMBER

WILLIS BURKE KELSEY ASSOCIATES LTD.
1000 14th St, Suite 200
St. Charles, Illinois 60174
(630) 443-7755

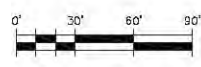
PROJECT NO. 140206
DATE: 10-08-2015
DRAWING NO. 11 OF 38
SHEET:

UT3



- LEGEND**
- MH = MANHOLE
 - CB = CATCH BASIN
 - E = FLARED END SECTION
 - S = SANITARY MANHOLE
 - FH = FIRE HYDRANT
 - W = VALVE VAULT
 - I = INLET

- NOTES:**
1. FIN GRADES FOR CURB STRUCTURES (INLETS, CATCH BASINS, AND MANHOLES) REFLECT THE TOP OF THE CURB GRADE.
 2. ALL SANITARY SEWERS SHALL BE 8" DIA PVC SDR 26 UNLESS NOTED OTHERWISE ON PLANS.
 3. ALL WATERMAIN TO BE 8" DIA DIP CL 53 UNLESS NOTED OTHERWISE ON PLANS.
 4. SEE PLAN OF SUBDIVISION FOR ALL UTILITY EASEMENTS.
 5. ALL SANITARY SEWER AND WATER MAIN WILL BE OWNED BY THE CITY OF ST. CHARLES. ALL STORM SEWER WITHIN THE PUBLIC RIGHT OF WAY WILL BE OWNED BY THE CITY OF ST. CHARLES.
 6. WATER SERVICE TO EACH UNIT SHALL BE 1" MINIMUM TYPE K COPPER PIPE AND WILL CONFORM TO CITY STANDARDS.



TITLE: **CORPORATE RESERVE SUBDIVISION OF LOT 8**

UTILITY PLAN

DATE	BY	NO.	SCALE			DATE	BY	NO.
			HORIZ.	VERT.	PLAN			

CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC
270 ST. PAUL STREET, #300
DENVER, COLORADO 80206
PHONE NUMBER**

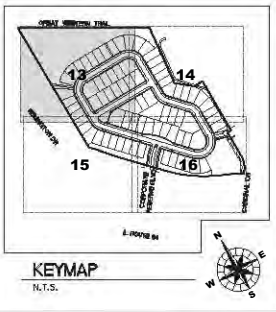
PROJECT NO. **140209**

DATE: **10-08-2015**

DRAWING NO. **120F38**

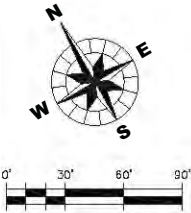
SHEET:

UT4

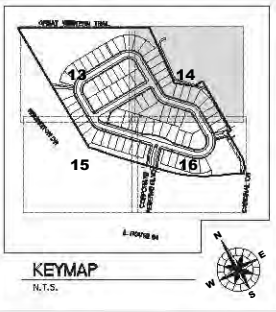


NOTES:

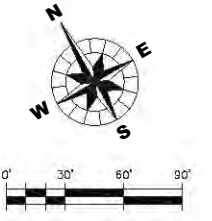
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEECED.
 2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
 3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
 4. SEE SHEET SPT FOR SPECIFICATIONS.
 5. OVERFLOW ROUTE →
 6. FLOW DIRECTION →
 7. SPOT GRADE = 74.88
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BANK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
8. EF = EDGE OF PAVEMENT GRADE
 9. R = RIM GRADE-RM GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE OUTLET
 10. IT = PROPOSED TOP OF FOUNDATION ELEVATION
 11. LO = PROPOSED LOOK-OUT ELEVATION
 12. MW = PROPOSED WALL-OUT ELEVATION
 13. PLO = PROPOSED PARTIAL LOOK-OUT
 14. GF = PROPOSED GARAGE FLOOR ELEVATION
 15. DS = PROPOSED DROP SIDING
16. FINISHED GRADE SHALL BE 4" BELOW IT UNLESS NOTED.
 17. RESPAVED 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
 18. APPROXIMATE DRIVEWAY LOCATION ▲
 19. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
 20. GARAGE FLOOR IS 0.5' BELOW IT UNLESS NOTED.
 21. ADDITIONAL MEASURES, INCLUDING THE INSTALLATION OF ADDITIONAL RETAINING WALLS, WILL BE TAKEN TO ADEQUATELY STABILIZE AND REDUCE THE SLOPES IN THE AREAS BETWEEN THE PROPOSED TOWNHOMES AND SINGLE FAMILY HOMES THAT HAVE SLOPES IN EXCESS OF 4:1. THESE AREAS WILL NEED TO BE EVALUATED ON A CASE BY CASE BASIS AND APPROPRIATE MEASURES INSTALLED BY THE DEVELOPER AS DETERMINED BY THE CITY OF ST. CHARLES.



CORPORATE RESERVE SUBDIVISION OF LOT 8	
GRADING AND DRAINAGE PLAN	
DESN. ARE DWN. ARE CHD. ARE SCALE: 1"=40'± DATE:	SHEET NO. 13 OF 38 PROJECT NO. 142206 DATE: 10-08-2015 DRAWING NO. 13 OF 38 SHEET:
WILLS BURKE KELSEY ASSOCIATES LTD. DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER (303) 443-7755	
GR1	

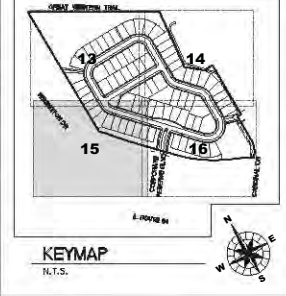
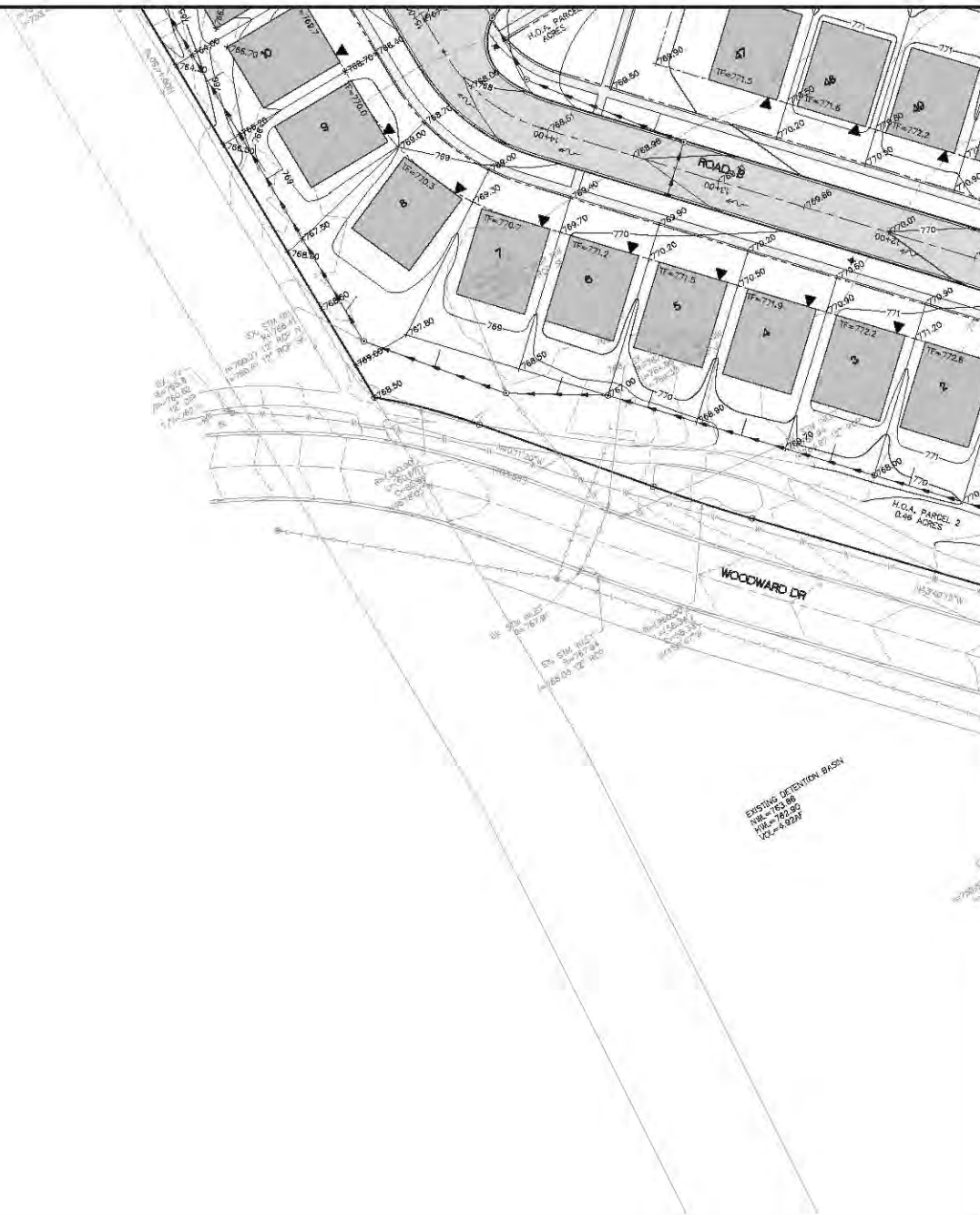


- NOTES:**
- ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
 - REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
 - MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
 - SEE SHEET SPT FOR SPECIFICATIONS.
 - OVERFLOW ROUTE →
 - FLOW DIRECTION →
 - SPOT GRADE = 741.88
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
8. EP = EDGE OF PAVEMENT GRADE
 R = RIM GRADE-RM GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE RUTTER
 TF = PROPOSED TOP OF FOUNDATION ELEVATION
 LO = PROPOSED LOOK-OUT ELEVATION
 W = PROPOSED WALK-OUT ELEVATION
 PLO = PROPOSED PARTIAL LOOK-OUT
 GF = PROPOSED GARAGE FLOOR ELEVATION
 DS = PROPOSED DROP SIGN
- FINISHED GRADE SHALL BE 4" BELOW TF UNLESS NOTED.
 - RESURFACE 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
 - APPROXIMATE DRIVEWAY LOCATION ▲
 - FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
 - GARAGE FLOOR IS 0.5' BELOW TF UNLESS NOTED.
 - ADDITIONAL MEASURES, INCLUDING THE INSTALLATION OF ADDITIONAL RETAINING WALLS, WILL BE TAKEN TO ADEQUATELY STABILIZE AND REDUCE THE SLOPES IN THE AREAS BETWEEN THE PROPOSED TOWNHOMES AND SINGLE FAMILY HOMES THAT HAVE SLOPES IN EXCESS OF 4:1 SLOPE. THESE AREAS WILL NEED TO BE EVALUATED ON A CASE BY CASE BASIS AND APPROPRIATE MEASURES INSTALLED BY THE DEVELOPER AS DETERMINED BY THE CITY OF ST. CHARLES.

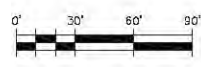


CORPORATE RESERVE SUBDIVISION OF LOT 8			
GRADING AND DRAINAGE PLAN			
DESIGN	DATE	SCALE	REVISION
DRAWN			
CHECKED			
DATE			
SCALE			
REVISION			
NO.	DATE		
CLIENT: CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80202 PHONE NUMBER			
PROJECT NO. 140208 DATE: 10-08-2015 DRAWING NO. 140F38 SHEET:			
GR2			

W. J. JOHNSON



- NOTES:
- ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEED.
 - REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
 - MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
 - SEE SHEET SPT FOR SPECIFICATIONS.
 - OVERFLOW ROUTE
 - FLOW DIRECTION
 - SPOT GRADE = 74.88
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
- E.P. = EDGE OF PAVEMENT DRIVE
 R = RIM GRADE-RIM GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE DUTTER
- IT = PROPOSED TOP OF FOUNDATION ELEVATION
 LO = PROPOSED LOOK-OUT ELEVATION
 MO = PROPOSED WALK-OUT ELEVATION
 PLO = PROPOSED PARTIAL LOOK-OUT
 GF = PROPOSED GARAGE FLOOR ELEVATION
 DS = PROPOSED DROP SIDING
- FINISHED GRADE SHALL BE 4" BELOW TF UNLESS NOTED.
 - RESPECAD 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
 - APPROXIMATE DRIVEWAY LOCATION
 - FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
 - GARAGE FLOOR IS 0.5' BELOW TF UNLESS NOTED.
 - ADDITIONAL MEASURES, INCLUDING THE INSTALLATION OF ADDITIONAL RETAINING WALLS, WILL BE TAKEN TO ADEQUATELY STABILIZE AND REDUCE THE SLOPES IN THE AREAS BETWEEN THE PROPOSED TOWNHOMES AND SINGLE FAMILY HOMES THAT HAVE SLOPES IN EXCESS OF 4:1 & 1 SLOPE. THESE AREAS WILL NEED TO BE EVALUATED ON A CASE BY CASE BASIS AND APPROPRIATE MEASURES INSTALLED BY THE DEVELOPER AS DETERMINED BY THE CITY OF ST. CHARLES.



CORPORATE RESERVE SUBDIVISION OF LOT 8

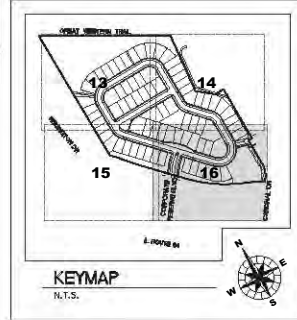
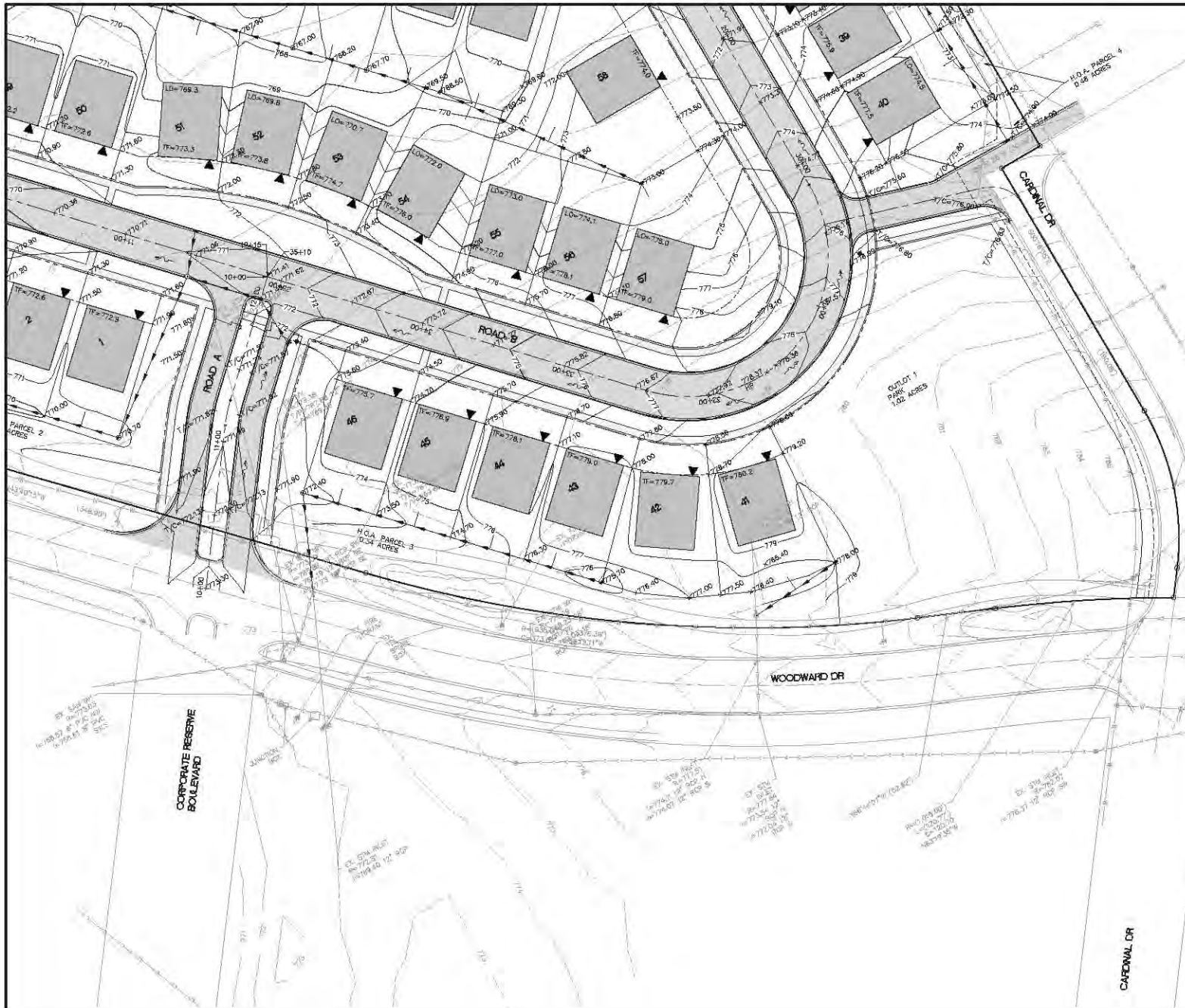
GRADING AND DRAINAGE PLAN

DESIGN	DATE	SCALE	REVISION
AWB	10/08/2015	AS SHOWN	

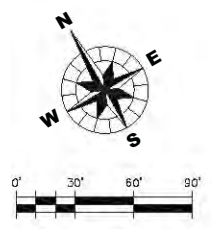
CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**
 270 ST. PAUL STREET, #300
 DENVER, COLORADO 80206
 PHONE NUMBER: 720-246-2011

PROJECT NO. 140209
 DATE: 10-08-2015
 DRAWING NO. 15 OF 36
 SHEET:

GR3



- NOTES:**
1. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED.
 2. REFER TO DETAIL SHEETS FOR TYPICAL PAVEMENT SECTION AND TYPICAL LOT GRADING.
 3. MAXIMUM SIDE SLOPES OF DETENTION BASIN ARE 4:1.
 4. SEE SHEET SPI FOR SPECIFICATIONS.
 5. OVERFLOW ROUTE
 6. FLOW DIRECTION
 7. SPOT GRADE = 78.88
- ALL SPOT GRADES REPRESENT FINISHED GRADE, OR BACK OF CURB FINISHED GRADE UNLESS OTHERWISE NOTED.
8. EP = EDGE OF PAVEMENT GRADE
 R = RIM GRADE-RM GRADES FOR STORM STRUCTURE IN THE CURB REPRESENT THE FLOW LINE OF THE OUTLET
- IT = PROPOSED TOP OF FOUNDATION ELEVATION
 LO = PROPOSED LOOK-OUT ELEVATION
 WD = PROPOSED WALK-OUT ELEVATION
 PLO = PROPOSED PARTIAL LOOK-OUT
 GF = PROPOSED GARAGE FLOOR ELEVATION
 DS = PROPOSED DROP SIDING
8. FINISHED GRADE SHALL BE 4" BELOW IT UNLESS NOTED.
 10. RESPAREAD 6" TOPSOIL IN ALL DISTURBED GRASS AREAS.
 11. APPROPRIATE DRIVEWAY LOCATION
 12. FOR DEMOLITION OF EXISTING STRUCTURES SEE ECI.
 13. GARAGE FLOOR IS 0.5' BELOW IT UNLESS NOTED.
 14. ADDITIONAL MEASURES, INCLUDING THE INSTALLATION OF ADDITIONAL RETAINING WALLS, WILL BE TAKEN TO ADEQUATELY STABILIZE AND REDUCE THE SLOPES IN THE AREAS BETWEEN THE PROPOSED TOWNHOMES AND SINGLE FAMILY HOMES THAT HAVE SLOPES IN EXCESS OF 4:1 SLOPE. THESE AREAS WILL NEED TO BE EVALUATED ON A CASE BY CASE BASIS AND APPROPRIATE MEASURES INSTALLED BY THE DEVELOPER AS DETERMINED BY THE CITY OF ST. CHARLES.



CORPORATE RESERVE SUBDIVISION OF LOT 8

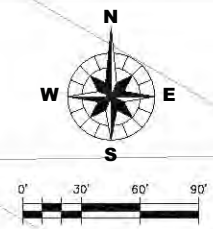
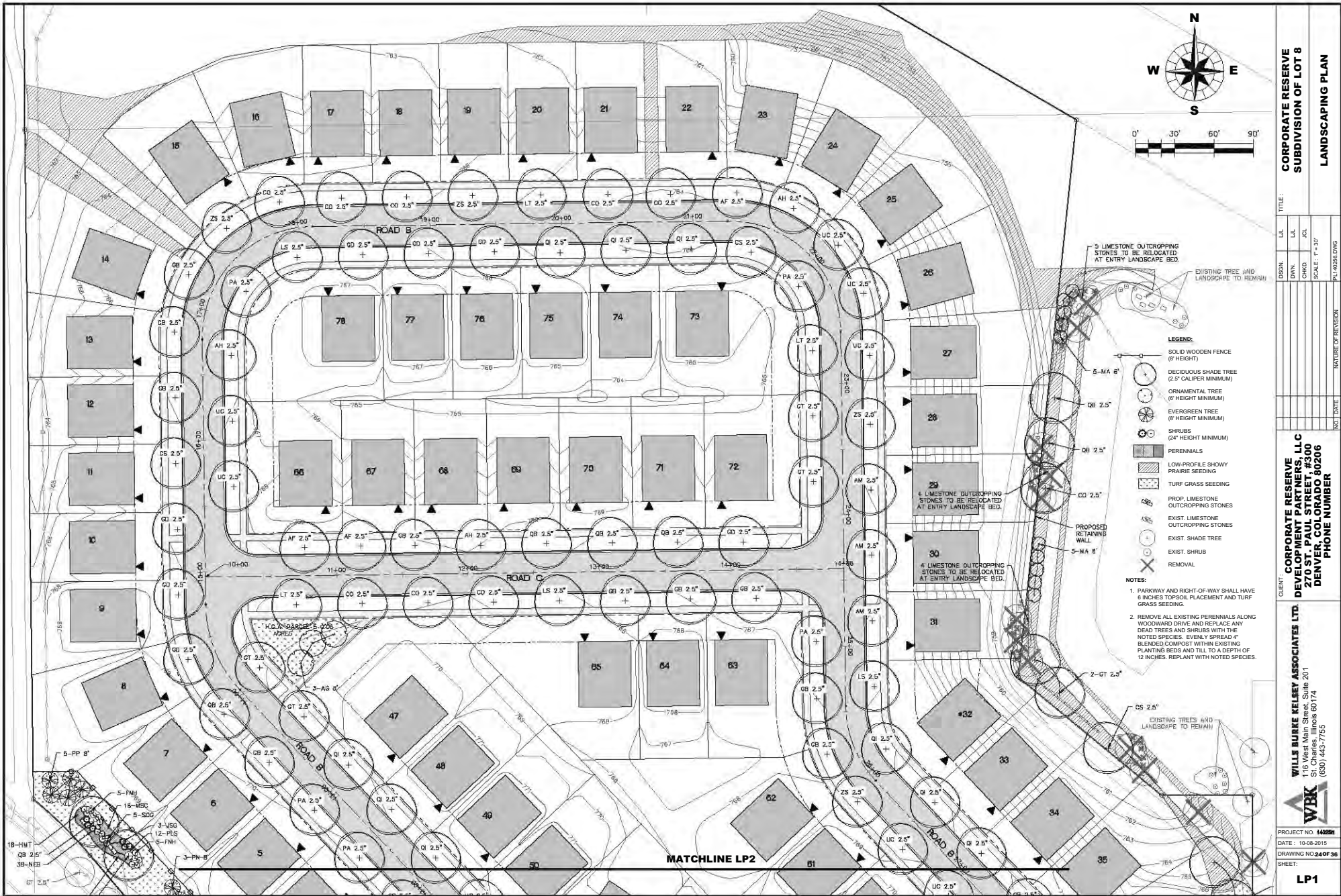
GRADING AND DRAINAGE PLAN

NO.	DATE	NUMBER OF REVISIONS	SCALE	BY	CHKD.	APP.	SEC.

CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**
 270 ST. PAUL STREET, #300
 DENVER, COLORADO 80206
 PHONE NUMBER

PROJECT NO. 140298
 DATE: 10-08-2015
 DRAWING NO. 160F38
 SHEET:

GR4

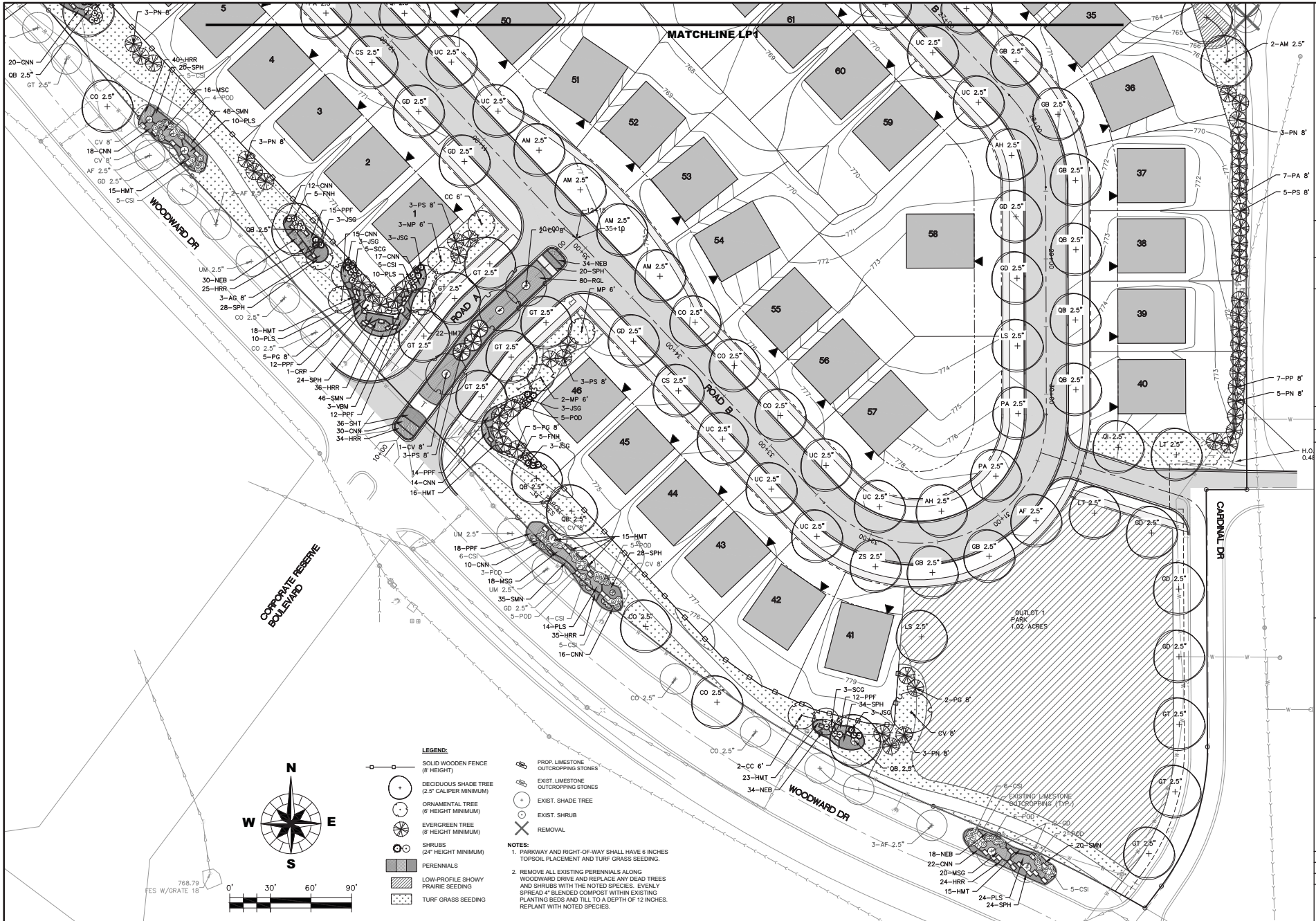


- LEGEND:**
- (Symbol) SOLID WOODEN FENCE (8' HEIGHT)
 - (Symbol) DECIDUOUS SHADE TREE (2.5" CALIPER MINIMUM)
 - (Symbol) ORNAMENTAL TREE (8' HEIGHT MINIMUM)
 - (Symbol) EVERGREEN TREE (8' HEIGHT MINIMUM)
 - (Symbol) SHRUBS (24" HEIGHT MINIMUM)
 - (Symbol) PERENNIALS
 - (Symbol) LOW-PROFILE SHADY PRAIRIE SEEDING
 - (Symbol) TURF GRASS SEEDING
 - (Symbol) PROP. LIMESTONE OUTCROPPING STONES
 - (Symbol) EXIST. LIMESTONE OUTCROPPING STONES
 - (Symbol) EXIST. SHADE TREE
 - (Symbol) EXIST. SHRUB
 - (Symbol) REMOVAL
- NOTES:**
1. PARKWAY AND RIGHT-OF-WAY SHALL HAVE 6 INCHES TOPSOIL PLACEMENT AND TURF GRASS SEEDING.
 2. REMOVE ALL EXISTING PERENNIALS ALONG WOODWARD DRIVE AND REPLACE ANY DEAD TREES AND SHRUBS WITH THE NOTED SPECIES. EVENLY SPREAD 4" BLENDED COMPOST WITHIN EXISTING PLANTING BEDS AND TILL TO A DEPTH OF 12 INCHES. REPLANT WITH NOTED SPECIES.

CORPORATE RESERVE SUBDIVISION OF LOT 8 LANDSCAPING PLAN	
DATE: _____	TITLE: _____
DRAWN: _____	SCALE: 1" = 30'
CHECKED: _____	PL: 0265.DWG
DATE: _____	NUMBER OF REVISIONS: _____
DATE: _____	NOT: _____

CLIENT: **CORPORATE RESERVE DEVELOPMENT PARTNERS, LLC**
270 ST. PAUL STREET, #300
DENVER, COLORADO 80206
PHONE NUMBER _____

PROJECT NO. **140209**
DATE: 10-08-2015
DRAWING NO. **24 OF 36**
SHEET: **LP1**

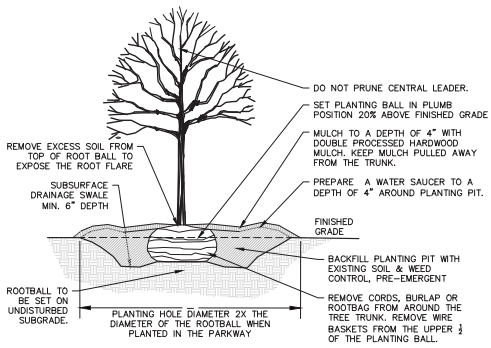


CLIENT: WILLI WUNKE KELLEY ASSOCIATES LTD. DEVELOPMENT PARTNERS, LLC 270 ST. PAUL STREET, #300 DENVER, COLORADO 80206 PHONE NUMBER: (303) 443-7755		TITLE: CORPORATE RESERVE SUBDIVISION OF LOT 8 LANDSCAPING PLAN	
PROJECT NO. 140256 DATE: 10-08-2015 DRAWING NO. 25 OF 36 SHEET:	U.S. L.S. 1/4" = 1' 30" U.S. SCL. 1/4" = 1' 30" U.S. CON. 1/4" = 1' 30" U.S. DATE:	U.S. L.S. 1/4" = 1' 30" U.S. SCL. 1/4" = 1' 30" U.S. CON. 1/4" = 1' 30" U.S. DATE:	U.S. L.S. 1/4" = 1' 30" U.S. SCL. 1/4" = 1' 30" U.S. CON. 1/4" = 1' 30" U.S. DATE:

LP2

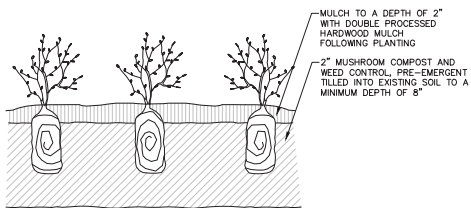
GENERAL NOTES

- A. ALL PLANTS SHALL CONFORM IN SIZE AND GRADE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK.
- B. ALL PLANTS WILL BE HANDLED AND PLANTED IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES AND PROFESSIONAL STANDARDS AS PUBLISHED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION IN "A UNIFORM SET OF WORKMANSHIP STANDARDS IN LANDSCAPE SPECIFICATIONS."
- C. SPECIFIED VARIETIES OF ANY SPECIES SHALL BE SPECIMEN TYPE TREES AND SHALL BE FIRST CLASS REPRESENTATIVES OF THEIR NORMAL SPECIES AND VARIETIES. THEY SHALL HAVE WELL DEVELOPED ROOT AND BRANCH SYSTEMS, REASONABLY STRAIGHT STEMS, AND A WELL DEFINED SINGLE LEADER.
- D. TREES SHALL BE NURSERY GROWN WITH A GOOD COMPACT, FULLY DEVELOPED FIBROUS ROOT SYSTEM WHICH HAS BEEN DEVELOPED BY PROPER CULTURAL TREATMENT AND IS SUFFICIENT ENOUGH TO SURE PLANT GROWTH.
- E. TREES SHALL BE A MINIMUM TRUNK DIAMETER OF THREE INCHES, CALIPERED AT FOUR AND ONE-HALF FEET ABOVE THE HIGHEST GROUND LEVEL. TREES SHALL BE NORTHERN NURSERY GROWN (HARDINESS ZONE 5 USDA MAP). TREES SHALL HAVE BEEN TRANSPLANTED TWICE, THE LAST TRANSPLANTING NOT LESS THAN FOUR YEARS PRIOR TO PLANTING. ALL TREES SHALL BE TAGGED AND IDENTIFIED AS TO SPECIES, SIZE, AND PLACE OF ORIGIN. TAGS SHALL REMAIN IN PLACE UNTIL INSPECTION AND APPROVAL BY THE PUBLIC WORKS DEPARTMENT IS DONE BOTH AT THE NURSERY AND AT THE FINAL PLANTING SITE. ALL TREES SHALL BE BALLED AND BURLAPPED. ALL TREES SHALL HAVE STRAIGHT TRUNKS AND GOOD BRANCHING. BRANCHES SHALL BEGIN FROM FIVE TO SIX FEET ABOVE THE GROUND LEVEL, AND SHALL BE HIGH QUALITY REPRESENTATIVES OF THEIR SPECIES IN ALL REGARDS, INCLUDING GENERAL SHAPE. EACH TREE SHALL BE PLANTED PLUMB AND AT THE SAME LEVEL AS WHERE IT STOOD IN THE NURSERY IN RELATION TO FINISHED GRADE. BACKFILL SHALL BE BLACK TOPSOIL PROPERLY FERTILIZED WITH ORGANIC FERTILIZER AND SHALL BE THOROUGHLY WATERED WHEN THE HOLE IS TWO-THIRDS FULL OF TOPSOIL. ALL SPILLS SHALL BE REMOVED FROM THE SITE.
- F. AFTER WATERING, THE FILLING SHALL BE COMPLETED AND THE SOIL THOROUGHLY TAPPED. AFTER PLANTING, A FOUR INCH HARDWOOD BARK MULCH OR AN APPROVED EQUAL SHALL BE APPLIED OVER THE DISTURBED GROUND AND A SHALLOW WATERING BASIN PROVIDED AROUND THE TREE.
- G. ALL DIGGING OF TREES IN THE NURSERY AND ALL PLANTING SHALL BE DONE DURING THE PROPER SEASON.
- H. ALL TREES SHALL BE MAINTAINED UNTIL ESTABLISHED. ALL TREES NOT IN A VIGOROUS GROWING CONDITION AFTER ONE GROWING SEASON SHALL BE REPLACED AT THE BEGINNING OF THE NEXT SUCCEEDING PLANTING SEASON.
- I. TREE PITS SHALL BE AT LEAST EIGHTEEN INCHES WIDER THAN THE DIAMETER OF THE BALL, HAVE VERTICAL SIDES AND A DEPTH OF AT LEAST TWENTY-FOUR INCHES BELOW FINISHED GRADE.
- J. ALL TREES SHALL BE WRAPPED WITHIN SEVENTY TWO HOURS AFTER PLANTING. TRUNKS OF THE TREES SHALL BE WRAPPED SPIRALLY FROM TOP TO BOTTOM WITH WATERPROOF GREPE PAPER, AND SHALL BE SECURELY TIED WITH HEMP CORD AT TOP AND BOTTOM AND AT TWELVE-INCH INTERVALS ALONG THE TRUNK. THE WRAP SHALL COVER THE TRUNK FROM THE GROUND TO THE FIRST BRANCH AND SHALL BE NEAT AND SNUG.



TREE PLANTING DETAIL

N.T.S.



PERENNIAL PLANTING DETAIL

N.T.S.

LANDSCAPE PLANTINGS					
QUANTITY	CODE	SCIENTIFIC NAME	COMMON NAME	TYPE	SIZE
SHADE TREES					
5.0	AF	ACER FREEMANI 'JEFFERSRED'	AUTUMN BLOOM MAPLE	B & B	2.5" CALIPER
10.0	AM	ACER MAYBEI 'MORTON'	STATE STREET MAPLE	B & B	2.5" CALIPER
5.0	AH	AESCLUS HIPPOCASTANUM	HORSE CHESTNUT	B & B	2.5" CALIPER
5.0	CS	CATALPA SPECIOSA	CATALPA TREE	B & B	2.5" CALIPER
15.0	CO	CELTIS OCCIDENTALIS	HACKBERRY	B & B	2.5" CALIPER
15.0	GB	GINKGO BILOBA 'PRINCEITON SENTRY'	MAIDENHAIR TREE	B & B	2.5" CALIPER
15.0	GT	GLEDITSIA TRIACANTHOS 'SKYLINE'	HONEYLOCUST	B & B	2.5" CALIPER
15.0	GD	GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEE TREE	B & B	2.5" CALIPER
5.0	LS	LICQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	B & B	2.5" CALIPER
5.0	LT	LIRIODENDRON TULIPIFERA	TULIP TREE	B & B	2.5" CALIPER
5.0	PA	PLATANUS x ACERIFOLIA 'MORTON EUCLID'	OVATION PLANETREE	B & B	2.5" CALIPER
15.0	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CALIPER
10.0	QI	QUERCUS IMBERICARIA	SINGLE OAK	B & B	2.5" CALIPER
15.0	UC	ULMUS 'MORTON'	ACCOLADE ELM	B & B	2.5" CALIPER
5.0	ZS	ZELKOVA SERRATA	JAPANESE ZELKOVA	B & B	2.5" CALIPER
ORNAMENTAL TREES					
6.0	AG	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	B & B	8' HEIGHT
3.0	CC	CERCIS CANADENSIS	EASTERN REDBUD	B & B	8' HEIGHT
4.0	CV	CRATAEGUS VIRIDIS 'WINTER KING'	GREEN HAWTHORN	B & B	8' HEIGHT
10.0	MA	MALUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	B & B	8' HEIGHT
6.0	MP	MALUS 'PRAIRIE FIRE'	CRABAPPLE	B & B	8' HEIGHT
EVERGREEN TREES					
12.0	PG	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	8' HEIGHT
5.0	PP	PICEA PUGNENS	COLORADO GREEN SPRUCE	B & B	8' HEIGHT
9.0	PN	PINUS NIGRA	AUSTRIAN PINE	B & B	8' HEIGHT
9.0	PS	PINUS STROBUS	EASTERN WHITE PINE	B & B	8' HEIGHT
200.0 TOTAL TREE PLANTING					
SHRUBS					
5.0	CSI	CORNUS SERICEA 'NSANT'	REDOSBER DOGWOOD	CONTAINER	24" HEIGHT
1.0	CRP	COTINUS COGGYGRIA 'ROYAL PURPLE'	PURPLE SMOKEBUSH	CONTAINER	36" HEIGHT
20.0	FNI	FORSYTHIA X INTERMEDIA 'NEW HAMPSHIRE GOLD'	NEW HAMPSHIRE GOLD FORSYTHIA	CONTAINER	24" HEIGHT
21.0	JSG	JUNIPERUS X PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER	CONTAINER	24" HEIGHT
5.0	POD	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	PURPLELEAF NINEBARK	CONTAINER	24" HEIGHT
80.0	RGL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	CONTAINER	12" HEIGHT - 36" O.C.
15.0	SCG	SPIRAEA X CINEREA 'GREFSHEIM'	FIRST SNOW SPIREA	CONTAINER	24" HEIGHT
3.0	VBM	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN VIBURNUM	CONTAINER	36" HEIGHT
150.0 TOTAL SHRUB PLANTING					
PERENNIALS					
174.0	CNN	CALAMINTHA NEPETA SPP. NEPETA	LESSER CALAMINTHA	CONTAINER	1 GALLON - 24" O.C.
142.0	HMT	HEMEROCALLIS 'MARY TODD'	MARY TODD	CONTAINER	1 GALLON - 24" O.C.
194.0	HRR	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS	CONTAINER	1 GALLON - 18" O.C.
72.0	MSG	MISCANTHUS SINENSIS 'GRACILIMUS'	MAIDEN GRASS	CONTAINER	3 GALLON - 36" O.C.
154.0	NEB	NEPETA RACEMOSA 'EARLY BIRD'	EARLY BIRD CATMINT	CONTAINER	1 GALLON - 18" O.C.
83.0	PPF	PANICUM VIRGATUM 'PRAIRIE BIRD'	PRAIRIE BIRD SWITCH GRASS	CONTAINER	3 GALLON - 36" O.C.
80.0	PLS	PEROVSKIA ATRIPLEXIFOLIA	RUSSIAN SAGE	CONTAINER	3 GALLON - 36" O.C.
102.0	SPH	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSSEED	CONTAINER	1 GALLON - 24" O.C.
149.0	SMN	SALVIA NEMEROSA 'MAY NIGHT'	MAY NIGHT SALVIA	CONTAINER	1 GALLON - 18" O.C.
1150.0 TOTAL PERENNIAL PLANTING					

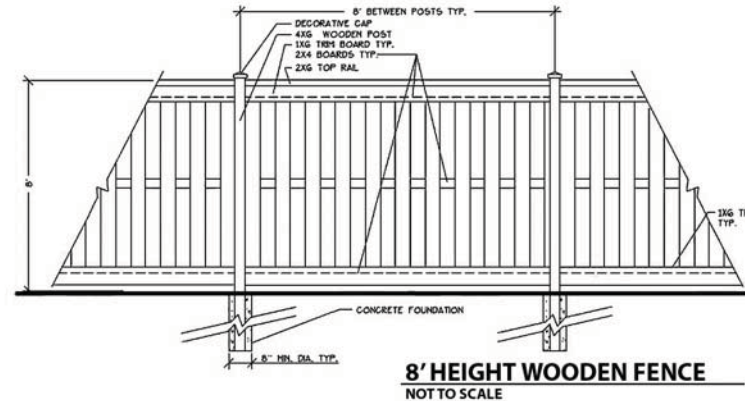
SHRUB PLANTING DETAIL

N.T.S.

TURF GRASS SEEDING	
RATE (LBS/ACRE)	COMMON NAME
60.0	PARK KENTUCKY BLUEGRASS
60.0	DAWSON CREEPING RED FESCUE
60.0	*FULTS' PUCCELLIELLA DISTANS
20.0	PENNFINE PERENNIAL RYEGRASS
200.0	TOTAL RATE PER ACRE (LBS)

CITY OF ST. CHARLES - LANDSCAPE ORDINANCE CALCULATIONS	
DESCRIPTION	REQUIREMENT
TOTAL PUBLIC SITE AREA	481,903.4 SQFT
TOTAL IMPERVIOUS AREA	164,917.5 SQFT
PERCENTAGE OF IMPERVIOUS AREA	34.2%
TOTAL LANDSCAPE AREA	316,985.9 SQFT
PERCENTAGE OF LANDSCAPE AREA	65.8%
PARKWAY LANDSCAPE AREA	18,789.8 SQFT

TURF GRASS SEEDING		
RATE (LBS/ACRE)	SCIENTIFIC NAME	COMMON NAME
1.000	AGROPYRON TRACHYCALLUM	SLENDER WHEAT GRASS
3.000	ANDROPOGON SCOPARIUS	LITTLE BLUE STEM
1.000	BOUTELOUA CURTIPENDULA	SIDE OATS GRAMA
1.000	ELIMYS CANADENSIS	CANADA WILD RYE
1.000	ELIMYS VIRGINICUS	VIRGINIA WILD RYE
0.125	JUNCUS TENUIS	SLENDER PATH RUSH
0.125	ASCLEPIAS TUBEROSA	BUTTERFLY WEED
0.125	ASTER LAEVIS	SMOOTH BLUE ASTER
0.250	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER
0.250	CASSIA FASCICULATA*	PARTRIDGE PEA
1.000	COREOPSIS LANCEOLATA	SAND COREOPSIS
0.625	DESMANTHUS ILLINOENSIS	ILLINOIS BUNGLE FLOWER
0.625	ECHINACEA PURPUREA	PURPLE CONEFLOWER
0.250	HELIOPSIS HELIANTHODES	OX-EYE SUNFLOWER
0.250	LIATRIS ASPERA	BUTTON BLAZING STAR
0.125	LIATRIS SPICATA	SPIKED GAYFEATHER
0.250	LUPINUS PERENNIS OCCIDENTALIS	LUPINE
0.063	MONARDA FISTULOSA	WILD BERGAMOT
0.188	PENSTEMON DIGITALIS	FOXGLOVE BEARTOUNGE
0.500	PETALOSTEMUM PURPUREUM	PURPLE PRAIRIE CLOVER
0.063	PYCANANTHEMUM VIRGINIANUM	COMMON MOUNTAIN MINT
0.625	RATIBIDA PINNATA	YELLOW CONEFLOWER
0.750	RUBICECKA HIRTA	BLACK-EYED SUSAN
0.125	SOLIDAGO RIGIDA	TIFFIN GOLDENROD
0.063	TRADESCANTIA OHIENSIS	OHIO SPIDERWORT
0.125	VERBENA STRICTA	HOARY VERVAIN
13.502	TOTAL RATE PER ACRE (LBS)	* INNOCULANT REQUIRED



CORPORATE RESERVE SUBDIVISION OF LOT 8 LANDSCAPING PLAN

CLIENT: **WILLI WUNKE KELBEY ASSOCIATES LTD.**
 DEVELOPMENT PARTNERS, LLC
 270 ST. PAUL STREET, #300
 DENVER, COLORADO 80202
 PHONE NUMBER

PROJECT NO. 140256
 DATE: 10-08-2015
 DRAWING NO. 26 OF 36
 SHEET:

LP3

Traffic Impact Study

Corporate Reserve Residential Development

St Charles, Illinois



Prepared by



August 7, 2015

1.

Introduction

This report summarizes the methodologies, results and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed Corporate Reserve residential development to be located north of Woodward Drive opposite Corporate Reserve Boulevard in St. Charles, Illinois. The site is undeveloped land and is bounded by undeveloped land/Great Western Trail to the north, Cardinal Drive with commercial/residential to the east, Woodward Drive to the south, and residential homes/Great Western Trail spur to the west.

The plans call for developing the site to provide approximately 78 single-family homes. Access to the development will primarily be served by a main/full access off Woodward Drive that will align with Corporate Reserve Boulevard, becoming the fourth/north leg of the existing T-intersection. A secondary access will be provided via Cardinal Drive.

The following sections of this report present the following.

- Existing roadway conditions including traffic volumes for the weekday morning and weekday evening peak hours
- A detailed description of the proposed development
- Vehicle trip generation for the proposed development
- Directional distribution of development-generated traffic
- Regional development growth in traffic for Year 2021 conditions
- Future transportation conditions including access to and from the development

Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following two conditions.

1. Existing Condition - Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. Future Condition - This condition projects traffic to Year 2021, which includes buildout of the development plus five years. Included in the future condition are the existing traffic volumes increased by a regional growth percentage of six percent (or one percent per year), and the traffic estimated to be generated by the proposed subject development.

The purpose of this study was to examine existing traffic conditions, assess the impact that the proposed development would have on traffic conditions in the area and determine what geometric and traffic control improvements are necessary to accommodate the projected conditions.

2. Existing Conditions

Transportation conditions in the vicinity of the site were inventoried to obtain a basis for projecting future conditions. Three components of existing conditions were considered:

1. The geographic location of the site
2. The characteristics of the adjacent roadway system, including lane geometry and intersection traffic controls
3. The weekday peak-hour traffic volumes at intersections in the vicinity of the proposed development site

Site Location

As noted previously, the proposed single-family home residential development will be located north of Woodward Drive opposite Corporate Reserve Boulevard in St. Charles, Illinois. The site is undeveloped land and is bounded by undeveloped land/Great Western Trail to the north, Cardinal Drive with commercial/residential to the east, Woodward Drive to the south, and residential homes/Great Western Trail spur to the west.

Figure 1 shows the site location with respect to the surrounding roadway system.

Figure 2 shows the concept site plan.

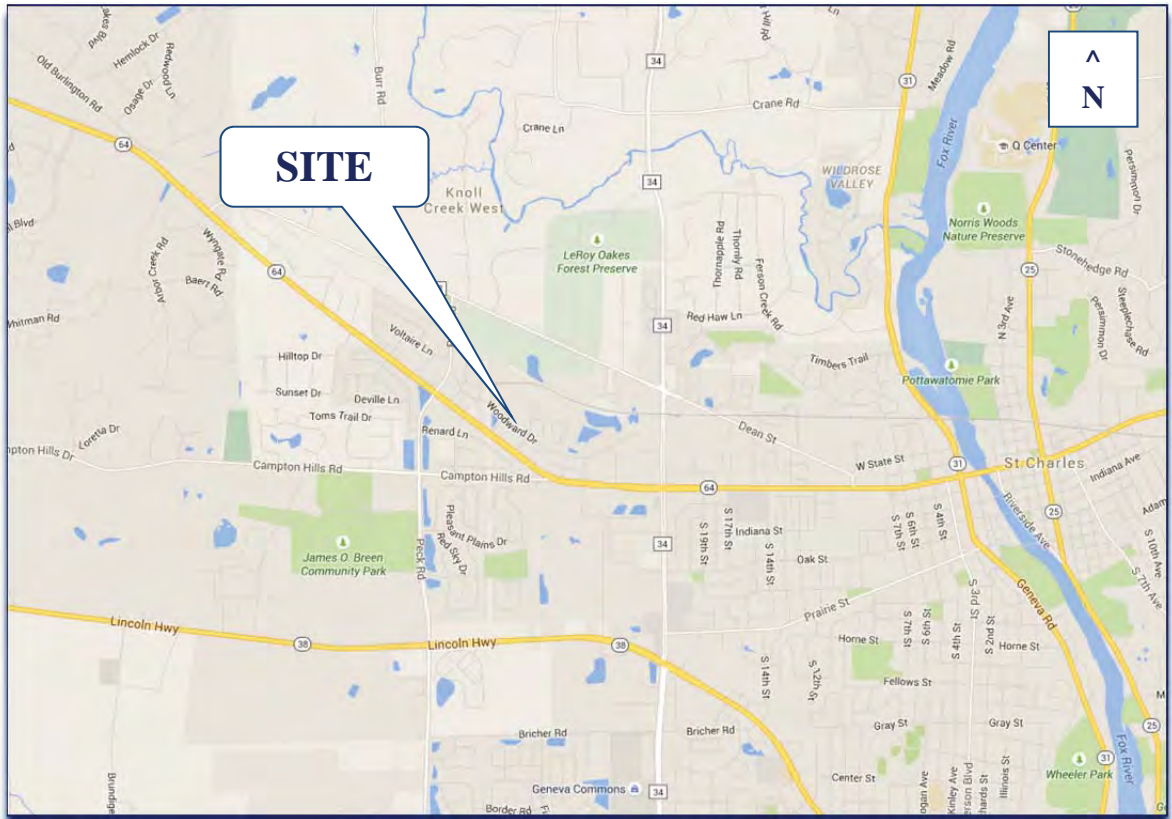


Figure 1

SITE LOCATION



Figure 2

CONCEPT SITE PLAN

Existing Roadway System Characteristics

The characteristics of the existing roadways that surround the proposed development are illustrated in **Figure 3** and described below.

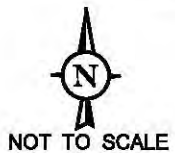
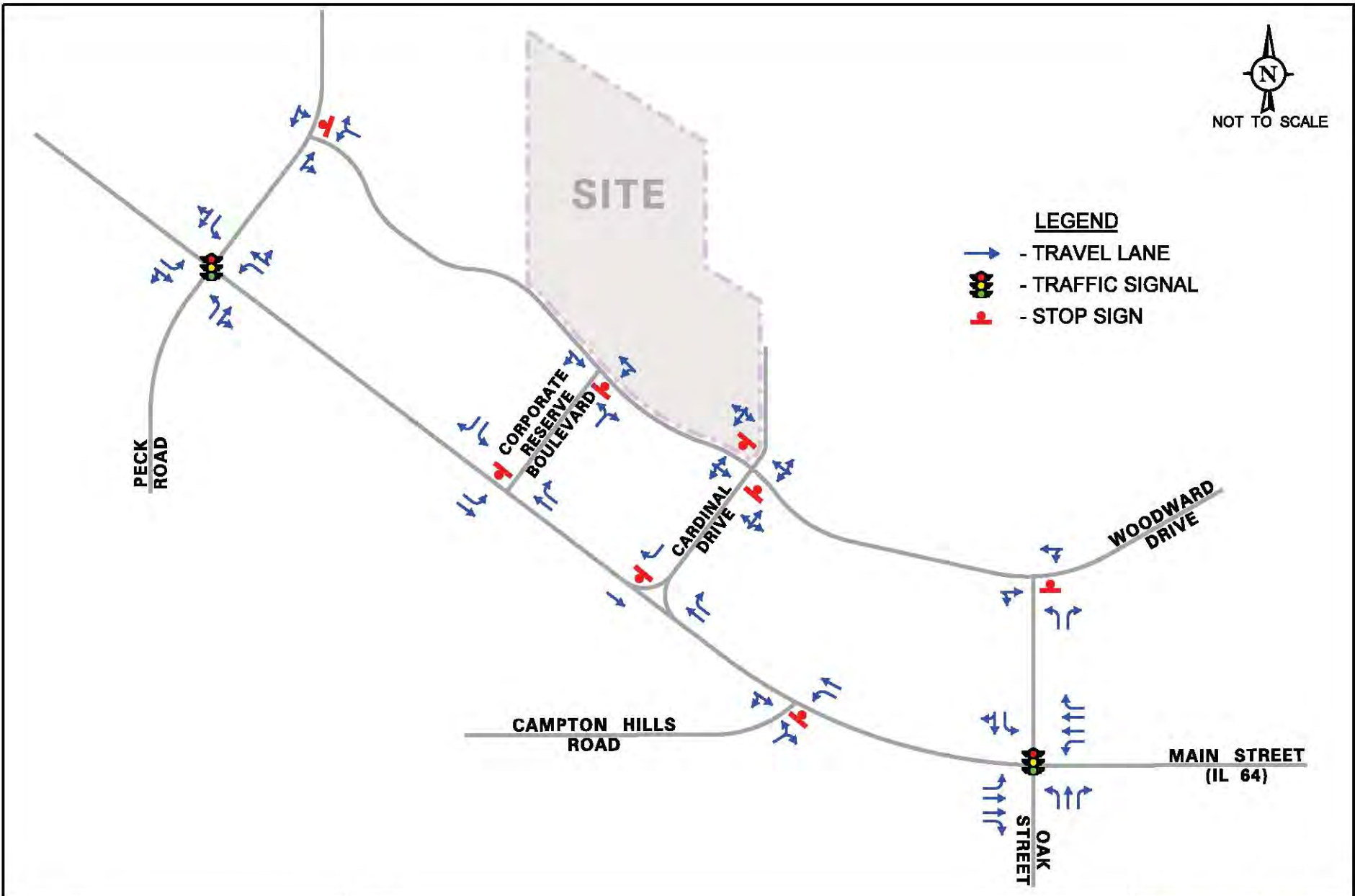
Woodward Drive is an east-west collector roadway that is under the jurisdiction of the City of St. Charles and provides one lane in each direction. Sidewalk is provided on the south side of the roadway and a pedestrian/bicycle trail is located on the north side of the roadway. The posted speed limit is 30 mph in the vicinity of the site, and on-street parking is prohibited. Woodward Drive is under stop sign control at its western terminus with Peck Road.

Corporate Reserve Boulevard extends from Main Street (IL Route 64) to Woodward Drive, providing one lane in each direction, separated by a landscaped median. The pavement width in each direction is approximately 22 feet wide; therefore, Corporate Reserve Boulevard could be striped to provide two, 11-foot lanes in each direction. At its southbound approach to Main Street, a separate left-turn lane and a right-turn lane are provided. Corporate Reserve Boulevard is under stop sign control at its northern terminus with Woodward Drive and its southern terminus with Main Street and parking is prohibited on both sides of the roadway. Corporate Reserve Boulevard is under the jurisdiction of the City of St. Charles.

Oak Street is a two-way collector roadway that is signalized at its intersection with Main Street. Oak Street is under stop sign control at its T-intersection with Woodward Drive, north of Main Street. Parking is prohibited on both sides of the roadway. Oak Street is under the jurisdiction of the City of St. Charles.

Cardinal Drive extends from Main Street to Woodward Drive, providing one lane in each direction. At its intersection with Main Street, Cardinal Drive is restricted to right-in/right-out only turning movements. Cardinal Drive is under stop sign control at its northern terminus with Woodward Drive and its southern terminus with Main Street and parking is prohibited on both sides of the roadway. Cardinal Drive is under the jurisdiction of the City of St. Charles. North of Woodward Drive, Cardinal Drive provides access to a commercial development and is a private roadway.

Peck Road is a two-way minor arterial roadway that provides one lane in each direction and is signalized at its intersection with Main Street. The posted speed limit is 35 mph, and parking is prohibited on both sides of the roadway. A pedestrian/bicycle trail is located on the west side of the roadway. Peck Road is under the jurisdiction of the City of St. Charles. According to the Illinois Department of Transportation's (IDOT) website, Peck Road carries an average daily traffic (ADT) volume of 4,350 vehicles.



PROJECT:
Corporate Reserve
St. Charles, Illinois

TITLE:
Existing Street Characteristics

KLOA
Job No: 15-102
Figure: 3

Main Street (IL 64) is a two-way major arterial and is under the jurisdiction of IDOT. Parking is prohibited on both sides of the roadway, and the posted speed limit is 40 mph. At its signalized intersection with Peck Road to the east, Main Street widens to provide two through lanes in each direction. According to IDOT's website, Main Street carries an ADT volume of 22,400 vehicles in the vicinity of the site.

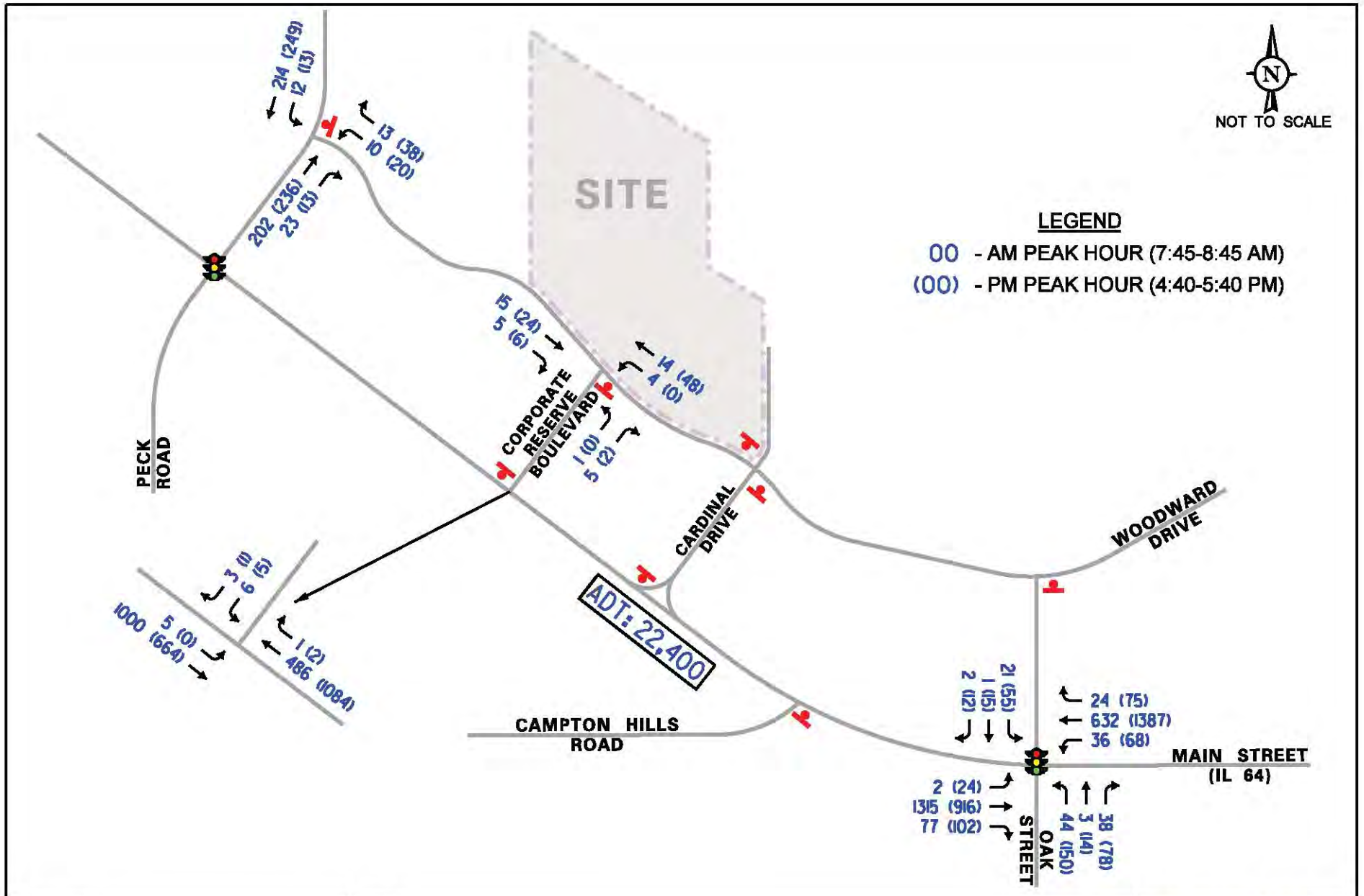
Existing Traffic Volumes

Manual turning movement traffic counts were conducted on Wednesday, May 6, 2015 during the morning (7:00 to 9:00 A.M.) and the evening (4:30 to 6:30 P.M.) at the following four intersections.

- Oak Street and Main Street
- Corporate Reserve Blvd and Main Street
- Corporate Reserve Blvd and Woodward Drive
- Peck Road and Woodward Drive

From the manual turning movement count data, it was determined that the weekday morning peak hour generally occurs between 7:45 and 8:45 A.M. and the weekday evening peak hour generally occurs between 4:40 and 5:40 P.M. These two respective peak hours will be used for the traffic capacity analyses and are presented later in this report. Pedestrian and bicycle activity was observed and was found to be very low at the study intersections.

The existing peak hour vehicle traffic volumes are shown in **Figure 4**.



PROJECT:
 Corporate Reserve
 St. Charles, Illinois

TITLE:
 Existing Traffic Volumes

KLOA
 Job No: 15-102
 Figure: 4

3.

Traffic Characteristics of the Proposed Development

To evaluate the impact of the subject development on the area roadway system, it was necessary to quantify the number of vehicle trips the overall site will generate during the weekday morning and weekday evening peak hours and then determine the directions from which this traffic will approach and depart the site.

Proposed Site and Development Plan

The plans call for developing the site to provide approximately 78 single-family homes. An approximate 1.0-acre park is proposed to be located in the southeast corner of the development.

Development Access

Access to the development will primarily be served by a main/full access off Woodward Drive. A secondary access will be provided via Cardinal Drive. The access drives are proposed as follows.

1. *Main Access and Woodward Drive.* This proposed full access roadway will align with Corporate Reserve Boulevard at its intersection with Woodward Drive becoming the fourth/north leg to this existing T-intersection. The main access will be an extension of Corporate Reserve Boulevard. The boulevard-type extension will provide one lane inbound and one lane outbound under stop sign control. No improvements are proposed or needed on Woodward Drive to provide this proposed access. A curb cut/apron already exists to allow this proposed extension of Corporate Reserve Boulevard north of Woodward Drive. The existing pedestrian/bicycle trail along Woodward Avenue will be located behind the outbound stop sign so that exiting vehicles will come to a complete stop prior to crossing the trail.

2. *Access and Cardinal Drive.* This access is proposed from Cardinal Drive and is considered a minor/secondary access to the development.

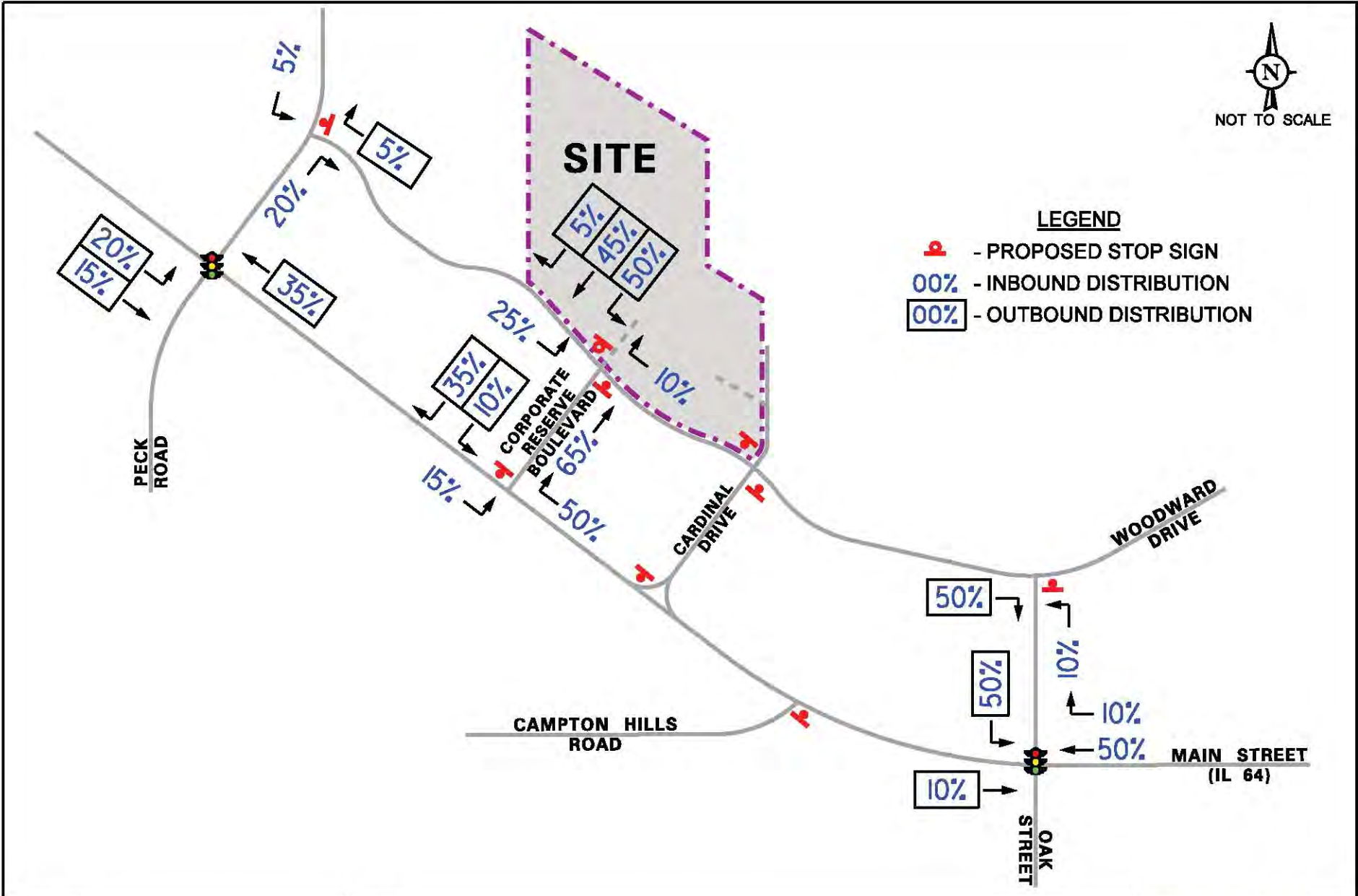
Pedestrian Accessibility

The development proposes continuous sidewalk on both sides of the roadways within the development. As noted, the Great Western Trail is located north of this development. In conjunction with the proposed development, trail connections will be provided that will connect the proposed residential development to the surrounding existing trail system. Further, the existing north-south trail that runs along the west side of the development will be extended south from Woodward Drive to Main Street (IL 64).

These improvements will provide more flexibility and connectivity to the existing trails.

Directional Distribution of Site Traffic

The directional distribution of how traffic will approach and depart the site was estimated based on a combination of existing travel patterns and the location of signalized intersections and the existing roadway characteristics surrounding the site. The estimated directional distribution for the proposed development was established and is illustrated in **Figure 5**.



PROJECT:
Corporate Reserve
St. Charles, Illinois

TITLE:
Estimated Directional Distribution

KLOA
Job No: 15-102
Figure: 5

Development Traffic Generation

The estimates of traffic to be generated by the development are based upon the proposed land use type and size. The volume of traffic generated was estimated using data published in the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition.

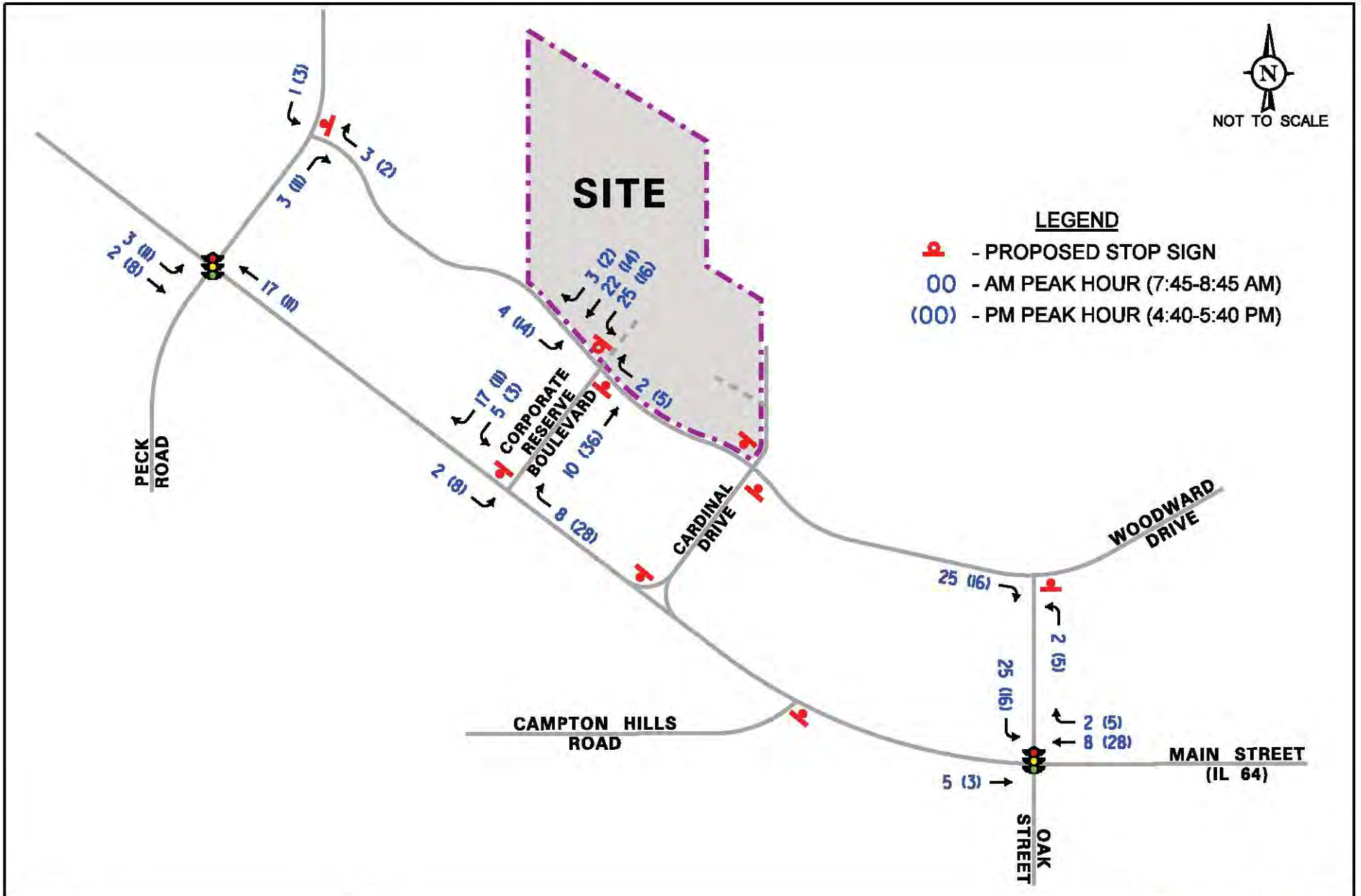
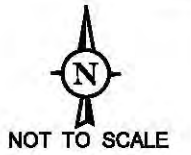
Table 1 tabulates the total trips anticipated from this proposed development for the weekday morning and weekday evening peak hours, in addition to weekday daily (two-way vehicle trips) upon total buildout of the development.

Table 1
ESTIMATED DEVELOPMENT-GENERATED TRAFFIC VOLUMES

ITE Land- Use Code	Type/Size	Weekday A.M. Peak Hour			Weekday P.M. Peak Hour			Daily Two-Way
		In	Out	Total	In	Out	Total	
210	Single-Family Homes – 78 units	16	50	66	55	32	87	865

Development Traffic Assignment

The peak hour traffic volumes projected to be generated by the proposed development (refer to Table 1) were assigned to the area roadways based on the directional distribution analysis (Figure 5) and the proposed access and are shown in **Figure 6**. As noted, the proposed access on Cardinal Drive is considered a secondary/minor access roadway to the proposed development. As such, all development-generated traffic was assigned to the main access in alignment with Corporate Reserve Boulevard to provide for a conservative analysis.



<p>PROJECT: Corporate Reserve St. Charles, Illinois</p>	<p>TITLE: Estimated Development-Generated Traffic Volumes</p>	<p>KLOA Job No: 15-102 Figure: 6</p>
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4. Total Projected Traffic Conditions

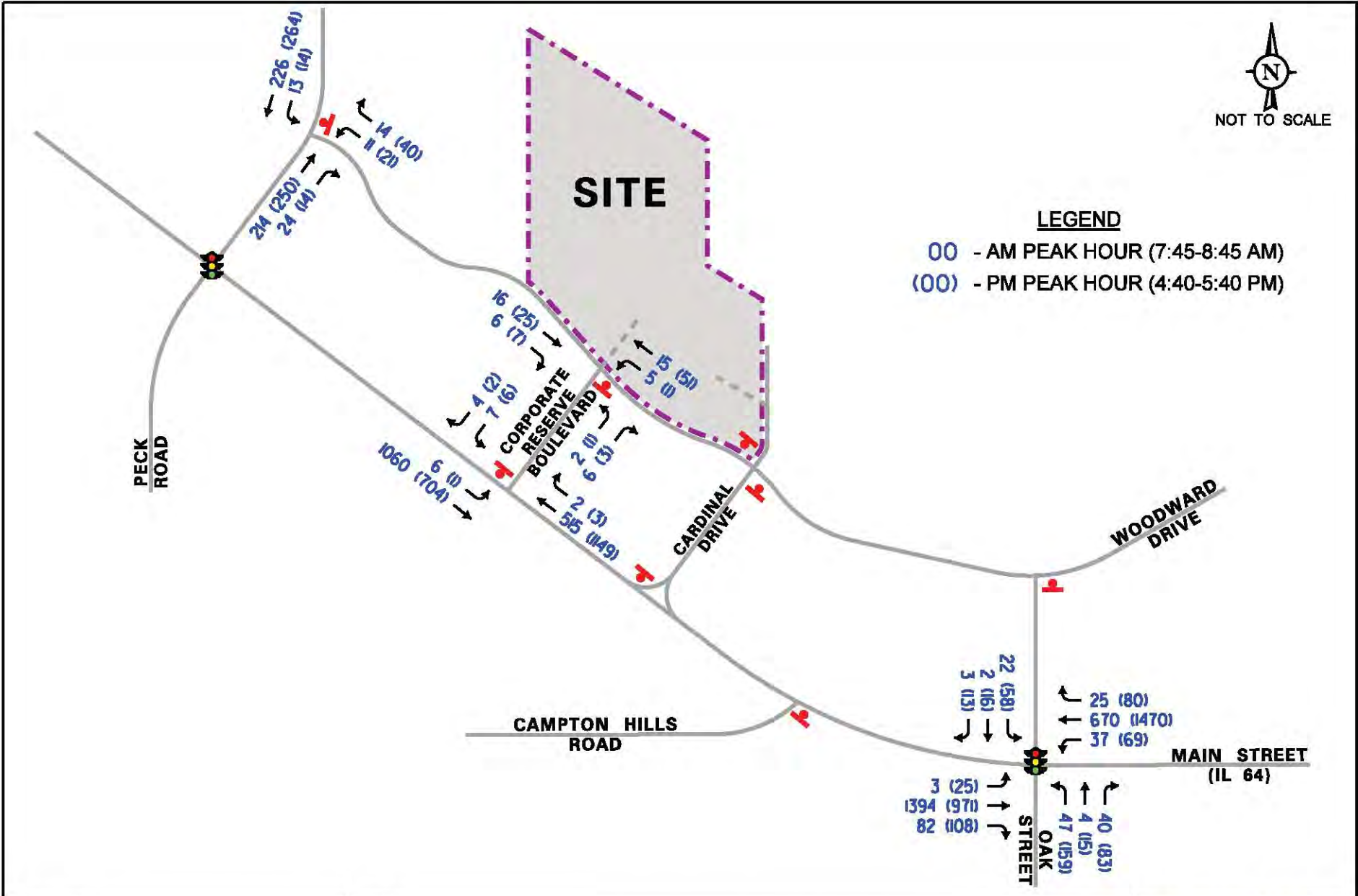
The total projected traffic volumes include the existing traffic volumes increased by a regional growth factor and the traffic estimated to be generated by the proposed subject development.

Year 2021 No-Build Traffic Volumes

Based on the Chicago Metropolitan Agency for Planning (CMAP) year 2040 population and employment projections, the existing traffic volumes were increased by approximately one percent per year for six years (construction year plus five), to project the year 2021 conditions. **Figure 7** shows the Year 2021 base (no-build) traffic volumes.

Total Projected Traffic Volumes

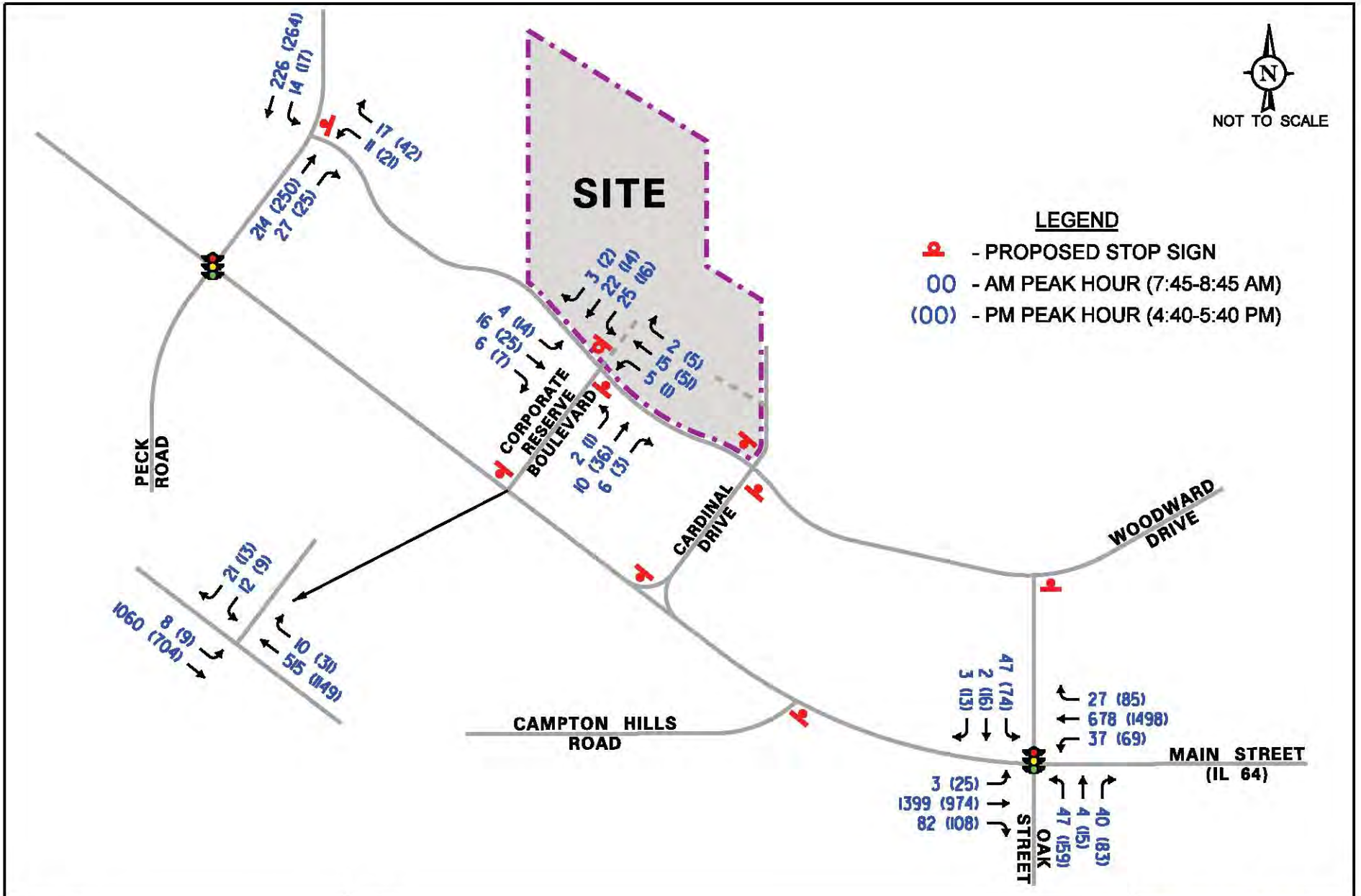
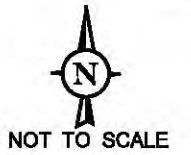
Total projected traffic volumes include the Year 2021 base traffic volumes (Figure 7) and the estimated development-generated traffic volumes (Figure 6). **Figure 8** shows the total projected traffic volumes for Year 2021 conditions.



PROJECT:
Corporate Reserve
St. Charles, Illinois

TITLE:
Year 2021 Base Traffic Volumes
(No-Build Condition)

KLOA
Job No: 15-102
Figure: 7



PROJECT:
Corporate Reserve
St. Charles, Illinois

TITLE:
Total Projected Traffic Volumes

KLOA
Job No: 15-102
Figure: 8

5. Traffic Analysis and Recommendations

Capacity analyses were performed for the key intersections included in the study area to determine the ability of the existing roadway system to accommodate existing and future traffic demands. Analyses were performed for the weekday morning and weekday evening peak hours for both existing and Year 2021 total traffic conditions.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010* and using HCS 2010 analysis software.

The analysis for the existing traffic-signal controlled intersection was accomplished using field observed signal timings and cycle lengths to determine the average overall vehicle delay, volume-to-capacity ratios, and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection.

Summaries of the traffic analysis results showing the LOS and overall intersection delay (measured in seconds) for both existing (Year 2015) and future (Year 2021) conditions are presented in **Table 2** and **Table 3**, respectively. A discussion of the intersections follows.

Table 2
 CAPACITY ANALYSES RESULTS—EXISTING CONDITIONS

Intersection	Weekday A.M. Peak Hour	Weekday P.M. Peak Hour
	LOS/Delay	LOS/Delay
Oak St and Main St (IL 64) (signalized)	B – 16.9	C – 25.8
Corporate Reserve Blvd and Main St (stop sign)	EBL: A – 8.4 SBL: C – 20.1 SBR: B – 11.4	EBL: B – 10.9 SBL: C – 22.9 SBR: C – 19.9
Corporate Reserve Blvd and Woodward Dr (stop sign)	WBA: A – 7.3 NBA: A – 8.5	WBA: A – 7.3 NBA: A – 8.4
Peck Rd and Woodward Dr (stop sign)	WBA: B – 10.8 SBA/L: A – 7.7	WBA: B – 11.5 SBA/L: A – 7.8

LOS = Level of Service

Delay is measured in seconds.

For signalized intersections, the LOS/Delay represents the intersection as a whole.

EBL = Eastbound left-turn movement

SBL = Southbound left-turn movement

SBR = Southbound right-turn movement

NBA = Northbound approach

WBA = Westbound approach

SBA/L = Southbound approach/left-turn movement delay (shared through/left-turn lane)

Table 3
 CAPACITY ANALYSES RESULTS—FUTURE CONDITIONS

Intersection	Weekday A.M. Peak Hour	Weekday P.M. Peak Hour
	LOS/Delay	LOS/Delay
Oak St and Main St (IL 64) (signalized)	B – 18.2	C – 27.2
Corporate Reserve Blvd and Main St (stop sign)	EBL: A – 8.5 SBL: C – 21.7 SBR: B – 11.9	EBL: B – 11.5 SBL: D – 25.2 SBR: C – 22.3
Corporate Reserve Blvd and Woodward Dr (stop sign)	EBA: A – 7.2 WBA: A – 7.3 NBA: A – 9.1 SBA: A – 9.4	EBA: A – 7.4 WBA: A – 7.3 NBA: B – 10.0 SBA: A – 9.9
Peck Rd and Woodward Dr (stop sign)	WBA: B – 10.9 SBA: A – 7.8	WBA: B – 10.9 SBA: A – 7.8

LOS = Level of Service

Delay is measured in seconds.

For signalized intersections, the LOS/Delay represents the intersection as a whole.

EBL = Eastbound left-turn movement

SBL = Southbound left-turn movement

SBR = Southbound right-turn movement

WBL = Westbound left-turn movement

NBA = Northbound approach

WBA = Westbound approach

EBA = Eastbound approach

SBA = Southbound approach

Discussion and Recommendations

The following summarizes traffic capacity analysis for the study intersections for both existing and projected future conditions.

Oak Street and Main Street (IL 64)

- The analyses were performed based on field observed cycle lengths. A limited amount of greentime is given to Oak Street, with a majority given to Main Street.
- The intersection will continue to operate at an above acceptable level of service for both the weekday morning and weekday evening peak hours for Year 2021 conditions. As such, the proposed development will have a limited impact on the operations at this signalized intersection during peak hour periods.
- Based on the traffic capacity and queuing analyses, no traffic signal or roadway improvements are needed or recommended at this intersection in conjunction with the proposed development.

Corporate Reserve Boulevard and Main Street

- The intersection will continue to operate at acceptable levels of service for both the weekday morning and weekday evening peak hours for Year 2021 conditions.
- Exiting vehicles from the development desiring to travel eastbound on Main Street will most likely use Woodward Drive to access the traffic signal on Oak Street.
- The proposed development will have a limited impact on the operations at this intersection during peak hour periods.
- A cursory review of the projected Year 2021 peak hour traffic volumes show that a traffic signal is not warranted at this intersection.

Corporate Reserve Boulevard/Main Access and Woodward Drive

- The proposed main/full access will align with the existing Corporate Reserve Boulevard becoming the fourth/north leg to this existing T-intersection.
- The main/full access will provide one inbound lane and one lane outbound under stop sign control.
- No improvements are planned or recommended to the existing Corporate Reserve Boulevard to the south or to Woodward Drive.
- The capacity analyses show that this intersection will continue to operate at acceptable levels of service with the addition of the proposed main/full access serving the proposed development.
- The existing pedestrian/bicycle trail along Woodward Avenue will be located behind the outbound stop sign so that exiting vehicles will come to a complete stop prior to crossing the trail.

Peck Road and Woodward Drive

- The capacity analyses show that this intersection will continue to operate at acceptable levels of service under future projected traffic conditions.
- No improvements are proposed or recommended at this intersection in conjunction with the proposed development.

Access and Cardinal Drive

This proposed access on Cardinal Drive will provide one lane in each direction and is considered a secondary/minor access to the development. No traffic control or roadway improvements are proposed or recommended on Cardinal Drive to accommodate this access.

6. Conclusion

The Corporate Reserve single-family home residential development is proposed to be located north of Woodward Drive opposite Corporate Reserve Boulevard in St. Charles, Illinois. The plans call for approximately 78 single-family homes. Access to the development will primarily be off of Woodward Drive in alignment with Corporate Reserve Boulevard, with a secondary access off of Cardinal Drive.

Traffic capacity analyses were conducted for both existing (Year 2015) and future (Year 2021) conditions for the weekday morning and weekday evening peak hour periods. The projected traffic volumes include the existing peak hour traffic volumes increased by a regional growth factor and the traffic estimated to be generated by the proposed residential development. No traffic control or geometric improvements are needed or recommended at the existing signalized intersection of Oak Street and Main Street (IL 64), Corporate Reserve Boulevard and Main Street, or Peck Road and Woodward Drive in conjunction with this proposed development.

The intersection of Corporate Reserve Boulevard and Woodward Drive will continue to operate at acceptable levels of service and delay with the addition of the fourth/north leg to the intersection, which will serve as the main access to the proposed development. The access will provide a boulevard style design with one lane inbound and one lane outbound separated by a landscaped median. The outbound lane will be under stop sign control. The stop sign will be located in front of the existing pedestrian/bicycle trail that traverses along the north side of Woodward Drive; therefore, all exiting vehicles will come to a stop before crossing the trail.

In conjunction with this development, pedestrian accessibility and mobility will be enhanced by providing connections between the proposed development and existing surrounding trails. In addition, the existing north-south trail that runs along the west side of the development will be extended south from Woodward Drive to Main Street (IL 64). Further, the development proposes continuous sidewalk on both sides of the roadways within the development.



AGENDA ITEM EXECUTIVE SUMMARY

Title:	Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for 2623 Lincoln Hwy., Metro Storage (Bricher Commons PUD) and direct staff to schedule a public hearing for an amendment to the Bricher Commons Annexation Agreement
Presenter:	Ellen Johnson

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (12/14/15)		City Council
	Public Hearing		

Estimated Cost:	N/A	Budgeted:	YES		NO	
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If NO, please explain how item will be funded:

Executive Summary:

The subject property is a 2.6 acre vacant parcel located on Lincoln Hwy., west of Meijer. The property is part of the Bricher Commons PUD. Bob Heilman of Metro Storage, LLC, applicant, is proposing to construct a Metro Self-Storage facility on the property. The applicant is proposing to amend the Bricher Commons PUD to add “Mini-Storage” as a permitted use on the property, and to establish new development standards for the property. The proposal includes construction of a three-story, 101,232 sf self-storage facility with 783 self-storage units.

Plan Commission Recommendation

The Plan Commission held a public hearing on the Special Use for a PUD Amendment on 11/17/15. The Plan Commission recommended approval based on findings, upon resolution of outstanding staff comments, by a vote of 5-1, with the following conditions:

1. That the applicant work with staff to add additional architectural features on all sides of the building.
2. That additional articulation/softening be incorporated on the 6 ft. side (west facing side) of the retaining wall.

The applicant has revised the plans in response to these conditions. Windows have been added on all four sides of the building, along with additional accent materials on the east, south, and west sides, in order to provide a consistent level of articulation on all four sides.

The applicant has indicated that textured concrete in an earth tone will be used for the retaining wall, and climbing vines will also be added on the west facing side.

Annexation Agreement

The property is subject to an annexation agreement. The annexation agreement has the existing PUD ordinance for the property attached as an exhibit; therefore the agreement must be amended in order for the City to approve the zoning applications. The amendment to the annexation agreement is outside the purview of the Plan Commission.

Amending the annexation agreement is an independent City Council consideration in addition to the PUD amendment. Following a recommendation from the Committee, staff will proceed with scheduling a public hearing for an annexation agreement amendment. The Council has discretion to approve or deny the annexation agreement amendment.

Attachments: *(please list)*

Plan Commission Resolution, Staff Report, Application for Special Use, Application for PUD Preliminary Plan

Recommendation / Suggested Action *(briefly explain):*

Plan Commission recommendation to approve an Amendment to Special Use for PUD and PUD Preliminary Plan for 2623 Lincoln Hwy., Metro Storage (Bricher Commons PUD) and recommendation to direct staff to schedule a public hearing for an amendment to the Bricher Commons Annexation Agreement.

For office use only:

Agenda Item Number: 4b

City of St. Charles, Illinois
Plan Commission Resolution No. 23-2015

**A Resolution Recommending Approval of an Application for Special Use for
Planned Unit Development and PUD Preliminary Plan for Metro Storage, 2623
Lincoln Highway (Metro Storage, LLC)**

Passed by Plan Commission November 17, 2015

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Uses; and

WHEREAS, the Plan Commission held a public hearing and has reviewed the petitions for a Special Use for PUD and PUD Preliminary Plan for Metro Storage, 2623 Lincoln Highway (Metro Storage, LLC) and;

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.

See the attached Applicant's Rider to Applications for Development Approvals.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

A. Conforming to the requirements would inhibit creative design that serves community goals,

or

B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements.

See the attached Applicant's Rider to Applications for Development Approvals.

iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

Resolution 23-2015

As outlined In Applicant's Rider to Application for Development Approvals (incorporated herein), the public convenience will be served by the easily accessible, modern and secure self-storage facility. See also Rider to Applications for Development Approvals, incorporated herein.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Adequate electric, water and sanitary sewer utilities exist to service the low-impact self-storage facility. Adequate access and access rights exist from Lincoln Highway and the adjacent private drive. Applicant's stormwater drainage facilities will adhere to applicable codes and ordinances. See also Rider to Applications for Development Approvals, incorporated herein.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

Applicant's proposed Planned Unit Development would remove the subject property from the Bricher Commons PUD established in 1999. The subject property has remained undeveloped. The proposed PUD will not be injurious to the surrounding community and will encourage further property and economic development of the remaining undeveloped portions of the Bricher Commons PUD. See also Rider for Applications to Development Approvals, Incorporated herein.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed development is consistent with the underlying BR zoning district and with the City's 2013 Comprehensive Plan designation of the subject property as appropriate for "Corridor/Regional Commercial" development. The proposed development is consistent with the existing commercial development within the Bricher Commons PUD. The establishment of the Special Use will not impede the normal and orderly development and Improvement of the surrounding properties.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Applicant's proposed PUD will not endanger the health welfare or safety of the surrounding area given that Applicant's proposed mini-warehouse use is consistent with, and permissible in, the underlying BR zoning district and will provide a benefit to the surrounding community. See also Rider to Application for Development Approvals.

Resolution 23-2015

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Applicant will adhere to all applicable codes and regulations except as may be varied pursuant to a Special Use for PUD. See also departures set forth in Applicant's Rider to Application for Development Approvals.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

Applicant is developing an undeveloped portion of an existing PUD established in 1999. The new PUD will provide a modern, Class "A" 3 story mini-warehouse self-storage facility to provide accessible and secure storage options for the surrounding communities. This new development will increase tax revenue for the City of St. Charles and will encourage further economic development in the vicinity. Applicant hereby incorporates the Rider to Application for Development Approvals.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The City's 2013 Comprehensive Plan designates the subject property within the "Corridor Regional Commercial" land use category. Pursuant to the Comprehensive Plan, areas designated as Corridor! Regional Commercial are intend to accommodate developments that serve a regional function, drawing on a customer base that extends beyond the City limits. Commercial service uses can have an appropriate place in corridor/regional commercial areas when they are compatible with adjacent and nearby retail and commercial shopping areas and where they are located as to not occupy prime retail locations. The self-storage facility has a regional service function as it will provide a much needed service for the surrounding communities. The subject property is only a small 2.6 acre portion of the much larger undeveloped Bricher Commons commercial PUD.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to City Council approval of a Special Use for PUD and PUD Preliminary Plan for Metro Storage, 2623 Lincoln Highway (Metro Storage, LLC), based upon the above Criteria for Planned Unit Developments, and continent upon:

1. Resolution of all staff comments prior to City Council action
2. The applicant making a good faith effort to work with staff to add additional architectural features on all sides of the building.

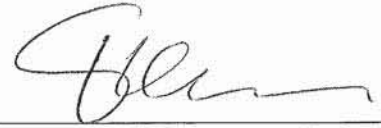
Roll Call Vote

Ayes: Wallace, Kessler, Frio, Pretz, Doyle
Nays: Spruth
Absent: Holderfield, Schuetz, Macklin-Purdy

Resolution 23-2015

Motion carried: 5-1

PASSED, this 17th day of November 2015.



Chairman
St. Charles Plan Commission

Community and Economic Development
 Planning Division

Phone: (630) 377-4443
 Fax: (630) 377-4062



Staff Report

TO: Chairman Todd Bancroft
 And the Members of the Planning & Development Committee

FROM: Ellen Johnson, Planner

RE: Amendment to Special Use for PUD and PUD Preliminary Plan for Metro Storage, 2623 Lincoln Hwy.

DATE: December 8, 2015

I. APPLICATION INFORMATION:

Project Name: Metro Storage – 2623 Lincoln Hwy.

Applicant: Robert Heilman, Metro Storage LLC

Purpose: Construct a self-storage facility.

General Information:		
Site Information		
Location	2623 Lincoln Hwy. (Rt. 38) (northwest of Meijer, directly west of MB Financial Bank)	
Acres	2.613 acres	
Applications	Special Use for PUD (Amendment) PUD Preliminary Plan	
Applicable Zoning Code Sections and PUD Ordinance	Ch. 17.06 Design Review Standards & Guidelines Ch. 17.14 Business and Mixed Use Districts Ch. 17.24 Off-Street Parking, Loading & Access Ch. 17.26 Landscaping and Screening Title 17 Subdivisions and Land Improvement Ordinance 1999-Z-11 “An Ordinance Granting a Special Use as a Planned Unit Development (Bricher Commons PUD)”	
Existing Conditions		
Land Use	Vacant	
Zoning	BR- Regional Business (PUD)	
Zoning Summary		
North	BR- Regional Business (PUD)	Vacant
East	BR- Regional Business (PUD)	MB Financial Bank, Meijer
South	BR- Regional Business (PUD)	Vacant
West	BR- Regional Business (PUD)	Vacant
Comprehensive Plan Designation		
Corridor/Regional Commercial		

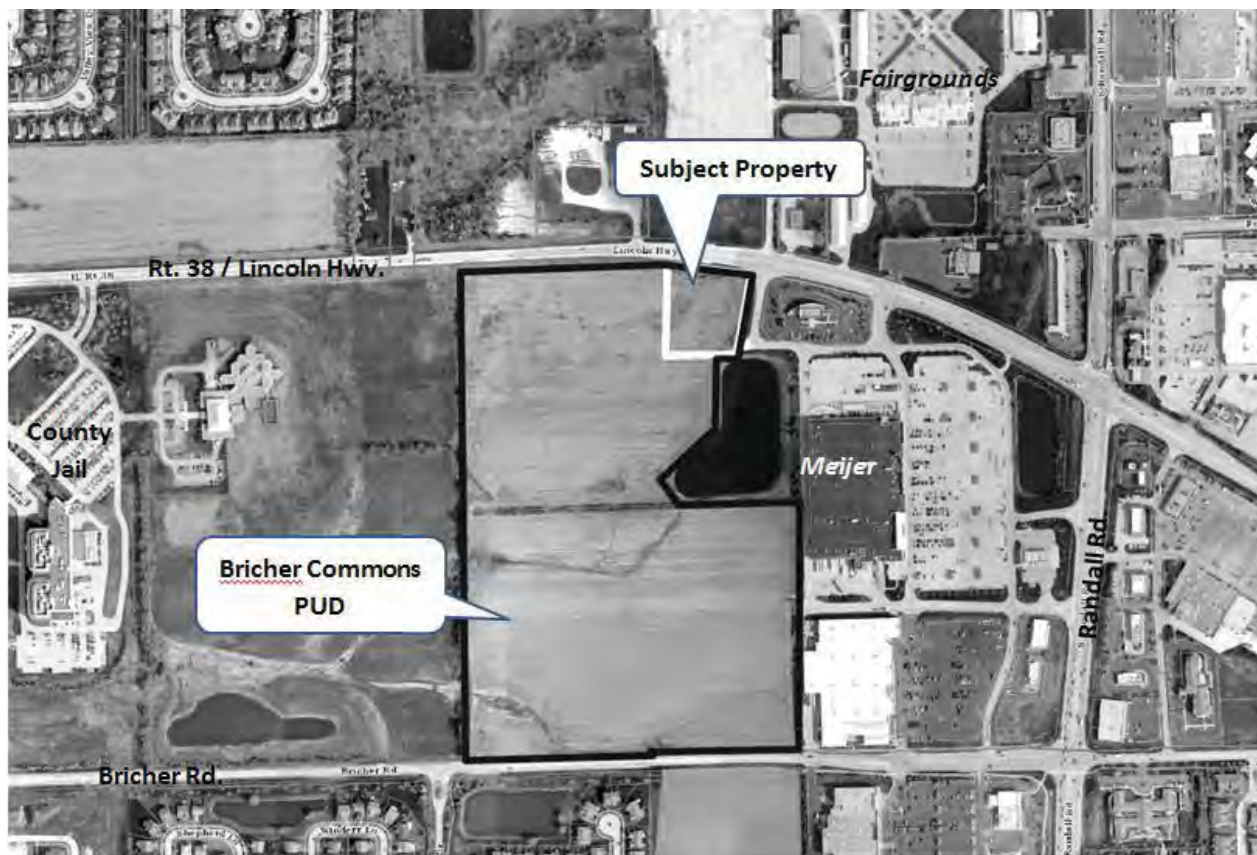
Aerial



Zoning



Location



II. OVERVIEW

A. PROPERTY HISTORY

The subject property is a 2.6 acre vacant parcel located on Lincoln Hwy/ Rt. 38 west of Meijer. The property is part of the Bricher Commons PUD. Development of Bricher Commons was initially approved under Ordinance No. 1999-Z-11 “An Ordinance Granting a Special Use as a Planned Unit Development (Bricher Commons PUD)”. The subject property and generally the northern part of Bricher Commons was identified for retail/service development, while the southern portion was generally identified for office/research use.

In 2006, the Bricher Commons PUD was amended to allow for residential development generally in the middle to southern portion of the property and commercial uses fronting Rt. 38. A concept site layout was included in this ordinance (see attached). The subject property was left out of this PUD amendment because at the time, the property was under separate ownership and it was generally understood that a commercial use would be built on the property. The subject property is currently only subject to the 1999 PUD ordinance.

B. PROPOSAL

Robert Heilman of Metro Storage LLC is proposing to construct a Metro Self-Storage facility on the subject property. The applicant is also proposing to establish new PUD development standards for the property.

The proposal includes the following:

- Construct a three-story, 101,232 sf self-storage facility with 783 self-storage units.

- Landscaping along the street frontages and the southern property line.
- New freestanding sign.
- Subdivision (the property has never been formally subdivided).

The following Zoning Applications have been submitted in support of this project:

1. **Special Use for PUD** to amend the Bricher Commons PUD ordinance to replace it with a new PUD ordinance for the subject property, in order to permit the “Mini-Storage” use and establish unique development standards for development of the property.
2. **PUD Preliminary Plan** to approve preliminary engineering plans, landscape plan, architectural elevations, and preliminary plat of subdivision for development of the property.

III. ANALYSIS

The applicant is proposing to create new PUD development standards for the subject property. Therefore, staff has performed an analysis of the submitted PUD Preliminary Plan to identify compatibility with the Zoning Ordinance, Title 17 of City Code.

A. PROPOSED USE

“Mini-Warehouse” is defined in the Zoning Ordinance as, “A structure or group of structures used for the purpose of renting or leasing individual storage spaces to different tenants who are to have access to such spaces for the purpose of storage and removing property.” The proposed self-storage facility meets this definition.

Mini-Warehouse is a permitted use in the BR Regional Business zoning district, which is the underlying zoning district of the subject property. The 1999 Bricher Commons PUD ordinance does not include Mini-Warehouse as a permitted use. The applicant is requesting approval of including Mini-Warehouse as a permitted use on the subject property.

B. COMPREHENSIVE PLAN

The Land Use Plan adopted as part of the 2013 Comprehensive Plan identifies the subject property as “Corridor/Regional Commercial”. The plan states (p.39):

“Areas designated as corridor/regional commercial are intended to accommodate larger shopping centers and developments that serve a more regional function, drawing on a customer base that extends beyond the City limits. These areas often have a mix of “big box” stores, national retailers, and a “critical mass” of multiple stores and large shared parking areas. Areas designated for corridor/regional commercial are located primarily in larger consolidated areas along the City’s heavily traveled corridors and intersections. Commercial service uses can also have an appropriate place in corridor/regional commercial areas, but must be compatible with adjacent and nearby retail and commercial shopping areas and be located as to not occupy prime retail locations.”

The Bricher Commons PUD property is identified as a “Catalyst Site” within the West Gateway Subarea. The plan states (p. 97):

“Situated between the Meijer on Randall Road and the Kane County Government Center is a 55-acre site known as Bricher Commons. Portions of the site have excellent visibility and frontage to Lincoln Highway, however not all of the site can capitalize on the visibility and access that IL Route 38 provides. The northern areas of the site should develop with commercial uses fronting

Lincoln Highway with either multifamily, single-family attached, or offices and commercial services, in the rear and interior of the site.”

C. ZONING STANDARDS

The table below compares the submitted plans with the requirements of the BR zoning district only. Current PUD requirements are not included due to the applicant’s request to create new PUD standards for the subject property. Deviations from the Zoning Ordinance requirements that are requested as part of the proposal are indicated in ***bold italics***.

Category	Zoning Ordinance Standard (BR District)	Proposed
Min. Lot Area	1 acre	2.61 acres
Lot Width	None	347.99
Building Coverage	30%	29.6%
Building Height	40 ft.	<i>47’2”</i>
Building Setbacks:		
<i>Front (Lincoln Hwy)</i>	20 ft.	49.86 ft.
<i>Interior side (west side)</i>	15 ft.	86.7 ft.
<i>Exterior side (east side)</i>	20 ft.	64.5 ft.
<i>Rear (south side)</i>	30 ft.	72 ft.
Parking Setbacks:		
<i>Front (Lincoln Hwy)</i>	20 ft.	20 ft.
<i>Interior side (west side)</i>	None	50 ft.
<i>Exterior side (east side)</i>	20 ft.	20 ft.
<i>Rear (south side)</i>	None	13.99 ft.
Parking Stall Size	9’ x 18’ OR 9’x16’ w/ 2 ft. bumper overhang	9’x16’ w/ 2 ft. bumper overhang
Drive-Aisle Width	12’ (One Way)	30.5’
Parking Requirement	78 (1 per 10 storage units)	<i>12 spaces</i>

The applicant is requesting deviations from the building height and parking requirements.

Staff Comments:

- Staff has consulted the Institute of Traffic Engineers parking generation handbook. The ITE suggests 11-16 parking spaces for a self-storage facility of this size.
- The original plans showed 10 spaces. At staff’s request, the applicant has reduced the length of the parking stalls to 16 ft., which has allowed for two additional parking spaces, for a total of 12 proposed spaces.
- The applicant has submitted information in support of the parking deviation request. The information includes parking space and building size data from other Metro Self-Storage locations, along with site plans for those facilities.

Note that the engineering plan does not reflect the additional 2 parking spaces, and shows the front and east side parking setbacks as less than 20 ft. These changes have been made to the site plan and landscape plan. The engineering plan will need to be modified prior to City Council approval.

D. SITE LAYOUT

Principal features of the site layout include the following:

- The property will be accessed from the existing private access drive directly east of the property, which also provides cross-access to the adjacent MB Financial Bank and Meijer. No new access onto Lincoln Hwy. is proposed.
- A one-way driveway running counterclockwise will wrap around the building.
- Parking is provided along the east side of the site, near the office at the northeast side of the building.
- A stormwater detention basin is provided along the west side of the property.
- A sidewalk will be added along the Lincoln Hwy. frontage. The sidewalk will be subject to IDOT approval since Lincoln Hwy. is a state highway.
- An ingress/egress easement exists across the southern 60 ft. of the property for future roadway connection to the property to the west. The proposed configuration of the site includes a 30 ft. wide roadway within this easement that will provide cross-access between adjacent properties. At the request of the property owner to the west, the applicant intends to extend this roadway to the west property line. (*See below*)

The subject property is subject to provisions in the deed that conveyed title to the property when it was purchased from DGT, LLC, which owns the rest of Bricher Commons. The deed states that development of the property is subject to the approval of DGT. DGT has submitted a letter requesting that the cross-access roadway extend to the west property line, that landscaping be added along the west property line, that no outside storage be permitted, and that there shall be no recapture of the roadway improvements on the subject property. The applicant has added trees along the west property line, plans to extend the roadway as requested, and intends to comply with the other two requests. These four conditions will be included in the PUD ordinance and/or the Annexation Agreement amendments.

E. LANDSCAPING

A landscape plan has been submitted for the property. The table below compares the submitted plan to the requirements of **Ch. 17.26 Landscaping and Screening**. Deviations from the Zoning Ordinance standards that would be required to accommodate the development as proposed are denoted in *bold italics*.

Category	Zoning Ordinance Standard	Proposed
Overall Landscape Area	20%	36%
Parking Row Landscaping	Rows of parking terminated by a landscape area	Meets requirement
Bldg. Foundation Landscaping		
<i>Front wall</i>	75% of wall length; planting bed width of 8 ft.	<i>None</i>
<i>Remaining walls</i>	50% of wall length; planting bed width of 8 ft.	<i>Does not meet</i> (some foundation landscaping is shown on the south side of the building, but does not satisfy the requirement)
Public Street Frontage Landscaping	75%	Meets requirement
Parking Lot Screening	50% to a height of 30 in.	Meets requirement
Street Frontage Trees	1 tree per 50 lineal ft. (7 trees total along Lincoln Hwy)	7 trees
Monument Sign Landscaping	3 ft. around sign	3 ft. around sign
Retaining Wall Landscaping	Retaining walls over 4 ft. high to be terraced to provide a 2 ft. wide planting area.	<i>Does not meet</i> (Virginia Creeper vine will be planted along the retaining wall)

The applicant is requesting a deviation from the building foundation landscaping requirement, due to the presence of loading bays and overhead access doors for ground-floor storage units and the driveway around the perimeter of the building. Landscaping is proposed along the south side of the building where there are no overhead access doors.

A deviation from the retaining wall landscaping requirement has also been requested due to the configuration of the site plan. Engineered drawings of the retaining wall have not been provided, but it is expected to be 6 ft. tall.

There is no landscape buffer requirement due to the BR Regional Business zoning classification of adjacent properties. However, the portion of Bricher Commons south of the subject property is identified for residential use. Evergreen trees are provided along the south property line to provide screening for future development.

At the request of the property owner to the west, trees have been added along the west property line.

F. BUILDING ARCHITECTURE

Building elevations have been submitted for the proposed structure.

The table below compares the submitted plans to the design requirements of **Section 17.06.030 Standards and Guidelines – BL, BC, BR, & O/R Districts**. Deviations from the zoning ordinance standards that are required to accommodate the building design as proposed are denoted in *bold italics*.

Category	Zoning Ordinance Standard	Proposed
Building Articulation	3 ft. wall projections/recesses over 20% of façades over 100 ft.	<i>Does not meet</i>
Architectural Features #1	50% of façade is comprised of architectural features	<i>Does not meet</i> (requirement applies to north, east, and west sides)
Architectural Features #2	Street-facing facades must have 2 of 4 architectural features: change in wall plane of 2 ft.; change in wall texture/masonry patterns; transparent windows; columns/pilasters projecting 6 in.	Meets requirement (requirement applies to north and east sides)
Public Entrance	Public entrance must face primary street frontage	Meets; entrance is located at northeast corner of the building. Doors provided on north and east sides.
Entrance Articulation	Public entrances must be articulated from building	Meets; entrance is articulated with a canopy
Roof Design	Roof mounted mechanical equipment must be screened	Parapet with 3” projection provided; will screen equipment
Building Materials	A list of approved & prohibited materials is provided	Primary building materials are brick and metal panels, which are approved materials

The applicant is requesting a deviation from the requirements for building articulation and architectural features.

G. SIGNAGE

A freestanding monument sign with an LED screen is proposed along Lincoln Hwy. Two wall signs are also proposed; one on the north elevation and one on the east elevation. The signage meets the requirements of **Ch. 17.28 Signs**.

Staff Comments:

- Stone is shown as the material for the sign base. At staff's request, the applicant has stated that brick will be used for the base to match the building.

H. LIGHTING

A photometric plan has been submitted. The applicant has been asked to provide information on the luminaries to ensure compliance with **Ch. 17.22.040 Site Lighting**.

I. ENGINEERING REVIEW

The applicant has been provided with engineering review comments. These comments are minor in nature, but will need to be addressed prior to City Council approval.

J. PLAT OF SUBDIVISION

A Preliminary Plat of Subdivision has been submitted as part of the PUD Preliminary Plan. A single-lot subdivision that incorporates the entire property is proposed. The Plat reflects the existing ingress/egress easement along the southern edge of the property, which is intended for future roadway access to the west. Minor comments regarding the Plat have been provided to the applicant and will need to be addressed prior to approval of a Final Plat of Subdivision.

K. ANNEXATION AGREEMENT

The subject property is subject to the Bricher Commons Annexation Agreement. The Annexation Agreement will need to be amended in order to incorporate the revised PUD standards approved for the subject property. Per State statute, City Council will need to hold a public hearing on the Annexation Agreement amendment.

IV. **PLAN COMMISSION RECOMMENDATION**

The Plan Commission held a public hearing on 11/17/15. The Commission voted 5-1 to recommend approval, subject to resolution of staff comments, with the following conditions:

1. That the applicant work with City staff to add additional architectural features on all sides of the building.
2. That additional articulation/softening be incorporated on the 6 ft. side (west facing side) of the retaining wall.

The applicant has revised the plans in response to these conditions. Windows have been added on all four sides of the building, along with additional accent materials on the east, south, and west sides, in order to provide a consistent level of articulation on all four sides.

The applicant has indicated that textured concrete in an earth tone will be used for the retaining wall, and climbing vines will also be added to soften the appearance.

V. ATTACHMENTS

1. Applications for Special Use for PUD and PUD Preliminary Plan; received 10/22/15
2. Parking reduction request letter; dated 10/22/15
3. Letter from adjacent property owner, dated 11/10/15
4. Bricher Commons PUD 2006 Concept Plan

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	Metro Storage - 2623 Lincoln Hwy
Project Number:	2015 -PR- 024
Application Number:	2015 -AP- 044



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	2623 LINCOLN HWY, ST CHARLES IL	
	Parcel Number (s):	09-32-400-030-0000	
	Proposed Name:	METRO STORAGE ST CHARLES LLC	
2. Applicant Information:	Name	ROBERT HEILMAN FOR METRO STORAGE LLC	Phone (847) 235-8931
	Address	13528 BOULTON BLVD.	Fax (847) 235-8901
		LAKE FOREST IL 60045	Email RHEILMAN@METROSTORAGE.COM
3. Record Owner Information:	Name	UNBEL, LLC % FRED SHAW	Phone (847) 888-7500 x 225
	Address	101 EAST CHICAGO ST, PO BOX 641	Fax (847) 888-2662
		ELGIN IL 60120	Email FLSHAW@UNBELGIN.COM

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name: _____
 - New PUD
 - Amendment to existing PUD- Ordinance #: 1999-Z-11 (SECOND AMENDMENT RESOLUTION # 2006-6 3/20/2006)
 - PUD Preliminary Plan filed concurrently

- Other Special Use (from list in the Zoning Ordinance): _____
 - Newly established Special Use
 - Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: _____

Is the property a designated Landmark or in a Historic District? _____

What is the property's current zoning? _____

What is the property currently used for? _____

If the proposed Special Use is approved, what improvements or construction are planned?

For Special Use Amendments only:

Why is the proposed change necessary?

What are the proposed amendments? (Attach proposed language if necessary)

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
<input checked="" type="checkbox"/> 1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

FINDINGS OF FACT:

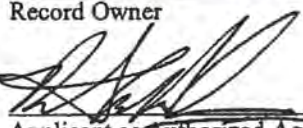
Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

	4/30/15
Record Owner	Date
	9/15/15
Applicant or <u>Authorized Agent</u>	Date
METRO STORAGE LLC	

UNBEL LLC

101 E. Chicago St.
Elgin, IL 60120

Mr. Russell Colby
Planning Division Manager
City of St Charles
Two East Main Street
St. Charles IL 60174-1984

Re: Proposed Metro Storage Facility
2623 Lincoln Hwy., St Charles IL

Dear Mr. Colby,

This letter confirms that Metro Storage LLC, as Contract Purchaser, is authorized to submit and seek approval for (4) City required applications for the proposed development at the aforementioned address.

Yours Truly,

Fred L. Shaw
Manager

**RIDER TO APPLICATIONS
FOR DEVELOPMENT APPROVALS**

Metro Storage, LLC, a Delaware limited liability company ("Applicant"), for its several applications for development approvals to the City of St. Charles (as listed below), states as follows:

General Background:

The property that is the subject of this Application is approximately 2.61 acres in dimension and is located at 2623 Lincoln Highway (Illinois Route 38) west of Randall Road and adjacent to the Meijers store in St. Charles (the "Subject Property" legally described as set forth within Exhibit A attached hereto). The Subject Property is an undeveloped part of the Bricher Commons Planned Unit Development and is currently used for farming. The Applicant, Metro Storage, LLC, is under contract to purchase the Subject Property from its current owner, Unbel, LLC. Metro Storage, LLC will build, own and manage a 3-story, 101,232 sq. ft. Class "A" climate-controlled self-storage (mini-warehouse) facility with 783 storage units.

The underlying zoning classification of the Subject Property where the proposed Metro Storage self-storage facility is to be located is within the BR Regional Business District (formerly B-3 Service Business District) with a Special Use as a Planned Unit Development (Bricher Commons PUD) in accordance with Ordinance No. 1999-Z-11 and an Annexation Agreement (Bricher Commons / DGT Partnership)("Annexation Agreement" dated July 19, 1999, recorded as Document No. 1999K094392).

Applicant proposes to eliminate the existing Planned Unit Development on the Subject Property as was previously established by Ordinance No. 1999-Z-11 and replace it with a new Planned Unit Development allowing for a Mini-Warehouse use on the Subject Property. The self-storage use is not listed as one of the permitted uses under the Ordinance. The Subject Property is located in the BR Regional Business District which does permit Mini-Warehouse uses. The establishment of a new Planned Unit Development would be consistent with the BR zoning classification.

The Subject Property is comprised of a single unsubdivided tract of land. Applicant proposes to subdivide the existing tract into a single subdivided Lot of record by gaining approval of and recording a Final Plat of Subdivision. Applicant proposes to develop the Lot with an approximately 101,232 square foot, 3-story, 783-unit self-storage facility and a storm water detention basin located on the West side of the Subject Property.

The proposed building will contain approximately 783 climate controlled storage units. Floors two and three will be accessed by two elevators adjacent to the two loading bays. Loading and unloading for the interior storage units will take place in the interior bays on the East and South sides of the building. The larger storage units located at the perimeter of the ground level will be

accessed from their individual overhead access doors. The building's office will be conveniently located at the Northeast corner of the building. The exterior of the building will be a complimentary palette of architectural masonry units, anodized aluminum and glass window units, and architectural metal panel systems.

Applicant has designed and located the building within a perimeter drive aisle. This site layout and building configuration provides efficient vehicle movement around the building and vehicle access to the ground-level loading bays and storage unit doors on each side of the building. Customers will have sufficient room to maneuver their car or small truck to the bays and doors. Emergency vehicles will have sufficient room to have access to all sides of the building. The drive aisle width permits vehicle movement around parked cars or small trucks that are loading or unloading at a ground floor storage unit.

Applicant will provide an extension of the perimeter road to the Southwest corner of the Subject Property for future roadway connection to the properties to the West. Cross access ingress and egress easements already exist along the southerly 30' of the Subject Property.

The facility will be self-service: customers will drive their vehicle into the loading bay area, close the overhead door, and load or unload their belongings onto carts for transport of their goods and materials to their storage locker. New customers would park adjacent to the office and lease a unit. After leasing a unit, new customers would move their vehicle to one of the loading bays to unload their belongings.

Ten parking spaces are located conveniently near the office. Applicant's experience operating comparably sized facilities in comparable suburban markets indicates that 10 parking spaces is more than sufficient to meet the parking needs of customers and employees. Applicant's comparable facilities experience approximately 4.5 vehicle trips per hour during peak times.

The western perimeter of the site will be a storm water detention basin. Landscaping will be installed along the site perimeter to establish a pleasing buffer in a natural arrangement. Building foundation landscaping is provided along the South elevation only, due to the number and location of storage unit exterior doors along the other three facades of the building.

Operation of the facility is overseen by the Site Manager and occasionally one other staff person, for an average of approximately 1.5 employees on site per day. The office will be open from 9:00 am to 6:00 pm. Personalized key code entry to the building and units will be available to customers from 6:00 am to 10:00 pm. The building will house an array of video security cameras that will cover almost 100% of the public areas of the facility. The cameras will be monitored from the office or remotely.

Development Requests:

Applicant seeks the following development approvals.

- (a) **Application for a Special Use as a Planned Unit Development.** Applicant requests a Special Use for a Planned Unit Development in accordance with Section 17.04.400 – 17.04.430 of the Zoning Ordinance of the City of St. Charles. Applicant proposes to eliminate the existing Planned Unit Development as it applies to the Subject Property (as previously established by Ordinance No. 1999-Z-11) and proposes to replace the existing PUD with a new Planned Unit Development approving a Mini-Warehouse use on the Lot.
- (b) **PUD Preliminary Plan Application Approval.** Applicant requests PUD Preliminary Plan Application approval in accordance with Section 17.04.400 – 17.04.430 of the Zoning Ordinance of the City of St. Charles. Applicant proposes to eliminate the existing Planned Unit Development as it applies to the Subject Property (previously established by Ordinance No. 1999-Z-11) and proposes to replace the existing PUD with a new Planned Unit Development approving a Mini-Warehouse use on the Lot.
- (c) **Concurrent Preliminary and Final Plat of Subdivision Approval.** Applicant requests concurrent approval of its Preliminary Plat of Subdivision and Final Plat of Subdivision in accordance with Sections 16.04.070 and 16.04.080 of the Municipal Code of the City of St. Charles.
- (d) **Annexation Agreement Amendment.** Applicant requests an amendment of the Annexation Agreement to incorporate the Applicant's requested Planned Unit Development approvals.

Planned Unit Development Code Departures:

Section 17.04.400(B) of the Municipal Code of the City of St. Charles states that "Unless otherwise approved in accordance with this Chapter, development within a PUD shall conform to the requirements applicable to the underlying zoning district or districts in which the PUD is located, and all Land Improvements shall be designed and constructed in accordance with the provisions of Title 16, Subdivisions and Land Improvement, of the St. Charles Municipal Code. PUDs, however, may allow for relief from the minimum requirements applicable to the underlying zoning district and subdivision ordinance in situations where the City Council finds that:

- a) Conforming to the requirements would inhibit creative design that serves community goals; or
- (b) Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements."

Applicant request the following "departures" or "relief" from the requirement that Applicant's PUD conform to the zoning and subdivision ordinances of the City of St. Charles.

(1) Departure for Building Height. Applicant requests relief from Section 17.14.030 and Table 17.14-2 of the Municipal Code of the City of St. Charles. Table 17.14-2 states that the maximum building height in the BR zoning district is 40 ft. Applicant's proposed building is 40 ft. at the top of the roof, but the highest point of the parapet is approximately 47'-2". The varying height of the parapet is an element of the architectural façade articulation. The parapet is designed to add visual interest to the building and to conceal roof-top service equipment. The additional building height allows Applicant to provide sufficient floor height on the ground floor to accommodate the loading bays.

(2) Departure for Building Foundation Landscaping. Applicant requests relief from Section 17.26.080 of the Municipal Code of the City of St. Charles. Pursuant to Section 17.26.080, the minimum width of planting beds for building foundation landscaping shall be eight feet (8') measured perpendicular to the building. Applicant proposes to eliminate the required 8' strip of building foundation landscaping.

Applicant proposes to eliminate the requirement of foundation landscaping entirely on the North, East and West elevations due to (i) the presence of loading bays and overhead access doors for ground-floor storage units and (ii) the vehicle access driveway around the perimeter of the building. Perimeter site circulation and direct access to ground-level storage units is essential to business operations and customer needs.

Applicant proposes planting beds and trees along the South building foundation where there are no planned storage unit overhead access doors on either side of the loading bay. The landscape plan provides screening from the public roads and private drives. Landscape planting beds for trees and shrubs will be provided along the North and East perimeter of the Subject Property. Trees will be provided along the South property line to separate the building and southerly roadway from future development on the adjacent properties to the South. Landscape planting along the West property lines is limited to low profile grasses, due to the necessity of locating a storm water detention basin on site.

(3) Departure for Off-Street Parking. Applicant requests relief from Section 17.24.140 and Table 17.24-3 of the Municipal Code of the City of St. Charles. Pursuant to Table 17.24-3, a Mini-Warehouse use requires one (1) off-street parking space for every ten (10) storage units.

Applicant proposes approximately 783 storage units and 10 off-street parking spaces (nine plus one handicap accessible parking space) located near the office area at the Northeast corner of the building. Applicant operates over 85 locations in the Chicago metro area and nationally and its experience with facilities of this size in comparable market areas indicates the proposed 10 parking spaces will provide more than sufficient parking for customers and employees. On average, there will be approximately 1.5 staff person on site per day. The average number of customer trip generations for a self-storage facility of this size is

approximately 4.5 vehicle trips per hour. Applicant has provided adequate parking and loading to meet its anticipated customer demand, and by limiting the parking area to 10 parking spaces has avoided making the parking area a prominent feature of the facility.

(4) Departure for Windows and Transparency. Applicant requests relief from Section 17.06.030.B of the Municipal Code of the City of St. Charles. Applicant proposes that less than 60% of the horizontal length of the façade shall have windows on the first floor. The windows proposed for the building are located (i) at the Northeast corner at the first floor office, (ii) above the office on the second and third floors, and (iii) at several locations on the second and third floors. The exterior of the building will be a complimentary palette of architectural masonry units, anodized aluminum and glass window units, and architectural metal panel systems.

Applicant proposes to provide windows at less than 60% of the horizontal length of the façade because the self-storage mini-warehouse use requires outdoor access doors for some ground level storage units located at the perimeter of the building. Some customers have storage needs that require direct access to ground-floor storage units; these units are the largest units in the facility and can be used to store large items such as vehicles.

(5) Departure for Articulation of Building Facade. Applicant requests relief from Sections 17.06.030.A.1 and 17.06.30.A.2 of the Municipal Code of the City of St. Charles. The facade articulation for the proposed self-storage facility does not incorporate wall projections or recesses a minimum of three feet in depth over 20% of the facade. Additionally, less than 50% of the facade of the building is comprised of architectural features such as doors, windows, awning or entryways. Although these building facade articulation standards are not met, the building does provide extensive architectural articulation on all facades through the use of a complimentary palette of architectural masonry units, anodized aluminum and glass window units, and architectural metal panel systems. The building design includes features that add identity and architectural interest, including belt courses of varying materials, textures and colors. This articulation reduces the apparent bulk of the building and identifies the main entry and sales areas.

(6) Additional Departures. Applicant requests all additional departures or relief as may be subsequently identified as necessary to comport Applicant's site plan, elevations, engineering drawings, plat of subdivision and other submission materials and specifications to all applicable codes and ordinances of the City of St. Charles.

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)



For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

2623 Lincoln Highway Metro Storage PUD
PUD Name

Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

See Applicant's Rider to Applications for Development Approvals.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

See Applicant's Rider to Applications for Development Approvals.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

As outlined in Applicant's Rider to Application for Development Approvals (incorporated herein), the public convenience will be served by the easily accessible, modern and secure self-storage facility. See also Rider to Applications for Development Approvals, incorporated herein.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Adequate electric, water and sanitary sewer utilities exist to service the low-impact self-storage facility. Adequate access and access rights exist from Lincoln Highway and the adjacent private drive. Applicant's stormwater drainage facilities will adhere to applicable codes and ordinances. See also Rider to Applications for Development Approvals, incorporated herein.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

Applicant's proposed Planned Unit Development would remove the subject property from the Bricher Commons PUD established in 1999. The subject property has remained undeveloped. The proposed PUD will not be injurious to the surrounding community and will encourage further property and economic development of the remaining undeveloped portions of the Bricher Commons PUD. See also Rider for Applications to Development Approvals, incorporated herein.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed development is consistent with the underlying BR zoning district and with the City's 2013 Comprehensive Plan designation of the subject property as appropriate for "Corridor/Regional Commercial" development. The proposed development is consistent with the existing commercial development within the Bricher Commons PUD. The establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding properties.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Applicant's proposed PUD will not endanger the health, welfare or safety of the surrounding area given that Applicant's proposed mini-warehouse use is consistent with, and permissible in, the underlying BR zoning district and will provide a benefit to the surrounding community. See also Rider to Application for Development Approvals.

F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Applicant will adhere to all applicable codes and regulations except as may be varied pursuant to a Special Use for PUD. See also departures set forth in Applicant's Rider to Application for Development Approvals.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

Applicant is developing an undeveloped portion of an existing PUD established in 1999. The new PUD will provide a modern, Class "A" 3 story mini-warehouse self-storage facility to provide accessible and secure storage options for the surrounding communities. This new development will increase tax revenue for the City of St. Charles and will encourage further economic development in the vicinity. Applicant hereby incorporates the Rider to Application for Development Approvals.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The City's 2013 Comprehensive Plan designates the subject property within the "Corridor / Regional Commercial" land use category. Pursuant to the Comprehensive Plan, areas designated as Corridor/ Regional Commercial are intend to accommodate developments that serve a regional function, drawing on a customer base that extends beyond the City limits. Commercial service uses can have an appropriate place in corridor/regional commercial areas when they are compatible with adjacent and nearby retail and commercial shopping areas and where they are located as to not occupy prime retail locations. The self-storage facility has a regional service function as it will provide a much-needed service for the surrounding communities. The subject property is only a small 2.6 acre portion of the much larger undeveloped Bricher Commons commercial PUD.

NONRESIDENTIAL ZONING COMPLIANCE TABLE

Name of Development: 2623 Lincoln Highway Metro Storage PUD

	Zoning District Requirement	Existing PUD Requirement (if applicable)	Proposed
	District: BR	Ordinance #:	
Minimum Lot Area	43,560		113,823
Minimum Lot Width	None		-
Maximum Building Coverage	30%		29.6% (33,744 sq. ft.)
Maximum Gross Floor Area per Building	None		-
Maximum Building Height	40 ft.		45 ft.
Front Yard	Building: 20 ft. min Pavement: 20 ft. min		Building: 49 ft. Pavement: 19.75 ft.
Interior Side Yard	Building: 15 ft. min Pavement: none		Building: 86 ft Pavement: n/a
Exterior Side Yard	Building: 20 ft. min Pavement: 20 ft. min		Building: 64 ft. Pavement: 19.46 ft
Minimum Rear Yard	Building: 30 ft. min Pavement: none		Building: 72 ft. Pavement: 14 ft.
Landscape Buffer Yard ²	None		N/A
% Overall Landscaped Area	20%		24.3% (27,646 sq. ft.)
Building Foundation Landscaping	8' wide		None, except for South elevation, all in excess of 8'
% Interior Parking Lot Landscaping	10% (applicable only if 20+ parking spaces)		N/A
Interior Parking Lot Shade Trees	Applicable only if 20+ parking spaces		N/A
# of Parking spaces	1 per 10 storage units		10
Parking Stall Dimensions	9' x 18'		9' x 18'
Drive-through Stacking Spaces (if applicable)			N/A

² Within the zoning districts specified, a Landscape Buffer Yard shall be provided along any lot line that abuts or is across a street from property in any RE, RS, RT or RM District. See Chapter 17.26 for planting and screening requirements for Landscape Buffers. Landscape Buffer Yards may include or overlap with other required yards.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	Metro Storage - 2623 Lincoln Hwy
Project Number:	2015 -PR- 024
Application Number:	2015 -AP- 045



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location:	2623 LINCOLN HWY, ST CHARLES IL	
	Parcel Number (s):	09-32-400-030-0000	
	Proposed PUD Name:	METRO STORAGE ST CHARLES LLC	
2. Applicant Information:	Name	ROBERT HEILMAN FOR METRO STORAGE	Phone (847) 235-8931
	Address	13528 FOULTON BLVD LAKE FOREST IL 60045	Fax (847) 235-8901
			Email BHEILMAN@METROSTORAGE.COM
3. Record Owner Information:	Name	UNBEL, LLC % FRED SHAW	Phone (847) 888-7500 x225
	Address	101 EAST CHICAGO ST, PO BOX 641 BELGIV IL 60120	Fax (847) 888-2626
			Email FLSHAW@UNBELGIN.COM

Please check the type of application:

- New proposed PUD- Planned Unit Development (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development
- PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
 - Final Plat of Subdivision Application filed concurrently
 - Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

- APPLICATION FEE:** Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

- REIMBURSEMENT OF FEES AGREEMENT:**

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

- REIMBURSEMENT OF FEES INITIAL DEPOSIT:**

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- PROOF OF OWNERSHIP and DISCLOSURE:**

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

□ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

□ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

□ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

□ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

□ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

□ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

❑ **ARCHITECTURAL PLANS:**

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

❑ **TREE PRESERVATION PLAN:**

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

❑ **LANDSCAPE PLAN:**

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

❑ **STORMWATER MANAGEMENT:**

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

❑ **SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:**

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

☐ PUBLIC BENEFITS, DEPARTURES FROM CODE:

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

☐ SCHEDULE: Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

☐ PARK AND SCHOOL LAND/CASH WORKSHEETS

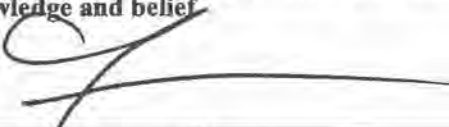
For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

☐ INCLUSIONARY HOUSING SUMMARY & WORKSHEET:

For residential developments, submit information describing how the development will comply with the requirements of Chapter 17.18, Inclusionary Housing, including:

- The number and rental/for sale status of Market-Rate Units and Affordable Units to be constructed including type of dwelling, number of bedrooms per unit, proposed pricing, and construction schedule, including anticipated timing of issuance of building permits and occupancy certificates.
- Documentation and plans regarding locations of Affordable Units and Market-Rate Units, and their exterior appearance, materials, and finishes.
- A description of the marketing plan that the Applicant proposes to utilize and implement to promote the sale or rental of the Affordable Units within the development; and,
- Any proposal to pay fees in lieu of providing the required Affordable Unit, per section 17.18.050.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief



8/15/15

Record Owner

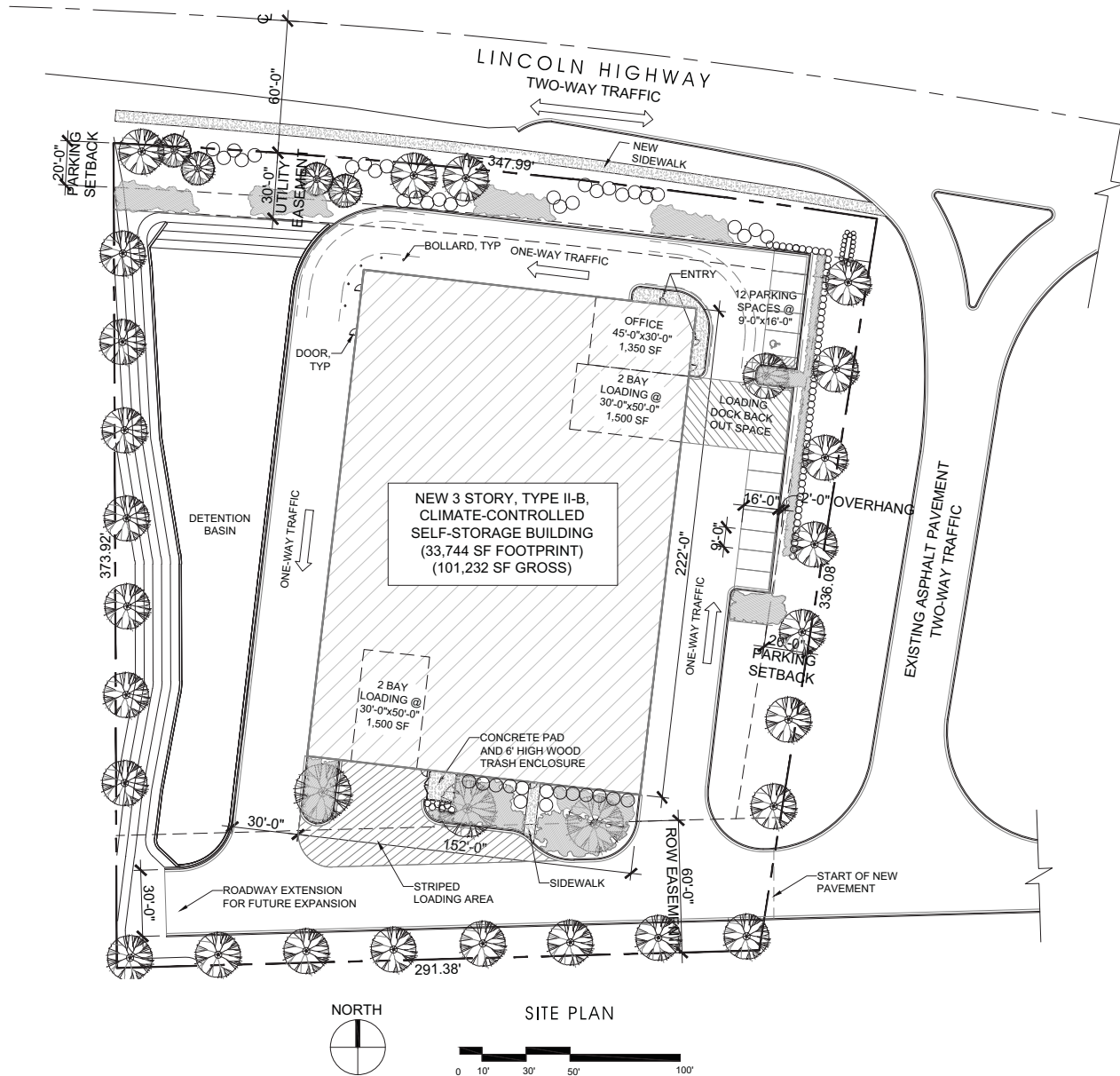
Date



8/31/15

Applicant or Authorized Agent

Date



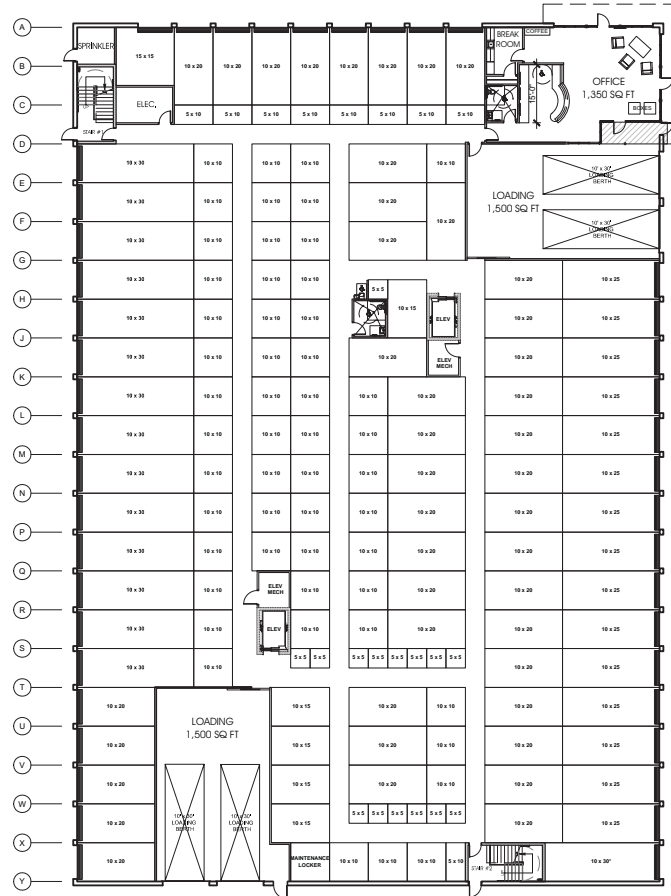
PROJECT DATA	
SITE AREA:	113,823 SF
ZONING:	BR
MAX BLDG COV.:	30%
MAX FOOTPRINT:	34,147 SF
BUILDING FOOTPRINT:	33,744 SF
NUMBER OF STORIES:	3 STORIES
GROSS AREA:	101,232 SF
NET STORAGE @ 72%:	72,450 SF
PARKING PROVIDED:	12 SPACES

METRO STORAGE
OWNER

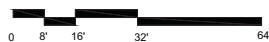
NOVEMBER 11, 2015

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FIRST FLOOR PLAN



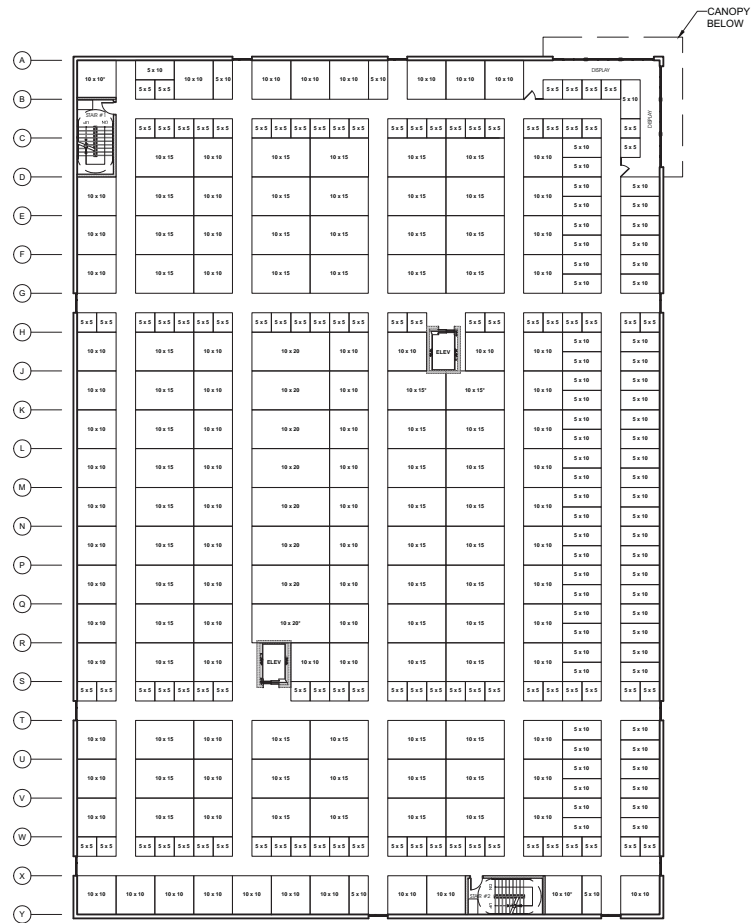
METRO STORAGE
OWNER

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SECOND FLOOR PLAN



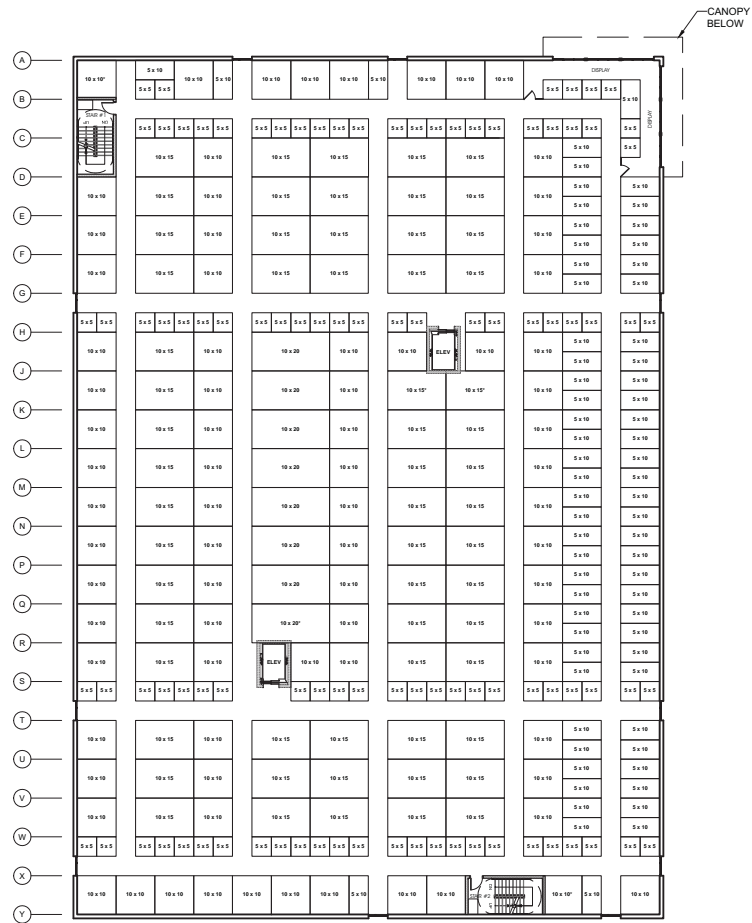
METRO STORAGE
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THIRD FLOOR PLAN



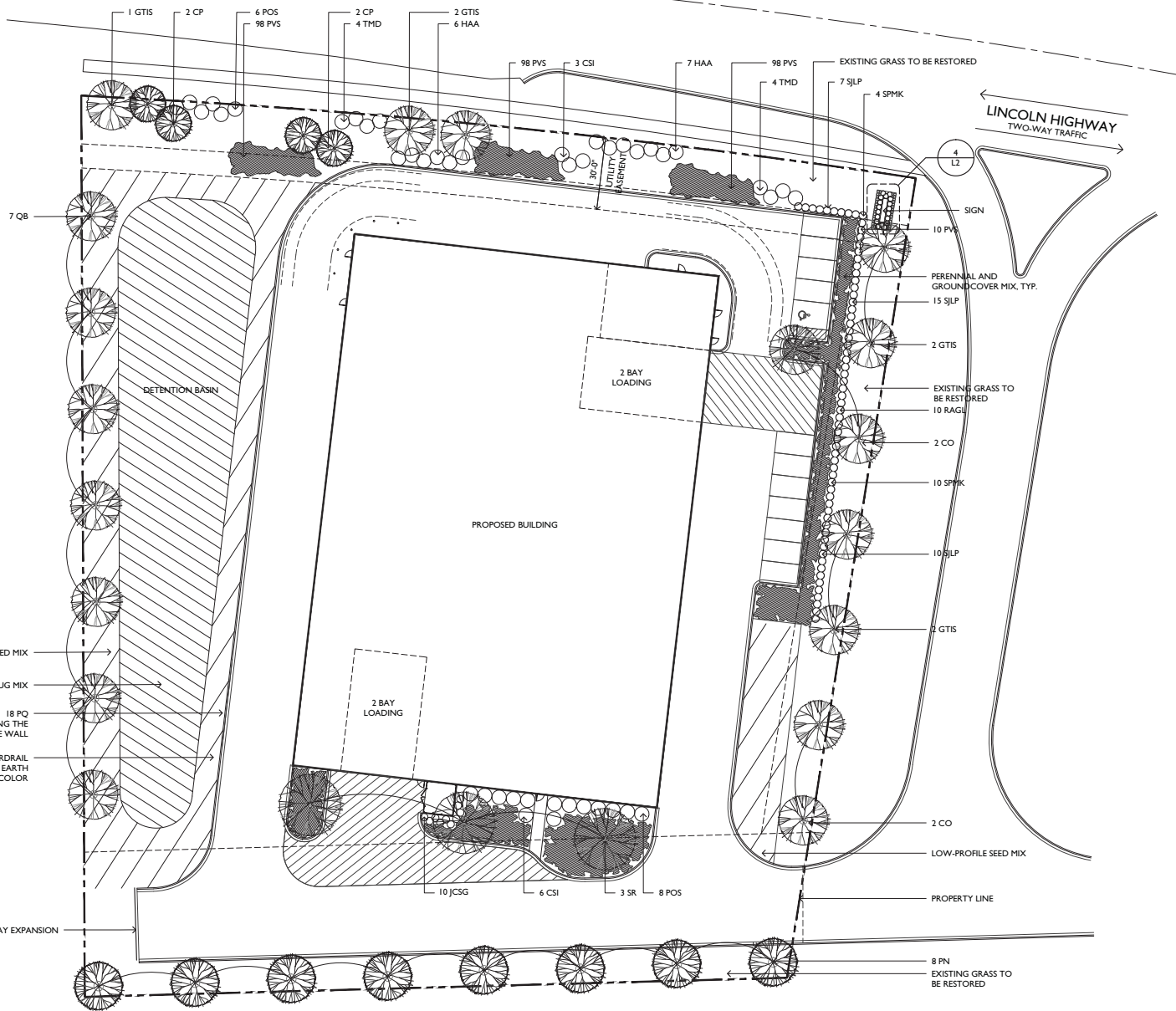
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OWNER

NOVEMBER 11, 2015

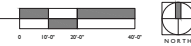
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LANDSCAPE PLAN
SCALE: 1" = 20'-0"



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
WOLFF LANDSCAPE ARCHITECTURE
307 NORTH MICHIGAN AVENUE
SUITE 401
CHICAGO, ILLINOIS 60601
312.463.5494 T
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ISSUE	DESCRIPTION	DATE
2	ISSUE FOR REVIEW	11/23/2015
3	ISSUE FOR REVIEW	11/17/2015
1	ISSUE FOR REVIEW	9/4/2015

LICENSURE SEAL:

**METRO
SELF-STORAGE
ST. CHARLES**
SGW
2423 LINCOLN HIGHWAY
ST. CHARLES, ILLINOIS 60119

DRAWN BY:	CG
REVIEWED BY:	MC
DATE:	11/25/2015
SCALE:	AS NOTED
PROJECT NUMBER:	15073

LANDSCAPE PLAN

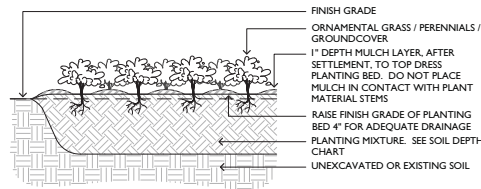
L-I

	CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS	
TREES	GTIS	GLEDTISIA TRIACANTHOS VAR. INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	7	3"	7'	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY	
	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	7	3"	7'	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY; SPRING DIG ONLY	
	SR	SYRINGA RETICULATA	JAPANESE TREE LILAC	3	3"	7'	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY	
	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	4	3"	7'	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY	
	CP	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	4	3"	7'	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY	
	PN	PINUS NIGRA	AUSTRIAN PINE	8	3"	8'	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY	
	JCSG	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	20		30"	-	#5	3'-0" ON CENTER	
	HAA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE SMOOTH HYDRANGEA	13		36"	-	#5	4'-0" ON CENTER	
	RAGL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	10		30"	24"	CONT.	SEE PLANS FOR SPACING	
	CSI	CORNUS SERICEA 'ISANTI'	ISANTI REDOSIER DOGWOOD	9		36"	-	#5	SEE PLANS FOR SPACING	
DECIDUOUS AND EVERGREEN TREES AND ORNAMENTAL GRASSES	POS	PHYSCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE NINEBARK	14		36"	-	#5	SEE PLANS FOR SPACING	
	PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	294		24"	-	#3	2'-0" ON CENTER	
	SJP	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS JAPANESE SPIREA	32		30"	18"	#3	3'-0" ON CENTER	
	SPHK	SYRINGA PATULA 'MISS KIM'	MISS KIM MANCHURIAN LILAC	14		36"	36"	B&B	4'-0" ON CENTER	
	TMD	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	8		36"	36"	B&B	4'-0" ON CENTER	
	PERENNIALS AND GROUND COVER MIX	HSPP	HEMEROCALLIS MIX	DAY LILY MIX (20% OF 5 SPECIES)	-	-	-	-	#1	1'-6" ON CENTER
		NF	NEPETA X FAASSENII	CATMINT	-	-	-	-	#1	2'-0" ON CENTER
		ACP	ASTILBE CHINENSIS 'PUMILA'	PUMILA CHINESE DWARF ASTILBE	-	-	-	-	#1	1'-6" ON CENTER
		HRS	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	-	-	-	-	#1	2'-0" ON CENTER
		LD	LIGULARIA DENTATA	BIG LEAF LIGULARIA	-	-	-	-	#2	2'-0" ON CENTER
EFC		ELJONYMUS FORTUNEI 'COLORATUS'	PURPLE LEAF WINTERCREEPER	-	-	-	-	QT	1'-0" ON CENTER	
PTE		PACHYSANDRA TERMINALIS	JAPANESE SPURGE	-	-	-	-	QT	1'-0" ON CENTER	
PQ		PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	-	-	-	-	#3	SEE PLAN FOR SPACING	

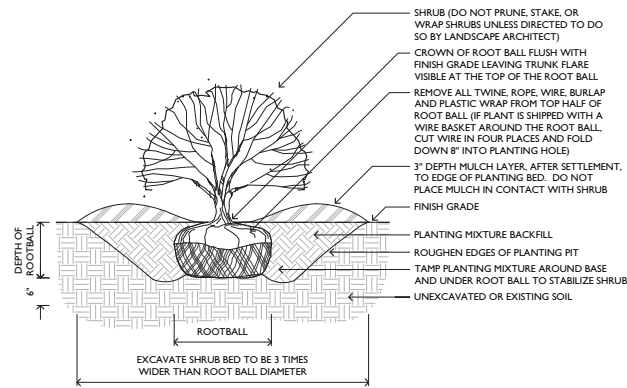
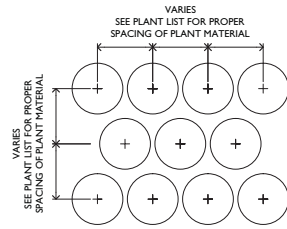
- THE PLANT LIST IS PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.
- CONTRACTOR MUST REPAIR ALL SIDEWALKS, CURBS AND GUTTERS AND ALLEYS TO THEIR ORIGINAL FORM IF DAMAGE OCCURS DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE TEST OF EXISTING AND IMPORTED SOILS.
- ALL SOILS MUST BE AMENDED TO MEET THE FOLLOWING REQUIREMENTS:
 - 45-77% - SILT
 - 0-25% - CLAY
 - 25-33% - SAND
 - 3-5% - ORGANIC CONTENT
 - pH BETWEEN 6.0 - 7.0
- CONTRACTOR TO PROVIDE A PLAN OF TYPES AND EXTENT OF SOIL MODIFICATION.
- CONTRACTOR TO PROVIDE SOIL PERCOLATION TESTS.
- CONTRACTOR TO PROVIDE MECHANICAL SUBSURFACE DRAINAGE, AS REQUIRED IN AREAS WITH POOR PERCOLATION RATES.
- ALL EXISTING PARKWAY TREES TO BE PRUNED TO MEET NATIONAL ARBORIST ASSOCIATION (NAA) CLASS A STANDARDS.
- ALL TREES TO BE BRANCHED A MINIMUM OF 7'-0" HEIGHT FROM GRADE.
- ALL EXISTING SOD PARKWAYS TO BE RE-SODDED AS REQUIRED.
- RE-MULCH ALL EXISTING PARKWAY TREES.
- SHREDDED HARDWOOD MULCH MUST BE USED FOR ALL PLANTING BEDS.

1 SAMPLE PLANT LIST

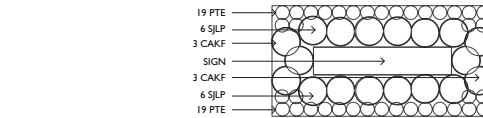
NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.



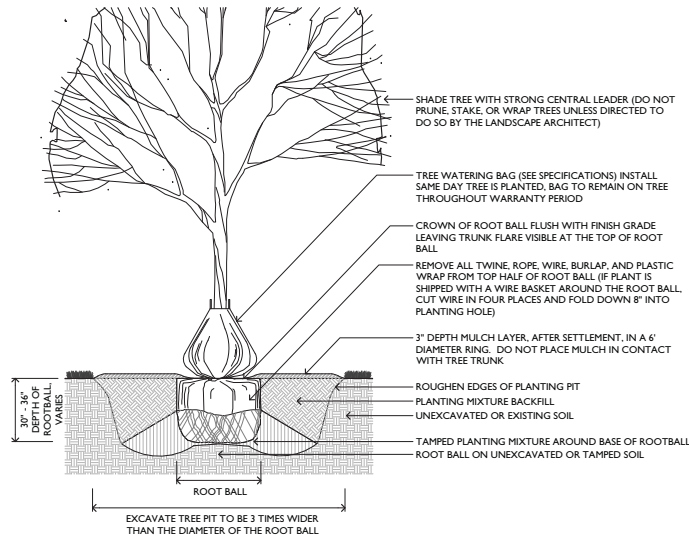
2 PERENNIAL, ORNAMENTAL GRASS, AND GROUND COVER INSTALLATION
SCALE: 1" = 1'-0"



3 SHRUB INSTALLATION
SCALE: 1" = 1'-0"



4 ENLARGED PLANTING PLAN - SIGN
SCALE: 1/4" = 1'-0"



5 SHADE TREE INSTALLATION
SCALE: 1/2" = 1'-0"

ISSUE	DESCRIPTION	DATE
3	ISSUE FOR REVIEW	11/23/2015
2	ISSUE FOR REVIEW	11/11/2015
1	ISSUE FOR REVIEW	9/4/2015

ISSUE DESCRIPTION DATE

LICENSE SEAL

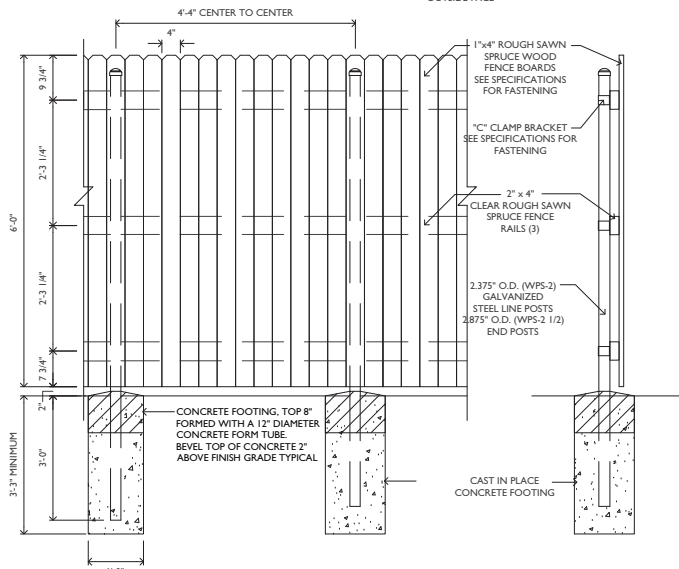
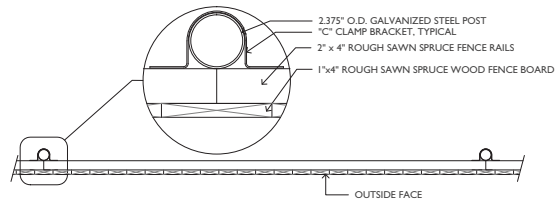
METRO SELF-STORAGE ST. CHARLES

SGW
2632 LINCOLN HIGHWAY
ST. CHARLES, ILLINOIS 60119

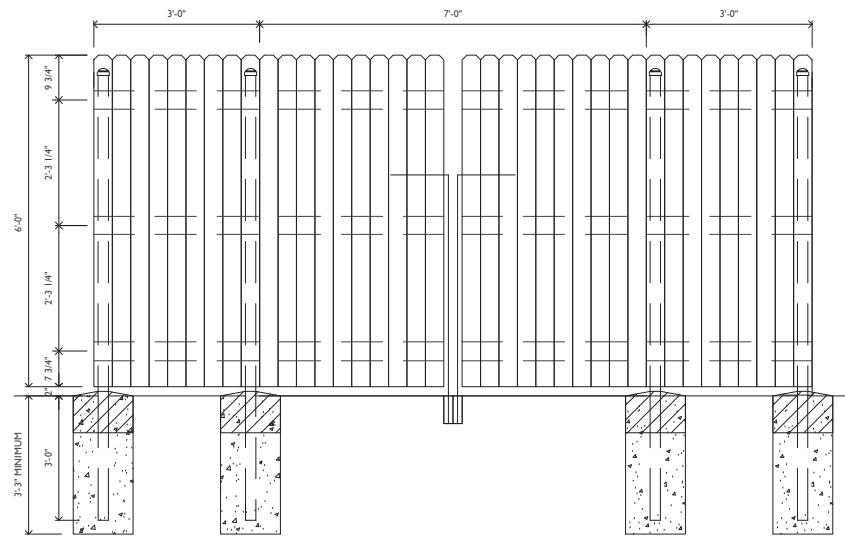
DRAWN BY:	CG
REVIEWED BY:	MC
DATE:	11/05/2015
SCALE:	AS NOTED
PROJECT NUMBER:	15073

PLANT LIST & DETAILS

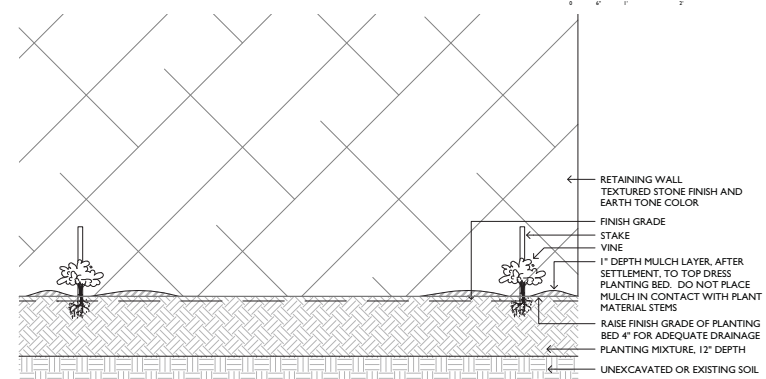
L-2



1 TRASH ENCLOSURE DETAILS
SCALE: 1" = 1'-0"



2 TRASH ENCLOSURE GATE DETAIL
SCALE: 1" = 1'-0"



3 VINE PLANTING DETAIL
SCALE: 1" = 1'-0"

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
WOLFF LANDSCAPE ARCHITECTURE
107 NORTH MICHIGAN AVENUE
SUITE 401
CHICAGO, ILLINOIS 60611
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ISSUE	DESCRIPTION	DATE
3	ISSUE FOR REVIEW	11/23/2015
2	ISSUE FOR REVIEW	11/11/2015
1	ISSUE FOR REVIEW	9/4/2015

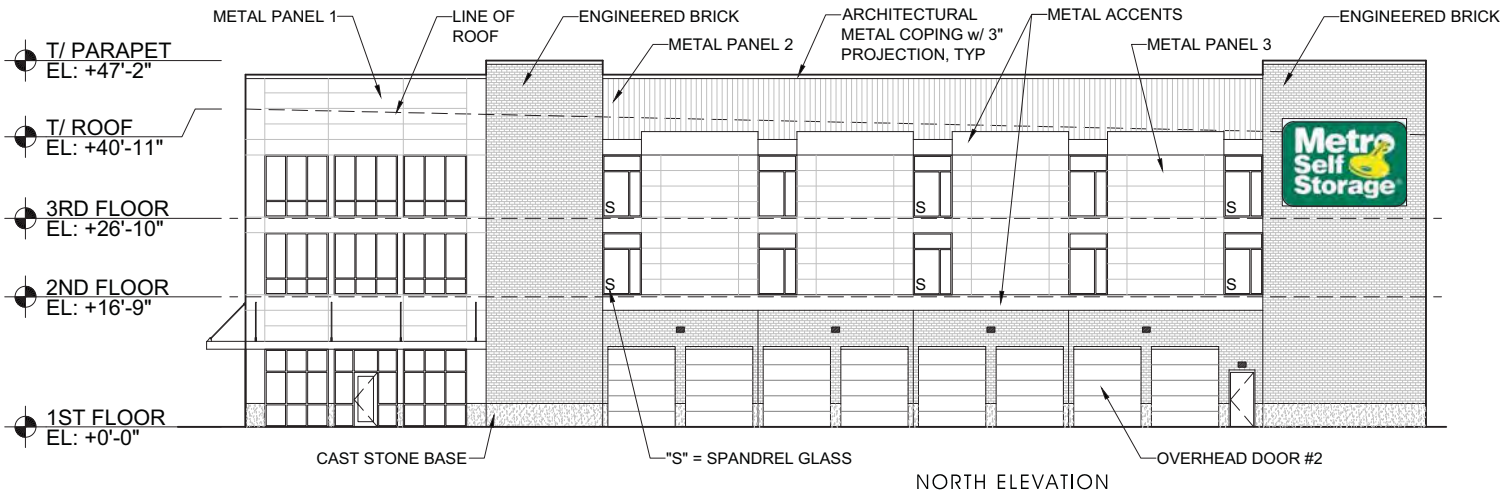
ISSUE DESCRIPTION DATE
LICENSURE SEAL

**METRO
SELF-STORAGE
ST. CHARLES**
SGW
2632 LINCOLN HIGHWAY
ST. CHARLES, ILLINOIS 60119

DRAWN BY: CG
REVIEWED BY: MC
DATE: 11/5/2015
SCALE: AS NOTED
PROJECT NUMBER: 15073

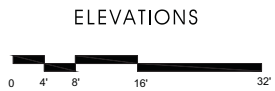
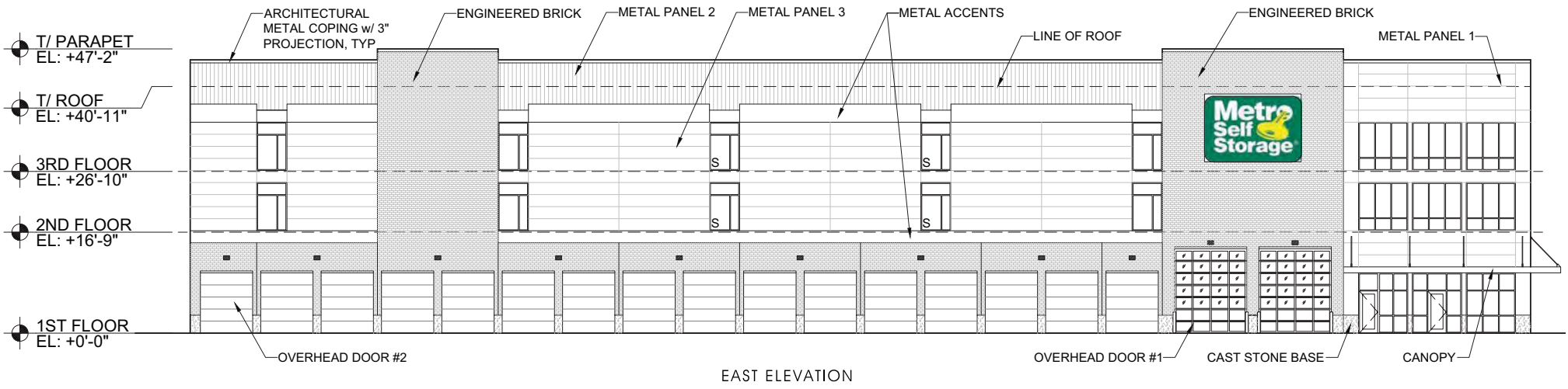
LANDSCAPE DETAILS

L-3



MATERIAL LEGEND

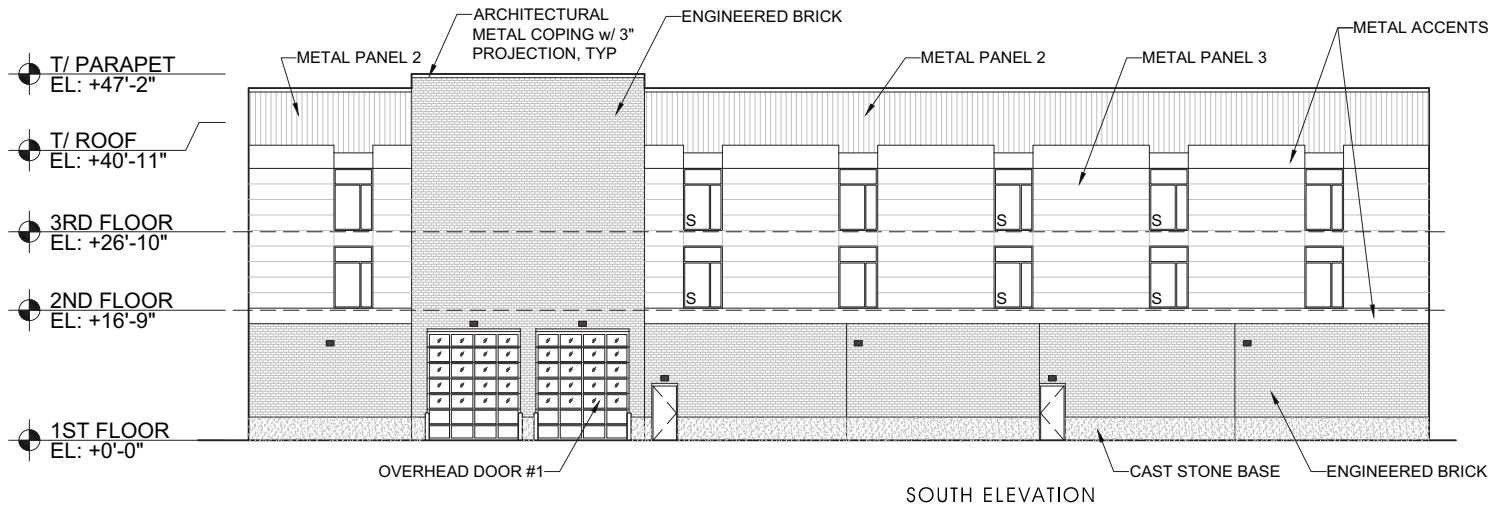
CAST STONE BASE - MFR: NORTHFIELD - STYLE: CORDOVA STONE - COLOR: PER RENDERING	ENGINEERED BRICK - MFR: TBD - SIZE: 4" x 8" - COLOR: PER RENDERING
METAL PANEL 1 - MFR: KINGSPAN - STYLE: OPTIMO SMOOTH - COLOR: PER RENDERING	STANDING SEAM METAL ROOF - MFR: MBCI - STYLE: ULTRA-DEK - COLOR: PER RENDERING
METAL PANEL 2 - MFR: MBCI - STYLE: PBD PANEL - COLOR: PER RENDERING	OVERHEAD DOOR #1 - MFR: CLOPAY - MODEL: 903 - COLOR: PER RENDERING
METAL PANEL 3 - MFR: KINGSPAN - STYLE: KS300A AZTECO - COLOR: PER RENDERING	OVERHEAD DOOR #2 - MFR: CLOPAY - MODEL: 3602 - COLOR: PER RENDERING



METRO STORAGE
OWNER
NOVEMBER 23, 2015

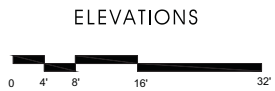
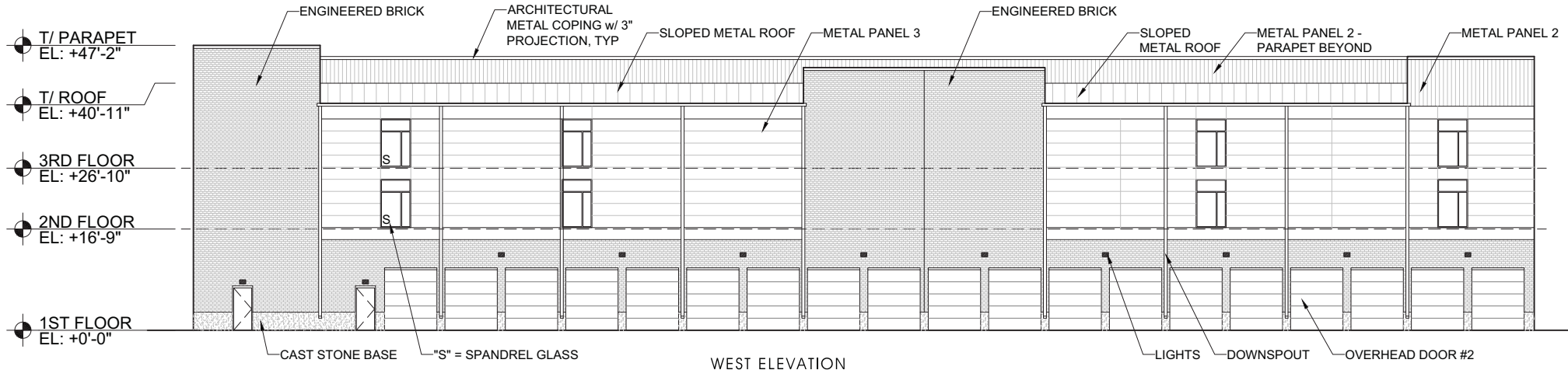
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MATERIAL LEGEND

CAST STONE BASE - MFR: NORTHFIELD - STYLE: CORDOVA STONE - COLOR: PER RENDERING	ENGINEERED BRICK - MFR: TBD - SIZE: 4" x 8" - COLOR: PER RENDERING
METAL PANEL 1 - MFR: KINGSPAN - STYLE: OPTIMO SMOOTH - COLOR: PER RENDERING	STANDING SEAM METAL ROOF - MFR: MBCI - STYLE: ULTRA-DEK - COLOR: PER RENDERING
METAL PANEL 2 - MFR: MBCI - STYLE: PBD PANEL - COLOR: PER RENDERING	OVERHEAD DOOR #1 - MFR: CLOPAY - MODEL: 903 - COLOR: PER RENDERING
METAL PANEL 3 - MFR: KINGSPAN - STYLE: KS300A AZTECO - COLOR: PER RENDERING	OVERHEAD DOOR #2 - MFR: CLOPAY - MODEL: 3602 - COLOR: PER RENDERING

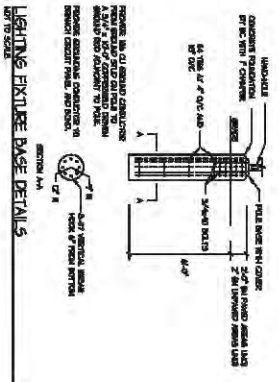
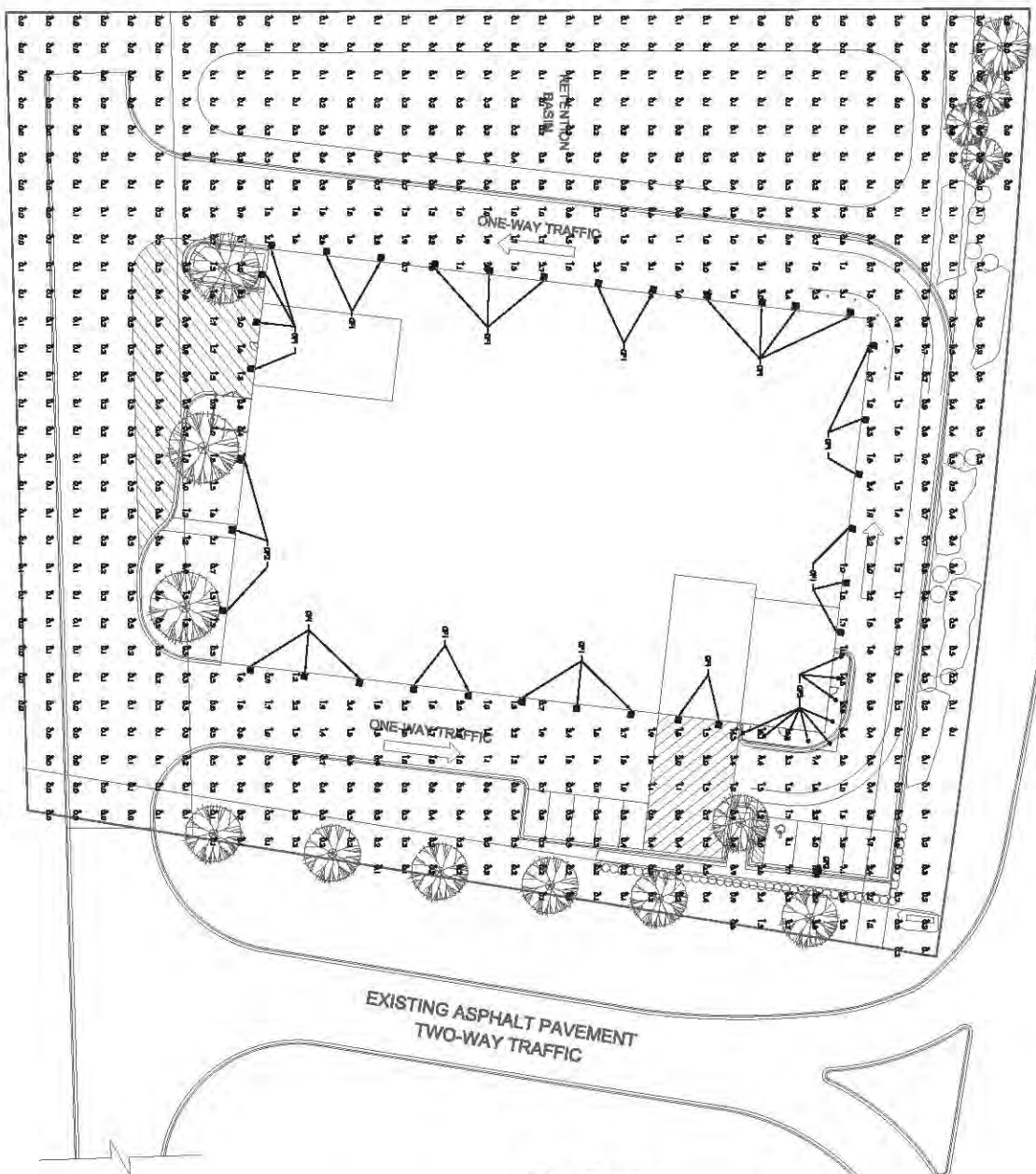


METRO STORAGE
OWNER
NOVEMBER 23, 2015

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SITE PLAN
SCALE 1" = 20'



PL #	LIGHT LAMP	LUMINAIRE	LAMP SPACING	SITE LIGHTING DATA
001	40W	2000	20'-0"	ASPHALT PAVEMENT
002	40W	2000	20'-0"	ASPHALT PAVEMENT
003	40W	2000	20'-0"	ASPHALT PAVEMENT
004	40W	2000	20'-0"	ASPHALT PAVEMENT
005	40W	2000	20'-0"	ASPHALT PAVEMENT
006	40W	2000	20'-0"	ASPHALT PAVEMENT
007	40W	2000	20'-0"	ASPHALT PAVEMENT
008	40W	2000	20'-0"	ASPHALT PAVEMENT
009	40W	2000	20'-0"	ASPHALT PAVEMENT
010	40W	2000	20'-0"	ASPHALT PAVEMENT
011	40W	2000	20'-0"	ASPHALT PAVEMENT
012	40W	2000	20'-0"	ASPHALT PAVEMENT
013	40W	2000	20'-0"	ASPHALT PAVEMENT
014	40W	2000	20'-0"	ASPHALT PAVEMENT
015	40W	2000	20'-0"	ASPHALT PAVEMENT
016	40W	2000	20'-0"	ASPHALT PAVEMENT
017	40W	2000	20'-0"	ASPHALT PAVEMENT
018	40W	2000	20'-0"	ASPHALT PAVEMENT
019	40W	2000	20'-0"	ASPHALT PAVEMENT
020	40W	2000	20'-0"	ASPHALT PAVEMENT
021	40W	2000	20'-0"	ASPHALT PAVEMENT
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097	40W	2000	20'-0"	ASPHALT PAVEMENT
098	40W	2000	20'-0"	ASPHALT PAVEMENT
099	40W	2000	20'-0"	ASPHALT PAVEMENT
100	40W	2000	20'-0"	ASPHALT PAVEMENT

- PLAN NOTES**
1. LIGHTING LUMINAIRE LOCATIONS, CONCENTRATIONS, HEIGHTS, SPACING, AND SPACING SHALL BE AS SHOWN ON THIS PLAN. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 2. DIMENSIONS ARE APPROXIMATE. ALL DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN.
 3. DIMENSIONS ARE APPROXIMATE. ALL DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN.
 4. DIMENSIONS ARE APPROXIMATE. ALL DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN.
 5. DIMENSIONS ARE APPROXIMATE. ALL DIMENSIONS SHALL BE AS SHOWN ON THIS PLAN.

CARTLAND • REAS ENGINEERING, LTD.
7000 South Loop West, Suite 2000, Houston, Texas 77054-1100
Phone: 713/865-1100
Fax: 713/865-1101
www.cartland-reas.com

PROJECT INFORMATION

CLIENT: MERCITOR STORAGE
ADDRESS: LINCOLN HIGHWAY ST. CHARLES, ILLINOIS 62623

DATE: 10/14/03
SCALE: 1" = 20'

PROJECT NO.: E1.4

DESIGNER: G. WILSON
DATE: 10/14/03

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

PROJECT NO.: E1.4

Note: rendering does not completely reflect the revised architectural elevations (east side)



Metro Self Storage

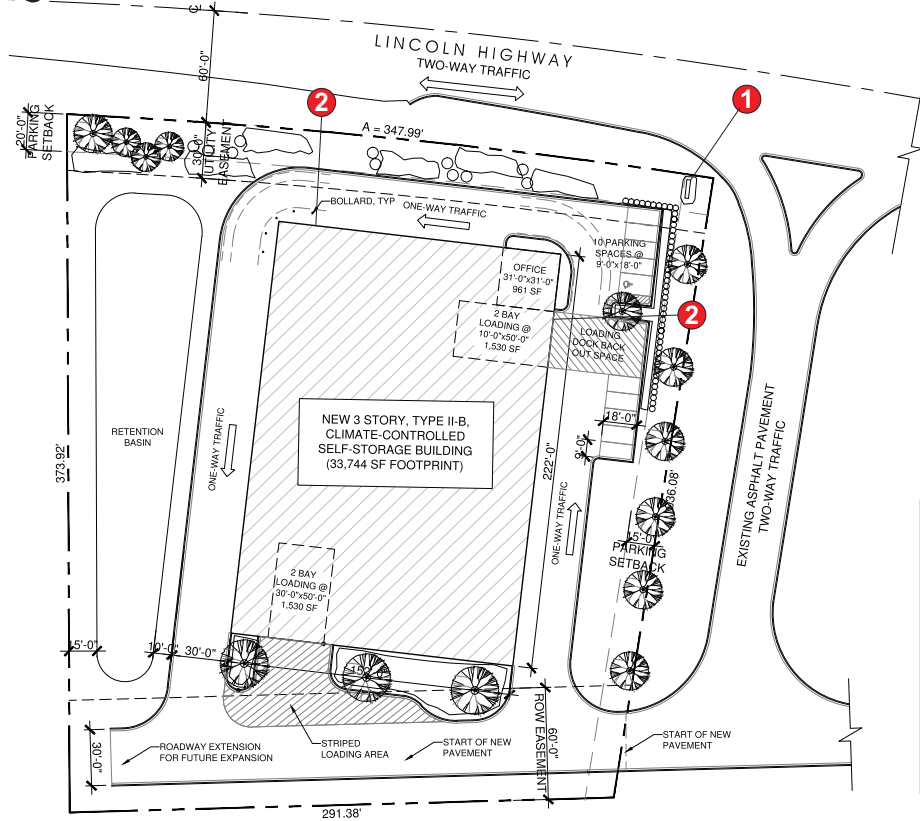


metrostorage.com

2623 LINCOLN HIGHWAY, ST. CHARLES, IL



ADAMS ELECTRIC SIGNS
CHICAGO, IL



LEGEND - NEW SIGNAGE

- 1 (1) COMPLETE D/F INT. ILL. MONUMENT SIGN W/ FLEX FACES FULL COLOR 20 MM ELECTRONIC MSG DISPLAY
- 2 (2) COMPLETE S/F INT. ILL. WALL MOUNTED CABINET SIGNS W/ FLEX FACES

PROJECT DATA	
SITE AREA:	113,823 SF
ZONING:	BR
MAX BLDG COV.:	30%
MAX FOOTPRINT:	34,147 SF
BUILDING FOOTPRINT:	33,744 SF
NUMBER OF STORIES:	3 STORIES
GROSS AREA:	101,232 SF
NET STORAGE @ 72%:	72,887 SF
PARKING PROVIDED:	10 SPACES

METRO SELF STORAGE
 2623 LINCOLN HIGHWAY
 ST. CHARLES, IL
 ORDER#:

2623 LINCOLN HIGHWAY
 ST. CHARLES, ILLINOIS

ACCEPTED BY: _____ DATE: _____

ALL INFORMATION CONTAINED ON THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. IT IS THE SOLE PROPERTY OF ADAMS SIGNS AND IS NOT TO BE REPRODUCED BY ANYONE WITHOUT WRITTEN CONSENT FROM ADAMS SIGNS. THIS SIGN SHALL REMAIN THE PROPERTY OF ADAMS SIGNS UNTIL FULLY PAID FOR. THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



SCALE: SEE ABOVE	DATE: 10-9-15
SALES: DARRYL	ART: RS
DWG. #: 1015011	CKD. :

AS BUILT: CABINET TRIM SIZE:

FACE TRIM SIZE:

**1 Complete D/F Int. III. Monument Sign w/ Flex Faces
D/F Full Color 20 Mm Electronic Message Display**



57.51 SQ. FT.

METRO SELF STORAGE
2623 LINCOLN HIGHWAY
ST. CHARLES, IL
ORDER#:

ACCEPTED BY: _____ DATE: _____

(1) COMPLETE D/F INTERNALLY ILLUMINATED CABINET SIGN WITH FLEX FACES. FIRST SURFACE VINYL DECORATION. THE CABINET IS TO HAVE RADIUS CORNERS. THE RETAINER IS FIGURED FOR 2". THE CABINET DEPTH IS TO BE 1'-6". THE SIGN IS TO BE CENTER POLE MOUNTED WITH AN ALUMINUM POLE COVER. THE POLE COVER IS TO HAVE STONE VENEER APPLIED. THE POLE COVER IS TO HAVE A SET OF 1/4" THICK FLAT CUT OUT ALUMINUM LETTERS STUD MOUNTED TO EACH FACE SIDE. THE SIGN IS TO HAVE A FABRICATED ALUMINUM TOPPER PAINTED TOP MATCH ARCHITECTURE. THE SIGN IS TO INCLUDE A FULL COLOR 20 MM ELECTRONIC MESSAGE DISPLAY. 2'-0" +/- DEPTH. THE SIGN IS TO BE UL LISTED WITH A SERVICE SWITCH INSTALLED.

- COLORS:**
- CABINET: 3630-76 HOLLY GREEN (PMS 357)
 - FACE BKGD: 3630-76 HOLLY GREEN
 - PHONE: 3630-125 GOLDEN YELLOW
 - KEY LOGO: 3630-125 GOLDEN YELLOW, WHITE
 - BALANCE OF COPY: WHITE
 - ☒ REVEAL: TBD
 - ☒ POLE COVER: STONE VENEER TBD
 - ☒ POLE COVER CAP: TBD

ALL INFORMATION CONTAINED ON THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. IT IS THE SOLE PROPERTY OF ADAMS SIGNS AND IS NOT TO BE REPRODUCED BY ANYONE WITHOUT WRITTEN CONSENT FROM ADAMS SIGNS.

THIS SIGN SHALL REMAIN THE PROPERTY OF ADAMS SIGNS UNTIL FULLY PAID FOR.

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



ADAMS ELECTRIC SIGNS
CHICAGO, IL

SCALE: 1:20 DATE: 10-9-15

SALES: DARRYL ART: RS

DWG. #: 1015011 CKD. :

AS BUILT: CABINET TRIM SIZE:

FACE TRIM SIZE:



99 SQ. FT.

(2) COMPLETE S/F INTERNALLY ILLUMINATED CABINET SIGN WITH FLEX FACE. FIRST SURFACE VINYL DECORATION. THE CABINET IS TO HAVE RADIUS CORNERS. THE RETAINER IS FIGURED FOR 4". THE CABINET DEPTH IS TO BE 1'-6". THE SIGNS ARE TO BE FLUSH MOUNTED TO WALL. FLUORESCENT LAMP ILLUMINATION. THE SIGN IS TO BE UL LISTED WITH A SERVICE SWITCH INSTALLED.

- COLORS:
- CABINET: 3630-76 HOLLY GREEN (PMS 357)
 - FACE BKGD: 3630-76 HOLLY GREEN
 - PHONE: 3630-125 GOLDEN YELLOW
 - KEY LOGO: 3630-125 GOLDEN YELLOW, WHITE
 - BALANCE OF COPY: WHITE

METRO SELF STORAGE
 2623 LINCOLN HIGHWAY
 ST. CHARLES, IL
 ORDER#:

ACCEPTED BY: _____ DATE: _____

ALL INFORMATION CONTAINED ON THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. IT IS THE SOLE PROPERTY OF ADAMS SIGNS AND IS NOT TO BE REPRODUCED BY ANYONE WITHOUT WRITTEN CONSENT FROM ADAMS SIGNS.

THIS SIGN SHALL REMAIN THE PROPERTY OF ADAMS SIGNS UNTIL FULLY PAID FOR.

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



ADAMS ELECTRIC SIGNS
CHICAGO, IL

SCALE: 1/2" = 1'-0"

DATE: 10-9-15

SALES: DARRYL

ART: RS

DWG. #: 1015011

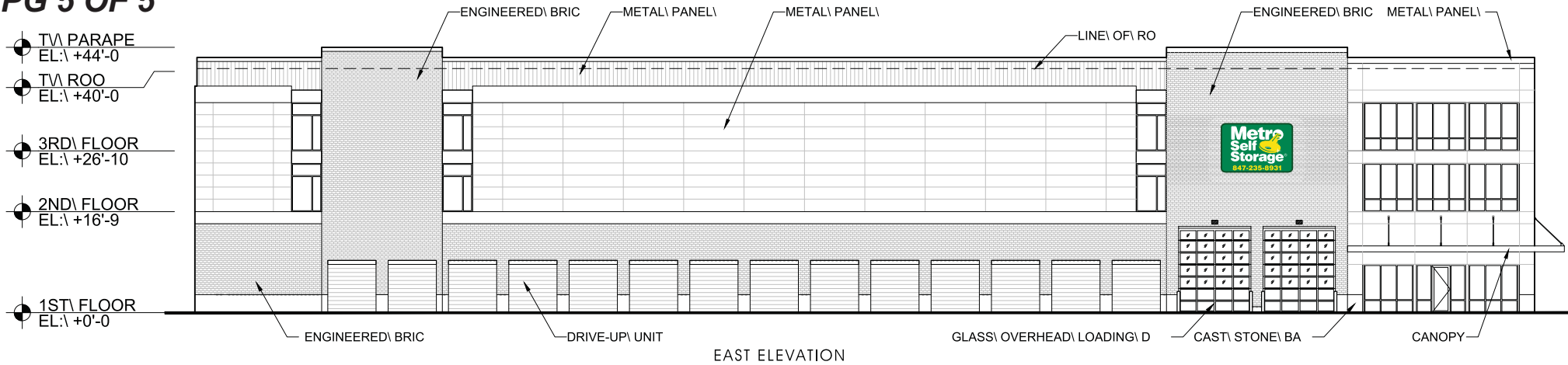
CKD. :

AS BUILT: CABINET TRIM SIZE:

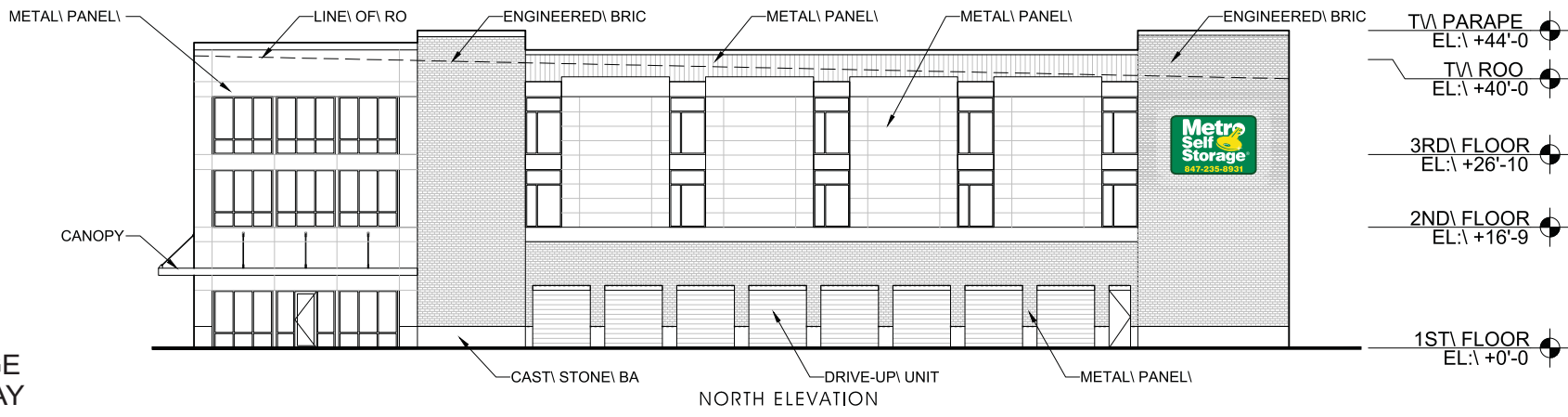
FACE TRIM SIZE:

Note: this sign plan does not reflect the revised architectural elevations.

PG 5 OF 5



EAST ELEVATION



NORTH ELEVATION

METRO SELF STORAGE
2623 LINCOLN HIGHWAY
ST. CHARLES, IL
ORDER#:

ACCEPTED BY: _____ DATE: _____

ALL INFORMATION CONTAINED ON THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. IT IS THE SOLE PROPERTY OF ADAMS SIGNS AND IS NOT TO BE REPRODUCED BY ANYONE WITHOUT WRITTEN CONSENT FROM ADAMS SIGNS.

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ADAMS ELECTRIC SIGNS
CHICAGO, IL

SCALE: 1/16" = 1'-0"

DATE: 10-9-15

SALES: DARRYL

ART: RS

DWG. #: 1015011

CKD. :

AS BUILT: CABINET TRIM SIZE:

FACE TRIM SIZE:

This type of product will be used for the retaining wall, in a color that coordinates with the building's masonry

Standard Unit Series



THE KEYSTONE STANDARD UNIT IS AN AMERICAN ORIGINAL.

The product that started the industry is still the industry leader for tall walls and critical structures. The height-to-depth ratio of the Keystone Standard unit delivers a structurally sound, engineered wall system with superior construction stability, durability, and strength. Architects, engineers, and contractors rely on the Keystone Standard unit to stand strong when the safety and security of their wall designs matter.

	Standard I		Standard II	Standard III	
Unit Height	8" (200mm)		8" (200mm)	8" (200mm)	
Unit Width	18" (455mm)		18" (455mm)	18" (455mm)	
Unit Depth	18" (455mm)	21" (533mm)	18" (455mm)	18" (455mm)	21" (533mm)
Face Area per Unit	1SF (.093m ³)		1SF (.093m ³)	1SF (.093m ³)	
Unit Weight	95-125lbs (43-56kg)		93-115lbs (42-53kg)	90-100 lbs (41-45kg)	
Volume of Voids to Tail	0.70 ft ³ /ft ² (0.21m ³ /m ²)	0.90 ft ³ /ft ² (0.27m ³ /m ²)	0.70 ft ³ /ft ² (0.21m ³ /m ²)	0.81 ft ³ /ft ² (0.25m ³ /m ²)	1.01 ft ³ /ft ² (0.31m ³ /m ²)
Volume of Voids to 24" depth	1.20 ft ³ /ft ² (0.37m ³ /m ²)	1.16 ft ³ /ft ² (0.36m ³ /m ²)	1.20 ft ³ /ft ² (0.37m ³ /m ²)	1.31 ft ³ /ft ² (0.40m ³ /m ²)	1.26 ft ³ /ft ² (0.38m ³ /m ²)
Fiberglass Pin	Straight Pin				

NOTE: UNIT WEIGHTS, DIMENSIONS AND AVAILABILITY VARY BY MANUFACTURER. PLEASE CONTACT YOUR LOCAL REPRESENTATIVE.



Standard I
Tri-plane

Standard I
Straight



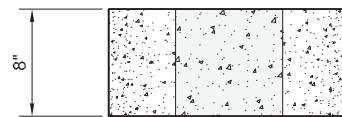
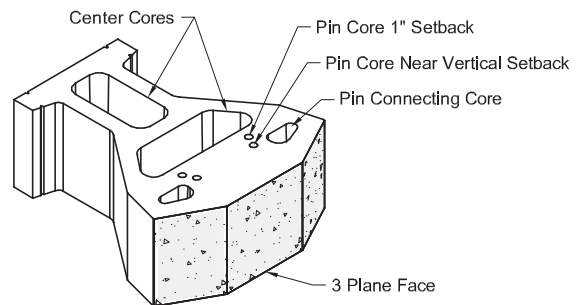
Standard II
Tri-plane

Standard II
Straight

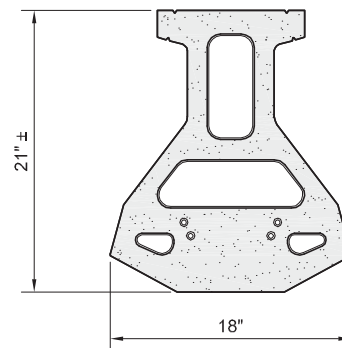


Standard III
Tri-plane

Standard III
Straight



3 Plane Standard I Unit Elevation



The information contained herein has been compiled by Keystone® Retaining Wall Systems, Inc. and to the best of our knowledge, accurately represents the Keystone product use in the applications which are illustrated. Final determination of the suitability for the use contemplated and its manner of use are the sole responsibility of the user. Structural design and analysis shall be performed by a qualified engineer.



DESIGN AND BUILD WITH CONFIDENCE. The Keystone Compac is the perfect choice when the deep embedment length of the Keystone Standard unit is not required. An installer's favorite, its lighter weight and shorter tail design make it easy to handle.

	Compac I	Compac II	Compac III
Unit Height	8" (200mm)	8" (200mm)	8" (200mm)
Unit Width	18" (455mm)	18" (455mm)	18" (455mm)
Unit Depth	12" (300mm)	12" (300mm)	12" (300mm)
Face Area per Unit	1SF (.093m ³)	1SF (.093m ³)	1SF (.093m ³)
Unit Weight	81-95lbs(37-43kg)	78-91lbs (35-41kg)	69-77lbs (31-35kg)
Volume of Voids to Tail	0.30 ft ³ /ft ² (0.09m ³ /m ²)	0.35 ft ³ /ft ² (0.11m ³ /m ²)	0.41 ft ³ /ft ² (0.13m ³ /m ²)
Volume of Voids to 12" depth	1.30 ft ³ /ft ² (0.40m ³ /m ²)	1.35 ft ³ /ft ² (0.41m ³ /m ²)	1.41 ft ³ /ft ² (0.43m ³ /m ²)
Fiberglass Pin	Straight Pin		

NOTE: UNIT WEIGHTS, DIMENSIONS AND AVAILABILITY VARY BY MANUFACTURER. PLEASE CONTACT YOUR LOCAL REPRESENTATIVE.



Compac I
Tri-plane



Compac I
Straight



Compac II
Tri-plane



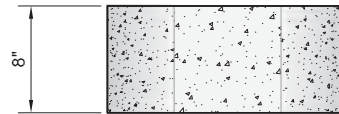
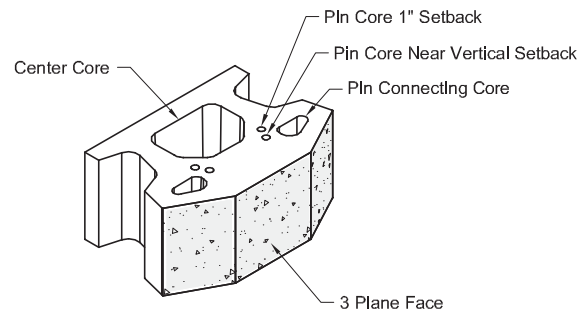
Compac II
Straight



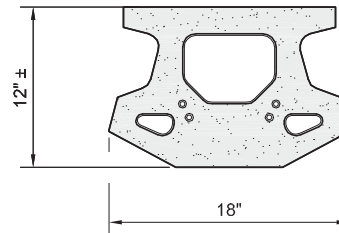
Compac III
Tri-plane



Compac III
Straight



3 Plane Compac II Unit Elevation



3 Plane Compac II Unit Plan

ALTERNATE FACE TEXTURES NOTE: PRODUCT VERSIONS VARY BY MANUFACTURER. PLEASE CONTACT YOUR LOCAL REPRESENTATIVE.



Hewnstone



Victorian



The information contained herein has been compiled by Keystone® Retaining Wall Systems, Inc. and to the best of our knowledge, accurately represents the Keystone product use in the applications which are illustrated. Final determination of the suitability for the use contemplated and its manner of use are the sole responsibility of the user. Structural design and analysis shall be performed by a qualified engineer.



October 22, 2015

Ms. Ellen Johnson
Planner
City of St Charles
2 East Main St
St Charles IL 60174

Re: Proposed Metro Storage - 2326 Lincoln Hwy.

Dear Ellen,

Please find below the requested parking relief and associated Metro Facility Parking Information supporting the proposed parking spaces.

(3) Departure for Off-Street Parking. Applicant requests relief from Section 17.24.140 and Table 17.24-3 of the Municipal Code of the City of St. Charles. Pursuant to Table 17.24-3, a Mini-Warehouse use requires one (1) off-street parking space for every ten (10) storage units.

Applicant proposes approximately 783 storage units and 10 off-street parking spaces (nine plus one handicap accessible parking space) located near the office area at the Northeast corner of the building. Applicant operates over 85 locations in the Chicago metro area and nationally and its experience with facilities of this size in comparable market areas indicates the proposed 10 parking spaces will provide more than sufficient parking for customers and employees. On average, there will be approximately 1.5 staff person on site per day. The average number of customer trip generations for a self-storage facility of this size is approximately 4.5 vehicle trips per hour. Applicant has provided adequate parking and loading to meet its anticipated customer demand, and by limiting the parking area to 10 parking spaces has avoided making the parking area a prominent feature of the facility.

Self Storage as a whole is a very low traffic generator as determined by the Institute of Traffic Engineers. Metro tries to balance site design with customer parking needs and we have found that our operations require fairly limited amounts of designated parking spaces. I've attached copies of site plans of several of our recent facilities that depict the following information.

- Bannockburn, IL – 8 Parking Spaces – 94,660 SF Facility
- Orlando, FL – 11 Parking Spaces – 91,350 SF Facility
- Chadds Ford, PA – 13 Parking Spaces – 117,564 SF Facility
- Lake Bluff, IL – 14 Parking Spaces – 70,750 SF Facility
- Mundelein, IL – 17 Parking Spaces – 108,438 SF Facility
- Chicago, IL – 11 Parking Spaces – 110,500 SF Facility

I believe the parking arrangement we are proposing will be sufficient for the traffic we expect at this facility.

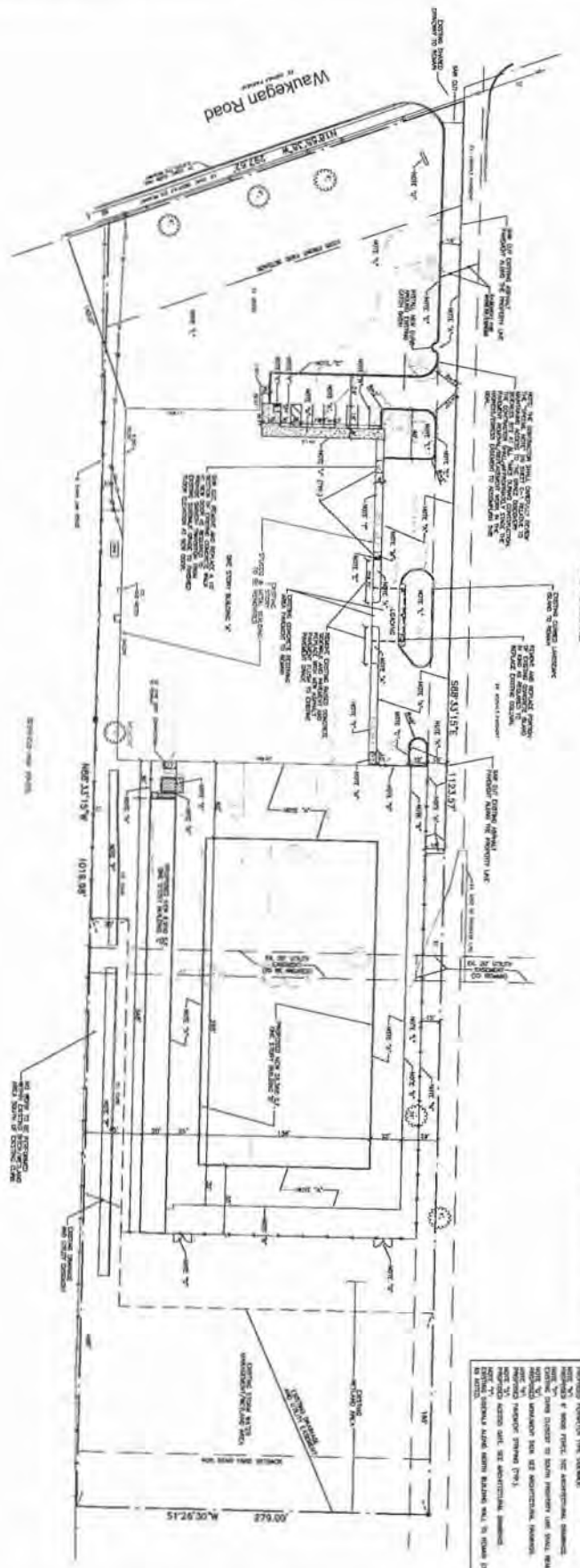
Should you require additional information please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Heilman", written over a white background.

Robert Heilman
Vice President of Development
Registered Architect

THIS PLAN IS THE PROPERTY OF NORTHWESTERN ENGINEERING CONSULTANTS, P.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NORTHWESTERN ENGINEERING CONSULTANTS, P.C.



NOTICE: THIS PLAN IS THE PROPERTY OF NORTHWESTERN ENGINEERING CONSULTANTS, P.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NORTHWESTERN ENGINEERING CONSULTANTS, P.C.

SPECIAL NOTE: THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AGENCIES AND AGENCIES OF THE STATE OF ILLINOIS. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AGENCIES AND AGENCIES OF THE STATE OF ILLINOIS.

PARKING PROVIDED:
 1 SPANDAP STALLS (S)
 B STALLS PROVIDED

1. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 2. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 3. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 4. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 5. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 6. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 7. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 8. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 9. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.
 10. EXISTING MAINTENANCE DRIVEWAY TO BE MAINTAINED AS IS.

SPECIAL NOTE: THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AGENCIES AND AGENCIES OF THE STATE OF ILLINOIS.

NO.	DATE	DESCRIPTION
1	11-28-11	ISSUED FOR PERMITS
2	12-15-11	REVISED PER SITE PLAN CHANGE
3	01-10-12	ISSUED FOR PERMITS

SITE PLAN
METRO SELF-STORAGE
1951 WAUKEGAN ROAD
BANNOCKBURN, ILLINOIS

CIVIL ENGINEER WITH PLANNING LAND SURVEYOR
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.
 670 N. NORTH COURT PALATKA, ILLINOIS 60067 (847) 800-8410
 ILLINOIS PROFESSIONAL ENGINEER LICENSE NO. 184-002686 EXPIRES 4-30-15

JOB NO. 13-43

DATE: 12-15-11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1"=40'
 SHEET NO. C-2

JAMES E. SALOGA
ATTORNEY AT LAW

475 River Bend Road, Suite 201
Naperville, Illinois 60540
Phone 630-728-7566 Facsimile 941-792-1757
E-mail: jamesaloga@aol.com

November 10, 2015

Mr. Mark Koenan, City Administrator
2 E. Main St. St. Charles, IL 60174

Ms. Rita Tungare, Director
Community and Economic Development
2 E. Main St. St. Charles, IL 60174

Via E-Mail: mkoenan@stcharlesil.gov

rtungare@stcharlesil.gov

RE: Metro Self Storage proposal for Self Storage Facility at 2623 Lincoln Hwy. (Subject Property)

Dear Mr. Koenan and Ms. Tungare:

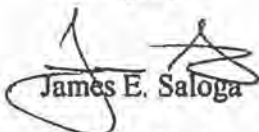
My office represents DGT, LLC and the owners of the property adjacent to the property at 2623 Lincoln Highway under consideration for a proposed Metro Self Storage facility.

The Subject Property was acquired from my clients in 2003 at which time certain exceptions were retained in the deed (copy enclosed) conveying title to the property along with the establishment of the Roadway Easement along the south 60 feet of the Subject Property. The Roadway Easement was suggested by the City of St. Charles in 2003. The deed exceptions also condition any building being subject to the approval of DGT, LLC.

We are in receipt of the Site Plan dated September 28, 2015 and request the following:

1. That the roadway improvements be extended to the west property line of the Subject Property otherwise in conformance with the standards of the City of St. Charles to be completed prior to issuance of any occupancy permit.
2. That the developer include landscaping along the west property line of the Subject Property.
2. That the approval of the project stipulates that there shall be no outside storage.
3. That the modification to the existing PUD and Annexation Agreement shall provide there shall be no recapture of the roadway improvements for the adjacent properties to the south or west of the subject property.

Thank you,


James E. Saloga

CC: Bob Heilman: bheilman@metrostorage.com

**Trustee's Deed
Deed in Trust**

*f/k/a The First National
Bank of Geneva
509291/22163528

THIS INDENTURE made this 26th
day of December, 2002,
between U.S. Bank, N.A.,* duly
authorized to accept and execute trusts
within the State of Illinois, not
personally but solely as Trustee under
the provisions of a Deed or Deeds in
Trust duly recorded and delivered to
said Bank in pursuance of a certain
Trust Agreement dated the 7th day of
December, 1987, AND known as
Trust Number 2640 party of the first

part and CHICAGO TITLE LAND TRUST COMPANY as Trustee under Trust Agreement 111574 dated
December 18, 2002.

Address: 171 N. Clark St. Chicago, IL 60601 (Attn: Land Trust Dept. 4th Floor), party of the second part.
WITNESSETH, that said party of the first part, in consideration of the sum of Ten and no/100 (\$10.00) Dollars and
other good and valuable considerations in hand paid, does hereby convey and quit-claim unto said party of the second part,
the following described real estate situated in Kane County, Illinois, to wit:

LEGAL DESCRIPTION: See Exhibit "A" attached hereto and made a part hereof

COMMON ADDRESS: South side of Route 38 west of Randall Road, St. Charles, Illinois

PERMANENT INDEX NUMBER: 09-32-400-025

SUBJECT TO: Restrictions on Exhibit B attached hereto

Together with the tenements and appurtenances thereunto belonging.

TO HAVE AND TO HOLD THE same unto said party of the second part, and to the proper use, benefit and behoof forever of
said party of the second part.

THE TERMS AND CONDITIONS APPEARING ON THE REVERSE SIDE HEREOF ARE HEREBY INCORPORATED
BY REFERENCED AND MADE A PART HEREOF.

This deed is executed by the party of the first part, as Trustee, pursuant to and in the exercise of the power and authority
granted to and vested in it by the terms of said Deed or Deeds in Trust and the provisions of said Trust Agreement above
mentioned, and of every other power and authority thereunto enabling. This deed is made subject to the liens of all trust
deeds and/or mortgages upon said real estate, if any, recorded or registered in said county given to secure the payment of
money and remaining unreleased at the date of the delivery hereof.

IN WITNESS WHEREOF, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its
name to be signed to these presents by one of its officers and attested by another of its officers, the day and year first above
written.



U.S. Bank, N.A.
as Trustee aforesaid, and not personally

Attest: Angela McClain
Angela McClain, Land Trust Officer

By: Norma J. Haworth
Norma J. Haworth, Land Trust Officer

FILED FOR RECORD
KANE COUNTY, ILL.

2003K001886

2003 JAN -6 AM 10:30

Sandy Wegman

RECORDER

STATE & COUNTY TAX	STATE OF ILLINOIS	# 000012725	REAL ESTATE TRANSFER TAX
	JAN.-6.03		0213450
	KANE COUNTY		PP326704

8/10/02

SC

UNOFFICIAL

5

Chy 19.00

1

THE POWERS AND AUTHORITY CONFERRED UPON TRUST GRANTEE ARE AS FOLLOWS:

TO HAVE AND TO HOLD (the said real estate with the appurtenances, upon the trusts, and for the uses and purposes herein and in said Trust Agreement set forth.

Full power and authority is hereby granted to said Trustee to improve, manage, protect and subdivide said real estate or any part thereof, to dedicate parks, streets, highways or alleys and to vacate any subdivision or part thereof and to resubdivide said real estate as often as desired, to contract to sell, to grant options to purchase, to sell on any terms to convey either with or without consideration to convey said real estate or any part thereof to a successor in trust and to grant to such successor or successors in trust all the title of estate, powers and authorities vested in said Trustee, to donate, to dedicate, to mortgage, pledge or otherwise encumber said real estate, or any part thereof, from time to time in possession or reversion, by leases to commence in present or in futuro, and upon any terms and for any period or periods of time, not exceeding in the case of any single demise the term of 99 years, and to renew or extend leases upon any terms and for any period or periods of time and to amend, change or modify leases and the terms and provisions thereof at any time or times hereafter, to contract to make leases and to grant options to lease and options to renew leases and options to purchase the whole or any part of the reversion and to contract respecting the manner of fixing the amount of present or future rentals, to partition or to exchange said real estate, or any part thereof, for other real or personal property, to grant easements or charges of any kind, to release, convey or assign any right, title or interest in or about or appurtenant to said real estate or any part thereof, and to deal with said real estate and every part thereof in all other ways and for such other considerations as it would be lawful for any person owning the same to deal with the same, whether similar to or different from the ways above specified, at any time or times hereafter.

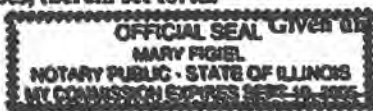
In no case shall any party dealing with said Trustee, or any successor in trust in relation to said real estate, or to whom said real estate or any part thereof shall be conveyed, contracted to be sold, leased or mortgaged by said Trustee, or any successor in trust, be obliged to see to the applications of any purchase money, rent or money borrowed or advanced on said real estate or be obliged to see that the terms of this trust have been complied with, or be obliged to inquire into the authority, necessity or expediency of any act of said Trustee, or be obliged or privileged to inquire into any of the terms of said Trust Agreement; and every deed, trust deed, whatsoever shall be charged with notice of this condition from the date of filing for record of this Deed.

This conveyance is made upon the express understanding and condition that neither U.S. Bank, N.A., individually or as Trustee, nor its successor or successors in trust shall incur any personal liability or be subjected to any claim, judgment or decree for anything it or they or its or their agents or attorneys may do or omit to do in or about the said real estate or under the provisions of this Deed or said Trust Agreement or any amendment thereto, or for injury to person or property happening in or about said real estate, any and all such liability being hereby expressly waived and released. Any contract, obligation or indebtedness incurred or entered into by the Trustee in connection with said real estate may be entered into by it in the name of the then beneficiaries under said Trust Agreement as their attorney-in-fact, hereby irrevocably appointed for such purposes, or at the election of the Trustee, in its own name, as Trustee of an express trust and not individually (and the Trustee shall have no obligation whatsoever with respect to any such contract, obligation or indebtedness except only so far as the trust property and funds in the actual possession of the Trustee shall be applicable for the payment and discharge thereof). All persons and corporations whomsoever and whatsoever shall be charged with notice of this condition from the date of the filing for record of this Deed.

The interest of each and every beneficiary hereunder and under said Trust Agreement and of all persons claiming under them or any of them shall be only in the earnings, avails and proceeds arising from the sale or any other disposition of said real estate, and such interest is hereby declared to be personal property, and no beneficiary hereunder shall have any title or interest, legal or equitable, in or to said real estate as such, but only any interest in the earnings, avails and proceeds thereof as aforesaid, the intention hereof being to vest in said Trustee the said Trustee the entire legal and equitable title in the simple, in and to all of the real estate above described.

STATE OF ILLINOIS)
)SS
 COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the said County and State aforesaid, DO HEREBY CERTIFY that Norma J. Haworth, Land Trust Officer of U.S. Bank, N.A., and Angela McClain, Land Trust Officer of said Bank, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such officers of said Bank respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary acts, and as the free and voluntary act of said Bank, as Trustee for the uses and purposes, therein set forth.



Given under my hand and Notarial Seal this 26th day of December, 2002.

Mary Figiel
 Notary Public

AFTER RECORDING MAIL TO:	MAIL SUBSEQUENT TAX BILLS TO:	INSTRUMENT PREPARED BY:
John W. Colquhoun Attorney 579 W. North Ave #201 Evanston IL, 60126	Brady-Lytle Furniture 2600 Meyers Rd Oak Brook IL 60523	Norma J. Haworth Land Trust Officer 104 N. Oak Park Avenue Oak Park, Illinois 60301

RECORDER - KANE COUNTY, ILLINOIS

PLAT ACT AFFIDAVIT - METES AND BOUNDS DESCRIPTION

STATE OF ILLINOIS

COUNTY OF KANE

} SS.

Sherard L. Ramsey, being duly sworn on oath, states that
resides at 170 First Street, Batavia, Ill.

And further states that: (please check the appropriate box)

A. That the attached deed is not in violation of 765 ILCS 205/1 (a), in that the sale or exchange is of an entire tract of land not being a part of a larger tract of land; or

B. That the attached deed is not in violation of 765 ILCS 205/1 (b) for one of the following reasons: (please circle the appropriate number)

Please circle the number of the paragraph which is applicable to attached deed.

- 1. The division or subdivision of land is into parcels or tracts of five acres or more of size which does not involve any new streets or easements of access;
- 2. The division of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access;
- 3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
- 4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easements of access;
- 5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
- 6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
- 7. Conveyances made to correct descriptions in prior conveyances;
- 8. The sale or exchange of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
- 9. The sale is of a single lot of less than five acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that his exemption does not invalidate any local requirements applicable to the subdivision of land.

Affiant further states that Sherard L. Ramsey makes this affidavit for the purpose of inducing the Recorder of Deeds of Kane County, Illinois, to accept the attached deed for recording, and that all local requirements applicable to the subdivision of land are met by the attached deed and the tract described therein.

Sherard L. Ramsey
Signature of Affiant

SUBSCRIBED AND SWORN TO BEFORE ME

this 26 day of Dec, 2002
[Signature]
Signature of Notary Public



**EXHIBIT B
DEED EXCEPTIONS
REVERSIONARY INTEREST
RESERVATION OF EASEMENT
COVENANTS**

1. This conveyance is subject to the following exceptions: 1) general real estate taxes not yet due and payable; 2) Special Assessment confirmed after December 23, 2002; 3) building, building line and use or occupancy restrictions, conditions and covenant of record; 4) zoning law and ordinances; 5) easements and recapture agreements of record; 6) drainage ditches, feeder, lateral and drain tile, pip or other conduit; 7) acts done or suffered by, or judgments against Grantee; 8) the Reversionary Interest and Easement reserved herein below.

2. The property described on Exhibit A shall revert to the Grantor upon the recording of a document entitled Notice of Receipt of Refund Funds signed by the Grantee. This Reversionary Interest shall continue until terminated and shall terminate upon 1) title reverting to the Seller, or 2) the recording of both a subdivision plat and a deed conveying Parcel one from the Grantee to a third party, or 3) written termination signed by the Seller, which ever shall first occur. GRD

3. An Easement is hereby reserved over and across the south 60 feet of Parcel One described on Exhibit A for pedestrian and vehicular ingress and egress to and from all properties adjacent to Parcel One (Roadway Easement).

4. Grantee or its successors in interest shall cause a roadway improvement to be installed and maintained within the Roadway Easement prior to occupancy of any improvements on Parcel One. There shall be no recapture of the roadway improvement costs from any adjacent properties.

5 Other than a building to be built by the Grantee for retail furniture store, any building or structure to be built upon the Property is subject to architectural approval of the Grantor, which approval will not be unreasonably withheld GRD

EXHIBIT A

PARCEL ONE:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS, COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 32, SAID CORNER ALSO BEING THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO FIRSTSTAR BANK OF GENEVA, SUCCESSOR TRUSTEE TO THE FIRST NATIONAL BANK OF GENEVA, AS TRUST NO. 2640 AS RECORDED IN DOCUMENT NO. 1884216, THENCE NORTH 00 DEGREES, 13 MINUTES, 06 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER OF SAID SECTION OF SAID FIRSTSTAR TRUST LAND 1068.42 FEET TO THE NORTHWEST CORNER OF SAID FIRSTSTAR TRUST LAND, THENCE CONTINUING NORTH 00 DEGREES, 13 MINUTES, 06 SECONDS WEST ALONG SAID WEST LINE 993.28 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 38 (F.A. ROUTE 7) AS RECORDED IN DOCUMENT NO. 1032211, THENCE NORTH 87 DEGREES, 04 MINUTES, 03 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE 507.84 FEET TO A POINT OF A CURVATURE, THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 3448.02 FEET, CHORD BEARING NORTH 89 DEGREES, 54 MINUTES, 58 SECONDS EAST, 342.87 FEET FOR A POINT OF BEGINNING, THENCE SOUTH 00 DEGREES, 13 MINUTES, 06 SECONDS EAST, 373.92 FEET, THENCE NORTH 88 DEGREES, 26 MINUTES, 35 SECONDS EAST, 291.38 FEET, THENCE NORTH 09 DEGREES, 09 MINUTES, 18 SECONDS EAST, 336.08 FEET TO SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROUTE 38, THENCE WESTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE, ON THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 3448.02 FEET 347.99 FEET SAID ARC HAVING A DELTA ANGLE OF 05 DEGREES, 16 MINUTES, 57 SECONDS TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PARCEL TWO

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 32 SAID CORNER ALSO BEING THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO FIRSTSTAR BANK OF GENEVA, SUCCESSOR TRUSTEE TO THE FIRST NATIONAL BANK OF GENEVA, AS TRUST NO. 2640 AS RECORDED IN DOCUMENT NO. 1884216, THENCE NORTH 00 DEGREES, 13 MINUTES, 06 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER OF SAID SECTION OF SAID FIRSTSTAR TRUST LAND 1068.42 FEET TO THE NORTHWEST CORNER OF SAID FIRSTSTAR TRUST LAND, THENCE CONTINUING NORTH 00 DEGREES, 13 MINUTES, 06 SECONDS WEST ALONG SAID WEST LINE 993.28 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF ILLINOIS ROUTE 38 (F.A. ROUTE 7) AS RECORDED IN DOCUMENT NO. 1032211, THENCE NORTH 87 DEGREES, 04 MINUTES, 03 SECONDS EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE 507.84 FEET TO A POINT OF A CURVATURE, THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 3448.02 FEET, CHORD BEARING NORTH 89 DEGREES, 54 MINUTES, 58 SECONDS EAST, 342.87 FEET, THENCE SOUTH 00 DEGREES, 13 MINUTES, 06 SECONDS EAST, 373.92 FEET FOR A POINT OF BEGINNING, THENCE CONTINUING SOUTH 00 DEGREES, 13 MINUTES, 06 SECONDS EAST, 5.00 FEET FOR A POINT OF CURVATURE, THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 130.00 FEET, CHORD BEARING SOUTH 29 DEGREES, 40 MINUTES, 55 SECONDS WEST, 141.25 FEET FOR A POINT OF REVERSE CURVATURE, THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 130.00 FEET, CHORD BEARING SOUTH 29 DEGREES, 40 MINUTES, 55 SECONDS EAST, 141.25 FEET, THENCE SOUTH 00 DEGREES, 13 MINUTES, 06 SECONDS EAST, 387.78 FEET, THENCE NORTH 88 DEGREES, 26 MINUTES, 16 SECONDS EAST 184.42 FEET, THENCE NORTH 38 DEGREES, 22 MINUTES, 14 SECONDS WEST 140.81 FEET, THENCE NORTH 48 DEGREES, 01 MINUTES, 10 SECONDS EAST, 318.40 FEET, THENCE NORTH 00 DEGREES, 08 MINUTES, 49 SECONDS WEST, 298.39 FEET, THENCE NORTH 88 DEGREES, 26 MINUTES, 35 SECONDS EAST, 89.24 FEET, THENCE NORTH 09 DEGREES, 09 MINUTES, 18 SECONDS EAST, 5.00 FEET, THENCE SOUTH 88 DEGREES, 26 MINUTES, 35 SECONDS WEST, 291.38 FEET TO THE POINT OF BEGINNING, IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PIN: 09-32-400-025

Located: South side of Ill Route 38; West of Randal Road, St Charles, Ill.

POOR ORIGINAL
Recorder Not Responsible
For Reproductions

BRICHER ROAD COMMONS



EXHIBIT "D-IV"

SITE DATA	AC	%
RESIDENTIAL (150-200 UNITS)	30.5 AC	60%
ACCESSIBLE LIVING (3500 UNITS)	4.0 AC	7%
COMMERCIAL AREA	14.7 AC	27%
RETENTION	5.5 AC	10%
TOTAL AREA:	54.7 AC	100%



R-5

- 1. Proposed residential development to be constructed in accordance with the following:
 - a. Minimum lot area: 10,000 sq. ft.
 - b. Minimum lot width: 100 ft.
 - c. Minimum lot depth: 100 ft.
 - d. Minimum front setback: 10 ft.
 - e. Minimum side setback: 5 ft.
 - f. Minimum rear setback: 5 ft.
 - g. Minimum front yard coverage: 25%.
 - h. Minimum rear yard coverage: 25%.
 - i. Minimum side yard coverage: 25%.
 - j. Minimum front yard height: 4 ft.
 - k. Minimum rear yard height: 4 ft.
 - l. Minimum side yard height: 4 ft.
 - m. Minimum front yard width: 4 ft.
 - n. Minimum rear yard width: 4 ft.
 - o. Minimum side yard width: 4 ft.
- 2. Proposed residential development to be constructed in accordance with the following:
 - a. Minimum lot area: 10,000 sq. ft.
 - b. Minimum lot width: 100 ft.
 - c. Minimum lot depth: 100 ft.
 - d. Minimum front setback: 10 ft.
 - e. Minimum side setback: 5 ft.
 - f. Minimum rear setback: 5 ft.
 - g. Minimum front yard coverage: 25%.
 - h. Minimum rear yard coverage: 25%.
 - i. Minimum side yard coverage: 25%.
 - j. Minimum front yard height: 4 ft.
 - k. Minimum rear yard height: 4 ft.
 - l. Minimum side yard height: 4 ft.
 - m. Minimum front yard width: 4 ft.
 - n. Minimum rear yard width: 4 ft.
 - o. Minimum side yard width: 4 ft.

B-3

Minimum lot area: 10,000 sq. ft.

Minimum lot width: 100 ft.

Minimum lot depth: 100 ft.

Minimum front setback: 10 ft.

Minimum side setback: 5 ft.

Minimum rear setback: 5 ft.

Minimum front yard coverage: 25%.

Minimum rear yard coverage: 25%.

Minimum side yard coverage: 25%.

Minimum front yard height: 4 ft.

Minimum rear yard height: 4 ft.

Minimum side yard height: 4 ft.

Minimum front yard width: 4 ft.

Minimum rear yard width: 4 ft.

Minimum side yard width: 4 ft.

CONCEPT PLAN

4

SCALE IN FEET

NORTH

Lannert Group
 Landscape Architecture • Planning • Community Consulting

215 Fulton Street
 Geneva, Illinois 60134

© 2007 The Lannert Group, Inc.
 630.260.8800
 Fax: 630.260.8800
<http://www.lannert.com>
 lg@lannert.com

BATAVIA ENTERPRISES INC.

140 NORTH FERRY ST.
 BATAVIA, IL 60810

(630) 870-3800
 (630) 870-3801 (fax)

DATE: 11.21.07
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 TITLE: [blank]



AGENDA ITEM EXECUTIVE SUMMARY

Title:	Recommendation to approve a Minor Change to PUD Preliminary Plan for Costco Wholesale Fuel Facility, 215 S. Randall Rd. (Zylstra PUD)
Presenter:	Ellen Johnson

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (12/14/15)		City Council
	Public Hearing		

Estimated Cost:	N/A	Budgeted:	YES		NO	
If NO, please explain how item will be funded:						

Executive Summary:

Theodore R. Johnson of TJ Design Strategies, applicant representing Costco Wholesale, is proposing to modify the Costco fuel facility. The property is part of the Zylstra PUD. The PUD Preliminary Plan for Costco was approved under Ordinance No. 2008-Z-15.

Details of the proposal are as follows:

- Addition of three (3) fuel pumps; each of the three existing fuel islands will be expanded to the west to accommodate an additional pump.
 - The total number of pumps will increase from six (6) to nine (9).
- Expansion of the canopy to the west to cover the new fuel pumps.
 - Design and materials will match the existing canopy.
- The fuel facility entrance will be widened by shortening landscape bump-out at the north side of the entrance drive.
 - 261 sf of landscaping will be removed.
- The pavement striping at the entrance will be modified to more clearly define the entrance.

A Minor Change to PUD Preliminary Plan is required to permit the proposed changes.

The proposal has the ability to meet applicable Zoning Ordinance and PUD ordinance requirements. The applicant will be provided with staff comments that must be addressed prior to City Council action, including removal of one canopy sign and modifications to site lighting. Staff also recommends that the striped area at the southwest corner of the fuel station be made into a landscape island to make up for the lost landscaping.

Attachments: *(please list)*

Application for Minor Change to PUD Preliminary Plan; Plan documents

Recommendation / Suggested Action *(briefly explain):*

Recommendation to approve a Minor Change to PUD Preliminary Plan for Costco Wholesale, 215 S. Randall Rd. (Zylstra PUD), subject to resolution of outstanding staff comments.

<i>For office use only:</i>	<i>Agenda Item Number: 4C</i>
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CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

MINOR CHANGE TO PUD APPLICATION



CITYVIEW	
Project Name:	<u>Costco Wholesale Fuel Facility Expansion</u>
Project Number:	<u>2008 -PR- 01</u>
Application No.	<u>2015 -AP- 018</u>

Instructions:

A Minor Change to PUD is one that modifies an approved PUD Preliminary Plan in a manner that complies with all standards of the Special Use for PUD Ordinance applicable to the property and meets the definition of a Minor Change as contained either in Section 17.04.430 of the Zoning Ordinance or the Special Use for PUD Ordinance.

To request approval of a Minor Change, complete this application and submit it with all required attachments to the Planning Division. When the application is complete, City staff will schedule a review by the Planning and Development Committee of the City Council. The Committee's recommendation will be forwarded to the City Council for final action.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Parcel Number (s): 09-32-230-010	
	Street Address (or common location if no address is assigned): 215 S. Randall Road	
2. Applicant Information:	Name Theodore R. Johnson	Phone 630-368-0840
	Address TJ Design Strategies 2311 W. 22nd Street, Suite 208 Oak Brook, IL 60523	Fax 630-368-0845
		Email tjohnson@tjdesignltd.com
3. Record Owner Information:	Name Costco Wholesale Corporation	Phone 425-313-8100
	Address 999 Lake Drive Issaquah, WA 98027	Fax 425-313-8105
		Email jfrank@costco.com
4. Billing: <i>To whom should costs for this application be billed?</i>	Name Costco Wholesale	Phone 630-368-0840
	Address c/o TJ Design Strategies, Ltd. 2311 W. 22nd Street, Suite 208 Oak Brook, IL 60523	Fax 630-368-0845
		Email tjohnson@tjdesignltd.com

Information for proposed Minor Change:

Name of PUD: Costco Wholesale - Zylstra PUD

PUD Ordinance Number: 2008-Z-15

Ord. or Resolution(s) that approved the current plans: _____

Identify Specific PUD Plans to be changed:

- Site/Engineering Plan**
- Landscape Plan**
- Architectural Elevations** (Fueling Facility)
- Signs**
- Other plans:** Site Lighting, Grading

Description of Proposed Changes:

Expansion of Fueling Facility from Three Islands/ 6 Pumps / 12 Fueling stations to a total of Three Islands/ 9 pumps / 18 Fueling Stations. Original PUD in 2008 indicated a future expansion to Four Island/8 pumps/16 fueling locations. Current utility locations and easement does not efficiently support that proposed layout

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE: Application fee in accordance with Appendix B of the Zoning Ordinance. (\$200)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

□ PROOF OF OWNERSHIP and DISCLOSURE:

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

□ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

□ PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

□ COVER LETTER: Letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.

□ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Please contact the Planning Division to determine if full size copies of plans are needed. For simple applications, provide one full scale plan set, three (3) 11" x 17" copies (in color if applicable), and a PDF file on CD-ROM or emailed to the Project Manager.

Plans shall include the following, depending on the scope of the proposed Minor Change:

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

CO-ACO WHOLESALERE CORPORATION
[Signature] 12/4/15
 Record Owner *BRUCE COPPEL, CORP MANAGER* Date
[Signature] 12.4.15
 Applicant or Authorized Agent Date



WRITER'S DIRECT LINE: 425.313.6549
WRITER'S FAX NO.: 425.313.8114
WRITER'S EMAIL: BCOFFEY@COSTCO.COM

June 18, 2015

Ms. Ellen Johnson
Planner
City of St Charles
Community & Economic Development
Planning Division
2 E Main Street
St Charles, IL 60174

RE: Proposed Costco Wholesale Fueling Facility Expansion
Minor PUD Change (Zylstra PUD)

Dear Ms. Johnson:

This will confirm that Theodore R. Johnson of the firm TJ Design Strategies, Ltd. is authorized by Costco Wholesale Corporation to submit, process and act as our agent in connection with all applications to City of St Charles regarding the proposed Costco Fueling Facility expansion within the Zylstra PUD, located at 215 South Randall Road.

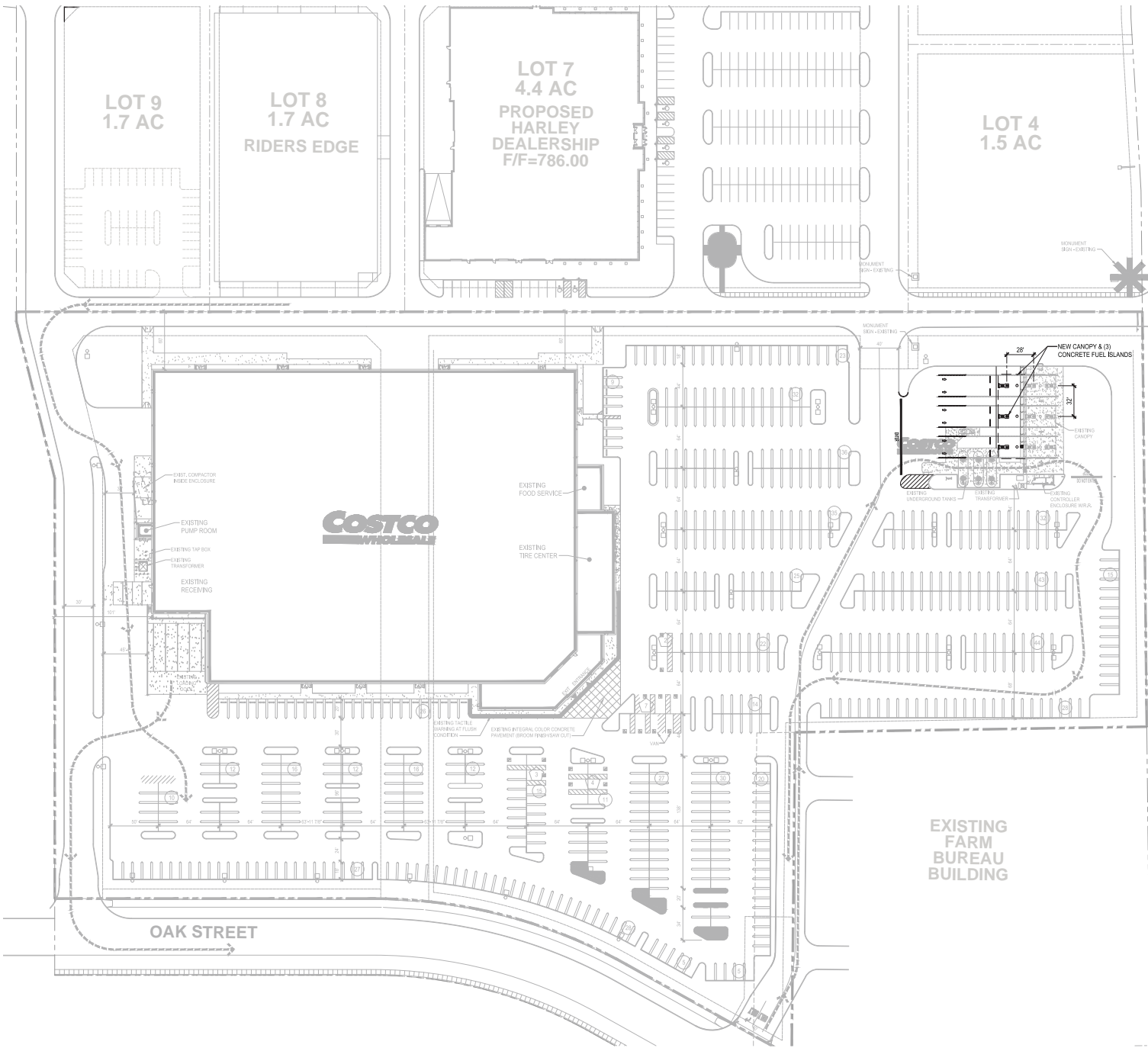
Please do not hesitate to call me at (425) 313-6549 should you have any questions or require further information. Thanks.

Sincerely,

COSTCO WHOLESALE


Bruce A. Coffey
Corporate Counsel

cc: Ted Johnson



PROJECT DATA

CLIENT: COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027
PROJECT ADDRESS: 221 S. RANDALL RD
 ST. CHARLES, IL 60174
ZONING: PUD
SITE AREA: 15.17 ACRES (660,889 S.F.)
JURISDICTION: CITY OF ST. CHARLES, IL
SETBACKS: FRONT 20' (TO ROW)
 BACK 10' (TO ROW)
 SIDE 20' (TO WATERMAIN)
BOUNDARIES INFORMATION: THIS PLAN HAS BEEN PREPARED
 BY USING A SITE PLAN FROM V3
 COMPANIES LTD. DATED 12.20.07

BUILDING DATA:
 BUILDING AREA 140,820 S.F.
 TIRE CENTER 5,200 S.F.
 FOOD SERVICE 1,302 S.F.
 TOTAL BUILDING 147,322 S.F.
 EMPLOYEE LOCKER ROOM 1,475 S.F.
 FIRE PUMP ROOM 261 S.F.

PARKING DATA:
 PARKING PROVIDED:
 ○ 10' WIDE STALLS (90°) 630 STALLS
 ◐ ACCESSIBLE STALLS (90°) 16 STALLS
 TOTAL PARKING 646 STALLS
 PARKING REQUIRED: 4 STALLS / 1,000 OF GFA
 NO. OF STALLS/1000 SF OF BUILDING AREA: 4.33 STALLS
 POTENTIAL FUTURE EMPLOYEE PARKING:
 ○ 9' WIDE STALLS (90°) 46 STALLS

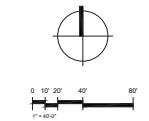
INTERIOR OPEN SPACE
 EXISTING 98,515 S.F. (14.91%)
 REMOVED FOR GAS STATION EXPANSION (-7,600) S.F.
 PROPOSED 90,915 S.F. (13.76%)

COSTCO WHOLESALE

ST. CHARLES, ILLINOIS

CONCEPT SITE PLAN

NOVEMBER 12, 2015

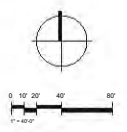
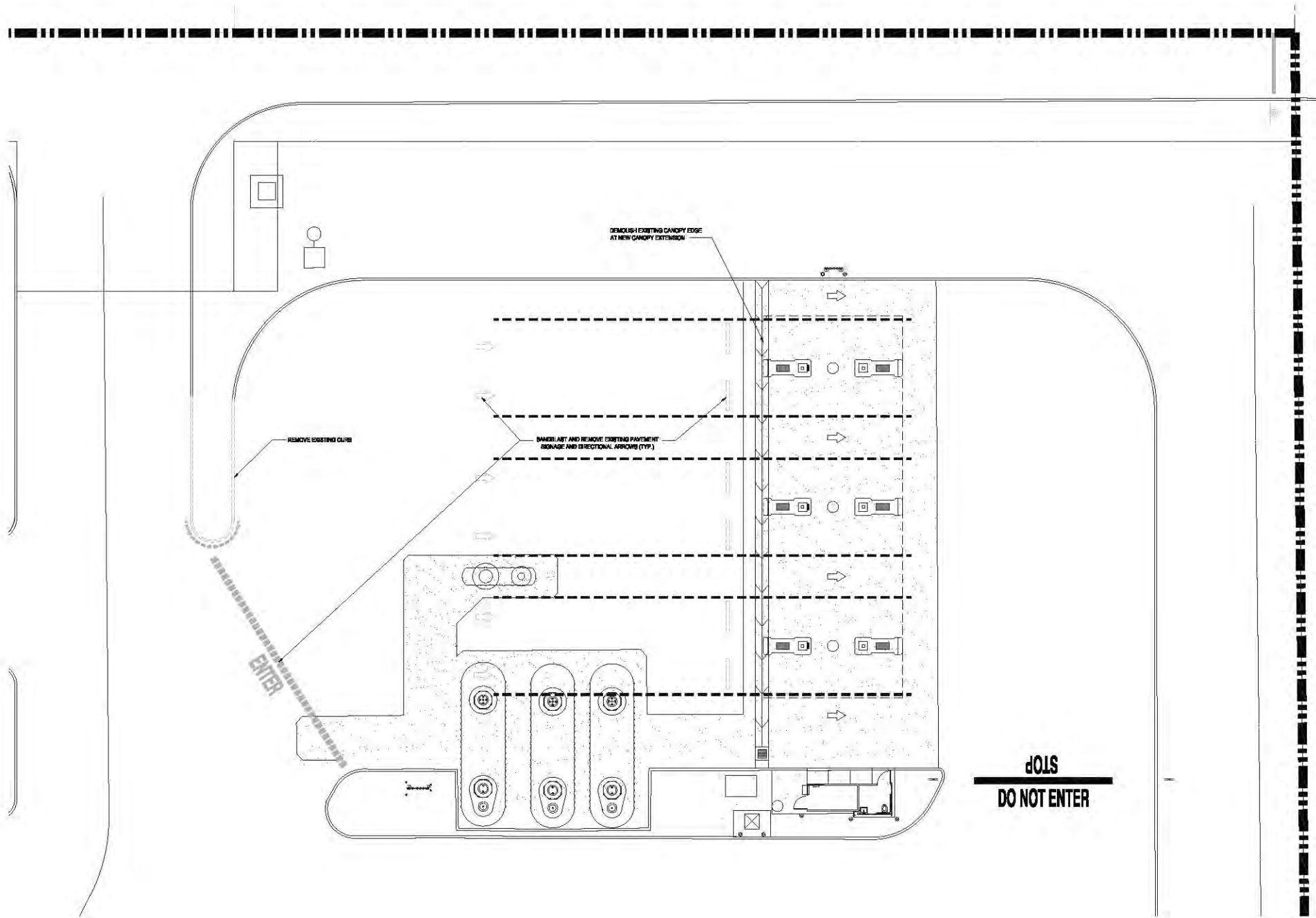


07-0378-05
NOVEMBER 12, 2015

CONCEPT
SITE PLAN

DD11-04

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ST. CHARLES, IL
#1040
221 SOUTH RANDALL ROAD ST.
CHARLES, IL 60174



07-0378-05
NOVEMBER 12, 2015

ENLARGED
DEMOLITION PLAN

DA12-04

COSTCO WHOLESALE

ST. CHARLES, ILLINOIS

ENLARGED DEMOLITION PLAN

NOVEMBER 12, 2015

ENTER

NEW STRIPING AND SIGNAGE

(3) NEW COLUMN
(3) NEW DISPENSER

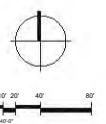
(3) NEW TRASHCAN

NEW BUTTER AND OIL

NEW STRIPING

28'-0"
17'-0"

STOP
DO NOT ENTER



ST. CHARLES, IL
#1040

221 SOUTH RANDALL ROAD ST.
CHARLES, IL 60174



07-0378-05
NOVEMBER 12, 2015

CONCEPT
SITE PLAN

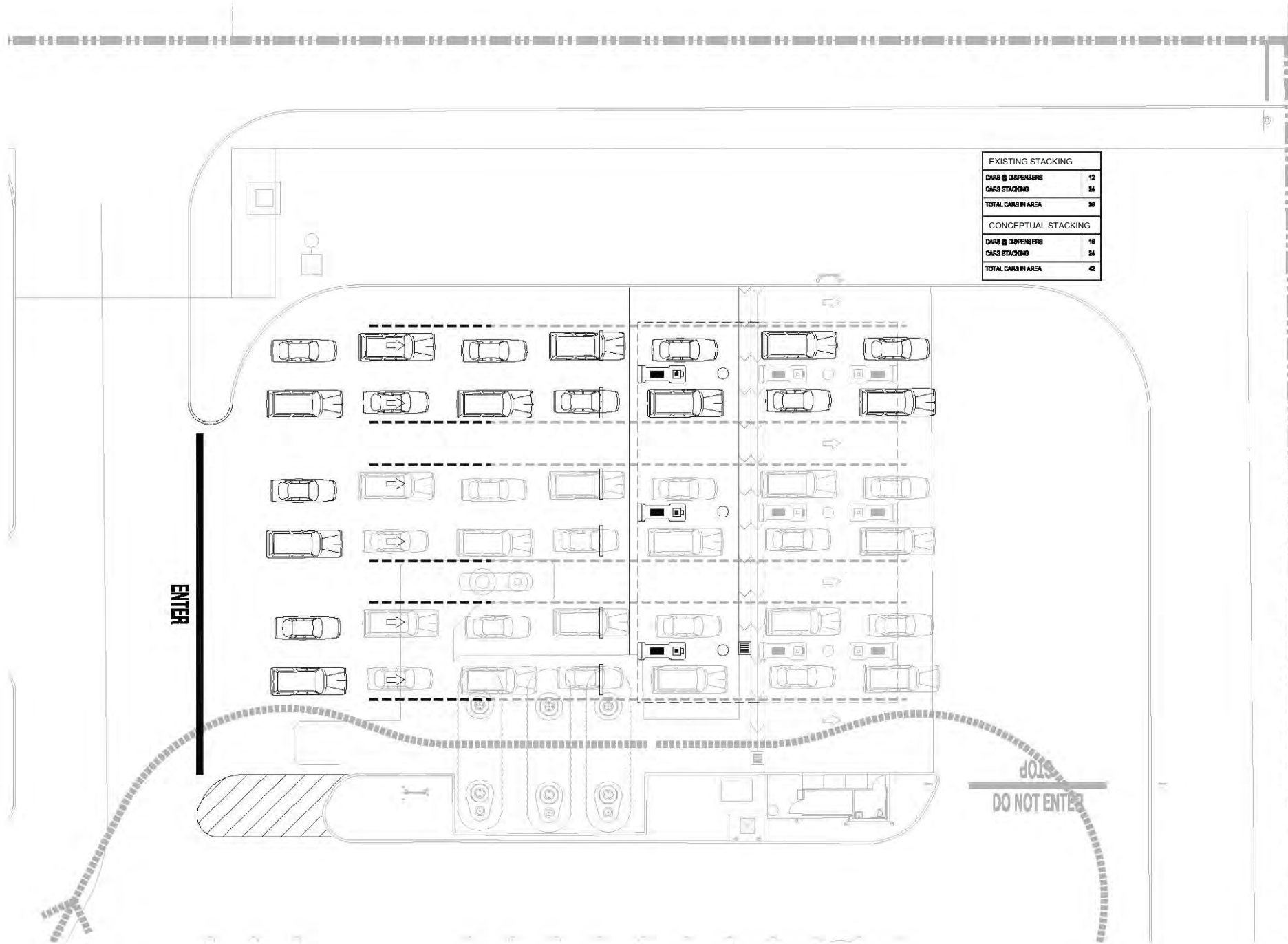
DD12-04

COSTCO WHOLESALE

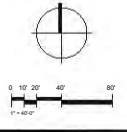
ST. CHARLES, ILLINOIS

ENLARGED CONCEPT SITE PLAN

NOVEMBER 12, 2015



EXISTING STACKING	
CARS @ DISPENSERS	12
CARS STACKING	24
TOTAL CARS IN AREA	36
CONCEPTUAL STACKING	
CARS @ DISPENSERS	18
CARS STACKING	24
TOTAL CARS IN AREA	42



COSTCO
WHOLESALE
ST. CHARLES, IL
#1040

221 SOUTH RANDALL ROAD ST.
CHARLES, IL 60174



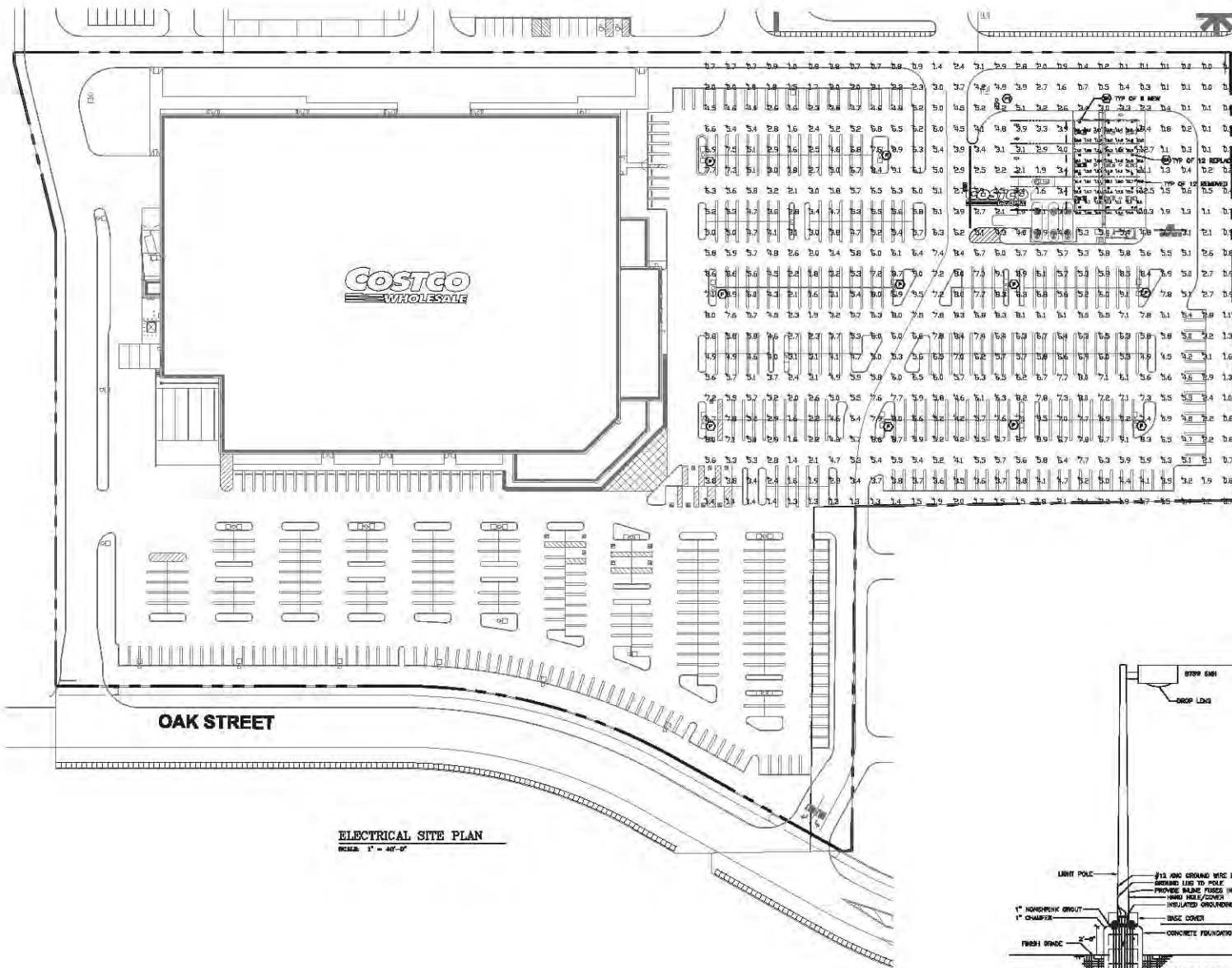
07-0378-05
NOVEMBER 12, 2015

CONCEPT
STACKING PLAN

DD13-04

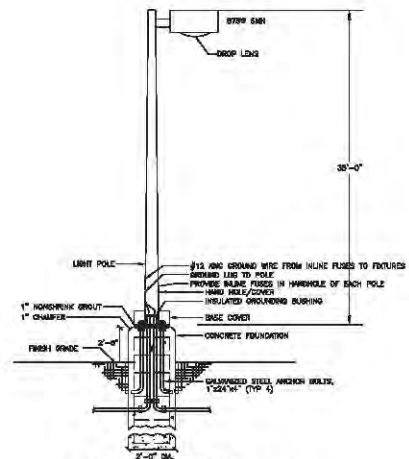
COSTCO WHOLESALE

CONCEPT STACKING PLAN



ELECTRICAL SITE PLAN
SCALE: 1" = 40'-0"

PICTURE DESCRIPTION	
	EXISTING COPPER GALVANIZED STEEL 20'-0" DEEP LENS, TYPE 2 DISTRIBUTION, EXISTING 20'-0" PALE, WITH 2'-0" BRG.
	EXISTING COPPER GALVANIZED STEEL 20'-0" DEEP LENS, TYPE 3 DISTRIBUTION, EXISTING 20'-0" PALE, WITH 2'-0" BRG.
	NEW/REPLACED LENS LENS, SURFACE FLAT LENS DOWN LIGHT, + 10' AT



NOTE: PROVIDE CONCRETE 4-BOX AS REQUIRED.
THIS DETAIL IS FOR ELECTRICAL COORDINATION ONLY.
SEE STRUCTURAL DRAWINGS FOR CONSTRUCTION DETAIL.

POLE BASE DETAIL
IN SCALE

ELECTRICAL SITE PLAN
 PROJECT NO. 15-146
 DATE: 08/15/14
 DESIGNER: JEFF COLE
 CHECKER: JEFF COLE
 REVISION DATE:



License No. 12121
 License Expires 12-31-2018

REVISION DATE:

DESIGN AND MARKET DATA

ARCHITECT: HUNTERBURN, INC. 707-5075-00

PROJECT NO. 15-146

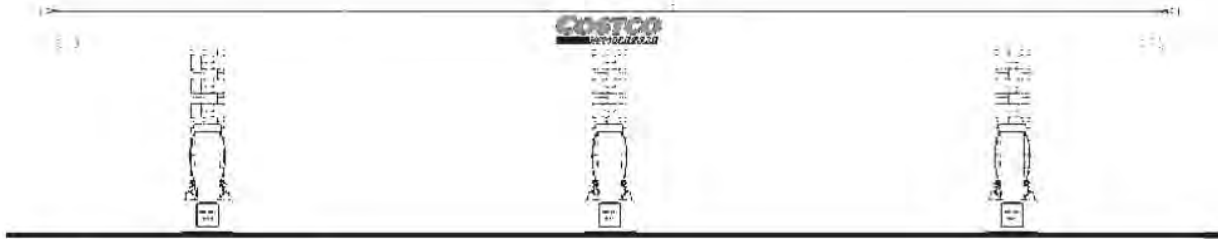


**PUELL EXPANSION
 WAREHOUSE #1040**
 221 S. RANDALL ROAD
 ST. CHARLES, IL 60174-1584

T.P. Inc.
 650 N. SPRINGFIELD AVENUE
 SUITE 200
 PUELL, ILL. 62453-5765
 TEL: 618-970-5765
 FAX: 618-970-5760



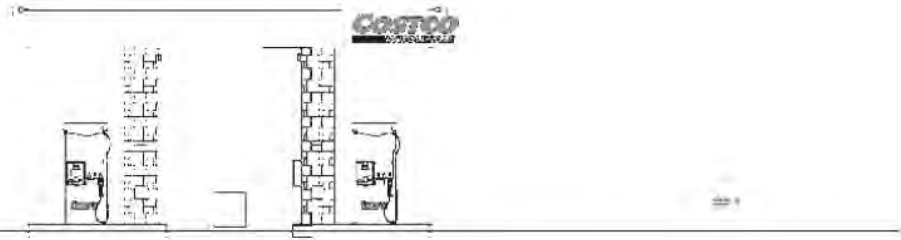
SE-1



EAST SIDE AND CANOPY ELEVATION



WEST SIDE AND CANOPY ELEVATION



NORTH SIDE AND CANOPY ELEVATION



SOUTH SIDE AND CANOPY ELEVATION



CANOPY SIGN

COSTCO WHOLESALE

8100 PARK LANE, ST. CHARLES, IL 60186

CONCEPT ELEVATIONS

MARCH 2015

KEY PLAN




215 SOUTH MANDLER ROAD
ST. CHARLES, IL 60186



MULVANNY G2
ARCHITECTURE INC. 3000 WEST
MICHIGAN AVE. SUITE 1000
CHICAGO, IL 60601

07-0378-05
MARCH 4, 2015
CONCEPT
ELEVATIONS

DD31-04

AGENDA ITEM EXECUTIVE SUMMARY			
	Title: Historic Preservation Commission Recommendation to approve historic landmark designation for 215 N. 3 rd Ave., Locke-Marchialette House		
	Presenter: Russell Colby		
<i>Please check appropriate box:</i>			
<input type="checkbox"/>	Government Operations	<input type="checkbox"/>	Government Services
<input checked="" type="checkbox"/>	Planning & Development – (12/14/15)	<input type="checkbox"/>	City Council
<input type="checkbox"/>	Public Hearing	<input type="checkbox"/>	
Estimated Cost:	N/A	Budgeted:	<input type="checkbox"/> YES <input type="checkbox"/> NO
If NO, please explain how item will be funded:			
Executive Summary:			
<p>Thomas and Patricia Pretz have nominated their property at 215 N. 3rd Ave. for Landmark status. The property is located in the Central Historic District.</p> <p>In accordance with the Zoning Ordinance, the Historic Preservation Commission held a public hearing on the nomination on 11/18/15. The Commission recommended approval of the landmark nomination with a vote of 7-0, based on the criteria listed in the attached resolution.</p> <p>The house was constructed in 1898 and is an example of the Queen Anne style. The house was built for Lee and Laura (Locke) Marchialette on property purchased from Laura's father, Amos E. Locke, a painter and paperhanger in St. Charles. Amos E. Locke's father, Amos N., was an early settler of the area and member of the Kane County Anti-Slavery Society, who operated a woolen mill in St. Charles for 30 years.</p>			
Attachments: <i>(please list)</i>			
Historic Commission Resolution, Landmark Nomination			
Recommendation / Suggested Action <i>(briefly explain):</i>			
Recommendation to approve historic landmark designation for 215 N. 3 rd Ave., Locke-Marchialette House			
<i>For office use only:</i>		Agenda Item Number: 4d	

City of St. Charles, Illinois

Historic Preservation Commission Resolution No. 12-2015

**A Resolution Recommending Approval for Landmark Designation
(215 N. 3rd Avenue – Locke-Marchialette House)**

WHEREAS, per Section 17.32.060 of the St. Charles Zoning Ordinance, it is the responsibility of the St. Charles Historic Preservation Commission to evaluate applications for Landmark Designation and to make recommendations to the City Council regarding them; and

WHEREAS, the Historic Preservation Commission has reviewed the application for designation of 215 N. 3rd Avenue and hereby finds that the Landmark nomination meets one or more of the criteria for Landmark Designation listed in Section 17.32.060.C of the St. Charles Zoning Ordinance based on the historical and architectural significance as described in the following findings:

- 1. That the property has character, interest or value which is part of the development, heritage or cultural character of the community, county or nation.**
- AND-**
- 2. That the Property is identified with a person who significantly contributed to the development of the community, county, state or nation.**

The structure is located in the Original Town of St. Charles. In 1886, the property was purchased by Amos E. Locke, a successful St. Charles painter and paperhanger. Amos E. Locke was the son of Amos N. and Roxana Locke from Vermont, who first settled in Campton Hills in 1836. Amos N. owned a woolen mill on the east side of the Fox River in St. Charles for over 30 years. In 1842, he constructed a one room house on the site of the Moss-Norris Funeral Home. The rough-hewn beams from that structure are still evident in the basement of the funeral home. Amos N. was a member of Kane County Anti-Slavery Society.

In 1893, Amos E. Locke sold the property to Lee Marchialette, who was married to Locke's daughter, Laura. The home was constructed for Lee and Laura Marchialette on the property in 1898. Lee was a foreman at the St. Charles Milk Condensing plant on the east side of the Fox River.

- 3. That the Structure embodies distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction or use of indigenous materials.**

-AND-

- 4. That the Structure embodies element so of design, detailing, materials or craftsmanship that are of architectural significance.**

The structure is an example of the Queen Anne style, built in 1898. Decorative shingles are incorporated on the home's four gables. Decorative corbels are present on the south side of the house at the top corners of the bay window. In addition to the one-over-one double-hung windows, there is also a bay window and three stained glass windows.

Original features of the house include double-hung windows, gable shingles, front door with transom window, stained glass windows, interior trim, molding, pocket doors, and floors, fireplace with glazed tile surround, and staircase. The original wood clapboard remains in place, although it is currently covered with aluminum siding. Synthetic siding is a noncontributing component of the structure.

- 5. That the property is suitable for preservation or restoration.**

The current owners have converted the structure from a two-unit property back to a single-family home. They have preserved and restored many of the original features of the home. The original wood clapboard siding is present underneath the aluminum siding. The clapboard appears to be in good shape and is suitable for restoration. Synthetic siding is a noncontributing component of the structure and should be removed for proper restoration and preservation.

NOW THEREFORE, be it resolved by the St. Charles Historic Preservation Commission to recommend to the City Council that the property known as 215 N. 3rd Avenue as legally described in Exhibit "A", be designated as a Landmark, and that it be referred to as the "Locke-Marchialette", with a construction date of 1898.

Roll Call Vote:

Ayes: Bobowiec, Malay, Gibson, Withey, Norris

Nays: None

Absent: None

Abstain: Pretz

Motion Carried.

PASSED, this 18th day of November, 2015.

Chairman

Exhibit "A"
Legal Description

THE NORTHERLY 85 FEET OF LOT 1 AND THE NORTHERLY 85 FEET OF LOT 2
(EXCEPT THE WESTERLY 10 FEET) OF BLOCK 27 OF THE ORIGINAL TOWN OF ST.
CHARLES, KANE COUNTY, ILLINOIS.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY DEVELOPMENT/PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

HISTORIC LANDMARK NOMINATION



Instructions:

To nominate a property for Historic Landmark Designation, complete this application and submit all required documentation to the Planning Division. Based on a review of the application by City staff and the Historic Preservation Commission, additional detailed information to support this application may be required.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Parcel Number(s): <p align="center">0927381003</p>	
	Property Name (Historic or common name of the property): <p align="center">MA</p>	
2. Applicant:	Name	PATRICIA / THOMAS PRETZ PATRICK ROCHE / LAURA RICE
	Address	214 CHESTNUT AVE 201 CHESTNUT AVE ST. CHARLES, IL 60174
	Phone	630 377 0901
3. Record Owner:	Name	SAMIE
	Address	215 N. 3RD AVE ST CHARLES IL 60174
	Phone	SAMIE
4. Legal Description of Property: The legal description should be obtained from the deed, mortgage, title insurance, or other recorded document (attach sheets if necessary).		
<p>NORTHERLY 85 FEET LOT 1 AND NORTHERLY 85 FEET OF LOT 2 (EXCEPT THE WESTERLY 10 FEET) OF BLOCK 27 OF THE ORIGINAL TOWN OF ST. CHARLES, KANE COUNTY, ILLINOIS</p>		

I. Classification of Property (Check all that apply):

a) Ownership:

- private
- public-local
- public-state

b) Category:

- building
- district
- site

c) Integrity:

- original site
- moved: date _____
- unaltered

d) Function or Use:

Historic/Current

- / agriculture
- / commercial
- / educational
- / government
- / entertainment

Historic/Current

- / industrial
- / military
- / museum
- / private residence
- / park

Historic/Current

- / religious
- / scientific
- / transportation
- / other(specify _____)

e) Architecture:

Early Republic

- Federal
- Early Classical Revival

Mid-19th Century

- Greek Revival
- Gothic Revival
- Italian Villa
- National

Late 19th/20th Century Revivals

- Beaux Arts
- Colonial Revival
- Classical Revival
- Tudor Revival
- Late Gothic Revival
- Dutch Colonial Revival
- English Cottage
- Italian Renaissance
- French Renaissance
- Spanish/Mission

Regional Origin

- Vernacular (describe)
- _____
- _____
- Other (describe)
- _____
- _____

Late Victorian

- 2nd Gothic Revival
- Italianate
- Second Empire
- Queen Ann
- Stick/Eastlake
- Shingle Style
- Romanesque
- Renaissance
- Folk Victorian

Late 19th and Early 20th Century (American Movements)

- Princess Ann
- Homestead
- (Amer. Arts & Crafts Movement)
- Craftsman
- Bungalow
- Foursquare
- Prairie School

Modern Movement

- Modern
- Art Deco
- International Style
- Ranch

II. Building Materials:

Please mark the appropriate boxes listing the materials that exist on the building.

	Foundation	Walls	Roof	Others
Wood				ORIGINAL GABLES / DOOR
Weatherboard, Clapboard		UNDER ALUMINUM		ORIGINAL
Shingle				ORIGINAL SHINGLES SCAFFES
Log				
Plywood				
Shake				
Stone	X			
Granite				
Sandstone				
Limestone	X			
Marble				
Slate				
Brick				CHIMNEY
Metal				
Iron				
Copper				
Bronze				
Tin				
Steel				
Lead				ORIGINAL STAIN GLASS
Nickel				
Cast Iron				
Stucco				
Terra Cotta				
Asphalt			X	
Asbestos				
Concrete	X			
Adobe				
Ceramic Tile				
Glass				ORIGINAL WINDOWS
Cloth/Canvas				
Synthetics				
Fiberglass				
Vinyl				
Aluminum		X		
Rubber				
Plastic				
Drivit/EIFS				
Other				

III. Significance of Property:

Please indicate source of documentation, if available. COUNTY RECORDS, STC HERITAGE CENTER

a) Original Owner: LEE LAURA (LOCKE) MARCHIATTE

b) Architect/ Builder: N/A

c) Significant Person(s): AMOS N. (FATHER) & AMOS E. (SON) LOCKE SETTLED

d) Significant Dates (i.e., construction dates): STC 1836. LOCKE FAMILY. WOODEN MILL / WAX PAPER HOME BUILT 1898. FIRST BUSINESS

LAND TRANSFERS 1848 BURGEEES TO BUECHELL, 1849 IRA MINARD TO BUECHELL

e) Please indicate which of the following criteria apply to the property:(check all that apply.)

X Property has character, interest, or value which is part of the development, heritage, or cultural character of the community, county, or nation. ORIGINAL TOWN OF ST. CHARLES

Property is the site of a significant local, county, state, or national event.

X Property is identified with a person who significantly contributed to the development of the community, county, state, or nation. AMOS N. LOCKE WHOSE FAMILY SETTLED STC IN 1836. OWNED WOODEN MILL 30 YRS. AMOS E. LOCKE WAX PAPER BUSINESS

X Structure embodies distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials. QUEEN ANN HIGH END CABELES, SHINGLES, CHAPBOARD (HIDDEN), STAINED WINDOWS, OTHER TYPICAL OR ERA.

ORIGINAL Property is identified with the work of a master builder, designer, architect, or landscape architect whose work has influenced the development of the area, the county, the state, or the nation.

X Structure embodies elements of design, detailing, materials, or craftsmanship that are of architectural significance. BEST

Structure embodies design elements that make it structurally or architecturally innovative.

Property has a unique location or physical characteristics that make it a familiar visual feature.

Structure is a particularly fine or unique example of a utilitarian structure with a high level of historical or architectural significance.

X Property is suitable for preservation or restoration. ORIGINAL CHAPBOARD HIDDEN APPEARS IN GOOD SHAPE WORTHY OF RESTORATION AND EXPOSED.

Property is included on the Illinois and/or National Register of Historic Places.

Property has yielded, or is likely to yield information important to prehistory, history, or other areas of archaeological significance.

IV. Attachments

1. Descriptive Statement: Attach a narrative statement describing the property and its historical architectural significance as indicated in Sections I, II, and III above. Describe structural changes, additions, and decorative modifications or material changes and dates of such work if known. State the reasons it should be designated as a Historic property. *SEE ATTACHED*
2. Plat of Survey: Attach a plat of survey showing the boundaries and location of the property. This may be obtained from the County Recorder (630-232-5935) at the Government Center. You may also have one from your house closing. *SEE ATTACHED*
3. Photographs: Attach photographs showing the important structures or features of the property and a photograph as viewed from the public way. Black and white or color prints. A minimum of one photograph of the structure as viewed from the public way is required.

SEE ATTACHED

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Thomas Pritz

Record Owner

10/18/15

Date

Applicant or Authorized Agent

Date

215 N. Third Avenue, St. Charles, IL 60174

Land: Block 27, Lots 1 & 2, original Town (not City) of St. Charles. Note: that a portion of lots 1 & 2 are separately sold off a few times which would not include the house as it stands today.

1836: The Locke family settles in St. Charles area.

1848: 9/19 Solomon Burgees and Catherine to P. J. (Peter) Burchell (lot 2)

1849: 10/3 Ira Minard and Sarah to P. J. Burchell (lot 1)

1852: 4/3 P. J. Burchell to Trustees of SCHS (??? Believe he set up a trust for his property that included James, George, and Zack Burchell)

1877: 1/25 Burchell to T. E. Ryan (first State's Attorney and married to Millington's daughter) 25% interest

1878: 3/29 T. E. Ryan sells his 25% interest to W. D. Barry

1878: 6/24 James, George, and Zack Burchell (the Trust???) to W. D. Barry

1882: 8/24 W. D. Barry and Isabella to Wm. W. Munn

1882: 10/14 Wm. W. Munn and Sarah to W. M. Balis (25% interest)

1886: 10/14 Wm. W. Munn to Amos Locke

1893: 2/14 Amos Locke to Lee Marchialette (son-in-law)

House:

1898: 9/20 \$1500 loan secured by Lee Marchialette to have home built

1907: 1/19 Lee Marchialette and Lollie to secure a loan from Jessie F. Wilson

History of Property and Home

215 3rd Avenue is located in Block 27 on Lots 1 and 2 and the land changed individual ownership during the years to include; Solomon Burgees, Peter Burchell, Ira Minard, T. E. Ryan, and William Munn.

In 1886 William Munn sold the property to Amos E. Locke, a successful St. Charles painter and paperhanger, who lived at 20 E. State in St. Charles on the southeast corner of East State and 1st Avenue. Amos E. was the son of Amos N. Locke and Roxana Locke from Vermont who first settled in Campton Hills in 1836. In 1842 Amos N. built a one room house on the site of Moss-Norris Funeral Home in St. Charles and the rough-hewn beams from that simple structure are still evident today in the basement. Amos N. Locke owned a woolen mill on the east side of the Fox River in St. Charles for over 30 years.

In 1893 Amos E. sold Lots 1 & 2 to Lee Marchialette, who was married to Locke's daughter, Laura, a daughter from his first marriage. The first Mrs. Locke died in childbirth or shortly thereafter. Together, Lee and Laura Marchialette secured a loan in 1898 and built a Queen Anne Style home on the site. Lee Marchialette was a foreman at the St. Charles Milk Condensing plant in St. Charles on the east side of the Fox River. Mr. Locke being in the paint and wallpaper business could well have advised and helped his daughter and son-in-law in interior and exterior selections as seen in many of the fine and extravagant details in the home..

The Marchialettes had two children, Bernard and Dorothy. Bernard grew up to work at the Crown Electrical Company and Dorothy, who never married, passed away in her 20s not very long after her father's death.

Home Features and Architecture

The home is Queen Anne in architectural style and built in 1898. It is located in the historic district of St. Charles. Although it is currently covered in aluminum siding, wooden clapboard was found underneath and could be removed and possibly restored at a later date. The one-over-one sash windows are original to the house. A two-car garage was added probably around the 1950s.

Outside the roof lines are consistent with Queen Anne style with decorative shingles on a steep front gable. At the peak of the front gable is an attractive attic window. An interesting pattern of shingles is used on all four sides of the gables. The original front door has noteworthy detail with a transom window above it. Another transom window is found in the interior between the hallway and front living room. Decorative corbels are on the south side of the house at the top corners of the bay window.

The home has 3 beautiful stained glass windows and a built out bay window in the dining room and master bedroom. Beautiful original wood trim, moldings, pocket doors and floors have been preserved throughout the home. The elaborate fireplace with vintage glazed tile surround and beautiful oak staircase are also original. A second staircase to the upstairs is in the kitchen and has been left for a pantry or display area.

A side porch was attached at a later date, about 19----

Sometime during the 1960s??? the house was converted from a single family to a rental property to include a second floor apartment with exterior stairs and modifications to the upstairs to create a kitchen in the front of the house. It has since been converted from a small kitchen to an additional bathroom for the master bedroom.

During the restoration of the house, a "time capsule" was found within the interior kitchen wall. Inside were objects owned and used by the Marchialette family during the early years in the home. A shadow box will be created to hold these items as part of the home's original history. The items include: a doll, toy gun, harmonica, marbles, matches, gum, children's books, correspondence, postcards, and calendar. There is even an outline of young Dorothy's hand along with some of her school assignments.

PLAT OF SURVEY

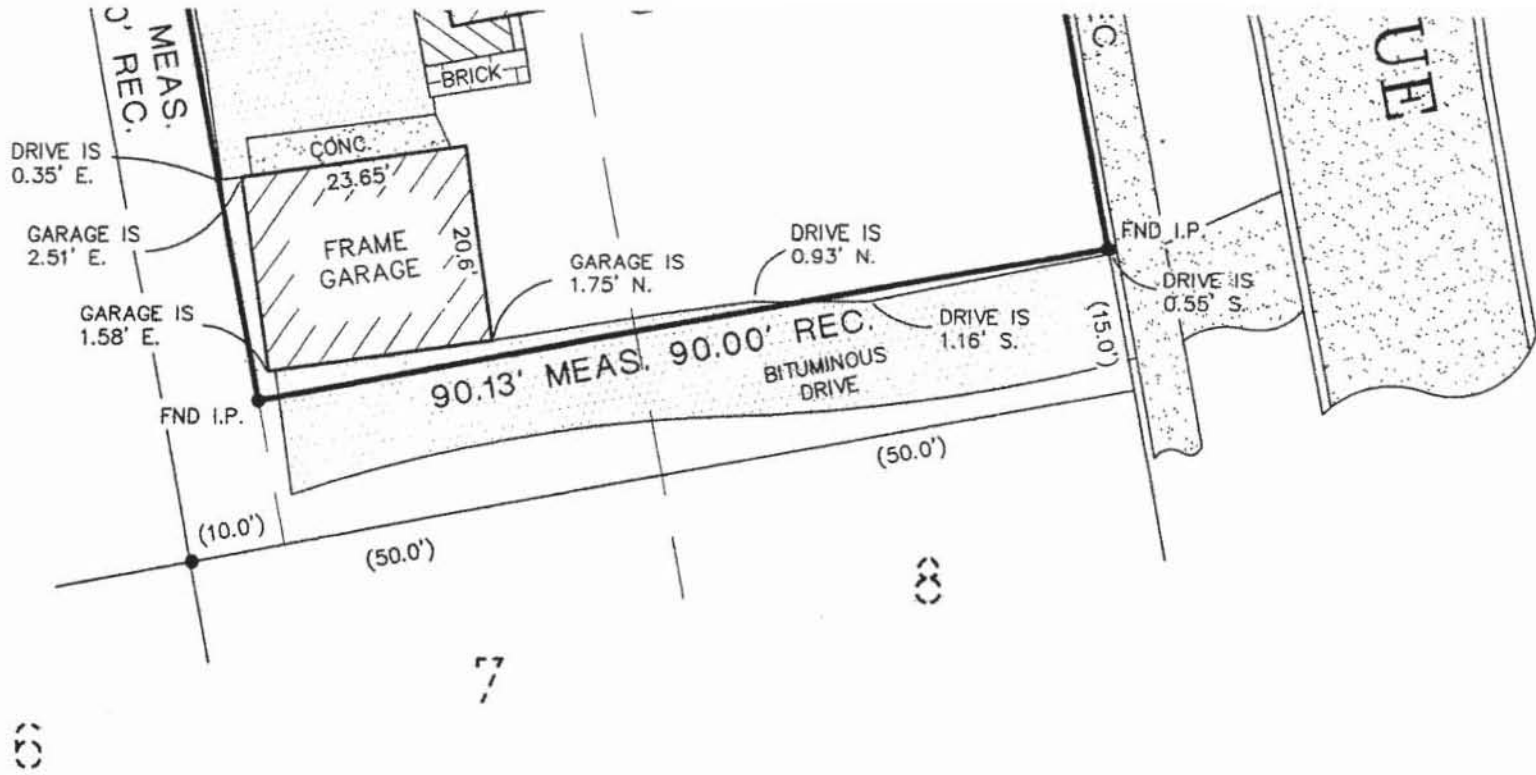
OF

The Northerly 85 feet of Lot 1 and the Northerly 85 feet of Lot 2 (except the Westerly 10 feet) of Block 27 of the Original Town of St. Charles, Kane County, Illinois.



SCALE: 1" = 20'





Prepared for: Law Offices of Fred T. Myers, P.C.

Job No. 15-10852

Address: 215 N. Third Ave., St. Charles

Book 104 Page 29

FOR BUILDING RESTRICTIONS AND EASEMENTS NOT SHOWN
HEREON, REFER TO YOUR ABSTRACT, DEED, GUARANTEE
POLICY, AND LOCAL ORDINANCES

- IRON PIPE SET R=RADIUS
- IRON PIPE FOUND A=ARC LENGTH

FJM LAND SURVEYING

TELEPHONE:
(630) 587-8060

FACSIMILE
(630) 587-8061

EMAIL: FJMSURVEY@AOL.COM

6 N 566 WILLOWBROOK DRIVE
ST. CHARLES, ILLINOIS 60175

State of Illinois)
) S. S.
County of Kane)

I, Frank J. McDaniel, an Illinois Professional Land Surveyor, No. 3256, do hereby certify that the Plat shown hereon is a correct representation of a survey performed at and under my direction. This professional service conforms to the current Illinois minimum standards for a boundary survey.

All dimensions shown in feet and decimal parts thereof.

Given under my hand and seal in
St. Charles, Illinois, this
29th day of June, A.D. 2015.

Frank J. McDaniel

Frank J. McDaniel, P.L.S. #3256
License Renewal/Date of
Expiration = 11/30/2016









































AGENDA ITEM EXECUTIVE SUMMARY

Title:	Plan Commission recommendation to approve a Preliminary Streetscape Plan for First Street Phase 3
Presenter:	Russell Colby

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (12/14/15)		City Council
	Public Hearing		

Estimated Cost:	N/A	Budgeted:	YES		NO	
-----------------	-----	-----------	-----	--	----	--

If NO, please explain how item will be funded:

Executive Summary:

A new PUD Preliminary Plan for First Street Phase 3 was approved by the City Council in March 2015 (Ordinance #2015-Z-5). The approval included updated development data for each building, site and engineering plans, and architectural elevations for a parking deck and 2 of the 3 mixed use buildings.

Per the Preliminary Plan approval ordinance, design plans for the adjacent public spaces within the Phase 3 site (streetscape, the East Plaza and the bi-level Riverwalk) are to be updated based on the new site plan. The plans are then to be reviewed by Plan Commission and approved by City Council.

Streetscape plans for the entire First St. project were approved by the City in 2008. The plans included an overall design and details of the materials to be used, including paver bricks, lighting fixtures, and street furniture. The existing First St. streetscape improvements and the West Plaza were constructed based upon these plans.

The City has prepared updated plans for the streetscape along the east side of First Street and north side of Illinois Street adjacent to planned Buildings 1, 2 and the Parking Deck and is presenting the plans for approval. In summary, the design adjustments to the 2008 plan are meant to 1) better correlate the streetscape design with the building storefronts/entrance doors and projections/balconies, and 2) provide a wider pedestrian corridor along First St. to encourage active use of the sidewalk. See the attached Staff Memo for more information.

Plan Commission Recommendation

The Plan Commission reviewed the Streetscape Plan on 12/8/15 and recommended approval by a vote of 6-0.

Attachments: *(please list)*

Plan Commission Resolution, Staff Memo and attachments, Streetscape Plan, PUD Ordinance.

Recommendation / Suggested Action *(briefly explain):*

Plan Commission recommendation to approve a Preliminary Streetscape Plan for First Street Phase 3.

<i>For office use only:</i>	<i>Agenda Item Number: 4e</i>
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City of St. Charles, Illinois
Plan Commission Resolution No. 24-2015

**A Resolution Recommending Approval of a Preliminary Streetscape Plan for
First Street Phase 3 (City of St. Charles)**

Passed by Plan Commission on December 8, 2015

WHEREAS, it is the responsibility of the St. Charles Plan Commission to review PUD Preliminary Plans; and

WHEREAS, the City approved the PUD Preliminary Plan for First Street Phase 3 (Ordinance 2015-Z-5) with a condition that a Streetscape Plan be reviewed by Plan Commission at a future date; and

WHEREAS, the Plan Commission has reviewed the Streetscape Plan for First Street Phase 3 received December 2, 2015, and finds said Streetscape Plan to be in conformance with Ordinance 2015-Z-5 and all applicable requirements of the Zoning Ordinance.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of a Streetscape Plan for First Street Phase 3, received December 2, 2015.

Voice Vote:

Ayes: Wallace, Pretz, Doyle, Holderfield, Macklin-Purdy, Spruth

Nays: None

Absent: Frio, Schuetz, Kessler,

Motion Carried: 6-0

PASSED, this 8th day of December 2015.

Chairman
St. Charles Plan Commission

Community & Economic Development
Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



ST. CHARLES
SINCE 1834

STAFF MEMO

TO: Chairman Todd Bancroft
And the Members of the Planning & Development Committee

FROM: Russell Colby
Planning Division Manager

RE: First Street Phase 3 – Streetscape Plan

DATE: December 9, 2015

BACKGROUND

The First Street project is a five-phase downtown redevelopment spanning a five block stretch of First Street between Main St. and Prairie St. The project was initially approved by the City in 2006.

In 2008, streetscape plans for the entire project were approved. The plans included an overall framework for the design and details of the materials to be used, including paver bricks and patterns, lighting fixtures, and street furniture, including benches and garbage cans.

Phases 1 and 2 of the project were completed in 2009. Streetscape was installed adjacent to all new buildings (including the existing parking deck building, the Blue Goose store, and the BMO Harris Bank building to the south).

NEW PHASE 3 PLAN

In March 2015, the City approved a new PUD Preliminary Plan for Phase 3 of the project, which is comprised of the riverfront property located north of Illinois Street and east of First St. Phase 3 includes three mixed use buildings and a public parking deck.

Construction of Phase 3 is now underway, with foundations placed for Building #1 (at the corner of Illinois and First St.). Excavation is underway for the public parking deck to be located in the interior of the site.

In accordance with the Preliminary Plan approval for Phase 3, updated design plans for the adjacent public spaces within Phase 3 (streetscape, the East Plaza and the bi-level Riverwalk) are to be reviewed by Plan Commission.

The City has prepared plans for the streetscape along First and Illinois Street adjacent to Buildings 1, 2 and the Parking Deck and is presenting the plans for review and approval.

REVIEW OF THE 2008 PLAN

During the Phase 3 plan approval process earlier this year, there were a number of comments offered to improve the streetscape design for the east side of First Street. These comments were based upon practical considerations and perceived shortcomings of the existing streetscape on the west side of First Street.

Based on these comments, Staff re-evaluated the design as it was constructed, and found the following:

- Overall, the layout does not respond well to the buildings in certain locations.
- The design has limited functionality of the pedestrian sidewalk zone and prevented use of the sidewalk as an active space.

Specifically, the following design issues were identified with the 2008 plan:

Storefronts

- Planter boxes were spaced apart in a set pattern, and as a result, some boxes were placed directly in front of storefront entrances.
- Trees within some planter boxes ended up being removed or badly pruned to improve business visibility.

Balconies

- Plans did not account for balconies and upper story building projections. Specifically, at the BMO Harris building, trees have grown up into the balconies.
- Trees grow quickly and conflict with building projections, giving the street a crowded, overgrown appearance.
- The trees then require significant pruning, which leads to a misshapen tree.

Sidewalk Width

- Landscape planter boxes placed within the sidewalk area can create choke points at certain locations, leaving tight spaces for pedestrians trying pass on the sidewalk.

Usable Sidewalk Area

- Including landscape planter boxes along the entire length of the sidewalk area limits the use of sidewalks by people and businesses.
- The west side of First St. has provided only limited opportunity for outdoor seating, displays, or activities.

Tree Density

- Too many trees can hide building architecture.
- As trees mature, they create a dark tunnel effect, which conflicts with the desired character of an open, urban street environment.

PROPOSAL

The original 2008 plan established the overall framework for the streetscape design.

The City commissioned Wills, Burke, Kelsey Associates (WBK) to revise the previous engineering and landscape plans for Phase 3, following the previously established framework, but updating elements of the design based upon the new building plans and the issues discussed above.

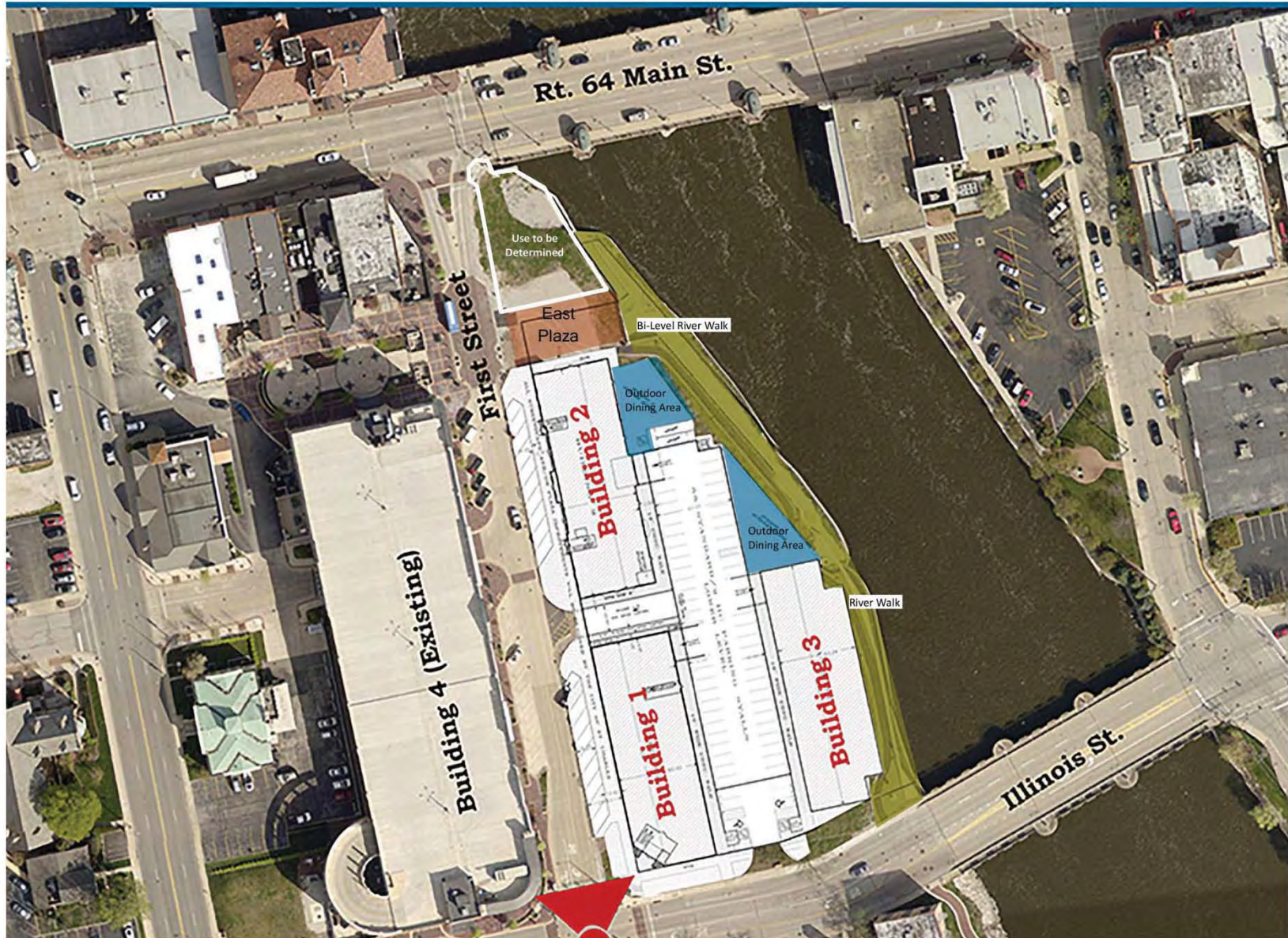
Below is a summary of the major design elements of the plan:

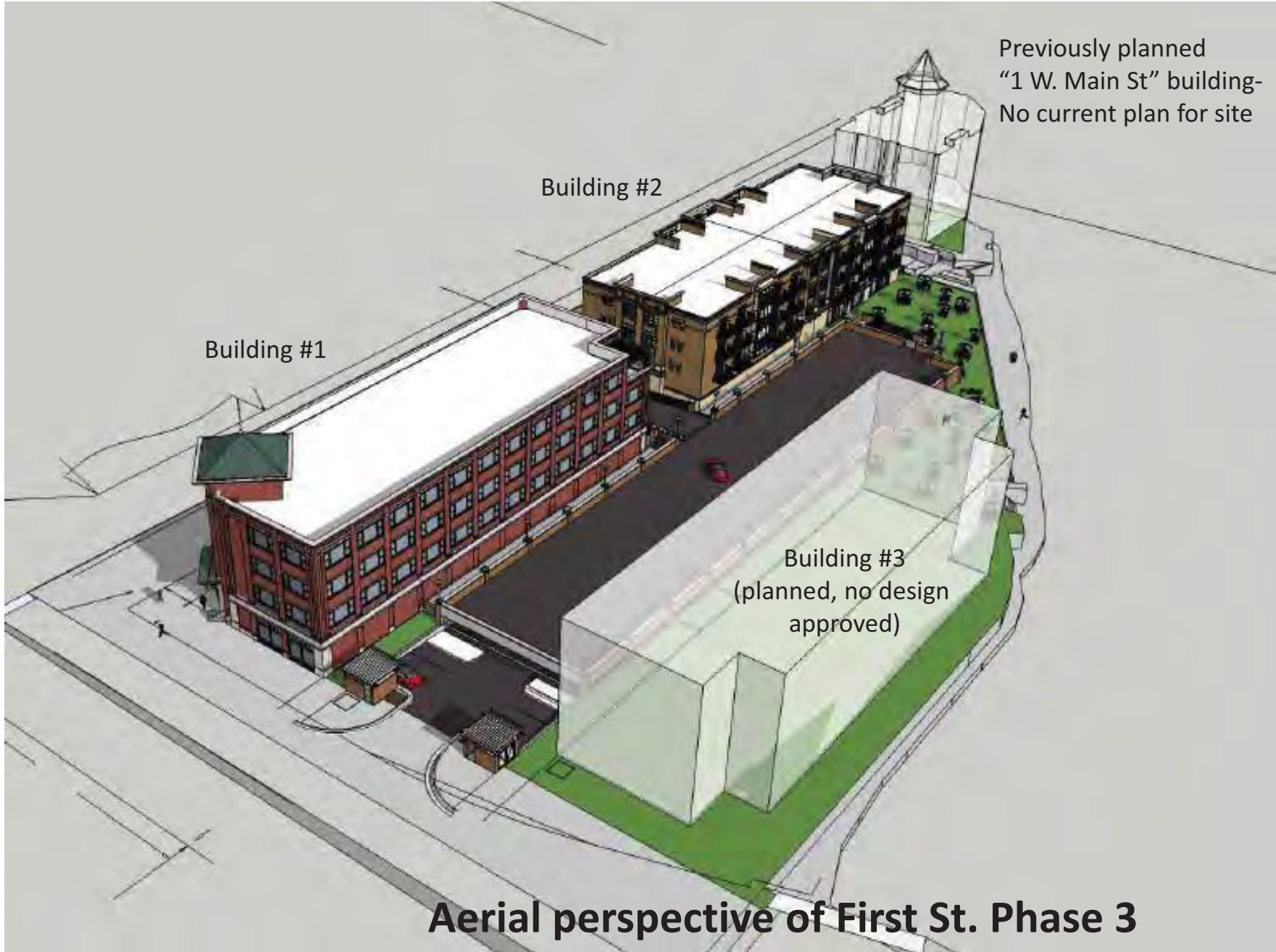
- Utilize the same design framework (theme and details/materials) as the existing First Street streetscape:
 - Same brick materials and same design with an edge ribbon
 - Same pedestrian street lamps
 - Same benches and garbage cans
 - Same type of tree grates
- Streetscape is designed around all building entrances, storefront locations, and anticipated door swings (where storefronts are not recessed into the buildings).
- Maximized usable sidewalk width:
 - Generally, keeping 10+ ft. open in front of buildings (Only narrowing down to 8 ft. along Illinois St., where there are no storefront entrances)
 - For comparison, the width of the pedestrian zone in many locations on the west side of First Street ranges from 5.5 to 6.5 feet (from building face to planter box)
- Limit planter areas to building corners, where they will not conflict with the usable sidewalk area.
 - Create more substantial planting areas in less usable locations, instead of many smaller planter boxes.
- Space out trees, don't plant in sidewalk areas around balconies
 - No trees will be placed within the sidewalk immediately adjacent to Building #2, which will have balconies along the entire First St. façade.
 - Shade trees have been placed in larger planter beds at the ends of the buildings where they will have room to grow larger.
 - Columnar trees have been placed at other locations, but spaced so as not to block direct views of storefronts or signs.
- Streetscape has been designed in tandem with on-street utility routes to minimize conflicts.

RECOMMENDATION

Staff is recommending approval of the preliminary Streetscape Plan for First Street Phase 3.

2015 Phase 3 Plan





Previously planned
"1 W. Main St" building-
No current plan for site

Building #2

Building #1

Building #3
(planned, no design
approved)

Aerial perspective of First St. Phase 3



Building # 2

Building #1

Illinois St.

Parking Deck Entrance

Future East Plaza

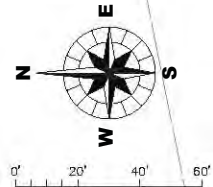
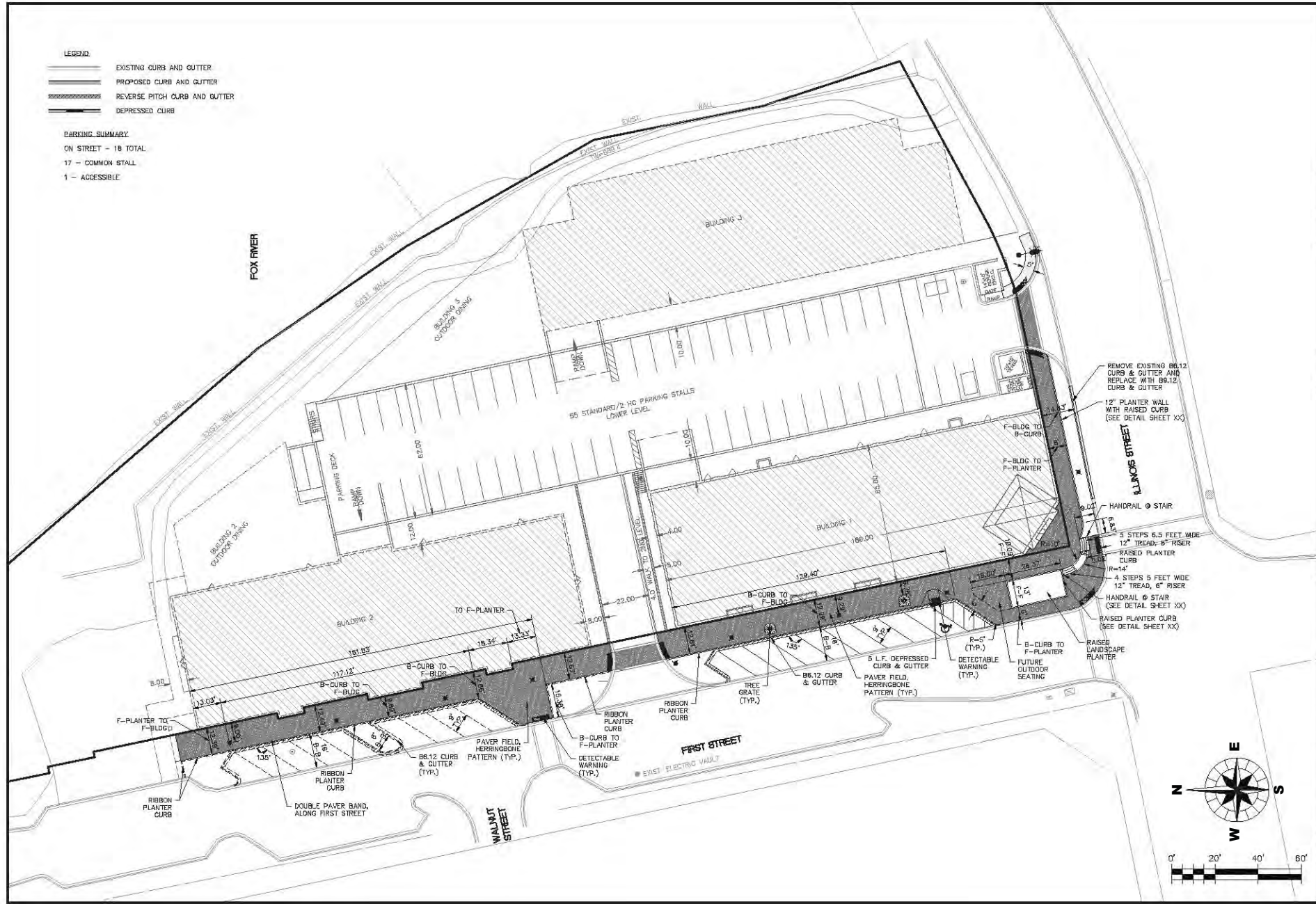
First St., looking south from the Plaza area



First St., looking north from Illinois St.

- LEGEND**
- EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - REVERSE PITCH CURB AND GUTTER
 - DEPRESSED CURB

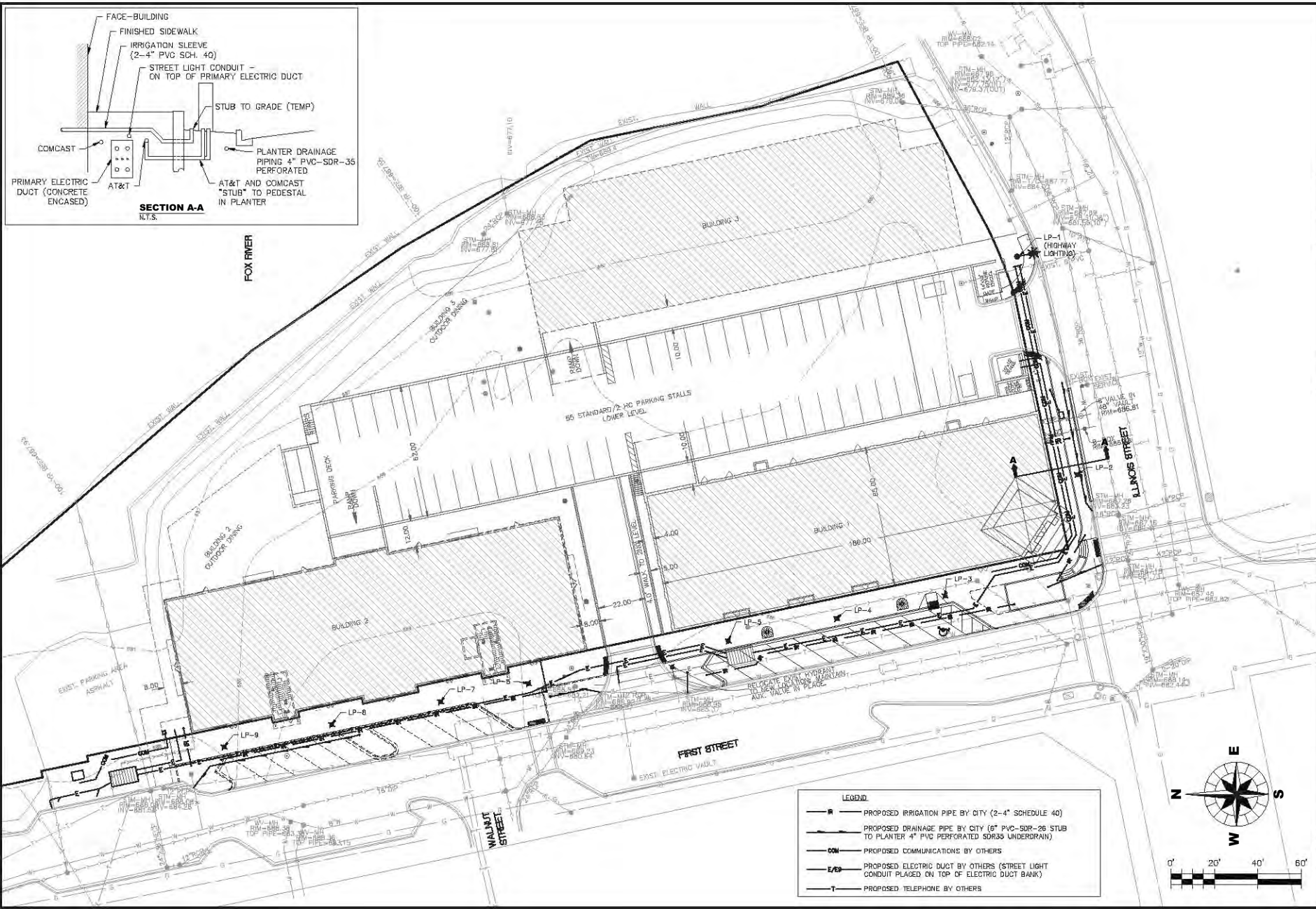
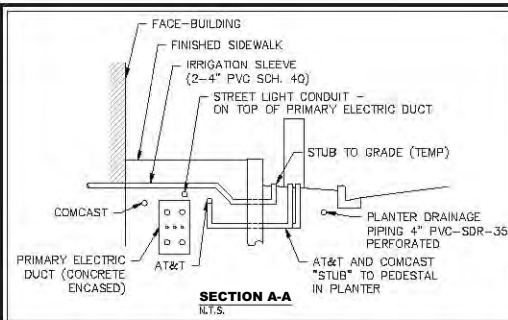
PARKING SUMMARY
 ON STREET - 18 TOTAL
 17 - COMMON STALL
 1 - ACCESSIBLE



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DWN.	GUC	GUC	DRAWING NO. GM1
CHD.	GUC	GUC	SHEET:
SCALE: 1" = 20'	CITY REVIEW:	NATURE OF REVISION:	3 OF 9
NO. DATE	NO. DATE	NO. DATE	

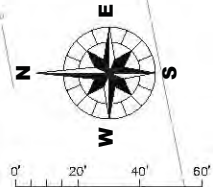
CITY OF ST. CHARLES
 2 EAST MAIN STREET
 ST. CHARLES, IL. 60174
 630-377-4400

WILLS BURKE KELSEY ASSOCIATES LTD.
 116 West Main Street, Suite 201
 St. Charles, Illinois 60174
 (630) 443-7755

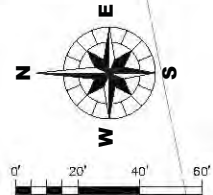
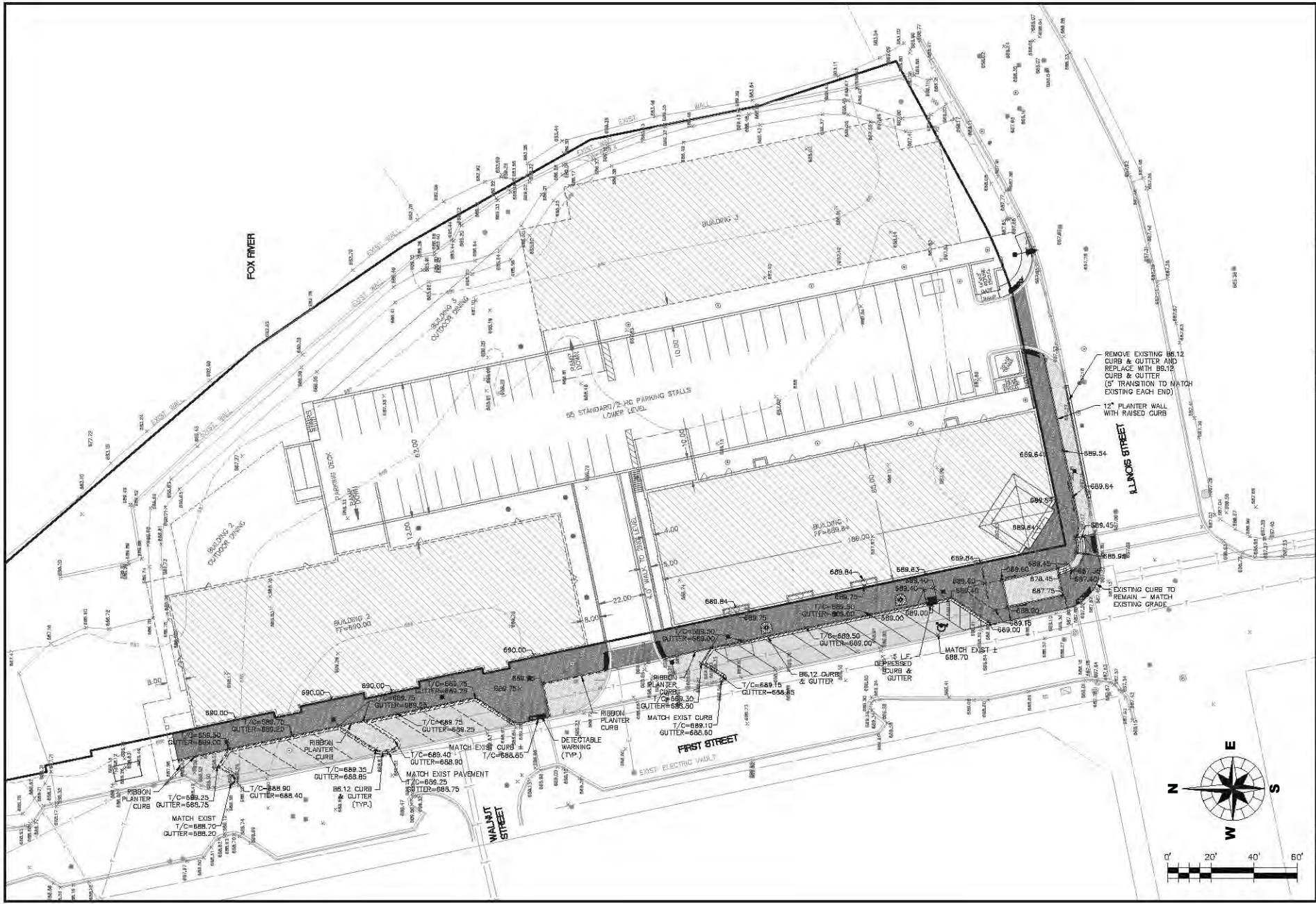


LEGEND:

	PROPOSED IRRIGATION PIPE BY CITY (2-4" SCHEDULE 40)
	PROPOSED DRAINAGE PIPE BY CITY (6" PVC-SDR-26 STUB TO PLANTER 4" PVC PERFORATED SDR35 UNDERDRAIN)
	PROPOSED COMMUNICATIONS BY OTHERS
	PROPOSED ELECTRIC DUCT BY OTHERS (STREET LIGHT CONDUIT PLACED ON TOP OF ELECTRIC DUCT BANK)
	PROPOSED TELEPHONE BY OTHERS



UTILITY PLAN	
<p>TITLE: FIRST STREET STREETSCAPE</p> <p>DISGN: GUC DWN: EAM CHKD: GUC SCALE: 1" = 20'</p> <p>NO. DATE: 1 1/2015 CITY REVIEW: JUT NATURE OF REVISION: UT1602056.DWG</p>	<p>CLIENT: CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL. 60174 630-377-4400</p> <p>WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755</p> <p>PROJECT NO. 16020 DATE: 12/1/2015 DRAWING NO. UT1 SHEET:</p>
4 OF 9	



WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755		CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL. 60174 630-377-4400		TITLE: FIRST STREET STREETSCAPE GRADING PAVING AND SECC PLAN	
PROJECT NO. 19200	DATE: 12/01/2015	DSGN: GUC	GUC	EM	GUC
DRAWING NO. GR1	SHEET:	DWN: CHD.	CHD.	SCALE: 1"=20'	SCALE: 1"=20'
5 OF 9		NO. DATE:	CITY REVIEW:	NATURE OF REVISION:	GR1 6/22/19 DWG

SHADE & ORNAMENTAL TREES

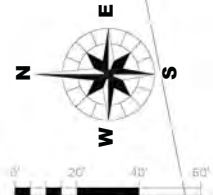
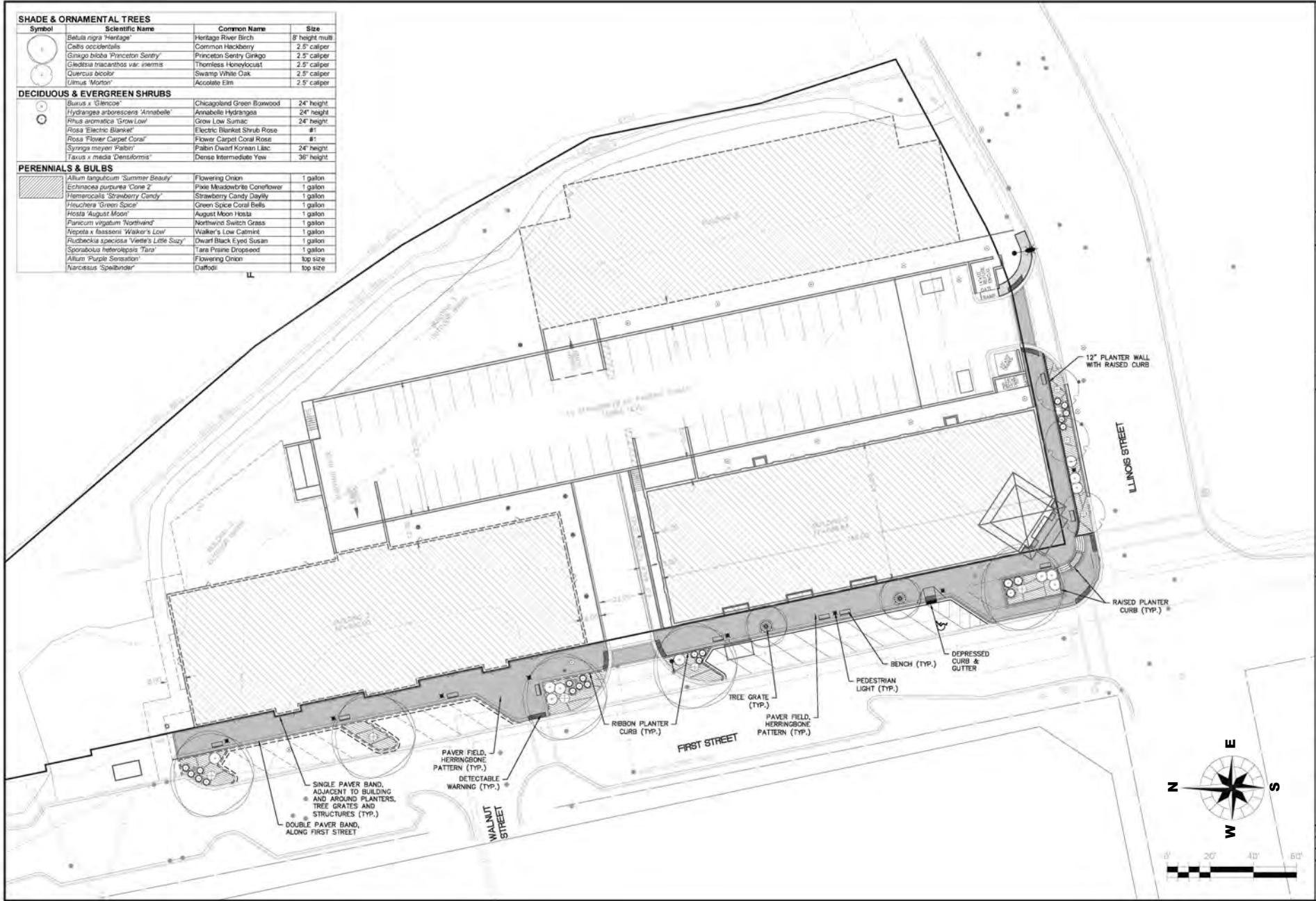
Symbol	Scientific Name	Common Name	Size
	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	8' height multi
	<i>Celtis occidentalis</i>	Common Hackberry	2.5" caliper
	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" caliper
	<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Thornless Honeylocust	2.5" caliper
	<i>Quercus bicolor</i>	Swamp White Oak	2.5" caliper
	<i>Ulmus</i> 'Morton'	Accolade Elm	2.5" caliper

DECIDUOUS & EVERGREEN SHRUBS

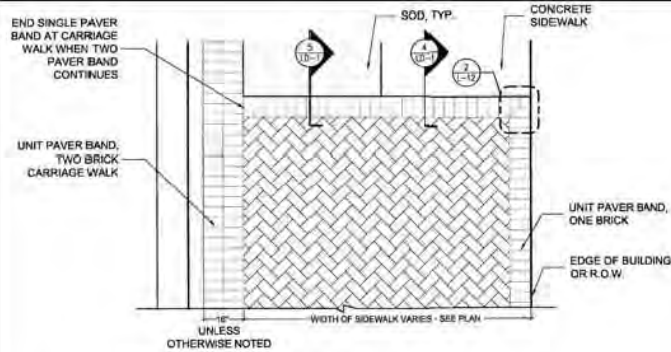
	<i>Buxus</i> x <i>Glencoe</i>	Chicagoland Green Boxwood	24" height
	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	24" height
	<i>Rhus aromatica</i> 'Grow Low'	Grow Low Sumac	24" height
	<i>Rosa</i> 'Electric Blueberry'	Electric Blueberry Rose	#1
	<i>Rosa</i> 'Flower Carpet Coral'	Flower Carpet Coral Rose	#1
	<i>Syringa meyeri</i> 'Palibin'	Palibin Dwarf Korean Lilac	24" height
	<i>Taxus</i> x <i>media</i> 'Densiformis'	Dense Intermediate Yew	36" height

PERENNIALS & BULBS

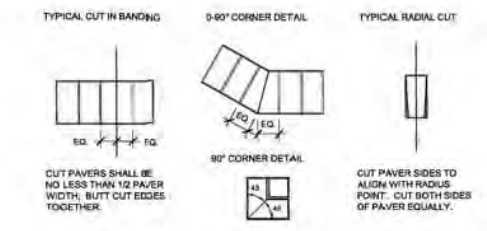
	<i>Allium tanguticum</i> 'Summer Beauty'	Flowering Onion	1 gallon
	<i>Echinacea purpurea</i> 'Cone 2'	Pink Meadow/Bliss Coneflower	1 gallon
	<i>Hemiplocis</i> 'Strawberry Candy'	Strawberry Candy Daylily	1 gallon
	<i>Heuchera</i> 'Green Space'	Green Spice Coral Bells	1 gallon
	<i>Hosta</i> 'August Moon'	August Moon Hosta	1 gallon
	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1 gallon
	<i>Nepeta</i> x <i>faassenii</i> 'Walker's Low'	Walker's Low Catmint	1 gallon
	<i>Rudbeckia speciosa</i> 'Vinter's Little Suzy'	Dwarf Black Eyed Susan	1 gallon
	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	1 gallon
	<i>Allium</i> 'Purple Sensation'	Flowering Onion	top size
	<i>Narcissus</i> 'Speibinder'	Daffodi	top size



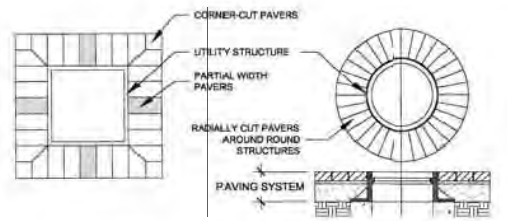
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DWN: G.U.C.	G.U.C.: G.U.C.
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NO. DATE: 1. 10/20/15	NATURE OF REVISION: LP-150209.DWG
CLIENT: CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL. 60174 630-377-4400	
WILLS BURKE KELSEY ASSOCIATES LTD. 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	
PROJECT NO.: 180209	DATE: 12/01/2015
DRAWING NO.: LP1	SHEET:
6 OF 9	



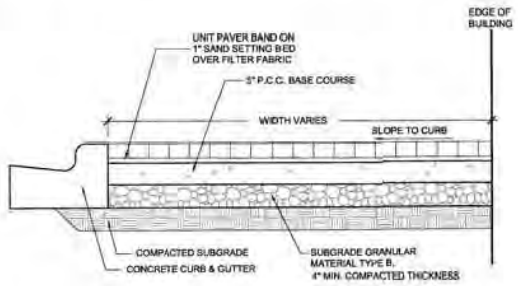
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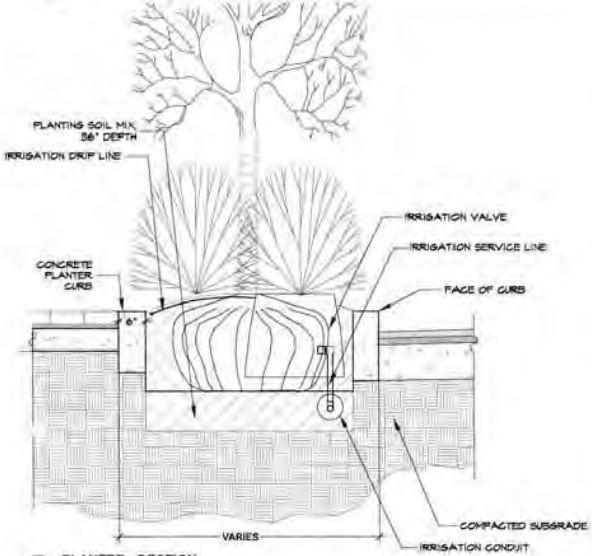
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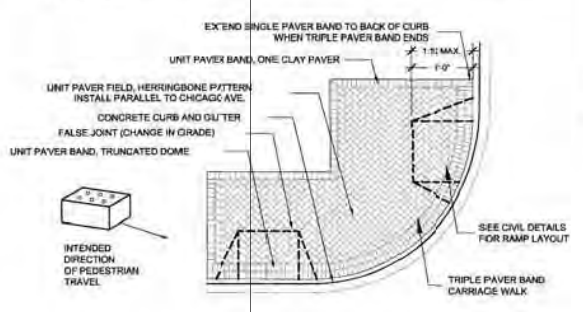
3 PAVER BORDER AROUND STRUCTURES
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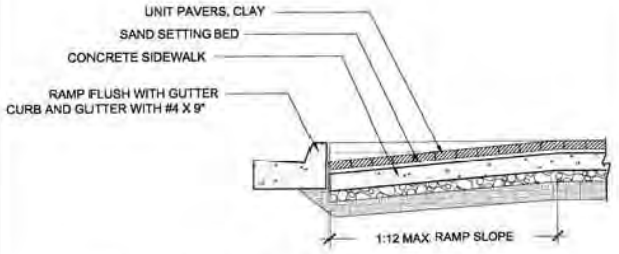
4 PAVER SIDEWALK SECTION
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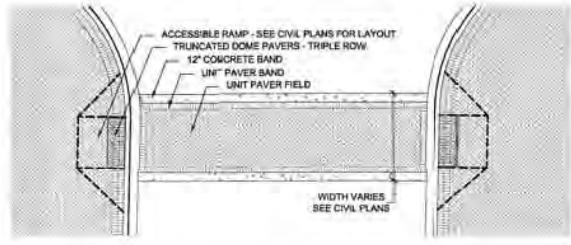
5 PLANTER - SECTION
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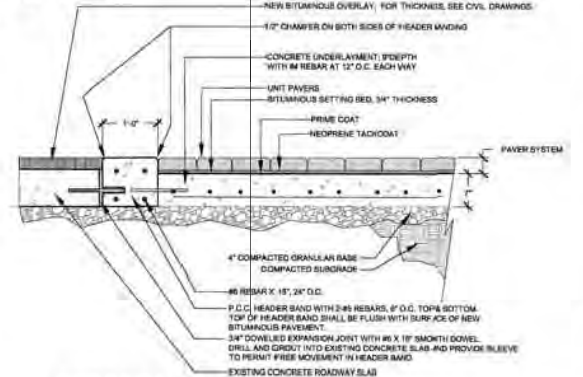
6 HANDICAP CURB RAMP - TYP. LAYOUT
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7 HANDICAP CURB RAMP SECTION
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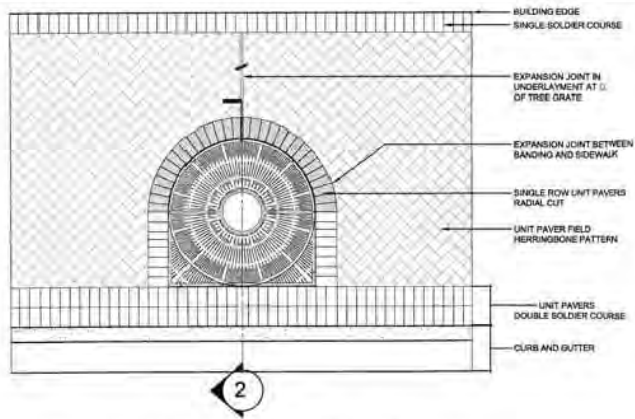


8 CROSSWALK DETAIL
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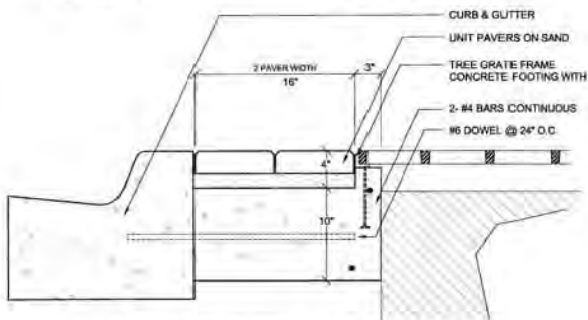


9 CROSSWALK SECTION
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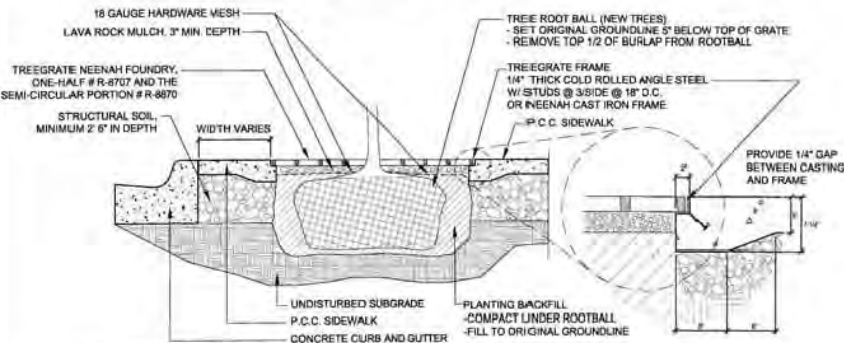
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DWN.	EM
CHD.	GJC
SCALE:	NA
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DATE OF REVISION:	DT 160309 JMWG
CLIENT: CITY OF ST. CHARLES 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755	
PROJECT NO: 1201	
DATE: 12/01/2015	
DRAWING NO: DT1	
SHEET: 7 OF 9	



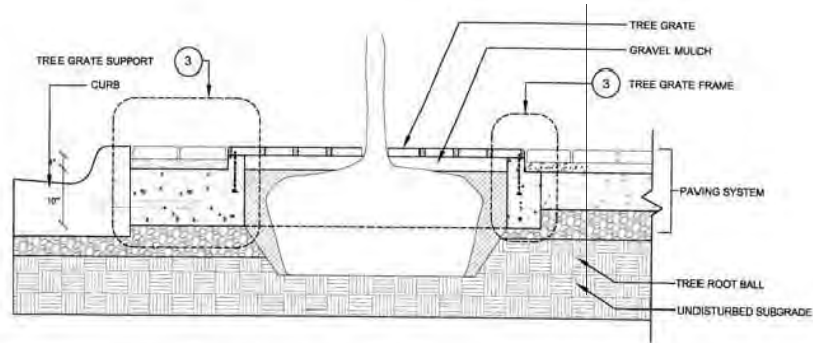
1 TREE GRATE INSTALLATION - PLAN
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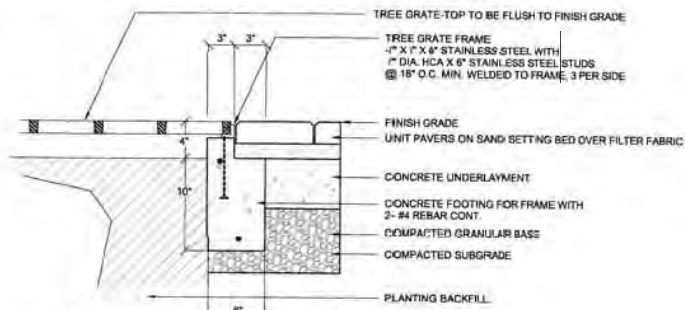
3 TREEGRATE SUPPORT AT CURB
NO SCALE INSTALLATION IN PAVER SIDEWALK



5 TREE GRATE INSTALLATION
NO SCALE INSTALLATION IN CONCRETE SIDEWALK



2 TREE GRATE INSTALLATION
NO SCALE INSTALLATION IN PAVER SIDEWALK



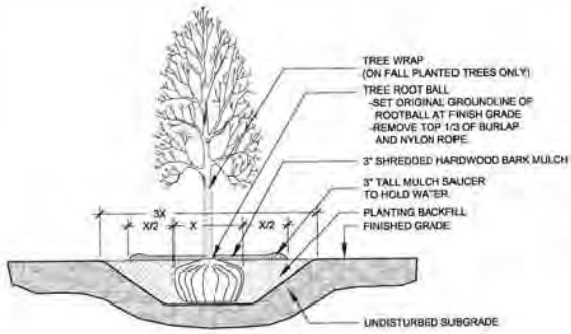
4 TREEGRATE / FRAME DETAIL
NO SCALE INSTALLATION IN PAVER SIDEWALK

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DWN.		EAM		FIRST STREET	
CHKD.		GJC		STREETSCAPE	
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NOT DATE:		NATURE OF REVISION:			

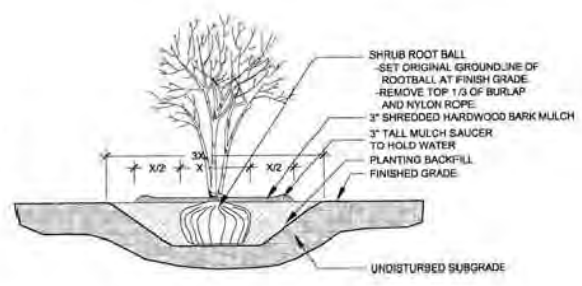
CLIENT: **CITY OF ST. CHARLES**
2 EAST MAIN STREET
ST. CHARLES, IL 60174
630-377-4400

WILKS BUREK KILBAY ASSOCIATES LTD.
116 West Main Street, Suite 201
St. Charles, Illinois 60174
(630) 443-7755

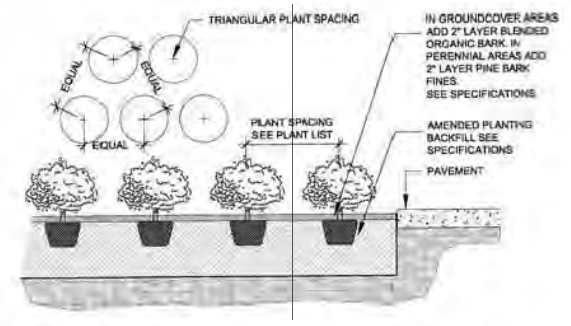
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DATE: 12/01/2015
DRAWING NO. DT2
SHEET: **8 OF 9**



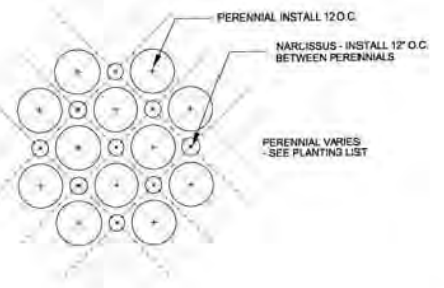
1 SHADE TREE PLANTING DETAIL
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2 SHRUB PLANTING DETAIL
NO SCALE



3 GROUNDCOVER/PERENNIAL PLANTING DETAIL
NO SCALE



4 INTERPLANTING DETAIL - BULB/PERENNIAL
NO SCALE

PROJECT NO. 1824		DATE: 12/01/2015		DRAWING NO. DT3		SHEET: 9 OF 9	
PROJECT TITLE: FIRST STREET STREETScape		CLIENT: CITY OF ST. CHARLES 2 EAST MAIN STREET ST. CHARLES, IL 60174 630-377-4400		DESIGNER: GJC		DRAWN: EAM	
PROJECT LOCATION: 116 West Main Street, Suite 201 St. Charles, Illinois 60174 (630) 443-7755		CHECKED: GJC		SCALE: NA		CITY REVIEW: DT-1603009 JMWG	
PROJECT NO. 1824		DATE: 12/01/2015		DRAWING NO. DT3		SHEET: 9 OF 9	

W:\Projects\1824\1824.dwg (12/01/2015 10:51 AM) - 1824.dwg (12/01/2015 10:51 AM) - 1824.dwg (12/01/2015 10:51 AM)

City of St. Charles, Illinois

Refer to:	3-2-2015
Minutes	
Page	

Ordinance No. 2015-Z-5

Motion to Approve an Ordinance Granting Approval of a PUD Preliminary Plan for a portion of Phase 3 of the First Street Redevelopment PUD (Buildings 1, 2, 3 and Parking Deck).

**Adopted by the
City Council
of the
City of St. Charles
March 2, 2015**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, March 6, 2015**

Nancy Gamson

City Clerk



(SEAL)

**City of St. Charles, Illinois
Ordinance No. 2015-Z-5**

**An Ordinance Granting Approval of a PUD Preliminary Plan for a portion of
Phase 3 of the First Street Redevelopment PUD
(Buildings 1, 2, 3 and Parking Deck)**

WHEREAS, an application has been filed for PUD Preliminary Plan for a portion of Phase 3 of the First Street Redevelopment PUD, said realty being legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Realty"); and,

WHEREAS, said application was filed with the City on or about November 3, 2014, by First Street Development II, L.L.C. ("Applicant") and authorized by the record owner of the Subject Realty, the City of St. Charles ("Record Owner"); and,

WHEREAS, the Historic Preservation Commission recommended approval of the PUD Preliminary Plan on or about November 19, 2014; and,

WHEREAS, the Plan Commission recommended approval of the PUD Preliminary Plan on or about December 16, 2014; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of the PUD Preliminary Plan on or about February 17, 2015; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "B", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Development Data, dated February 27, 2015
- Specifications for the Proposed Parking Deck, dated February 27, 2015
- Preliminary Engineering Plans titled "1st Street Phase 3", prepared by County Engineers, Inc., dated January 28, 2015 and February 16, 2015

- Building Architectural Elevations for Building 1, Building 2, and the Parking Deck prepared by Marshall Architects, dated February 2, 2015.

3. Preliminary Plans shall be submitted for review by the Historic Preservation Commission and Plan Commission and approval by the City Council for the following:

- Streetscape Improvements for First and Illinois Streets.
- Building Architectural Elevations for Building #3.
- Riverwalk Improvements along the Fox River frontage.
- Plaza area north of Building #2

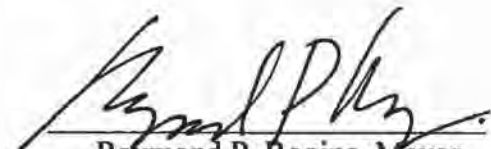
4. That the subject property may be developed and used only in accordance with all ordinances of the City now in effect or hereafter amended or enacted.

5. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

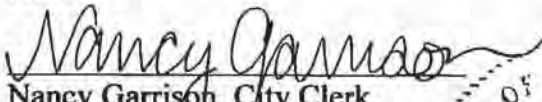
PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.


Raymond P. Rogina, Mayor

Attest:


Nancy Garrison, City Clerk

Vote:
Ayes:
Nays:
Absent:
Abstain:
Date: _____



APPROVED AS TO FORM:

City Attorney

DATE: _____

EXHIBIT "A"

LEGAL DESCRIPTION

Lots 3, 4, 5 11 and 12 in the Phase III First Street Redevelopment Subdivision, according to the plat thereof recorded as Document No. 2008K089916, in the City of St. Charles, Kane County, Illinois.

EXHIBIT "B"

PUD PRELIMINARY PLAN

- Development Data, dated February 27, 2015
- Specifications for the Proposed Parking Deck, dated February 27, 2015
- Preliminary Engineering Plans titled "1st Street Phase 3", prepared by County Engineers, Inc., dated January 28, 2015 and February 16, 2015
- Building Architectural Elevations for Building 1, Building 2, and the Parking Deck prepared by Marshall Architects, dated February 2, 2015.

FIRST STREET PHASE 3 DEVELOPMENT DATA
2/27/15

Building No.	Type	Floor Level	Area/Units
Building 1	Parking	Basement	27 spaces
	Retail/Commercial	1 st level	11,865 sf
	Office	2 nd level	11,865 sf
	Office	3 rd level	11,865 sf
	Office	4 th level	11,865 sf
Total Building area			47,460 sf
Building 2	Parking	Basement	27 spaces
	Retail/Commercial	1 st level	11,898 sf
	Residential	2 nd level	12,000 sf
	Residential	3 rd level	12,000 sf
	Residential	4 th level	12,000 sf
Total Residential (12 Studio, 12 1-Bedroom, 12 2-Bedroom)			36 units
Total Building area			47,898 sf
Building 3	Parking	Basement	25 spaces
	Retail/Commercial	1 st level	11,966 sf
	Residential	2 nd level	11,966 sf
	Residential	3 rd level	11,966 sf
	Residential	4 th level	11,966 sf
	Residential	5 th level	11,966 sf
Total Residential (8 1-Bedroom, 16 2-Bedroom, 8 3-Bedroom)			32 units
Total Building area			59,830 sf
Parking Deck	Parking	1 st level	57 spaces
	Parking	2 nd level	53 spaces
Total Parking Count			110 spaces

SPECIFICATIONS FOR PROPOSED PARKING DECK

2/27/15

Revised 3/2/15

1. The proposed parking structure will be designed, constructed and considered as an "open air" parking structure as defined per building codes. Therefore, the following systems are not contemplated: Fire alarm, ventilation/vapor intrusion, drainage into the sanitary system/sand oil separator for the lower level of the deck, and no mechanical/electrical room is included in the plans.
2. Fire Sprinkler System: For an open deck, Installation of a dry type I standpipe system with a minimum of 2 hose stations located on each level of the parking structure. The fire department connection would be located near the Illinois St. entrance.
3. 8 feet of vertical clearance is required within the parking garages which includes the parking areas below buildings 1, 2, 3 and the open parking garage.
4. Larger double tee precast designed to accommodate the loads induced by the City's Fire Department ladder truck shall be located generally in the area approximately 62' east of the ramp from First Street and approximately 28' wide centered on the centerline of the ramp.
5. 3" concrete topping (broom finish and wet cured) over larger double tees included.
6. Control joints with sealant over each precast piece joint and the application of a silane sealer over the entire upper level surface.
7. Sealing and caulking for all precast joints is included.
8. Confirmation the proposed deck can handle anticipated snow loadings and snow removal operations as described:

It is thought that the 6-wheel dump would be backed up the ramp and parked in the middle (Area where the ladder truck was anticipated to sit) and then the other equipment would be used to push and load snow at the same time. It would be conceivable for at least the 6-wheeler, Wheel Loader and Backhoe to be up there at one time working.

Equipment	Operating Weight (lbs)	Contact Area Front (Sqi)	Contact Area Back (Sqi)	Total Contact Area (Sqi)	Ground Pressure per Contact (psi)
JD 544k Wheel Loader	28660	468	468	936.00	30.62
JD 410k Backhoe	16500	260	468	728.00	22.66
Case 410 Skid Steer (with bucket)	6200	189	189	378.00	16.40
6 Wheel Dump (Loaded w/plow)	50000	255	952	1207.00	41.43
* NOTE - Calculations based on level surface and no movement					
* * NOTE - Construction Equipment was calculated as "unloaded", Dump truck calculated as fully loaded.					

9. All conduit is rigid conduit and all fittings are rated for outdoor use.
10. Adequate light fixtures to meet required codes or industry standards including but not limited to emergency lighting, exit lighting, egress path lighting and also with respect to

lighting on the upper and lower level of the parking deck is included. Walker Parking's initial review indicated that more than 14 light fixtures on the lower level, as identified in the preliminary cost estimate from Premium Electric Services dated January 6, 2015, may be needed. All lighting fixtures to be subject to review and approval by the City. Developer has budgeted an allowance of \$28,000 for upper level fixtures. Should the City select a more expensive fixture for the upper level, the City would cover the cost difference. Photometrics to be included with Final Engineering plans prepared by the developer.

11. Lower level sump pumps (2) and back-up/alarm system is included.
12. Coverings/treatments over required openings to comply with the lower level being open air are included. Design subject to review by the City.
13. All required ramp/stair handrails, bollards, doors and door frames, flashing and trim are included.
14. Foundation: 6" perimeter drains is included.
15. Public storm sewer passing under the parking deck to be reconstructed per the Preliminary Engineering Plans.
16. Striping and directional signage
17. Future security and parking counter system to be determined jointly by developer and staff during Final Engineering.

1ST STREET PHASE 3

NORTHEAST CORNER OF 1ST STREET AND ILLINOIS STREET ST. CHARLES, ILLINOIS

WARNING



CALL BEFORE
YOU DIG

14 408 432 4340 467 5 6242

CITY OF ST. CHARLES NOTES

1. ALL FERROUS AREA SHALL BE SODDED OVER A MINIMUM OF 4" OF TOP SOIL UNLESS OTHER LANDSCAPING METHODS ARE APPROVED ON THE LANDSCAPING PLAN.

2. ALL CONDUIT OF PIPE CONSTRUCTED UNDER EXISTING OR PROPOSED PAVED SURFACES AND MANHOLE SHALL BE BACKFILLED WITH GRANULAR BACKFILL THOROUGHLY COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS. GRANULAR BACKFILL IS ALSO REQUIRED WITHIN 3" OF PAVED SURFACES.

3. ALL PAVING, SIDEWALK, AND EXCAVATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND THE CITY OF ST. CHARLES STANDARD DETAILS, CODES AND REQUIREMENTS.

4. ALL SEWER AND WATER MAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND CITY OF ST. CHARLES CONSTRUCTION STANDARDS.

5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY THE CITY.

6. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING MANHOLE CURBS, PAVEMENT AND PAINTMARKS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.

7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO VERIFY IN THE FIELD ALL EXISTING AND UNDERGROUND UTILITIES ADJACENT TO THE PROJECT, AND BE RESPONSIBLE FOR PROTECTION OF SAME.

8. ALL CONCRETE SHALL BE 4" MIN. 2500 PSI CONCRETE AT 14 DAYS. CURING MATERIAL SHALL BE MEMBRANE CURING COMPOUND AND SHALL BE WHITE IN COLOR TO ASSURE ADEQUATE COVERAGE.

9. CONTRACTOR SHALL NOTIFY CITY 48 HOURS IN ADVANCE OF CONSTRUCTION OF UNDERGROUND WORK. NO UNDERGROUND WORK SHALL BE COVERED UNTIL SAME HAS BEEN INSPECTED BY THE CITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CITY PRIOR TO INSTALLING PAVEMENT BRICK, PAVEMENT BRICK, PAVEMENT SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.

10. IF APPLICABLE, ALL NEW REINFORCED CONCRETE PIPE STORM SEWER 12" AND LARGER WHICHE SHOWN ON THE PLANS SHALL BE ASTM DESIGNATION C-78 MINIMUM CLASS CLASS II ALL PIPE WITH LESS THAN 3" OF COVER AND MORE THAN 15' OF COVER SHALL BE CLASS V. ALL JOINTS SHALL BE 70" IRMC RUBBER GASKET CONFORMING TO ASTM C-301 SPECIFICATIONS. ALL STORM SEWERS WITH LESS THAN 1.25' OF COVER AND ALL DUCTILE IRON PIPE STORM SEWERS WHERE SHOWN ON THE PLANS SHALL BE DUCTILE IRON PIPE CLASS 52 AND SPECIFICATIONS 4-21.31 WITH PUSH-ON OF MECHANICAL JOINTS AND POLYETHYLENE OVERLAPMENT.

11. BITUMINOUS PAVEMENT MATERIAL MUST BE PLACED IN TWO LIFTS. THICKNESS OF EACH LIFT SHALL BE AS SHOWN ON APPROVED PLANS. ALL MATERIAL SHALL BE CLASS I BITUMINOUS AS PER AASHTO STANDARDS. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE CITY HAS APPROVED THE COMPLETION OF THE BRICK MATERIAL. THE BRICK COURSE SHALL NOT BE INSTALLED UNTIL THE COMPLETION OF THE STONE BASE HAS BEEN APPROVED BY THE CITY. THE FINAL SURFACE COURSE MAY NOT BE INSTALLED UNTIL THE MAJOR PORTION OF BUILDING CONSTRUCTION HAS BEEN COMPLETED AS DETERMINED AND APPROVED BY THE CITY.

NOTE: IN CASE OF CONFLICT WITH OTHER NOTES AND SPECIFICATIONS, THE CITY'S STANDARD NOTES AND DETAILS SHALL APPLY.



LOCATION MAP
NOT TO SCALE

SHEET INDEX

TITLE	SHEET NO.
TITLE SHEET	1
TOPOGRAPHY & DEMOLITION PLAN	2
GEOMETRIC PLAN	3
BUILDING 1 INFORMATION	4
BUILDING 2 INFORMATION	5
PARKING STRUCTURE UPPER/LOWER LEVELS	6
GRADING PLAN	7
UTILITY PLAN	8
PLAT OF SUBDIVISION	

LEGEND

	PROPOSED STORM SEWER		PROPOSED SPOT GRADE
	EXISTING STORM SEWER		EXISTING SPOT GRADE
	PROPOSED SANITARY SEWER		PROPOSED CONTOUR
	EXISTING SANITARY SEWER		EXISTING CONTOUR
	PROPOSED WATER MAIN		SALT FENCE
	EXISTING WATER MAIN		OVERLAP SECTION
	PROPOSED SANITARY MANHOLE		PROPOSED CURB
	EXISTING SANITARY MANHOLE		EXISTING CURB
	EXISTING STORM STRUCTURE		PROPOSED EDGE OF PAVEMENT
	PROPOSED STORM STRUCTURE		
	PROPOSED FIRE HYDRANT		
	PROPOSED GATE VALVE		

BENCHMARK:

CITY OF ST. CHARLES--
STATION N 19 ELEV=696.45 NAVD88
AT SAINT CHARLES, KANE COUNTY, IN NORTHEAST
LIMESTONE CORNER OF THE REMMS ELECTRICAL
BUILDING, 8 FEET EAST OF THE NORTH (FRONT)
ENTRANCE, AND ABOUT 1 FOOT ABOVE SIDEWALK,
& STANDARD DISC, STAMPED N 19 1934 AND SET
VERTICALLY.

UNDERGROUND UTILITY NOTES

The location of existing underground utilities, such as water, sewer, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of these which are shown may be different from the location as shown on the plans.

USE OF DRAWINGS

Client agrees not to use or permit any other person to use plans, drawings, or other product prepared by the Engineer, which plans, drawings, or other work product are not paid and which are not signed, and stamped or sealed by the Engineer and contain the words "Prepared For Construction".

HOLD HARMLESS STATEMENT

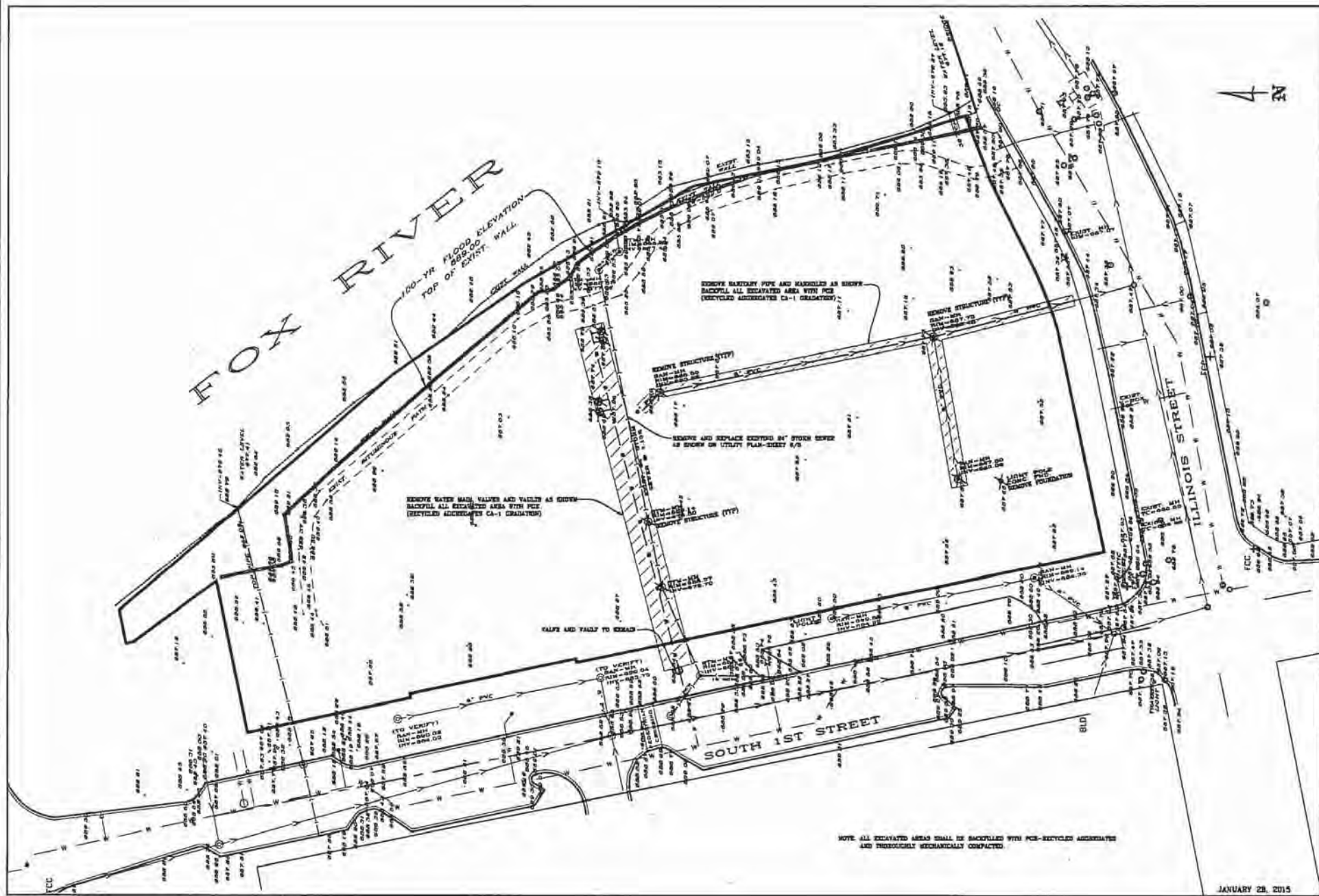
The Engineer is not overseeing the construction of this project. The use of these Drawings and Specifications by and Contractor, Subcontractors, Builders, Mechanics, Tradesmen or others shall constitute a Hold Harmless Agreement between the User and the Engineer. The User shall in fact agree to hold the Engineer harmless for any responsibility in regard to construction means, methods, techniques, sequences or procedures and for any safety precautions and programs in connection with the work and further shall hold the Engineer harmless for costs and problems arising from the negligence of Contractor, Subcontractors, Builders, Mechanics, Tradesmen or others. The use of these Drawings also implies that the Engineer shall take no responsibility for the plan User's failure to carry out the work in accordance with the Drawing and Specifications.

COUNTY ENGINEERS INC.
2202 GARY LANE, GENEVA, ILLINOIS 60134
630.384.8978 ccillinois@aol.com



GRIGORY J. BERMAN
REGISTERED PROFESSIONAL ENGINEER
RENEWAL DATE 11/30/15

FOX RIVER



NOTE: ALL EXCAVATED AREAS SHALL BE BACKFILLED WITH PCC-RECYCLED AGGREGATE AND THOROUGHLY MECHANICALLY COMPACTED.

TOPOGRAPHY AND DEMOLITION		SHEET # OF #	
Project	Date	Scale	Drawn By / Rev
Client	Drawn	Checked	Reviewed
Contract No.	Project No.	Sheet No.	Revision
COUNTY ENGINEERS INC.		CONTRACT NUMBER	
1000 W. WASHINGTON ST.		1000 W. WASHINGTON ST.	
MILWAUKEE, WI 53233		MILWAUKEE, WI 53233	
TEL: 414-224-1100		TEL: 414-224-1100	
FAX: 414-224-1101		FAX: 414-224-1101	
WWW.COUNTYENGINEERSINC.COM		WWW.COUNTYENGINEERSINC.COM	

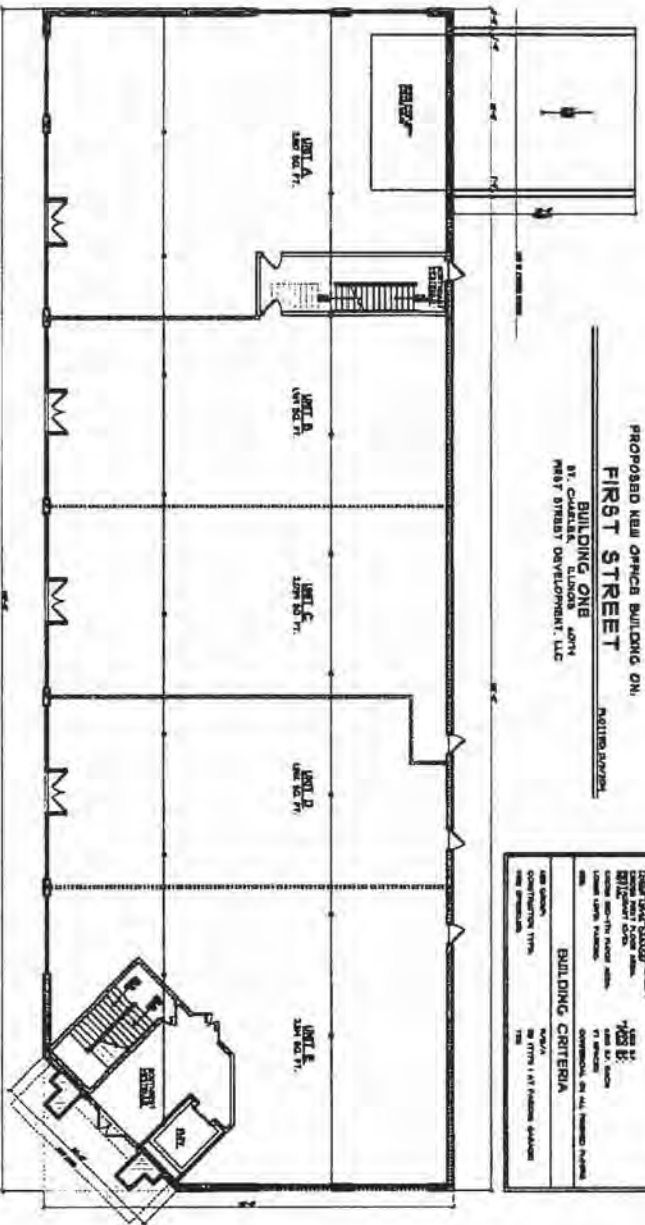
JANUARY 28, 2015

PROPOSED NEW OFFICE BUILDING ON,
FIRST STREET

BUILDING ONE
 11, CHARLES LUMBER LOTS
 FIRST STREET DEVELOPMENT, LLC

NOTED ABOVE

BUILDING ONE	
SITE CRITERIA	
CONTRACT NO.	100-1000000000
DATE OF CONTRACT	1/28/15
DATE OF SITE VISIT	1/28/15
DATE OF THIS REPORT	1/28/15
DATE OF LAST REVISION	1/28/15
DATE OF THIS REVISION	1/28/15
CONTRACTOR OR ALL APPLICABLE PARTIES	11, CHARLES LUMBER LOTS
BUILDING CRITERIA	
CONTRACT TYPE	GENERAL CONTRACTOR
CONTRACT VALUE	\$10,000,000
CONTRACTOR'S TYPE	GENERAL CONTRACTOR
CONTRACTOR'S NAME	11, CHARLES LUMBER LOTS
CONTRACTOR'S ADDRESS	11, CHARLES LUMBER LOTS
CONTRACTOR'S PHONE	11, CHARLES LUMBER LOTS
CONTRACTOR'S FAX	11, CHARLES LUMBER LOTS
CONTRACTOR'S EMAIL	11, CHARLES LUMBER LOTS
CONTRACTOR'S WEBSITE	11, CHARLES LUMBER LOTS



FIRST FLOOR PLAN

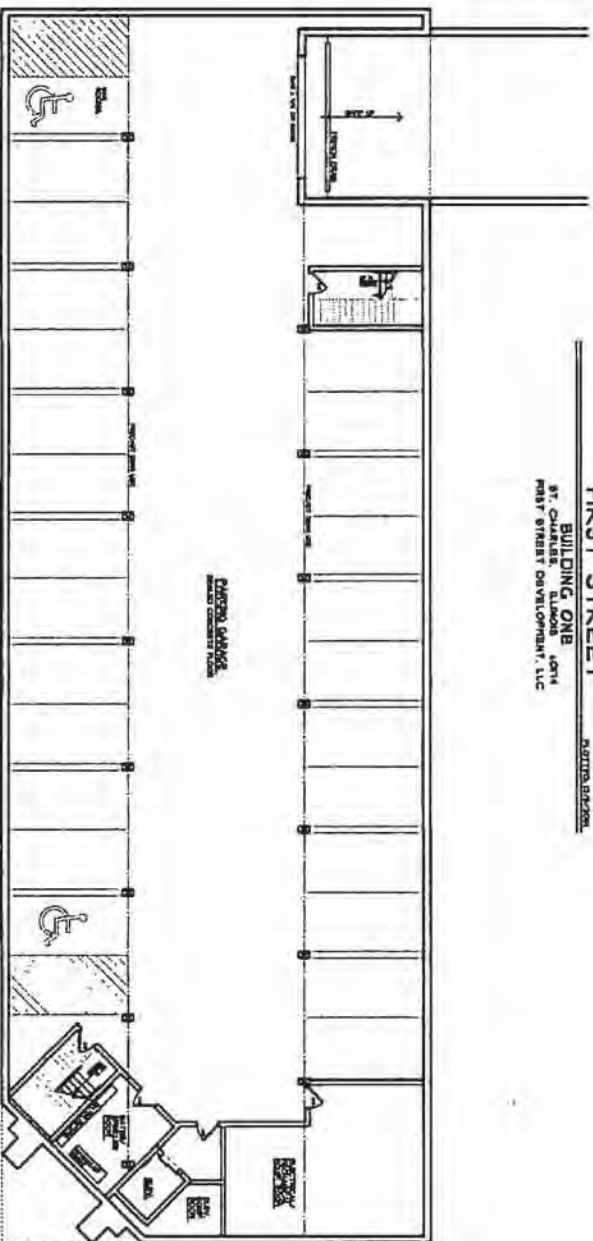


FIRST STREET

PROPOSED NEW OFFICE BUILDING ON,
FIRST STREET

BUILDING ONE
 ST. CHARLES LUMBER LOTS
 FIRST STREET DEVELOPMENT, LLC

NOTED ABOVE



LOWER LEVEL PLAN



JANUARY 29, 2015

BUILDING 1 INFORMATION

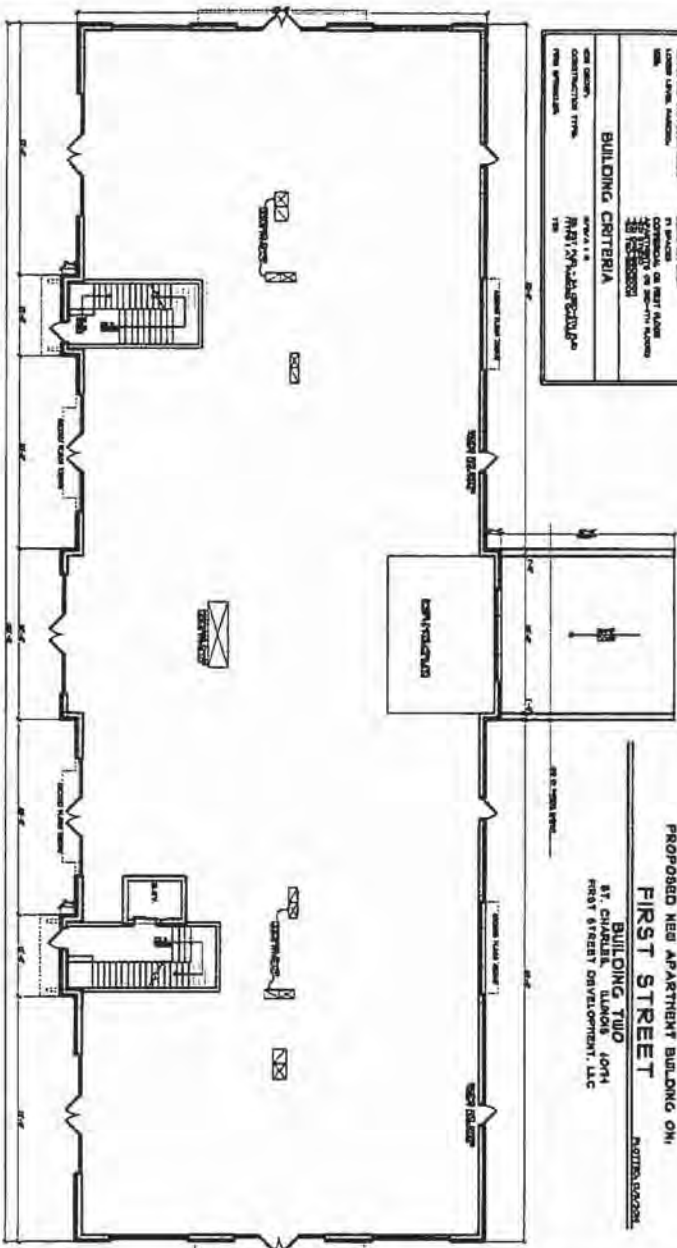
Item	Quantity	Unit	Notes
Number of Units	5	Units	
Number of Stalls	1	Stalls	
Number of Elevators	1	Elevators	
Number of Stairs	1	Stairs	
Number of Mechanical Rooms	1	Mechanical Rooms	
Number of Electrical Rooms	1	Electrical Rooms	
Number of Plumbing Rooms	1	Plumbing Rooms	
Number of Other Rooms	1	Other Rooms	

SHEET 4 OF 8

COUNTY ENGINEERS INC.
 11, CHARLES LUMBER LOTS
 FIRST STREET DEVELOPMENT, LLC

BUILDING TWO

SITE CRITERIA	
PROJECT:	APARTMENT DEVELOPMENT
OWNER:	ST. CHARLES LUMBER, LLC
DESIGNER:	COUNTY ENGINEERS INC.
DATE:	NOV 15, 2014
SCALE:	AS SHOWN
CONTRACTOR:	ST. CHARLES DEVELOPMENT, LLC
DATE:	NOV 15, 2014
BUILDING CRITERIA	
CONTRACTOR:	ST. CHARLES DEVELOPMENT, LLC
DATE:	NOV 15, 2014
SCALE:	AS SHOWN
CONTRACTOR:	ST. CHARLES DEVELOPMENT, LLC
DATE:	NOV 15, 2014

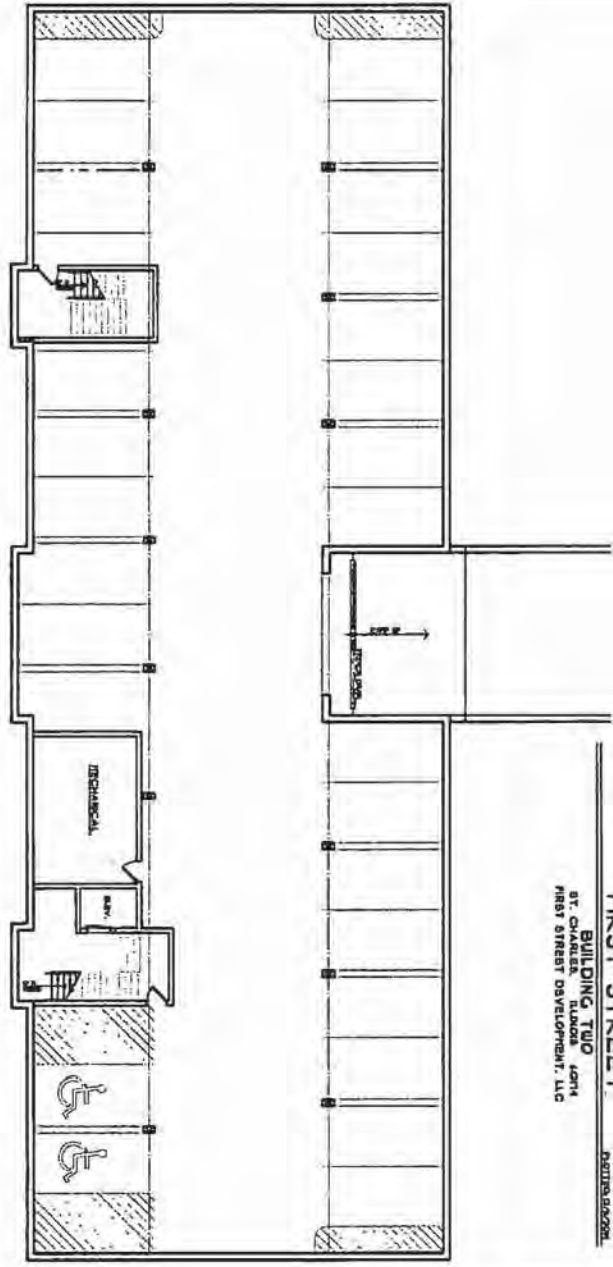


PROPOSED NEW APARTMENT BUILDING ON:
FIRST STREET
BUILDING TWO LOT#1
 ST. CHARLES, ILLINOIS
 FIRST STREET DEVELOPMENT, LLC
 PROJECT#20140001

FIRST FLOOR PLAN



PROPOSED NEW APARTMENT BUILDING ON:
FIRST STREET
BUILDING TWO LOT#1
 ST. CHARLES, ILLINOIS
 FIRST STREET DEVELOPMENT, LLC
 PROJECT#20140001



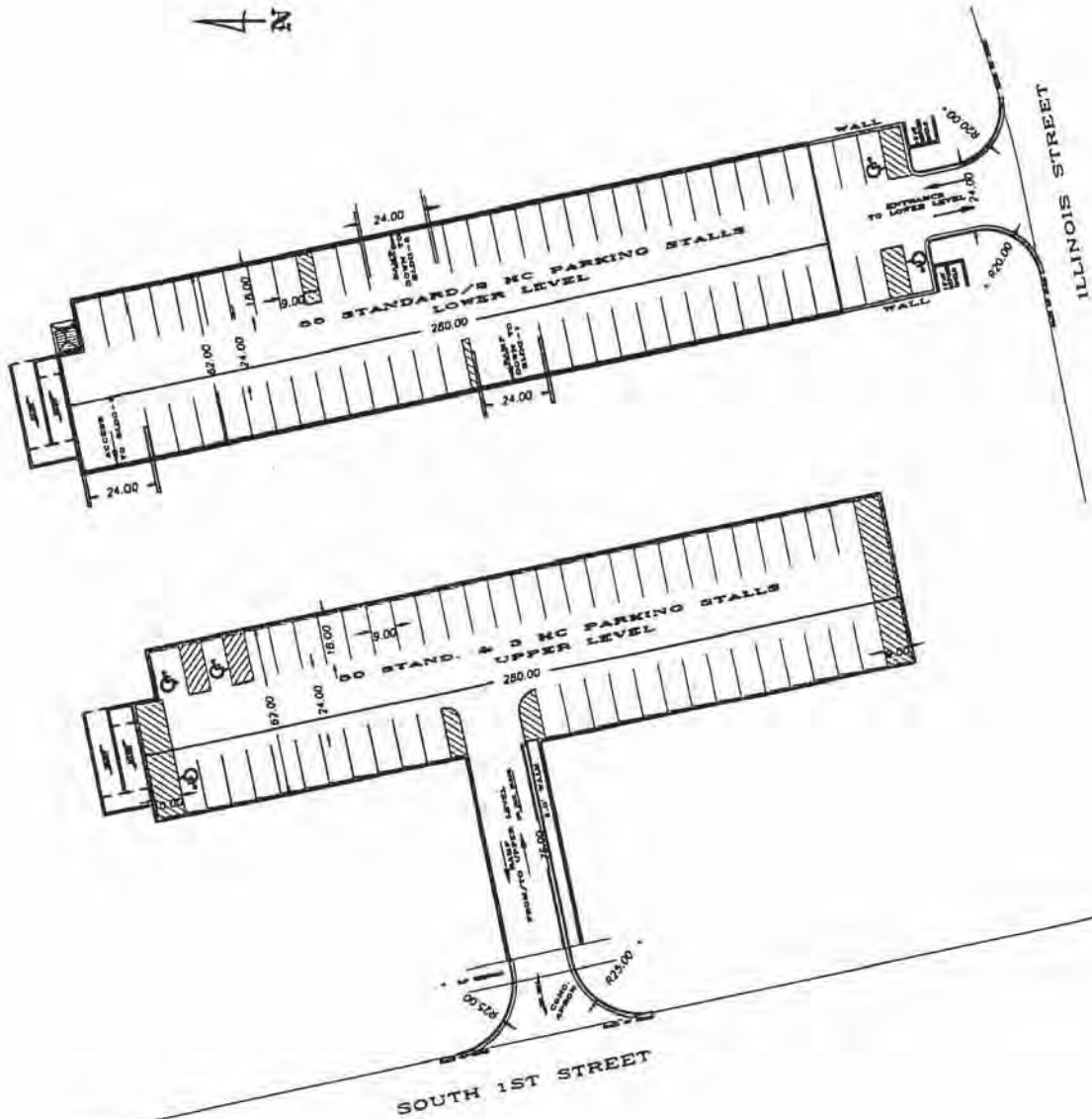
LOWER LEVEL PLAN



JANUARY 29, 2015

BUILDING 2 INFORMATION

Project:	APARTMENT DEVELOPMENT	Sheet:	1/1
Date:	NOV 15, 2014	Scale:	AS SHOWN
Drawn by:	ST. CHARLES DEVELOPMENT, LLC	Checked by:	COUNTY ENGINEERS INC.
Checked by:	COUNTY ENGINEERS INC.	Project No.:	20140001
Project No.:	20140001	Sheet No.:	1/1
Project Name:	APARTMENT DEVELOPMENT	Project Location:	ST. CHARLES, ILLINOIS
Project Address:	FIRST STREET	Project Owner:	ST. CHARLES DEVELOPMENT, LLC
Project Contact:	ST. CHARLES DEVELOPMENT, LLC	Project Manager:	COUNTY ENGINEERS INC.
Project Phone:	618-241-1111	Project Email:	STC@STCHARLESDEV.COM
Project Fax:	618-241-1111	Project Website:	WWW.STCHARLESDEV.COM



BUILDING ONE

SITE CRITERIA

FOOTPRINT:	450' x 24'
TOTAL COVERED PARKING AREA:	10,800 SF
NO. OF VEHICLES PARKED:	120
COVERED WALK AREA:	1,200 SF
TOTAL:	12,000 SF
COVERED SIDEWALK AREA:	1,200 SF EACH
COVERED LEVEL PARKING:	12 SPACES
CON:	CONCRETE ON ALL PARKED PLACES

BUILDING CRITERIA

USE GROUP:	A-2/A
CONSTRUCTION TYPE:	III TYPE I AT PARKED LOCATIONS
WIND BRACING:	YES

BUILDING TWO

SITE CRITERIA

FOOTPRINT:	450' x 24'
TOTAL COVERED PARKING AREA:	10,800 SF
NO. OF VEHICLES PARKED:	120
COVERED WALK AREA:	1,200 SF
TOTAL:	12,000 SF
COVERED SIDEWALK AREA:	1,200 SF EACH
COVERED LEVEL PARKING:	12 SPACES
CON:	CONCRETE ON WEST FLOOR ASPHALT ON EAST FLOOR

BUILDING CRITERIA

USE GROUP:	A-2/A I & II
CONSTRUCTION TYPE:	III AT ALL LOCATIONS
WIND BRACING:	YES

BUILDING THREE

SITE CRITERIA

FOOTPRINT:	450' x 24'
TOTAL COVERED PARKING AREA:	10,800 SF
NO. OF VEHICLES PARKED:	120
COVERED WALK AREA:	1,200 SF
TOTAL:	12,000 SF
COVERED SIDEWALK AREA:	1,200 SF EACH
COVERED LEVEL PARKING:	12 SPACES
CON:	CONCRETE ON WEST FLOOR ASPHALT ON EAST FLOOR

BUILDING CRITERIA

USE GROUP:	A-2/A I & II
CONSTRUCTION TYPE:	III AT ALL LOCATIONS
WIND BRACING:	YES

PARKING DATA:

	UNDERGROUND	ABOVEGROUND	HC SPACES
BUILDING 1	25		2
BUILDING 2	25		2
BUILDING 3	25		2
PARKING STRUCTURE	55	50	5
1ST STREET		20	
TOTAL	130	70	11

COUNTY ENGINEERS INC
REGISTERED PROFESSIONAL ENGINEERS
1000 WEST 10TH STREET, SUITE 100
LAWRENCE, KS 66044

Project: 17-00
Contract No.:
Subcontract No.:

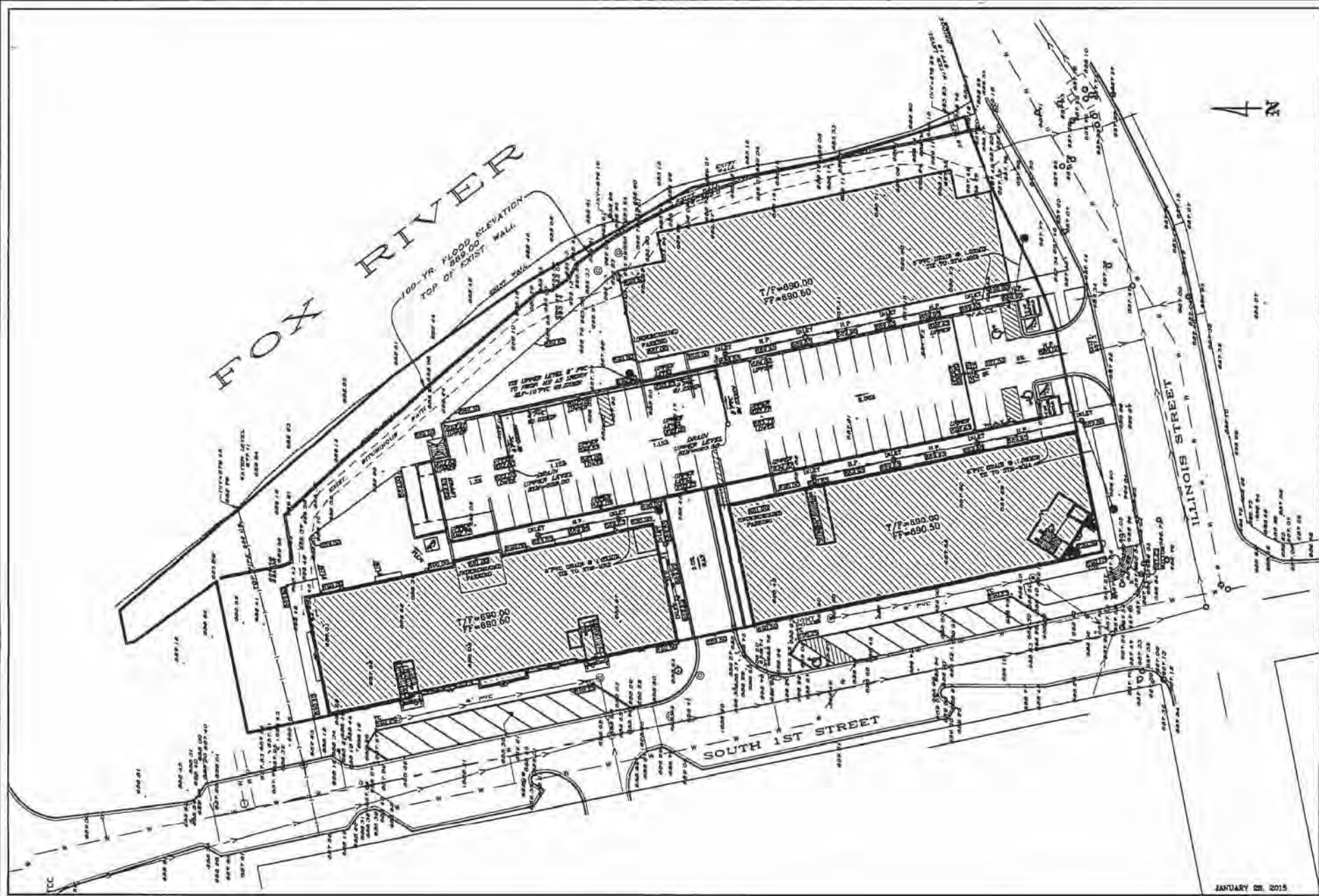
Ordering Agency:
Name:
Address:
City:
State:
Zip:

Project Name:
Site No.:
Date:
Scale: 1/8" = 1'-0"

PARKING STRUCTURE UPPER/LOWER LEVELS
SHEET 9 OF 9

FOX RIVER

100-YR. FLOOD ELEVATION
TOP OF CRIST. WALL.



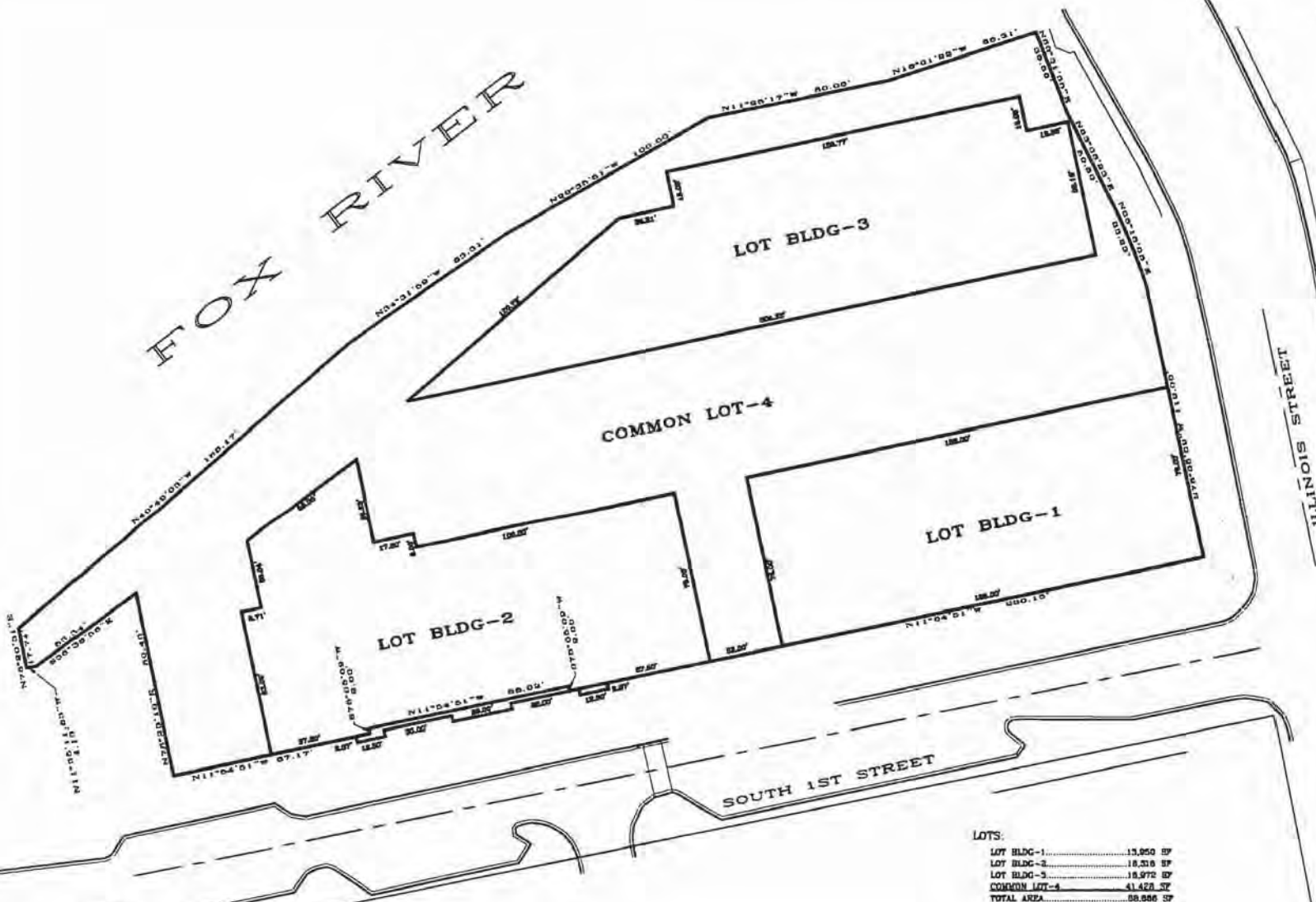
JANUARY 28, 2015

GRADING PLAN		SHEET 1 OF 8	
Client:	City of Chicago	Contract Address:	1000 N. Dearborn St., Chicago, IL 60610
Project:	1000 N. Dearborn St. Rehabilitation	Scale:	1"=20'
Drawn by:	J. Smith	Checked by:	M. Jones
Checked by:	K. Lee	Approved by:	D. White
Date:	01/28/15	Project No.:	15-001
Sheet No.:	1 of 8	Revision:	0
Scale:	1"=20'	Author:	J. Smith
Project Name:	1000 N. Dearborn St. Rehabilitation	Date:	01/28/15
Client:	City of Chicago	Contract Address:	1000 N. Dearborn St., Chicago, IL 60610
Project:	1000 N. Dearborn St. Rehabilitation	Scale:	1"=20'
Drawn by:	J. Smith	Checked by:	M. Jones
Checked by:	K. Lee	Approved by:	D. White
Date:	01/28/15	Project No.:	15-001
Sheet No.:	1 of 8	Revision:	0
Scale:	1"=20'	Author:	J. Smith
Project Name:	1000 N. Dearborn St. Rehabilitation	Date:	01/28/15

COUNTY ENGINEERS, INC.
1000 N. Dearborn St., Chicago, IL 60610
312.467.1234

FOX RIVER

4 N



LOTS:

LOT BLDG-1	13,950 SF
LOT BLDG-2	18,318 SF
LOT BLDG-3	18,972 SF
COMMON LOT-4	41,428 SF
TOTAL AREA	56,668 SF

1ST STREET PHASE 3

PROPOSED PLAT

SHEET 1 OF 1

COUNTY ENGINEERS INC.
 1000 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 Phone: (954) 561-1000
 Fax: (954) 561-1001

Scale: 1"=20'

Contract Address:
 Block/Sheet:
 Job No.:

Drawing
 Name:
 Date:
 Rev. No. / Rev. Date / Rev. Description:

Survey
 Type of Survey:
 Date:

FCC

JANUARY 28, 2015

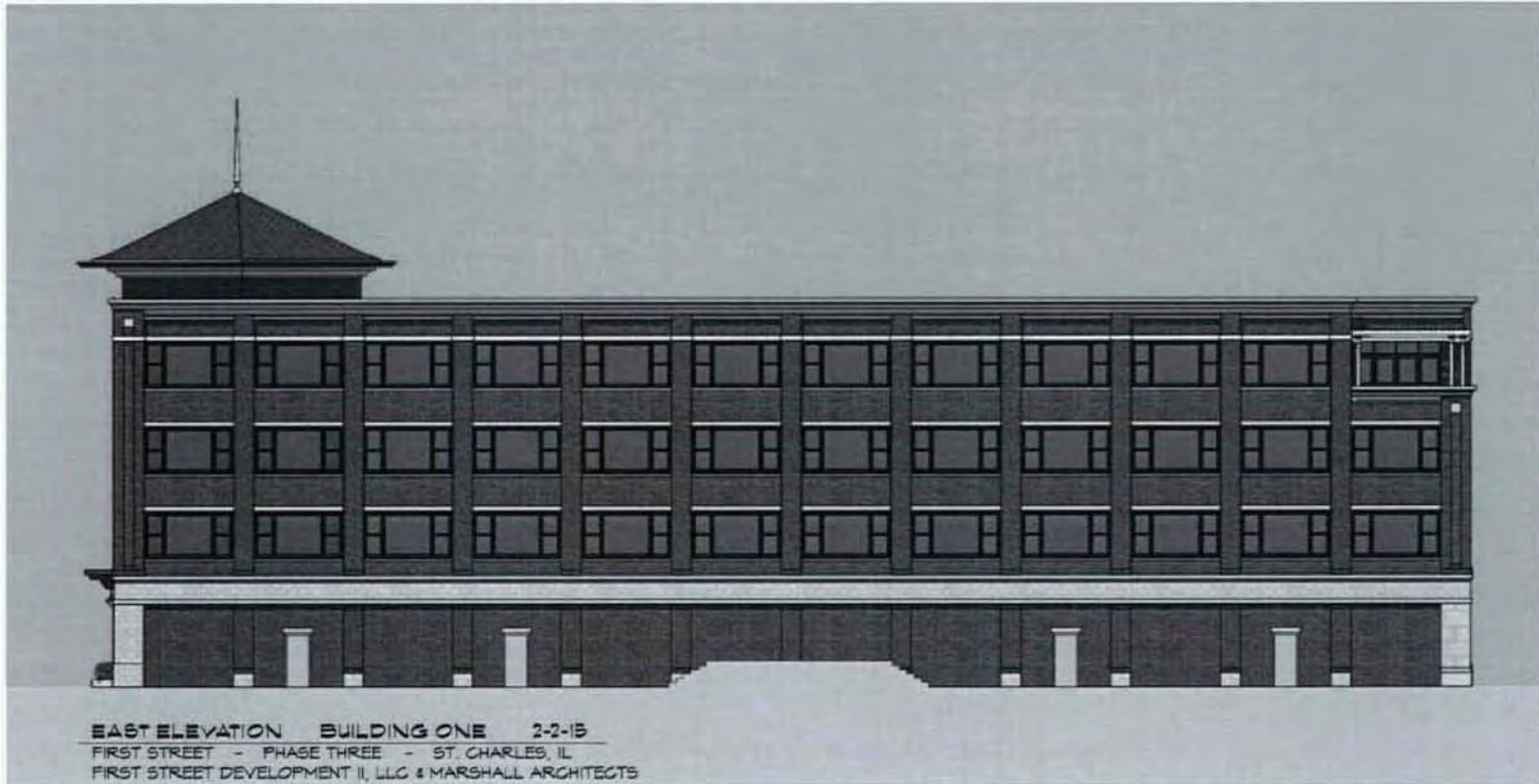


SOUTH ELEVATION BUILDING ONE 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



NORTH ELEVATION BUILDING ONE 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS





EAST ELEVATION BUILDING ONE 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



WEST ELEVATION BUILDING TWO 2-2-15
 FIRST STREET - PHASE THREE - ST. CHARLES, IL
 FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



ALUMINUM
LOUVER

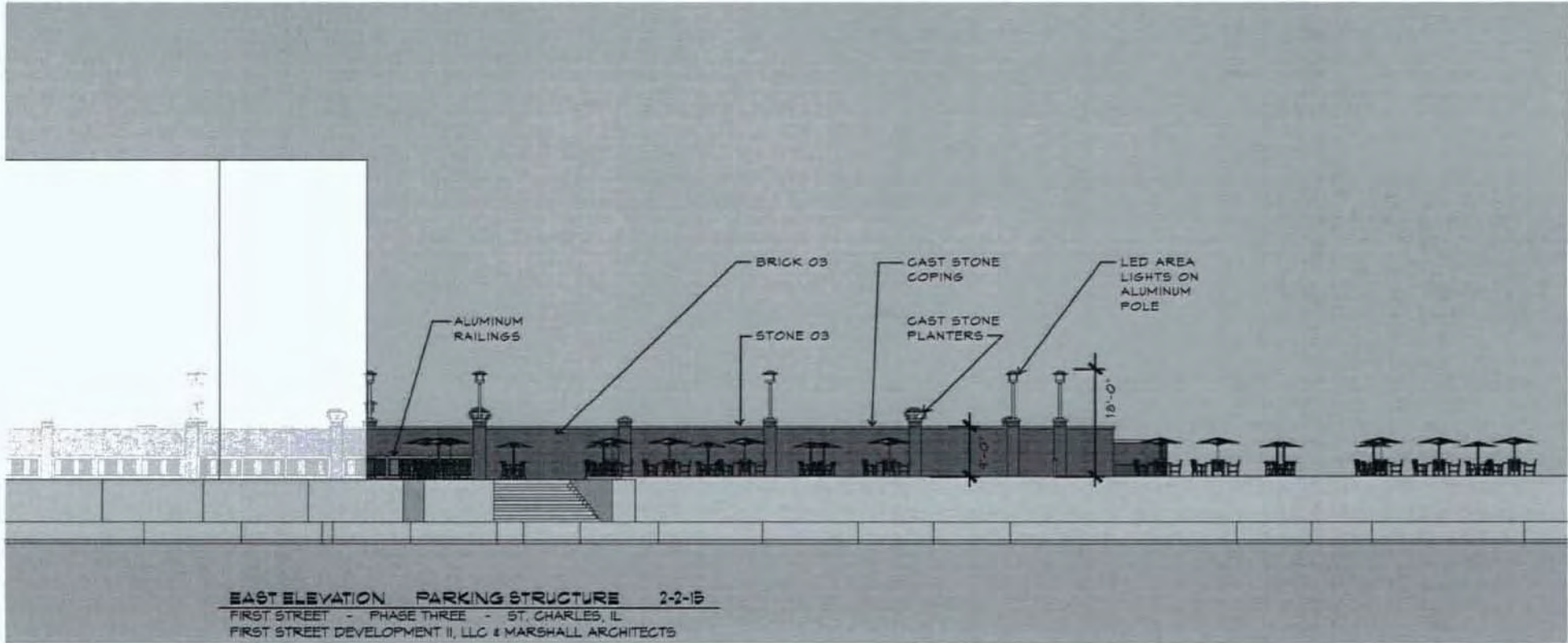
EAST ELEVATION BUILDING TWO 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



SOUTH ELEVATION BUILDING TWO 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



NORTH ELEVATION BUILDING TWO 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



State of Illinois)
) ss.
Counties of Kane and DuPage)

Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on March 2, 2015, the Corporate Authorities of such municipality passed and approved Ordinance No. 2015-Z-5, entitled

"Motion to Approve an Ordinance Granting Approval of a PUD Preliminary Plan for a portion of Phase 3 of the First Street Redevelopment PUD (Buildings 1, 2, 3 and Parking Deck)."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2015-Z-5, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on March 6, 2015, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 2nd

day of March, 2015.



(S E A L)

Nancy Garrison
Municipal Clerk



AGENDA ITEM EXECUTIVE SUMMARY

Title: Informational presentation on the Inclusionary Housing Ordinance

Presenter: Ellen Johnson

Please check appropriate box:

	Government Operations		Government Services
X	Planning & Development – (12/14/15)		City Council
	Public Hearing		

Estimated Cost: N/A **Budgeted:** YES NO

If NO, please explain how item will be funded:

Executive Summary:

Amendments to the Inclusionary Housing Ordinance (Ch. 17.18 of the Zoning Ordinance) were discussed at the 11/9/15 meeting. The item was tabled and was not continued to a specific date.

At the request of Chairman Bancroft, staff will be giving an informational presentation on the Inclusionary Housing Ordinance which will cover the history of the IHO, its purpose, and how it works.

The presentation is intended to provide background on the IHO in light of the recently proposed amendments.

Attachments: *(please list)*

Recommendation / Suggested Action *(briefly explain):*

Presentation by staff regarding the Inclusionary Housing Ordinance

For office use only: *Agenda Item Number: 4f*